



Council Chambers
200 H Street
Antioch, CA 94509
Closed Session - 6:00 P.M.
Regular Meeting - 7:00 P.M.

ANNOTATED AGENDA

for

October 11, 2016

Antioch City Council
Regular Meeting

Wade Harper, Mayor
Lori Ogorchock, Mayor Pro Tem
Mary Helen Rocha, Council Member
Tony Tiscareno, Council Member
Monica E. Wilson, Council Member

Arne Simonsen, City Clerk
Donna Conley, City Treasurer

Steven Duran, City Manager
Michael G. Vigilia, City Attorney

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Notice of Availability of Reports

This agenda is a summary of the actions proposed to be taken by the City Council. For almost every agenda item, materials have been prepared by the City staff for the Council's consideration. These materials include staff reports which explain in detail the item before the Council and the reason for the recommendation. The materials may also include resolutions or ordinances which are proposed to be adopted. Other materials, such as maps and diagrams, may also be included. All of these materials are available at the City Clerk's Office, located on the 3rd Floor of City Hall, 200 H Street, Antioch, CA 94509, during normal business hours for inspection and (for a fee) copying. Copies are also made available at the Antioch Public Library for inspection. Questions on these materials may be directed to the staff member who prepared them, or to the City Clerk's Office, who will refer you to the appropriate person.

Notice of Opportunity to Address Council

The public has the opportunity to address the Council on each agenda item. To address the Council, fill out a yellow Speaker Request form, available on each side of the entrance doors, and place in the Speaker Card Tray. See the Speakers' Rules on the inside cover of this Agenda. Comments regarding matters not on this Agenda may be addressed during the "Public Comments" section.

6:00 P.M. ROLL CALL – CLOSED SESSIONS – for Council Members – *All Present*

PUBLIC COMMENTS for Closed Sessions – *None*

CLOSED SESSIONS:

- 1) **CONFERENCE WITH LABOR NEGOTIATORS** – This Closed Session with the City's Labor Negotiators is authorized by California Government Code § 54957.6; City designated representatives: Nickie Mastay, Denise Haskett and Glenn Berkheimer; Employee organizations: Antioch Police Officers' Association, Operating Engineers Local Union No. 3 (OE3), Antioch Police Sworn Management Association (AP SMA), Confidential Unit, and Management Unit.

Direction given to Labor Negotiators

- 2) **CONFERENCE WITH LEGAL COUNSEL** – Existing Litigation pursuant to California Government Code section 54956.1(d)(1): Mark Jordan v. City of Antioch, Contra Costa County Superior Court Case No MSN 16-0527. Legal Counsel – City Attorney Vigilia, outside counsel Derek Cole, Cota Cole LLP.

Direction given to Legal Counsel

7:07 P.M. ROLL CALL – REGULAR MEETING – for Council Members – *All Present*

PLEDGE OF ALLEGIANCE

1. PROCLAMATION

- Freedom from Workplace Bullies Week, October 16 – 22, 2016

Approved, 5/0

Recommended Action: It is recommended that the City Council approve the proclamation.

STAFF REPORT

ANNOUNCEMENTS OF CIVIC AND COMMUNITY EVENTS

ANNOUNCEMENTS OF BOARD AND COMMISSION OPENINGS

- *CONTRA COSTA COUNTY LIBRARY COMMISSION (Extended deadline date: 10/14/16)*

PUBLIC COMMENTS – *Members of the public may comment only on unagendized items. The public may comment on agendized items when they come up on this Agenda.*

CITY COUNCIL COMMITTEE REPORTS

MAYOR’S COMMENTS

2. CONSENT CALENDAR

A. APPROVAL OF COUNCIL MINUTES FOR SEPTEMBER 27, 2016

Approved, 5/0

Recommended Action: It is recommended that the City Council approve the minutes.

STAFF REPORT

B. APPROVAL OF COUNCIL WARRANTS

Approved, 5/0

Recommended Action: It is recommended that the City Council approve the warrants.

STAFF REPORT

PUBLIC HEARING

3. PROPOSED FINANCING DELTA PINES APARTMENTS THROUGH THE ISSUANCE OF BONDS BY THE CALIFORNIA STATEWIDE COMMUNITIES DEVELOPMENT AUTHORITY (“CSCDA”)

Reso No. 2016/112 adopted, 5/0

Recommended Action: It is recommended that the City Council adopt the Resolution approving the issuance of bonds by the CSCDA to finance the acquisition and rehabilitation of Delta Pines Apartments by Levy Affiliated Holdings (Levy Affiliated).

STAFF REPORT

4. VINEYARD SELF-STORAGE FACILITY (PD-16-02) (UP-16-06), (AR-16-03)

Recommended Action: It is recommended that the City Council take the following actions:

Reso No. 2016/113 adopted, 5/0

1) Adopt the Resolution recommending approval of the Vineyard Self-Storage Facility Initial Study / Mitigated Negative Declaration and Mitigation Monitoring and Report Program for the Project.

To 10/25/16 for adoption, 5/0

2) Introduce the ordinance rezoning the project site from Planned Business Center (PBC) to Planned Development District (PD-16-02).

Reso No. 2016/114 adopted, 5/0

3) Adopt the Resolution recommending approval of a use permit (UP-16-06) and design review (AR-16-03), subject to conditions of approval.

STAFF REPORT

COUNCIL REGULAR AGENDA

5. EFFORTS TO ERADICATE BLIGHT AND PROVIDE SOLUTIONS TO HOMELESSNESS

Received and filed, 5/0

Recommended Action: It is recommended that the City Council receive and file this staff report regarding efforts being utilized to address blight and provide solutions to homelessness in our City.

STAFF REPORT

PUBLIC COMMENT

STAFF COMMUNICATIONS

COUNCIL COMMUNICATIONS AND FUTURE AGENDA ITEMS – *Council Members report out various activities and any Council Member may place an item for discussion and direction on a future agenda. Timing determined by Mayor and City Manager – no longer than 6 months.*

ADJOURNMENT – 9:31 p.m.



FREEDOM FROM WORKPLACE BULLIES WEEK
OCTOBER 16 – 22, 2016

WHEREAS,

The City of Antioch has an interest in promoting the social and economic well-being of its employees and citizens; and

WHEREAS,

That well-being depends upon the existence of healthy and productive employees working in safe and abuse-free environments; and

WHEREAS,

Research has documented the stress-related health consequences for individuals caused by exposure to abusive work environments; and

WHEREAS,

Abusive work environments are costly to employers with consequences including reduced productivity, absenteeism, turnover, employee dissatisfaction, and injuries; and

WHEREAS,

Protection from abusive work environments should apply to every worker, and not limited to legally protected class status based only on race, color, gender, national origin, age, or disability.

NOW, THEREFORE, I, WADE HARPER, Mayor of the City of Antioch, do hereby proclaim October 16 – 22, 2016 as “FREEDOM FROM WORKPLACE BULLIES WEEK” and commend the California Healthy Workplace Advocates and the Workplace Bullying Institute, which raises awareness of the impacts of, and solutions for, workplace bullying in California and the U.S.; and encourages all citizens to recognize this special observance.

OCTOBER 11, 2016

WADE HARPER, Mayor

**CITY COUNCIL MEETING
INCLUDING THE ANTIOCH CITY COUNCIL
ACTING AS SUCCESSOR AGENCY/HOUSING SUCCESSOR
TO THE ANTIOCH DEVELOPMENT AGENCY**

**Regular Meeting
7:00 P.M.**

**September 27, 2016
Council Chambers**

5:30 P.M. - CLOSED SESSION

- 1. CONFERENCE WITH LABOR NEGOTIATORS** – This Closed Session with the City’s Labor Negotiators is authorized by California Government Code § 54957.6; City designated representatives: Nickie Mastay, Denise Haskett and Glenn Berkheimer; Employee organizations: Antioch Police Officers’ Association, Operating Engineers Local Union No. 3 (OE3), and Antioch Police Sworn Management Association (APSMA).

- 2. CONFERENCE WITH LEGAL COUNSEL** – Existing Litigation pursuant to California Government Code section 54956.9(d)(1): Successor Agency to the Antioch Development Agency of the City of Antioch and the City of Antioch v. Michael Cohen, et. al. Sacramento County Superior Court case no. 34-2015-80002092. Legal Counsel – City Attorney Vigilia, outside counsel Karen Tiedemann and Dolores Dalton, Goldfarb & Lipman LLP.

City Attorney Vigilia reported the City Council had been in Closed Session and gave the following report: **#1 CONFERENCE WITH LABOR NEGOTIATORS**, Direction was given to the Labor Negotiators; and, **#2 CONFERENCE WITH LEGAL COUNSEL**, No reportable action.

Mayor Harper called the meeting to order at 7:06 P.M., and City Clerk Simonsen called the roll.

Present: Council Members Wilson, Ogorchock, Tiscareno, Rocha and Mayor Harper

PLEDGE OF ALLEGIANCE

Mayor Harper led the Council and audience in the Pledge of Allegiance.

PRESENTATION

Assemblymember Jim Frazier presented the 2016 Capitol and Legislative Report and thanked constituents for allowing him to serve as Assemblymember for District 11.

The Council thanked Assemblymember Frazier for the report and his service.

ANNOUNCEMENTS OF CIVIC AND COMMUNITY EVENTS

Battalion Chief Jim Huntze, Contra Costa County Fire Protection District gave an update on fire department activities for the month of August. He acknowledged the Antioch Police Department for their assistance at a recent house fire in Antioch.

Mayor Harper thanked Battalion Chief Hutze for the report and requested he express the Council's appreciation to fire department personnel.

Roxanna Aranda, Drama Factory, announced they were hosting a Monster Dash 5K Run/Walk, 1 Mile Kid's Run, and Costume Parade on October 15, 2016 at Contra Loma Regional Park.

Director of Park and Recreation Kaiser announced a Senior Resource Fair would be held from 9:00 A.M. – 11:00 A.M. on September 30, 2016 at the Antioch Senior Center. She reported the Antioch Council of Teens (ACT) participated in a kayaking event on September 25, 2016 and noted nomination forms for the Teen Friendly Business Awards were available in Council Chambers. She introduced Linda and John Frederickson, President and Vice President of the Antioch Senior Citizen's Club.

Councilmember Ogorchock announced a Community Outreach Fair would be held on October 8 and 9, 2016 and a Parish Festival would be held from 9:00 A.M. – 3:00 P.M. October 16, 2016 at St. Ignatius Church.

ANNOUNCEMENTS OF BOARD AND COMMISSION OPENINGS

City Clerk Simonsen announced the following Board and Commission openings:

Planning Commission: Two (2) vacancies; deadline date is September 30, 2016
Contra Costa County Library Commission; extended deadline date is October 14, 2016

He reported applications would be available in Council Chambers, online at the City's website and at the City Clerk's and Deputy City Clerks offices. He announced it was National Voter Registration Day and anyone wishing to receive an absentee ballot could request it via email from the County Elections office. He noted ballot boxes would be available in the Clerk's office.

PUBLIC COMMENTS

Julie Neward and Chris Hetrick, representing Somersville Towne Center/Macys, reported on their efforts to improve security at the mall. They thanked the Council and Antioch Police Department for their support.

Mayor Harper thanked Ms. Neward and Mr. Hetrick for their comments.

Sal Sbranti, Antioch resident, speaking to Measure C, expressed concern the Citywide Administration percentage was increasing with an increasing Police Department Budget. He stated he did not believe this was the intent of Measure C.

COUNCIL SUBCOMMITTEE REPORTS

Councilmember Wilson reported within the next couple of weeks Mello Roos would be holding one of their final meetings.

Councilmember Ogorchock reported on her attendance at the League of California Cities meeting.

MAYOR'S COMMENTS

Mayor Harper announced the Tri Delta Transit meeting had been cancelled.

1. **COUNCIL CONSENT CALENDAR for City /City as Successor Agency/Housing Successor to the Antioch Development Agency**
 - A. **APPROVAL OF COUNCIL MINUTES FOR SEPTEMBER 13, 2016**
 - B. **APPROVAL OF COUNCIL WARRANTS**
 - C. **REJECTION OF CLAIMS: CLARENCE GOLDSBY, KRYSTAL APARICIO, AND SEAN ADOLFO O'TOOLE**
 - D. **APPROVAL OF TREASURER'S REPORT FOR AUGUST 2016**
 - E. **ORDINANCE NO. 2115-C-S AND ORDINANCE NO. 2116-C-S LAUREL RANCH SUBDIVISION (PD-15-03) (PW 698) (Introduced on 09/13/16)**
 - 1) **Adopt the Ordinance approving a Development Agreement between the City of Antioch and Richland Planned Communities, Inc.; and**
 - 2) **Adopt the Ordinance rezoning the project site from Planned Development (PD) District to Planned Development District (PD-15-03).**

City of Antioch Acting as Successor Agency/Housing Successor to the Antioch Development Agency

- F. **APPROVAL OF SUCCESSOR AGENCY WARRANTS**
- G. **APPROVAL OF HOUSING SUCCESSOR WARRANTS**

On motion by Councilmember Ogorchock, seconded by Councilmember Rocha, the City Council unanimously approved the Council Consent Calendar.

PUBLIC HEARING

2. **PUBLIC HEARING ON PRIORITIES FOR HOUSING, HOMELESS, AND COMMUNITY SERVICES FOR THE 2017-20 GRANT CYCLE**

CDBG/Housing Consultant House presented the staff report dated September 27, 2016 recommending the City Council review public comments from the Study Session of August 23, 2016; take public comment at this meeting; and maintain the adopted 2015-20 Consolidated Plan Priorities for funding. It was also recommended that Council approve the implementation in FY 2016-17 of a Mobile Home Grant Program as an expansion of the Homeowner Housing Rehabilitation program, using existing funding.

Councilmember Rocha suggested the CDBG committee review and discuss the percentage of senior program funding versus youth program funding.

CDBG/Housing Consultant House stated once there was a recommendation for funding homeless services, they would bring it forward for Council consideration.

Mayor Harper announced Project Homeless Connect would be held at the fairgrounds from 11:00 A.M. – 3:00 P.M., October 13, 2016 at the Antioch Fairgrounds.

Mayor Harper opened the public hearing.

Caroline Sisen, Anka Behavioral Health, Inc., discussed their efforts to provide homeless services in the region. She requested the City Council consider prioritizing a multiservice center in East County and support of the expansion of the Don Brown Shelter.

Mayor Harper closed the public hearing.

In response to Councilmember Ogorchock, CDBG/Housing Consultant House explained Anka was looking for Council support of the Use Permit for the expansion of the Don Brown Shelter. She stated consideration of supporting Anka's need to provide Saturday outreach, would be coming to Council as a part of the additional funding considerations.

On motion by Councilmember Rocha, seconded by Councilmember Ogorchock, the City Council unanimously reviewed public comments from the Study Session of August 23, 2016; took public comment; maintained the adopted 2015-20 Consolidated Plan Priorities for funding; and approved the implementation in FY 2016-17 of a Mobile Home Grant Program as an expansion of the Homeowner Housing Rehabilitation program, using existing funding.

3. ADOPTION OF A RESOLUTION TO APPROVE A SOLAR REMOTE POWER PURCHASE AGREEMENT WITH NRG RENEW (P.W. 699)

Assistant City Manager/Public Works Director/City Engineer Bernal presented the staff report dated September 27, 2016 recommending the City Council adopt a resolution authorizing the City Manager to negotiate and execute a Solar Remote Power Purchase Agreement with NRG Renew.

Joe Corning, Development Manager / NRG Renew, gave a PowerPoint presentation of the Antioch Solar Development project.

Mayor Harper opened and closed the public hearing with no members of the public requesting to speak.

Councilmember Ogorchock suggested Council consider adopting a policy requiring 25 percent of the cost saving from this project allocated to pay down the City's Unfunded Liability and 25 percent placed into the City's Reserves (rainy day fund).

City Attorney Vigilia responded that policy direction was outside the scope of this item and could be requested as a future agenda item.

The Council spoke in support of the project providing reduced energy costs, local jobs, and environmental benefits.

RESOLUTION NO. 2016/103

On motion by Councilmember Ogorchock, seconded by Councilmember Tiscareno, the City Council unanimously adopted a resolution authorizing the City Manager to negotiate and execute a Solar Remote Power Purchase Agreement with NRG Renew.

4. ADOPTION OF A RESOLUTION TO APPROVE A SOLAR SITE SUBLEASE AGREEMENT BETWEEN THE CITY AND NRG SOLAR DG LLC (P.W. 699)

Assistant City Manager/Public Works Director/City Engineer Bernal presented the staff report dated September 27, 2016 recommending the City Council adopt a resolution authorizing the City Manager to enter into a 25-year Solar Site Sublease Agreement with NRG Solar DG LLC.

Mayor Harper opened and closed the public hearing with no members of the public requesting to speak.

RESOLUTION NO. 2016/104

On motion by Councilmember Tiscareno, seconded by Councilmember Rocha, the City Council unanimously adopted a resolution authorizing the City Manager to enter into a 25-year Solar Site Sublease Agreement with NRG Solar DG LLC.

COUNCIL REGULAR AGENDA

5. PROPOSED SALES TAX SHARING AGREEMENT WITH ONESOURCE SUPPLY SOLUTIONS

City Manager Duran presented the staff report dated September 27, 2016 recommending the City Council adopt a resolution directing and authorizing the City Manager to negotiate and execute a Sales Tax Sharing Agreement with OneSource Supply Solutions that will accomplish the business terms authorized by the City Council, in a form approved by the City Attorney.

Mayor Harper spoke in support of the tax sharing agreement as a means to attract major employers.

John Mayberry, Senior Vice President of Operations, One Source Supply Solutions, stated if approved, their business would relocate from San Leandro and for continuity they would prefer to retain their current workforce; however, if not all of their employees choose to commute, they would look to hire locally. He explained they were a distributor of products PG&E used to maintain and build their electric infrastructure.

Mayor Harper stated he was pleased One Source Supply Solutions considered Antioch for this project.

In response to Councilmember Tiscareno, Mr. Mayberry explained they had entered into a 5-year agreement with PG&E; however, they believed it would be extended due to their integrated supply chain solution. He estimated revenue would grow by 10 percent per year.

In response to Councilmember Wilson, Mr. Mayberry stated they provided employment for a variety of levels from management to warehouse workers and had a tiered system to promote from within. He noted they would be willing to consider working with the County Workforce Development Board on a job shadowing program.

Councilmember Ogorchock voiced her support for the project and suggested a local hire provision for new employees.

Mr. Mayberry responded that he had committed to working closely with Economic Development Program Manager Zepeda through the hiring process. He reported PG&E had expressed interest in developing community outreach in the Antioch area.

Councilmember Rocha spoke in support of the project promoting economic development in the Wilbur Avenue area.

Councilmember Tiscareno stated he was willing to support the following motion; however, he would like a commitment from One Source that they would be in the community for 10 years.

RESOLUTION NO. 2016/105

On motion by Councilmember Ogorchock, seconded by Councilmember Wilson, the City Council unanimously adopted a resolution directing and authorizing the City Manager to negotiate and execute a Sales Tax Sharing Agreement with OneSource Supply Solutions that will accomplish the business terms authorized by the City Council, in a form approved by the City Attorney and support staff recommendation as outlined in the Term Sheet (Resolution Exhibit 1).

6. POLICE CRIME PREVENTION COMMISSION APPOINTMENT FOR ONE PARTIAL-TERM VACANCY EXPIRING OCTOBER 2017

Mayor Harper nominated Richard C. Hanzy PhD., to serve one (1) partial-term vacancy to the Police Crime Prevention Commission expiring October 2017.

RESOLUTION NO. 2016/106

On motion by Councilmember Ogorchock, seconded by Councilmember Rocha, the City Council unanimously appointed Richard C. Hanzy PhD by resolution to one (1) partial-term vacancy to the Police Crime Prevention Commission expiring October 2017.

7. MEMORANDUM OF UNDERSTANDING WITH TONY LA RUSSA'S ANIMAL RESCUE FOUNDATION

Captain Brooks presented the staff report dated September 27, 2016 recommending the City Council adopt a resolution authorizing the City Manager to execute a Memorandum of Understanding (MOU) between the City of Antioch - Antioch Animal Services (AAS) and Tony La Russa's Animal Rescue Foundation (ARF), wherein ARF will work collaboratively with AAS staff to provide expertise and guidance in key areas for a period not to exceed 12 months.

Louise McGuire, Concord Resident, spoke in support of the Memorandum of Understanding (MOU) between the City of Antioch - Antioch Animal Services (AAS) and Tony La Russa's Animal Rescue Foundation (ARF).

Dr. Jeffrey Klingler, spoke in support of the Memorandum of Understanding (MOU) between the City of Antioch - Antioch Animal Services (AAS) and Tony La Russa's Animal Rescue Foundation (ARF) and suggested Council require measureable deliverables.

Karen Kops, HARP, spoke in support of the Memorandum of Understanding (MOU) between the City of Antioch - Antioch Animal Services (AAS) and Tony La Russa's Animal Rescue Foundation (ARF). She questioned when and how staffing would be impacted at the shelter and spoke in support of the City hiring an experienced Shelter Manager.

Captain Brooks stated if Council agreed to the MOU, they would meet with ARF to determine what needed to be accomplished. He noted once it was decided what the deliverables would be; they would recommend the number of staff and hours needed. He noted that information would then be reported back to Council.

Mayor Harper stated these steps would be taken immediately to improve shelter operations. He thanked members of the community for their patience.

Captain Brooks reported the additional Animal Care Attendant and Office Assistant had been hired. He noted the Earn and Learn Personnel were still in process.

RESOLUTION NO. 2016/107

On motion by Councilmember Tiscareno, seconded by Councilmember Rocha, the City Council unanimously adopted a resolution authorizing the City Manager to execute a Memorandum of Understanding (MOU) between the City of Antioch - Antioch Animal Services (AAS) and Tony La Russa's Animal Rescue Foundation (ARF), wherein ARF will work collaboratively with AAS staff to provide expertise and guidance in key areas for a period not to exceed 12 months.

8. PARKING ENFORCEMENT OUTSOURCING

Captain Brooks presented the staff report dated September 27, 2016 recommending the City Council adopt a resolution authorizing the City Manager to execute an agreement, with SP+ (SP Plus) for parking enforcement and vehicle abatement services in the amount of \$150,000 per year for a term of up to 3 (three) years.

In response to Mayor Harper, Captain Brooks explained it was less expensive to contract out services as SP+ paid for salaries, vehicles, and equipment associated with the program.

Councilmember Tiscareno stated he was encouraged with the removal of blight in the community.

Councilmember Rocha spoke in support of the program as it improved parking for merchants. She suggested Council consider bringing this service in house in the future.

Councilmember Ogorchock spoke in support of the program and suggested the creation of an app to report illegally parked vehicles.

RESOLUTION NO. 2016/108

On motion by Councilmember Tiscareno, seconded by Councilmember Ogorchock, the City Council adopted a resolution authorizing the City Manager to execute an agreement, with SP+ (SP Plus) for parking enforcement and vehicle abatement services in the amount of \$150,000 per year for a term of up to 3 (three) years.

9. FINAL ACCEPTANCE OF THE COUNTRY HILLS DRIVE AND VISTA GRANDE DRIVE WATER MAIN REPLACEMENT (P.W. 503-16)

Assistant City Manager/Public Works Director/City Engineer Bernal presented the staff report dated September 27, 2016 recommending the City Council adopt a resolution accepting work and authorizing the Assistant City Manager/Public Works Director/City Engineer to file a Notice of Completion for the Country Hills Drive and Vista Grande Drive Water Main Replacement project.

RESOLUTION NO. 2016/109

On motion by Councilmember Ogorchock, seconded by Councilmember Wilson, the City Council unanimously adopted a resolution accepting work and authorizing the Assistant City

Manager/Public Works Director/City Engineer to file a Notice of Completion for the Country Hills Drive and Vista Grande Drive Water Main Replacement project.

10. FINAL ACCEPTANCE OF THE PAVEMENT PLUGS AND LEVELING COURSES AT VARIOUS LOCATIONS (P.W. 328-10)

Deputy Director of Public Works Bechtholdt presented the staff report dated September 27, 2016 recommending the City Council adopt a resolution, accepting work and authorizing the Assistant City Manager/Public Works Director/City Engineer to file a Notice of Completion for the Pavement Plugs and Leveling Courses at Various Locations project and increase the existing contract with MCK Services, Inc. for this project in the amount of \$394,842.52 for a total of \$2,891,502.52.

Following discussion, the Council supported Mayor Harper writing a letter of appreciation to the employees who were responsible for completing the road improvement project.

RESOLUTION NO. 2016/110

On motion by Councilmember Ogorchock, seconded by Councilmember Tiscareno, the City Council unanimously adopted a resolution, accepting work and authorizing the Assistant City Manager/Public Works Director/City Engineer to file a Notice of Completion for the Pavement Plugs and Leveling Courses at Various Locations project and increase the existing contract with MCK Services, Inc. for this project in the amount of \$394,842.52 for a total of \$2,891,502.52.

11. RESOLUTION APPROVING THE MEMORANDUM OF UNDERSTANDING (MOU) BETWEEN THE CITY OF ANTIOCH AND PUBLIC EMPLOYEES' UNION LOCAL 1 FOR THE PERIOD OF APRIL 1, 2015 – MARCH 31, 2017 AND ACKNOWLEDGING THE CITY MANAGER AND LOCAL 1 REPRESENTATIVES EXECUTION OF THE MOU

Administrative Services Director Mastay presented the staff report dated September 27, 2016 recommending the City Council adopt a resolution approving the Memorandum of Understanding (MOU) between the City of Antioch and Public Employees' Union Local 1; and Acknowledging the City Manager and Local 1 Representatives execution of the MOU.

RESOLUTION NO. 2016/111

On motion by Councilmember Tiscareno, seconded by Councilmember Rocha, the City Council unanimously adopted a resolution approving the Memorandum of Understanding (MOU) between the City of Antioch and Public Employees' Union Local 1; and Acknowledging the City Manager and Local 1 Representatives execution of the MOU.

PUBLIC COMMENTS - None

STAFF COMMUNICATIONS - None

COUNCIL COMMUNICATIONS

Councilmember Ogorchock requested staff agendize the following:

- A policy requiring 25 percent of the cost savings from the NRG project being allocated to pay down the City's Unfunded Liability and 25 percent being placed into the City's reserves (rainy day fund)
- A discussion of the Measure "C" Citywide Administration Fee

Councilmember Wilson reported on her participation at the Coastal Cleanup, PAL Golf Tournament, and Squishing Out Cancer events.

Councilmember Rocha reported on her attendance at the Coastal Cleanup event.

Mayor Harper reported he had attended several events.

ADJOURNMENT

With no further business, Mayor Harper adjourned the meeting at 9:29 P.M. to the next regular Council meeting on October 11, 2016.

Respectfully submitted:

Kitty Eiden

KITTY EIDEN, Minutes Clerk

CITY OF ANTIOCH
 CLAIMS BY FUND REPORT
 FOR THE PERIOD OF
 SEPTEMBER 16-29, 2016
 FUND/CHECK#

100 General Fund

Non Departmental

364759 BIGHAM SERVICES	SMIP FEE REFUND	2.82
364777 ENERGY SOLUTIONS	CBSC FEE REFUND	2.65
364780 FERNANDO SILVA, TRE	SMIP FEE REFUND	1.50
364798 LINSCHIED, SUSAN	DEPOSIT REFUND	90.00
364812 PRASAD, STEVEN	DEPOSIT REFUND	60.00
364829 UNITED STATES POSTAL SERVICE	PREPAID POSTAGE	11,000.00
364928 RANEY PLANNING & MANAGEMENT INC	CONSULTING SERVICES	13,959.54

City Council

364924 PLATES	MEETING EXPENSE	100.28
927644 LONE TREE GOLF COURSE	MAYORS CONFERENCE	1,560.06

City Attorney

364753 BANK OF AMERICA	SEMINAR	545.00
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City Manager

364752 BANK OF AMERICA	MEETING EXPENSE	405.40
364913 OFFICE MAX INC	OFFICE SUPPLIES	197.82
927643 KARSTE CONSULTING INC	CONSULTING SERVICES	1,837.50

City Clerk

364776 EIDEN, KITTY J	MINUTES CLERK	392.00
364807 OFFICE MAX INC	OFFICE SUPPLIES	159.63
364935 SIMONSEN, ARNE	EXPENSE REIMBURSEMENT	728.16

City Treasurer

364783 GARDA CL WEST INC	ARMORED CAR PICK UP	246.66
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Human Resources

364751 BANK OF AMERICA	RECRUITING	330.52
364792 IEDA INC	PROFESSIONAL SERVICES	3,878.77
364794 JACKSON LEWIS LLP	PROFESSIONAL SERVICES	236.00
364901 LOPEZ, TAYLOR M	EDUCATIONAL INCENTIVE	800.00

Economic Development

364846 BEST BEST AND KRIEGER LLP	LEGAL SERVICES	5,105.88
364908 MUNICIPAL RESOURCE GROUP LLC	CONSULTANT SERVICES	5,973.28
364919 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	365.75

Finance Accounting

364902 LOVE, MARTINA DENISE	EXPENSE REIMBURSEMENT	28.22
927631 SUNGARD PUBLIC SECTOR INC	TRAINING EXPENSE	1,068.00
927651 SUNGARD PUBLIC SECTOR INC	MONTHLY ASP SERVICE	20,573.58

Non Departmental

364769 DELTA DIABLO	GOLF COURSE WATER	16,584.41
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Public Works Street Maintenance

364757 BAY AREA BARRICADE	ARROWBOARD RENTAL	309.87
364761 CARERA, JOSEPH F	SAFETY SHOES REIMBURSEMENT	89.81
364807 OFFICE MAX INC	OFFICE SUPPLIES	211.84

Public Works-Signal/Street Lights

364810 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	245.52
364919 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	5,395.96

CITY OF ANTIOCH
 CLAIMS BY FUND REPORT
 FOR THE PERIOD OF
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 FUND/CHECK#

927626 ICR ELECTRICAL CONTRACTORS	ELECTRICAL SERVICES	755.41
927641 ICR ELECTRICAL CONTRACTORS	ELECTRICAL SERVICES	6,037.55
Public Works-Striping/Signing		
364746 ANTIOCH AUTO PARTS	SUPPLIES	49.89
364755 BANK OF AMERICA	SUPPLIES	89.23
364761 CARERA, JOSEPH F	SAFETY SHOES REIMBURSEMENT	106.55
364771 DISPENSING TECHNOLOGY CORPORATION	SUPPLIES	475.25
364800 MANERI SIGN COMPANY	SIGNS	230.21
364890 INTERSTATE SALES	SUPPLIES	3,079.79
927624 GRAINGER INC	SUPPLIES	701.22
Public Works-Facilities Maintenance		
364744 ACME SECURITY SYSTEMS	REPAIR SERVICE	253.00
364765 CONCRETE CUSTOM DESIGNS	FLOORING	4,400.00
364772 DREAM RIDE ELEVATOR	ELEVATOR SERVICE	160.00
364787 HOME DEPOT, THE	SUPPLIES	200.05
364897 LENHART ALARM AND SECURITY	ALARM SYSTEM REPAIR	386.05
364919 PACIFIC GAS AND ELECTRIC CO	GAS	14,385.07
364950 WOODIWISS PAINTING	PAINT	92.75
Public Works-Parks Maint		
364743 ACE HARDWARE, ANTIOCH	SUPPLIES	18.22
364745 AMERICAN PLUMBING INC	PLUMBING SERVICES	155.00
364801 MARTIN MEMORIALS	SUPPLIES/INSTALLATION	496.00
364810 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	128.01
364840 AMERICAN PLUMBING INC	PLUMBING SERVICES	941.17
364869 DELTA FENCE CO	FENCE REPAIR	986.00
364917 PACHECO BROTHERS GARDENING INC	LANDSCAPE SERVICES	56,855.12
364919 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	817.43
927630 SITEONE LANDSCAPE SUPPLY HOLDING LLC	CONTROLLER INSTALLATION	1,077.52
927641 ICR ELECTRICAL CONTRACTORS	ELECTRICAL SERVICES	182.23
Public Works-Median/General Land		
364767 CROP PRODUCTION SERVICES INC	CHEMICALS	2,766.75
364809 PACIFIC COAST LANDSCAPE MGMT INC	LANDSCAPE SERVICES	5,507.68
364810 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	62.92
364822 STATE OF CALIFORNIA	FINGERPRINTING	32.00
364918 PACIFIC COAST LANDSCAPE MGMT INC	LANDSCAPE SERVICES	5,740.60
364919 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	1,783.38
927650 SITEONE LANDSCAPE SUPPLY HOLDING LLC	IRRIGATION CONTROLLER PARTS	1,133.66
Public Works-Work Alternative		
364743 ACE HARDWARE, ANTIOCH	SUPPLIES	17.64
364822 STATE OF CALIFORNIA	FINGERPRINTING	32.00
Police Administration		
364764 CONCORD UNIFORMS LLC	UNIFORMS	374.42
364784 GEOCELL LLC	TUITION-GONZALEZ	565.00
364785 GONZALEZ, ADRIAN E	TRAINING PER DIEM	192.00
364786 HOLIDAY INN	LODGING-GONZALEZ	644.19
364844 ATKINSON ANDELSON LOYA RUUD & ROMO	LEGAL SERVICES	3,212.45

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364851 CHALLENGE TARGETS	RANGE TARGETS	1,464.58
364852 COMCAST	CABLE SERVICE	38.98
364853 COMMERCIAL SUPPORT SERVICES	CAR WASHES	451.00
364854 CONCORD UNIFORMS LLC	UNIFORMS	394.14
364855 CONTRA COSTA COUNTY	TRAINING FEES	195.00
364866 CSI FORENSIC SUPPLY	EVIDENCE SUPPLIES	184.74
364872 DOLLAMUR SPORT SURFACES	TRAINING MATS	1,797.00
364876 FINGERPRINT AMERICA	CHILD ID KITS	559.50
364887 HUNT AND SONS INC	FUEL	44.84
364895 LAW OFFICES OF JONES AND MAYER	LEGAL SERVICES	8,433.43
364896 LEHR AUTO ELECTRIC	LICENSE PLATE READER	77,786.13
364911 NET TRANSCRIPTS	TRANSCRIPTION SERVICES	451.98
364913 OFFICE MAX INC	OFFICE SUPPLIES	3,387.23
364927 QURESHI, RASHID	CLEARANCE LETTER	38.00
364941 TAP PLASTICS INC	SUPPLIES	493.75
927642 IMAGE SALES INC	ID CARD	40.76
927645 MOBILE MINI LLC	PORTABLE STORAGE CONTAINERS	253.25
927646 MOBILEPD INC	SMART PHONE APP FEES	5,000.00
927649 SHRED IT INC	SHRED SERVICES	314.77
Police Community Policing		
364791 I AND B TRUST PORAC	WORKERS COMP	2,100.00
364799 MAGANA, JOSEPH	SETTLEMENT	13,900.00
364806 OCCUPATIONAL HEALTH CENTERS	MEDICAL EXAMS	1,659.00
364848 BLUMBERG, FREDRICK C.	MILEAGE REIMBURSEMENT	143.53
364867 DELTA ANIMAL CLINIC	VETERINARY SERVICES	47.00
364880 GERBER, ROBERT	MILEAGE REIMBURSEMENT	30.78
364883 HARRIS, DANIEL JAMES	EXPENSE REIMBURSEMENT	29.10
364886 HOPWOOD, DANIEL JOHN	EXPENSE REIMBURSEMENT	64.18
364906 MOORE K9 SERVICES	K9 TRAINING	800.00
Police Investigations		
364839 ALLENDORPH, MATTHEW JEFFREY	EXPENSE REIMBURSEMENT	27.07
364859 CONTRA COSTA COUNTY	SART EXAMS	2,400.00
364860 CONTRA COSTA COUNTY	LAB TESTING	22,190.00
364882 GONZALEZ, ADRIAN E	EXPENSE REIMBURSEMENT	65.39
364903 MAGANA, JOSEPH J	EXPENSE REIMBURSEMENT	30.00
364940 T MOBILE USA INC	SEARCH WARRANT	440.00
Police Special Operations Unit		
364827 TOYOTA FINANCIAL SERVICES	2015 TOYOTA SIENNA	1,620.45
Police Communications		
364857 CONTRA COSTA COUNTY	ARIES ANNUAL FEE	35,070.00
364881 GLOBALSTAR	SATELLITE PHONE	89.65
364913 OFFICE MAX INC	OFFICE SUPPLIES	510.26
364920 PACIFIC TELEMANAGEMENT SERVICES	LOBBY PAY PHONE	78.00
364947 VERIZON WIRELESS	PATROL CAR MODEM	1,992.42
Police Community Volunteers		
364797 LEVOC	TUITION	760.00

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Police Facilities Maintenance

364772 DREAM RIDE ELEVATOR	ELEVATOR SERVICE	80.00
364820 SILVA LANDSCAPE	LANDSCAPE SERVICES	3,750.00
364892 KELLY MOORE PAINT CO	SUPPLIES	172.68
364919 PACIFIC GAS AND ELECTRIC CO	GAS	22,226.85
364932 ROGUE FITNESS	GYM EQUIPMENT	4,933.96
364934 SILVA LANDSCAPE	LANDSCAPE SERVICES	3,180.00

Community Development Land Planning Services

364750 BANK OF AMERICA	CONFERENCE-MORRIS	545.00
364808 OSHINSKY, MITCHELL H	MILEAGE REIMBURSEMENT	21.62
364928 RANEY PLANNING & MANAGEMENT INC	CONSULTING SERVICES	7,395.70

CD Code Enforcement

364750 BANK OF AMERICA	CALBO-GALLEGOS	1,840.16
364795 K2GC	ABATEMENT SERVICES	977.92
364891 INTERWEST CONSULTING GROUP INC	CONSULTING SERVICES	9,360.00
364943 TRB AND ASSOCIATES	CONSULTING SERVICES	22,080.00

PW Engineer Land Development

364770 DIABLO LIVE SCAN	FINGERPRINTING	20.00
364806 OCCUPATIONAL HEALTH CENTERS	MEDICAL EXAMS	391.00
364822 STATE OF CALIFORNIA	FINGERPRINTING	49.00

Community Development Building Inspection

364750 BANK OF AMERICA	CALBO-BOCCIO	1,560.00
364759 BIGHAM SERVICES	TECH FEE REFUND	220.30
364777 ENERGY SOLUTIONS	BLDG PERMIT FEE REFUND	250.60
364780 FERNANDO SILVA, TRE	TECH FEE REFUND	137.28
364796 KHURI, PAUL	GREEN BLDG COMM FEE REFUND	25.08
364807 OFFICE MAX INC	OFFICE SUPPLIES	61.71
364822 STATE OF CALIFORNIA	FINGERPRINTING	49.00
364891 INTERWEST CONSULTING GROUP INC	CONSULTING SERVICES	18,600.00

Community Development Engineering Services

364807 OFFICE MAX INC	OFFICE SUPPLIES	69.27
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213 Gas Tax Fund

Streets

364810 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	190.80
364919 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	29,187.02

214 Animal Control Fund

Animal Control

364842 ANIMAL SUPPLY LOGISTICS	SUPPLIES	783.20
364873 EAST BAY VETERINARY EMERGENCY	VETERINARY SERVICES	3,235.89
364874 EAST HILLS VETERINARY HOSPITAL	VETERINARY SERVICES	3,803.56
364885 HILLS PET NUTRITION	ANIMAL FOOD	2,622.10
364909 MWI VETERINARY SUPPLY CO	VETERINARY SUPPLIES	2,178.90
364919 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	1,169.83

219 Recreation Fund

Non Departmental

364789 HUB INTERNATIONAL OF CA INSURANCE	FACILITY INSURANCE	604.90
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364861	CONTRA COSTA COUNTY *	DEPOSIT REFUND	500.00
364933	SILENT PARTNER PRIVATE SECURITY	SECURITY SERVICES	2,350.00
364946	VASQUEZ, ANNA	DEPOSIT REFUND	1,000.00
Recreation Admin			
364805	OAKLEYS PEST CONTROL	PEST CONTROL SERVICES	225.00
364919	PACIFIC GAS AND ELECTRIC CO	ELECTRIC	3,656.26
Senior Programs			
364766	CCC FIRE PROTECTION DISTRICT	PUBLIC ASSY PERMIT	607.00
364919	PACIFIC GAS AND ELECTRIC CO	ELECTRIC	2,437.50
927641	ICR ELECTRICAL CONTRACTORS	ELECTRICAL SERVICES	592.75
Recreation Sports Programs			
364754	BANK OF AMERICA	SUPPLIES	372.86
364805	OAKLEYS PEST CONTROL	PEST CONTROL SERVICES	150.00
364919	PACIFIC GAS AND ELECTRIC CO	ELECTRIC	2,208.87
Recreation-New Comm Cntr			
364748	AT AND T MCI	PHONE	66.61
364754	BANK OF AMERICA	EQUIPMENT	5,907.61
364758	BAY BUILDING MAINTENANCE INC	JANITORIAL SERVICES	550.00
364770	DIABLO LIVE SCAN	FINGERPRINTING	80.00
364773	DUGAND, KARINA	CONTRACTOR PAYMENT	2,832.00
364805	OAKLEYS PEST CONTROL	PEST CONTROL SERVICES	250.00
364807	OFFICE MAX INC	OFFICE SUPPLIES	46.80
364810	PACIFIC GAS AND ELECTRIC CO	ELECTRIC	8,646.42
364822	STATE OF CALIFORNIA	FINGERPRINTING	258.00
364837	ACME SECURITY SYSTEMS	GATE REPAIR SERVICE	347.50
364862	CCC FIRE PROTECTION DISTRICT	OPERATIONAL PERMIT	607.00
364864	CPR FAST	CONTRACTOR PAYMENT	204.00
364870	DELTA KAYAK ADVENTURES	TEEN KAYAK EVENT	204.00
364878	GARDA CL WEST INC	ARMORED CAR PICK UP	211.95
364894	KOVALICK, LUANNE	CONTRACTOR PAYMENT	516.84
364917	PACHECO BROTHERS GARDENING INC	LANDSCAPE SERVICES	3,746.75
364922	PARSONS, LAURA	CLASS REFUND	128.00
927639	GRAINGER INC	SUPPLIES	1,007.55
222 Measure C/J Fund			
Streets			
364775	ECONOMIC AND PLANNING SYSTEMS INC	PROFESSIONAL SERVICES	6,970.50
225 Tidelands AB1900 Fund			
Parks & Open Space			
364879	GARLAND AND ASSOCIATES	CONSULTING SERVICES	5,000.00
226 Solid Waste Reduction Fund			
Solid Waste Used Oil			
364822	STATE OF CALIFORNIA	FINGERPRINTING	32.00
Solid Waste			
364750	BANK OF AMERICA	LODGING-HAAS, J	137.78
364856	CONTRA COSTA COUNTY	GREEN BUSINESS ANNUAL FEE	800.00

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229 Pollution Elimination Fund

Channel Maintenance Operation

364782 FURBER SAW INC	SUPPLIES	63.17
364803 MJH EXCAVATING INC	EQUIPMENT RENTAL	4,445.00
364809 PACIFIC COAST LANDSCAPE MGMT INC	LANDSCAPE SERVICES	2,196.48
364823 STROLES TRI SERVICE	TIDAL GATES PROJECT	26,682.00
364824 TERMCO SPRAY TECHNOLOGY	NOZZLES	272.92
364905 MJH EXCAVATING INC	EQUIPMENT RENTAL	4,720.00
364918 PACIFIC COAST LANDSCAPE MGMT INC	LANDSCAPE SERVICES	2,562.56
364930 RMC WATER AND ENVIRONMENT	PROFESSIONAL SERVICES	462.00
364942 TERMCO SPRAY TECHNOLOGY	NOZZLES	51.02
364951 WRECO	PROFESSIONAL SERVICES	5,580.00

251 Lone Tree SLLMD Fund

Lonetree Maintenance Zone 1

364919 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	953.20
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Lonetree Maintenance Zone 2

364919 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	774.95
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252 Downtown SLLMD Fund

Downtown Maintenance

364919 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	285.06
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253 Almondridge SLLMD Fund

Almondridge Maintenance

364919 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	227.68
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254 Hillcrest SLLMD Fund

Hillcrest Maintenance Zone 1

364919 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	1,035.54
364934 SILVA LANDSCAPE	LANDSCAPE SERVICES	2,736.00

Hillcrest Maintenance Zone 2

364919 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	808.00
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Hillcrest Maintenance Zone 4

364809 PACIFIC COAST LANDSCAPE MGMT INC	LANDSCAPE SERVICES	2,745.60
364918 PACIFIC COAST LANDSCAPE MGMT INC	LANDSCAPE SERVICES	4,392.96
364919 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	681.91
364934 SILVA LANDSCAPE	LANDSCAPE SERVICES	3,420.00

255 Park 1A Maintenance District Fund

Park 1A Maintenance District

364919 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	202.71
364948 WABASH VALLEY MANUFACTURING INC	PARK EQUIPMENT	2,270.29

256 Citywide 2A Maintenance District Fund

Citywide 2A Maintenance Zone 3

364919 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	83.64
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Citywide 2A Maintenance Zone 4

364919 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	331.69
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Citywide 2A Maintenance Zone 5

364919 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	472.73
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Citywide 2A Maintenance Zone 6		
364919	PACIFIC GAS AND ELECTRIC CO	ELECTRIC 249.15
Citywide 2A Maintenance Zone 9		
364919	PACIFIC GAS AND ELECTRIC CO	ELECTRIC 520.15
Citywide 2A Maintenance Zone 10		
364919	PACIFIC GAS AND ELECTRIC CO	ELECTRIC 128.56
257 SLLMD Administration Fund		
SLLMD Administration		
364937	STATE OF CALIFORNIA	RENEWAL-BECHTHOLDT 420.00
311 Capital Improvement Fund		
Parks & Open Space		
364930	RMC WATER AND ENVIRONMENT	PROFESSIONAL SERVICES 3,781.50
Energy Efficiency		
364929	RISING SUN ENERGY CENTER	CYES SERVICES 5,000.00
312 Prewett Family Park Fund		
Parks & Open Space		
364819	SIERRA VALLEY CONSTRUCTION INC	SPRAY GROUND PROJECT 264,432.02
927627	KARSTE CONSULTING INC	PROFESSIONAL SERVICES 2,160.00
319 Residential Dev Alloc Fund		
Non Departmental		
364821	SPARKS SOLUTIONS	PROFESSIOANAL SERVICES 7,500.00
376 Lone Diamond Fund		
Assessment District		
364850	CENTRAL SELF STORAGE ANTIOCH	STORAGE FEES 189.00
416 Honeywell Capital Lease Fund		
Non Departmental		
364845	BANK OF AMERICA	LOAN PAYMENT 44,462.59
570 Equipment Maintenance Fund		
Non Departmental		
364790	HUNT AND SONS INC	FUEL 18,581.63
Equipment Maintenance		
364746	ANTIOCH AUTO PARTS	FILTERS 1,010.24
364755	BANK OF AMERICA	SUPPLIES 1,273.27
364762	CHUCKS BRAKE AND WHEEL SERVICE INC	HITCH MOUNT 68.67
364779	FAST UNDERCAR	ROTORS 145.42
364804	MUNICIPAL POOLING AUTHORITY	VEHICLE INSURANCE 92.95
364807	OFFICE MAX INC	OFFICE SUPPLIES 134.83
364814	RED WING SHOE STORE	SAFETY SHOES-ALVAREZ 224.55
364816	RELIABLE MOBILE AUTOMOTIVE	TRANSMISSION 3,420.05
364836	ACE HARDWARE, ANTIOCH	SUPPLIES 15.84
364843	ANTIOCH AUTO PARTS	FILTERS 698.06
364847	BILL BRANDT FORD	GASKETS 473.35
364904	MICHAEL STEAD WALNUT CREEK	DOOR PANEL 439.33
364919	PACIFIC GAS AND ELECTRIC CO	ELECTRIC 820.40
364923	PETERSON	COOLANT 83.78
364926	PURSUIT NORTH	SUPPLIES 299.46

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364938 SUPERIOR AUTO PARTS	WHEEL WEIGHTS	104.56
364949 WALNUT CREEK FORD	BRAKE PARTS STOCK	992.70
927636 BIG SKY ENTERPRISES INC	WASTE DISPOSAL	165.00
573 Information Services Fund		
Information Services		
927622 CDW GOVERNMENT INC	POWER ADAPTER	19.62
Network Support & PCs		
364763 COMCAST	INTERNET SERVICE	136.69
Telephone System		
364748 AT AND T MCI	PHONE	338.81
611 Water Fund		
Non Departmental		
364746 ANTIOCH AUTO PARTS	SUPPLIES	2,054.54
364757 BAY AREA BARRICADE	SUPPLIES	441.46
364807 OFFICE MAX INC	OFFICE SUPPLIES	1,682.54
364832 WESCO RECEIVABLES CORP	SUPPLIES	73.78
364834 WILCO SUPPLY	SUPPLIES	576.99
364843 ANTIOCH AUTO PARTS	SUPPLIES	816.85
364875 FASTENAL CO	SUPPLIES	187.70
364931 ROBERTS AND BRUNE CO	SUPPLIES	21,215.81
927624 GRAINGER INC	SUPPLIES	391.63
927625 HAMMONS SUPPLY COMPANY	SUPPLIES	806.29
927640 HAMMONS SUPPLY COMPANY	SUPPLIES	115.89
Water Production		
364743 ACE HARDWARE, ANTIOCH	SUPPLIES	150.44
364746 ANTIOCH AUTO PARTS	CABLES	50.84
364747 ARC ALTERNATIVES	CONSULTING SERVICES	1,598.63
364748 AT AND T MCI	PHONE	133.16
364760 BLANKINSHIP AND ASSOCIATES INC	PROFESSIONAL SERVICES	2,093.75
364781 FISHER SCIENTIFIC COMPANY	LAB SUPPLIES	245.18
364802 MEDORA CORP	EQUIPMENT SERVICE	13,045.00
364810 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	222.29
364814 RED WING SHOE STORE	SAFETY SHOES-NG	250.00
364815 REINHOLDT ENGINEERING CONSTR	FUEL TANK TEST	960.00
364822 STATE OF CALIFORNIA	FINGERPRINTING	32.00
364825 THATCHER COMPANY OF CALIFORNIA INC	HYDROFLUOSILICIC ACID	9,794.72
364831 WALTER BISHOP CONSULTING	PROFESSIONAL SERVICES	4,235.24
364836 ACE HARDWARE, ANTIOCH	BATTERY	3.23
364863 CONTRA COSTA WATER DISTRICT	RAW WATER	1,194,191.53
364875 FASTENAL CO	SUPPLIES	3.98
364919 PACIFIC GAS AND ELECTRIC CO	GAS	174,437.17
927621 AIRGAS SPECIALTY PRODUCTS	AMMONIA	2,000.90
927623 CHEMTRADE CHEMICALS US LLC	ALUM	9,956.63
927624 GRAINGER INC	BINOCULAR	205.79
927626 ICR ELECTRICAL CONTRACTORS	ELECTRICAL SERVICES	478.60
927628 OLIN CHLOR ALKALI PRODUCTS	CAUSTIC	9,776.48

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927629	SIERRA CHEMICAL CO	CHLORINE	4,402.55
927632	TELFER PAVEMENT TECHNOLOGIES LLC	SAND BAGS	218.00
927633	AIRGAS SPECIALTY PRODUCTS	AMMONIA	1,956.70
927637	CHEMTRADE CHEMICALS US LLC	ALUM	2,504.69
927638	EUROFINS EATON ANALYTICAL INC	MONITORING	1,465.00
927639	GRAINGER INC	SUPPLIES	591.01
927648	OLIN CHLOR ALKALI PRODUCTS	CAUSTIC	4,896.08
Water Distribution			
364746	ANTIOCH AUTO PARTS	PIPE & FITTINGS	185.47
364749	BACKFLOW APPARATUS AND VALVE CO	FITTINGS	1,817.85
364755	BANK OF AMERICA	BANNERS	361.79
364778	EXPRESS SERVICES	CONTRACTOR PAYMENT	511.59
364793	INFOSEND INC	POSTAGE	6,641.09
364806	OCCUPATIONAL HEALTH CENTERS	MEDICAL VACCINE	105.50
364807	OFFICE MAX INC	OFFICE SUPPLIES	657.83
364817	ROBERTS AND BRUNE CO	PIPE & FITTINGS	11,392.12
364822	STATE OF CALIFORNIA	FINGERPRINTING	49.00
364828	TRENCH PLATE RENTAL CO INC	EQUIPMENT RENTAL	835.50
364868	DELTA DIABLO	RECYCLED WATER	9,556.72
364900	LONE TREE TRUCKING INC	SAND	2,627.67
364931	ROBERTS AND BRUNE CO	PIPE & FITTINGS	1,056.79
364944	TRENCH PLATE RENTAL CO INC	EQUIPMENT RENTAL	210.00
927622	CDW GOVERNMENT INC	SOFTWARE	147.50
927624	GRAINGER INC	SUPPLIES	1,140.53
927643	KARSTE CONSULTING INC	CONSULTING SERVICES	1,837.50
Water Meter Reading			
364787	HOME DEPOT, THE	LIGHTS	427.73
364807	OFFICE MAX INC	OFFICE SUPPLIES	11.61
364910	NATIONAL METER & AUTOMATION INC	WATER METERS	3,657.08
Public Buildings & Facilities			
364788	HONEYWELL INTERNATIONAL INC	BOILER REPAIR	15,000.00
364833	WEST YOST ASSOCIATES INC	CONSULTING SERVICES	6,220.00
364841	ANCHOR CONCRETE CONSTRUCTION INC	CONCRETE WALL	3,800.00
Warehouse & Central Stores			
927624	GRAINGER INC	SUPPLIES	62.36
612 Water System Improvement Fund			
Water Systems			
364742	A S PIPELINES INC	WATER MAIN PROJECT	47,623.50
621 Sewer Fund			
Sewer-Wastewater Collection			
364743	ACE HARDWARE, ANTIOCH	SMALL TOOLS	35.87
364751	BANK OF AMERICA	ADVERTISEMENT	755.00
364755	BANK OF AMERICA	BANNERS	114.37
364768	CWEA SFBS	RENEWAL-BEACH	172.00
364770	DIABLO LIVE SCAN	FINGERPRINTING	20.00
364774	DUKES ROOT CONTROL INC	ROOT CONTROL SERVICE	4,736.00

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364778 EXPRESS SERVICES	CONTRACTOR PAYMENT	511.60
364782 FURBER SAW INC	EQUIPMENT	584.82
364793 INFOSEND INC	POSTAGE	6,641.05
364807 OFFICE MAX INC	OFFICE SUPPLIES	690.15
364814 RED WING SHOE STORE	SAFETY SHOES-WENTZELL	223.95
364818 RYANGUARD PROTECTIVE MATERIALS INC	EQUIPMENT RENTAL/SUPPLIES	476.71
364822 STATE OF CALIFORNIA	FINGERPRINTING	98.00
364828 TRENCH PLATE RENTAL CO INC	EQUIPMENT RENTAL	835.50
364900 LONE TREE TRUCKING INC	SAND	2,627.68
364939 SYAR INDUSTRIES INC	STREET SUPPLIES	254.74
364944 TRENCH PLATE RENTAL CO INC	EQUIPMENT RENTAL	210.00
927622 CDW GOVERNMENT INC	SOFTWARE	147.50
631 Marina Fund		
Non Departmental		
364826 THOMPSON, EDWARD	DEPOSIT REFUND	234.46
Marina Administration		
364755 BANK OF AMERICA	FUEL CALIBRATION	250.00
364756 BAY AREA AIR QUALITY MANAGEMENT DIST	OPERATING PERMIT RENEWAL	205.00
364813 RECREATION PUBLICATIONS	SEPT ADVERTISEMENT	670.00
364919 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	3,592.92
Marina Maintenance		
364811 PFLUEGER, MATTHEW JAMES	EXPENSE REIMBURSEMENT	36.47
Major Projects		
364788 HONEYWELL INTERNATIONAL INC	HVAC SERVICE	1,122.09
641 Prewett Water Park Fund		
Non departmental		
364789 HUB INTERNATIONAL OF CA INSURANCE	FACILITY INSURANCE	875.51
Recreation Water Park		
364745 AMERICAN PLUMBING INC	PLUMBING SERVICES	1,385.00
364754 BANK OF AMERICA	SUPPLIES	1,913.01
364758 BAY BUILDING MAINTENANCE INC	JANITORIAL SERVICES	1,500.00
364805 OAKLEYS PEST CONTROL	PEST CONTROL SERVICES	200.00
364822 STATE OF CALIFORNIA	FINGERPRINTING	147.00
364830 UNIVAR USA INC	CHEMICALS	843.61
364862 CCC FIRE PROTECTION DISTRICT	OPERATIONAL PERMIT	425.00
364877 FURBER SAW INC	SUPPLIES	627.11
364878 GARDA CL WEST INC	ARMORED CAR PICK UP	211.96
364893 KNORR SYSTEMS INC	SUPPLIES	286.92
364912 OAKLEYS PEST CONTROL	PEST CONTROL SERVICES	200.00
364913 OFFICE MAX INC	OFFICE SUPPLIES	1,235.73
364916 ORIGINAL WATERMAN	SUPPLIES	1,218.73
364917 PACHECO BROTHERS GARDENING INC	LANDSCAPE SERVICES	2,596.25
364919 PACIFIC GAS AND ELECTRIC CO	GAS	14,809.14
364945 UNIVAR USA INC	CHEMICALS	282.18
364952 ZEBEC OF NORTH AMERICA INC	SLIDE EQUIPMENT	1,140.00

Prepared by: Georgina Meek
 Finance Accounting

CITY OF ANTIOCH
 CLAIMS BY FUND REPORT
 FOR THE PERIOD OF
 SEPTEMBER 16-29, 2016
 FUND/CHECK#

721 Employee Benefits Fund

Non Departmental

364835 24 HOUR FITNESS #00803	PAYROLL DEDUCTIONS	27.00
364838 AFLAC	PAYROLL DEDUCTIONS	7,232.84
364849 CALFIT OAKLEY	PAYROLL DEDUCTIONS	20.00
364858 CONTRA COSTA COUNTY	PAYROLL DEDUCTIONS	400.00
364865 CSAC EXCESS INSURANCE AUTHORITY	PAYROLL DEDUCTIONS	2,976.00
364871 DIAMOND HILLS SPORT CLUB	PAYROLL DEDUCTIONS	59.00
364884 EMPLOYEE	PAYROLL DEDUCTIONS	198.47
364888 IN SHAPE HEALTH CLUBS	PAYROLL DEDUCTIONS	642.00
364889 INTERNAL REVENUE SERVICE	PAYROLL DEDUCTIONS	60.00
364899 LINA	PAYROLL DEDUCTIONS	5,804.10
364907 MUNICIPAL POOLING AUTHORITY	PAYROLL DEDUCTIONS	3,045.41
364914 OPERATING ENGINEERS LOCAL NO 3	PAYROLL DEDUCTIONS	3,192.00
364915 OPERATING ENGINEERS TRUST FUND	PAYROLL DEDUCTIONS	12,277.37
364921 PARS	PAYROLL DEDUCTIONS	3,474.06
364925 PUBLIC EMPLOYEES UNION LOCAL 1	PAYROLL DEDUCTIONS	2,799.34
364936 STANDARD LIFE INSURANCE	PAYROLL DEDUCTIONS	748.00
927634 ANTIOCH PD SWORN MGMT ASSOC	PAYROLL DEDUCTIONS	625.50
927635 APOA	PAYROLL DEDUCTIONS	12,685.43
927647 NATIONWIDE RETIREMENT SOLUTIONS	PAYROLL DEDUCTIONS	53,481.82
927652 VANTAGEPOINT TRANSFER AGENTS	PAYROLL DEDUCTIONS	7,788.47



STAFF REPORT TO THE CITY COUNCIL

DATE: Regular Meeting of October 11, 2016

TO: Honorable Mayor and Members of the City Council

SUBMITTED BY: Teri House, CDBG/Housing Consultant *TH*

APPROVED BY: Forrest Ebbs, Director of Community Development *FE*

SUBJECT: Proposed Financing Delta Pines Apartments through the Issuance of Bonds by the California Statewide Communities Development Authority ("CSCDA")

RECOMMENDED ACTION

It is recommended that the City Council adopt the Resolution approving the issuance of bonds by the CSCDA to finance the acquisition and rehabilitation of Delta Pines Apartments by Levy Affiliated Holdings (Levy Affiliated).

STRATEGIC PURPOSE

This action supports Strategy C-1 of the Citywide Strategic Plan: Improve existing community partnerships and realize new partnerships to help improve neighborhoods and reduce blight.

FISCAL IMPACT

This action has no fiscal impact to the City of Antioch, as the developer is not requesting City subsidy for the project.

DISCUSSION

This Public Hearing is a required component of the Tax Equity and Fiscal Responsibility Act (TEFRA) of 1982. A TEFRA Public Hearing is mandated by the IRS before the Governor can approve the issuance of tax-exempt debt. The purpose of this TEFRA hearing is to provide a reasonable opportunity for interested residents of Antioch to express their views, either orally or in writing, on the issuance of bonds for the project outlined in this report.

These bonds will not be issued by the City of Antioch. Levy Affiliated has submitted to the California Statewide Communities Development Authority (the "Authority") an application for the financing of the Delta Pine Apartments through the issuance of tax-exempt obligations in an aggregate principal amount not to exceed \$35 million. The Authority is a joint exercise of powers authority comprised of over 500 California cities, counties and special districts, including the City. The Authority, pursuant to its Amended and Restated Joint Exercise of Powers Agreement, is authorized to assist in the financing of facilities for multifamily housing projects. In order to initiate such a financing, the member participant of the Authority in which the proposed facilities will be

located must conduct a public hearing and approve the Authority's issuance of indebtedness. Therefore, although the Authority will be the issuer of the tax-exempt revenue obligations for the Applicant, the financing cannot proceed without the City's approval of the financings.

The proposed project does not create additional affordable housing in the City, but upgrades and enhances existing affordable housing.

Proposed Project

Levy Affiliated is proposing to purchase and rehabilitate Delta Pines Apartments, located at 2301 Sycamore Drive in Antioch. This apartment complex consists of 186 units of affordable family housing, which was initially allocated Federal Tax Credits in 1999. The period of affordability presently expires in 2030. These apartments are currently exclusively for residents earning 60% of the area median income, and are part of the City's existing affordable housing stock for lower income families.

Delta Pines Apartments is an affordable multi-family apartment community originally constructed in the 1973. The 7.29-acre site consists of 21 residential structures, one office building and community building, and a total of 186 units. Of these, 112 are affordable one bedroom, one bath units, 60 are two-bedroom, one bath units, and 13 are three-bedroom, 2 bath units, plus one 1-bedroom manager's unit. There currently are no disabled accessible units on site. After rehabilitation, ten percent of the units will be accessible for disabled persons. Current site amenities include a pool, covered parking, a playground and a basketball court. Unit amenities include central air conditioning, balcony/patio, dishwasher, garbage disposal, coat closet and fireplace (some units).

The acquisition and rehabilitation of Delta Pines is projected at \$30 million. Proposed renovations at Delta Pines Apartments are projected at \$7 million and include the following:

- Following the renovation, the property will have the following amenities: community room, one pool, a basketball court, courtesy patrol service, security gates, and common laundry rooms.
- In the kitchens, new cabinets, countertops, EnergyStar appliances, sinks, and EnergyStar lighting fixtures.
- New floors, high efficiency water heaters, wall heaters, air conditioning units, door hardware, and lighting fixtures throughout all units.
- Developer will ensure that there are accessible paths of travel and that all community areas are accessible to persons with mobility challenges.
- Patching and painting all exteriors, parking upgrades, parking lot resealing, walkway repairs, and landscaping upgrades to minimize water usage.
- Planned renovation will reduce energy usage by more than 15%.

Developer

Levy Affiliated is a California-based real estate company that acquires and manages assets throughout the United States with an emphasis on California and the Southwest. Levy Affiliated was founded in 1988 by Shaoul J. Levy. Over the last 15 years, Levy Affiliated has sourced, negotiated and executed 90 transactions totaling nearly \$900 million across various property types and financing structures. The Company's current portfolio of 50 properties has an estimated market value of over \$700 million, containing a mix of retail centers, office buildings and apartment complexes, ranging from Hawaii to North Carolina, but largely concentrated in Southern California.

In Alameda and Contra Costa counties, Levy Affiliated has purchased and rehabilitated Garden Villas Apartments, 9914 98th Avenue Court, Oakland in 2009, and Liberty Village Apartments, 298 W Chanslor Avenue, Richmond. In Antioch, the company has purchased and is underway with renovations to Casa Blanca Apartments, 115 units of affordable housing.

ATTACHMENT

A. Resolution

RESOLUTION NO. 2016/**

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ANTIOCH
APPROVING THE ISSUANCE BY THE CALIFORNIA STATEWIDE COMMUNITIES
DEVELOPMENT AUTHORITY OF MULTIFAMILY HOUSING REVENUE BONDS FOR
DELTA PINES APARTMENTS**

WHEREAS, the California Statewide Communities Development Authority (the "Authority") is authorized pursuant to the provisions of California Government Code Section 6500 et seq. and the terms of an Amended and Restated Joint Exercise of Powers Agreement, dated as of June 1, 1988 (the "Agreement"), among certain local agencies throughout the State of California, including the City of Antioch (the "City"), to issue revenue bonds in accordance with Chapter 7 of Part 5 of Division 31 of the California Health and Safety Code for the purpose of financing multifamily rental housing projects; and

WHEREAS, LIH Delta Pines Antioch, LP or a partnership created by Levy Affiliated Holdings (the "Developer"), consisting at least of the Developer or a related person to the Developer and one or more limited partners, has requested that the Authority adopt a plan of financing providing for the issuance of multifamily housing revenue bonds (the "Bonds") in one or more series issued from time to time, including bonds issued to refund such revenue bonds in one or more series from time to time, and at no time to exceed \$35,000,000 in outstanding aggregate principal amount, to finance the acquisition and rehabilitation of a 186-unit multifamily rental housing project located at 2301 Sycamore Drive, Antioch, California, generally known as Delta Pines Apartments (the "Project") and operated by Platinum Realty Management, Inc.; and

WHEREAS, the Bonds or a portion thereof will be "private activity bonds" for purposes of the Internal Revenue Code of 1986 (the "Code"); and

WHEREAS, pursuant to Section 147(f) of the Code, prior to their issuance, private activity bonds are required to be approved by the "applicable elected representative" of the governmental units on whose behalf such bonds are expected to be issued and by a governmental unit having jurisdiction over the entire area in which any facility financed by such bonds is to be located, after a public hearing held following reasonable public notice; and

WHEREAS, the members of this City Council (this "City Council") are the applicable elected representatives of the City of Antioch (the "City"); and

WHEREAS, there has been published, at least 14 days prior to the date hereof, in a newspaper of general circulation within the City, a notice that a public hearing regarding the Bonds would be held on a date specified in such notice; and

WHEREAS, such public hearing was conducted on such date, at which time an opportunity was provided to interested parties to present arguments both for and against the issuance of the Bonds; and

RESOLUTION NO. 2016/**

October 11, 2016

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WHEREAS, the Authority is also requesting that the City Council approve the issuance of any refunding bonds hereafter issued by the Authority for the purpose of refinancing the Bonds which financed the Project (the "Refunding Bonds"), but only in such cases where federal tax laws would not require additional consideration or approval by the City Council; and

WHEREAS, it is intended that this resolution shall constitute the approval of the issuance of the Bonds required by Section 147(f) of the Code and Section 9 of the Agreement;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ANTIOCH AS FOLLOWS:

Section 1. The above recitals are true and correct.

Section 2. The City Council hereby approves the issuance of the Bonds and the Refunding Bonds by the Authority. It is the purpose and intent of the City Council that this resolution constitutes approval of the Bonds for the purposes of (a) Section 147(f) of the Code and (b) Section 9 of the Agreement.

Section 3. The officers of the City are hereby authorized and directed, jointly and severally, to do any and all things and to execute and deliver any and all documents that they deem necessary or advisable in order to carry out, give effect to and comply with the terms and intent of this resolution and the financing approved hereby.

Section 4. This resolution shall take effect immediately upon its passage.

I HEREBY CERTIFY that the foregoing resolution was passed and adopted by the City Council of the City of Antioch at a regular meeting thereof, held on the 11th day of October, 2016, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

ARNE SIMONSEN
CITY CLERK OF THE CITY OF ANTIOCH



STAFF REPORT TO THE CITY COUNCIL

DATE: Regular Meeting of October 11, 2016

TO: Honorable Mayor and Members of the City Council

SUBMITTED BY: Kevin Valente, Contract Planner

APPROVED BY: Forrest Ebbs, Community Development Director *FE*

SUBJECT: Vineyard Self-Storage Facility (PD-16-02) (UP-16-06), (AR-16-03)

RECOMMENDED ACTION

It is recommended that the City Council take the following actions:

1. Adopt the Resolution recommending approval of the Vineyard Self-Storage Facility Initial Study / Mitigated Negative Declaration and Mitigation Monitoring and Report Program for the Project.
2. Introduce the ordinance rezoning the project site from Planned Business Center (PBC) to Planned Development District (PD-16-02).
3. Adopt the Resolution recommending approval of a use permit (UP-16-06) and design review (AR-16-03), subject to conditions of approval.

STRATEGIC PURPOSE

This action will forward Long Term Goal G: Planning, Entitlements, and Permitting, by providing consistent and efficient entitlement, permitting, and development services to the public.

FISCAL IMPACT

The action does not directly impact the City budget. All improvements and infrastructure necessary to facilitate the development will be funded by the applicant.

DISCUSSION

Requested Approvals

The applicant, Steve Hamilton from Hamilton Solar, requests approval of an Initial Study / Mitigated Negative Declaration, a rezone to Planned Development District (PD), a Use Permit, and Design Review approval of a self-storage and boat and RV storage facility located directly northwest of the intersection of East 18th Street and Vineyard Drive (APNs 051-052-074, -075, -076, and -077) (Attachment "D"). Each request is described in detail below:

1. Mitigated Negative Declaration: The Planning Commission must recommend approval of the Initial Study/Mitigated Negative Declaration to City Council prior to taking action on the other resolutions for the project.
2. Rezoning to Planned Development District (PD-16-02): The proposed rezone would create a Planned Development District for a self-storage and boat and RV storage facility. The PD District will effectively become the Zoning Code for the project area.
3. Use permit (UP-16-06): The proposed use permit would be for the construction of a 1,390 square foot (sf) office building, 100,943 sf of self-storage space, and approximately 70,600 sf of outdoor boat and RV storage space. The Zoning Ordinance requires that a use permit be approved prior to the construction of any phase of an approved PD district.
4. Design review (AR-16-03): Design review of the project's architecture, design and landscaping.

Background Information

The project site is located within the Eastern Waterfront Employment Focus Area of the City of Antioch General Plan. In 2001 the City of Antioch adopted the East Eighteenth Street Specific Plan and an associated Initial Study / Mitigated Negative Declaration to guide future development of the Eastern Waterfront Employment Focus Area.

The proposed property is comprised of four separate parcels. The parcels are titled in the same name(s), are in the same jurisdictional boundary (city limits), and are contiguous. The proposed project would require approval of a lot merger of four parcels into one from the City of Antioch Engineering Division. The site currently consists of undeveloped vacant land with ruderal vegetation. The site is split into multiple terraced levels that reflect previous agricultural uses of the site.

Planning Commission Recommendation

On September 21, 2016, the Planning Commission recommended all requested entitlements for the project be approved by City Council. The Planning Commission minutes are included as Attachment "E" to this staff report.

Environmental

In accordance with CEQA, a Mitigated Negative Declaration was prepared and determined all significant environmental impacts would be mitigated to a less-than-significant level with incorporation of mitigation (Attachment "F"). A copy of the Mitigated Negative Declaration is available for review Monday through Friday, at the Community Development Department, between the hours of 8:00 a.m. and 11:30 a.m.,

or by appointment. The Mitigated Negative Declaration is available online at <http://ci.antioch.ca.us/CityGov/CommDev/PlanningDivision/Environmental-docs.htm>.

Project Overview

The proposed project would include the construction and operation of a 1,390 sf office building, six structures totaling 100,943 sf of self-storage space, and approximately 70,600 sf of outdoor boat and RV storage space (Attachment "G"). The square footage of each self-storage building is as follows:

- Building A – 36,522 sf;
- Building B – 17,300 sf;
- Building C – 5,363 sf;
- Building D – 9,788 sf;
- Building E – 12,902 sf; and
- Building F – 19,068 sf.

The office and main storage building (identified as "Building A"), which would be located adjacent to East 18th Street, would be two-stories tall and serviced by a freight elevator with an internal mast. Four of the self-storage facility buildings would be single-story structures, and one would be a split-level structure intended to maximize usable space on the existing terraced landscape that would be constructed on an existing slope. The number of self-storage units has not been finalized, but would be based on a final configuration and unit mix, not to exceed 999 units. The outdoor boat and RV storage would accommodate 95 to 100 parking stalls on the northern end of the property; however, a reconfiguration of the space based on the size and ratio of boats to RVs could result in a maximum of 150 boat and RV parking stalls.

The perimeter of the property would be enclosed by eight-foot tall fencing and access to the site would be through a private motorized gate on Vineyard Drive. Designated parking spaces would be provided outside the manager's office and main two-story storage building. Drive-up parking would be provided for the remaining five storage buildings. The proposed project would include a 30 kw solar photovoltaic array, consisting of 114 south-facing solar panels with a 2.4-degree tilt connected to one 24 kW inverter to be installed on the split-level storage building, designated as "Building B".

Consistency with the General Plan, Specific Plan and Zoning

The subject property is located within the Eastern Waterfront Employment Focus Area of the General Plan. The project site is currently zoned Planned Business Center (PBC), which does not allow for self-storage usage. However, in 2001 the City of Antioch adopted the East Eighteenth Street Specific Plan to guide future development of the Eastern Waterfront Employment Focus Area, which designated the site Office and Light Industry (O/LI). The East Eighteenth Street Specific Plan determined the uses allowed in O/LI are consistent with the Citywide Light Manufacturing Zoning

District (M-1). Self-storage and RV/boat storage are conditionally permitted uses within the M-1 district of the Antioch Zoning Code. Therefore, the proposed project's uses would be conditionally permitted with approval of a use permit.

Proposed Planned Development (PD) Standards

Consistent with the requirements of the East Eighteenth Street Specific Plan, the proposed project includes a request for a Planned Development (PD) Rezone. PD districts encourage the use of flexible development standards designed to appropriately integrate a project into its natural and/or man-made setting and the City of Antioch uses the PD process to implement the various Specific Plans adopted by the City. Furthermore, the Antioch Zoning Ordinance requires that a use permit be approved prior to the construction of any phase of an approved PD district.

The PD zone as proposed by the applicant would permit the following types of uses by right:

- Mini-storage
- Boat, RV – storage facility

The applicant's requested PD District standards and regulations are as follows:

Proposed PD-District Development Standards

Standard	Standard M-1 Zoning	Proposed PD Zoning
Minimum Lot Size	40,000 sq. ft.	20,000 sq. ft.
Minimum Lot Width	Interior lot: 100 feet Corner lot: 100 feet	Interior lot: 100 feet Corner lot: 100 feet
Minimum Front Yard Setbacks	30 feet	30 feet
Minimum Side Yard Setbacks	Interior: 0 feet Street Side: <ul style="list-style-type: none"> • <u>Arterial street</u> - minimum 30 foot setback with 30 foot landscaping on all frontages. • <u>Collector street</u> - minimum 25 foot setback with 25 foot landscaping. • <u>Local street</u> - minimum 20 foot setback with 20 foot landscaping 	Interior: 0 feet Street Side: <ul style="list-style-type: none"> • <u>Arterial street</u> - minimum 30 foot setback with 30 foot landscaping on all frontages. • <u>Collector street</u> - minimum 25 foot setback with 25 foot landscaping. • <u>Local street</u> - minimum 20 foot setback with 20 foot landscaping
Minimum Rear Yard Setbacks	0 feet	0 feet
Maximum Building Height	45 feet	30 feet
Maximum Lot Coverage	50%	35%
Parking	By use, per requirements of	11 spaces

Standard	Standard M-1 Zoning	Proposed PD Zoning
	Section 9-5.1703.1	
Signs Maximum sign area	The maximum allowable sign area shall be as follows 1) Two square feet for each lineal foot of building frontage; and 2) Not to exceed 200 square feet.	The maximum allowable sign area shall be as follows 1) Two square feet for each lineal foot of building frontage; and 2) Not to exceed 200 square feet.
Signs permitted	The following signs shall be permitted: 1) Wall signs; 2) Ground signs; and 3) Symbols. An additional 25 square feet shall be permitted above the maximum allowable area when reviewed and approved by the Design Review Board.	The following signs shall be permitted: 1) Wall signs; 2) Ground signs; and 3) Symbols. An additional 25 square feet shall be permitted above the maximum allowable area when reviewed and approved by the Design Review Board.

Infrastructure and Off-Site Improvements

The developer is required to provide all infrastructure necessary to serve the site. This includes utility tie-ins such as water, streets, sanitary sewer and storm drainage systems.

The project would connect to the existing water and storm drain systems in the Vineyard Drive right-of-way. In addition, the proposed stormwater system would include a bio-retention facility on the eastern edge of the site that would filter and release the majority of all on-site runoff. Any additional stormwater would flow through existing stormwater lines located in Vineyard Drive.

The East Eighteenth Street Specific Plan requires the construction of a new sewer line within Vineyard Drive right-of-way, which would connect with the existing stubbed sewer line within the future Sakurai Street alignment. The City of Antioch Engineering Division provided an alternate alignment for the sewer line known as Alternate "A" (Attachment "H"). The final sewer alignment for the proposed project has not yet been determined; therefore, both alignments are analyzed as a part of the proposed project. The East Eighteenth Street Specific Plan Initial Study / Mitigated Negative Declaration included the sewer line within the Vineyard Drive right-of-way; thus, the potential environmental impacts that could occur from the construction of the Specific Plan sewer line alignment have been previously analyzed.

Design Guidelines

The project is subject to the Citywide Design Guidelines and the design of the proposed project was peer reviewed by an outside architect, SDG Architects, Inc. to review compliance with the Guidelines (Attachment "I").

Materials

SDG Architects reviewed the proposed building materials, which includes Metal Siding, Hardie Reveal Panel, Glazing, and Plaster, and determined the materials are generally appropriate for the proposed Self Storage Facility and generally conform to the City of Antioch Commercial Design Guidelines.

Elevation Comments

Overall the elevation style and level of articulation are compatible with the Commercial Design Guidelines and will serve to enhance that area of the City. However, based on SDG Architects recommendation staff has included a condition of approval (COA L.1), which would require breaking up the long red horizontal element on the south elevation, second floor of Building A. COA L.1 is intended to provide a sense of visual interest and reduce the long horizontality of that portion of the elevation, which would be subject to the approval of the Community Development Director.

Colors

SDG Architects found the colors and associated materials proposed for the project are generally appropriate and generally conform to the City of Antioch Design Guidelines Section 3.2.13:

Site Layout

SDG Architects found the siting of the main and secondary buildings to generally conform to section 3-2.13 of the Commercial Design Guidelines and work well with the overall design. The elevation along East 18th Street provides visual interest and uses articulation to break down the massing of an otherwise large building.

In addition, staff has included a condition of approval (COA L.2), which would require the west and north perimeter fencing to be located on the west and north property lines. COA L.2 is intended to restrict public access to the drainage easements on the west and north site boundary while providing private access for the property owner to maintain the easements.

Summary

Staff is in agreement with the peer review conducted by SDG Architects and has determined the project is consistent with the following City of Antioch Design Guidelines related to self-storage facilities:

- 3.2.13. Self-Service Storage Facilities (P. 3-48):
 - B.2: The unit doors shall be screened from the view of the public right-of-way through the use of landscaping material or architectural design features.
 - C.1: Buildings shall be stylistically consistent on all sides and well articulated.

As a result, staff is satisfied with the overall proposed design of the Vineyard Self-Storage Facility with the implementation of COAs L.1 and L.2.

Public and Agency Comment

The City received several comment letters from public agencies relating to their requirements for the project. The relevant comments are included as conditions of approval in the attached resolution. The Planning Commission received the two following comment letters for the project.

Glen Wilson and Sam Reiter Comment Letter

The first comment letter received was from Glen Wilson and Sam Reiter, property owners of 1771 Vineyard Drive (Attachment "J"). Glen and Sam expressed concerns with the sanitary sewer alignment which will be constructed as part of the proposed project and the affect of the adopted Deferred Improvement Agreement on the surrounding property owners. In addition, the comment letter expressed concerns with traffic and circulation, land use, and aesthetics.

The previously adopted Deferred Improvement Agreement includes all properties along Vineyard Drive and requires the construction of sanitary sewer line and the paving of Vineyard Drive. Therefore, staff has included COA D.1 to require the applicant shall satisfy the terms of the Deferred Improvement Agreement entered into September 6, 1989 with the City of Antioch (Resolution No. 89/271, dated September 12, 1989), subject to review and approval by the City Engineer.

According to the Institute of Transportation Engineers (ITE) Trip Generation Manual, 9th Edition, trip rates for Mini Warehouses are 2.5 weekday trips per storage unit, and 0.02 for AM and PM peak hour trips per storage unit. Therefore, based on the ITE Manual, and as discussed on page 24 in the Air Quality section of the Mitigated Negative Declaration prepared for the proposed project, the project would be anticipated to generate a total of 287 Average Daily Trips (ADT), 23 AM peak hour trips, and 23 PM peak hour trips.

As discussed on page 49 in the Land Use and Planning section of the Mitigated Negative Declaration prepared for the proposed project, in 2001 the City of Antioch adopted the East Eighteenth Street Specific Plan to guide future development of the Eastern Waterfront Employment Focus Area, which designated the project site Office and Light Industry (O/LI). The East Eighteenth Street Specific Plan determined the uses allowed in O/LI are consistent with the Citywide Light Manufacturing Zoning District (M-1). Self-storage and RV/boat storage are conditionally permitted uses within the M-1 district of the Antioch Zoning Code. Therefore, the proposed project's uses would be conditionally permitted with approval of a use permit.

As described in more detail below, the project is subject to the Citywide Design Guidelines and the design of the proposed project was peer reviewed by an outside architect, SDG Architects, Inc. to review compliance with the Guidelines. With the implementation of COA L.1 and L.2, staff is in agreement with the peer review conducted by SDG Architects and has determined the project is consistent with the City of Antioch Design Guidelines related to self-storage facilities:

Karen Whitestone Comment Letter

The second comment letter received was from Karen Whitestone, a Conservation Analyst from the East Bay California Native Plant Society (Attachment "K"). Karen Whitestone states "the proposed project was determined to be exempt from CEQA and having no value for endangered, rare, or threatened species". However, the proposed project was not determined to be exempt from CEQA and a Mitigated Negative Declaration was prepared.

According to the Biological Resources section of the Mitigated Negative Declaration, a *Biological Resources Assessment* (BRA) was prepared for the proposed project by Rincon Consultants that included a site survey and review of results from a California Natural Diversity Database (CNDDDB) five-mile radius search of special-status species. As discussed on page 28 in the Biological Resources section of the Mitigated Negative Declaration, 45 special-status wildlife species are known to have occurred or have the potential to occur within the vicinity of the project site. However, special-status wildlife species were not detected during the BRA site survey or determined in the BRA to have a high likelihood of inhabiting the site due to the dominance of non-native grasses, the soil type of the site, the partially-disturbed status of the site, and the absence of water features and trees on the site. While the project site may not provide optimal habitat for any of the 45 identified special-status species, the BRA determined that burrowing owl (*Athene cunicularia*) and nesting birds which include Swainson's Hawk (*Buteo swainsoni*) and all migratory birds protected under the Federal Migratory Bird Treaty Act (MBTA), have a moderate potential of occurring on the site.

Therefore, because of the moderate potential for special-status and federally-protected nesting birds to be found on-site, Mitigation Measures IV-1 and IV-2, requiring pre-construction surveys conducted by a qualified wildlife biologist, have been included.

Implementation of Mitigation Measures IV-1 and IV-2 would reduce the impact to special-status and federally-protected nesting birds to a less-than-significant level.

ATTACHMENTS

- A: Resolution approving the Mitigated Negative Declaration for the Vineyard Self-Storage Project (Exhibit A – MMRP)
- B: Ordinance rezoning the 6.68-acre project site 6.68 (APNs 051-052-074, -075, -076, and -077) Planned Business District (PBC) To Planned Development District (PD-16-02) (Exhibit A – Legal Description)
- C: Resolution approving a Use Permit (UP-16-06) and Design Review (AR-16-03) for Vineyard Self-Storage Project
- D: Vicinity Map
- E: Draft Planning Commission Minutes
- F: Vineyard Self-Storage Facility Project Initial Study / Mitigated Negative Declaration
- G: Vineyard Self-Storage Facility Project Plans (dated April 20, 2016)
- H: Alternate "A" Sanitary Sewer Installation Plan and Profile
- I: Design Review – Peer Review Summary prepared by SDG Architects, Inc.
- J: September 7, 2016 letter from Glen Wilson and Sam Reiter
- K: September 7, 2016 letter from Karen Whitestone

ATTACHMENT "A"

RESOLUTION NO. 2016/**

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ANTIOCH ADOPTING A MITIGATED NEGATIVE DECLARATION FOR THE VINEYARD SELF-STORAGE PROJECT AS ADEQUATE FOR ADDRESSING THE ENVIRONMENTAL IMPACTS OF THE PROPOSED PROJECT

WHEREAS, the City Council of the City of Antioch did receive a request from Reid Hamilton, Hamilton Solar, for approval of an Initial Study / Mitigated Negative Declaration, a rezone to Planned Development District, a Use Permit, and Design Review for the development and operation of a 1,390 square foot office building, 100,943 square foot of self-storage space, and approximately 70,600 square foot of outdoor boat and RV storage space on 6.68 acres (PD-16-02, UP-16-06, AR-16-03). The project site is located directly northwest of the intersection of East 18th Street and Vineyard Drive (APNs 051-052-074, -075, -076, and -077); and,

WHEREAS, pursuant to the California Environmental Quality Act and City implementing procedures, an Initial Study and Mitigated Negative Declaration, to evaluate the potential environmental impacts of the Project has been prepared for the Vineyard Self-Storage project; and,

WHEREAS, measures specified in the Mitigation and Monitoring Reporting Program (MMRP) will be implemented to mitigate any adverse environmental impacts from the project; and,

WHEREAS, the Planning Commission gave notice of public hearing as required by law; and.

WHEREAS, on September 21, 2016, the Planning Commission held a public hearing on the matter, and received and considered evidence, both oral and documentary and recommended the City Council adopt the Final IS/MND and MMRP; and,

WHEREAS, the City Council gave notice of public hearing as required by law; and,

WHEREAS, on October 11, 2016, the City Council held a public hearing on the matter, and received and considered evidence, both oral and documentary; and,

NOW THEREFORE BE IT RESOLVED that the City Council does hereby make the following findings for adoption of the Final IS/MND and MMRP:

FINDING: The City Council of the City of Antioch hereby FINDS, on the basis of the whole record before it (including the Initial Study and all comments received) that:

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Page 2

- a. The City of Antioch exercised overall control and direction over the CEQA review for the Project, including the preparation of the Final Initial Study and Mitigated Negative Declaration, and independently reviewed the Final IS/MND and MMRP; and
- b. There is no substantial evidence that the Project will have a significant effect on the environment once mitigation measures have been followed and assuming approval of the Zoning Ordinance amendment; and
- c. The Final IS/MND and MMRP reflect the City's independent judgment and analysis.

NOW THEREFORE BE IT FURTHER RESOLVED that the City Council hereby adopts the Final IS/MND and MMRP for the Vineyard Self-Storage Facility.

* * * * *

I **HEREBY CERTIFY** that the foregoing resolution was adopted by the City Council of the City of Antioch at a regular meeting thereof held on the 11th day of October 2016, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

ARNE SIMONSEN
CITY CLERK OF THE CITY OF ANTIOCH

AZ

ATTACHMENT "B"

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF ANTIOCH TO REZONE TO PLANNED DEVELOPMENT DISTRICT (PD-16-02) FOR THE VINEYARD SELF-STORAGE PROJECT (APNs 051-052-074, -075, -076, and -077)

The City Council of the City of Antioch does ordain as follows:

SECTION 1:

The City Council determined on _____ that, pursuant to Section 15164 of the Guidelines of the California Environmental Quality Act, that the appropriate environmental document for the project is an Initial Study, Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program.

SECTION 2:

At its regular meeting of September 21, 2016, the Planning Commission recommended that the City Council adopt the Ordinance to rezone the subject property to Planned Development District (PD-16-02) for the Vineyard Self-Storage Project.

SECTION 3:

The real property described in Exhibit A, attached hereto, is hereby rezoned to Planned Development District (PD-16-02) for the Vineyard Self-Storage Project.

SECTION 4:

The development standards, as defined below, for the subject property (**APNs 051-052-074, -075, -076, and -077**), known as the Vineyard Self-Storage Project, are herein incorporated into this ordinance, and are binding upon said property.

Development Standards for the Proposed Vineyard Self-Storage Planned Development District (PD-16-02)

Standard	Standard M-1 Zoning	Proposed PD Zoning
Minimum Lot Size	40,000 sq. ft.	20,000 sq. ft.
Minimum Lot Width	Interior lot: 100 feet Corner lot: 100 feet	Interior lot: 100 feet Corner lot: 100 feet
Minimum Front Yard Setbacks	30 feet	30 feet
Minimum Side Yard Setbacks	Interior: 0 feet Street Side: <ul style="list-style-type: none">• <i>Arterial street</i> - minimum 30 foot setback with 30 foot landscaping on all frontages.• <i>Collector street</i> - minimum 25	Interior: 0 feet Street Side: <ul style="list-style-type: none">• <i>Arterial street</i> - minimum 30 foot setback with 30 foot landscaping on all frontages.• <i>Collector street</i> - minimum 25

Standard	Standard M-1 Zoning	Proposed PD Zoning
	foot setback with 25 foot landscaping. <ul style="list-style-type: none"> • <u>Local street</u> - minimum 20 foot setback with 20 foot landscaping 	foot setback with 25 foot landscaping. <ul style="list-style-type: none"> • <u>Local street</u> - minimum 20 foot setback with 20 foot landscaping
Minimum Rear Yard Setbacks	0 feet	0 feet
Maximum Building Height	45 feet	30 feet
Maximum Lot Coverage	50%	35%
Parking	By use, per requirements of Section 9-5.1703.1	11 spaces
Signs Maximum sign area	The maximum allowable sign area shall be as follows 3) Two square feet for each lineal foot of building frontage; and 4) Not to exceed 200 square feet.	The maximum allowable sign area shall be as follows 3) Two square feet for each lineal foot of building frontage; and 4) Not to exceed 200 square feet.
Signs permitted	The following signs shall be permitted: 4) Wall signs; 5) Ground signs; and 6) Symbols. An additional 25 square feet shall be permitted above the maximum allowable area when reviewed and approved by the Design Review Board.	The following signs shall be permitted: 4) Wall signs; 5) Ground signs; and 6) Symbols. An additional 25 square feet shall be permitted above the maximum allowable area when reviewed and approved by the Design Review Board.

SECTION 5:

The City Council finds that the public necessity requires the proposed zone change that the subject property is suitable to the use permitted in the proposed zone change that said permitted use is not detrimental to the surrounding property, and that the proposed zone change is in conformance with the Antioch General Plan.

SECTION 6:

This ordinance shall take effect and be enforced thirty (30) days from and after the date of its adoption and shall be published once within fifteen (15) days upon passage and adoption in a newspaper of general circulation printed and published in the City of Antioch.

* * * * *

I **HEREBY CERTIFY** that the foregoing ordinance was introduced and adopted at a regular meeting of the City Council of the City of Antioch, held on the 11th day of October 2016 and passed and adopted at a regular meeting thereof, held on the ____ day of _____, by the following vote:

AYES:

NOES:

ABSENT:

Mayor of the City of Antioch

ATTEST:

City Clerk of the City of Antioch

ATTACHMENT "B"

EXHIBIT A

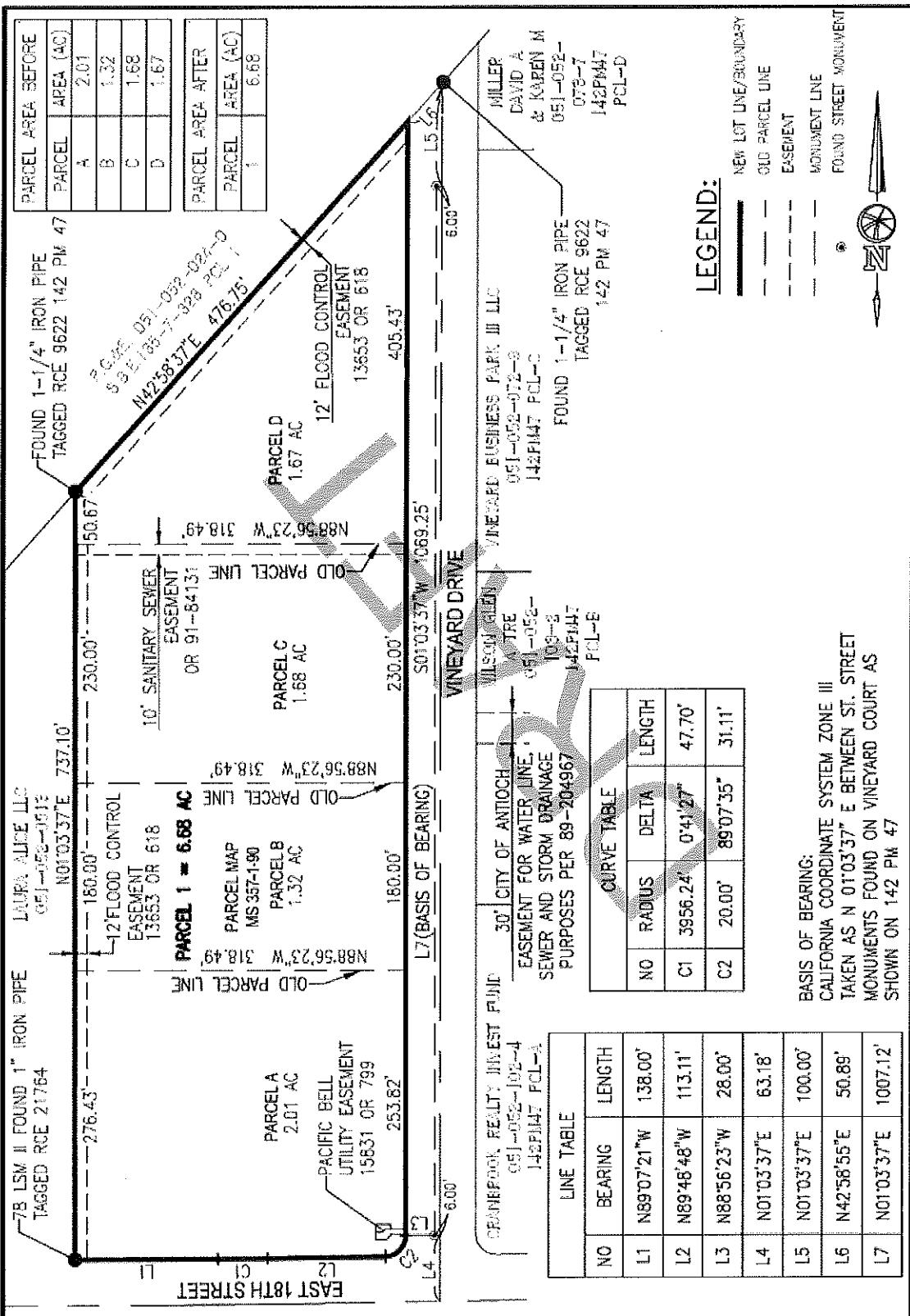
PARCEL 1

LEGAL DESCRIPTION

The land referred to is situated in the County of Contra Costa, City of Antioch, State of California, and is described as follows:

Parcels A, B, C and D, Parcel Map MS 357-1-90, filed May 7, 1991, in Book 152 of Parcel Maps, Pages 24 and 25, Contra Costa County Records.

DRAFT



PARCEL AREA BEFORE	PARCEL AREA (AC)
A	2.01
B	1.32
C	1.68
D	1.67

PARCEL AREA AFTER	PARCEL AREA (AC)
1	6.68

LEGEND:

- NEW LOT LINE/BOUNDARY
- - - OLD PARCEL LINE
- - - EASEMENT
- - - MONUMENT LINE
- FOUND STREET MONUMENT



CURVE TABLE

NO	RADIUS	DELTA	LENGTH
C1	3956.24'	0°41'27"	47.70'
C2	20.00'	89°07'35"	31.11'

LINE TABLE

NO	BEARING	LENGTH
L1	N89°07'21"W	138.00'
L2	N89°48'48"W	113.11'
L3	N88°56'23"W	28.00'
L4	N01°03'37"E	63.18'
L5	N01°03'37"E	100.00'
L6	N42°56'55"E	50.89'
L7	N01°03'37"E	1007.12'

BASIS OF BEARING:
CALIFORNIA COORDINATE SYSTEM ZONE III
TAKEN AS N 01°03'37" E BETWEEN ST. STREET
MONUMENTS FOUND ON VINEYARD COURT AS
SHOWN ON 142 PM 47

Bellecci & Associates, inc.
 Civil Engineering and Surveying
 2250 Diamond Boulevard, Suite 100 Concord, CA 94520
 Phone: (925) 884-4543 Fax: (925) 884-4544

EXHIBIT B

DATE: 04/20/2016 SCALE: 1"=120'

FILE NO.: 16009 SHEET 2 OF 2

PARCEL MERGER
VINEYARD SELF-STORAGE
ANTIOCH, CA



Bellecci & Associates, inc.

Civil Engineering • Land Surveying

Boundary Closure

Parcel Name: BOUNDARY -PARCEL 1

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 6,000.7017'

East: 2,406.7440'

Segment# 1: Line

Course: N89° 48' 48"W

Length: 113.11'

North: 6,001.0702'

East: 2,293.6346'

Segment# 2: Curve

Length: 47.70'

Radius: 3,956.24'

Delta: 0°41'27"

Tangent: 23.85'

Chord: 47.70'

Course: N89° 28' 05"W

Course In: N0° 11' 12"E

Course Out: S0° 52' 39"W

RP North: 9,957.2892'

East: 2,306.5238'

End North: 6,001.5132'

East: 2,245.9353'

Segment# 3: Line

Course: N89° 07' 21"W

Length: 138.00'

North: 6,003.6266'

East: 2,107.9515'

Segment# 4: Line

Course: N1° 03' 37"E

Length: 737.10'

North: 6,740.6004'

East: 2,121.5910'

Segment# 5: Line

Course: N42° 58' 37"E

Length: 476.75'

North: 7,089.4041'

East: 2,446.5934'

Segment# 6: Line

Course: S1° 03' 37"W

Length: 1,069.25'

North: 6,020.3371'

East: 2,426.8077'



Bellecci & Associates, inc.

Civil Engineering • Land Surveying

Segment# 7: Curve

Length: 31.11'

Delta: $89^{\circ}07'35''$

Chord: 28.07'

Course In: $N88^{\circ}56'23''W$

RP North: 6,020.7072'

End North: 6,000.7073'

Radius: 20.00'

Tangent: 19.70'

Course: $S45^{\circ}37'24''W$

Course Out: $S0^{\circ}11'12''W$

East: 2,406.8111'

East: 2,406.7460'

Perimeter: 2,613.02'

Error Closure: 0.0060

Error North : 0.00565

Area: 6.68Acre

Course: $N19^{\circ}01'17''E$

East: 0.00195

Precision 1: 435,503.33



Bellecci & Associates, inc.
Civil Engineering * Land Surveying

Parcel Closures

Parcel Name: PARCEL A

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 6,280.0053'

East: 2,113.0648'

Segment# 1: Line

Course: S88° 56' 23"E

Length: 318.49'

North: 6,274.1118'

East: 2,431.5002'

Segment# 2: Line

Course: S1° 03' 37"W

Length: 253.82'

North: 6,020.3353'

East: 2,426.8035'

Segment# 3: Curve

Length: 31.11'

Radius: 20.00'

Delta: 89°07'35"

Tangent: 19.70'

Chord: 28.07'

Course: S45° 37' 24"W

Course In: N88° 56' 23"W

Course Out: S0° 11' 12"W

RP North: 6,020.7054'

East: 2,406.8069'

End North: 6,000.7055'

East: 2,406.7417'

Segment# 4: Line

Course: N89° 48' 48"W

Length: 113.11'

North: 6,001.0740'

East: 2,293.6323'

Segment# 5: Curve

Length: 47.70'

Radius: 3,956.24'

Delta: 0°41'27"

Tangent: 23.85'

Chord: 47.70'

Course: N89° 28' 05"W

Course In: N0° 11' 12"E

Course Out: S0° 52' 39"W

RP North: 9,957.2930'

East: 2,306.5215'

End North: 6,001.5170'

East: 2,245.9330'



Bellecci & Associates, inc.

Civil Engineering • Land Surveying

Segment# 6: Line

Course: N89° 07' 21"W Length: 138.00'
North: 6,003.6304' East: 2,107.9492'

Segment# 7: Line

Course: N1° 03' 37"E Length: 276.43'
North: 6,280.0131' East: 2,113.0644'

Perimeter: 1,178.67' Area: 2.01Acre
Error Closure: 0.0078 Course: N2° 52' 05"W
Error North : 0.00780 East: -0.00039

Precision 1: 151,110.26

Parcel Name: PARCEL B

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 6,274.1118' East: 2,431.5026'

Segment# 1: Line

Course: N88° 56' 23"W Length: 318.49'
North: 6,280.0052' East: 2,113.0671'

Segment# 2: Line

Course: N1° 03' 37"E Length: 180.00'
North: 6,459.9744' East: 2,116.3979'

Segment# 3: Line

Course: S88° 56' 23"E Length: 318.49'
North: 6,454.0810' East: 2,434.8334'

Segment# 4: Line

Course: S1° 03' 37"W Length: 180.00'
North: 6,274.1118' East: 2,431.5026'



Bellecci & Associates, inc.

Civil Engineering • Land Surveying

Perimeter: 996.98'
Error Closure: 0.0000
Error North : 0.00000

Area: 1.32Acre
Course: N90° 00' 00"W
East: 0.00000

Precision 1: 996,980,000.00

Parcel Name: PARCEL C

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 6,454.0763'

East: 2,434.8333'

Segment# 1: Line

Course: N88° 56' 23"W

Length: 318.49'

North: 6,459.9697'

East: 2,116.3978'

Segment# 2: Line

Course: N1° 03' 37"E

Length: 230.00'

North: 6,689.9303'

East: 2,120.6538'

Segment# 3: Line

Course: S88° 56' 23"E

Length: 318.49'

North: 6,684.0369'

East: 2,439.0893'

Segment# 4: Line

Course: S1° 03' 37"W

Length: 230.00'

North: 6,454.0763'

East: 2,434.8333'

Perimeter: 1,096.98'
Error Closure: 0.0000
Error North : 0.00000

Area: 1.68Acre
Course: N90° 00' 00"W
East: 0.00000

Precision 1: 1,096,980,000.00



Bellecci & Associates, inc.
Civil Engineering • Land Surveying

Parcel Name: PARCEL D

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 6,684.0369' East: 2,439.0893'

Segment# 1: Line

Course: N88° 56' 23"W Length: 318.49'

North: 6,689.9303' East: 2,120.6538'

Segment# 2: Line

Course: N1° 03' 37"E Length: 50.67'

North: 6,740.5916' East: 2,121.5914'

Segment# 3: Line

Course: N42° 58' 37"E Length: 476.75'

North: 7,089.3953' East: 2,446.5938'

Segment# 4: Line

Course: S1° 03' 37"W Length: 405.43'

North: 6,684.0347' East: 2,439.0916'

Perimeter: 1,251.35'

Area: 1.67Acre

Error Closure: 0.0032

Course: S47° 29' 34"E

Error North : -0.00214

East: 0.00234

Precision 1: 391,043.75

ATTACHMENT "C"

RESOLUTION NO. 2016/**

APPROVAL OF A USE PERMIT (UP-16-06) AND DESIGN REVIEW (AR-16-03) FOR VINEYARD SELF-STORAGE PROJECT

WHEREAS, the City of Antioch received an application from Reid Hamilton, Hamilton Solar, for approval of an Initial Study / Mitigated Negative Declaration, a rezone to Planned Development District, a Use Permit, and Design Review for the development and operation of a 1,390 square foot office building, 100,943 square foot of self-storage space, and approximately 70,600 square foot of outdoor boat and RV storage space on 6.68 acres (PD-16-02, UP-16-06, AR-16-03). The project site is located directly northwest of the intersection of East 18th Street and Vineyard Drive (APNs 051-052-074, -075, -076, and -077); and

WHEREAS, an Initial Study / Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program was prepared in accordance with the California Environmental Quality Act (CEQA) Guidelines Section 15162, and considered by the Planning Commission on September 21, 2016; and,

WHEREAS, on September 21, 2016, at a duly noticed public hearing the Planning Commission recommended adoption of the Initial Study / Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program to the City Council; and,

WHEREAS, on September 21, 2016, at a duly noticed public hearing the Planning Commission recommended approval of a rezone to Planned Development District (PD-16-02) to the City Council; and a use permit (UP-16-06) and design review (AR-16-03); and,

WHEREAS, on October 11, 2016, the City Council adopted a resolution adopting the Initial Study / Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program; and,

WHEREAS, on September 13, 2016, the City Council introduced an ordinance approving a rezoning the site to Planned Development District (PD-16-02); and,

WHEREAS, the City Council duly gave notice of public hearing as required by law; and,

WHEREAS, on October 11, 2016, the City Council duly held a public hearing on the matter, and received and considered evidence, both oral and documentary.

NOW THEREFORE BE IT RESOLVED, that the City Council makes the following required findings for approval of a use permit:

1. The granting of such use permit will not be detrimental to the public health or welfare or injurious to the property or improvements in such zone or

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vicinity because the project has been designed to comply with the City of Antioch Municipal Code requirements.

2. The use applied at the location indicated is properly one for which a use permit is authorized because the City of Antioch Zoning Ordinance requires a use permit for all Planned Development District (PD) applications.
3. That the site for the proposed use is adequate in size and shape to accommodate such use, and all yards, fences, parking, loading, landscaping, and other features required, to other uses in the neighborhood. The site plan complies with the Planned Development standards established for the project's Planned Development District.
4. That the site abuts streets adequate in width and pavement type to carry the kind of traffic generated by the proposed use. The project site will construct street improvements, which are designed to meet City standards for adequate width and pavement.
5. That the granting of such use permit will not adversely affect the comprehensive General Plan or the East Eighteenth Street Specific Plan because the proposed uses and design are consistent with the East Eighteenth Street Specific Plan. The East Eighteenth Street Specific Plan designation for the project site is Office / Light Industry (O/LI), which conditionally allows for the type of use being developed by the project.
6. The Conditions of approval protect the public safety, health and general welfare of the users of the project and surrounding area. In addition, the conditions ensure the project is consistent with City standards.

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Antioch does hereby **APPROVE** a use permit (UP-16-06) and design review (AR-16-03) for the development and operation of a 1,390 square foot office building, 100,943 square foot of self-storage space, and approximately 70,600 square foot of outdoor boat and RV storage space on a 6.68-acre project site located directly northwest of the intersection of East 18th Street and Vineyard Drive (APNs 051-052-074, -075, -076, and -077) subject to the following conditions:

A. GENERAL CONDITIONS

1. That all proposed lots and improvements shall comply with the City of Antioch Municipal Code and City Standards or as approved by the City Engineer.

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2. That the developer shall obtain an encroachment permit for all work to be done within the public rights-of-way or easements, and that peak commute-hour traffic shall not be impeded by construction related activity.

B. MAP CONDITIONS

1. That prior to issuance of a building permit the developer shall perform a lot merger of Parcels "A", "B", "C" and "D" (MS 1-90), abandon the 10'-wide sanitary sewer easement (OR 91-84131) on Parcel "C", and dedicate access rights along East 18th Street to the City. No future driveway access shall be allowed directly to the project site from East 18th Street.
2. That all required easements or rights-of-way for improvements shall be obtained by the developer at no cost to the City of Antioch. Advance permission shall be obtained from all pertinent property owners and easement holders, if applicable, for any work done within such property or easements.
3. That all existing easements shall be identified on the site plan and that all plans that encroach into existing easements shall be submitted to the easement holder for review and approval, and that advance written permission shall be obtained from any property or easement holders for any work done within such property or easements.
4. That the developer shall install and maintain lighting and landscaping within the project area at no cost to the City.
5. That the property owner agrees to participate in Streetlight and Landscape District 2A Zone 3 and to accept a level of annual assessments sufficient to maintain the public streetlights and landscaping adjacent to the project area at no cost to the City.

C. CONSTRUCTION CONDITIONS

1. The use of construction equipment shall be as outlined in the Antioch Municipal Code. Requests for alternative days/time may be submitted in writing to the City Engineer for consideration.
2. That use of construction equipment is restricted to weekdays between the hours 7:00 A.M. and 6:00 P.M., or as approved in writing by the City Manager.
3. That the project shall be in compliance with and supply all the necessary documentation for AMC 6-3.2: Construction and Demolition Debris Recycling.

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4. That standard dust control methods and designs shall be used to stabilize the dust generated by construction activities. The developer shall post dust control signage with a contact number of the developer, City staff, and the air quality control board.
5. That the site shall be kept clean of all debris (boxes, junk, garbage, etc.) at all times.

D. SITE AND PROJECT DESIGN

1. That the applicant shall satisfy the terms of the Deferred Improvement Agreement entered into September 6, 1989 with the City of Antioch (Resolution No. 89/271, dated September 12, 1989), including but not limited to dedication of street right-of-way (Vineyard Drive), participation in future sewer main assessment district, and frontage improvements including paving, sewer main, sewer manholes and sewer laterals within the existing right-of-way or sanitary sewer easement as approved by the City Engineer.
2. That the heritage oak tree located within the existing easement shall be protected during construction and that the sanitary sewer line shall be designed and constructed to avoid and preserve the tree, or that the tree shall be properly mitigated if removal is required.
3. That provision for mail delivery shall be reviewed and approved by staff prior to final approval. The developer shall install mail box facilities as required by the City Engineer.
4. That the parking spaces and drive aisle at the north end of the project (on Parcel "D") be relocated to not encroach on the 12'-wide drainage easement.
5. That perimeter fencing along the west and north sides of the project shall be relocated to the property line.
6. That all broken and damaged sidewalk, curb and gutter shall be repaired or replaced per City Standards and as approved by the City Engineer. Curb ramp at the northeast corner of Vineyard Drive and East 18th Street shall be replaced to the current ADA standards.
7. That all access driveways be constructed to ADA and City Standards, subject to review and approval by the City Engineer, and that existing driveway curb cuts not a part of this development shall be removed and replaced with City Standard sidewalk, curb and gutter.

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8. That all parking lot dimensions and striping meets minimum City Standards and Municipal Code requirements.
9. That a lighting plan be submitted for staff review and approval prior to the issuance of any building permits for this project. Lighting shall not spill over onto adjacent properties.
10. That all buildings, parking and access shall meet ADA/Title 24 requirements as determined by the Chief Building Official.
11. That prior to the approval of the grading plan(s), the City Engineer shall determine if it is necessary to engage soils and structural engineers, as well as any other professionals, deemed necessary to review and verify the adequacy of the building plans submitted for this project. If deemed necessary by the City Engineer, this condition may include field inspections by such professionals to verify implementation of the plans. Costs for these services shall be borne by the developer.
12. That wall and fence locations and elevations shall be included on the grading plan.
13. That all public road right-of-way be located 10 feet behind the face-of-curb.
14. That red curb shall be repainted along East 18th Street.
15. That entry gates shall be located 40' from the property line in order to allow for vehicle storage, or as approved by the City Engineer.
16. That a truck-turning template shall be shown on the site plan confirming that trucks can successfully ingress, egress the site from Vineyard Drive, and safely maneuver through the site, as approved by the City Engineer.
17. That sight distance triangles shall be maintained per 9-5.1101, Site Obstructions at Intersections of the Antioch Municipal Code or as approved by the City Engineer.
18. That the developer or property owner shall maintain all undeveloped areas within this project in an attractive manner, which shall also ensure fire safety.

E. UTILITIES

1. That the developer shall install all infrastructure to serve the site. Infrastructure for access to the site (sewer, water, storm, joint trench, and

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surface improvements) shall be completed prior to issuance of building permits.

2. That all onsite utilities shall be privately maintained and connected to public facilities in accordance with City Standards, or as approved by the City Engineer.
3. That all existing and proposed public utilities (e.g. transformers) shall be placed underground (subsurface installation) in accordance with the Antioch Municipal Code, unless otherwise approved in writing by the City Engineer.
4. That reduced backflow prevention devices shall be installed on all City water meter services.
5. That reduced pressure backflows, water meters, and double detector check backflows shall be enclosed within an easement granted to the City at no cost to the City.
6. That a double detector check backflow shall be installed for fire lines to the buildings and that reduced pressure backflows shall be installed for domestic water and irrigation per the City's standards.
7. That underground utilities shall be designed to flow approximately parallel to the centerline of the street, or as approved by the City Engineer.
8. That all sewage shall flow by gravity to the intersecting street sewer main or as approved by the City Engineer.
9. That all proposed drainage facilities, including open ditches, shall be constructed of Portland Concrete Cement or as approved by the City Engineer.
10. That the developer shall comply with all conditions stipulated in Contra Costa County Flood Control District letter dated June 16, 2016, and submit hydrology and hydraulic analyses with a storm water control plan to the City for review and approval, and submit same to the Contra Costa County Flood Control District for review at no cost to the City if directed by the City Engineer.
11. That the developer shall provide adequate water pressure and volume to serve this development. This will include a minimum residual pressure of 20 psi with all losses included at the highest point of water service and a minimum static pressure of 50 psi or as approved by the City Engineer. See Fire Requirements G.3.c. for additional water flow conditions.

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12. That the structures shall contain downspouts that direct water away from the foundations as approved by the City Engineer.

F. LANDSCAPING

1. That all landscaping (including C.3 basins) shall be approved by the Planning Commission and maintained and managed by the developer or property owner. Landscape improvements shall be installed prior to issuance of the certificate of occupancy.
2. That based on drought conditions, the City Engineer has the authority to delay some or all of the landscape Conditions of Approval.

G. FIRE REQUIREMENTS

1. That all weather access roads and a water supply shall be provided prior to commencing any combustible construction, as required by the Fire Chief.
2. That street and drive aisle widths shall be subject to approval by the Contra Costa County Fire Protection District and the City Engineer.
3. That the developer shall comply with the following conditions provided by the Contra Costa County Fire Protection District:
 - a. Access roadways of less than 28-feet unobstructed width shall have NO PARKING – FIRE LANE signs posted or curbs painted red with the words NO PARKING – FIRE LANE clearly marked, per 22500.1 CVC.
 - b. The cul-de-sacs or turnarounds shall have an outside turning radius of a minimum of a 45' or as approved by the City Engineer. Should the sidewalk be included in the turning radius, it shall be clear of street lights, fire hydrants and other obstructions.
 - c. The developer shall provide an adequate reliable water supply for fire protection with a minimum fire flow of 1750 GPM. Required flow shall be delivered from not more than one hydrant flowing simultaneously for the duration of 120 minutes while maintaining 20-pounds residual pressure in the main. (508.1), (B105) CFC
 - d. The developer shall provide hydrants of the East Bay type, which shall be maintained by the City. Approximate hydrant locations will be determined by the Fire District and approved by the City Engineer.

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- e. Emergency apparatus access roadways and hydrants shall be installed, in service, and inspected by the Fire District prior to construction or combustible storage on site. (501.4) CFC. Gravel roads are not considered all-weather roadways for emergency apparatus access. The first lift of asphalt concrete paving shall be installed as the minimum sub base materials and capable of supporting the designated gross vehicle weight specified above.
- f. Premises identification shall be provided. Such numbers shall contrast with their background and be a minimum of four inches high with ½-inch stroke or larger as required to be readily visible from the street. (505.1) CFC, (501.2) CBC
- g. Plan review and inspection fees shall be submitted at the time of plan review submittal. Checks may be made payable to Contra Costa County Fire Protection District (CCCFPD).
- h. Submit plans to: Contra Costa County Fire Protection District, 2010 Geary Road, Pleasant Hill, CA 94523.

H. FEES

1. That the developer shall pay all City fees which have been established by the City Council and as required by the Antioch Municipal Code.
2. That the developer shall pay all pass-through fees. Fees include but are not limited to:
 - East Contra Costa Regional Fee and Financing Authority (ECCRFFA) Fee in effect at the time of building permit issuance.
 - Contra Costa County Fire Protection District Fire Development Fee in effect at the time of building permit issuance. (See G.3.g.)
 - Contra Costa County Flood Control District Fee.
 - School Impact Fees.
 - Delta Diablo Sewer Fees.
 - Contra Costa Water District Fees.

I. GRADING

1. That the grading operation shall take place at a time, and in a manner, so as not to allow erosion and sedimentation. The slopes shall be landscaped and reseeded as soon as possible after the grading operation ceases. Erosion measures shall be implemented during all construction phases in accordance with an approved erosion and sedimentation control plan.

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2. That all lots and slopes shall drain to approved drainage facilities as approved by the City Engineer.
3. That any existing wells or septic systems on the property shall be properly abandoned under permit from the Contra Costa County Environmental Health Department.
4. That the grading for slopes shall be contoured to provide as natural an appearance as possible as required by the City Engineer.
5. That all grading shall be accomplished in a manner that precludes surface water drainage across any property line.
6. That all lots shall be graded to drain positively from the rear to the street or as approved by the City Engineer.
7. Asphalt paving shall have a minimum slope of 2%, concrete paving shall have a minimum slope of 0.75%, and asphalt paving for identified accessible parking stalls and access routes may have a minimum slope of 1.5% and a maximum 2% slope, or as approved by the City Engineer.
8. That swales adjacent to structures shall have a minimum of a one percent (1%) slope or as directed by the City Engineer.
9. That all off-site grading is subject to the coordination and approval of the affected property owners and the City Engineer. The developer shall submit written authorization to "access, enter, or grade" adjacent properties prior to performing any work.
10. That the grading plan for this development shall be approved by the City Engineer.
11. That all elevations shown on the improvement plans shall be on the USGS 1929 sea level datum or as approved by the City Engineer.
12. That retaining walls shall not be constructed in City right-of-way or other City maintained parcels unless approved by the City Engineer.
13. That all retaining walls shall be of masonry construction.
14. That all retaining walls shall be reduced in height to the maximum extent practicable and the walls shall meet the height requirements in the front yard setback and sight distance triangles as required by the City Engineer.

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15. That the back-to-back or side-to-side grading transitions from lot to lot shall have a maximum slope of 2:1, and shall be accommodated entirely on the lower lot or as approved by the City Engineer.
16. That all property lines shall be located at the top of slope.

J. CONSERVATION/NPDES

1. That water conservation measures, including low volume toilets, and the use of drought tolerant landscaping, shall be used.
2. That the Project shall meet or exceed Tier 1 of the CALGreen Building Code.
3. That the project shall comply with all Federal, State, and City regulations for the National Pollution Discharge Elimination System (NPDES) (AMC§6-9). (Note: Per State Regulations, NPDES Requirements are those in affect at the time of the Final Discretionary Approval.) Under NPDES regulations, the project is subject to provision C.3: New development and redevelopment regulations for storm water treatment. Provision C.3 requires that the project include storm water treatment and source control measures, as well run-off flow controls, so that post-project runoff does not exceed estimated pre-project runoff. C.3 regulations require the submittal of a Storm Water Control Plan (SWCP) that demonstrates how compliance will be achieved. The SWCP shall be submitted simultaneously with the project plans. For the treatment and flow-controls identified in the approved SWCP, a separate Operation and Maintenance Plan (O&M) shall be submitted and approved before the Building Department will issue Certificate of Occupancy permits. Both the approved SWCP and O&M plans shall be included in the project CC&Rs. Prior to building permit final and issuance of a Certificate of Occupancy, the developer shall execute any agreements identified in the Storm Water Control Plan that pertain to the transfer of ownership and/or long-term maintenance of storm water treatment or hydrograph modification BMPs. Already stated in COAs below, 5.c and 5.h.w.
4. That the following corrections shall be made to the Storm Water Control Plan prepared for the project, dated April 2016. A revised Storm Water Control Plan shall be submitted with the first lot merger and improvement plan submittal:
 - a. The site has Type A soils; however, the IMP sizing calculator was run for Type C soils. Re-run the calculator for Type A. Minimum sizing will increase which will affect the site plan. Resubmit revised plan.

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- b. In addition to the hard copy, submit electronic copies of the SWCP and XML output file from the IMP sizing calculator.
 - c. An O&M plan needs to be submitted and approved before a certificate of occupancy will be granted.
 - d. A maintenance agreement needs to be recorded to the property
5. That the following requirements of the federally mandated NPDES program (National Pollutant Discharge Elimination System) shall be complied with as appropriate, or as required by the City Engineer:
 - a. Prior to issuance of permits for building, site improvements, or landscaping, the developer shall submit a permit application consistent with the developer's approved Storm Water Control Plan, and include drawings and specifications necessary for construction of site design features, measures to limit directly connected impervious area, pervious pavements, self-retaining areas, treatment BMPs, permanent source control BMPs, and other features that control storm water flow and potential storm water pollutants.
 - b. The Storm Water Control Plan shall be certified by a registered civil engineer, and by a registered architect or landscape architect as applicable. Professionals certifying the Storm Water Control Plan shall be registered in the State of California and submit verification of training, on design of treatment measures for water quality, not more than three years prior to the signature date by an organization with storm water treatment measure design expertise (e.g., a university, American Society of Civil Engineers, American Society of Landscape Architects, American Public Works Association, or the California Water Environment Association), and verify understanding of groundwater protection principles applicable to the project site (see Provision C.3.i of Regional Water Quality Control Board Order R2 2003 0022).
 - c. Prior to building permit final and issuance of a Certificate of Occupancy, the developer shall submit, for review and approval by the City, a final Storm Water BMP Operation and Maintenance Plan in accordance with City of Antioch guidelines. This O&M plan shall incorporate City comments on the draft O&M plan and any revisions resulting from changes made during construction. The O&M plan shall be incorporated into the CC&Rs for the Project.
 - d. Prior to building permit final and issuance of a Certificate of Occupancy, the developer shall execute and record any agreements identified in the Storm Water Control Plan which pertain to the transfer

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of ownership and/or long-term maintenance of storm water treatment or hydrograph modification BMPs.

- e. Prevent site drainage from draining across sidewalks and driveways in a concentrated manner.
- f. Collect and convey all storm water entering, and/or originating from, the site to an adequate downstream drainage facility without diversion of the watershed. Submit hydrologic and hydraulic calculations with the Improvement Plans to Engineering Services for review and approval.
- g. Prior to issuance of the grading permit, submit proof of filing of a Notice of Intent (NOI) by providing the unique Waste Discharge Identification Number (WDID#) issued from the Regional Water Quality Control Board.
- h. Submit a copy of the Storm Water Pollution Prevention Plan (SWPPP) for review to the Engineering Department prior to issuance of a building and/or grading permit. The general contractor and all subcontractors and suppliers of materials and equipment shall implement these BMP's. Construction site cleanup and control of construction debris shall also be addressed in this program. Failure to comply with the approved construction BMP may result in the issuance of correction notices, citations, or a project stop work order.
- i. Install appropriate clean water devices at all private storm drain locations immediately prior to entering the public storm drain system. Implement Best Management Practices (BMP's) at all times.
- j. Install "No Dumping, Drains to River" decal buttons on all catch basins.
- k. If sidewalks are pressure washed, debris shall be trapped and collected to prevent entry into the storm drain system. No cleaning agent may be discharged into the storm drain. If any cleaning agent or degreaser is used, wash water shall be collected and discharged to the sanitary sewer, subject to the approval of the sanitary sewer District.
- l. Include erosion control/storm water quality measures in the final grading plan that specifically address measures to prevent soil, dirt, and debris from entering the storm drain system. Such measures may include, but are not limited to, hydro seeding, gravel bags and siltation fences and are subject to review and approval of the City Engineer. If no grading plan is required, necessary erosion control/storm water quality measures shall be shown on the site plan submitted for an on-

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site permit, subject to review and approval of the City Engineer. The developer shall be responsible for ensuring that all contractors and subcontractors are aware of and implement such measures.

- m. Sweep or vacuum the parking lot(s) a minimum of once a month and prevent the accumulation of litter and debris on the site. Corners and hard to reach areas shall be swept manually.
 - n. Ensure that the area surrounding the project such as the streets stay free and clear of construction debris such as silt, dirt, dust, and tracked mud coming in from or in any way related to project construction. Areas that are exposed for extended periods shall be watered regularly to reduce wind erosion. Paved areas and access roads shall be swept on a regular basis. All trucks shall be covered.
 - o. Clean all on-site storm drain facilities a minimum of twice a year, once immediately prior to October 15 and once in January. Additional cleaning may be required if found necessary by City Inspectors and/or City Engineer.
6. All impervious surfaces to be constructed as part of the project, including off-site roadways, are subject to C.3 requirements per State Regulations.

K. FINAL IS/MND AND MITIGATION MONITORING AND REPORTING PROGRAM

- 1. The applicant shall comply with all mitigation measures identified in the Mitigation Monitoring and Reporting Program.

L. ARCHITECTURE AND DESIGN

- 1. Break up the long red horizontal element on the south elevation, second floor of Building A to provide a sense of visual interest and reduce the long horizontality of that portion of the elevation, subject to the approval of the Community Development Director.
- 2. West and north perimeter fencing shall be on property lines and provide access to maintain the drainage easements on the west and north site boundary.

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October 11, 2016

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* * * * *

I **HEREBY CERTIFY** that the foregoing resolution was passed and adopted by the City Council of the City of Antioch at a regular meeting thereof held on the 11th day of October, 2016.

AYES:

NOES:

ABSTAIN:

ABSENT:

ARNE SIMONSEN
CITY CLERK OF THE CITY OF ANTIOCH

C14

ATTACHMENT "D"

Attachment D
Project Vicinity Map



ATTACHMENT "E"

CITY OF ANTIOCH PLANNING COMMISSION

Regular Meeting
6:30 p.m.

September 21, 2016
City Council Chambers

Chair Motts called the meeting to order at 6:31 P.M. on Wednesday, September 21, 2016 in the City Council Chambers. He stated that all items that can be appealed under 9-5.2509 of the Antioch Municipal Code must be appealed within five (5) working days of the date of the decision. The final appeal date of decisions made at this meeting is 5:00 P.M. on Wednesday, September 28, 2016.

ROLL CALL

Present: Commissioner Mason, Hinojosa, Conley, Vice Chair Zacharatos and Chair Motts
Absent: Commissioners Parsons, Husary
Staff: Director of Community Development, Forrest Ebbs
City Attorney, Michael Vigilia
Assistant City Engineer, Lynne Filson
Minutes Clerk, Kitty Eiden

PLEDGE OF ALLEGIANCE

PUBLIC COMMENTS

None.

CONSENT CALENDAR

1. **Approval of Minutes:** None

NEW PUBLIC HEARING

2. **371-RA-55 Snyder Lot Merger** – Merger of four existing Assessor's Parcels into one parcel located at 326 Nash Avenue (APNs 065-102-005,019,032,033).

Director of Community Development Ebbs presented the staff report dated September 21, 2016 recommending the Planning Commission take the following action: 1) Adopt the resolution approving the lot merger of four contiguous parcels into one parcel located at 326 Nash Avenue (PW-371-RA-55).

Chair Motts opened and closed the public hearing with no members of the public requesting to speak.

In response to Commissioner Zacharatos, Director of Community Development Ebbs and Assistant City Engineer Filson explained the property was zoned residential and the small lots to the east were unbuildable as they were part of the creek area.

RESOLUTION NO. 2016-17

On motion by Commissioner Mason, seconded by Commissioner Hinojosa, the Planning Commission members present unanimously 1) Adopted the resolution approving the lot merger of four contiguous parcels into one parcel located at 326 Nash Avenue (PW-371-RA-55).

The motion carried the following vote:

AYES:	<i>Zacharatos, Mason, Hinojosa Conley and Motts</i>
NOES:	<i>None</i>
ABSTAIN:	<i>None</i>
ABSENT:	<i>Parsons, Husary</i>

CONTINUED PUBLIC HEARING

- 3. PD-16-02, UP-16-06, AR-16-03 – Vineyard Self-Storage – Reid Hamilton, Hamilton Solar, requests approval of a Mitigated Negative Declaration, a rezone to Planned Development District (PD), a Use Permit, and Design Review for the development and operation of a 1,390 square foot office building, 100,943 square foot of self-storage space, and approximately 70,600 square foot of outdoor boat and RV storage space on approximately 6.68 acres. The proposed project also includes off-site sewer improvements.**

Director of Community Development Ebbs presented the staff report dated September 21, 2016, recommending the Planning Commission take the following actions: 1) Approve the resolution recommending approval of the Vineyard Self-Storage Facility Initial Study / Mitigated Negative Declaration and Mitigated Monitoring and Report Program for the Project; 2) Approve the resolution recommending approval of an ordinance rezoning the project site from Planned Business Center (PBC) to Planned Development District (PD-16-02); and 3) Approve the resolution recommending approval of a use permit (UP-16-06) and design review (AR-16-03), subject to conditions of approval.

In response to Commissioner Conley, Assistant City Engineer Filson explained the alignment for the sewer line is within the easement; however, it would be acceptable to place it in another location as long as it is available for other property owners. With regards to the recommendation by the City's design consultant to address the linier appearance of the building, Director of Community Development Ebbs stated it could be addressed in a condition of approval if the Planning Commission so desired.

In response to Commissioner Mason, Director of Community Development Ebbs stated there would not be a manager living on site.

Assistant City Engineer Filson reported a mini-storage facility generated very few peak hour trips and was the best use of the land from a traffic point of view. She noted anticipated land uses would not require the need for a traffic signal at 18th and Vineyard. She further noted that all properties along Vineyard Drive would be required to construct the sewers which would be reimbursed as other properties are developed.

Steve Hamilton, project applicant, stated he was available to answer any questions this evening.

In response to the Commission, Mr. Hamilton stated all self storage projects in the area exceeded 90% occupancy. He noted the chain link fence would be along the property line that had no public access.

Director of Community Development Ebbs added perimeter fencing was located outside of the setback and landscaping was between the public right of way and the fence.

Speaking to the recommendation from the consultant to break up the long red horizontal element on the south elevation, Mr. Hamilton agreed to reduce the horizontal portion, if so desired by the Commission.

Mr. Hamilton reported they would be seeking guidance from the City on the hours of operation. He noted a live in manager was not necessary with their security system.

Director of Community Development Ebbs stated staff was not concerned with the hours of operation as this project was in an industrial area.

Chair Motts closed the public hearing.

In response to Chair Motts, Director of Community Development Ebbs explained the red element along the top of the building could be broken up with trim or reveal.

Commissioner Mason stated he visited the site and felt this project would be an enhancement for the area. He reported he had visited another storage facility who indicated RV and Boat storage was in high demand and they welcomed the development.

Commissioner Hinojosa voiced her support for the project noting there was a significant need in the community. She thanked the applicant for bringing their project forward.

Vice Chair Zacharatos and Commissioner Hinojosa stated they approved of the design of the building as proposed by the applicant.

A motion was made by Commissioner Conley, seconded by Vice Chair Zacharatos to approve the resolutions adding a condition of approval requiring the applicant change the elevation along the front of the two story building. Following discussion, the motion was withdrawn by the maker and the second and amended as follows:

RESOLUTION NOS. 2016-18, 2016-19, 2016-20

On motion by Commissioner Conley, seconded by Vice Chair Zacharatos, the Planning Commission members unanimously 1) Approved the resolution recommending approval of the Vineyard Self-Storage Facility Initial Study / Mitigated Negative Declaration and Mitigated Monitoring and Report Program for the project; 2) Approved the resolution recommending approval of an ordinance rezoning the project site from Planned Business Center (PBC) to Planned Development District (PD-16-02); 3) Approved the resolution recommending approval of a use permit (UP-16-06) and design review (AR-16-03), subject to conditions of approval. The motion carried the following vote:

The motion carried the following vote:

AYES: Zacharatos, Mason, Hinojosa, Conley and Motts
NOES: None
ABSTAIN: None
ABSENT: Parsons, Husary

NEW ITEM

- 4. General Plan and Downtown Specific Plan Updates** – Staff will provide an update on the status of the General Plan and Downtown Specific Plan processes and will solicit any additional information. No action will be taken.

Director of Community Development Ebbs presented the staff report dated September 21, 2016, recommending the Planning Commission receive an update on the status of the General Plan Land Use Element Update and Downtown Specific Plan project, receive any remaining public comment and provide direction to staff.

Downtown Specific Plan Updates

Director of Community Development Ebbs recommended the Planning Commission direct staff to change the downtown specific plan draft to allow parking facilities/vehicle storage/bus terminal or similar uses with a use permit.

Chair Motts opened the floor to public comment.

Tom Harais, representing Tri-Delta Transit, reported they had purchased the property at 6th and Auto Center Drive and developed a plan for a park and ride lot. He voiced his support for staff's recommendation to change the Downtown Specific Plan Draft to allow

ATTACHMENT "F"

CITY OF ANTIOCH
COMMUNITY DEVELOPMENT DEPARTMENT



Vineyard Self-Storage
INITIAL STUDY/MITIGATED NEGATIVE
DECLARATION

August 2016



1501 SPORTS DRIVE, SUITE A, • SACRAMENTO • CA • 95834
OFFICE 916.372.6100 • FAX 916.419.610

R1

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Appendices

- A. Air Quality and GHG Modeling Results
- B. Road Construction Emissions Modeling Results
- C. Alternate "A" Sanitary Sewer Installation Plan and Profile

INITIAL STUDY

August 2016

A. BACKGROUND

1. Project Title: Vineyard Self-Storage
2. Lead Agency Name and Address: City of Antioch
Community Development Department
P.O. Box 5007
Antioch, CA 94531
3. Contact Person and Phone Number: Alexis Morris
Senior Planner
(925) 779-7035
4. Project Location: Directly northwest of the intersection
of East 18th Street and Vineyard Drive
Assessor Parcel Numbers (APNs) 051-052-074, -075, -076, and -077
Antioch, CA
5. Project Sponsor's Name and Address: Larry Thom, General Manager
Hamilton Solar
85 Keystone Avenue, Suite E
Reno, Nevada 89503
(775) 813-6887
6. Existing General Plan Designation: Business Park (BP)
8. Existing Specific Plan Designation: East 18th Street Specific Plan
Office and Light Industry (O/LI)
9. Existing Zoning Designation: Planned Business Center (PBC)
10. Proposed Zoning Designation: Planned Development (PD)
11. Project Description Summary:

The proposed project would include the construction and operation of one 1,390-square-foot (sf) office building, six self-storage buildings totaling 100,943 sf, and approximately 70,600 sf of outdoor boat and RV storage on a 6.68-acre site located in the City of Antioch, CA. Access to the site would be provided from Vineyard Drive. The proposed project also includes off-site sewer improvements.

B. SOURCES

All the technical reports and modeling results used for the purposes of this analysis are available upon request at the City of Antioch Community Development Department, Planning Division located at Third & "H" Streets in Antioch, California, Monday through Friday between 8:00 – 11:30 am. The following documents are referenced information sources utilized by this analysis:

1. Bay Area Air Quality Management District. *Air Quality Plans*. Available at: <http://www.baaqmd.gov/Divisions/Planning-and-Research/Plans.aspx>. Accessed July 2016.
2. Bay Area Air Quality Management District. *Air Quality Standards and Attainment Status*. Available at: <http://www.baaqmd.gov/research-and-data/air-quality-standards-and-attainment-status>. Accessed July 2016.
3. Bay Area Air Quality Management District. *California Environmental Quality Act Air Quality Guidelines*. May 2010.
4. Bellecci & Associates. *Stormwater Control Plan for Vineyard Self Storage*. April, 2016.
5. California Air Resources Board. *Air Quality and Land Use Handbook: A Community Health Perspective*. April 2005.
6. California Department of Conservation. *Contra Costa County Important Farmland Map*. July, 2011.
7. California Department of Resources Recycling and Recovery (CalRecycle). *Solid Waste Information System*. www.calrecycle.ca.gov/SWFacilities/. Accessed July, 2016.
8. California Department of Toxic Substances Control. *Hazardous Waste and Substances Site List*. Accessed July, 2016.
9. Caltrans. *California Scenic Highway Mapping System*. Available at: http://www.dot.ca.gov/hq/LandArch/16_livability/scenic_highways/index.htm. Accessed on July 26, 2016.
10. Caltrans. *Transportation and Construction Vibration Guidance Manual*. September 2013.
11. City of Antioch. *City of Antioch, California Code of Ordinances*. Current through September 22, 2015.
12. City of Antioch. *East 18th Street Specific Plan*. September 2001.
13. City of Antioch. *General Plan*. November 24, 2003.
14. City of Antioch. *General Plan Update EIR*. July 2003.
15. Contra Costa Transportation Authority. *2011 Contra Costa Congestion Management Program*. Adopted November 16, 2011.
16. Delta Diablo. *Proposed Tuscany Meadows Subdivision Letter Addressed to Nick Pappani, Vice President Raney Planning and Management*. October 3, 2013.
17. Institute of Transportation Engineers. *Trip Generation Handbook – 9th Edition*. September 2012.
18. Krazan & Associates. *Phase I Environmental Site Assessment*. September 2003.
19. *Personal Communication with Alexis Morris, Senior Planner, City of Antioch Community Development Department*. August 16, 2016.

20. Rincon Consultants, Inc. *East 18th Street and Vineyard Drive Project Biological Resources Assessment*. March, 2016.
21. Rincon Consultants, Inc. *East 18th Street and Vineyard Drive Project Phase I Cultural Resources Study*. March, 2016.
22. Sacramento Metropolitan Air Quality Management District. *Road Construction Emissions Model (Version 8.1.0)*. Updated May, 09, 2016.
23. United States Department of Agriculture. *Web Soil Survey*. Accessed July, 2016.

C. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is “Potentially Significant Impact” as indicated by the checklist on the following pages.

- | | | |
|--|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forest Resources | <input checked="" type="checkbox"/> Air Quality |
| <input checked="" type="checkbox"/> Biological Resources | <input checked="" type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Geology and Soils |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input checked="" type="checkbox"/> Hazards and Hazardous Materials | <input type="checkbox"/> Hydrology and Water Quality |
| <input type="checkbox"/> Land Use and Planning | <input type="checkbox"/> Mineral Resources | <input checked="" type="checkbox"/> Noise |
| <input type="checkbox"/> Population and Housing | <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Transportation & Circulation | <input type="checkbox"/> Utilities and Service Systems | <input type="checkbox"/> Mandatory Findings of Significance |

D. DETERMINATION

On the basis of this initial study:

- I find that the Proposed Project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- I find that although the Proposed Project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the applicant. A MITIGATED NEGATIVE DECLARATION will be prepared.
- I find that the Proposed Project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- I find that the proposed project MAY have a “potentially significant impact” or “potentially significant unless mitigated” on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Signature

Alexis Morris, Senior Planner
Printed Name

Date

City of Antioch
For

E. BACKGROUND AND INTRODUCTION

This Initial Study identifies and analyzes the potential environmental impacts of the Vineyard Self-Storage Project (proposed project). The information and analysis presented in this document is organized in accordance with the order of the California Environmental Quality Act (CEQA) checklist in Appendix G of the CEQA Guidelines. Where the analysis provided in this document identifies potentially significant environmental effects of the project, mitigation measures are prescribed.

The mitigation measures prescribed for environmental effects described in this Initial Study will be implemented in conjunction with the project, as required by CEQA. The mitigation measures will be incorporated into the project through project conditions of approval. The City will adopt findings and a Mitigation Monitoring/Reporting Program for the project in conjunction with approval of the project.

The project site is located within the Eastern Waterfront Employment Focus Area of the City of Antioch General Plan. In 2001 the City of Antioch adopted the East 18th Street Specific Plan and an associated Initial Study/Mitigated Negative Declaration (IS/MND) to guide future development of the Eastern Waterfront Employment Focus Area.

An Environmental Impact Report (EIR) was prepared for the 2003 General Plan Update (GPU), which included the Eastern Waterfront Employment Focus Area as one of the 10 designated Focus Areas in the General Plan. The GPU EIR is a program EIR, prepared pursuant to Section 15168 of the CEQA Guidelines (Title 14, California Code of Regulations, Sections 15000 *et seq.*). The Antioch GPU EIR analyzed full implementation of the Antioch GPU and identified measures to mitigate the significant adverse impacts associated with the General Plan.

Per Section 15152 of the CEQA Guidelines, a project which is consistent with the General Plan and zoning of the City may tier from the analysis contained in the General Plan EIR, incorporating by reference the general discussions from the broader EIR. The proposed project would be consistent with the City Council-adopted 2001 East 18th Street Specific Plan and the Eastern Waterfront Employment Focus Area land use designations. Because the proposed project is consistent with the Antioch General Plan land use designations for the project site, this Initial Study will tier from the Antioch GPU EIR, where appropriate. Applicable mitigation measures identified in the GPU EIR will be required to be implemented as part of the project. In some cases, project-specific mitigation measures for potentially significant impacts that were not identified in the GPU EIR will also be required to be implemented as part of the proposed project.

F. PROJECT DESCRIPTION

The following sections will provide a detailed description of the location, setting, and components of the proposed project.

Project Location

The proposed project site is located at the northwest corner of the East 18th Street and Vineyard Drive intersection in the City of Antioch, Contra Costa County, California (see Figure 1). The 6.68-acre site includes APNs 051-052-074, -075, -076, and -077.

Project Setting and Surrounding Land Uses

The proposed project is surrounded by a storage facility to the west, a construction business to the south, a gymnastics studio to the east, and agricultural land to the north (see Figure 2). The site currently consists of undeveloped vacant land with ruderal vegetation. The site is split into multiple terraced levels that reflect previous agricultural uses of the site. Access to the site would be provided by Vineyard Drive.

Project Components

The proposed property is comprised of four separate parcels. The parcels are titled in the same name(s), are in the same jurisdictional boundary (city limits), and are contiguous. The proposed project would require approval of a lot merger of four parcels into one from the City of Antioch.

The proposed project would include the construction and operation of a 1,390 sf office building, six structures totaling 100,943 sf of self-storage space, and approximately 70,600 sf of outdoor boat and RV storage space (see Figure 3). The square footage of each self-storage building is as follows:

- Building A – 36,522 sf;
- Building B – 17,300 sf;
- Building C – 5,363 sf;
- Building D – 9,788 sf;
- Building E – 12,902 sf; and
- Building F – 19,068 sf.

The office and main storage building (identified as “Building A” in Figure 3), which would be located adjacent to East 18th Street, would be two-stories tall and serviced by a freight elevator with an internal mast. Four of the self-storage facility buildings would be single-story structures, and one would be a split-level structure intended to maximize usable space on the existing terraced landscape that would be constructed on an existing slope. The number of self-storage units has not been finalized, but would be based on a final configuration and unit mix, not to exceed 999 units. The outdoor boat and RV storage would accommodate 95 to 100 parking stalls on the northern end of the property; however, a reconfiguration of the space based on the size and ratio of boats to RVs could result in a maximum of 150 boat and RV parking stalls.

Figure 1
Regional Project Location

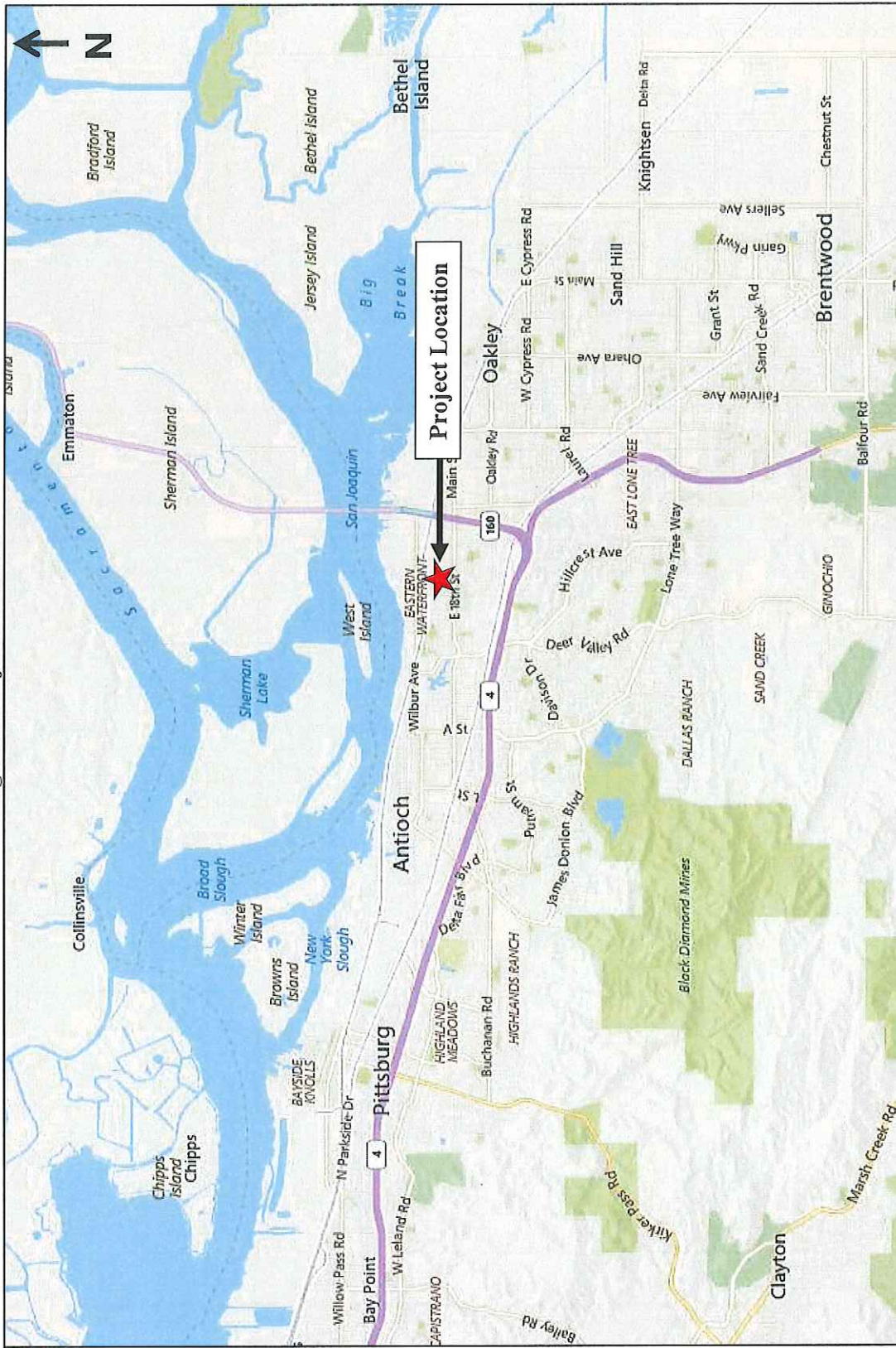
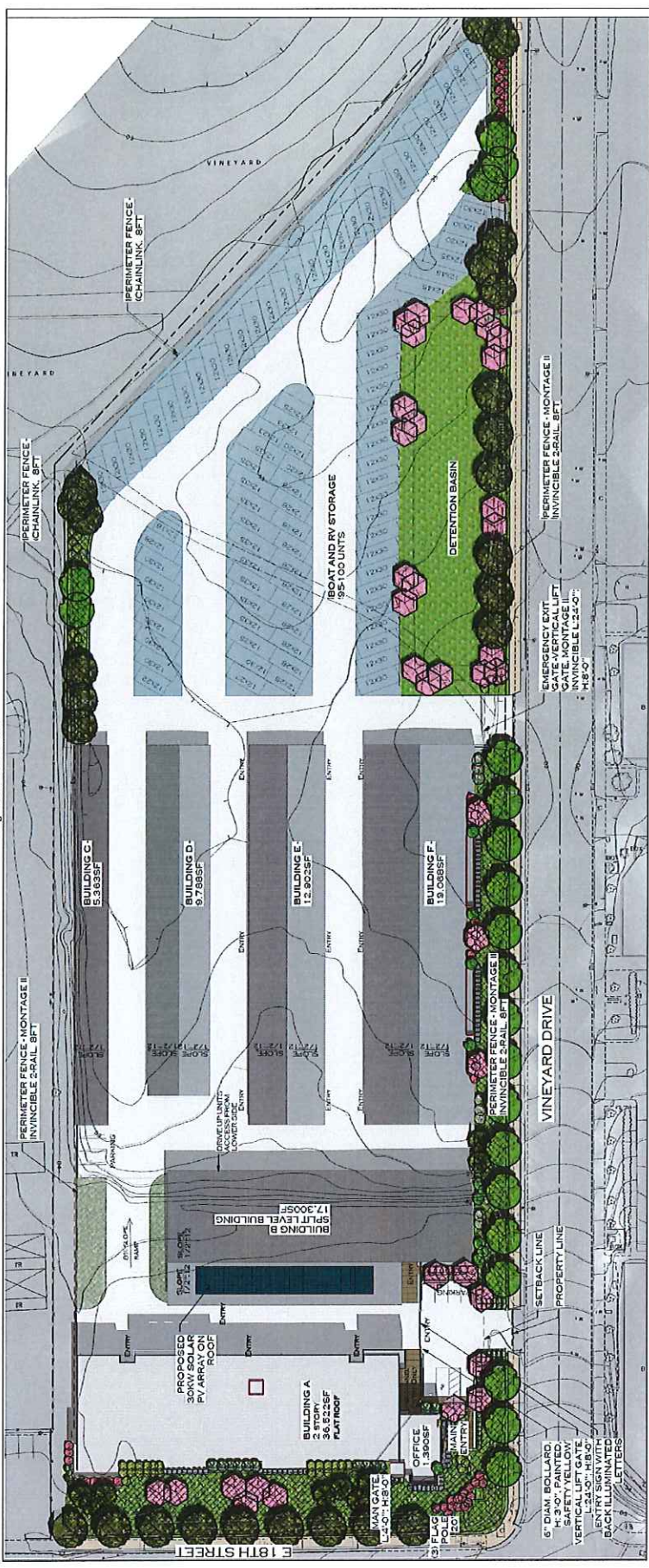


Figure 2
Project Vicinity Map



Figure 3
 Project Site Plan



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The perimeter of the property would be enclosed by eight-foot tall fencing and access to the site would be through a private motorized gate. Designated parking spaces would be provided outside the manager's office and main two-story storage building. Drive-up parking would be provided for the remaining five storage buildings.

The proposed project would include a 30 kW solar photovoltaic array, consisting of 114 south-facing solar panels with a 2.4-degree tilt connected to one 24 kW inverter to be installed on the split-level storage building, designated as "Building B" in Figure 3. The proposed water line would connect to the existing water line in Vineyard Drive. In addition, the proposed stormwater system would include a bio-retention facility on the eastern edge of the site that would filter and release the majority of all on-site runoff. Any additional stormwater would flow through existing stormwater lines located in Vineyard Drive.

The East 18th Street Specific Plan requires the construction of a new sewer line within Vineyard Drive right-of-way, which would connect with the existing stubbed sewer line within the future Sakurai Street alignment (see Figure 4). The City of Antioch Engineering Division provided an alternate alignment for the sewer line known as Alternate "A" (see Appendix C). The final sewer alignment for the proposed project has not yet been determined; therefore, both alignments are discussed throughout this IS/MND. The East 18th Street Specific Plan IS/MND included the sewer line within the Vineyard Drive right-of-way; thus, the potential environmental impacts that could occur from the construction of the Specific Plan sewer line alignment have been previously analyzed. This IS/MND includes the applicable mitigation from the Specific Plan IS/MND and analyzes the potential environmental impacts that could occur from the Alternate "A" sewer line construction.

The project site is currently zoned Planned Business Center (PBC), which does not allow for self-storage usage. However, in 2001 the City of Antioch adopted the East 18th Street Specific Plan to guide future development of the Eastern Waterfront Employment Focus Area, which designated the site Office and Light Industry (O/LI). The East 18th Street Specific Plan determined the uses allowed in O/LI are consistent with the Citywide Light Manufacturing Zoning District (M-1). Self-storage and RV/boat storage are conditionally permitted uses within the M-1 district of the Antioch Zoning Code.¹ Therefore, the proposed project's uses would be conditionally permitted with approval of a Conditional Use Permit (CUP).²

Additionally, consistent with the requirements of the East 18th Street Specific Plan, the proposed project includes a request for a Planned Development (PD) Rezone. PD districts encourage the use of flexible development standards designed to appropriately integrate a project into its natural and/or man-made setting and the City of Antioch uses the PD process to implement the various Specific Plans adopted by the City.

The discretionary entitlements, for the proposed project include the following:

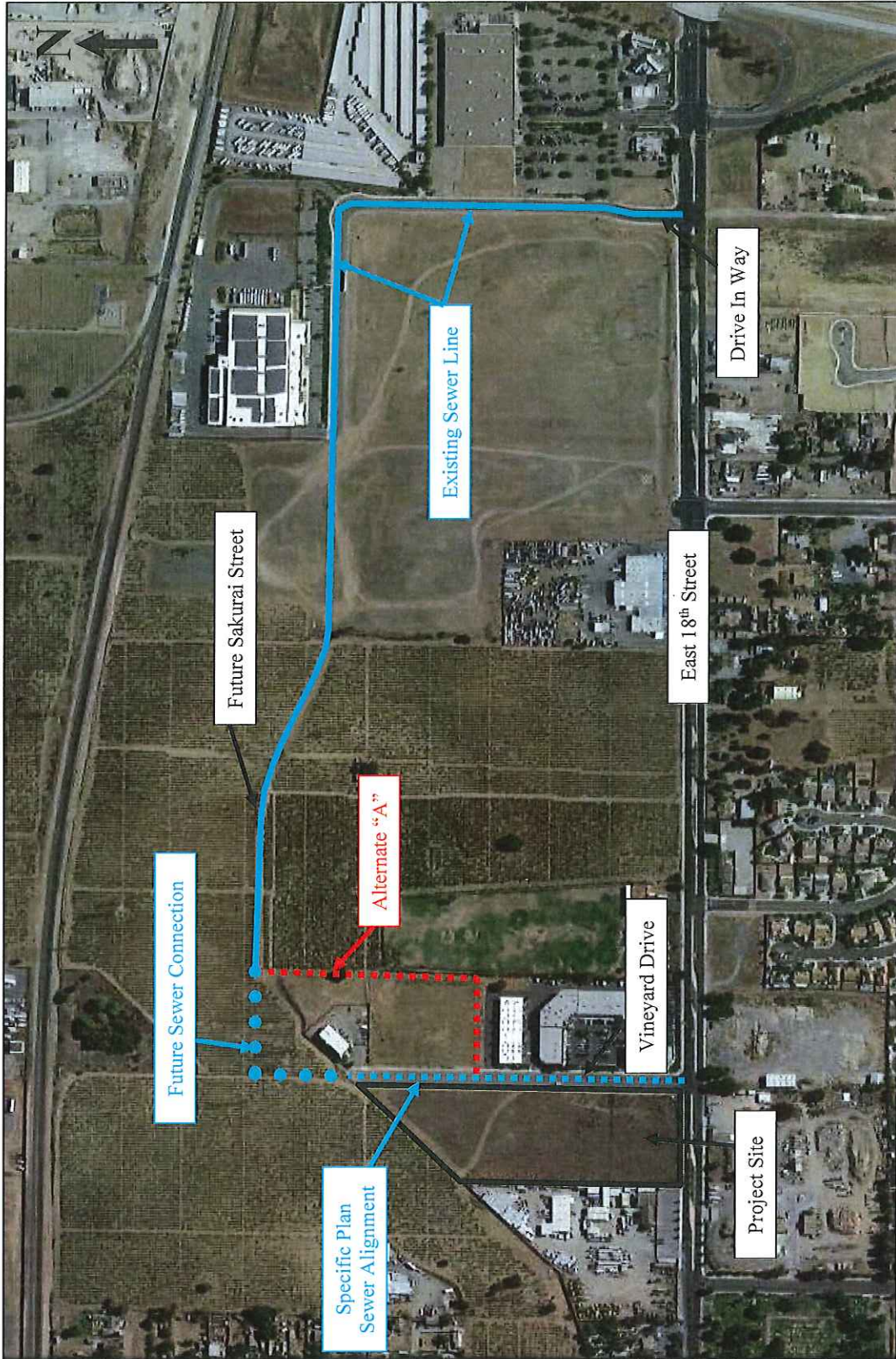
- Rezone from Planned Business Center (PBC) to Planned Development District (PD);

¹ City of Antioch. *East 18th Street Specific Plan* [pg. 19]. September 2001.

² City of Antioch. *City of Antioch, California Code of Ordinances Table of Land Use Regulations § 9-5.3803*. Current through September 22, 2015.

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Figure 4
Off-Site Sewer Line Alternatives



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- Conditional Use Permit to allow self-storage and RV/boat storage uses;
- Design Review; and
- Lot Merger.

G. ENVIRONMENTAL CHECKLIST

The following Checklist contains the environmental checklist form presented in Appendix G of the CEQA Guidelines. The checklist form is used to describe the impacts of the proposed project. A discussion follows each environmental issue identified in the checklist. Included in each discussion are project-specific mitigation measures recommended, as appropriate, as part of the proposed project.

For this checklist, the following designations are used:

Potentially Significant Impact: An impact that could be significant, and for which no mitigation has been identified. If any potentially significant impacts are identified, an EIR must be prepared.

Less Than Significant with Mitigation Incorporated: An impact that requires mitigation to reduce the impact to a less-than-significant level.

Less-Than-Significant Impact: Any impact that would not be considered significant under CEQA relative to existing standards.

No Impact: The project would not have any impact.

I. AESTHETICS.	Potentially Significant Impact	Less-Than-Significant with Mitigation Incorporated	Less-Than-Significant Impact	No Impact
<i>Would the project:</i>				
a. Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
b. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a State scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
c. Substantially degrade the existing visual character or quality of the site and its surroundings?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
d. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>

Discussion

- a,b. The GPU EIR determined views of Mt. Diablo, the ridgelines south of State Route (SR) 4, and the San Joaquin River as scenic vistas within the City of Antioch. Views of the City’s three scenic vistas are either blocked by existing developments or are located too far away to be seen from the site. Furthermore, according to the California Scenic Highway Mapping System, the nearest State Scenic Highway, Interstate 680 (I-680), is located approximately 17 miles southwest of the site, and SR 160 is an Eligible State Scenic Highway – Not Officially Designated, which is located approximately 0.75 mile east of the project site.³ Both I-680 and SR 160 do not have views of the project site. Therefore, the project site is not located within the vicinity of any scenic vistas, as described by the GPU EIR, or a State Scenic Highway. As a result, construction of the proposed project including the off-site sewer improvement would not have an adverse effect on any scenic vista and impacts related to such would be *less than significant*.
- c. The project site is currently vacant with ruderal vegetation and is surrounded by existing commercial development. Construction of the proposed project would change the site’s existing visual character from ruderal vegetation to 102,333 sf of office, self-storage, and RV/boat storage facilities. Construction of such would be consistent with surrounding land uses and would improve the existing visual character of the site by developing vacant land that is dominated by ruderal vegetation. According to Section 9-5.2607 of the Antioch Municipal Code, the project is subject to Design Review by the City of Antioch. The purpose of the Design Review process is to promote the orderly development of the City, encourage high quality site design and planning, protect the stability of land values and investments, and ensure consistency with the Citywide Design Guidelines.

The Alternate “A” alignment for the sewer improvement consists of disturbed ruderal lands within an existing 10-foot easement; however, an existing mature indigenous tree, as

³ California Department of Transportation. *California Scenic Highway Mapping System*. Available at: http://www.dot.ca.gov/hq/LandArch/16_livability/scenic_highways/index.htm. Accessed on July 26, 2016.

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defined by the Antioch Municipal Code, is located adjacent to the easement. If the Alternate "A" sewer line alignment is chosen for the off-site sewer improvements, the applicant shall, in accordance with Section § 9-5.1205(F)(2) of the Antioch Municipal Code, obtain a bond for the protected prior to grading activities, as discussed in further detail in Section IV of this IS/MND.

Because the proposed project would be consistent with surrounding uses and be subject to the City of Antioch's Municipal Code and Design Review process, impacts related to degrading the existing visual character of the site and its surroundings would be *less-than-significant*.

- d. The project site is surrounded on three sides by existing commercial developments that generate light and glare. The property to the north of the site is used for agricultural purposes and, therefore, is not sensitive to, or a producer of, light and glare. The nearest sensitive receptors to light and glare would be the existing residences located approximately 500 feet to the northwest of the site.

The project site is currently vacant and does not produce light or glare. While construction and operation of the proposed project would generate both light and glare on-site, all components of the proposed project would be subject to Design Review by the City of Antioch that would ensure light and glare do not obstruct day or nighttime views in the area. Due to the consistency of the proposed project with surrounding commercial development, the site's approximate distance of 500 feet from the nearest sensitive receptor, and the added assurance of the Design Review process, implementation of the project including the off-site sewer improvement would result in a *less-than-significant* impact with respect to creating a new source of substantial light or glare which would adversely affect day or nighttime views in the area.

II. AGRICULTURE AND FOREST RESOURCES. <i>Would the project:</i>	Potentially Significant Impact	Less-Than-Significant with Mitigation Incorporated	Less-Than-Significant Impact	No Impact
a. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
b. Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	✘
c. Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	✘
d. Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	✘
e. Involve other changes in the existing environment which, due to their location or nature, could individually or cumulatively result in loss of Farmland to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>

Discussion

- a, e. The proposed project site consists of ruderal vegetation and is surrounded by existing commercial development. While the project site was historically used for agricultural purposes, the site has not been in agricultural production since at least 1989⁴ and is currently designated as “Urban and Built-Up Land” on the Contra Costa County Important Farmland map.⁵ Furthermore, the site is not zoned or designated in the GPU Eastern Waterfront Employment Focus Area or East 18th Street Specific Plan for agriculture uses. The off-site sewer improvements would be located within an existing 10-foot sewer easement. As such, development of the proposed project, including the off-site sewer improvement, would not convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance to a non-agricultural use. Therefore, the proposed project’s impact related to such would be *less than significant*.
- b. The project area is not under any Williamson Act contract and the area is not designated or zoned for agricultural uses. In addition, the project area is surrounded by commercial development. Because buildout of the proposed project, including the off-site sewer improvement, would not conflict with existing zoning for agricultural use or a Williamson Act contract, *no impact* would occur.

⁴ Krazan & Associates. *Phase I Environmental Site Assessment*. September 2003.

⁵ California Department of Conservation. *Contra Costa County Important Farmland Map*. July, 2011.

- c, d. The project area is not considered forest land (as defined in Public Resources Code section 12220[g]), timberland (as defined by Public Resources Code section 4526), and is not zoned Timberland Production (as defined by Government Code section 51104[g]). Therefore, the proposed project, including the off-site sewer improvement, would have *no impact* with regard to conversion of forest land or any potential conflict with forest land, timberland, or Timberland Production zoning.

III. AIR QUALITY.

Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less-Than-Significant Impact	No Impact
a. Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

a-c. The City of Antioch is located in the San Francisco Bay Area Air Basin (SFBAAB), which is under the jurisdiction of the Bay Area Air Quality Management District (BAAQMD). The SFBAAB area is currently designated as a nonattainment area for the State and federal ozone, State and federal fine particulate matter 2.5 microns in diameter (PM_{2.5}), and State respirable particulate matter 10 microns in diameter (PM₁₀) ambient air quality standards (AAQS). The SFBAAB is designated attainment or unclassified for all other AAQS. It should be noted that on January 9, 2013, the U.S. Environmental Protection Agency (USEPA) issued a final rule to determine that the Bay Area has attained the 24-hour PM_{2.5} federal AAQS. Nonetheless, the Bay Area must continue to be designated as nonattainment for the federal PM_{2.5} AAQS until such time as the BAAQMD submits a redesignation request and a maintenance plan to the USEPA, and the USEPA approves the proposed redesignation.

In compliance with regulations, due to the nonattainment designations of the area, the BAAQMD periodically prepares and updates air quality plans that provide emission reduction strategies to achieve attainment of the AAQS, including control strategies to reduce air pollutant emissions through regulations, incentive programs, public education, and partnerships with other agencies. The current air quality plans are prepared in cooperation with the Metropolitan Transportation Commission (MTC) and the Association of Bay Area Governments (ABAG).

The most recent federal ozone plan is the 2001 Ozone Attainment Plan, which was adopted on October 24, 2001 and approved by the California Air Resources Board (CARB) on November 1, 2001. The plan was submitted to the USEPA on November 30, 2001 for review and approval. The most recent State ozone plan is the 2010 Clean Air Plan (CAP), adopted on September 15, 2010. The 2010 CAP was developed as a multi-pollutant plan that provides an integrated control strategy to reduce ozone, PM, toxic air contaminants (TACs), and greenhouse gases (GHGs). Although a plan for achieving the State PM₁₀ standard is not required, the BAAQMD has prioritized measures to reduce PM in

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developing the control strategy for the 2010 CAP. The control strategy serves as the backbone of the BAAQMD's current PM control program.

The aforementioned air quality plans contain mobile source controls, stationary source controls, and transportation control measures (TCMs) to be implemented in the region to attain the State and federal standards within the SFBAAB. Adopted BAAQMD rules and regulations, as well as the thresholds of significance, have been developed with the intent to ensure continued attainment of AAQS, or to work towards attainment of AAQS for which the area is currently designated nonattainment, consistent with applicable air quality plans. The BAAQMD's established significance thresholds associated with development projects for emissions of the ozone precursors reactive organic gases (ROG) and oxides of nitrogen (NO_x), as well as for PM₁₀, and PM_{2.5}, expressed in pounds per day (lbs/day) and tons per year (tons/yr), are listed in Table 1. Thus, by exceeding the BAAQMD's mass emission thresholds for operational emissions of ROG, NO_x, or PM₁₀, a project would be considered to conflict with or obstruct implementation of the BAAQMD's air quality planning efforts.

Pollutant	Construction	Operational	
	Average Daily Emissions (lbs/day)	Average Daily Emissions (lbs/day)	Maximum Annual Emissions (tons/year)
ROG	54	54	10
NO _x	54	54	10
PM ₁₀ (exhaust)	82	82	15
PM _{2.5} (exhaust)	54	54	10

Source: BAAQMD, CEQA Guidelines, May 2010.

It should be noted that a series of recent court cases have called into question the BAAQMD resolutions adopting and revising their 2010 significance thresholds, asserting that the adoption of such would be considered a project under CEQA, necessitating environmental review. None of the courts have indicated whether the thresholds were valid on their merits or that the thresholds lack evidentiary support. Nonetheless, BAAQMD has withdrawn their revised quantitative significance thresholds for the time being. However, because the BAAQMD's thresholds of significance are supported by substantial evidence and remain the best available option, the City, as lead agency, has chosen to use the BAAQMD's thresholds of significance for evaluation of the proposed project.

The proposed project's construction and operational emissions were quantified using the California Emissions Estimator Model (CalEEMod) software version 2013.2.2 - a Statewide model designed to provide a uniform platform for government agencies, land use planners, and environmental professionals to quantify air quality emissions, including GHG emissions, from land use projects. The model applies inherent default values for various land uses, including construction data, trip generation rates based on the Institute of Transportation Engineers (ITE) Trip Generation Manual, 9th Edition, vehicle mix, trip length, average speed, etc. Where project-specific information is available, such information should be applied in the model. As such, the proposed project's modeling assumed the following:

- Construction would commence in February 2017 and be completed by September 2017;
- An average daily trip rate of 2.5 trips per 1,000 sf of storage space was assumed in accordance with the Institute of Transportation Engineers Trip Generation Manual;
- Compliance with the current California Building Energy Efficiency Standards Code;
- The proposed project would include a 30 kW roof mounted solar photovoltaic system, which is anticipated to be capable of providing 100 percent of the proposed project's electricity demand;
- A total of 6.3 acres would be disturbed during grading;
- The boat and recreational vehicle storage area would be gravel; and
- The project site is located 0.1-mile away from the East 18th Street and Wilson Street bus stop.

The proposed project's estimated emissions associated with construction and operations are presented and discussed in further detail below. A discussion of the proposed project's contribution to cumulative air quality conditions is provided below as well. All CalEEMod results are included in Appendix A.

The BAAQMD recommends the use of the Roadway Construction Emissions Model (RoadMod), prepared by the Sacramento Metropolitan Air Quality Management District (SMAQMD), for proposed linear projects such as roadway construction, or pipeline installation. Following BAAQMD's recommendation the RoadMod was used to estimate the additional construction emissions that would occur due to the off-site sewer improvements. To provide a conservative analysis, the area of site disturbance was assumed to occur across a five-foot-wide and 1,749-foot-long area. The off-site improvement was assumed to require the use of two tractor/loader/backhoes and one trencher. The results of the RoadMod are included in Appendix B.

Construction Emissions

According to the CalEEMod and RoadMod results, the proposed project would result in maximum unmitigated construction criteria air pollutant emissions as shown in Table 2. As shown in the table, the proposed project's construction emissions would be below the applicable thresholds of significance for ROG, PM₁₀ (exhaust and fugitive), and PM_{2.5} (exhaust and fugitive). However, the proposed project would exceed the threshold of significance for NO_x emissions.

Pollutant	Proposed Project Emissions	Threshold of Significance	Exceeds Threshold?
ROG	24.45	54	NO
NO _x	62.77	54	YES
PM ₁₀ (exhaust)	3.22	82	NO
PM ₁₀ (fugitive)	18.24	None	N/A
PM _{2.5} (exhaust)	2.96	54	NO
PM _{2.5} (fugitive)	10.81	None	N/A
<i>Source: CalEEMod, July 2016 (see Appendix A). RoadMod, August 2016</i>			

Although thresholds of significance for mass emissions of fugitive dust PM₁₀ and PM_{2.5} have not been identified by the City or BAAQMD, the proposed project's estimated fugitive dust emissions have been included for informational purposes. All projects under the jurisdiction of the BAAQMD are required to implement all of the BAAQMD's Basic Construction Mitigation Measures, which include the following:

1. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
2. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
3. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
4. All vehicle speeds on unpaved roads shall be limited to 15 mph.
5. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
6. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
7. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.
8. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. The contact person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

The proposed project's required implementation of the BAAQMD's Basic Construction Mitigation Measures listed above, to the extent that the measures are feasible for the proposed project's construction activities, would help to further minimize any construction-related emissions.

Because the proposed project would be above the applicable threshold of significance for construction emissions of NO_x, the proposed project would be considered to result in a significant air quality impact during construction.

Operational Emissions

According to the CalEEMod results, the proposed project would result in maximum operational criteria air pollutant emissions as shown in Table 3. As shown in the table, the proposed project's operational emissions would be below the applicable operational thresholds of significance. Therefore, the proposed project would not be considered to result in a significant air quality impact during operations.

Pollutant	Proposed Project Emissions		Threshold of Significance		Exceeds Threshold?
	lbs/day	tons/yr	lbs/day	tons/yr	
ROG	5.25	0.95	54	10	NO
NO _x	2.13	0.37	54	10	NO
PM ₁₀ (exhaust)	0.031	0.0056	82	15	NO
PM ₁₀ (fugitive)	1.25	0.22	None	None	N/A
PM _{2.5} (exhaust)	0.03	0.0053	54	10	NO
PM _{2.5} (fugitive)	0.33	0.059	None	None	N/A

Source: CalEEMod, July 2016 (see Appendix A).

Cumulative Emissions

Past, present and future development projects contribute to the region's adverse air quality impacts on a cumulative basis, and, by nature, air pollution is largely a cumulative impact. A single project is not sufficient in size to, by itself, result in nonattainment of AAQS. Instead, a project's individual emissions contribute to existing cumulatively significant adverse air quality impacts. If a project's contribution to the cumulative impact is considerable, then the project's impact on air quality would be considered significant. In developing thresholds of significance for air pollutants, BAAQMD considered the emission levels for which a project's individual emissions would be cumulatively considerable. The thresholds of significance presented in Table 1 above represent the levels at which a project's individual emissions of criteria air pollutants or precursors would result in a cumulatively considerable contribution to the SFBAAB's existing air quality conditions. If a project exceeds the significance thresholds presented in Table 1, the proposed project's emissions would be cumulatively considerable, resulting in significant adverse cumulative air quality impacts to the region's existing air quality conditions. Because the proposed project would result in emissions above the applicable threshold of significance for construction related emissions of NO_x, the project would be expected to result in a cumulatively considerable contribution to the region's existing air quality conditions.

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Conclusion

As stated previously, the applicable regional air quality plans include the 2001 Ozone Attainment Plan and the 2010 CAP. According to BAAQMD, if a project would not result in significant and unavoidable air quality impacts, after the application of all feasible mitigation, the project may be considered consistent with the air quality plans. Because the proposed project, including the off-site sewer improvement, would result in short-term construction emissions of NO_x, an Ozone precursor, above the applicable thresholds of significance, the project would be considered to conflict with or obstruct implementation of regional air quality plans. Therefore, the proposed project could contribute to the region's nonattainment status of ozone thus contributing to the violation an air quality standard, and a *potentially significant* impact associated with construction-related emissions of NO_x would result.

Mitigation Measure(s)

Implementation of the following mitigation measure would reduce the construction-related emissions of NO_x from the unmitigated maximum daily level of 62.77 lbs/day during construction to the mitigated maximum daily level of 50.24 lbs/day, which would be below the BAAQMD's threshold of significance of 54 lbs/day. Thus implementation of the following mitigation measure would reduce the above impact to a *less than significant* level.

III-1 Prior to issuance of a grading permit, the project applicant shall show on the grading plans via notation that the contractor shall ensure that all diesel-powered equipment larger than 200 horsepower (i.e., rubber tired dozers, scrapers, and trenchers) and diesel-powered graders shall achieve a project wide fleet-average 20 percent NO_x reduction and 45 percent particulate reduction as required by CARB. Acceptable options for reducing emissions may include use of late model engines, low-emission diesel products, alternative fuels, engine retrofit technology, after-treatment products, and/or other options as they become available.

- d. Some land uses are considered more sensitive to air pollution than others, due to the types of population groups or activities involved. Heightened sensitivity may be caused by health problems, proximity to the emissions source, and/or duration of exposure to air pollutants. Children, pregnant women, the elderly, and those with existing health problems are especially vulnerable to the effects of air pollution. Accordingly, land uses that are typically considered to be sensitive receptors include residences, schools, childcare centers, playgrounds, retirement homes, convalescent homes, hospitals, and medical clinics. The proposed project would not involve the creation of new housing and, thus, would not be considered a sensitive receptor. The nearest existing sensitive receptors would be the single-family residences located approximately 500 feet to the northwest of the site.

The major pollutant concentrations of concern are localized carbon monoxide (CO) emissions and TAC emissions, which are addressed in further detail below.

Localized CO Emissions

Localized concentrations of CO are related to the levels of traffic and congestion along streets and at intersections. High levels of localized CO concentrations are only expected where background levels are high, and traffic volumes and congestion levels are high. Emissions of CO are of potential concern, as the pollutant is a toxic gas that results from the incomplete combustion of carbon-containing fuels such as gasoline or wood. CO emissions are particularly related to traffic levels.

In order to provide a conservative indication of whether a project would result in localized CO emissions that would exceed the applicable threshold of significance, the BAAQMD has established screening criteria for localized CO emissions. According to BAAQMD, a proposed project would result in a less-than-significant impact related to localized CO emission concentrations if all of the following conditions are true for the project:

- The project is consistent with an applicable congestion management program established by the county congestion management agency for designated roads or highways, regional transportation plan, and local congestion management agency plans;
- The project traffic would not increase traffic volumes at affected intersections to more than 44,000 vehicles per hour; and
- The project traffic would not increase traffic volumes at affected intersections to more than 24,000 vehicles per hour where vertical and/or horizontal mixing is substantially limited (e.g., tunnel, parking garage, underpass, etc.).

According to the Contra Costa Transportation Authority Congestion Management Program (CCTACMP), any land development application generating less than a maximum of 100 peak hour trips is not required to prepare a study of its traffic impacts on the CCTACMP network.⁶ Furthermore, City of Antioch General Plan Policy 7.3.2h requires traffic impact studies for all new development that would generate 50 peak hour trips or more at any intersection in the Circulation Element. Because the proposed project would generate less than 50 peak hour trips, a traffic impact study is not required to be prepared.

According to the ITE Manual, 9th Edition, trip rates for Mini Warehouses are 2.5 weekday trips per storage unit, and 0.02 for AM and PM peak hour trips per storage unit. Based on such, the proposed project would be anticipated to generate a total of 287 Average Daily Trips (ADT), 23 AM peak hour trips, and 23 PM peak hour trips. The General Plan EIR estimated that in 2020 the nearby arterial street of Hillcrest Avenue would experience 20,700 daily vehicle trips, while East 18th Street, the major arterial that borders the southern portion of the project site, would experience 6,900 daily trips. Because the proposed project would only add 287 total daily trips, the proposed project would not increase traffic volumes to above 44,000 vehicles per hour at any intersections or above 24,000 vehicles per hour where air mixing is substantially limited.

⁶ Contra Costa Transportation Authority. *2011 Contra Costa Congestion Management Program* [page 62]. Adopted November 16, 2011.

Based on the above, a substantial increase in levels of CO at surrounding intersections would not occur. Therefore, the proposed project would not be expected to result in substantial levels of localized CO at surrounding intersections or generate localized concentrations of CO that would exceed standards.

TAC Emissions

Another category of environmental concern is TACs. The CARB's *Air Quality and Land Use Handbook: A Community Health Perspective* (Handbook) provides recommended setback distances for sensitive land uses from major sources of TACs, including, but not limited to, gasoline stations, freeways and high traffic roads, distribution centers, and rail yards. The CARB also identifies diesel particulate matter (DPM) from diesel-fueled engines as a TAC; thus, high volume freeways, stationary diesel engines, and facilities attracting heavy and constant heavy diesel semi-truck traffic (such as distribution centers) are identified as having the highest associated health risks from DPM. Health risks from TACs are a function of both the concentration of emissions and the duration of exposure. Health-related risks associated with DPM in particular are primarily associated with long-term exposure and associated risk of contracting cancer.

With regards to TAC emissions, BAAQMD recommends that any project siting a new source or receptor take into consideration impacts associated with TACs located within a 1,000-foot zone. According to the BAAQMD screening tool for stationary TAC sources, three permitted sources of TAC emissions exist within 1,000 feet of the project site. However, the proposed project involves the construction and operation of a self-storage facility, which would not be considered a sensitive receptor. Therefore, the proposed project would not involve siting a new sensitive receptor within any recommended setback distance of any existing source of TACs. In addition, a self-storage facility would not itself be considered a major source of TACs, and therefore would not expose nearby sensitive receptors to TAC emissions.

The CARB handbook identifies significant sources of DPM as land uses accommodating 100 or more heavy diesel trucks per day, and the CARB handbook specifically recognizes that distribution centers may pose a significant hazard as such facilities involved 100 or more heavy duty truck trips per day. Although the self-storage facility would involve increased vehicle traffic in the area, the project would not be expected to attract 100 or more heavy duty trucks to the area per day, and would not be considered a distribution center. As such, the proposed project would not generate a substantial amount of DPM associated with project operations.

Short-term, construction-related activities could result in the generation of DPM, from on-road haul trucks and off-road equipment exhaust emissions. However, construction is temporary and occurs over a relatively short duration in comparison to the operational lifetime of the proposed project, particularly so for the proposed project, as the construction activities would likely occur over a less than a year (based on applicant information). All construction equipment and operation thereof would be regulated per the In-Use Off-Road Diesel Vehicle Regulation, which is intended to help reduce emissions associated with off-

road diesel vehicles and equipment, including DPM. Project construction would also be required to comply with all applicable BAAQMD rules and regulations, particularly associated with permitting of air pollutant sources. In addition, construction activity would be limited to daytime hours by the City of Antioch's Municipal Code Section 5-17.04.

Because construction equipment on-site would not operate for any periods of time longer than allowed by the City's Municipal Code and would be used at varying locations within the site, associated emissions of DPM would not occur at the same location (or be evenly spread throughout the entire project site) for long periods of time. Health risks associated with TACs are a function of the concentration of emissions, the proximity of receptors to the emissions, and the duration of exposure, where the higher the concentration, closer the receptor is to the emission, and/or the longer the period of time that a sensitive receptor is exposed to pollutant concentrations would correlate to a higher health risk. Due to the temporary nature of construction, the relatively short duration of potential exposure to associated emissions, and because the nearest sensitive receptor would be approximately 500 feet away, sensitive receptors in the area would not be exposed to pollutants for a permanent or substantially extended period of time.

Considering the short-term nature of construction activities, and the regulated and intermittent nature of the operation of construction equipment, the likelihood that any one sensitive receptor would be exposed to high concentrations of DPM for any extended period of time would be low. For the aforementioned reasons, project construction would not be expected to expose sensitive receptors to substantial pollutant concentrations.

Conclusion

Based on the above, the proposed project, including the off-site sewer improvement, would not cause or be exposed to substantial pollutant concentrations, including localized CO or TACs, and impacts related to such would be *less than significant*.

- e. Due to the subjective nature of odor impacts, the number of variables that can influence the potential for an odor impact, and the variety of odor sources, quantitative methodologies to determine the presence of a significant odor impact do not exist. Typical odor-generating land uses include, but are not limited to, wastewater treatment plants, landfills, and composting facilities. The proposed project would not introduce any such land uses and is not located in the vicinity of any such existing or planned land uses.

Construction activities often include diesel fueled equipment and heavy-duty trucks, which can create odors associated with diesel fumes, which could be found to be objectionable. However, as discussed above, construction activities would be temporary, and operation of construction equipment would be regulated and intermittent. Project construction would also be required to comply with all applicable BAAQMD rules and regulations, particularly associated with permitting of air pollutant sources. The aforementioned regulations would help to minimize air pollutant emissions as well as any associated odors. Accordingly, substantial objectionable odors would not be expected to occur during construction activities or affect a substantial number of people.

It should be noted that BAAQMD regulates objectionable odors through Regulation 7, Odorous Substances, which does not become applicable until the Air Pollution Control Officer (APCO) receives odor complaints from ten or more complainants within a 90-day period. Once effective, Regulation 7 places general limitation on odorous substances and specific emission limitations on certain odorous compounds, which remain effective until such time that citizen complaints have been received by the APCO for one year. The limits of Regulation 7 become applicable again when the APCO receives odor complaints from five or more complainants within a 90-day period. Thus, although not anticipated, if odor complaints are made after the proposed project is developed, the BAAQMD would ensure that such odors are addressed and any potential odor effects reduced to less than significant.

For the aforementioned reasons, construction and operation of the proposed project, including the off-site sewer improvement, would not create objectionable odors, nor would the project site be affected by any existing sources of substantial objectionable odors, and a *less-than-significant* impact related to objectionable odors would result.

IV. BIOLOGICAL RESOURCES.

Would the project:

	Potentially Significant Impact	Less-Than-Significant with Mitigation Incorporated	Less-Than-Significant Impact	No Impact
a. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Wildlife or US Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Interfere substantially with the movement of any resident or migratory fish or wildlife species or with established resident or migratory wildlife corridors, or impede the use of wildlife nursery sites?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion

a,d. A *Biological Resources Assessment* (BRA) has been prepared for the proposed project by Rincon Consultants that included a site survey and review of results from a California Natural Diversity Database (CNDDDB) five-mile radius search of special-status species. The following sections are based on the aforementioned BRA.

The 6.68-acre project site consists of non-native annual grasses and ruderal vegetation. According to CNDDDB search conducted as part of the BRA, 81 special-status plant species are known to occur or have occurred within the vicinity of the project site. However, the site's soil type (Delhi sand), partially-disturbed nature, and dominance of non-native grasses preclude the site from supporting any of the aforementioned special-status plant species. Additionally, none of the 81 special-status plant species were identified during the

BRA site survey and were determined in the BRA not to have any potential of occurring on the project site.

According to the BRA, 45 special-status wildlife species are known to have occurred or have the potential to occur within the vicinity of the project site. However, special-status wildlife species were not detected during the BRA site survey or determined in the BRA to have a high likelihood of inhabiting the site due to the dominance of non-native grasses, the soil type of the site, the partially-disturbed status of the site, and the absence of water features and trees on the site. While the project site may not provide optimal habitat for any of the 45 identified special-status species, the BRA determined that burrowing owl (*Athene cunicularia*) and nesting birds which include Swainson's Hawk (*Buteo swainsoni*) and all migratory birds protected under the Federal Migratory Bird Treaty Act (MBTA), have a moderate potential of occurring on the site.

The CNDDDB includes 38 records of burrowing owl within five miles of the project site, and the species is known to occur in the region and the vicinity of the project site. All previously recorded occurrences of burrowing owl within five miles of the project were documented in areas containing both suitable vegetation communities with open areas, and abundant ground squirrel burrows. Although the project site consists of non-native annual grassland, the site is heavily overgrown with annual non-native forbs including mustard and other tall cover. The site does not include any open areas or sign of California ground squirrel or other burrows. The lack of suitable habitat and burrows on the site is indicative of a low potential for the species to occur. However, because of the abundance of occurrences within the vicinity of the project, some potential exists for burrowing owls to become present on the project site prior to project construction.

The CNDDDB shows four occurrences, from 2006 to 2012, of Swainson's hawk nests within five miles of the project site; however, the project site lacks any suitable nesting habitat features to support the species. Although the grasslands could serve as foraging habitat, the site would be considered marginal for foraging given the abundance of high quality agricultural lands in the vicinity of the project. Marginal quality nesting habitat is present within one-half mile of the project site and, therefore, Swainson's hawk could occur on the project site at the time of construction.

Occupied or unoccupied bird nests were not observed on the project site during the BRA site survey; however, a song sparrow showing site fidelity (indicating possible breeding behavior) was observed. The MBTA makes it unlawful at any time, by any means or in any manner, to pursue, hunt, take, capture, or kill migratory birds. The law applies to the removal of any and all nests that are occupied by migratory birds during the nesting season. The non-native annual grassland habitat has potential to support ground nesting birds protected by the federal MBTA. Protected migratory bird nests have the potential to be disturbed if the nests are present on-site during the construction of the proposed project.

Because of the potential for special-status and federally-protected nesting birds to be found on-site, development of the proposed project, including the off-site sewer improvement, could have an adverse effect, either directly or through habitat modifications, on an

established resident or migratory wildlife corridor or on a species identified as a special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife (CDFW) or U.S. Fish and Wildlife Service (USFWS). Therefore, a *potentially significant* impact could result.

Mitigation Measure(s)

Implementation of the following mitigation measures would reduce the above impact to a *less-than-significant* level.

Proposed Project and Alternate "A" Off-Site Sewer Improvement

IV-1. *A qualified wildlife biologist (i.e., a wildlife biologist with previous burrowing owl survey experience) shall conduct pre-construction surveys of the permanent and temporary impact areas for burrowing owls and signs of burrowing owls and submit survey results to the City of Antioch Community Development Department for review. Surveys shall be conducted not fewer than 30 days prior to ground-disturbing activities (i.e. vegetation clearance, grading, tilling). The survey methodology shall be consistent with the methods outlined in the 2012 CDFW Staff Report on Burrowing Owl Mitigation and shall consist of walking parallel transects seven to 20 meters apart, adjusting for vegetation height and density as needed, and noting any potential burrows with fresh burrowing owl sign or presence of burrowing owls. If owls or signs of owls are not observed, further mitigation is not required.*

If burrowing owls are detected on-site, ground-disturbing activities, such as vegetation clearance or grading, shall be prohibited within a buffer of no fewer than 100 meters (330 feet) from an occupied burrow during the breeding season (February 1 to August 31), unless otherwise authorized by CDFW. During the non-breeding (winter) season (September 1 to January 31), ground-disturbing work can proceed near active burrows as long as the work occurs further than 50 meters (165 feet) from the burrow. Depending on the level of disturbance, a smaller buffer may be established in consultation with CDFW.

If avoidance of active burrows is not feasible during the non-breeding season, then, before breeding behavior is exhibited and after the burrow is confirmed empty by site surveillance and/or scoping, a qualified biologist shall implement a passive relocation program in accordance with the CDFW 2012 Staff Report on Burrowing Owl.

If passive relocation is required, a qualified biologist shall prepare a Burrowing Owl Exclusion and Mitigation Plan and Mitigation Land Management Plan in accordance with CDFW's 2012 Staff Report on Burrowing Owl Mitigation and for review by CDFW prior to passive relocation activities. The Burrowing Owl Exclusion and Mitigation Plan

shall include all necessary measures to minimize impacts to burrowing owls during passive relocation, including all necessary monitoring of owls and burrows during passive relocation efforts. The Mitigation Land Management Plan shall include a requirement for the permanent conservation of off-site Burrowing Owl Passive Relocation Compensatory Mitigation.

- IV-2. *Prior to any ground disturbance related to covered activities that occurs during the nesting season (March 15 – September 15), a qualified biologist will conduct a preconstruction survey no more than one month prior to construction to establish whether nests of Swainson’s hawk or birds covered by the California Fish and Game Code and the Migratory Bird Treaty Act are occupied within 1,000 feet of the project site. If potentially occupied nests within 1,000 feet are off the project site, then their occupancy will be determined by observation from public roads or by observations of applicable bird activity (e.g., foraging) near the project site. If nests are occupied, minimization measures and construction monitoring are required (see below). A written summary of the survey results shall be submitted to the City of Antioch Community Development Department.*

During the nesting season (March 15 – September 15), covered activities within 1,000 feet of occupied Swainson’s hawk nests or nests under construction will be prohibited to prevent nest abandonment. If active nests of migratory birds (nests with eggs or chicks) are located, the qualified biologist shall establish an appropriate avoidance buffer ranging from 50-feet to 300-feet depending on the species and based on the species biology and the current and anticipated disturbance levels occurring in vicinity of the nest. If site-specific conditions or the nature of the covered activity (e.g., steep topography, dense vegetation, limited activities) indicate that a smaller buffer could be used, the Implementing Entity will coordinate with CDFW/USFWS to determine the appropriate buffer size.

If young fledge prior to September 15, covered activities can proceed normally. If the active nest site is shielded from view and noise from the project site by other development, topography, or other features, the project applicant can apply to the City of Antioch Planning Division for a waiver of this avoidance measure. Any waiver must also be approved by USFWS and CDFW. While the nest is occupied, activities outside the buffer can take place.

- b,c. The project site consists of annual non-native grasses and ruderal vegetation. According to the BRA, jurisdictional waters, streambeds, and sensitive plant communities do not exist on or near the site. Therefore, the project site does not contain riparian habitat or other sensitive natural communities, including wetlands. As a result, the proposed project, including the off-site sewer improvement, would have **no impact** on riparian habitat or other sensitive natural communities.

- e. The project site does not include trees; therefore, the site is not subject to the City of Antioch's Tree Preservation Ordinance. However, an existing mature indigenous tree, as defined by the Antioch Municipal Code, is located adjacent to the Alternate "A" sewer line easement. If the Alternate "A" sewer line alignment is chosen for the off-site sewer improvements, the existing tree shall be avoided during construction activities or the applicant would be required to obtain a tree removal permit from the Antioch Department of Parks, Leisure and Community Services per Title 9, Chapter 5, Article 12 of the Antioch Municipal Code.

As a result, the proposed project could conflict with local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance, and a *potentially significant* impact could occur.

Mitigation Measure(s)

Implementation of the following mitigation measure would reduce the above impact to a *less-than-significant* level.

Proposed Project

None.

Alternate "A" Off-Site Sewer Improvement

IV-3. *Prior to approval of a grading permit and subject to Community Development Department approval, the improvement/grading plans shall show the construction area for Alternate "A" sewer line alignment would not occur within the dripline of the existing mature indigenous tree.*

Or,

If construction within the dripline of the existing mature indigenous tree cannot be avoided, then the applicant shall, in accordance with Section § 9-5.1205(F)(2) of the Antioch Municipal Code, obtain a bond for the protected tree prior to grading activities. On-going inspections by the City of Antioch shall occur during the course of the grading to assure adherence to approved plans. Should the tree die "during the course of property development" as defined by the Antioch Municipal Code, the bond shall be forfeited to the City and used for tree replacement. A percentage of the bond would be retained in either case to assure tree survival for up to five years after the issuance of a certificate of occupancy. Tree replacement to tree loss ratio shall be 2:1 with a 48-inch box and subject to City of Antioch Community Development Department approval.

- f. In July 2007 the East Contra Costa County (ECCC) Habitat Conservation Plan/Natural Community Conservation Plan (HCP/NCCP) was adopted by Contra Costa County, other

member cities, the USFWS, and the CDFW. The City of Antioch, however, declined to participate in the HCP/NCCP. Therefore, the project site is not located in an area with an approved HCP/NCCP, or local, regional, or State habitat conservation plan. As a result, *no impact* would occur.

V. CULTURAL RESOURCES.

Would the project:

	Potentially Significant Impact	Less-Than-Significant with Mitigation Incorporated	Less-Than-Significant Impact	No Impact
a. Cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5?	<input type="checkbox"/>	✘	<input type="checkbox"/>	<input type="checkbox"/>
b. Cause a substantial adverse change in the significance of a unique archaeological resource pursuant to Section 15064.5?	<input type="checkbox"/>	✘	<input type="checkbox"/>	<input type="checkbox"/>
c. Directly or indirectly destroy a unique paleontological resource on site or unique geologic features?	<input type="checkbox"/>	✘	<input type="checkbox"/>	<input type="checkbox"/>
d. Disturb any human remains, including those interred outside of formal cemeteries.	<input type="checkbox"/>	✘	<input type="checkbox"/>	<input type="checkbox"/>
e. Cause a substantial adverse change in the significance of a tribal cultural resource as defined in Public Resources Code 21074?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>

Discussion

a-d. The 6.68-acre project site and the off-site sewer improvement lands are currently vacant with ruderal vegetation and do not contain any buildings or structures. According to a field survey and records search of the California Historical Resources Information System conducted as part of the *East 18th Street and Vineyard Drive Project Phase I Cultural Resources Study* (Cultural Resources Study) prepared by Rincon Consultants for the project site, the project site does not contain any known historical or cultural resources. However, cultural resources are known to be located within one-half mile of the site and development of the proposed project, including the off-site sewer improvement, could uncover unanticipated cultural resources or human remains. As a result, a ***potentially significant*** impact could occur related to the destruction or adverse change to historical, archeological, paleontological, or geological resources or human remains.

Mitigation Measure(s)

Implementation of the following mitigation measures would reduce the above impact to a *less-than-significant* level.

Proposed Project and Alternate "A" Off-Site Sewer Improvement

V-1. *In the event of the accidental discovery or recognition of any human remains, further excavation or disturbance of the find or any nearby area reasonably suspected to overlie adjacent human remains shall not occur until compliance with the provisions of CEQA Guidelines Section 15064.5(e)(1) and (2) has occurred. The Guidelines specify that in the event of the discovery of human remains other than in a dedicated cemetery, no further excavation at the site or any nearby area suspected to contain human remains shall occur until the County Coroner has been notified to determine if an investigation into the cause of death is required. If the*

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coroner determines that the remains are Native American, then, within 24 hours, the Coroner must notify the Native American Heritage Commission, which in turn will notify the most likely descendants who may recommend treatment of the remains and any grave goods. If the Native American Heritage Commission is unable to identify a most likely descendant or most likely descendant fails to make a recommendation within 24 hours after notification by the Native American Heritage Commission, or the landowner or his authorized agent rejects the recommendation by the most likely descendant and mediation by the Native American Heritage Commission fails to provide a measure acceptable to the landowner, then the landowner or his authorized representative shall rebury the human remains and grave goods with appropriate dignity at a location on the property not subject to further disturbances. Should human remains be encountered, a copy of the resulting County Coroner report noting any written consultation with the Native American Heritage Commission shall be submitted as proof of compliance to the City's Community Development Department.

- V-2. *If any prehistoric or historic artifacts, or other indications of cultural deposits, such as historic privy pits or trash deposits, are found once ground disturbing activities are underway, all work within the vicinity of the find(s) shall cease and the find(s) shall be immediately evaluated by a qualified archaeologist. If the find is determined to be a historical or unique archaeological resource, contingency funding and a time allotment to allow for implementation of avoidance measures or appropriate mitigation shall be made available (CEQA Guidelines Section 15064.5). Work may continue on other parts of the project site while historical or unique archaeological resource mitigation takes place (Public Resources Code Sections 21083 and 21087).*
- V-3. *The applicant shall retain the services of a professional paleontologist to educate the construction crew that will be conducting grading and excavation at the project site. The education shall consist of an introduction to the geology of the project site and the kinds of fossils that may be encountered, as well as what to do in case of a discovery. Should any vertebrate fossils (e.g., teeth, bones), an unusually large or dense accumulation of intact invertebrates, or well-preserved plant material (e.g., leaves) be unearthed by the construction crew, then ground-disturbing activity shall be diverted to another part of the project site and the paleontologist shall be called on-site to assess the find and, if significant, recover the find in a timely matter. Finds determined significant by the paleontologist shall then be conserved and deposited with a recognized repository, such as the University of California Museum of Paleontology. The alternative mitigation would be to leave the significant finds in place, determine the extent of significant deposit, and avoid further disturbance of the significant deposit. Proof of the construction crew awareness training*

shall be submitted to the City's Community Development Department in the form of a copy of training materials and the completed training attendance roster.

- e. Tribal cultural resources are generally defined by Public Resources Code 21074 as sites, features, places, cultural landscapes, sacred places, and objects with cultural value to a California Native American tribe. On May 31st, 2016, in compliance with Assembly Bill (AB) 52, the City of Antioch distributed project notification letters to the Ohlone Indian Tribe, the Indian Canyon Mutsun Band of Costanoan, Amah Mutsun Tribal Band of Mission San Juan Bautista, and the Wilton Rancheria. Per AB 52, once receiving the project notification letter, the Native American tribe has 30 days to request consultation. The City of Antioch did not receive a request for consultation within the 30 days. Due to the required implementation of Mitigation Measures V-1 through V-3 and the City's compliance with AB 52, the project would result in a *less-than-significant* impact to tribal cultural resources.

VI. GEOLOGY AND SOILS.

Would the project:

	Potentially Significant Impact	Less-Than-Significant with Mitigation Incorporated	Less-Than-Significant Impact	No Impact
a. Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:				
i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	✗	<input type="checkbox"/>
ii. Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	✗	<input type="checkbox"/>
iii. Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	✗	<input type="checkbox"/>
iv. Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	✗	<input type="checkbox"/>
b. Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	✗	<input type="checkbox"/>	<input type="checkbox"/>
c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	✗	<input type="checkbox"/>
d. Be located on expansive soil, as defined in Table 18-1B of the Uniform Building Code?	<input type="checkbox"/>	<input type="checkbox"/>	✗	<input type="checkbox"/>
e. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	✗

Discussion

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aiv. According to the Association of Bay Area Governments (ABAG) Resilience Program's interactive hazards map, the site is not located within a designated Alquist-Priolo Earthquake Fault Zone and active or potentially active faults do not occur at the site. The nearest known active fault to the site is the Greenville Fault, which is located approximately six miles southwest of the site. Furthermore, the project site is flat and not surrounded by any hillsides that could be subject to landslides. Due to the site's proximity to the nearest active fault, the potential exists for the proposed self-storage buildings to be subject to seismic ground shaking. However, the proposed buildings would be properly engineered in accordance with the California Building Code, which include engineering standards appropriate for the seismic area in which the project is located. Conformance with the design standards is enforced through building plan review and approval by the City of Antioch Building Division prior to the issuance of building permits. Proper engineering of the proposed project would ensure that seismic-related effects would not cause adverse impacts. Therefore, a *less-than-significant* impact would occur related to seismic surface rupture, ground shaking, and landslides.

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- d. Soil liquefaction results from loss of strength during cyclic loading, such as imposed by earthquakes. Soils most susceptible to liquefaction are clean, loose, saturated, uniformly graded, and fine-grained sands. Empirical evidence indicates that loose to medium-dense gravels, silty sands, and low- to moderate-plasticity silts and clays may be susceptible to liquefaction. In addition, sensitive high-plasticity soils may be susceptible to significant strength loss (cyclic softening) as a result of significant cyclic loading.

Expansive soils can cause foundations to rise each wet season and fall each dry season. Movements may vary under different parts of a building or street, resulting in cracking of foundations and street surfaces, distortion of various structural portions of a building, and warping of doors and windows such that they do not function properly.

According to the ABAG interactive hazards map, the project site is in an area where historic occurrences of liquefaction, or local geologic, geotechnical, or groundwater conditions indicate a moderate potential for liquefaction. Additionally, the United States Department of Agriculture (USDA) interactive Web Soil Survey map indicates that the site is comprised of Delhi sand.⁷ Delhi sand is characterized by sand or loamy sand and, according to the City of Antioch General Plan EIR, has a moderate potential for liquefaction and a low potential for expansion due to the soil's low shrink-swell potential.

The City of Antioch Municipal Code Section 9-4.513 and the City of Antioch General Plan Policy 11.3.2-i require the preparation of site-specific geology and soils reports for all new developments, and require that the findings and recommendations of these studies be incorporated into project development. Compliance with such is verified by the City of Antioch Building Division as part of the building permit process. Because a geology and soils report is required and verified by the City, any impacts related to exposing people or structures to potential risk of loss, injury, or death by the project's location on an unstable geologic or soil unit would be *less than significant*.

- b. All municipalities within Contra Costa County (and the County itself) are required to develop more restrictive surface water control standards for new development projects as part of the renewal of the Countywide National Pollutant Discharge Elimination System (NPDES) permit. The City of Antioch has adopted the County C.3 Stormwater Standards that require all new developments that alter one or more acres of land to minimize impacts related to erosion. Given that the proposed project site consists of approximately 6.68 acres, the proposed project would be subject to the requirements of the State Water Resources Control Board (SWRCB) and the Regional Water Quality Control Board (RWQCB), including the C.3 Standards, which are included in the City's NPDES General Permit. Furthermore, Section 8-13.01 of the City of Antioch Municipal Code requires stormwater control measures be implemented during the construction phases of development.

The proposed project site consists primarily of ruderal vegetation; however, topsoil would be exposed during the grading of the site. After grading and prior to overlaying the ground

⁷ United States Department of Agriculture. *Web Soil Survey*. Accessed July, 2016.

surface with impervious surfaces and structures, the potential exists for wind and water to erode portions of the exposed topsoil. Therefore, the construction-related impacts associated with the potential for soil erosion and the loss of topsoil on the project site could be *potentially significant*.

Mitigation Measure(s)

Implementation of the following mitigation measure would reduce the above impact to a *less-than-significant* level.

Proposed Project and Alternate "A" Off-Site Sewer Improvement

VI-1. *Prior to final project design, the project applicant shall submit, for the review and approval by the City Engineer, an erosion control plan that utilizes standard construction practices to limit the erosion effects during construction of the proposed project. Measures shall include, but are not limited to, the following:*

- *Hydro-seeding;*
- *Placement of erosion control measures within drainage ways and ahead of drop inlets;*
- *The temporary lining (during construction activities) of drop inlets with "filter fabric" (a specific type of geotextile fabric);*
- *The placement of straw wattles along slope contours;*
- *Directing subcontractors to a single designation "wash-out" location (as opposed to allowing them to wash-out in any location they desire);*
- *The use of siltation fences; and*
- *The use of sediment basins and dust palliatives.*

- e. As discussed previously, the proposed project includes off-site sewer improvements and would connect with the existing City sanitary sewer lines located in the East 18th Street right-of-way. The construction or operation of septic tanks or other alternative wastewater disposal systems are not included as part of the proposed project. Therefore, *no impact* regarding the capability of soil to adequately support the use of septic tanks or alternative wastewater disposal systems would occur.

VII. GREENHOUSE GAS EMISSIONS.

Would the project:

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less-Than-Significant Impact	No Impact
a. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gasses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

a, b. Emissions of greenhouse gases (GHGs) contributing to global climate change are attributable in large part to human activities associated with the industrial/manufacturing, utility, transportation, residential, and agricultural sectors. Therefore, the cumulative global emissions of GHGs contributing to global climate change can be attributed to every nation, region, and city, and virtually every individual on earth. An individual project's GHG emissions are at a micro-scale level relative to global emissions and effects to global climate change; however, an individual project could result in a cumulatively considerable incremental contribution to a significant cumulative macro-scale impact. As such, impacts related to emissions of GHG are inherently considered cumulative impacts.

Implementation of the proposed project would cumulatively contribute to increases of GHG emissions. Estimated GHG emissions attributable to future development would be primarily associated with increases of carbon dioxide (CO₂) and, to a lesser extent, other GHG pollutants, such as methane (CH₄) and nitrous oxide (N₂O) associated with area sources, mobile sources or vehicles, utilities (electricity and natural gas), water usage, wastewater generation, and the generation of solid waste. The primary source of GHG emissions for the project would be mobile source emissions. The common unit of measurement for GHG is expressed in terms of annual metric tons of CO₂ equivalents (MTCO_{2e}/yr).

The proposed project is located within the jurisdictional boundaries of the BAAQMD. The BAAQMD threshold of significance for project-level operational GHG emissions is 1,100 MTCO_{2e}/yr or 4.6 MTCO_{2e}/yr per service populations (population + employees). BAAQMD's approach to developing a threshold of significance for GHG emissions is to identify the emissions level for which a project would not be expected to substantially conflict with existing California legislation adopted to reduce statewide GHG emissions needed to move towards climate stabilization. If a project would generate GHG emissions above the threshold level, the project would be considered to generate significant GHG emissions and conflict with applicable GHG regulations. The City of Antioch, as lead agency, has chosen to use the BAAQMD thresholds of significance for the analysis within this IS/MND, as the thresholds are supported by substantial evidence.

The proposed project's GHG emissions were quantified using CalEEMod using the same assumptions as presented in the Air Quality section of this IS/MND, and compared to the 1,100 MTCO_{2e}/yr threshold of significance. The proposed project's required compliance with the current California Building Energy Efficiency Standards Code was assumed in the

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modeling as well as the proposed solar energy production to meet 100 percent of the project's operational energy needs. In addition, the CO₂ intensity factor within the model was adjusted to reflect the Pacific Gas & Electric Company's anticipated progress towards statewide renewable portfolio standard goals. All CalEEMod results are included in the Appendix.

According to the CalEEMod results, the proposed project would result in unmitigated operational GHG emissions of 353.74 MTCO_{2e}/yr, which is well below the 1,100 MTCO_{2e}/yr threshold of significance. Construction GHG emissions are a one-time release and are, therefore, not typically expected to generate a significant contribution to global climate change. Neither the City nor BAAQMD has an adopted a threshold of significance for construction-related GHG emissions. However, even if the proposed project's total construction GHG emissions of 242.07 MTCO_{2e}/yr are included with the annual operational GHG emissions, the resultant total GHG emissions of 595.81 MTCO_{2e}/yr would still be well below the 1,100 MTCO_{2e}/yr threshold of significance. Therefore, the proposed project would not be expected to result in a significant impact related to GHG emissions.

Based on the above, the proposed project would not be considered to generate GHG emissions, either directly or indirectly, that may have a significant impact on the environment, or conflict with any applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of GHGs; and impacts would be considered *less than significant*.

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VIII. HAZARDS AND HAZARDOUS MATERIALS.

Would the project:

	Potentially Significant Impact	Less-Than-Significant with Mitigation Incorporated	Less-Than-Significant Impact	No Impact
a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the likely release of hazardous materials into the environment?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Expose people or structures to the risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion

- a. Projects that involve the routine transport, use, or disposal of hazardous materials are typically industrial in nature. The proposed project would be a commercial self-storage establishment and would not be industrial in nature. Self-storage facilities do not typically involve the routine transport, use, disposal, or generation of substantial amounts of hazardous materials. Construction activities would involve the use of heavy equipment, which would contain fuels and oils, and various other products such as concrete, paints, and adhesives. However, the project contractor would be required to comply with all California Health and Safety Codes and local ordinances regulating the handling, storage, and transportation of hazardous and toxic materials, as overseen by the California EPA and

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California Department of Toxic Substance Control. As such, impacts related to the routine transport, use, or disposal of hazardous materials would be *less-than-significant*.

- b. A *Phase I Environmental Site Assessment* (Phase I ESA) was performed for the site by Krazan & Associates, Inc. in September of 2003. The Phase I ESA included a survey of the site and a review of historical documentation, aerial photography, regulatory agency files, and current environmental sites radius reports.

According to the Phase I ESA, the proposed project site contains one pad-mounted Pacific Gas and Electric (PG&E) transformer. Transformers could be considered a health concern if they utilized Polychlorinated Biphenyls (PCBs). PCBs were used in electrical transformers as a fire retardant; however, a number of adverse health effects are associated with PCBs. Transformers containing PCBs were manufactured between 1929 and 1977. Since the early 1980s, PG&E has initiated a policy of installing PCB-free equipment. According to the site survey conducted by Krazan & Associates, the installation date of the transformer could not be located and, thus, it is unknown whether the transformer contains PCB fluids. The site survey did not find evidence of PBC fluid leakage on the ground surface or transformer casing. As a result, the project site is not expected to be affected by any PCBs associated with the transformers. It should be noted that PG&E is the owner of the aforementioned transformer and is responsible in the case that the transformer requires removal or testing for PCB fluids; however, the transformer is not proposed to be removed as part of the proposed project.

In addition, the Phase I ESA review of historic aerial photography indicated a previous residence was present on the site. As such, the potential exists for a septic system and/or domestic water well to be discovered during construction activities. State and local guidelines require any septic system or water well found during construction to be properly abandoned/closed or destroyed. Therefore, a *potentially significant* impact related to a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the likely release of hazardous materials into the environment could occur.

Mitigation Measure(s)

Implementation of the following mitigation measures would reduce the above impact to a *less-than-significant* level.

Proposed Project and Alternate "A" Off-Site Sewer Improvement

- VIII-1. *Prior to any ground disturbance activities, the applicant shall hire a qualified geotechnical engineer to identify the location of any domestic water wells. If wells are not identified within the site, further mitigation is not required. However, if wells are identified within the site, prior to any ground disturbance activities within 50 feet of any well, the applicant shall hire a licensed well contractor to obtain a well abandonment permit from the Contra Costa Environmental Health Department, and properly*

abandon the on-site well, pursuant to review and approval by the City Engineer and the Contra Costa Environmental Health Department.

VIII-2. *Prior to any ground disturbance activities, the applicant shall hire a qualified geotechnical engineer to identify the location of any septic tanks. If septic tanks are not identified within the site, further mitigation is not required. However, if septic tanks are identified within the site, prior to any ground disturbance activities within 50 feet of a septic tank, the geotechnical engineer shall properly abandon the on-site septic systems, pursuant to review and approval by the City Engineer and the San Joaquin County Environmental Health Department.*

- c. The proposed project site is not located within one-quarter mile of an existing or proposed school. The nearest existing school to the site, Cornerstone Christian School, is located approximately 0.6 mile west of the site. Furthermore, hazardous materials would not be emitted as part of the construction or operation of the proposed site. Therefore, the project would have a **less-than-significant** impact related to hazardous emissions or the handling of hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school.
- d. The project site is not located on a site that is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5.⁸ Therefore, the project would not create a significant hazard to the public or the environment, and **no impact** associated with such would occur.
- e, f. The project site is not located within the vicinity of a public airport or private airstrip as the nearest airstrip to the site is the Funny Farm airstrip in Byron, located approximately 7.6 miles southeast of the site. As such, the project site is not located within two miles of any public airports or private airstrips, and does not fall within an airport land use plan area. Therefore, **no impact** would occur.
- g. In 1996, the City of Antioch approved an Emergency Plan that addresses response to disasters, including but not limited to earthquakes, floods, fires, hazardous spills or leaks, major industrial accidents, major transportation accidents, major storms, airplane crashes, environmental response, civil unrest, and national security emergencies. The plan outlines the general authority, organization, and response actions for City of Antioch staff when disasters happen. Implementation of the proposed project would not result in any modifications to the existing roadway system and therefore, would not interfere with an emergency evacuation or response plan. As a result, a **less-than-significant** impact would occur.
- h. The proposed project site consists of ruderal vegetation and is surrounded by existing commercial development on three sides and an agricultural field on the remaining side. Dry, potentially-flammable, vegetation currently exists on the site; however, the existing

⁸ California Department of Toxic Substances Control. *Hazardous Waste and Substances Site List*. Accessed July, 2016.

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vegetation would be removed as part of the proposed project. Due to the nature of self-storage facilities, the project would not be expected to attract many people for any extended period of time. According to the City of Antioch General Plan EIR, the areas of the City most susceptible to wildland fire hazards exist within the southern, unincorporated portions of the General Plan Study area.⁹ Much of the threat is due to open grasslands abutting residential developments. Because the proposed project would not involve the presence of many individuals for any extended period of time or the development of structures near areas of high-susceptibility to wildland fires, the project would have a *less than significant* impact with respect to exposing people or structures to the risk of loss, injury or death involving wildland fires.

⁹ City of Antioch. *General Plan Update EIR* [page 4.6-9]. July 2003

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IX. HYDROLOGY AND WATER QUALITY.	Potentially Significant Impact	Less-Than-Significant with Mitigation Incorporated	Less-Than-Significant Impact	No Impact
<i>Would the project:</i>				
a. Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
b. Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (i.e., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
d. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
e. Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
f. Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
g. Place housing within a 100-year floodplain, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
h. Place within a 100-year floodplain structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
i. Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam.	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
j. Inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>

Discussion

a-f. A *Stormwater Control Plan* (SWCP) was prepared for the proposed project by Bellecci & Associates in April, 2016, per City of Antioch Municipal Code Section 6-9.05.

All municipalities within Contra Costa County (and the County itself) are required to develop more restrictive surface water control standards for new development projects as

part of the renewal of the Countywide NPDES permit. The City of Antioch has adopted the County C.3 Stormwater Standards, which require new development and redevelopment projects that create or alter 10,000 or more square feet of impervious area to contain and treat all stormwater runoff from the project site. Given that the proposed project would create approximately 172,672 sf of impervious area, the proposed project would be subject to the requirements of the SWRCB and the RWQCB, including the C.3 Standards, which are included in the City's NPDES General Permit.

The SWCP prepared for the proposed project conforms with the most recent Contra Costa Clean Water Program Stormwater C.3 Guidebook and verifies that the proposed project complies with all City stormwater requirements. In compliance with the C.3 Guidebook, the proposed project would include a bio-retention facility on the eastern edge of the site, which would be sized to exceed the minimum volume requirement necessary to adequately treat all runoff from the proposed impervious surfaces. Runoff would gravity flow to the bio-retention area where the stormwater would be able to infiltrate the soil in a similar manner to what currently occurs on the project site. In the event of a large storm that produces stormwater runoff in-excess of the bio-retention facilities' capacity, all excess runoff would flow through the existing stormwater line located in Vineyard Drive. Because the proposed bio-retention facility would be designed with adequate capacity to capture and treat runoff from proposed impervious surfaces, the proposed project would not alter the existing drainage pattern of the site. In addition to reducing runoff and allowing for groundwater recharge, the bio-retention area would treat incoming runoff by filtering stormwater through permeable soil layers. The process of stormwater moving through the soil layers would remove pollutants from the stormwater before further subsurface infiltration or discharge to City infrastructure. As a result, the proposed project would not lead to the degradation of water quality or the violation of water quality standards due to operational stormwater runoff.

Additionally, during the early stages of construction activities, topsoil would be exposed due to grading of the site. After grading and prior to overlaying the ground surface with impervious surfaces and structures, the potential exists for wind and water erosion to discharge sediment, urban pollutants, and/or residual pesticides into stormwater runoff, which would adversely affect water quality. The SWCP includes a Construction Plan C.3 Checklist with Best Management Practices to mitigate the impacts of topsoil erosion and pollutant discharge.

Therefore, the project would not substantially deplete groundwater supplies, interfere with the recharge of groundwater, violate water quality standards, substantially degrade water quality, directly alter or lead to the alteration of existing drainage features leading to erosion, flooding or siltation, nor would the project contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems. As a result, the project would have a *less-than-significant* impact.

- g-i. According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map number 06013C0144G, the project site is located within Zone X. FEMA defines Zone X as an area not within a 100-year or 500-year floodplain. The Contra Loma Dam is the

closest dam to the project site, located just over two miles south. The Citywide inundation map for the failure of Contra Loma Dam and Dike No. 2 (Figure 4.7-3 of the GPU EIR) indicates that the project site is located outside of the areas that would be impacted by dam failure. It should be noted that, according to the GPU EIR, dam failure would be an unlikely event.¹⁰ As a result, the project would not place structures within the 100-year floodplain, nor expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam. Therefore, a *less-than-significant* flooding impact would result.

- j. The project area is located over 50 miles from the Pacific Ocean and tsunamis typically affect coastlines and areas up to one-quarter mile inland. Therefore, due to the project site's distance from the coast, potential impacts related to a tsunami are minimal. Additionally, the project site is not susceptible to impacts resulting from a seiche because of the site's distance from any enclosed bodies of water. The nearest enclosed body of water to the project site is the Contra Loma Reservoir, which is located just over two miles south of the project site. Because steep slopes are not located in close proximity to the site, mudflows would not pose an issue. Therefore, a *less-than-significant* impact would occur related to inundation by seiche, tsunami, or mudflow.

¹⁰ City of Antioch. *General Plan Update EIR* [pg. 4.7-4]. July 2003.

X. LAND USE AND PLANNING.	Potentially Significant Impact	Less-Than-Significant with Mitigation Incorporated	Less-Than-Significant Impact	No Impact
<i>Would the project:</i>				
a. Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
b. Conflict with any applicable land use plans, policies, or regulations of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating on environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
c. Conflict with any applicable habitat conservation plan or natural communities conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	✘

Discussion

- a. The 6.68-acre project site is vacant undeveloped land surrounded by an existing agricultural field and commercial developments. The General Plan Eastern Waterfront Employment Focus Area, East 18th Street Specific Plan, and City Zoning designate the project site for development. Given that the site has already been planned for development and the site is surrounded by existing commercial and agricultural uses, the project would have a *less-than-significant* impact related to the physical division of an established community.
- b. According to the Antioch General Plan, the 6.68-acre project site is designated Business Park within the City of Antioch’s Eastern Waterfront Employment Focus Area.¹¹ The purpose of the “Focus Areas” is to provide policy direction specific to each area, including appropriate land use types and development intensity, based upon analysis of the particular opportunities and constraints affecting each area. The Antioch General Plan designates 10 different Focus Areas. Self-storage facilities, such as that proposed for the project are an allowable use under the Business Park designation of the Eastern Waterfront Employment Focus Area.

The project site is currently zoned Planned Business Center (PBC), which does not allow for self-storage usage. However, in 2001 the City of Antioch adopted the East 18th Street Specific Plan to guide future development of the Eastern Waterfront Employment Focus Area, which designated the site Office and Light Industry (O/LI). The East 18th Street Specific Plan determined the uses allowed in O/LI are consistent with the Citywide Light Manufacturing Zoning District (M-1). Self-storage and RV/boat storage are conditionally permitted uses within the M-1 district of the Antioch Zoning Code.¹² Therefore, the proposed project’s uses would be conditionally permitted with approval of a Conditional Use Permit (CUP).¹³

¹¹ City of Antioch. *City of Antioch General Plan*. November 23, 2003
¹² City of Antioch. *East 18th Street Specific Plan* [pg. 19], September 2001.
¹³ City of Antioch. *City of Antioch, California Code of Ordinances Table of Land Use Regulations* § 9-5.3803. Current through September 22, 2015.

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Additionally, consistent with the requirements of the East 18th Street Specific Plan, the proposed project includes a request for a Planned Development (PD) Rezone. PD districts encourage the use of flexible development standards designed to appropriately integrate a project into its natural and/or man-made setting and the City of Antioch uses the PD process to implement the various Specific Plans adopted by the City. In addition, approval of the CUP is required prior to final map recordation for all projects within a PD District.

Upon obtaining approval of the rezone and CUP from the City, the proposed project would be consistent with all applicable land use plans, policies, and regulations of agencies with jurisdiction over the project, which would result in a *less-than-significant* impact.

- c. In July 2007 the East Contra Costa County (ECCC) Habitat Conservation Plan/Natural Community Conservation Plan (HCP/NCCP) was adopted by Contra Costa County, other member cities, the USFWS, and the CDFW. The City of Antioch, however, declined to participate in the HCP/NCCP. Therefore, the project site is not located in an area with an approved HCP/NCCP, or local, regional, or State habitat conservation plan. As a result, *no impact* would occur.

XI. MINERAL RESOURCES.	Potentially Significant Impact	Less-Than-Significant with Mitigation Incorporated	Less-Than-Significant Impact	No Impact
<i>Would the project:</i>				
a. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	✘
b. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	✘

Discussion

- a,b. According to the City of Antioch’s GPU EIR, areas identified in the General Plan for new development do not contain known mineral resources that would be of value to the region or residents of the State.¹⁴ Therefore, *no impact* to mineral resources would occur as a result of development of the project.

¹⁴ City of Antioch. *General Plan Update EIR* [pg. 5-9]. July 2003.

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XII. NOISE. <i>Would the project result in:</i>	Potentially Significant Impact	Less-Than- Significant with Mitigation Incorporated	Less- Than- Significant Impact	No Impact
a. Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion

- a,c. The City of Antioch GPU EIR establishes a noise level limit of 70 dBA for residential neighborhoods. The site is immediately surrounded by existing commercial developments on three sides and an agricultural field on the remaining side. The nearest sensitive residential receptors to the project site are located approximately 500 feet to the northwest of the site, behind the agricultural field. The existing noise environment in the project vicinity is defined primarily by vehicle noise from traffic along East 18th Street. As discussed in the Transportation/Traffic section of this IS/MND, the proposed project is not anticipated to generate excessive traffic or significantly impact the transportation and circulation system in the area. Additionally, the operation of self-storage facilities is not typically associated with high levels of noise production, and any operational noise produced by the self-storage facility would not be expected to significantly impact the nearby neighborhoods by generating noise in excess of 70 dBA. Therefore, the proposed project would result in a *less-than-significant* impact regarding exposure of persons to or generation of noise levels in excess of standards established in the local general plan.
- b. Groundborne vibration would not be generated as part of the daily operation of the proposed self-storage facility. However, groundborne vibrations would be generated during construction of the proposed project. For structural damage, the California Department of Transportation (Caltrans) uses a vibration limit of 0.5 inches/second, peak

particle velocity (in/sec, PPV), for buildings structurally sound and designed to modern engineering standards; 0.2 in/sec PPV for buildings that are found to be structurally sound but where structural damage is a major concern; and a conservative limit of 0.08 in/sec PPV for historic buildings or buildings that are documented to be structurally weakened.¹⁵ All surrounding structures are assumed to be structurally sound, but damage would be a concern so the 0.2 in/sec PPV is used as a threshold of significance for structural damage for this analysis. The threshold of 0.2 in/sec PPV is also used by Caltrans as the threshold for human annoyance caused by vibration. Therefore, activities creating vibrations exceeding 0.2 in/sec PPV would impact sensitive receptors in nearby residences. Table 4 presents typical vibration levels that could be expected from construction equipment at a distance of 25 feet.

Equipment	PPV at 25 ft (in/sec)
Vibratory Roller	0.210
Large Bulldozer	0.089
Caisson drilling	0.089
Loaded trucks	0.076
Jackhammer	0.035
Small bulldozer	0.003

Source: Caltrans, Transportation and Construction Vibration: Guidance Manual. September 2013.

Project construction activities, such as drilling, the use of jackhammers, and other high-power or vibratory tools, and rolling stock equipment (tracked vehicles, compactors, etc.) may generate groundborne vibration in the immediate vicinity. As shown in Table 4, jackhammers typically generate vibration levels of 0.035 in/sec PPV, drilling typically generates vibration levels of 0.09 in/sec PPV, and the strongest source of vibration, vibratory rollers, generates vibration levels of 0.21 in/sec PPV, all at a distance of 25 feet. Vibration levels would vary depending on soil conditions, construction methods, and equipment used. It is important to note that groundborne vibrations dissipate with distance. The closest residential structures to the project site are at least 500 feet away. Therefore, the PPV experienced at any of the residences would be significantly reduced from the PPV's reported in Table 4. Consequently, vibration generated by construction activities associated with the proposed project are not expected to be perceptible at any nearby residence or result in structural damage to such residences. Therefore, the project would not involve the exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels resulting in a *less-than-significant* impact.

- d. During construction of the proposed project, noise from construction activities would add to the noise environment in the immediate project vicinity. According to the Antioch GPU EIR, activities involved in construction would generate maximum noise levels ranging from 68 to 90 dB at a distance of 50 feet. The GPU EIR includes mitigation measures ensuring that short-term construction noise from GP buildout would not result in adverse noise impacts to nearby sensitive receptors. While the nearest sensitive receptors to the

¹⁵ Caltrans, *Transportation and Construction Vibration Guidance Manual*. September 2013.

project site are located approximately 500 feet to the northwest, if project construction operations do not comply with GPU EIR mitigation measures, a remote potential exists for construction noise to have a *potentially significant* short-term impact.

Mitigation Measure(s)

Implementation of the following mitigation measures would reduce the above impact to a *less-than-significant* level.

Proposed Project and Alternate "A" Off-Site Sewer Improvement

XII-1 Noise-generating activities at the construction site shall be restricted to the hours specified in Section 5-17.04 of the City's Municipal Code, as follows: 7:00 AM to 6:00 PM, Monday through Friday, and 9:00 AM to 5:00 PM on weekends and holidays.

XII-2 Prior to the initiation of grading or construction activities, and subject to the review and approval of the City Engineer, the following notes shall be included on the improvement plans:

- Equip all equipment driven by internal combustion engines with intake and exhaust mufflers that are in good condition and appropriate to the equipment. Unnecessary idling of internal combustion engines should be strictly prohibited;*
- Stationary noise-generating equipment, such as air compressors or portable power generators, must be located as far as is feasible from sensitive receptors; and*
- Utilize "quiet" air compressors and other stationary noise sources where technology exists.*

e,f. The project site is not located within the vicinity of a public airport or private airstrip as the nearest airstrip to the site is the Funny Farm airstrip, located approximately 7.6 miles southeast of the site. Therefore, the proposed project would not expose people residing or working in the project area to excessive air traffic noise levels, and *no impact* would occur.

XIII. POPULATION AND HOUSING.

Would the project:

	Potentially Significant Impact	Less-Than-Significant with Mitigation Incorporated	Less-Than-Significant Impact	No Impact
a. Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (e.g., through projects in an undeveloped area or extension of major infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	✘
b. Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	✘
c. Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	✘

Discussion

- a. The 6.68-acre project site is currently vacant and is surrounded by existing commercial developments on three sides. The proposed project would include the construction and operation of 102,333 sf of office and self-storage space; as such, the project would not directly induce population growth in the area. While the project would require connections to nearby water and sanitary sewer lines, these improvements would not constitute extension of major infrastructure. The water and sanitary sewer line improvements would only have capacity to serve the proposed project. Because the project does not include new home construction, or the extension of major infrastructure that could indirectly induce population growth, the project would have *no impact* related to inducing substantial population growth.
- b,c. The project site is vacant and surrounded by existing commercial and agricultural land uses. Given the undeveloped condition of the project site and the commercial land uses that surround the site, the project would have *no impact* related to the displacement of substantial numbers of existing housing or people.

XIV. PUBLIC SERVICES.

Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

	Potentially Significant Impact	Less-Than-Significant with Mitigation Incorporated	Less-Than-Significant Impact	No Impact
a. Fire protection?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
b. Police protection?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
c. Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	✘
d. Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	✘
e. Other Public Facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	✘

Discussion

- a. Fire protection services to the project area are provided by the Contra Costa County Fire Protection District (CCCFPD). The CCCFPD is an “all-hazards” organization providing fire suppression, paramedic emergency medical services (EMS), technical rescue, water rescue, and fire prevention/investigation services to more than 600,000 residents across a 304 square mile coverage area. The CCCFPD operates 25 fire stations and responds to approximately 45,000 incidents annually. CCCFPD’s Station #88 (4288 Folsom Drive) is located approximately 1.5 miles south of the project site and is the closest fire station to the site. Station #88 currently provides fire protection service to the proposed project site and the surrounding commercial developments.

The proposed project would be required to pay applicable fire protection fees per the City’s Master Fee Schedule and the proposed self-storage facility would be constructed in accordance with the fire protection requirements of the 2013 California Fire Code. The CCCFPD and the City’s Building Inspection Services Division would review the project building plans to ensure compliance with all code requirements. Therefore, the proposed project would have a *less-than-significant* impact related to the need for new or physically altered fire protection facilities, the construction of which could cause significant environmental impacts.

- b. Police protection in the area is provided by the Antioch Police Department (APD). According to the Antioch Police Chief’s City Council presentation given on July 26, 2016, the APD has 102 authorized sworn positions and 95 positions are currently filled.¹⁶ The Antioch Police Station is located approximately three miles away from the project site. The operation of the proposed self-storage facility has the potential to increase demand for police protection services, though, given the relatively small number of people who would access the facility each day, the increase would be expected to be minimal. As a result, the project would have a *less-than-significant* impact related to the need for new or physically

¹⁶ Personal Communication with Alexis Morris, Senior Planner, City of Antioch Community Development Department. August 16, 2016.

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altered police protection facilities, the construction of which could cause significant environmental impacts.

- c-e. Development of the proposed self-storage facility would not induce significant population growth, as the project would not include the construction of housing or the creation of a substantial number of new jobs. As such, the proposed project would not introduce new residents to the area that would use local schools, parks, or other public facilities. Thus, the proposed project would result in *no impact* regarding any substantial increase in demand for public facilities such as parks, schools, and government facilities.

XV. RECREATION.

Would the project:

	Potentially Significant Impact	Less-Than-Significant with Mitigation Incorporated	Less-Than-Significant Impact	No Impact
a. Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	✘
b. Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	✘

Discussion

- a,b. The proposed project would be a self-storage facility and would not include park facilities. Because the project would not directly or indirectly increase population growth, the project would not increase the use of any existing recreational facilities or the demand for new, or the expansion of existing recreational facilities. Therefore, *no impact* to park facilities would occur.

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XVI. TRANSPORTATION AND CIRCULATION.	Potentially Significant Impact	Less-Than-Significant with Mitigation Incorporated	Less-Than-Significant Impact	No Impact
<i>Would the project:</i>				
a. Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	☐	☐	✘	☐
b. Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	☐	☐	✘	☐
c. Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	☐	☐	☐	✘
d. Substantially increase hazards due to a design features (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	☐	☐	✘	☐
e. Result in inadequate emergency access?	☐	☐	✘	☐
f. Conflicts with adopted policies supporting alternative transportation (e.g., bus turnouts, bicycle racks)?	☐	☐	✘	☐

Discussion

a,b,f. The proposed project includes the development of a self-storage facility at the corner of East 18th Street and Vineyard Drive.

Roadway Traffic

The Institute of Traffic Engineer's (ITE) *Trip Generation Handbook*¹⁷ was used to estimate automotive trip generation rates for the proposed project. Based on a maximum configuration of 999 self-storage units and 150 RV/boat storage spaces, the proposed project could create a total of 287 Average Daily Trips (ADT), with 23 trips occurring during the AM peak hour and 23 trips occurring during the PM peak hour, which is below the CCTACMP standard (100 peak hour trips) and City of Antioch General Plan Policy 7.3.2h (50 peak hour trips) requiring the preparation of a traffic impact study. Therefore, the proposed project does not require the preparation of a traffic impact study.

¹⁷ Institute of Transportation Engineers. *Trip Generation Handbook – 9th Edition*. September 2012.

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The City of Antioch General Plan establishes a Level of Service (LOS) standard of “High D” for all arterial roadways during peak periods. Nearby arterial roadways that would provide access to the site include East 18th Street and Hillcrest Avenue. The GPU EIR identified the arterial roadway segments nearest the project site as LOS C or “Low D” in the year 2000 and that traffic along Hillcrest Avenue south of East 18th Street could increase to a potential LOS of “High D.” While the GPU EIR estimates that traffic levels on nearby roadway segments could reach established LOS standards, the analysis takes into consideration the buildout of vacant sites per the sites’ land use designations. Because the proposed project would be consistent with land use designations in the East 18th Street Specific Plan and the Eastern Waterfront Employment Focus Area, the increase in traffic due to buildout of the project site has already been anticipated by the City. Therefore, development of the project would not be expected to cause roadway segments to exceed the LOS “High D” standard.

Alternative Transportation

Due to the nature of storage facilities, development of the proposed project would not be expected to generate any alternative transportation traffic. Nonetheless, lines 383, 391, and 393 of the Tri Delta Transit bus system include service along the segment of East 18th Street adjacent to the project site. The nearest Tri Delta Transit bus stop is located 0.1 mile away on the corner of East 18th Street and Wilson Street. The proposed project would not include alterations to the surrounding circulation system or current transit options available to the area. Therefore, the proposed project would not conflict with alternative transportation routes or policies resulting in a *less-than-significant* impact.

Conclusion

Overall, the proposed project’s increase in traffic to the nearby transportation and circulation network would not be considered substantial in relation to the existing traffic load or capacity of the street and public transportation system, and would not exceed any LOS standard. Therefore, impacts would be considered *less than significant*.

- c. The proposed project is not located near an airport, and does not include any improvements to airports or a change in air traffic patterns. The nearest airstrip to the site is the Funny Farm airstrip, located approximately 7.6 miles southeast of the site. Therefore, because the proposed project would not result in a change in air traffic patterns, including either an increase in air traffic levels or a change in location that results in substantial safety risks, *no impact* would occur.
- d, e. The proposed project does not include changes to existing roadways or the introduction of an incompatible use or any design features that would be considered hazardous. The proposed project would provide one entrance point and one emergency exit point on Vineyard Drive, which would provide sufficient emergency access to the site. As such, the project would not substantially increase hazards due to design features or incompatible uses, and emergency access to the site would be adequate; therefore, the project would result in a *less-than-significant* impact.

XVII. UTILITIES AND SERVICE SYSTEMS.	Potentially Significant Impact	Less-Than-Significant with Mitigation Incorporated	Less-Than-Significant Impact	No Impact
<i>Would the project:</i>				
a. Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
b. Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
c. Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
d. Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
e. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
f. Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
g. Comply with federal, state, and local statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>

Discussion

a, b, e. The City maintains and owns the local sewage collection system and is responsible for the collection and conveyance of wastewater to the Delta Diablo Wastewater Treatment Plant (WWTP). Delta Diablo owns and operates the regional interceptors and wastewater treatment plant. The project site is located within the Delta Diablo service area. As proposed, the City of Antioch is responsible for the wastewater collection system from the project site to the designated Delta Diablo regional wastewater conveyance facility. The regional conveyance facilities transport wastewater to the WWTP located at 2500 Pittsburg-Antioch Highway, Antioch. After secondary treatment, the effluent is either discharged through a deep-water outfall to New York Slough or further processed through the Recycled Water Facility. The WWTP NPDES Permit allows an average dry weather flow of 16.5 mgd. An EIR for the expansion of the wastewater treatment plant capacity to an average dry weather flow of 22.7 mgd was completed in April 1988. During the most recent reporting period, 2012, the average dry weather flow influent to the treatment plant

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was 12.7 mgd. In 2000 and 2005, the average dry weather flow influent to the treatment plant was 13.5 mgd and 14.2 mgd, respectively.¹⁸

As discussed previously, the East 18th Street Specific Plan requires the construction of a new sewer line within Vineyard Drive right-of-way, which would connect with the existing stubbed sewer line within the future Sakurai Street alignment (see Figure 4 above). The City of Antioch Engineering Division provided an alternate alignment for the sewer line known as Alternate "A" (see Appendix C). The final sewer alignment for the proposed project has not yet been determined.

In addition, the project applicant would be required to pay sewer connection fees, which are utilized toward needed sewer system improvements. The proposed project would generate wastewater from the single restroom facility located in the manager's office. The inclusion of a single restroom facility would involve a minor increase in demand for wastewater treatment series and, as such, would not be expected to cause an exceedance of the WWTP's capacity. In addition, the proposed project would be consistent with the General Plan land use designation. Thus, any increase in wastewater treatment demands would have been anticipated by the City and included in the GPU EIR analysis. As such, the wastewater generated by the project would result in a *less-than-significant* impact related to wastewater treatment requirements of the applicable RWQCB and the capacity of existing water and wastewater treatment facilities.

- c. The project site is currently undeveloped vacant land with ruderal vegetation. Completion of the proposed project would increase site runoff due to the introduction of impervious surfaces to the site. As previously mentioned in the Hydrology and Water Quality section of this IS/MND, the required SWCP for the proposed project conforms with the most recent Contra Costa Clean Water Program Stormwater C.3 Guidebook and verifies that the proposed project complies with all City stormwater requirements. In compliance with the C.3 Guidebook, the proposed project would include a bio-retention facility on the eastern edge of the site, which would be sized to exceed the minimum volume requirement necessary to adequately treat all runoff from the proposed impervious surfaces. In the event of a large storm that produces stormwater runoff in-excess of the bio-retention facilities' capacity, all excess runoff would flow through an existing City stormwater line located in Vineyard Drive. Because the proposed bio-retention facility would be designed with adequate capacity to capture and treat runoff from proposed impervious surfaces, the proposed project would not generate runoff in excess of the City's existing stormwater system's capacity. Therefore, the proposed project would have a *less-than-significant* impact with respect to requiring or resulting in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects.
- d. Principal sources of raw water supply to the City of Antioch are the Sacramento/San Joaquin Rivers Delta and the Contra Costa Canal, which are stored in the Antioch Municipal Reservoir. According to 2015 projections included in the City of Antioch *2010 Urban*

¹⁸ Delta Diablo. *Proposed Tuscany Meadows Subdivision Letter Addressed to Nick Pappani, Vice President Raney Planning and Management*. October 3, 2013.

Water Management Plan, the City has a total water supply of 31,095 acre-feet per year (AFY) and a total water demand of 22,678 AFY. A surplus of 8,417 AFY was calculated for the 2015 year. Commercial land uses are projected to have a gross water demand of 3.41 AFY/acre. If the 6.68-acre site were to be developed as a commercial self-storage facility, the projected water demand would be approximately 22.78 AFY (3.41 AFY/acre x 6.68 acres), which is significantly less than the City's estimated water surplus. It should also be noted that the proposed project would be expected to use less water than the estimated 22.78 AFY because water use would be limited to the breakroom and restroom in the Manager's Office and for landscaping purposes.

In addition, the proposed project would be consistent with the site's designations of O/LI and Business Park. As such, the water demand associated with the buildout of the site has already been anticipated and accounted for as part of the GPU EIR analysis. Therefore, the project would have a *less-than-significant* impact related to water supply.

- f, g. Republic Services provides solid waste collection, disposal, recycling, and yard waste services to the City, including the project site. Solid waste and recyclables from the City are taken to the Contra Costa Transfer and Recovery Station in Martinez. Solid waste is transferred from the Transfer and Recovery Station to the Keller Canyon Landfill in Pittsburg. The Keller Canyon Landfill site is 1,399 acres, 244 of which comprise the actual current disposal acreage. The landfill is permitted to accept 3,500 tons of waste per day and has a total estimated permitted capacity of approximately 75 million cubic yards, with only approximately 12 million cubic yards (16 percent of total capacity) used to date.¹⁹ Due to the substantial amount of available capacity remaining at Keller Canyon Landfill, sufficient capacity would be available to accommodate the project's solid waste disposal needs. Therefore, a *less-than-significant* impact related to solid waste would occur as a result of the proposed project.

¹⁹ California Department of Resources Recycling and Recovery (CalRecycle). *Solid Waste Information System*. Available at: www.calrecycle.ca.gov/SWFacilities/. Accessed July, 2016.

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XVIII. MANDATORY FINDINGS OF SIGNIFICANCE.	Potentially Significant Impact	Less-Than-Significant with Mitigation Incorporated	Less-Than-Significant Impact	No Impact
a. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
b. Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>
c. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	✘	<input type="checkbox"/>

Discussion

- a. As described throughout this IS/MND, implementation of the proposed project would have the potential to adversely impact the environment by reducing available habitat for sensitive natural communities and migratory birds, as well as the potential release of hazardous material. The proposed project would implement and comply with applicable City of Antioch General Plan and Municipal Code policies, as discussed throughout this IS/MND. With implementation of the mitigation measures required by this IS/MND, compliance with General Plan policies, Municipal Code sections, and application of standard Best Management Practices during construction, development of the proposed project would not result in any of the following: 1) degrade the quality of the environment; 2) substantially reduce or impact the habitat of fish or wildlife species; 3) cause fish or wildlife populations to drop below self-sustaining levels; 4) threaten to eliminate a plant or animal community; 5) reduce the number or restrict the range of a rare or endangered plant or animal; or 6) eliminate important examples of the major periods of California history or prehistory. Therefore, a *less than significant* would occur.
- b. The proposed project includes construction of a 1,390 sf office building, 100,943 sf of self-storage space, and 70,600 sf of outdoor boat and RV storage. The proposed project is consistent with the General Plan land use designation for the project site and, as such, the proposed project was included in the cumulative analysis of City buildout in the General Plan. Applicable policies from the 2003 GPU and the East 18th Street Specific Plan would be implemented as part of the proposed project, as well as the project-specific mitigation measures included in this IS/MND, to reduce the project's contribution to potentially

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cumulative impacts. The potential impacts of the proposed project would be individually limited and would not be cumulatively considerable. As demonstrated in this IS/MND, all potential environmental impacts that could occur as a result of project implementation would be reduced to a less-than-significant level with implementation of project-specific mitigation measures and compliance with applicable General Plan policies. When viewed in conjunction with other closely related past, present or reasonably foreseeable future projects, development of the proposed project would not contribute to cumulative impacts in the City of Antioch and the project's cumulative impact would be *less than significant*.

- c. As described in this IS/MND, implementation of the proposed project could result in temporary impacts related to noise and the release of hazardous materials during the construction period. However, the proposed project would be required to implement the project-specific mitigation measures within this IS/MND, as well as applicable policies of the City of Antioch General Plan, to reduce any potential direct or indirect impacts that could occur to human beings or various resources and, as demonstrated in this IS/MND, with implementation of the identified mitigation measures, all impacts would be reduced to less-than-significant levels. Therefore, overall, the project's impact would be *less than significant*.

APPENDIX A

AIR QUALITY AND GHG MODELING RESULTS

APPENDIX B

ROAD CONSTRUCTION EMISSIONS MODELING RESULTS

Vineyard Self-Storage
 Bay Area AQMD Air District, Annual

1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Unrefrigerated Warehouse-No Rail	102.33	1000sqft	2.35	102,333.00	0
Other Non-Asphalt Surfaces	1.65	Acre	1.65	71,874.00	0
Parking Lot	11.00	Space	0.10	4,400.00	0

1.2 Other Project Characteristics

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	64
Climate Zone	4			Operational Year	2017

Utility Company Pacific Gas & Electric Company

CO2 Intensity (lb/MW/hr)	419.59	CH4 Intensity (lb/MW/hr)	0.029	N2O Intensity (lb/MW/hr)	0.006
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1.3 User Entered Comments & Non-Default Data

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Project Characteristics - CO2 intensity factor adjusted based on PG&E's anticipated progress towards statewide RPS goals

Land Use - Applicant Information

Construction Phase - Applicant Information

Grading - Applicant Information

Vehicle Trips - Based on IS/MND Traffic section

Energy Use - *

Mobile Land Use Mitigation -

Energy Mitigation -

Architectural Coating -

Table Name	Column Name	Default Value	New Value
tblConstructionPhase	NumDays	18.00	95.00
tblConstructionPhase	NumDays	230.00	95.00
tblConstructionPhase	NumDays	8.00	10.00
tblConstructionPhase	NumDays	18.00	15.00
tblConstructionPhase	NumDays	5.00	10.00
tblConstructionPhase	PhaseEndDate	12/11/2017	8/14/2017
tblConstructionPhase	PhaseEndDate	3/7/2017	3/20/2017
tblConstructionPhase	PhaseEndDate	2/10/2017	2/14/2017
tblConstructionPhase	PhaseStartDate	8/1/2017	4/4/2017
tblConstructionPhase	PhaseStartDate	2/15/2017	2/28/2017
tblConstructionPhase	PhaseStartDate	1/28/2017	2/1/2017
tblGrading	AcresOfGrading	5.00	6.26
tblLandUse	LandUseSquareFeet	102,330.00	102,333.00
tblProjectCharacteristics	CO2IntensityFactor	641.35	419.59
tblProjectCharacteristics	OperationalYear	2014	2017
tblVehicleTrips	ST_TR	2.59	2.50
tblVehicleTrips	SU_TR	2.59	2.50
tblVehicleTrips	WD_TR	2.59	2.50

2.0 Emissions Summary

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2.1 Overall Construction
Unmitigated Construction

Year	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
2017	1.1576	2.0691	1.7762	2.7200e-003	0.1743	0.1265	0.3007	0.0802	0.1186	0.1988	0.0000	236.2260	236.2260	0.0450	0.0000	237.1710
Total	1.1576	2.0691	1.7762	2.7200e-003	0.1743	0.1265	0.3007	0.0802	0.1186	0.1988	0.0000	236.2260	236.2260	0.0450	0.0000	237.1710

Mitigated Construction

Year	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
2017	1.1576	2.0691	1.7762	2.7200e-003	0.1743	0.1265	0.3007	0.0802	0.1186	0.1988	0.0000	236.2258	236.2258	0.0450	0.0000	237.1708
Total	1.1576	2.0691	1.7762	2.7200e-003	0.1743	0.1265	0.3007	0.0802	0.1186	0.1988	0.0000	236.2258	236.2258	0.0450	0.0000	237.1708

Percent Reduction	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

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2.2 Overall Operational
Unmitigated Operational

Category	tons/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Biogenic CO2	Non-Biogenic CO2	Total CO2	CH4	N2O	CO2e
Area	0.7886	1.0000e-005	1.0800e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	2.0500e-003	1.0000e-005	0.0000	0.0000	2.1700e-003
Energy	2.0100e-003	0.0183	0.0154	1.1000e-004	1.3900e-003	1.3900e-003	1.3900e-003	1.3900e-003	1.3900e-003	1.3900e-003	0.0000	95.6529	5.6200e-003	1.4500e-003	1.4500e-003	96.2198
Mobile	0.1670	0.4393	1.8397	3.9500e-003	0.2779	5.7900e-003	0.2837	0.0746	5.3300e-003	0.0799	0.0000	304.6805	0.0124	0.0000	0.0000	304.8416
Waste						0.0000	0.0000	0.0000	0.0000	0.0000	19.5257	0.0000	1.1599	0.0000	0.0000	43.7584
Water						0.0000	0.0000	0.0000	0.0000	0.0000	7.5074	24.3699	31.8773	0.7728	0.0186	53.8577
Total	0.9576	0.4577	1.8562	4.0600e-003	0.2779	7.1800e-003	0.2851	0.0746	6.7200e-003	0.0813	27.0331	424.6053	1.9448	0.0200	0.0200	498.6795

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**2.2 Overall Operational
Mitigated Operational**

Category	tons/yr											MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e	
Area	0.7886	1.0000e-005	1.0800e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	2.0500e-003	2.0500e-003	1.0000e-005	0.0000	0.0000	2.1700e-003
Energy	1.4200e-003	0.0129	0.0109	8.0000e-005	9.8000e-004	9.8000e-004	9.8000e-004	9.8000e-004	9.8000e-004	9.8000e-004	0.0000	14.0672	14.0672	2.7000e-004	2.6000e-004	0.0000	14.1528
Mobile	0.1551	0.3599	1.5714	3.1400e-003	0.2189	4.6500e-003	0.2235	4.2700e-003	0.0630	0.0587	0.0000	241.7682	241.7682	0.0101	0.0000	0.0000	241.9796
Waste						0.0000	0.0000	0.0000	0.0000	0.0000	19.5257	0.0000	19.5257	1.1539	0.0000		43.7584
Water						0.0000	0.0000	0.0000	0.0000	0.0000	7.5074	24.3699	31.8773	0.7726	0.0185		53.8457
Total	0.9451	0.3728	1.5833	3.2200e-003	0.2189	5.6300e-003	0.2245	0.0587	0.0640	27.0331	280.2073	307.2404	1.9369	0.0188	0.0188	353.7386	

Percent Reduction	Construction Phase											Construction Detail				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
1.31	18.54	14.70	20.69	21.24	21.59	21.25	21.24	21.88	21.28	34.01	0.00	31.97	0.40	6.10	29.06	

3.0 Construction Detail

Construction Phase

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Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Grading	Grading	1/16/2017	1/27/2017	5	10	
2	Site Preparation	Site Preparation	2/1/2017	2/14/2017	5	10	
3	Paving	Paving	2/28/2017	3/20/2017	5	15	
4	Building Construction	Building Construction	3/21/2017	7/31/2017	5	95	
5	Architectural Coating	Architectural Coating	4/4/2017	8/14/2017	5	95	

Acres of Grading (Site Preparation Phase): 0

Acres of Grading (Grading Phase): 6.26

Acres of Paving: 0

Residential Indoor: 0; Residential Outdoor: 0; Non-Residential Indoor: 261,509; Non-Residential Outdoor: 87,170 (Architectural Coating – sqft)

OffRoad Equipment

F75

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Grading	Excavators	1	8.00	162	0.38
Grading	Graders	1	8.00	174	0.41
Grading	Rubber Tired Dozers	1	8.00	255	0.40
Grading	Tractors/Loaders/Backhoes	3	8.00	97	0.37
Site Preparation	Rubber Tired Dozers	3	8.00	255	0.40
Site Preparation	Tractors/Loaders/Backhoes	4	8.00	97	0.37
Paving	Cement and Mortar Mixers	2	6.00	9	0.56
Paving	Pavers	1	8.00	125	0.42
Paving	Paving Equipment	2	6.00	130	0.36
Paving	Rollers	2	6.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Building Construction	Cranes	1	7.00	226	0.29
Building Construction	Forklifts	3	8.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Building Construction	Tractors/Loaders/Backhoes	3	7.00	97	0.37
Building Construction	Welders	1	8.00	46	0.45
Architectural Coating	Air Compressors	1	6.00	78	0.48

Trips and VMT

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Grading	6	15.00	0.00	0.00	12.40	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	7	18.00	0.00	0.00	12.40	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Paving	8	20.00	0.00	0.00	12.40	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	9	75.00	29.00	0.00	12.40	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	15.00	0.00	0.00	12.40	7.30	20.00	LD_Mix	HDT_Mix	HHDT

F76

3.1 Mitigation Measures Construction

3.2 Grading - 2017

Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Fugitive Dust					0.0334	0.0000	0.0334	0.0169	0.0000	0.0169	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0173	0.1799	0.1269	1.5000e-004	0.0102	0.0102	0.0102	9.3800e-003	9.3800e-003	9.3800e-003	0.0000	13.8058	13.8058	4.2300e-003	0.0000	13.8947
Total	0.0173	0.1799	0.1269	1.5000e-004	0.0334	0.0102	0.0436	0.0169	9.3800e-003	0.0263	0.0000	13.8058	13.8058	4.2300e-003	0.0000	13.8947

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	2.5000e-004	3.7000e-004	3.5500e-003	1.0000e-005	6.8000e-004	1.0000e-005	6.9000e-004	1.8000e-004	0.0000	1.9000e-004	0.0000	0.5939	0.5939	3.0000e-005	0.0000	0.5945
Total	2.5000e-004	3.7000e-004	3.5500e-003	1.0000e-005	6.8000e-004	1.0000e-005	6.9000e-004	1.8000e-004	0.0000	1.9000e-004	0.0000	0.5939	0.5939	3.0000e-005	0.0000	0.5945

F77

3.2 Grading - 2017

Mitigated Construction On-Site

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Fugitive Dust					0.0334	0.0000	0.0334	0.0169	0.0000	0.0169	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0173	0.1799	0.1269	1.5000e-004	0.0102	0.0102	0.0102	9.3800e-003	9.3800e-003	9.3800e-003	0.0000	13.8058	13.8058	4.2300e-003	0.0000	13.8947
Total	0.0173	0.1799	0.1269	1.5000e-004	0.0334	0.0102	0.0436	0.0169	9.3800e-003	0.0263	0.0000	13.8058	13.8058	4.2300e-003	0.0000	13.8947

Mitigated Construction Off-Site

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	2.5000e-004	3.7000e-004	3.5500e-003	1.0000e-005	6.8000e-004	1.0000e-005	6.9000e-004	1.8000e-004	0.0000	1.9000e-004	0.0000	0.5939	0.5939	3.0000e-005	0.0000	0.5945
Total	2.5000e-004	3.7000e-004	3.5500e-003	1.0000e-005	6.8000e-004	1.0000e-005	6.9000e-004	1.8000e-004	0.0000	1.9000e-004	0.0000	0.5939	0.5939	3.0000e-005	0.0000	0.5945

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3.3 Site Preparation - 2017
Unmitigated Construction On-Site

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Fugitive Dust					0.0903	0.0000	0.0903	0.0497	0.0000	0.0497	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0242	0.2588	0.1970	2.0000e-004	0.0138	0.0138	0.0138	0.0127	0.0127	0.0127	0.0000	18.1577	18.1577	5.5600e-003	0.0000	18.2745
Total	0.0242	0.2588	0.1970	2.0000e-004	0.0903	0.0138	0.1041	0.0497	0.0127	0.0623	0.0000	18.1577	18.1577	5.5600e-003	0.0000	18.2745

Unmitigated Construction Off-Site

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	3.0000e-004	4.4000e-004	4.2600e-003	1.0000e-005	8.2000e-004	1.0000e-005	8.2000e-004	1.0000e-005	1.0000e-005	2.2000e-004	0.0000	0.7127	0.7127	4.0000e-005	0.0000	0.7134
Total	3.0000e-004	4.4000e-004	4.2600e-003	1.0000e-005	8.2000e-004	1.0000e-005	8.2000e-004	1.0000e-005	1.0000e-005	2.2000e-004	0.0000	0.7127	0.7127	4.0000e-005	0.0000	0.7134

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3.3 Site Preparation - 2017
Mitigated Construction On-Site

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Fugitive Dust					0.0903	0.0000	0.0903	0.0497	0.0000	0.0497	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0242	0.2588	0.1970	2.0000e-004	0.0138	0.0138	0.0138	0.0127	0.0127	0.0127	0.0000	18.1577	18.1577	5.5600e-003	0.0000	18.2745
Total	0.0242	0.2588	0.1970	2.0000e-004	0.0903	0.0138	0.1041	0.0497	0.0127	0.0623	0.0000	18.1577	18.1577	5.5600e-003	0.0000	18.2745

Mitigated Construction Off-Site

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	3.0000e-004	4.4000e-004	4.2600e-003	1.0000e-005	8.2000e-004	1.0000e-005	8.2000e-004	2.2000e-004	1.0000e-005	2.2000e-004	0.0000	0.7127	0.7127	4.0000e-005	0.0000	0.7134
Total	3.0000e-004	4.4000e-004	4.2600e-003	1.0000e-005	8.2000e-004	1.0000e-005	8.2000e-004	2.2000e-004	1.0000e-005	2.2000e-004	0.0000	0.7127	0.7127	4.0000e-005	0.0000	0.7134

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3.4 Paving - 2017
Unmitigated Construction On-Site

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Off-Road	0.0124	0.1260	0.0936	1.4000e-004	7.5400e-003	7.5400e-003	7.5400e-003	6.9500e-003	6.9500e-003	6.9500e-003	0.0000	12.7493	12.7493	3.8000e-003	0.0000	12.8291
Paving	1.3000e-004				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Total	0.0126	0.1260	0.0936	1.4000e-004	7.5400e-003	7.5400e-003	7.5400e-003	6.9500e-003	6.9500e-003	6.9500e-003	0.0000	12.7493	12.7493	3.8000e-003	0.0000	12.8291

Unmitigated Construction Off-Site

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	5.0000e-004	7.4000e-004	7.1000e-003	2.0000e-005	1.3600e-003	1.0000e-005	1.3700e-003	1.0000e-005	1.0000e-005	3.7000e-004	0.0000	1.1878	1.1878	6.0000e-005	0.0000	1.1891
Total	5.0000e-004	7.4000e-004	7.1000e-003	2.0000e-005	1.3600e-003	1.0000e-005	1.3700e-003	1.0000e-005	1.0000e-005	3.7000e-004	0.0000	1.1878	1.1878	6.0000e-005	0.0000	1.1891

F01

3.4 Paving - 2017
Mitigated Construction On-Site

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Off-Road	0.0124	0.1260	0.0936	1.4000e-004	7.5400e-003	7.5400e-003	7.5400e-003	6.9500e-003	6.9500e-003	6.9500e-003	0.0000	12.7493	12.7493	3.8000e-003	0.0000	12.8291
Paving	1.3000e-004				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Total	0.0126	0.1260	0.0936	1.4000e-004	7.5400e-003	7.5400e-003	7.5400e-003	6.9500e-003	6.9500e-003	6.9500e-003	0.0000	12.7493	12.7493	3.8000e-003	0.0000	12.8291

Mitigated Construction Off-Site

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	5.0000e-004	7.4000e-004	7.1000e-003	2.0000e-005	1.3600e-003	1.0000e-005	1.3700e-003	3.6000e-004	1.0000e-005	3.7000e-004	0.0000	1.1878	1.1878	6.0000e-005	0.0000	1.1891
Total	5.0000e-004	7.4000e-004	7.1000e-003	2.0000e-005	1.3600e-003	1.0000e-005	1.3700e-003	3.6000e-004	1.0000e-005	3.7000e-004	0.0000	1.1878	1.1878	6.0000e-005	0.0000	1.1891

F82

3.5 Building Construction - 2017
Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Off-Road	0.1474	1.2543	0.8611	1.2700e-003		0.0846	0.0846		0.0795	0.0795	0.0000	113.7526	113.7526	0.0280	0.0000	114.3405
Total	0.1474	1.2543	0.8611	1.2700e-003		0.0846	0.0846		0.0795	0.0795	0.0000	113.7526	113.7526	0.0280	0.0000	114.3405

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0159	0.1237	0.1915	3.3000e-004	8.8700e-003	1.7800e-003	0.0107	2.5400e-003	1.6400e-003	4.1800e-003	0.0000	29.2870	29.2870	2.3000e-004	0.0000	29.2917
Worker	0.0120	0.0175	0.1687	3.8000e-004	0.0323	2.6000e-004	0.0326	8.6000e-003	2.4000e-004	8.8300e-003	0.0000	28.2095	28.2095	1.4800e-003	0.0000	28.2405
Total	0.0279	0.1412	0.3602	7.1000e-004	0.0412	2.0400e-003	0.0432	0.0111	1.8800e-003	0.0130	0.0000	57.4964	57.4964	1.7100e-003	0.0000	57.5322

F83

3.5 Building Construction - 2017
Mitigated Construction On-Site

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Off-Road	0.1474	1.2543	0.8611	1.2700e-003		0.0846	0.0846	0.0795	0.0795	0.0795	0.0000	113.7524	113.7524	0.0280	0.0000	114.3404
Total	0.1474	1.2543	0.8611	1.2700e-003		0.0846	0.0846	0.0795	0.0795	0.0795	0.0000	113.7524	113.7524	0.0280	0.0000	114.3404

Mitigated Construction Off-Site

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0159	0.1237	0.1915	3.3000e-004	8.8700e-003	1.7800e-003	0.0107	2.5400e-003	1.6400e-003	4.1800e-003	0.0000	29.2870	29.2870	2.3000e-004	0.0000	29.2917
Worker	0.0120	0.0175	0.1687	3.8000e-004	0.0323	2.6000e-004	0.0326	8.6000e-003	2.4000e-004	8.8300e-003	0.0000	28.2095	28.2095	1.4800e-003	0.0000	28.2405
Total	0.0279	0.1412	0.3602	7.1000e-004	0.0412	2.0400e-003	0.0432	1.8800e-003	1.8800e-003	0.0130	0.0000	57.4964	57.4964	1.7100e-003	0.0000	57.5322

F84

3.6 Architectural Coating - 2017
Unmitigated Construction On-Site

Category	tons/yr										MT/yr						
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e	
Archit. Coating	0.8091					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0158	0.1038	0.0887	1.4000e-004	8.2300e-003	8.2300e-003	8.2300e-003	8.2300e-003	8.2300e-003	8.2300e-003	0.0000	12.1280	12.1280	1.2800e-003	0.0000	0.0000	12.1548
Total	0.8249	0.1038	0.0887	1.4000e-004	8.2300e-003	8.2300e-003	8.2300e-003	8.2300e-003	8.2300e-003	8.2300e-003	0.0000	12.1280	12.1280	1.2800e-003	0.0000	0.0000	12.1548

Unmitigated Construction Off-Site

Category	tons/yr										MT/yr						
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e	
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	2.4000e-003	3.5000e-003	0.0337	8.0000e-005	6.4600e-003	5.0000e-005	6.5100e-003	1.7200e-003	5.0000e-005	1.7700e-003	0.0000	5.6419	5.6419	3.0000e-004	0.0000	0.0000	5.6481
Total	2.4000e-003	3.5000e-003	0.0337	8.0000e-005	6.4600e-003	5.0000e-005	6.5100e-003	1.7200e-003	5.0000e-005	1.7700e-003	0.0000	5.6419	5.6419	3.0000e-004	0.0000	0.0000	5.6481

F05

3.6 Architectural Coating - 2017
Mitigated Construction On-Site

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Archit. Coating	0.9091					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0158	0.1038	0.0887	1.4000e-004	8.2300e-003	8.2300e-003	8.2300e-003	8.2300e-003	8.2300e-003	8.2300e-003	0.0000	12.1279	12.1279	1.2800e-003	0.0000	12.1548
Total	0.9249	0.1038	0.0887	1.4000e-004	8.2300e-003	8.2300e-003	8.2300e-003	8.2300e-003	8.2300e-003	8.2300e-003	0.0000	12.1279	12.1279	1.2800e-003	0.0000	12.1548

Mitigated Construction Off-Site

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	2.4000e-003	3.5000e-003	0.0337	8.0000e-005	6.4600e-003	5.0000e-005	6.5100e-003	1.7200e-003	5.0000e-005	1.7700e-003	0.0000	5.6419	5.6419	3.0000e-004	0.0000	5.6481
Total	2.4000e-003	3.5000e-003	0.0337	8.0000e-005	6.4600e-003	5.0000e-005	6.5100e-003	1.7200e-003	5.0000e-005	1.7700e-003	0.0000	5.6419	5.6419	3.0000e-004	0.0000	5.6481

4.0 Operational Detail - Mobile

F86

4.1 Mitigation Measures Mobile

Increase Transit Accessibility

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Mitigated	0.1551	0.3599	1.5714	3.1400e-003	0.2189	4.6500e-003	0.2235	0.0587	4.2700e-003	0.0630	0.0000	241.7682	241.7682	0.0101	0.0000	241.9796
Unmitigated	0.1670	0.4393	1.8397	3.9500e-003	0.2779	5.7900e-003	0.2837	0.0746	5.3300e-003	0.0799	0.0000	304.5805	304.5805	0.0124	0.0000	304.8416

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated Annual VMT		Mitigated Annual VMT	
	Weekday	Saturday	Sunday	Unmitigated	Mitigated	Unmitigated	Mitigated
Other Non-Asphalt Surfaces	0.00	0.00	0.00	746,884	588,253	746,884	588,253
Parking Lot	0.00	0.00	0.00				
Unrefrigerated Warehouse-No Rail	255.83	255.83	255.83				
Total	255.83	255.83	255.83	746,884	588,253	746,884	588,253

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Other Non-Asphalt Surfaces	9.50	7.30	7.30	0.00	0.00	0.00	0	0	0
Parking Lot	9.50	7.30	7.30	0.00	0.00	0.00	0	0	0
Unrefrigerated Warehouse-No	9.50	7.30	7.30	59.00	41.00	92.00	92	5	3

F87

LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
0.546114	0.062902	0.174648	0.122995	0.034055	0.004856	0.015640	0.024397	0.002087	0.003279	0.006673	0.000688	0.001667

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

Exceed Title 24

Percent of Electricity Use Generated with Renewable Energy

Category	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Electricity Mitigated						0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Electricity Unmitigated						0.0000	0.0000		0.0000	0.0000	0.0000	75.7207	75.7207	5.2300e-003	1.0800e-003	76.1663
Natural Gas Mitigated	1.4200e-003	0.0129	0.0109	8.0000e-005	9.8000e-004	9.8000e-004	9.8000e-004	9.8000e-004	9.8000e-004	9.8000e-004	0.0000	14.0672	14.0672	2.7000e-004	2.6000e-004	14.1528
Natural Gas Unmitigated	2.0100e-003	0.0183	0.0154	1.1000e-004	1.3900e-003	1.3900e-003	1.3900e-003	1.3900e-003	1.3900e-003	1.3900e-003	0.0000	19.9322	19.9322	3.8000e-004	3.7000e-004	20.0535

FOO

5.2 Energy by Land Use - Natural Gas
Unmitigated

Land Use	Natural Gas Use kBtu/yr	tons/yr											MT/yr					
		ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NI Bio- CO2	Total CO2	CH4	N2O	CO2e	
Other Non-Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Parking Lot	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Unrefrigerated Warehouse-No Pail	373515	2.0100e-003	0.0183	0.0154	1.1000e-004		1.3900e-003	1.3900e-003		1.3900e-003	1.3900e-003	0.0000	19.9322	19.9322	3.8000e-004	3.7000e-004	20.0535	
Total		2.0100e-003	0.0183	0.0154	1.1000e-004		1.3900e-003	1.3900e-003		1.3900e-003	1.3900e-003	0.0000	19.9322	19.9322	3.8000e-004	3.7000e-004	20.0535	

Mitigated

Land Use	Natural Gas Use kBtu/yr	tons/yr											MT/yr					
		ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NI Bio- CO2	Total CO2	CH4	N2O	CO2e	
Other Non-Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Parking Lot	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Unrefrigerated Warehouse-No Pail	263610	1.4200e-003	0.0129	0.0109	8.0000e-005		9.8000e-004	9.8000e-004		9.8000e-004	9.8000e-004	0.0000	14.0672	14.0672	2.7000e-004	2.6000e-004	14.1528	
Total		1.4200e-003	0.0129	0.0109	8.0000e-005		9.8000e-004	9.8000e-004		9.8000e-004	9.8000e-004	0.0000	14.0672	14.0672	2.7000e-004	2.6000e-004	14.1528	

F89

5.3 Energy by Land Use - Electricity

Unmitigated

Land Use	Electricity Use	Total CO2	CH4	N2O	CO2e
	kWh/yr	MT/yr			
Other Non-Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000
Parking Lot	3872	0.7369	5.0000e-005	1.0000e-005	0.7413
Unrefrigerated Warehouse-No Pave	393982	74.9838	5.1800e-003	1.0700e-003	75.4250
Total		75.7207	5.2300e-003	1.0800e-003	76.1663

Mitigated

Land Use	Electricity Use	Total CO2	CH4	N2O	CO2e
	kWh/yr	MT/yr			
Other Non-Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000
Parking Lot	0	0.0000	0.0000	0.0000	0.0000
Unrefrigerated Warehouse-No Pave	0	0.0000	0.0000	0.0000	0.0000
Total		0.0000	0.0000	0.0000	0.0000

6.0 Area Detail

F90

6.1 Mitigation Measures Area

Category	tons/yr											MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Biogenic CO2	Non-Biogenic CO2	Total CO2	CH4	N2O	CO2e	
Mitigated	0.7886	1.0000e-005	1.0800e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	2.0500e-003	2.0500e-003	1.0000e-005	0.0000	0.0000	2.1700e-003
Unmitigated	0.7886	1.0000e-005	1.0800e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	2.0500e-003	2.0500e-003	1.0000e-005	0.0000	0.0000	2.1700e-003

6.2 Area by SubCategory

Unmitigated

SubCategory	tons/yr											MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Biogenic CO2	Non-Biogenic CO2	Total CO2	CH4	N2O	CO2e	
Architectural Coating	0.0909					0.0000	0.0000			0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	0.6976					0.0000	0.0000			0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Landscaping	1.0000e-004	1.0000e-005	1.0800e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	2.0500e-003	2.0500e-003	1.0000e-005	0.0000	0.0000	2.1700e-003
Total	0.7886	1.0000e-005	1.0800e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	2.0500e-003	2.0500e-003	1.0000e-005	0.0000	0.0000	2.1700e-003

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6.2 Area by SubCategory

Mitigated

SubCategory	tons/yr											MT/yr				
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Architectural Coating	0.0909					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Consumer Products	0.6976					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Landscaping	1.0000e-004	1.0000e-005	1.0800e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	2.0500e-003	2.0500e-003	1.0000e-005	0.0000	0.0000	2.1700e-003
Total	0.7886	1.0000e-005	1.0800e-003	0.0000		0.0000		0.0000		0.0000	2.0500e-003	2.0500e-003	1.0000e-005	0.0000	0.0000	2.1700e-003

7.0 Water Detail

7.1 Mitigation Measures Water

Category	MT/yr					CO2e
	Total CO2	CH4	N2O			
Mitigated	31.8773	0.7726	0.0185			53.8457
Unmitigated	31.8773	0.7728	0.0186			53.8577

Faz

7.2 Water by Land Use

Unmitigated

Land Use	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
	Mgal	MT/yr			
Other Non-Asphalt Surfaces	0 / 0	0.0000	0.0000	0.0000	0.0000
Parking Lot	0 / 0	0.0000	0.0000	0.0000	0.0000
Unrefrigerated Warehouse-No Pail	23.6638 / 0	31.8773	0.7728	0.0186	53.8577
Total		31.8773	0.7728	0.0186	53.8577

Mitigated

Land Use	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
	Mgal	MT/yr			
Other Non-Asphalt Surfaces	0 / 0	0.0000	0.0000	0.0000	0.0000
Parking Lot	0 / 0	0.0000	0.0000	0.0000	0.0000
Unrefrigerated Warehouse-No Pail	23.6638 / 0	31.8773	0.7726	0.0185	53.8457
Total		31.8773	0.7726	0.0185	53.8457

8.0 Waste Detail

F93

8.1 Mitigation Measures Waste

Category/Year

	Total CO2	CH4	N2O	CO2e
	MT/yr			
Mitigated	19.5257	1.1539	0.0000	43.7584
Unmitigated	19.5257	1.1539	0.0000	43.7584

8.2 Waste by Land Use

Unmitigated

Land Use	Waste Disposed tons	Total CO2	CH4	N2O	CO2e
		MT/yr			
Other Non-Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000
Parking Lot	0	0.0000	0.0000	0.0000	0.0000
Unrefrigerated Warehouse-No Pail	96.19	19.5257	1.1539	0.0000	43.7584
Total		19.5257	1.1539	0.0000	43.7584

F94

8.2 Waste by Land Use

Mitigated

Land Use	Waste Disposed tons	MT/yr			
		Total CO2	CH4	N2O	CO2e
Other Non-Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000
Parking Lot	0	0.0000	0.0000	0.0000	0.0000
Unrefrigerated Warehouse-No Pail	96.19	19.5257	1.1539	0.0000	43.7584
Total		19.5257	1.1539	0.0000	43.7584

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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10.0 Vegetation

F95

Vineyard Self-Storage
 Bay Area AQMD Air District, Summer

1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Unrefrigerated Warehouse-No Rail	102.33	1000sqft	2.35	102,333.00	0
Other Non-Asphalt Surfaces	1.65	Acre	1.65	71,874.00	0
Parking Lot	11.00	Space	0.10	4,400.00	0

1.2 Other Project Characteristics

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	64
Climate Zone	4			Operational Year	2017

Utility Company Pacific Gas & Electric Company

CO2 Intensity (lb/MW/hr)	419.59	CH4 Intensity (lb/MW/hr)	0.029	N2O Intensity (lb/MW/hr)	0.006
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1.3 User Entered Comments & Non-Default Data

FA6

Project Characteristics - CO2 intensity factor adjusted based on PG&E's anticipated progress towards statewide RPS goals

Land Use - Applicant Information

Construction Phase - Applicant Information

Grading - Applicant Information

Vehicle Trips - Based on IS/MND Traffic section

Energy Use - *

Mobile Land Use Mitigation -

Energy Mitigation -

Architectural Coating -

FA7

Table Name	Column Name	Default Value	New Value
tblConstructionPhase	NumDays	18.00	95.00
tblConstructionPhase	NumDays	230.00	95.00
tblConstructionPhase	NumDays	8.00	10.00
tblConstructionPhase	NumDays	18.00	15.00
tblConstructionPhase	NumDays	5.00	10.00
tblConstructionPhase	PhaseEndDate	12/11/2017	8/14/2017
tblConstructionPhase	PhaseEndDate	3/7/2017	3/20/2017
tblConstructionPhase	PhaseEndDate	2/10/2017	2/14/2017
tblConstructionPhase	PhaseStartDate	8/1/2017	4/4/2017
tblConstructionPhase	PhaseStartDate	2/15/2017	2/28/2017
tblConstructionPhase	PhaseStartDate	1/28/2017	2/1/2017
tblGrading	AcresOfGrading	5.00	6.26
tblLandUse	LandUseSquareFeet	102,330.00	102,333.00
tblProjectCharacteristics	CO2IntensityFactor	641.35	419.59
tblProjectCharacteristics	OperationalYear	2014	2017
tblVehicleTrips	ST_TR	2.59	2.50
tblVehicleTrips	SU_TR	2.59	2.50
tblVehicleTrips	WD_TR	2.59	2.50

2.0 Emissions Summary

f98

2.1 Overall Construction (Maximum Daily Emission)
Unmitigated Construction

Year	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
lb/day																
2017	23.1972	51.8317	40.3103	0.0471	18.2360	2.7555	20.9915	9.9757	2.5351	12.5108	0.0000	4,447.034	4,447.034	1.2348	0.0000	4,472.964
Total	23.1972	51.8317	40.3103	0.0471	18.2360	2.7555	20.9915	9.9757	2.5351	12.5108	0.0000	4,447.034	4,447.034	1.2348	0.0000	4,472.964

Mitigated Construction

Year	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
lb/day																
2017	23.1972	51.8317	40.3103	0.0471	18.2360	2.7555	20.9915	9.9757	2.5351	12.5108	0.0000	4,447.034	4,447.034	1.2348	0.0000	4,472.964
Total	23.1972	51.8317	40.3103	0.0471	18.2360	2.7555	20.9915	9.9757	2.5351	12.5108	0.0000	4,447.034	4,447.034	1.2348	0.0000	4,472.964

Percent Reduction	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

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**2.2 Overall Operational
Unmitigated Operational**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Biogenic CO2	NBiogenic CO2	Total CO2	CH4	N2O	CO2e
Area	4.3215	1.1000e-004	0.0120	0.0000	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	0.0252	0.0252	0.0252	7.0000e-005		0.0286
Energy	0.0110	0.1003	0.0843	6.0000e-004	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	120.3918	120.3918	120.3918	2.3100e-003	2.2100e-003	121.1245
Mobile	0.9399	2.2634	9.9573	0.0230	1.5862	0.0318	1.6180	0.4243	0.0293	0.4536	1,950.2173	1,950.2173	1,950.2173	0.0754		1,951.7998
Total	5.2725	2.3638	10.0535	0.0236	1.5862	0.0395	1.6257	0.4243	0.0369	0.4613	2,070.6342	2,070.6342	2,070.6342	0.0777	2.2100e-003	2,072.9508

Mitigated Operational

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Biogenic CO2	NBiogenic CO2	Total CO2	CH4	N2O	CO2e
Area	4.3215	1.1000e-004	0.0120	0.0000	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	0.0252	0.0252	0.0252	7.0000e-005		0.0266
Energy	7.7900e-003	0.0708	0.0595	4.2000e-004	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	84.9669	84.9669	84.9669	1.6300e-003	1.5600e-003	85.4840
Mobile	0.8729	1.8552	8.3170	0.0183	1.2493	0.0255	1.2748	0.3342	0.0235	0.3577	1,547.5704	1,547.5704	1,547.5704	0.0610		1,548.8519
Total	5.2021	1.9261	8.3884	0.0187	1.2493	0.0309	1.2802	0.3342	0.0289	0.3631	1,532.5624	1,532.5624	1,532.5624	0.0627	1.5600e-003	1,534.3525

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	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	1.33	18.52	16.56	20.85	21.24	21.66	21.25	21.24	21.80	21.28	0.00	21.16	21.16	19.30	29.41	21.16

3.0 Construction Detail

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Grading	Grading	1/16/2017	1/27/2017	5	10	
2	Site Preparation	Site Preparation	2/1/2017	2/14/2017	5	10	
3	Paving	Paving	2/28/2017	3/20/2017	5	15	
4	Building Construction	Building Construction	3/21/2017	7/31/2017	5	95	
5	Architectural Coating	Architectural Coating	4/4/2017	8/14/2017	5	95	

Acres of Grading (Site Preparation Phase): 0

Acres of Grading (Grading Phase): 6.26

Acres of Paving: 0

Residential Indoor: 0; Residential Outdoor: 0; Non-Residential Indoor: 261,509; Non-Residential Outdoor: 87,170 (Architectural Coating – sqft)

OffRoad Equipment

F101

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Grading	Excavators	1	8.00	162	0.38
Grading	Graders	1	8.00	174	0.41
Grading	Rubber Tired Dozers	1	8.00	255	0.40
Grading	Tractors/Loaders/Backhoes	3	8.00	97	0.37
Site Preparation	Rubber Tired Dozers	3	8.00	255	0.40
Site Preparation	Tractors/Loaders/Backhoes	4	8.00	97	0.37
Paving	Cement and Mortar Mixers	2	6.00	9	0.56
Paving	Pavers	1	8.00	125	0.42
Paving	Paving Equipment	2	6.00	130	0.36
Paving	Rollers	2	6.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Building Construction	Cranes	1	7.00	226	0.29
Building Construction	Forklifts	3	8.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Building Construction	Tractors/Loaders/Backhoes	3	7.00	97	0.37
Building Construction	Welders	1	8.00	46	0.45
Architectural Coating	Air Compressors	1	6.00	78	0.48

Trips and VMT

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Grading	6	15.00	0.00	0.00	12.40	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	7	18.00	0.00	0.00	12.40	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Paving	8	20.00	0.00	0.00	12.40	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	9	75.00	29.00	0.00	12.40	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	15.00	0.00	0.00	12.40	7.30	20.00	LD_Mix	HDT_Mix	HHDT

F102

3.1 Mitigation Measures Construction

3.2 Grading - 2017

Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Biogenic CO2	Non-Biogenic CO2	Total CO2	CH4	N2O	CO2e
Fugitive Dust					6.6860	0.0000	6.6860	3.3819	0.0000	3.3819			0.0000			0.0000
Off-Road	3.4555	35.9825	25.3812	0.0297	2.0388	2.0388	2.0388	1.8757	1.8757	1.8757		3,043.6667	3,043.6667	0.9326		3,063.2507
Total	3.4555	35.9825	25.3812	0.0297	6.6860	2.0388	8.7248	3.3819	1.8757	5.2576		3,043.6667	3,043.6667	0.9326		3,063.2507

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Biogenic CO2	Non-Biogenic CO2	Total CO2	CH4	N2O	CO2e
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Worker	0.0543	0.0652	0.7611	1.7400e-003	0.1415	1.0800e-003	0.1425	0.0375	1.0000e-003	0.0385		140.6558	140.6558	6.8500e-003		140.7996
Total	0.0543	0.0652	0.7611	1.7400e-003	0.1415	1.0800e-003	0.1425	0.0375	1.0000e-003	0.0385		140.6558	140.6558	6.8500e-003		140.7996

F103

3.2 Grading - 2017
Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Fugitive Dust					6.6860	0.0000	6.6860	3.3819	0.0000	3.3819			0.0000			0.0000
Off-Road	3.4555	35.9825	25.3812	0.0297		2.0388	2.0388	1.8757	1.8757	1.8757	0.0000	3,043.6667	3,043.6667	0.9326		3,063.2507
Total	3.4555	35.9825	25.3812	0.0297	6.6860	2.0388	8.7248	3.3819	1.8757	5.2576	0.0000	3,043.6667	3,043.6667	0.9326		3,063.2507

Mitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Worker	0.0543	0.0652	0.7611	1.7400e-003	0.1415	1.0800e-003	0.1425	0.0375	1.0000e-003	0.0385			140.6558	6.8500e-003		140.7996
Total	0.0543	0.0652	0.7611	1.7400e-003	0.1415	1.0800e-003	0.1425	0.0375	1.0000e-003	0.0385			140.6558	6.8500e-003		140.7996

F104

3.3 Site Preparation - 2017
Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Fugitive Dust	0.0000	0.0000	0.0000	0.0000	18.0663	0.0000	18.0663	9.9307	0.0000	9.9307			0.0000			0.0000
Off-Road	4.8382	51.7535	39.3970	0.0391	2.7542	2.7542	2.7542	2.5339	2.5339	2.5339		4,003.0859	4,003.0859	1.2265		4,028.8432
Total	4.8382	51.7535	39.3970	0.0391	18.0663	2.7542	20.8205	9.9307	2.5339	12.4646		4,003.0859	4,003.0859	1.2265		4,028.8432

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Worker	0.0652	0.0783	0.9133	2.0900e-003	0.1698	1.3000e-003	0.1711	0.0450	1.2000e-003	0.0462		168.7869	168.7869	8.2200e-003		168.9595
Total	0.0652	0.0783	0.9133	2.0900e-003	0.1698	1.3000e-003	0.1711	0.0450	1.2000e-003	0.0462		168.7869	168.7869	8.2200e-003		168.9595

F105

3.3 Site Preparation - 2017
Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Fugitive Dust					18.0663	0.0000	18.0663	9.9307	0.0000	9.9307			0.0000			0.0000
Off-Road	4.8382	51.7535	39.3970	0.0391		2.7542	2.7542		2.5339	2.5339	0.0000	4,003.0859	4,003.0859	1.2265		4,028.8432
Total	4.8382	51.7535	39.3970	0.0391	18.0663	2.7542	20.8205	9.9307	2.5339	12.4646	0.0000	4,003.0859	4,003.0859	1.2265		4,028.8432

Mitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Worker	0.0652	0.0783	0.9133	2.0900e-003	0.1698	1.3000e-003	0.1711	0.0450	1.2000e-003	0.0462			168.7869	8.2200e-003		168.9595
Total	0.0652	0.0783	0.9133	2.0900e-003	0.1698	1.3000e-003	0.1711	0.0450	1.2000e-003	0.0462			168.7869	8.2200e-003		168.9595

F106

3.4 Paving - 2017
Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Off-Road	1.6554	16.8035	12.4837	0.0186		1.0056	1.0056	0.9269	0.9269	0.9269		1,873.8264	1,873.8264	0.5688		1,885.5609
Paving	0.0175					0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Total	1.6729	16.8035	12.4837	0.0186		1.0056	1.0056	0.9269	0.9269	0.9269		1,873.8264	1,873.8264	0.5688		1,885.5609

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0725	0.0870	1.0148	2.3200e-003	0.1886	1.4400e-003	0.1901	0.0500	1.3300e-003	0.0514		187.5410	187.5410	9.1300e-003		187.7328
Total	0.0725	0.0870	1.0148	2.3200e-003	0.1886	1.4400e-003	0.1901	0.0500	1.3300e-003	0.0514		187.5410	187.5410	9.1300e-003		187.7328

F107

3.4 Paving - 2017
Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Off-Road	1.6554	16.8035	12.4837	0.0186	1.0056	1.0056	1.0056	0.9269	0.9269	0.9269	0.0000	1,873.8264	1,873.8264	0.5588		1,885.5609
Paving	0.0175				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Total	1.6729	16.8035	12.4837	0.0186	1.0056	1.0056	1.0056	0.9269	0.9269	0.9269	0.0000	1,873.8264	1,873.8264	0.5588		1,885.5609

Mitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Worker	0.0725	0.0870	1.0148	2.3200e-003	0.1886	1.4400e-003	0.1901	0.0500	1.3300e-003	0.0514			187.5410	9.1300e-003		187.7328
Total	0.0725	0.0870	1.0148	2.3200e-003	0.1886	1.4400e-003	0.1901	0.0500	1.3300e-003	0.0514			187.5410	9.1300e-003		187.7328

F108

3.5 Building Construction - 2017
Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Off-Road	3.1024	26.4057	18.1291	0.0268		1.7812	1.7812		1.6730	1.6730		2,639.8053	2,639.8053	0.6497		2,653.4490
Total	3.1024	26.4057	18.1291	0.0268		1.7812	1.7812		1.6730	1.6730		2,639.8053	2,639.8053	0.6497		2,653.4490

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.2981	2.5192	3.1059	6.9100e-003	0.1928	0.0373	0.2301	0.0551	0.0343	0.0894		681.8462	681.8462	5.2100e-003		681.9556
Worker	0.2717	0.3261	3.8053	8.7000e-003	0.7073	5.4200e-003	0.7127	0.1876	4.9900e-003	0.1926		703.2789	703.2789	0.0342		703.9980
Total	0.5698	2.8454	6.9112	0.0156	0.9001	0.0428	0.9428	0.2426	0.0393	0.2820		1,385.1250	1,385.1250	0.0395		1,385.9536

F109

3.5 Building Construction - 2017
Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Off-Road	3.1024	26.4057	18.1291	0.0268		1.7812	1.7812		1.6730	1.6730	0.0000	2,639.8053	2,639.8053	0.6497		2,653.4490
Total	3.1024	26.4057	18.1291	0.0268		1.7812	1.7812		1.6730	1.6730	0.0000	2,639.8053	2,639.8053	0.6497		2,653.4490

Mitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.2981	2.5192	3.1059	6.9100e-003	0.1928	0.0373	0.2301	0.0551	0.0343	0.0894		681.8462	681.8462	5.2100e-003		681.9556
Worker	0.2717	0.3261	3.8053	8.7000e-003	0.7073	5.4200e-003	0.7127	0.1876	4.9900e-003	0.1926		703.2789	703.2789	0.0342		703.9980
Total	0.5699	2.8454	6.9112	0.0156	0.9001	0.0428	0.9428	0.2426	0.0393	0.2820		1,385.1250	1,385.1250	0.0395		1,385.9536

1110

3.6 Architectural Coating - 2017
Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Archit. Coating	19.1384				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Off-Road	0.3323	2.1850	1.8681	2.9700e-003	0.1733	0.1733	0.1733	0.1733	0.1733	0.1733		281.4481	281.4481	0.0297		282.0721
Total	19.4707	2.1850	1.8681	2.9700e-003	0.1733	0.1733	0.1733	0.1733	0.1733	0.1733		281.4481	281.4481	0.0297		282.0721

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Worker	0.0543	0.0652	0.7611	1.7400e-003	0.1415	1.0800e-003	0.1425	0.0375	1.0000e-003	0.0385		140.6558	140.6558	6.8500e-003		140.7996
Total	0.0543	0.0652	0.7611	1.7400e-003	0.1415	1.0800e-003	0.1425	0.0375	1.0000e-003	0.0385		140.6558	140.6558	6.8500e-003		140.7996

FLU

3.6 Architectural Coating - 2017

Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Archit. Coating	19.1384					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.3323	2.1850	1.8681	2.9700e-003		0.1733	0.1733		0.1733	0.1733	0.0000	281.4481	281.4481	0.0297		282.0721
Total	19.4707	2.1850	1.8681	2.9700e-003		0.1733	0.1733		0.1733	0.1733	0.0000	281.4481	281.4481	0.0297		282.0721

Mitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Worker	0.0543	0.0652	0.7611	1.7400e-003	0.1415	1.0800e-003	0.1425	0.0375	1.0000e-003	0.0385			140.6558	6.8500e-003		140.7996
Total	0.0543	0.0652	0.7611	1.7400e-003	0.1415	1.0800e-003	0.1425	0.0375	1.0000e-003	0.0385			140.6558	6.8500e-003		140.7996

4.0 Operational Detail - Mobile

FI12

4.1 Mitigation Measures Mobile

Increase Transit Accessibility

Category	lb/day															
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Mitigated	0.8729	1.8552	8.3170	0.0183	1.2493	0.0255	1.2748	0.3342	0.0235	0.3577		1,547.570	1,547.570	0.0610		1,548.851
Unmitigated	0.9399	2.2634	9.9573	0.0230	1.5862	0.0318	1.6180	0.4243	0.0293	0.4536		1,950.217	1,950.217	0.0754		1,951.799

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated		Mitigated	
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT	Annual VMT	Annual VMT
Other Non-Asphalt Surfaces	0.00	0.00	0.00				
Parking Lot	0.00	0.00	0.00				
Unrefrigerated Warehouse-No Rail	255.83	255.83	255.83	746,884	746,884	588,253	588,253
Total	255.83	255.83	255.83	746,884	746,884	588,253	588,253

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Other Non-Asphalt Surfaces	9.50	7.30	7.30	0.00	0.00	0.00	0	0	0
Parking Lot	9.50	7.30	7.30	0.00	0.00	0.00	0	0	0
Unrefrigerated Warehouse-No	9.50	7.30	7.30	59.00	0.00	41.00	92	5	3

F113

LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
0.546114	0.062902	0.174648	0.122995	0.034055	0.004856	0.015640	0.024397	0.002087	0.003279	0.006673	0.000688	0.001667

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

Exceed Title 24

Percent of Electricity Use Generated with Renewable Energy

Category	lb/day															
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Natural Gas Mitigated	7.7900e-003	0.0708	0.0595	4.2000e-004	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003		84.9669	84.9669	1.6300e-003	1.5600e-003	85.4840
Natural Gas Unmitigated	0.0110	0.1003	0.0843	6.0000e-004	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003		120.3918	120.3918	2.3100e-003	2.2100e-003	121.1245

F114

5.2 Energy by Land Use - Natural Gas

Unmitigated

Land Use	Natural Gas Use kBTU/yr	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e	
lb/day																		
Other Non-Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Parking Lot	0	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Unrefrigerated Warehouse-No Pail	1023.33	0.0110	0.1003	0.0843	6.0000e-004	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	120.3918	120.3918	120.3918	2.3100e-003	2.2100e-003	121.1245	
Total		0.0110	0.1003	0.0843	6.0000e-004	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	120.3918	120.3918	120.3918	2.3100e-003	2.2100e-003	121.1245	

Mitigated

Land Use	Natural Gas Use kBTU/yr	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
lb/day																	
Parking Lot	0	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Unrefrigerated Warehouse-No Pail	0.722219	7.7900e-003	0.0708	0.0595	4.2000e-004	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	84.9669	84.9669	84.9669	1.6300e-003	1.5600e-003	85.4840
Other Non-Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Total		7.7900e-003	0.0708	0.0595	4.2000e-004	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	84.9669	84.9669	84.9669	1.6300e-003	1.5600e-003	85.4840

6.0 Area Detail

F115

6.1 Mitigation Measures Area

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Biogenic CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Mitigated	4.3215	1.1000e-004	0.0120	0.0000	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005		0.0252	0.0252	7.0000e-005		0.0266
Unmitigated	4.3215	1.1000e-004	0.0120	0.0000	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005		0.0252	0.0252	7.0000e-005		0.0266

6.2 Area by SubCategory

Unmitigated

SubCategory	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Biogenic CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Architectural Coating	0.4981					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	3.8222					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Landscaping	1.1500e-003	1.1000e-004	0.0120	0.0000	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005		0.0252	0.0252	7.0000e-005		0.0266
Total	4.3215	1.1000e-004	0.0120	0.0000	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005		0.0252	0.0252	7.0000e-005		0.0266

File

6.2 Area by SubCategory
Mitigated

SubCategory	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Architectural Coating	0.4981				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Consumer Products	3.8222				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Landscaping	1.1500e-003	1.1000e-004	0.0120	0.0000	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005		0.0252	0.0252	7.0000e-005		0.0266
Total	4.3215	1.1000e-004	0.0120	0.0000	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005		0.0252	0.0252	7.0000e-005		0.0266

7.0 Water Detail

7.1 Mitigation Measures Water

8.0 Waste Detail

8.1 Mitigation Measures Waste

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type

10.0 Vegetation

FL17

Vineyard Self-Storage
 Bay Area AQMD Air District, Winter

1.0 Project Characteristics

1.1 Land Usage

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Unrefrigerated Warehouse-No Rail	102.33	1000sqft	2.35	102,333.00	0
Other Non-Asphalt Surfaces	1.65	Acre	1.65	71,874.00	0
Parking Lot	11.00	Space	0.10	4,400.00	0

1.2 Other Project Characteristics

Urbanization Urban Wind Speed (m/s) 2.2 Precipitation Freq (Days) 64

Climate Zone 4 Operational Year 2017

Utility Company Pacific Gas & Electric Company

CO2 Intensity (lb/MW/hr) 419.59 CH4 Intensity (lb/MW/hr) 0.029 N2O Intensity (lb/MW/hr) 0.006

1.3 User Entered Comments & Non-Default Data

F118

Project Characteristics - CO2 intensity factor adjusted based on PG&E's anticipated progress towards statewide RPS goals

Land Use - Applicant Information

Construction Phase - Applicant Information

Grading - Applicant Information

Vehicle Trips - Based on IS/MND Traffic section

Energy Use - *

Mobile Land Use Mitigation -

Energy Mitigation -

Architectural Coating -

F119

Table Name	Column Name	Default Value	New Value
tblConstructionPhase	NumDays	18.00	95.00
tblConstructionPhase	NumDays	230.00	95.00
tblConstructionPhase	NumDays	8.00	10.00
tblConstructionPhase	NumDays	18.00	15.00
tblConstructionPhase	NumDays	5.00	10.00
tblConstructionPhase	PhaseEndDate	12/11/2017	8/14/2017
tblConstructionPhase	PhaseEndDate	3/7/2017	3/20/2017
tblConstructionPhase	PhaseEndDate	2/10/2017	2/14/2017
tblConstructionPhase	PhaseStartDate	8/1/2017	4/4/2017
tblConstructionPhase	PhaseStartDate	2/15/2017	2/28/2017
tblConstructionPhase	PhaseStartDate	1/28/2017	2/1/2017
tblGrading	AcresOfGrading	5.00	6.26
tblLandUse	LandUseSquareFeet	102,330.00	102,333.00
tblProjectCharacteristics	CO2IntensityFactor	641.35	419.59
tblProjectCharacteristics	OperationalYear	2014	2017
tblVehicleTrips	ST_TR	2.59	2.50
tblVehicleTrips	SU_TR	2.59	2.50
tblVehicleTrips	WD_TR	2.59	2.50

2.0 Emissions Summary

F120

2.1 Overall Construction (Maximum Daily Emission)
Unmitigated Construction

lb/day																
Year	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
2017	23.2734	51.8503	40.2818	0.0463	18.2360	2.7555	20.9915	9.9757	2.5351	12.5108	0.0000	4,376.4569	4,376.4569	1.2348	0.0000	4,402.3868
Total	23.2734	51.8503	40.2818	0.0463	18.2360	2.7555	20.9915	9.9757	2.5351	12.5108	0.0000	4,376.4569	4,376.4569	1.2348	0.0000	4,402.3868

Mitigated Construction

lb/day																
Year	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
2017	23.2734	51.8503	40.2818	0.0463	18.2360	2.7555	20.9915	9.9757	2.5351	12.5108	0.0000	4,376.4569	4,376.4569	1.2348	0.0000	4,402.3868
Total	23.2734	51.8503	40.2818	0.0463	18.2360	2.7555	20.9915	9.9757	2.5351	12.5108	0.0000	4,376.4569	4,376.4569	1.2348	0.0000	4,402.3868

lb/day																
Year	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

FIZI

2.2 Overall Operational
Unmitigated Operational

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Biogenic CO2	NBiogenic CO2	Total CO2	CH4	N2O	CO2e
Area	4.3215	1.1000e-004	0.0120	0.0000	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	0.0252	0.0252	0.0252	7.0000e-005		0.0266
Energy	0.0110	0.1003	0.0843	6.0000e-004	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	120.3918	120.3918	120.3918	2.3100e-003	2.2100e-003	121.1245
Mobile	0.9875	2.5160	10.9793	0.0216	1.5862	0.0320	1.6181	0.4243	0.0294	0.4537	1,833.466	1,833.466	1,833.466	0.0754		1,835.050
Total	5.3200	2.6165	11.0755	0.0222	1.5862	0.0396	1.6258	0.4243	0.0371	0.4614	1,953.883	1,953.883	1,953.883	0.0778	2.2100e-003	1,956.201

Mitigated Operational

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Biogenic CO2	NBiogenic CO2	Total CO2	CH4	N2O	CO2e
Area	4.3215	1.1000e-004	0.0120	0.0000	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	0.0252	0.0252	0.0252	7.0000e-005		0.0266
Energy	7.7900e-003	0.0708	0.0595	4.2000e-004	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	84.9669	84.9669	84.9669	1.6300e-003	1.5600e-003	85.4840
Mobile	0.9210	2.0600	9.4850	0.0172	1.2493	0.0256	1.2749	0.3342	0.0236	0.3578	1,455.200	1,455.200	1,455.200	0.0611		1,456.483
Total	5.2502	2.1309	9.5564	0.0176	1.2493	0.0311	1.2804	0.3342	0.0290	0.3632	1,540.192	1,540.192	1,540.192	0.0628	1.5600e-003	1,541.993

FIZZ

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	1.31	18.56	13.72	20.82	21.24	21.59	21.25	21.24	21.73	21.28	0.00	21.17	21.17	19.30	29.41	21.17

3.0 Construction Detail

Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Grading	Grading	1/16/2017	1/27/2017	5	10	
2	Site Preparation	Site Preparation	2/1/2017	2/14/2017	5	10	
3	Paving	Paving	2/28/2017	3/20/2017	5	15	
4	Building Construction	Building Construction	3/21/2017	7/31/2017	5	95	
5	Architectural Coating	Architectural Coating	4/4/2017	8/14/2017	5	95	

Acres of Grading (Site Preparation Phase): 0

Acres of Grading (Grading Phase): 6.26

Acres of Paving: 0

Residential Indoor: 0; Residential Outdoor: 0; Non-Residential Indoor: 261,509; Non-Residential Outdoor: 87,170 (Architectural Coating -- sqft)

OffRoad Equipment

F123

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Grading	Excavators	1	8.00	162	0.38
Grading	Graders	1	8.00	174	0.41
Grading	Rubber Tired Dozers	1	8.00	255	0.40
Grading	Tractors/Loaders/Backhoes	3	8.00	97	0.37
Site Preparation	Rubber Tired Dozers	3	8.00	255	0.40
Site Preparation	Tractors/Loaders/Backhoes	4	8.00	97	0.37
Paving	Cement and Mortar Mixers	2	6.00	9	0.56
Paving	Pavers	1	8.00	125	0.42
Paving	Paving Equipment	2	6.00	130	0.36
Paving	Rollers	2	6.00	80	0.38
Paving	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Building Construction	Cranes	1	7.00	226	0.29
Building Construction	Forklifts	3	8.00	89	0.20
Building Construction	Generator Sets	1	8.00	84	0.74
Building Construction	Tractors/Loaders/Backhoes	3	7.00	97	0.37
Building Construction	Welders	1	8.00	46	0.45
Architectural Coating	Air Compressors	1	6.00	78	0.48

Trips and VMT

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Grading	6	15.00	0.00	0.00	12.40	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	7	18.00	0.00	0.00	12.40	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Paving	8	20.00	0.00	0.00	12.40	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	9	75.00	29.00	0.00	12.40	7.30	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	15.00	0.00	0.00	12.40	7.30	20.00	LD_Mix	HDT_Mix	HHDT

F124

3.1 Mitigation Measures Construction

3.2 Grading - 2017

Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Fugitive Dust					6.6860	0.0000	6.6860	3.3819	0.0000	3.3819			0.0000			0.0000
Off-Road	3.4555	35.9825	25.3812	0.0297		2.0388	2.0388	1.8757	1.8757	1.8757		3,043.6667	3,043.6667	0.9326		3,063.2507
Total	3.4555	35.9825	25.3812	0.0297	6.6860	2.0388	8.7248	3.3819	1.8757	5.2576		3,043.6667	3,043.6667	0.9326		3,063.2507

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Worker	0.0542	0.0807	0.7373	1.6100e-003	0.1415	1.0800e-003	0.1425	0.0375	1.0000e-003	0.0385		129.7647	129.7647	6.8500e-003		129.9085
Total	0.0542	0.0807	0.7373	1.6100e-003	0.1415	1.0800e-003	0.1425	0.0375	1.0000e-003	0.0385		129.7647	129.7647	6.8500e-003		129.9085

F125

3.2 Grading - 2017
Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Fugitive Dust					6.6860	0.0000	6.6860	3.3819	0.0000	3.3819			0.0000			0.0000
Off-Road	3.4555	35.9825	25.3812	0.0297	2.0388	2.0388	2.0388	1.8757	1.8757	1.8757	0.0000	3,043.6667	3,043.6667	0.9326		3,063.2507
Total	3.4555	35.9825	25.3812	0.0297	6.6860	2.0388	8.7248	3.3819	1.8757	5.2576	0.0000	3,043.6667	3,043.6667	0.9326		3,063.2507

Mitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Worker	0.0542	0.0807	0.7373	1.6100e-003	0.1415	1.0800e-003	0.1425	0.0375	1.0000e-003	0.0385			129.7647	6.8500e-003		129.9085
Total	0.0542	0.0807	0.7373	1.6100e-003	0.1415	1.0800e-003	0.1425	0.0375	1.0000e-003	0.0385			129.7647	6.8500e-003		129.9085

F126

3.3 Site Preparation - 2017
Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Fugitive Dust	0.0000	0.0000	0.0000	0.0000	18.0663	0.0000	18.0663	9.9307	0.0000	9.9307			0.0000			0.0000
Off-Road	4.8382	51.7535	39.3970	0.0391	2.7542	2.7542	2.7542	2.5339	2.5339	2.5339		4,003.0859	4,003.0859	1.2265		4,028.8432
Total	4.8382	51.7535	39.3970	0.0391	18.0663	2.7542	20.8205	9.9307	2.5339	12.4646		4,003.0859	4,003.0859	1.2265		4,028.8432

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Worker	0.0650	0.0969	0.8848	1.9300e-003	0.1698	1.3000e-003	0.1711	0.0450	1.2000e-003	0.0462		155.7176	155.7176	8.2200e-003		155.8902
Total	0.0650	0.0969	0.8848	1.9300e-003	0.1698	1.3000e-003	0.1711	0.0450	1.2000e-003	0.0462		155.7176	155.7176	8.2200e-003		155.8902

F127

3.3 Site Preparation - 2017
Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Fugitive Dust					18.0663	0.0000	18.0663	9.9307	0.0000	9.9307			0.0000			0.0000
Off-Road	4.8382	51.7535	39.3970	0.0391	2.7542	2.7542	2.7542	2.5339	2.5339	2.5339	0.0000	4,003.0859	4,003.0859	1.2265		4,028.8432
Total	4.8382	51.7535	39.3970	0.0391	18.0663	2.7542	20.8205	9.9307	2.5339	12.4646	0.0000	4,003.0859	4,003.0859	1.2265		4,028.8432

Mitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Worker	0.0650	0.0969	0.8848	1.9300e-003	0.1698	1.3000e-003	0.1711	0.0450	1.2000e-003	0.0462			155.7176	8.2200e-003		155.8902
Total	0.0650	0.0969	0.8848	1.9300e-003	0.1698	1.3000e-003	0.1711	0.0450	1.2000e-003	0.0462			155.7176	8.2200e-003		155.8902

F120

3.4 Paving - 2017
Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Off-Road	1.6554	16.8035	12.4837	0.0186	1.0056	1.0056	1.0056	0.9269	0.9269	0.9269		1,873.8264	1,873.8264	0.5588		1,885.5609
Paving	0.0175				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Total	1.6729	16.8035	12.4837	0.0186	1.0056	1.0056	1.0056	0.9269	0.9269	0.9269		1,873.8264	1,873.8264	0.5588		1,885.5609

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Worker	0.0722	0.1076	0.9831	2.1400e-003	0.1886	1.4400e-003	0.1901	0.0500	1.3300e-003	0.0514			173.0196	173.0196	9.1300e-003	173.2113
Total	0.0722	0.1076	0.9831	2.1400e-003	0.1886	1.4400e-003	0.1901	0.0500	1.3300e-003	0.0514			173.0196	173.0196	9.1300e-003	173.2113

F129

3.4 Paving - 2017
Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Off-Road	1.6554	16.8035	12.4837	0.0186	1.0056	1.0056	1.0056	0.9269	0.9269	0.9269	0.0000	1,873.8264	1,873.8264	0.5568		1,885.5609
Paving	0.0175				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Total	1.6729	16.8035	12.4837	0.0186	1.0056	1.0056	1.0056	0.9269	0.9269	0.9269	0.0000	1,873.8264	1,873.8264	0.5568		1,885.5609

Mitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Worker	0.0722	0.1076	0.9831	2.1400e-003	0.1886	1.4400e-003	0.1901	0.0500	1.3300e-003	0.0514			173.0196	9.1300e-003		173.2113
Total	0.0722	0.1076	0.9831	2.1400e-003	0.1886	1.4400e-003	0.1901	0.0500	1.3300e-003	0.0514			173.0196	9.1300e-003		173.2113

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3.5 Building Construction - 2017
Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Off-Road	3.1024	26.4057	18.1291	0.0268		1.7812	1.7812		1.6730	1.6730		2,639.8053	2,639.8053	0.6497		2,653.4490
Total	3.1024	26.4057	18.1291	0.0268		1.7812	1.7812		1.6730	1.6730		2,639.8053	2,639.8053	0.6497		2,653.4490

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.3754	2.6367	4.9282	6.8800e-003	0.1928	0.0377	0.2305	0.0551	0.0347	0.0897		676.6156	676.6156	5.3500e-003		676.7279
Worker	0.2707	0.4036	3.6866	8.0300e-003	0.7073	5.4200e-003	0.7127	0.1876	4.9900e-003	0.1926		648.8233	648.8233	0.0342		649.5424
Total	0.6462	3.0403	8.6148	0.0149	0.9001	0.0431	0.9432	0.2426	0.0397	0.2823		1,325.4389	1,325.4389	0.0396		1,326.2703

F131

3.5 Building Construction - 2017
Mitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Off-Road	3.1024	26.4057	18.1291	0.0288		1.7812	1.7812		1.6730	1.6730	0.0000	2,639.8053	2,639.8053	0.6497		2,653.4490
Total	3.1024	26.4057	18.1291	0.0288		1.7812	1.7812		1.6730	1.6730	0.0000	2,639.8053	2,639.8053	0.6497		2,653.4490

Mitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Vendor	0.3754	2.6367	4.9282	6.8800e-003	0.1928	0.0377	0.2305	0.0551	0.0347	0.0897			676.6156	5.3500e-003		676.7279
Worker	0.2707	0.4036	3.6866	8.0300e-003	0.7073	5.4200e-003	0.7127	0.1876	4.9900e-003	0.1926			648.8233	0.0342		649.5424
Total	0.6462	3.0403	8.6148	0.0149	0.9001	0.0431	0.9432	0.2426	0.0397	0.2823			1,325.4389	0.0396		1,326.2703

F132

3.6 Architectural Coating - 2017
Unmitigated Construction On-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Archit. Coating	19.1384				0.0000	0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Off-Road	0.3323	2.1850	1.8681	2.9700e-003	0.1733	0.1733	0.1733	0.1733	0.1733	0.1733		281.4481	281.4481	0.0297		282.0721
Total	19.4707	2.1850	1.8681	2.9700e-003	0.1733	0.1733	0.1733	0.1733	0.1733	0.1733		281.4481	281.4481	0.0297		282.0721

Unmitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Worker	0.0542	0.0807	0.7373	1.6100e-003	0.1415	1.0800e-003	0.1425	0.0375	1.0000e-003	0.0385		129.7647	129.7647	6.8500e-003		129.9085
Total	0.0542	0.0807	0.7373	1.6100e-003	0.1415	1.0800e-003	0.1425	0.0375	1.0000e-003	0.0385		129.7647	129.7647	6.8500e-003		129.9085

F133

**3.6 Architectural Coating - 2017
Mitigated Construction On-Site**

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Archit. Coating	19.1384				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Off-Road	0.3323	2.1850	1.8681	2.9700e-003	0.1733	0.1733	0.1733	0.1733	0.1733	0.1733	0.0000	281.4481	281.4481	0.0297		282.0721
Total	19.4707	2.1850	1.8681	2.9700e-003	0.1733	0.1733	0.1733	0.1733	0.1733	0.1733	0.0000	281.4481	281.4481	0.0297		282.0721

Mitigated Construction Off-Site

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000	0.0000		0.0000
Worker	0.0542	0.0807	0.7373	1.6100e-003	0.1415	1.0800e-003	0.1425	0.0375	1.0000e-003	0.0385			129.7647	6.8500e-003		129.9085
Total	0.0542	0.0807	0.7373	1.6100e-003	0.1415	1.0800e-003	0.1425	0.0375	1.0000e-003	0.0385			129.7647	6.8500e-003		129.9085

4.0 Operational Detail - Mobile

F134

4.1 Mitigation Measures Mobile

Increase Transit Accessibility

Category	lb/day															
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Mitigated	0.9210	2.0600	9.4850	0.0172	1.2493	0.0256	1.2749	0.3342	0.0236	0.3578	1,455,200	1,455,200	1,455,200	0.0611		1,456,483
Unmitigated	0.9875	2.5160	10.9793	0.0216	1.5862	0.0320	1.6181	0.4243	0.0294	0.4537	1,833,466	1,833,466	1,833,466	0.0754		1,835,050

4.2 Trip Summary Information

Land Use	Average Daily Trip Rate			Unmitigated		Mitigated	
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT	Annual VMT	Annual VMT
Other Non-Asphalt Surfaces	0.00	0.00	0.00				
Parking Lot	0.00	0.00	0.00				
Unrefrigerated Warehouse-No Rail	255.83	255.83	255.83	746,884	746,884	588,253	588,253
Total	255.83	255.83	255.83	746,884	746,884	588,253	588,253

4.3 Trip Type Information

Land Use	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Other Non-Asphalt Surfaces	9.50	7.30	7.30	0.00	0.00	0.00	0	0	0
Parking Lot	9.50	7.30	7.30	0.00	0.00	0.00	0	0	0
Unrefrigerated Warehouse-No	9.50	7.30	7.30	59.00	0.00	41.00	92	5	3

F135

LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
0.546114	0.062902	0.174648	0.122985	0.034055	0.004856	0.015640	0.024397	0.002087	0.003279	0.006673	0.000688	0.001667

5.0 Energy Detail

Historical Energy Use: N

5.1 Mitigation Measures Energy

Exceed Title 24

Percent of Electricity Use Generated with Renewable Energy

Category	lb/day															
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Biogenic CO2	NBiogenic CO2	Total CO2	CH4	N2O	CO2e
Natural Gas Mitigated	7.7900e-003	0.0708	0.0595	4.2000e-004	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	84.9669	84.9669	84.9669	1.6300e-003	1.5600e-003	85.4840
Natural Gas Unmitigated	0.0110	0.1003	0.0843	6.0000e-004	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	120.3918	120.3918	120.3918	2.3100e-003	2.2100e-003	121.1245

F136

5.2 Energy by Land Use - Natural Gas

Unmitigated

Land Use	Natural Gas Use kBTU/yr	lb/day																
		ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e	
Other Non-Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Parking Lot	0	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Unrefrigerated Warehouse-No Pail	1023.33	0.0110	0.1003	0.0843	6.0000e-004	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	120.3918	120.3918	120.3918	2.3100e-003	2.2100e-003	121.1245	
Total		0.0110	0.1003	0.0843	6.0000e-004	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	7.6200e-003	120.3918	120.3918	120.3918	2.3100e-003	2.2100e-003	121.1245	

Mitigated

Land Use	Natural Gas Use kBTU/yr	lb/day																
		ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e	
Parking Lot	0	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Unrefrigerated Warehouse-No Pail	0.722219	7.7900e-003	0.0708	0.0595	4.2000e-004	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	84.9669	84.9669	84.9669	1.6300e-003	1.5600e-003	85.4840	
Other Non-Asphalt Surfaces	0	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Total		7.7900e-003	0.0708	0.0595	4.2000e-004	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	5.3800e-003	84.9669	84.9669	84.9669	1.6300e-003	1.5600e-003	85.4840	

6.0 Area Detail

F137

6.1 Mitigation Measures Area

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Biogenic CO2	NBiogenic CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Mitigated	4.3215	1.1000e-004	0.0120	0.0000	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	0.0252	0.0252	0.0252	7.0000e-005		0.0266
Unmitigated	4.3215	1.1000e-004	0.0120	0.0000	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	0.0252	0.0252	0.0252	7.0000e-005		0.0266

6.2 Area by SubCategory

Unmitigated

SubCategory	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Biogenic CO2	NBiogenic CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Architectural Coating	0.4981					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	3.8222					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Landscaping	1.1500e-003	1.1000e-004	0.0120	0.0000	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	0.0252	0.0252	0.0252	7.0000e-005		0.0266
Total	4.3215	1.1000e-004	0.0120	0.0000	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	0.0252	0.0252	0.0252	7.0000e-005		0.0266

F138

6.2 Area by SubCategory

Mitigated

SubCategory	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Biogenic CO2	NBiogenic CO2	Total CO2	CH4	N2O	CO2e
	lb/day															
Architectural Coating	0.4981				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Consumer Products	3.8222				0.0000	0.0000	0.0000	0.0000	0.0000	0.0000			0.0000			0.0000
Landscaping	1.1500e-003	1.1000e-004	0.0120	0.0000	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	0.0252	0.0252	7.0000e-005	7.0000e-005		0.0266
Total	4.3215	1.1000e-004	0.0120	0.0000	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	4.0000e-005	0.0252	0.0252	7.0000e-005	7.0000e-005		0.0266

7.0 Water Detail

7.1 Mitigation Measures Water

8.0 Waste Detail

8.1 Mitigation Measures Waste

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type

10.0 Vegetation

F139

Vineyard Self-Storage

Bay Area AQMD Air District, Mitigation Report

Construction Mitigation Summary

Phase	ROG	NOx	CO	SO2	Exhaust PM10	Exhaust PM2.5	Bi-o- CO2	NBi-o- CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction												
Architectural Coating	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Building Construction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Grading	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Paving	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Site Preparation	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

OFFROAD Equipment Mitigation

F140

Equipment Type	Fuel Type	Tier	Number Mitigated	Total Number of Equipment	DPF	Oxidation Catalyst
Air Compressors	Diesel	No Change	0	1	No Change	0.00
Cement and Mortar Mixers	Diesel	No Change	0	2	No Change	0.00
Cranes	Diesel	No Change	0	1	No Change	0.00
Excavators	Diesel	No Change	0	1	No Change	0.00
Forklifts	Diesel	No Change	0	3	No Change	0.00
Generator Sets	Diesel	No Change	0	1	No Change	0.00
Graders	Diesel	No Change	0	1	No Change	0.00
Pavers	Diesel	No Change	0	1	No Change	0.00
Paving Equipment	Diesel	No Change	0	2	No Change	0.00
Rollers	Diesel	No Change	0	2	No Change	0.00
Rubber Tired Dozers	Diesel	No Change	0	4	No Change	0.00
Tractors/Loaders/Backhoes	Diesel	No Change	0	11	No Change	0.00
Welders	Diesel	No Change	0	1	No Change	0.00

F141

Equipment Type	ROG	NOx	CO	SO2	Exhaust PM10	Exhaust PM2.5	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Unmitigated tons/yr												
Air Compressors	1.57800E-002	1.03790E-001	8.87300E-002	1.40000E-004	8.23000E-003	8.23000E-003	0.00000E+000	1.21280E+001	1.21280E+001	1.28000E-003	0.00000E+000	1.21548E+001
Cement and Mortar Mixers	6.60000E-004	4.15000E-003	3.47000E-003	1.00000E-005	1.70000E-004	1.70000E-004	0.00000E+000	5.15560E-001	5.15560E-001	5.00000E-005	0.00000E+000	5.16660E-001
Cranes	2.69300E-002	3.19740E-001	1.14560E-001	2.30000E-004	1.42500E-002	1.31100E-002	0.00000E+000	2.17647E+001	2.17647E+001	6.87000E-003	0.00000E+000	2.19047E+001
Excavators	1.81000E-003	2.00800E-002	1.71100E-002	3.00000E-005	9.90000E-004	9.10000E-004	0.00000E+000	2.45512E+000	2.45512E+000	7.50000E-004	0.00000E+000	2.47092E+000
Forklifts	3.00600E-002	2.60260E-001	1.78000E-001	2.20000E-004	2.14700E-002	1.97500E-002	0.00000E+000	2.01997E+001	2.01997E+001	6.19000E-003	0.00000E+000	2.03296E+001
Generator Sets	2.70800E-002	2.12050E-001	1.79240E-001	3.10000E-004	1.42700E-002	1.42700E-002	0.00000E+000	2.68474E+001	2.68474E+001	2.17000E-003	0.00000E+000	2.68830E+001
Graders	4.76000E-003	4.82100E-002	2.41900E-002	3.00000E-005	2.71000E-003	2.48000E-003	0.00000E+000	2.89211E+000	2.89211E+000	8.90000E-004	0.00000E+000	2.91072E+000
Pavers	2.70000E-003	3.02300E-002	2.12700E-002	3.00000E-005	1.49000E-003	1.37000E-003	0.00000E+000	3.14349E+000	3.14349E+000	9.60000E-004	0.00000E+000	3.16372E+000
Paving Equipment	3.18000E-003	3.61800E-002	2.85400E-002	5.00000E-005	1.81000E-003	1.66000E-003	0.00000E+000	4.18797E+000	4.18797E+000	1.28000E-003	0.00000E+000	4.21492E+000
Rollers	3.50000E-003	3.26400E-002	2.24000E-002	3.00000E-005	2.36000E-003	2.18000E-003	0.00000E+000	2.73683E+000	2.73683E+000	8.40000E-004	0.00000E+000	2.75444E+000
Rubber Tired Dozers	2.38100E-002	2.63850E-001	1.98810E-001	1.80000E-004	1.22600E-002	1.12800E-002	0.00000E+000	1.65109E+001	1.65109E+001	5.06000E-003	0.00000E+000	1.66172E+001
Tractors/Loaders/ Backhoes	5.29600E-002	5.08900E-001	4.00220E-001	5.20000E-004	3.82700E-002	3.52100E-002	0.00000E+000	4.82712E+001	4.82712E+001	1.47900E-002	0.00000E+000	4.85818E+001
Welders	2.37900E-002	8.26600E-002	9.08500E-002	1.20000E-004	6.07000E-003	6.07000E-003	0.00000E+000	8.94048E+000	8.94048E+000	1.94000E-003	0.00000E+000	8.98112E+000

F142

Equipment Type	ROG	NOx	CO	SO2	Exhaust PM10	Exhaust PM2.5	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Mitigated tons/yr												
Air Compressors	1.57800E-002	1.03790E-001	8.87300E-002	1.40000E-004	8.23000E-003	8.23000E-003	0.00000E+000	1.217279E+001	1.21279E+001	1.28000E-003	0.00000E+000	1.215248E+001
Cement and Mortar Mixers	6.60000E-004	4.15000E-003	3.47000E-003	1.00000E-005	1.70000E-004	1.70000E-004	0.00000E+000	5.15560E-001	5.15560E-001	5.00000E-005	0.00000E+000	5.16680E-001
Cranes	2.69300E-002	3.19740E-001	1.14360E-001	2.30000E-004	1.42500E-002	1.31100E-002	0.00000E+000	2.17647E+001	2.17647E+001	6.67000E-003	0.00000E+000	2.19047E+001
Excavators	1.81000E-003	2.00800E-002	1.71100E-002	3.00000E-005	9.90000E-004	9.10000E-004	0.00000E+000	2.45512E+000	2.45512E+000	7.50000E-004	0.00000E+000	2.47092E+000
Forklifts	3.00600E-002	2.60260E-001	1.78000E-001	2.20000E-004	2.14700E-002	1.97500E-002	0.00000E+000	2.01996E+001	2.01996E+001	6.19000E-003	0.00000E+000	2.03296E+001
Generator Sets	2.70800E-002	2.12050E-001	1.79240E-001	3.10000E-004	1.42700E-002	1.42700E-002	0.00000E+000	2.68473E+001	2.68473E+001	2.17000E-003	0.00000E+000	2.68930E+001
Graders	4.76000E-003	4.82100E-002	2.41900E-002	3.00000E-005	2.71000E-003	2.49000E-003	0.00000E+000	2.89211E+000	2.89211E+000	8.90000E-004	0.00000E+000	2.91072E+000
Pavers	2.70000E-003	3.02300E-002	2.12700E-002	3.00000E-005	1.49000E-003	1.37000E-003	0.00000E+000	3.14349E+000	3.14349E+000	9.60000E-004	0.00000E+000	3.16371E+000
Paving Equipment	3.18000E-003	3.61800E-002	2.85400E-002	5.00000E-005	1.81000E-003	1.66000E-003	0.00000E+000	4.18797E+000	4.18797E+000	1.28000E-003	0.00000E+000	4.21482E+000
Rollers	3.50000E-003	3.26400E-002	2.24000E-002	3.00000E-005	2.36000E-003	2.18000E-003	0.00000E+000	2.73683E+000	2.73683E+000	8.40000E-004	0.00000E+000	2.75444E+000
Rubber Tired Dozers	2.38100E-002	2.63850E-001	1.98810E-001	1.80000E-004	1.22600E-002	1.12800E-002	0.00000E+000	1.65109E+001	1.65109E+001	5.06000E-003	0.00000E+000	1.66171E+001
Tractors/Loaders/Balckhoes	5.29600E-002	5.08900E-001	4.00220E-001	5.20000E-004	3.82700E-002	3.52100E-002	0.00000E+000	4.82712E+001	4.82712E+001	1.47900E-002	0.00000E+000	4.85818E+001
Welders	2.37900E-002	8.26800E-002	9.08500E-002	1.20000E-004	6.07000E-003	6.07000E-003	0.00000E+000	8.94047E+000	8.94047E+000	1.94000E-003	0.00000E+000	8.98110E+000

F143

Equipment Type	ROG	NOx	CO	SO2	Exhaust PM10	Exhaust PM2.5	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction												
Air Compressors	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	1.64908E-006	1.64908E-006	0.00000E+000	0.00000E+000	8.227718E-007
Cement and Mortar Mixers	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000
Cranes	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	9.18920E-007	9.18920E-007	0.00000E+000	0.00000E+000	9.13045E-007
Excavators	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000
Forklifts	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	9.90116E-007	9.90116E-007	0.00000E+000	0.00000E+000	9.83786E-007
Generator Sets	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	1.11743E-006	1.11743E-006	0.00000E+000	0.00000E+000	1.11553E-006
Graders	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000
Pavers	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	3.16084E-006
Paving Equipment	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000
Rollers	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000
Rubber Tired Dozers	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	1.21132E-006	1.21132E-006	0.00000E+000	0.00000E+000	1.20358E-006
Tractors/Loaders/Balances	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	1.24298E-006	1.24298E-006	0.00000E+000	0.00000E+000	1.23503E-006
Welders	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	0.00000E+000	1.11851E-006	1.11851E-006	0.00000E+000	0.00000E+000	2.22689E-006

Fugitive Dust Mitigation

Yes/No	Mitigation Measure	Mitigation Input	Mitigation Input	Mitigation Input
No	Soil Stabilizer for unpaved Roads	PM10 Reduction	PM2.5 Reduction	
No	Replace Ground Cover of Area Disturbed	PM10 Reduction	PM2.5 Reduction	
No	Water Exposed Area	PM10 Reduction	PM2.5 Reduction	Frequency (per day)

F144

No	Unpaved Road Mitigation	Moisture Content: %	Vehicle Speed (mph)
No	Clean Paved Road	% PM Reduction	0.00

Phase	Source	Unmitigated		Mitigated		Percent Reduction	
		PM10	PM2.5	PM10	PM2.5	PM10	PM2.5
Architectural Coating	Fugitive Dust	0.00	0.00	0.00	0.00	0.00	0.00
Architectural Coating	Roads	0.01	0.00	0.01	0.00	0.00	0.00
Building Construction	Fugitive Dust	0.00	0.00	0.00	0.00	0.00	0.00
Building Construction	Roads	0.04	0.01	0.04	0.01	0.00	0.00
Grading	Fugitive Dust	0.03	0.02	0.03	0.02	0.00	0.00
Grading	Roads	0.00	0.00	0.00	0.00	0.00	0.00
Paving	Fugitive Dust	0.00	0.00	0.00	0.00	0.00	0.00
Paving	Roads	0.00	0.00	0.00	0.00	0.00	0.00
Site Preparation	Fugitive Dust	0.09	0.05	0.09	0.05	0.00	0.00
Site Preparation	Roads	0.00	0.00	0.00	0.00	0.00	0.00

Operational Percent Reduction Summary

F145

Category	ROG	NOx	CO	SO2	Exhaust PM10	Exhaust PM2.5	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction												
Architectural Coating	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Consumer Products	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Electricity	0.00	0.00	0.00	0.00	0.00	0.00	0.00	100.00	100.00	100.00	100.00	100.00
Hearth	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Landscaping	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Mobile	7.15	18.09	14.56	20.51	19.69	19.89	0.00	20.62	20.62	18.99	0.00	20.62
Natural Gas	29.35	29.44	29.45	27.27	29.50	29.50	0.00	29.42	29.42	28.96	29.73	29.42
Water Indoor	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.02	0.16	0.02
Water Outdoor	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Operational Mobile Mitigation

Project Setting:

Mitigation	Category	Measure	% Reduction	Input Value 1	Input Value 2	Input Value
No	Land Use	Increase Density	0.00			
No	Land Use	Increase Diversity	0.09	0.31		
No	Land Use	Improve Walkability Design	0.00			
No	Land Use	Improve Destination Accessibility	0.00			
Yes	Land Use	Increase Transit Accessibility	0.21	0.10		
No	Land Use	Integrate Below Market Rate Housing	0.00			
	Land Use	Land Use SubTotal	0.21			

F146

No	Neighborhood Enhancements	Improve Pedestrian Network			
No	Neighborhood Enhancements	Provide Traffic Calming Measures			
No	Neighborhood Enhancements	Implement NEV Network	0.00		
No	Neighborhood Enhancements	Neighborhood Enhancements Subtotal	0.00		
No	Parking Policy Pricing	Limit Parking Supply	0.00		
No	Parking Policy Pricing	Unbundle Parking Costs	0.00		
No	Parking Policy Pricing	On-street Market Pricing	0.00		
No	Parking Policy Pricing	Parking Policy Pricing Subtotal	0.00		
No	Transit Improvements	Provide BRT System	0.00		
No	Transit Improvements	Expand Transit Network	0.00		
No	Transit Improvements	Increase Transit Frequency	0.00		
	Transit Improvements	Transit Improvements Subtotal	0.00		
		Land Use and Site Enhancement Subtotal	0.21		
No	Commute	Implement Trip Reduction Program			
No	Commute	Transit Subsidy			
No	Commute	Implement Employee Parking "Cash Out"			
No	Commute	Workplace Parking Charge			
No	Commute	Encourage Telecommuting and Alternative Work Schedules	0.00		
No	Commute	Market Commute Trip Reduction Option	0.00		
No	Commute	Employee Vanpool/Shuttle	0.00		2.00
No	Commute	Provide Ride Sharing Program			
	Commute	Commute Subtotal	0.00		

F147

No	School Trip	Implement School Bus Program	0.00
		Total VMT Reduction	0.21

Area Mitigation

Measure Implemented	Mitigation Measure	Input Value
No	Only Natural Gas Hearth	
No	No Hearth	
No	Use Low VOC Cleaning Supplies	100.00
No	Use Low VOC Paint (Residential Interior)	150.00
No	Use Low VOC Paint (Residential Exterior)	100.00
No	Use Low VOC Paint (Non-residential Interior)	150.00
No	Use Low VOC Paint (Non-residential Exterior)	
No	% Electric Lawnmower	
No	% Electric Leafblower	
No	% Electric Chainsaw	

Energy Mitigation Measures

Measure Implemented	Mitigation Measure	Input Value 1	Input Value 2
Yes	Exceed Title 24	30.00	
No	Install High Efficiency Lighting	0.00	
Yes	On-site Renewable	30.00	100.00

Appliance Type	Land Use Subtype	% Improvement
ClothWasher		30.00

F148

DishWasher	15.00
Fan	50.00
Refrigerator	15.00

Water Mitigation Measures

Measure Implemented	Mitigation Measure	Input Value 1	Input Value 2
No	Apply Water Conservation on Strategy		
No	Use Reclaimed Water		
No	Use Grey Water		
No	Install low-flow bathroom faucet	32.00	
No	Install low-flow Kitchen faucet	18.00	
No	Install low-flow Toilet	20.00	
No	Install low-flow Shower	20.00	
No	Turf Reduction		
No	Use Water Efficient Irrigation Systems	6.10	
No	Water Efficient Landscape		

Solid Waste Mitigation

Mitigation Measures	Input Value
Institute Recycling and Composting Services Percent Reduction in Waste Disposed	

F149

APPENDIX B

ROAD CONSTRUCTION EMISSIONS MODELING RESULTS

Orange highlighted cells show overlapping project phases. Maximum daily emissions shown below have been adjusted to account for phase overlap. The maximum pounds per day in row 11 is summed over overlapping phases, but the maximums per phase in row 34 is not summed over overlapping phases.

Road Construction Emissions Model, Version 8.1.0

Project Phases (Pounds)	Daily Emission Estimates for Vinyard Self-Storage									
	CO (lbs/day)	CO2 (lbs/day)	NOx (lbs/day)	PM10 (lbs/day)	PM2.5 (lbs/day)	PM10 (lbs/day)	Fugitive Dust (lb/day)	PM10 (lbs/day)	PM2.5 (lbs/day)	CO2e (lbs/day)
Grubbing/Land Clearing	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Grading/Excavation	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Drainage/Utilities/Sub-Grade	1.18	7.87	8.74	4.46	4.46	4.00	0.42	0.83	1,001.65	0.01
Paving	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Maximum (pounds/day)	1.18	7.87	8.74	4.46	4.46	4.00	0.42	0.83	1,001.65	0.01
Total (tons/construction project)	0.01	0.04	0.04	0.02	0.02	0.00	0.00	0.00	4.85	0.00

Notes:
 Project Start Year -> 2017
 Project Length (months) -> 0
 Total Project Area (acres) -> 0
 Maximum Area Disturbed/Day (acres) -> 0
 Water Truck Used? -> No

Phase	Total Material Imported/Exported Volume (yd/day)				Daily VMT (miles/day)			
	Soil	Asphalt	Soil Hauling	Asphalt Hauling	Worker Commute	Water Truck	Water Truck	Water Truck
Grubbing/Land Clearing	0	0	0	0	0	0	0	0
Grading/Excavation	0	0	0	0	0	0	0	0
Drainage/Utilities/Sub-Grade	0	0	0	0	0	0	0	0
Paving	0	0	0	0	0	0	0	0

PM10 and PM2.5 estimates assume 50% control of fugitive dust from staging and associated dust control measures if a minimum number of water trucks are specified. Total PM10 emissions shown in column F are the sum of exhaust and fugitive dust emissions shown in columns G and H. Total PM2.5 emissions shown in column I are the sum of exhaust and fugitive dust emissions shown in columns J and K. CO2e emissions are estimated by multiplying mass emissions for each GHG by its global warming potential (GWP), 1, 25 and 298 for CO2, CH4 and N2O, respectively. Total CO2e is then estimated by summing CO2e estimates over all GHGs.

Project Phases (Tons for all except CO2e, Metric tonnes for CO2e)	Total Emission Estimates by Phase for Vinyard Self-Storage												
	ROC (tons/phase)	CO (tons/phase)	NOx (tons/phase)	PM10 (tons/phase)	PM2.5 (tons/phase)	Total PM2.5 (tons/phase)	Fugitive Dust PM10 (tons/phase)	Fugitive Dust PM2.5 (tons/phase)	SOx (tons/phase)	CO2 (tons/phase)	CH4 (tons/phase)	N2O (tons/phase)	CO2e (Mt/Phase)
Grubbing/Land Clearing	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Grading/Excavation	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Drainage/Utilities/Sub-Grade	0.01	0.04	0.04	0.02	0.02	0.01	0.00	0.00	0.00	4.85	0.00	0.00	4.84
Paving	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Maximum (tons/phase)	0.01	0.04	0.04	0.02	0.02	0.01	0.00	0.00	0.00	4.85	0.00	0.00	4.84
Total (tons/construction project)	0.01	0.04	0.04	0.02	0.02	0.01	0.00	0.00	0.00	4.85	0.00	0.00	4.84

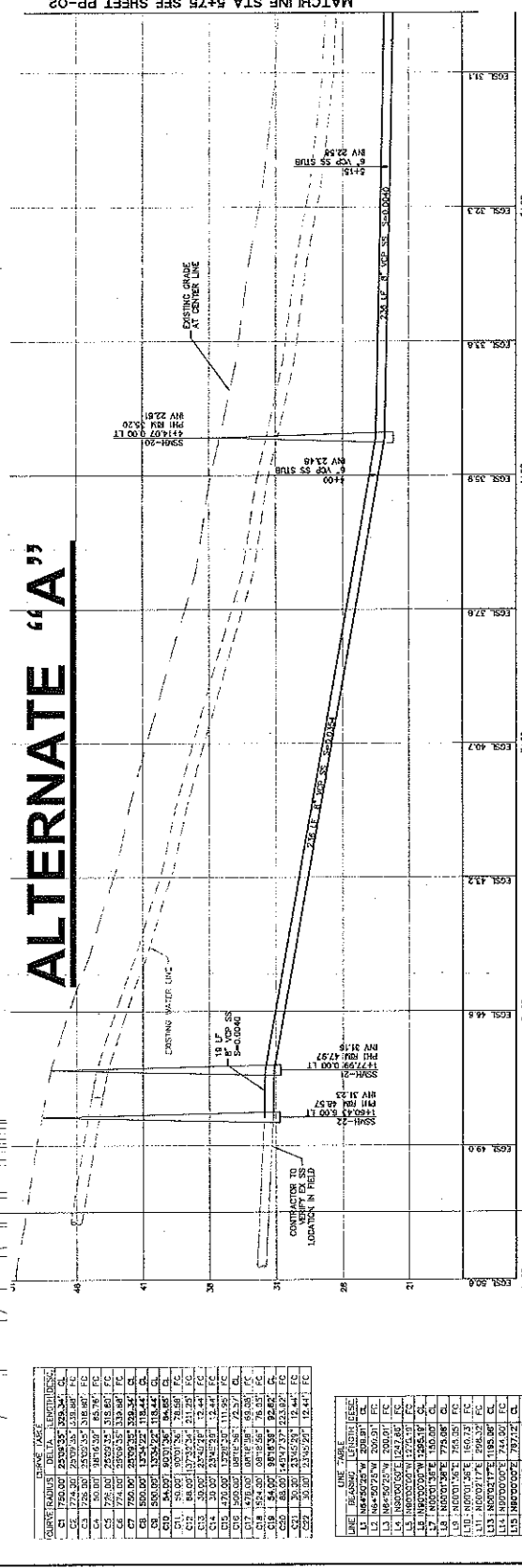
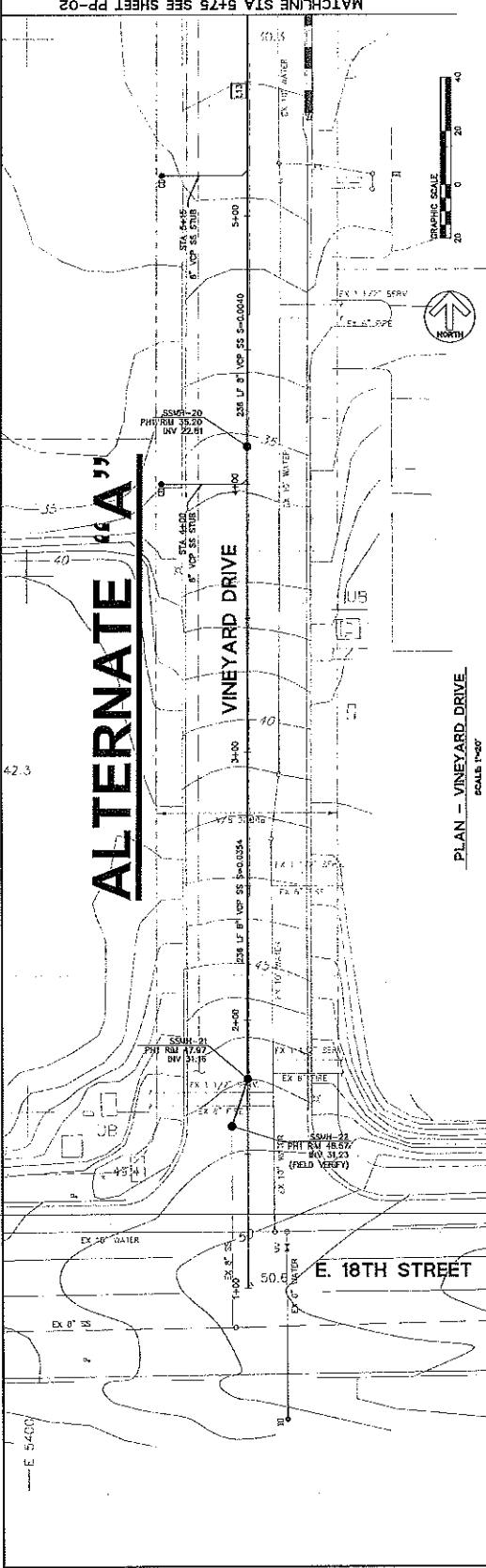
PM10 and PM2.5 estimates assume 50% control of fugitive dust from staging and associated dust control measures if a minimum number of water trucks are specified. Total PM10 emissions shown in column F are the sum of exhaust and fugitive dust emissions shown in columns G and H. Total PM2.5 emissions shown in column I are the sum of exhaust and fugitive dust emissions shown in columns J and K. CO2e emissions are estimated by multiplying mass emissions for each GHG by its global warming potential (GWP), 1, 25 and 298 for CO2, CH4 and N2O, respectively. Total CO2e is then estimated by summing CO2e estimates over all GHGs. The CO2e emissions are reported as metric tons per phase.

F151

APPENDIX C

ALTERNATE "A" SANITARY SEWER INSTALLATION PLAN AND PROFILE

F152



LINE TABLE

LINE	DESCRIPTION	START STATION	END STATION	LENGTH	GRADE
L1	EXISTING WATER LINE	1+00	2+00	100.00	FC
L2	PROPOSED SEWER LINE	1+00	5+00	400.00	FC
L3	EXISTING WATER LINE	2+00	3+00	100.00	FC
L4	PROPOSED SEWER LINE	2+00	3+00	100.00	FC
L5	EXISTING WATER LINE	3+00	4+00	100.00	FC
L6	PROPOSED SEWER LINE	3+00	4+00	100.00	FC
L7	EXISTING WATER LINE	4+00	5+00	100.00	FC
L8	PROPOSED SEWER LINE	4+00	5+00	100.00	FC
L9	EXISTING WATER LINE	5+00	5+00	0.00	FC
L10	PROPOSED SEWER LINE	5+00	5+00	0.00	FC

LINE TABLE

LINE	DESCRIPTION	START STATION	END STATION	LENGTH	GRADE
L1	EXISTING WATER LINE	1+00	2+00	100.00	FC
L2	PROPOSED SEWER LINE	1+00	5+00	400.00	FC
L3	EXISTING WATER LINE	2+00	3+00	100.00	FC
L4	PROPOSED SEWER LINE	2+00	3+00	100.00	FC
L5	EXISTING WATER LINE	3+00	4+00	100.00	FC
L6	PROPOSED SEWER LINE	3+00	4+00	100.00	FC
L7	EXISTING WATER LINE	4+00	5+00	100.00	FC
L8	PROPOSED SEWER LINE	4+00	5+00	100.00	FC
L9	EXISTING WATER LINE	5+00	5+00	0.00	FC
L10	PROPOSED SEWER LINE	5+00	5+00	0.00	FC

NOTE: PG DATA SHOWN FOR REFERENCE ONLY; NOT IN CONTRACT.

MATCHLINE STA 5+75 SEE SHEET PP-02

MATCHLINE STA 5+75 SEE SHEET PP-02



REVIEW FOR COMPLIANCE WITH TITLE 22, CHAPTER 4 OF THE ANTIOCH MUNICIPAL CODE
BY: [Signature]
CITY ENGINEER

NOTES:
1. (PH) SEWER RISES INDICATE THE EXISTING CONDITION, RISE OR LOWER TO PHASE 2 (PH) RISE ELEVATIONS AS SHOWN.

SCALE IS 1"=20', V=1"=4'
PROFILE - VINEYARD DRIVE

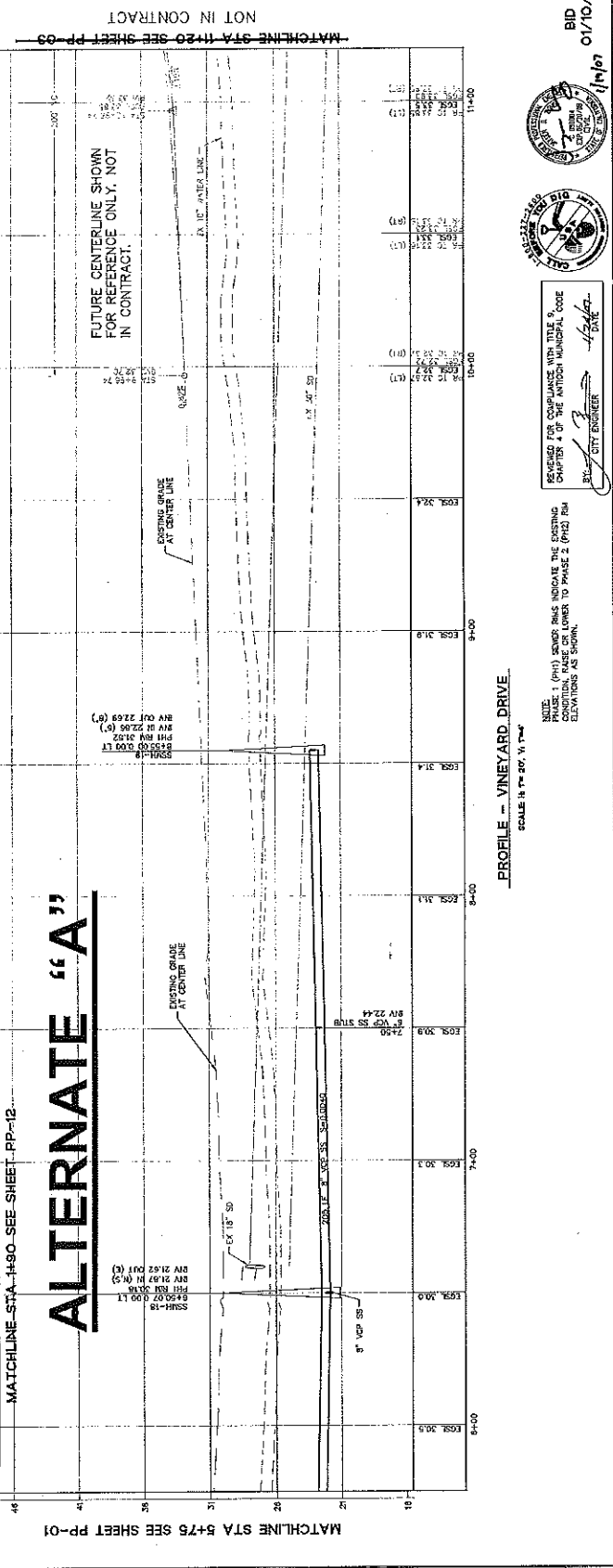
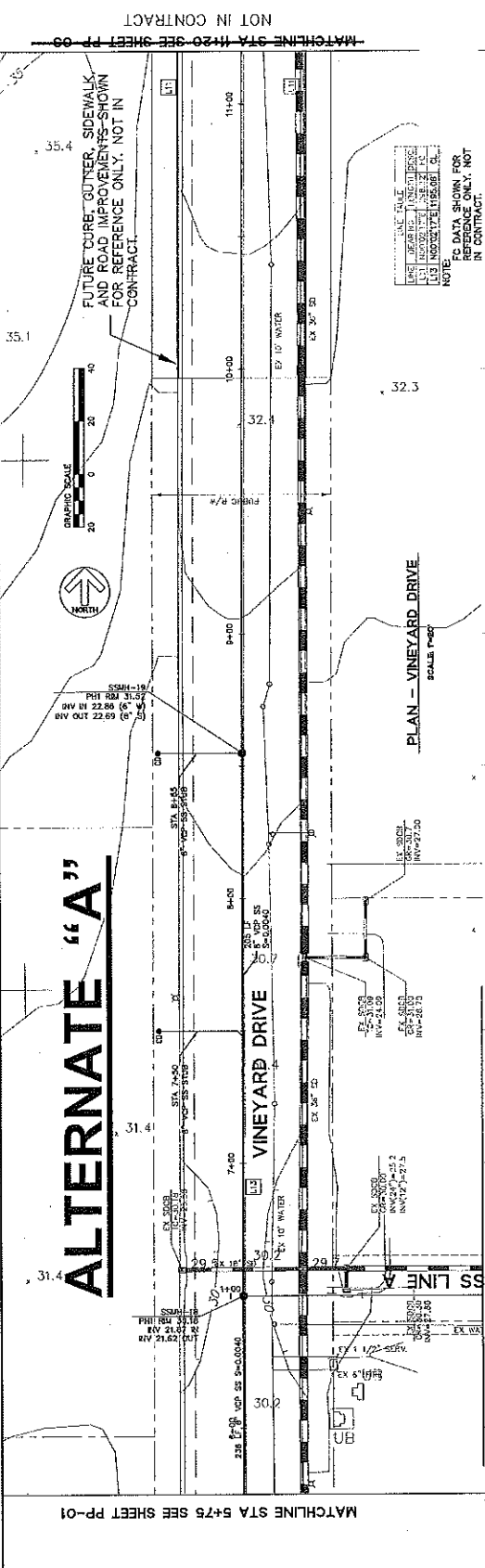
SCALE 1"=1"
PLAN - VINEYARD DRIVE

BID SET
01/10/2007

BKF
 ENGINEERS / PLANNERS
 2227 N. MESA STREET, STE 200
 WILMINGTON, CA 94097
 TEL: (925) 949-2200
 FAX: (925) 949-2299

CITY OF ANTOCH
 CONTRA COSTA COUNTY
 CALIFORNIA
**SANITARY SEWER INSTALLATION
 WITHIN FUTURE SAKURAI STREET
 VINEYARD DRIVE PLAN AND PROFILE**

Project No.	11-000000
Sheet No.	PP-02
Date	01/10/2007
Drawn By	...
Checked By	...
Approved By	...
Scale	AS SHOWN



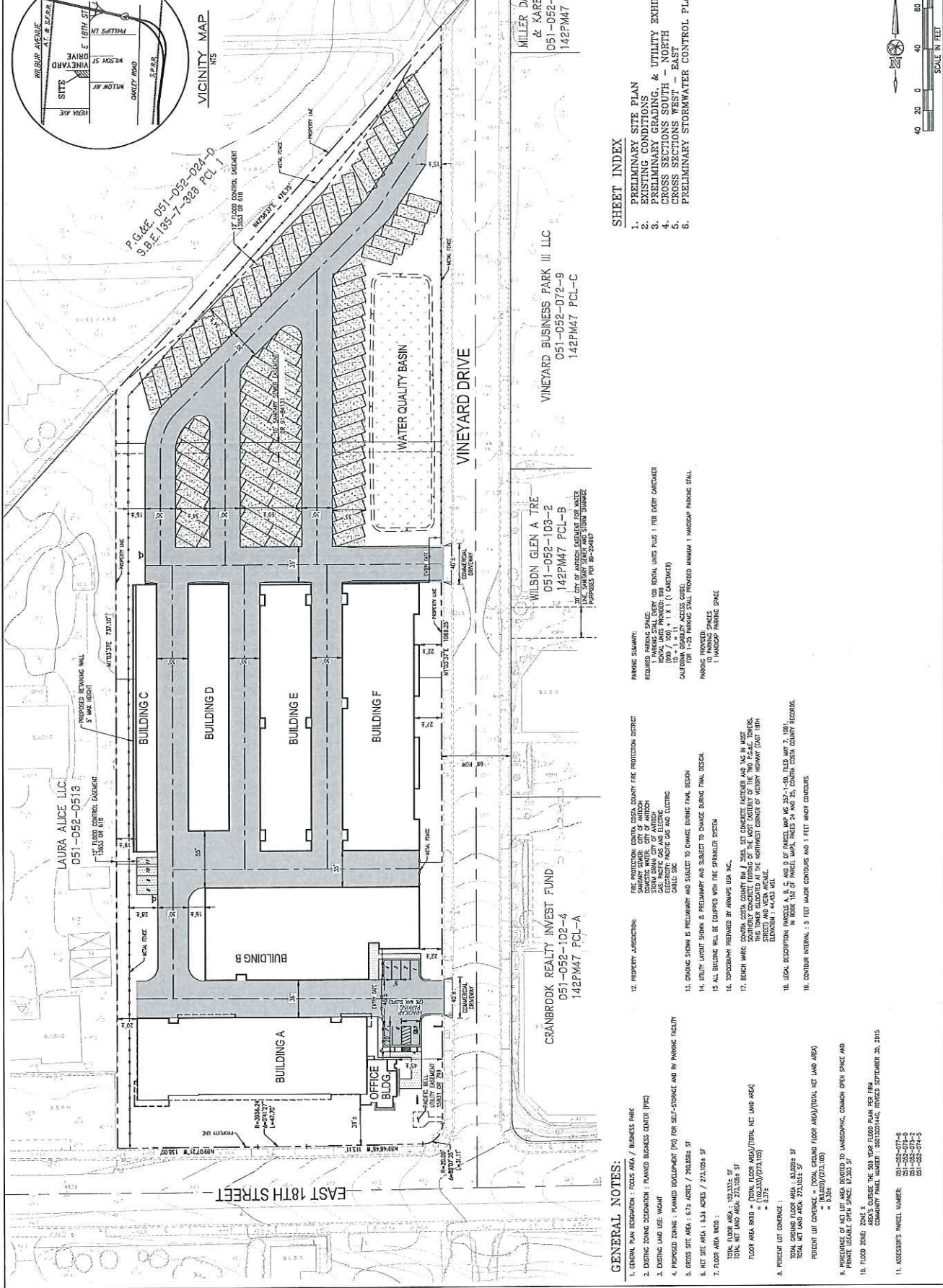
REVIEWED FOR COMPLIANCE WITH TITLE 9, CHAPTER 4 OF THE ANTOCH MUNICIPAL CODE
 BY: [Signature] DATE: 1/10/07
 CITY ENGINEER

NOTE: REVERSE 1 (PH1) SEWER BMS INDICATE THE EXISTING CONDITION, RISE OR LOWER TO PHASE 2 (PH2) BMS ELEVATIONS AS SHOWN.
 SCALE IS 1" = 20' V. 1" = 40'

BID SET
 01/10/2007

F154

VINEYARD SELF STORAGE
 BELLICCI & ASSOCIATES, INC.
 2230 Diamond Boulevard, Suite 100
 Concord, CA 94520
 Phone (925) 665-4569 Fax (925) 665-4628
 Civil/Engineering • Land Surveying



GENERAL NOTES:

- GENERAL PLAN SEPARATION: FENCE AREA / BUSINESS PARK
- EXISTING ZONING SEPARATION: PAVED BUSINESS CENTER (PBC)
- EXISTING LAND USE: WCMHT
- PROPOSED ZONING: PLANNED DEVELOPMENT (PD) FOR SELF-STORAGE AND BY PARKING FACILITY
- GROSS SITE AREA: 6.73 ACRES / 290,826 SF
- NET SITE AREA: 1.53 ACRES / 271,358 SF
- FLOOR AREA RATIO:
 - TOTAL FLOOR AREA: 102,332 SF
 - TOTAL NET LAND AREA: 271,358 SF
 - FLOOR AREA RATIO = (TOTAL FLOOR AREA) / (TOTAL NET LAND AREA)
 - = (102,332) / (271,358)
 - = 0.37
- PERCENT LOT COVERAGE:
 - TOTAL GROUND FLOOR AREA: 83,029 SF
 - TOTAL NET LAND AREA: 271,358 SF
 - PERCENT LOT COVERAGE = (TOTAL GROUND FLOOR AREA) / (TOTAL NET LAND AREA)
 - = (83,029) / (271,358)
 - = 0.30
- PERCENTAGE OF NET LOT AREA DEVOTED TO LANDSCAPING, CHIMNEY OPEN SPACE, AND PRIVATE USABLE OPEN SPACE: 87.203 SF
- FLOOR ZONE: ZONE X
 AREA'S CHECK THE 500 YOR FLOOD PLAN PER FIRM
 COMMUNITY PANEL NUMBER: 051-052-072-4
 051-052-072-5
 051-052-072-6
- ASSESSOR'S PARCEL NUMBER: 051-052-072-4
 051-052-072-5
 051-052-072-6

CRANBROOK REALTY INVEST FUND
 051-052-102-4
 142PM47 PCL-A

WILSON GLEN A TREE
 051-052-103-2
 142PM47 PCL-B

VINEYARD BUSINESS PARK III LLC
 051-052-072-9
 142PM47 PCL-C

MILLER DAVID A & KAREN M
 051-052-073-7
 142PM47 PCL-D

LAURA ALICE LLC
 051-052-0513

P.G&A.E. 051-052-024-D
 S.B.E. 195-7-328 PCL-1

SHEET INDEX

- PRELIMINARY SITE PLAN
- EXISTING CONDITIONS
- PRELIMINARY GRADING & UTILITY EXHIBIT
- CROSS SECTIONS SOUTH - NORTH
- CROSS SECTIONS WEST - EAST
- PRELIMINARY STORMWATER CONTROL PLAN

PARKING SUMMARY:
 REQUIRED PARKING SPACES: 142 PER 1,000 SQ FT OF GROUND FLOOR AREA PLUS 1 PER EVERY CARETAKER
 TOTAL SPACES PROVIDED: 209
 10' x 20' = 141 (1) CARCARETAKER
 10' x 15' = 11
 10' x 10' = 11
 TOTAL 163 PARKING SPACES PROVIDED MINIMUM 1 HANDICAP PARKING SPACE
 PARKING PROVIDED TO WALKING SPACES
 1 HANDICAP PARKING SPACE

FIRE PROTECTION: CONTRA COSTA COUNTY FIRE PROTECTION CENTER
 SAMUELSON SQUARE, CITY OF ANTOCH
 1500 WILSON AVENUE, ANTOCH, CA 94509
 GAS: METRIC GAS AND ELECTRIC
 CALL: 510-465-5400
 CALL: 510-465-5400

12. PROPERTY ADJACENT:
 FIRE PROTECTION: CONTRA COSTA COUNTY FIRE PROTECTION CENTER
 SAMUELSON SQUARE, CITY OF ANTOCH
 1500 WILSON AVENUE, ANTOCH, CA 94509
 GAS: METRIC GAS AND ELECTRIC
 CALL: 510-465-5400
 CALL: 510-465-5400

13. GRADING: SHOWN IS PRELIMINARY AND SUBJECT TO CHANGE DURING FINAL DESIGN
 14. EXISTING UTILITY SHAKES IS PRELIMINARY AND SUBJECT TO CHANGE DURING FINAL DESIGN
 15. ALL BUILDING WILL BE EQUIPPED WITH THE SPRINKLER SYSTEM
 16. TOPOGRAPHY PREPARED BY ARMAPS USA INC.
 17. BENCH MARK: CONTRA COSTA COUNTY BM / 2586, SET CONCRETE FASTER AND 1/2" IN DIAMETER
 THE BENCH MARK IS LOCATED AT THE NORTHWEST CORNER OF VINEYARD DRIVE (EAST 18TH STREET) AND VINEYARD AVENUE.
 ELEVATION: 44.025 FEET

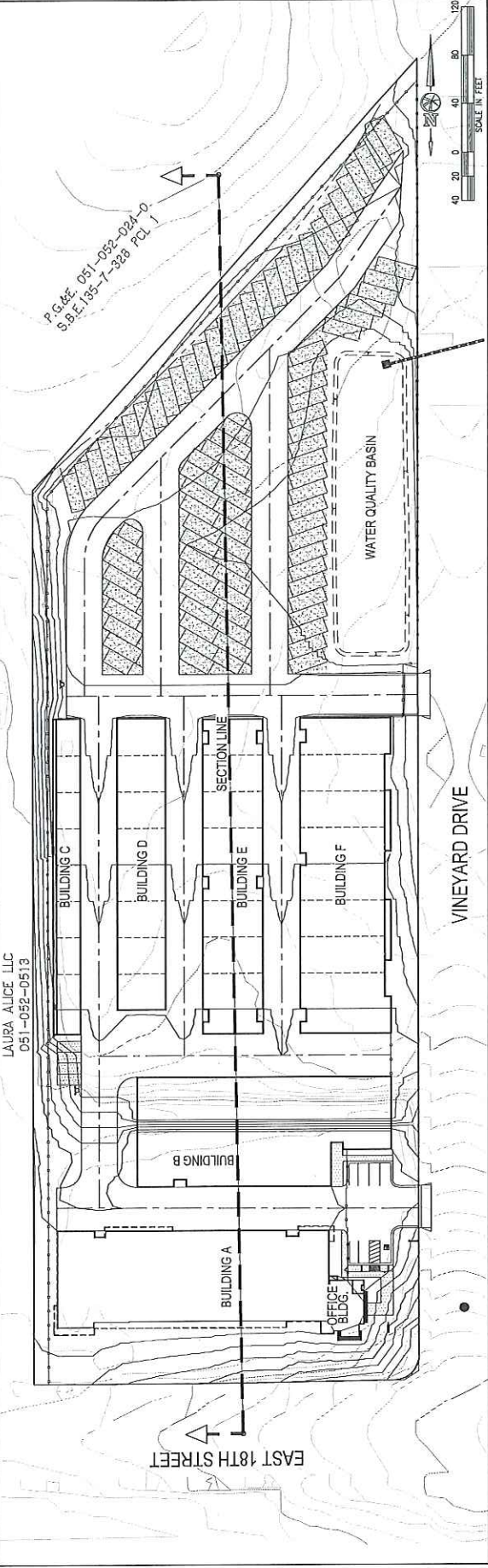
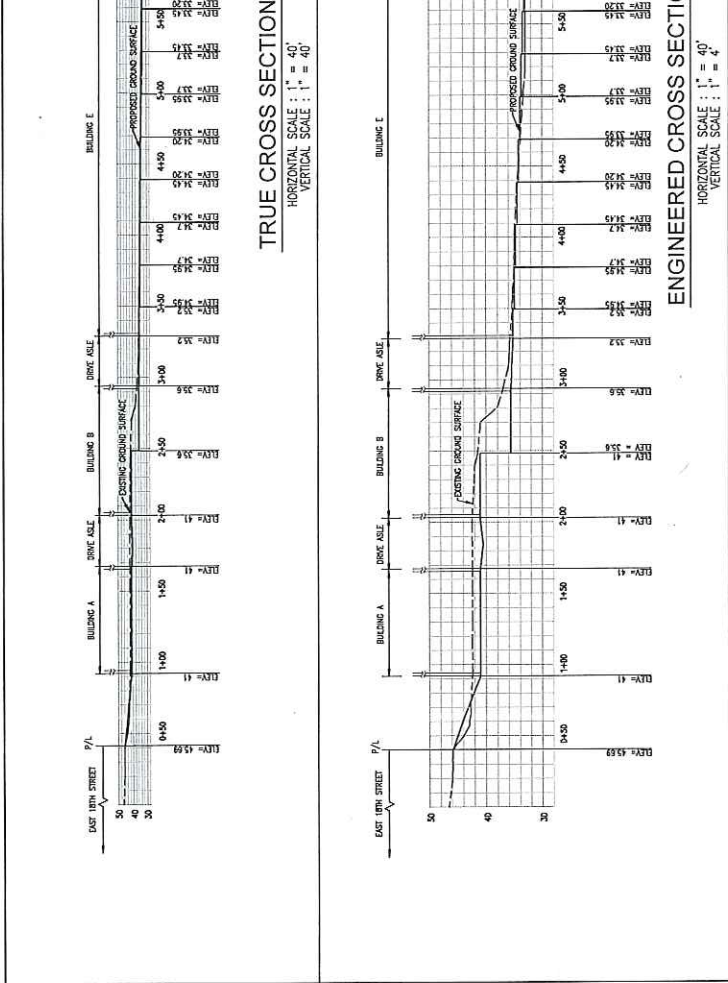
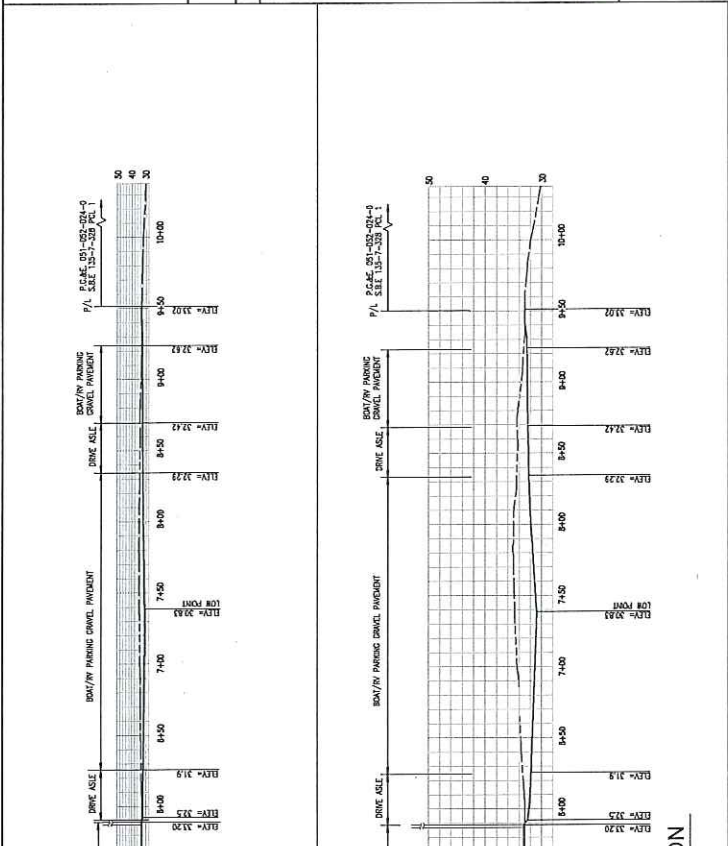
18. LEGAL DESCRIPTION: IN BLOCK 112 OF PARCEL 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

REV	DATE	REVISIONS

Bellecci & Associates, Inc.
 Civil Engineering • Land Surveying
 2290 Diamond Boulevard, Suite 100
 Concord, CA 94520
 Phone (925) 685-4559 Fax (925) 685-4838

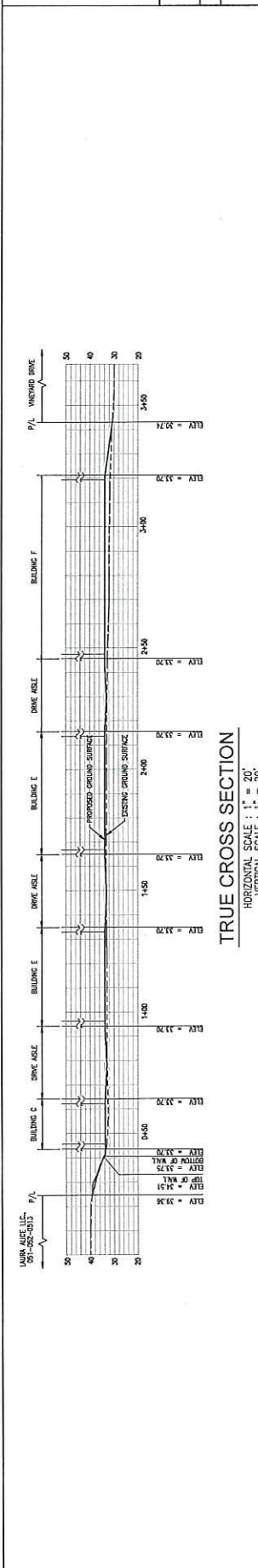
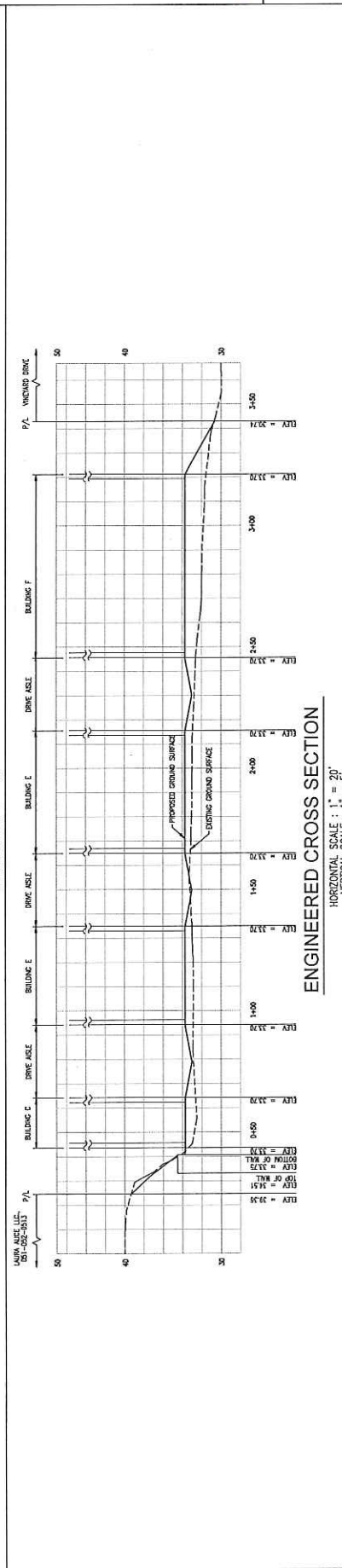
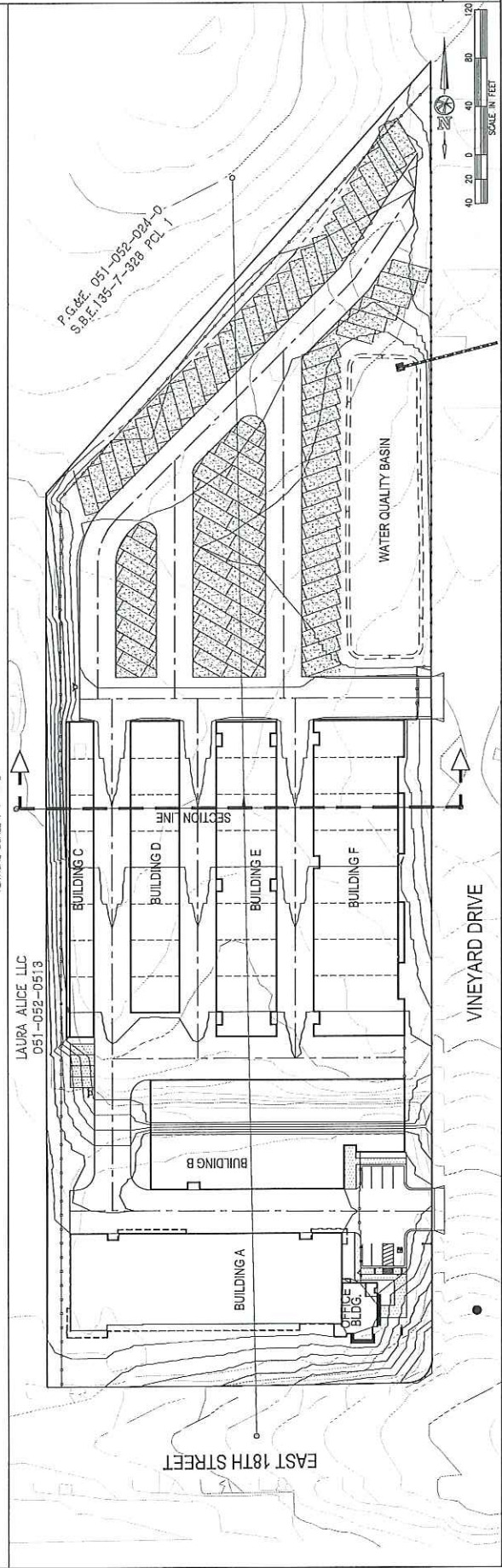
VINEYARD DRIVE
 VINEYARD SELF STORAGE
 CROSS SECTIONS - SOUTH TO NORTH
 CONTRA COSTA COUNTY
 CITY OF ANTIOCH
 CALIFORNIA

SHEET 4
 OF 6
 JOB NO. 18005

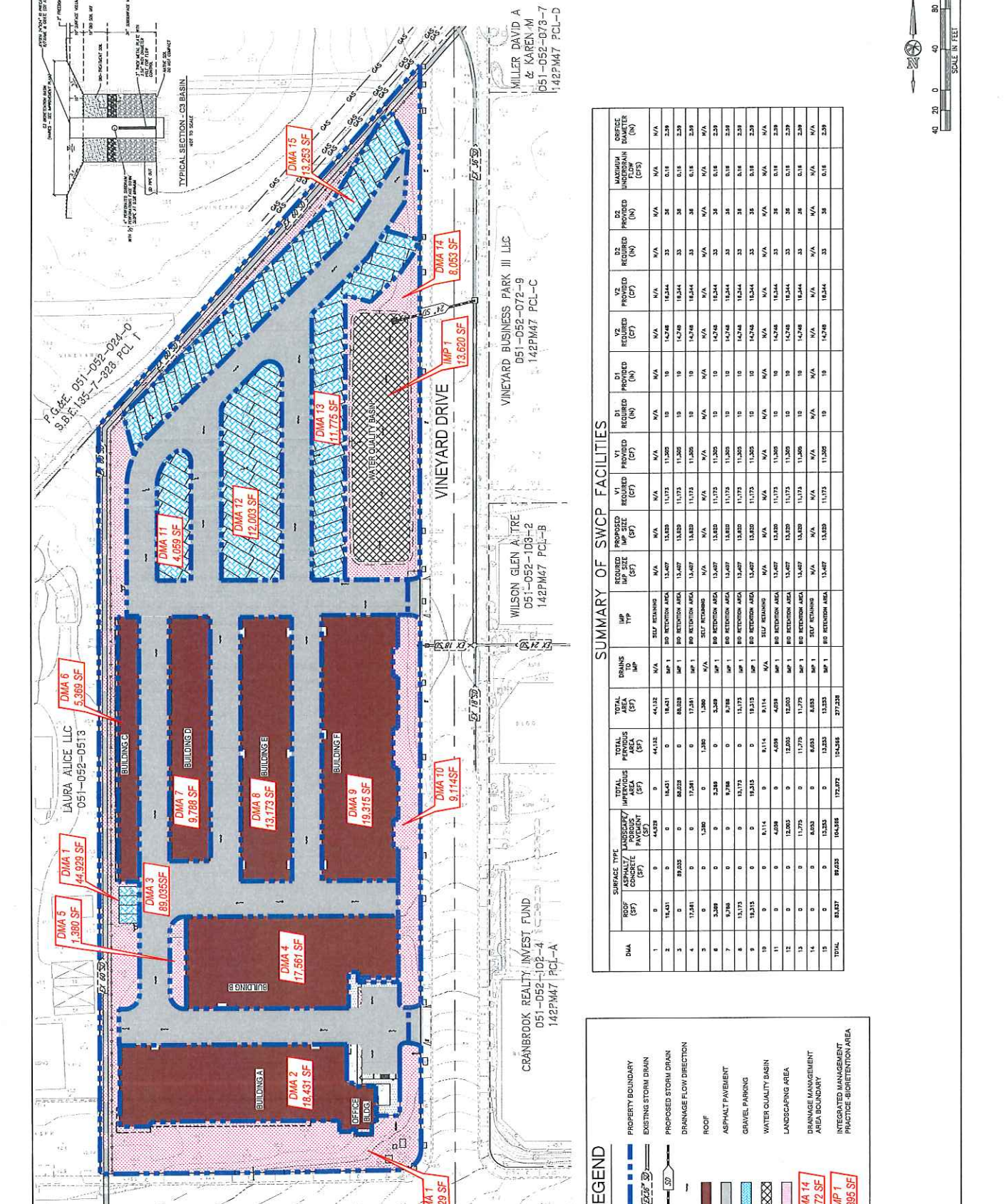


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REV	DATE	REVISIONS



66



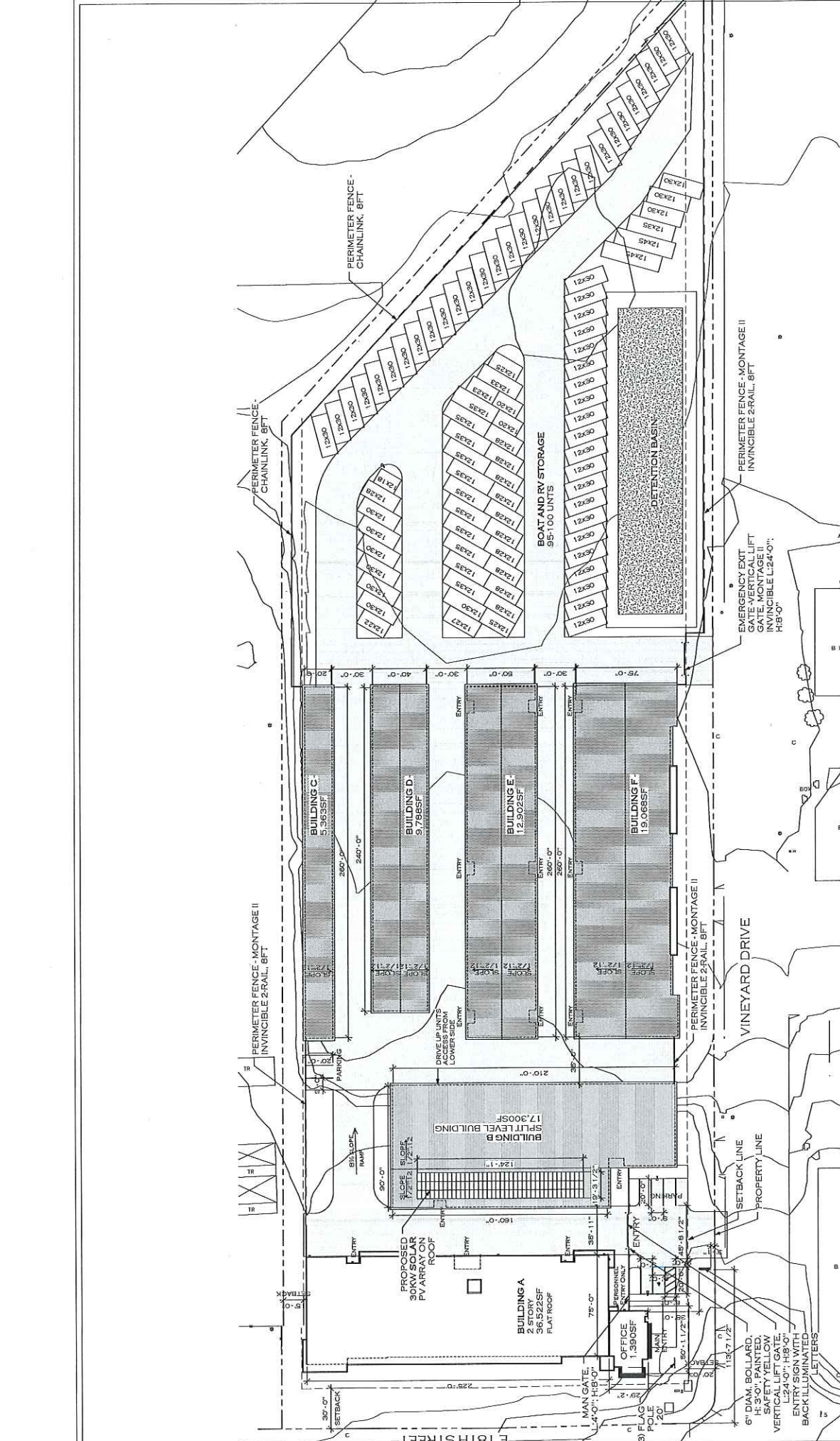
SUMMARY OF SWCP FACILITIES

DMA	ROOF (SF)	ASPHALT/CONCRETE (SF)	LANDSCAPY PAVEMENT (SF)	TOTAL IMPERVIOUS (SF)	TOTAL PERVIOUS (SF)	TOTAL AREA (SF)	DRAINS TO IMP	IMP TYPE	REQUIRED IMP SIZE (SF)	PROPOSED IMP SIZE (SF)	V1 REQUIRED (CF)	V1 PROVIDED (CF)	D1 REQUIRED (IN)	D1 PROVIDED (IN)	V2 REQUIRED (CF)	V2 PROVIDED (CF)	D2 REQUIRED (IN)	D2 PROVIDED (IN)	MAXIMUM INDETERMINATE (CF)	OFFICE DIAMETER (IN)
1	0	0	4,428	0	44,132	44,132	N/A	SELF RETAINING	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
2	18,431	0	0	18,431	0	18,431	IMP 1	80 RETENTION AREA	13,467	13,468	11,725	11,725	15	15	14,748	14,748	35	35	0.18	25.8
3	0	9,935	0	9,935	0	9,935	IMP 1	80 RETENTION AREA	13,467	13,468	11,725	11,725	15	15	14,748	14,748	35	35	0.18	25.8
4	17,281	0	0	17,281	0	17,281	IMP 1	80 RETENTION AREA	13,467	13,468	11,725	11,725	15	15	14,748	14,748	35	35	0.18	25.8
5	0	0	1,200	0	1,200	1,200	IMP 1	80 RETENTION AREA	13,467	13,468	11,725	11,725	15	15	14,748	14,748	35	35	0.18	25.8
6	3,289	0	0	3,289	0	3,289	IMP 1	80 RETENTION AREA	13,467	13,468	11,725	11,725	15	15	14,748	14,748	35	35	0.18	25.8
7	9,798	0	0	9,798	0	9,798	IMP 1	80 RETENTION AREA	13,467	13,468	11,725	11,725	15	15	14,748	14,748	35	35	0.18	25.8
8	13,173	0	0	13,173	0	13,173	IMP 1	80 RETENTION AREA	13,467	13,468	11,725	11,725	15	15	14,748	14,748	35	35	0.18	25.8
9	13,315	0	0	13,315	0	13,315	IMP 1	80 RETENTION AREA	13,467	13,468	11,725	11,725	15	15	14,748	14,748	35	35	0.18	25.8
10	0	0	9,114	0	9,114	9,114	N/A	SELF RETAINING	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
11	0	0	4,058	0	4,058	4,058	IMP 1	80 RETENTION AREA	13,467	13,468	11,725	11,725	15	15	14,748	14,748	35	35	0.18	25.8
12	0	0	12,205	0	12,205	12,205	IMP 1	80 RETENTION AREA	13,467	13,468	11,725	11,725	15	15	14,748	14,748	35	35	0.18	25.8
13	0	0	11,775	0	11,775	11,775	IMP 1	80 RETENTION AREA	13,467	13,468	11,725	11,725	15	15	14,748	14,748	35	35	0.18	25.8
14	0	0	8,653	0	8,653	8,653	IMP 1	80 RETENTION AREA	13,467	13,468	11,725	11,725	15	15	14,748	14,748	35	35	0.18	25.8
15	0	0	13,335	0	13,335	13,335	IMP 1	80 RETENTION AREA	13,467	13,468	11,725	11,725	15	15	14,748	14,748	35	35	0.18	25.8
TOTAL	38,837	9,935	104,438	173,272	104,438	277,710														

- LEGEND**
- PROPERTY BOUNDARY
 - EXISTING STORM DRAIN
 - PROPOSED STORM DRAIN
 - DRAINAGE FLOW DIRECTION
 - ROOF
 - ASPHALT PAVEMENT
 - GRAVEL PARKING
 - WATER QUALITY BASIN
 - LANDSCAPING AREA
 - DRAINAGE MANAGEMENT AREA BOUNDARY
 - INTEGRATED MANAGEMENT PRACTICE SUBRETENTION AREA



19

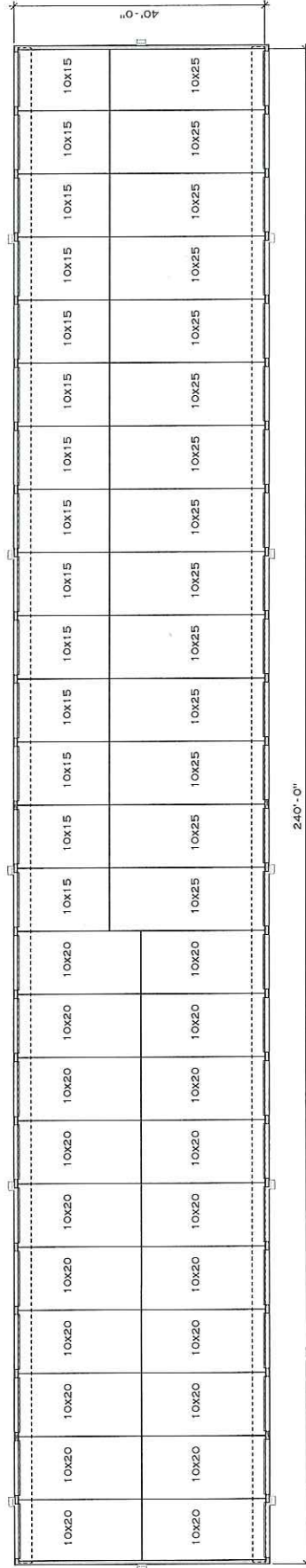
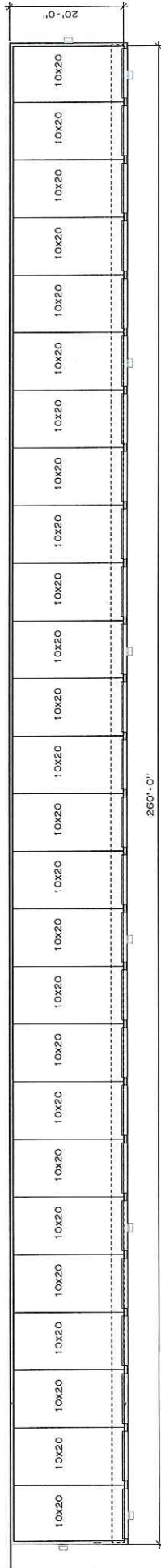


SITE PLAN/ ROOF PLAN
SCALE 1" = 30'-0"

ISSUED FOR:	DATE:	DESCRIPTION:	COMMUNITY DEVELOPMENT REVIEW	DRAWN BY: CRN	SCALE: 1" = 30'-0"	SHEET CONTENT: SITE PLAN/ ROOF PLAN	DWG #:
				DESIGNED BY: CRN		VINEYARD Self Storage	AR 0.3
				CHECKED BY:		E 18TH STREET & VINEYARD DRIVE	
				SUBMITTED BY: AR		ANTIOCH, CALIFORNIA 94509	
						CONTRA COSTA COUNTY	
						APN 051-052-074, 051-052-075, 051-052-076, 051-052-077	

AMERICAN RECESS
885 KEATSTONE AVENUE, SUITE E
ANTIOCH, CA 94509
TEL (775) 747-6000

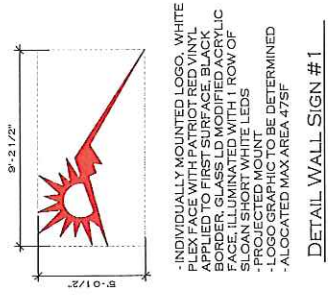
60



BUILDINGS C AND D - FLOOR PLANS
SCALE 1/8" = 1'-0"

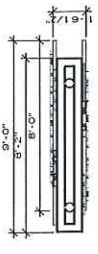
ISSUED FOR		COMMUNITY DEVELOPMENT REVIEW		DRAWN BY: CRN DESIGNED BY: CRN CHECKED BY: SUBMITTED BY: AR	SCALE: 1/8" = 1'-0"	VINEYARD Self Storage E 18TH STREET & VINEYARD DRIVE ANTIOCH, CALIFORNIA 94509 CONTRA COSTA COUNTY APN 051-052-074, 051-052-075, 051-052-076, 051-052-077	SHEET CONTENT BUILDING C AND D - FLOOR PLAN	DWG # AR 1.3
DATE	DESCRIPTION							

613



- INDIVIDUALLY MOUNTED LOGO, WHITE PLEX FACE WITH PATRIOT RED VINYL APPLIED TO FIRST SURFACE, BLACK BORDER, GLASS LD MODIFIED ACRYLIC FACED, SHOWN WITH 1 ROW OF SPACERS, SHOWN WITH 1 ROW OF SPACERS
- LOGO GRAPHIC TO BE DETERMINED
- ALLOCATED MAX AREA 475F

DETAIL WALL SIGN #1



FREE STANDING SIGN - FLOOR PLAN
SCALE 3/8" = 1'-0"



FREE STANDING SIGN - SIDE ELEVATION
SCALE 3/8" = 1'-0"

- PUSH THRU LETTERS, BACK ILLUMINATED - LED BEHIND THE LETTER, SUBSTRATE, CLEAR PLEX WITH WHITE VINYL APPLIED TO SURFACE
- SUBSTRATE 0.80 ROUTE OUT LETTERS AND GRAPHIC, CHARCOAL GREY, COLOR TO MATCH ELEVATION
- ALUMINUM WITH ROUTE OUT LETTERS, RED, COLOR TO MATCH ELEVATION
- POST



FREE STANDING SIGN - SOUTH ELEVATION
SCALE 3/8" = 1'-0"

- 8" LETTERS LOWER AND 9" LETTERS UPPER CASE, BASED ON COPPERPLATE GOTHIC LIGHT
- 8" LETTERS LOWER AND 9" LETTERS UPPER CASE, BASED ON ARIAL

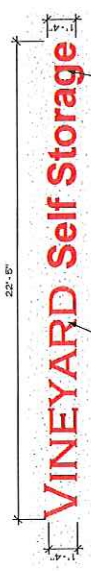


FREE STANDING SIGN - NORTH ELEVATION
SCALE 3/8" = 1'-0"

- PUSH THRU LOGO, BACK ILLUMINATED - LED BEHIND THE LOGO, SUBSTRATE - CLEAR PLEX WITH RED VINYL APPLIED TO SURFACE
- PUSH THRU LETTERS, BACK ILLUMINATED - LED BEHIND THE LETTER, SUBSTRATE, CLEAR PLEX WITH WHITE VINYL APPLIED TO SURFACE
- SUBSTRATE 0.80 ALUMINUM WITH ROUTE OUT LETTERS AND GRAPHIC, CHARCOAL GREY, COLOR TO MATCH ELEVATION
- ALUMINUM WITH ROUTE OUT LETTERS, RED, COLOR TO MATCH ELEVATION
- POST

SIGNS TABLE

475F	WALL MOUNTED GRAPHIC LOGO
485F	WALL MOUNTED LETTERS
495F	WALL MOUNTED LETTERS AND GRAPHIC LOGO
1105F	WALL MOUNTED LETTERS AND GRAPHIC LOGO
2765F	TOTAL WALL MOUNTED SIGN
765F	FREE STANDING SIGN WITH SIGNAGE BOTH SIDES



DETAIL WALL SIGN #2
1'-6 1/2" UPPER CASE AND 1'-0" LOWER CASE BASED ON ARIAL

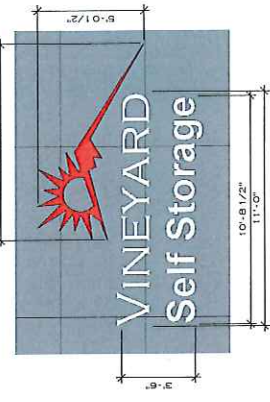


DETAIL WALL SIGN #4
SCALE 3/8" = 1'-0"

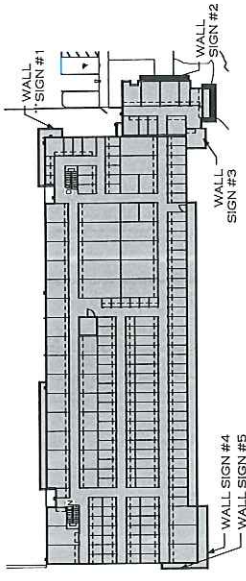


DETAIL WALL SIGN #3
SCALE 3/8" = 1'-0"

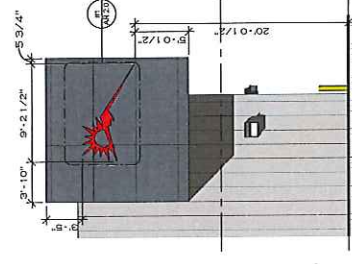
- INDIVIDUALLY MOUNTED, WHITE OR ILLUMINATED, WHITE ACRYLIC FACE WITH VINYL OVERLAY
- PROJECTED MOUNT
- TEXT TO BE DETERMINED



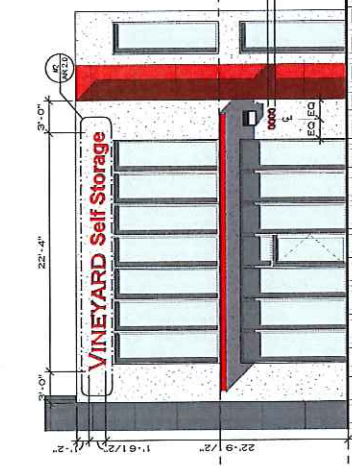
DETAIL WALL SIGN #5
SCALE 3/8" = 1'-0"



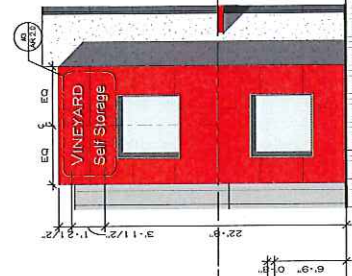
WALL SIGNS LOCATION



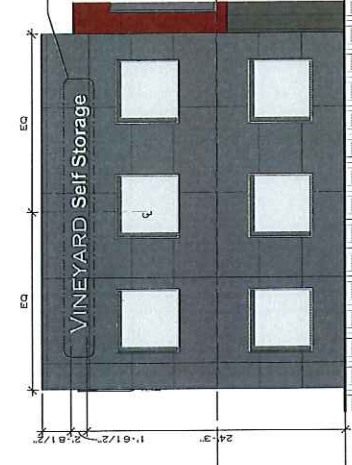
WALL SIGN #1
SCALE 3/16" = 1'-0"



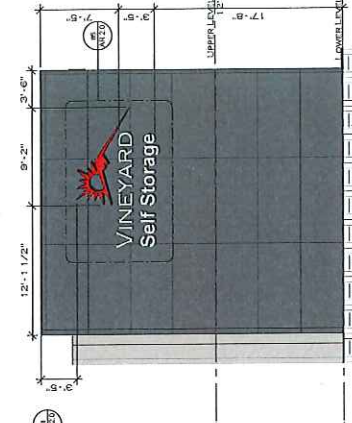
WALL SIGN #2
SCALE 3/16" = 1'-0"



WALL SIGN #3
SCALE 3/16" = 1'-0"

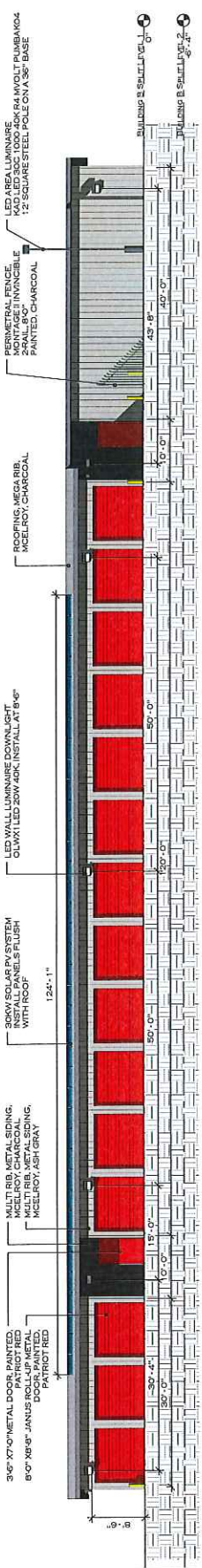


WALL SIGN #4
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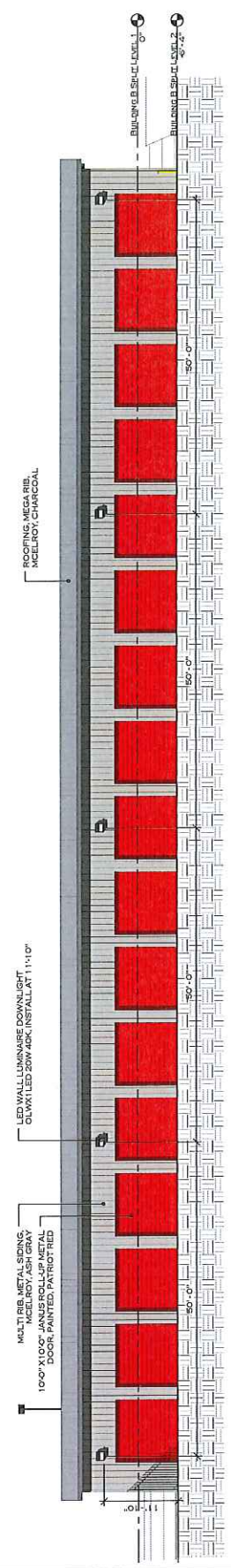


WALL SIGN #5
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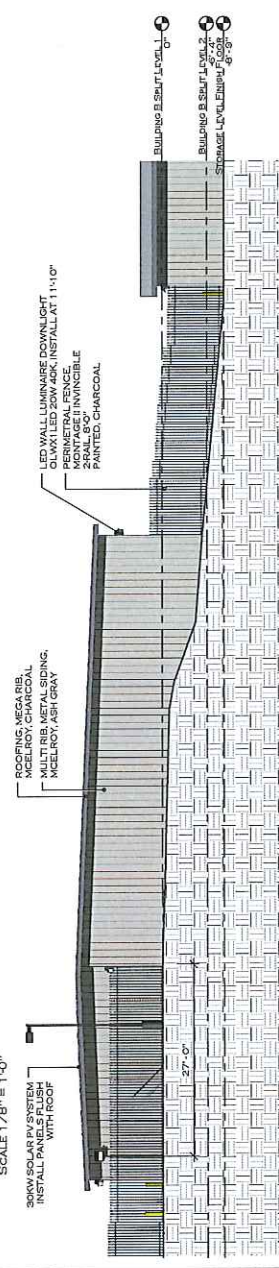
ISSUED FOR	DATE	DESCRIPTION	COMMUNITY DEVELOPMENT REVIEW	SCALE 3/16" = 1'-0"	WALL SIGN #1
AMERICAN RECES	88 KEWSTONE AVENUE, SUITE E ANTIOCH, CALIFORNIA 94509 TEL (773) 747-6000	VINEYARD Self Storage	E 18TH STREET & VINEYARD DRIVE ANTIOCH, CALIFORNIA 94509 CONTRA COSTA COUNTY	APN 051-052-074, 051-052-075, 051-052-076, 051-052-077	SIGNS DESIGNS AND DETAILS
20 APR '16					WALL SIGN #5
					WALL SIGN #4
					WALL SIGN #3
					WALL SIGN #2
					WALL SIGN #1
					WALL SIGN #5
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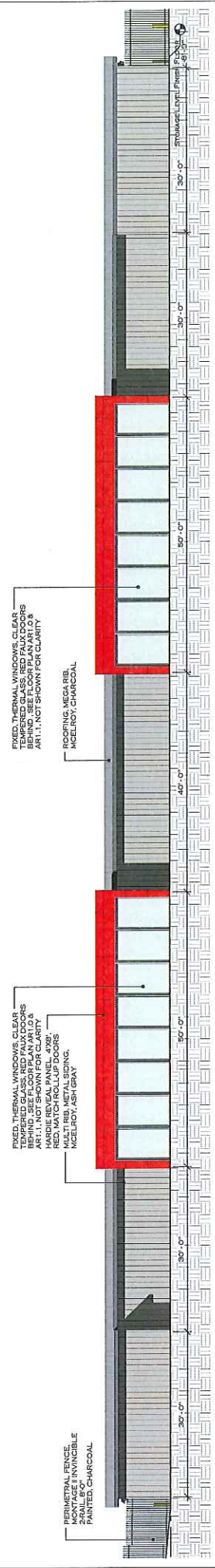
BUILDING B SOUTH ELEVATION
SCALE 1/8" = 1'-0"



BUILDING B NORTH ELEVATION
SCALE 1/8" = 1'-0"



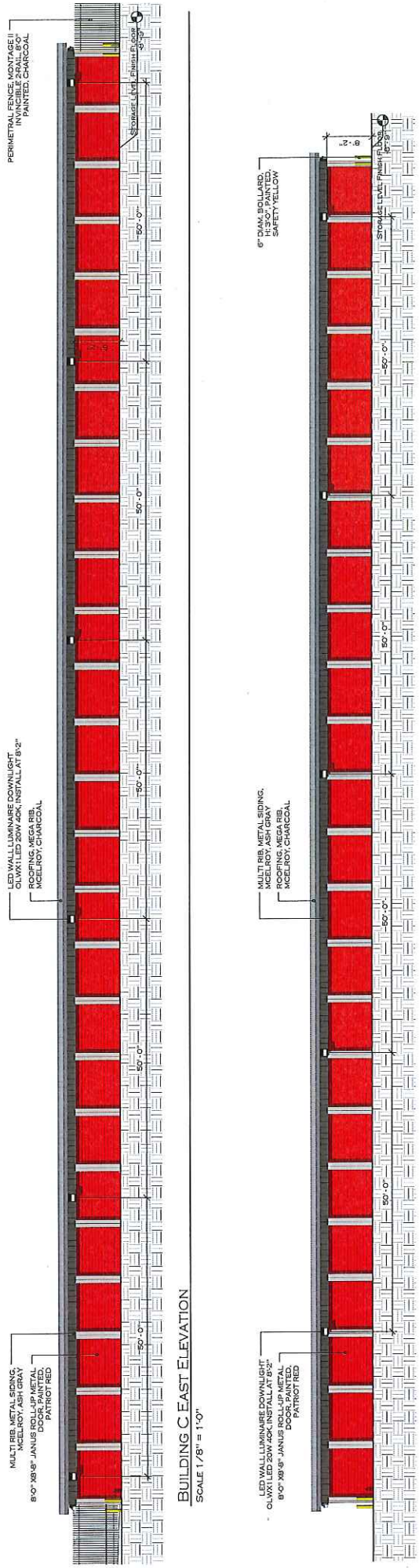
BUILDING B EAST ELEVATION
SCALE 1/8" = 1'-0"



BUILDING F EAST ELEVATION
SCALE 1/8" = 1'-0"

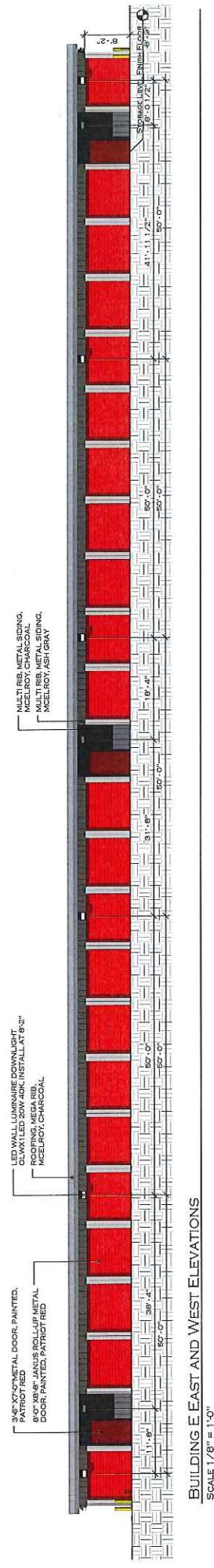
ISSUED FOR	29 Apr. 16	COMMUNITY DEVELOPMENT REVIEW	DRAWN BY: CRN DESIGNED BY: CRN CHECKED BY: SUBMITTED BY: AR	SCALE: 1/8" = 1'-0"	VINEYARD Self Storage E 18TH STREET & VINEYARD DRIVE ANTIOCH, CALIFORNIA 94509 CONTRA COSTA COUNTY APN 051-052-074, 051-052-075, 051-052-076, 051-052-077	SHEET CONTENT BUILDING ELEVATION	DWS # AR 3.1
	DATE	DESCRIPTION					

617

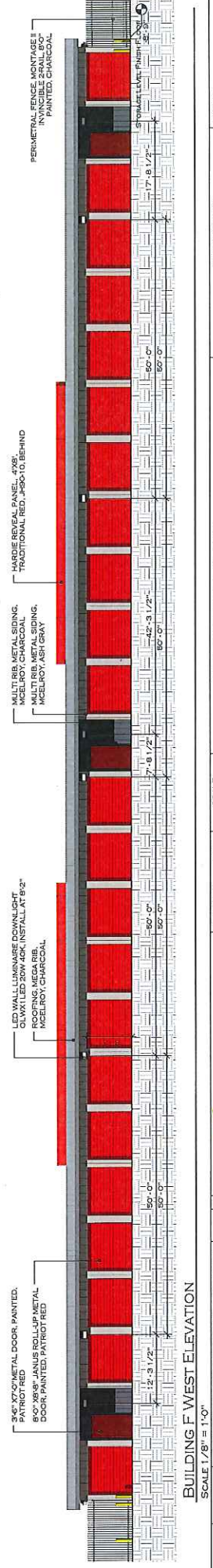


BUILDING C EAST ELEVATION
SCALE 1/8" = 1'-0"

BUILDING D EAST AND WEST ELEVATIONS
SCALE 1/8" = 1'-0"



BUILDING E EAST AND WEST ELEVATIONS
SCALE 1/8" = 1'-0"

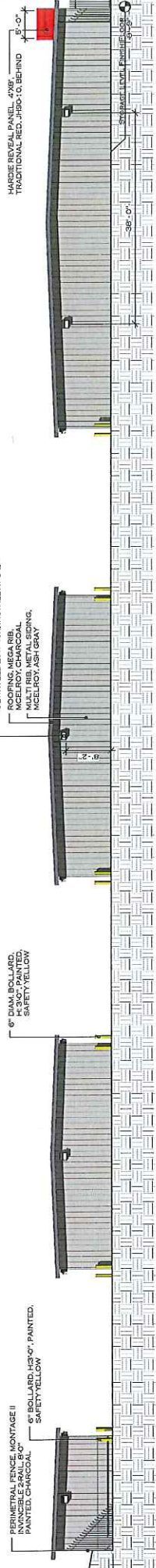


BUILDING F WEST ELEVATION
SCALE 1/8" = 1'-0"

ISSUED FOR	20 SEP 18	COMMUNITY DEVELOPMENT REVIEW	DRAWN BY: CRN DESIGNED BY: CRN CHECKED BY: SUBMITTED BY: AR	SCALE: 1/8" = 1'-0"	VINEYARD Self Storage E 18TH STREET & VINEYARD DRIVE ANTIOCH, CALIFORNIA 94509 CONTRA COSTA COUNTY APN 051-052-074, 051-052-075, 051-052-076, 051-052-077	SHEET CONTENT BUILDING ELEVATION	DWG # AR 3.2
	DATE	DESCRIPTION					

AMERICAN RECESS
885 KENTON AVENUE, SUITE E
ANTIOCH, CA 94509
TEL (775) 747-6000

618



BUILDINGS C, D, E AND F SOUTH ELEVATION (NORTH ELEV. SIM.)

SCALE 1/8" = 1'-0"



CORNER E 18TH ST AND VINEYARD DR. PROPOSED LOT



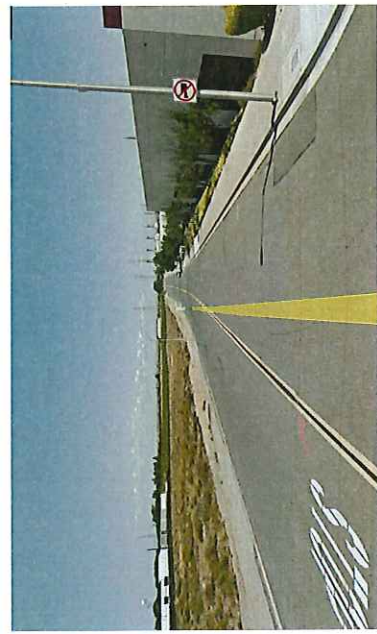
CORNER E 18TH ST AND VINEYARD DR. EAST SIDE OF VINEYARD



SOUTH WEST CORNER E 18TH ST



VIEW FROM VINEYARD DR. TOWARD E 18TH ST.



VIEW FROM E 18TH ST TOWARD VINEYARD DR.



VIEW FROM WEST ALONG E 18TH ST

ISSUED FOR:	20 PRJ-16	COMMUNITY DEVELOPMENT REVIEW
DATE:		
DESCRIPTION:		

AMERICAN RECESS
885 KENTWOOD AVENUE, SUITE E
ANTIOCH, CA 94509
TEL (775) 747-6000

DRAWN BY: CRN
DESIGNED BY: CRN
CHECKED BY:
SUBMITTED BY: AR

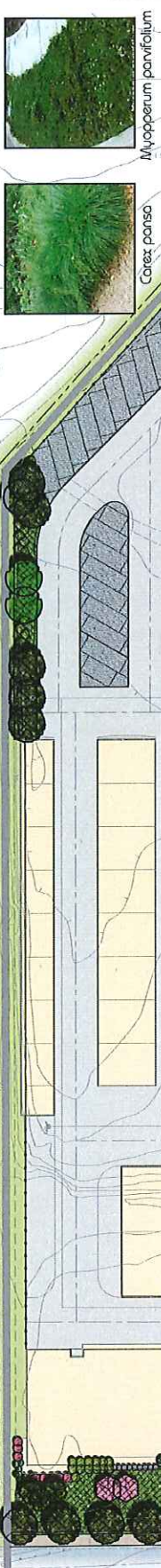
SCALE:
1/8" = 1'-0"

VINEYARD Self Storage
E 18TH STREET & VINEYARD DRIVE
ANTIOCH, CALIFORNIA 94509
CONTRA COSTA COUNTY
APN 051-052-074, 051-052-075, 051-052-076, 051-052-077

SHEET CONTENT
BUILDING ELEVATION
EXISTING SITE PHOTOS

DWG #
AR 3.3

619



Notes

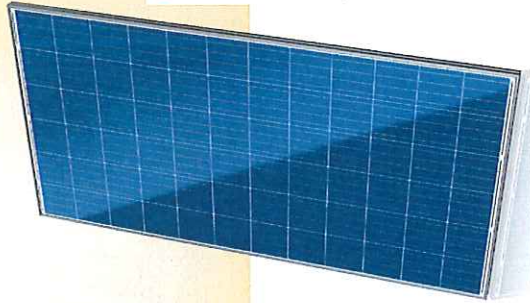
- All landscape and irrigation shall conform to the standards of the City and State-wide landscape regulations and guidelines and all other Landscape related City and Regional standards.
- All plant materials have been selected in accordance with:
 - WULCOS Project Water-Use Classification of Landscape Species* - California Department of Water Resources

Planting Legend

Symbol	Plant Name	Water Use
	CAUSYR TREE, Isolation, Optional: <i>Quercus ilex</i>	Low
	SMALL ACCENT TREE, Optional: <i>Arbutus Menziesii</i> , <i>Loganberry X1</i>	Low
	SHRUB, Isolation, Optional: <i>Arbutus Menziesii</i> , <i>Loganberry X1</i>	Low
	GROUND COVER, Isolation, Optional: <i>Myoporum parvifolium</i>	Low
	SMALL TREE, Isolation, Optional: <i>Arbutus Menziesii</i> , <i>Loganberry X1</i>	Low
	SHRUB, Isolation, Optional: <i>Arbutus Menziesii</i> , <i>Loganberry X1</i>	Low
	GROUND COVER, Isolation, Optional: <i>Myoporum parvifolium</i>	Low
	SMALL TREE, Isolation, Optional: <i>Arbutus Menziesii</i> , <i>Loganberry X1</i>	Low
	SHRUB, Isolation, Optional: <i>Arbutus Menziesii</i> , <i>Loganberry X1</i>	Low
	GROUND COVER, Isolation, Optional: <i>Myoporum parvifolium</i>	Low
	SMALL TREE, Isolation, Optional: <i>Arbutus Menziesii</i> , <i>Loganberry X1</i>	Low
	SHRUB, Isolation, Optional: <i>Arbutus Menziesii</i> , <i>Loganberry X1</i>	Low
	GROUND COVER, Isolation, Optional: <i>Myoporum parvifolium</i>	Low

Symbol	Plant Name	Water Use
	SHRUB, Isolation, Optional: <i>Arbutus Menziesii</i> , <i>Loganberry X1</i>	Moderate
	SHRUB, Isolation, Optional: <i>Arbutus Menziesii</i> , <i>Loganberry X1</i>	Low
	SHRUB, Isolation, Optional: <i>Arbutus Menziesii</i> , <i>Loganberry X1</i>	Low
	GROUND COVER, Isolation, Optional: <i>Myoporum parvifolium</i>	Low
	SMALL TREE, Isolation, Optional: <i>Arbutus Menziesii</i> , <i>Loganberry X1</i>	Low
	SHRUB, Isolation, Optional: <i>Arbutus Menziesii</i> , <i>Loganberry X1</i>	Low
	GROUND COVER, Isolation, Optional: <i>Myoporum parvifolium</i>	Low
	SMALL TREE, Isolation, Optional: <i>Arbutus Menziesii</i> , <i>Loganberry X1</i>	Low
	SHRUB, Isolation, Optional: <i>Arbutus Menziesii</i> , <i>Loganberry X1</i>	Low
	GROUND COVER, Isolation, Optional: <i>Myoporum parvifolium</i>	Low

1



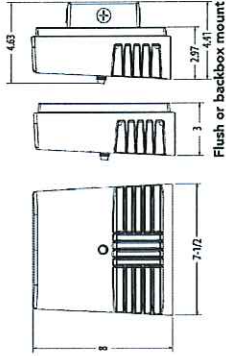
MODULE / MECHANICAL DATA

Specification	Data
Cell Type	Poly-crystalline, 6 inch
Cell Arrangement	72 (6x12)
Dimensions	1954x982x40 mm (76.9x38.7x1.57 in)
Weight	22 kg (48.5 lbs)
Front Cover	3.2 mm tempered glass
Frame Material	Anodized aluminium alloy
J-Box	IP67, 3 diodes
Cable	4 mm ² (IEC) or 4 mm ² & 12 AWG 1000V (UL), 1150 mm (45.3 in)
Connectors	Friends PV2a (IEC), Friends PV2b (IEC / UL)
Standard	26 pieces, 620 kg (1366.9 lbs)
Packaging	(quantity & weight per pallet)
Module Pieces per Container	624 pieces (40' HQ)

2



OLWX1 LED LED Wall Luminaire



Specifications
 Width: 7-1/2" (19.05 cm)
 Height: 8" (20.32 cm)
 Depth: 3" (7.62 cm)
 Weight: 5 lbs (2.27 kg)

Flush or backbox mount

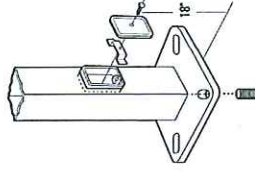
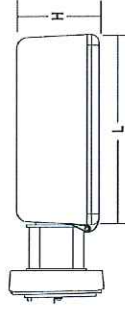
3



KAD LED LED Area Luminaire

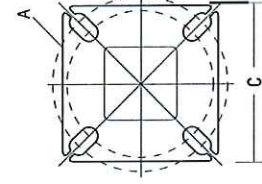
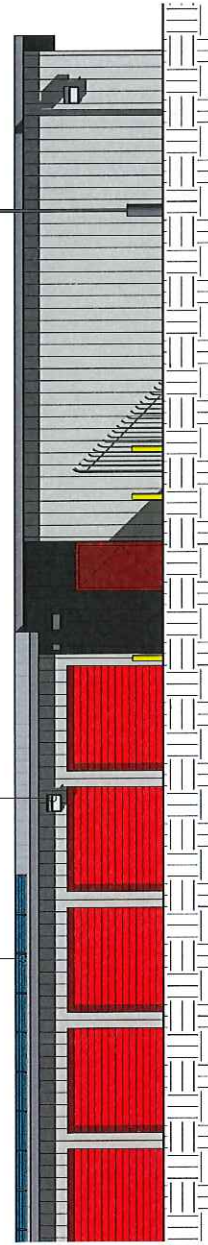


Specifications
 EPA: 1.2 ft² (0.11 m²)
 Length: 17-1/2" (44.5 cm)
 Width: 17-1/2" (44.5 cm)
 Height: 7-1/8" (18.1 cm)
 Weight (max): 36 lbs. (16.4 kg)



1. SOLAR PV MODULES
 CANADIAN SOLAR, CS6X-315P, OR EQUAL

3. LED AREA LUMINAIRE
 KAD LED 30C 1000 40K R4 MVOLT
 PUMBAK04.12' SQUARE STEEL
 POLE ON A 36" BASE
 2. LED WALL LUMINAIRE DOWNLIGHT
 OLWX1 LED 20W 40K, INSTALL AT 8'-6"



ISSUED FOR:

20 APR. 16 COMM. DEV. REVIEW

DATE DESCRIPTION



8995 TERABYTE DRIVE SUITE A
 RENO, NEVADA 89521
 TEL (775) 747-6000

VINEYARD Self Storage
 E 18TH STREET & VINEYARD DRIVE
 ANTIOCH, CALIFORNIA 94509

DWG #

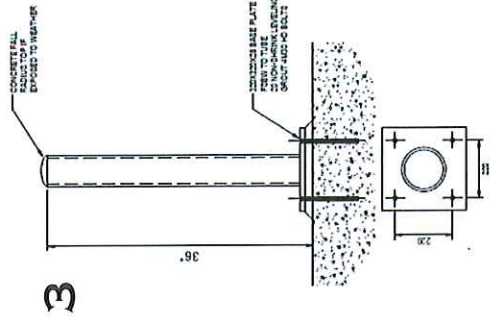
AR 5.1

727

1



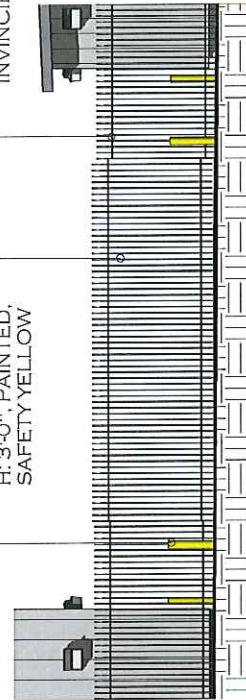
2



2. VERTICAL LIFT GATE.
L: 24'-0"; H: 8'-0"

1. PERIMETRAL FENCE - MONTAGE II
INVINCIBLE 2-RAIL, 8FT

3. 6" DIAM. BOLLARD,
H: 3'-0", PAINTED,
SAFETY YELLOW



ISSUED FOR:

20 APR. 16 COMM. DEV. REVIEW

DATE DESCRIPTION



8995 TERABYTE DRIVE SUITE A
RENO, NEVADA 89521

TEL (775) 747-6000

VINEYARD Self Storage

E 18TH STREET & VINEYARD DRIVE
ANTIOCH, CALIFORNIA 94509

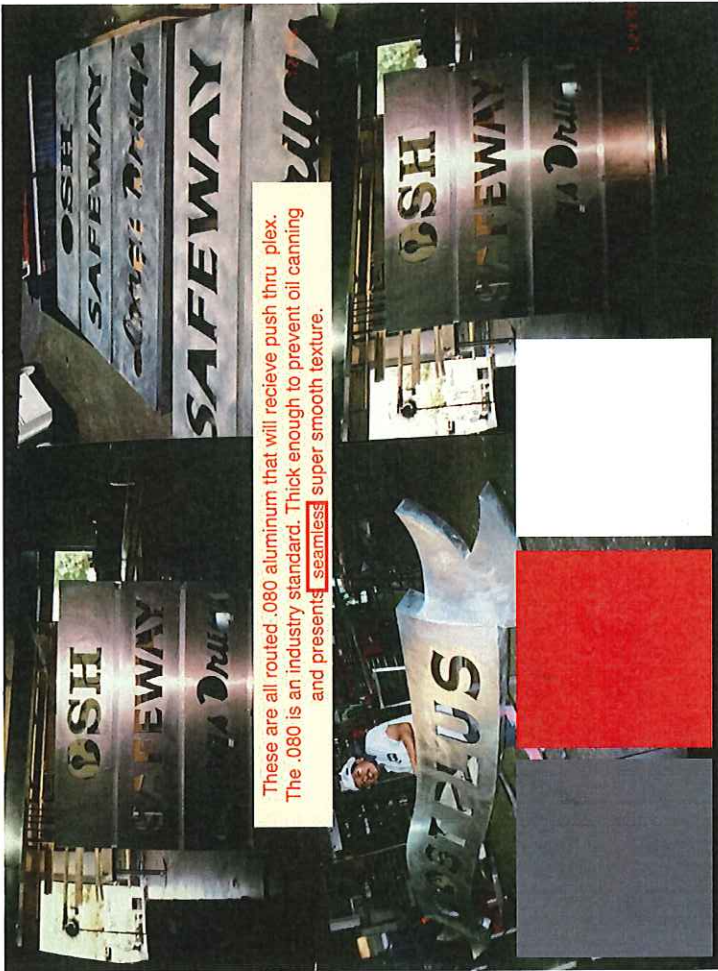
DWG #

AR 5.2

673

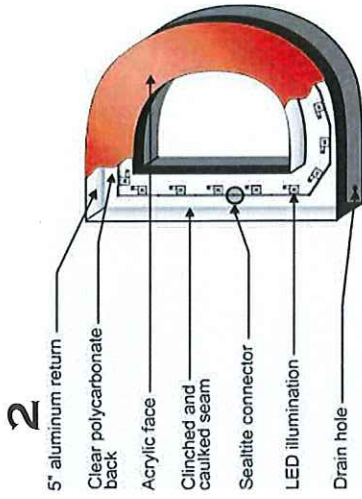
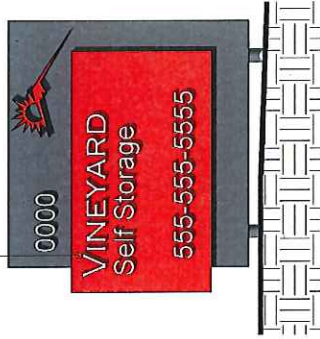
VINEYARD Self Storage

1

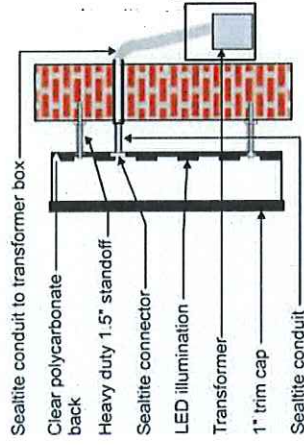


These are all routed .080 aluminum that will receive push thru plex. The .080 is an industry standard. Thick enough to prevent oil canning and presents **seamless** super smooth texture.

- INDIVIDUALLY MOUNTED WHITE OR PATRIOT RED CHANNEL LETTER SET
- ROUTED ALUMINUM SIGN "PUSH THRU" SIGN FACES



FRONT VIEW



SIDE VIEW



ISSUED FOR:

20 APR. 16 COMM. DEV. REVIEW

DATE DESCRIPTION



8995 TERABYTE DRIVE SUITE A
RENO, NEVADA 89521

TEL (775) 747-6000

VINEYARD Self Storage

E 18TH STREET & VINEYARD DRIVE
ANTIOCH, CALIFORNIA 94509

DWG #

AR 5.3

629

ATTACHMENT "H"

SANITARY SEWER INSTALLATION WITHIN FUTURE SAKURAI STREET VINEYARD DRIVE PLAN AND PROFILE

2337 H MAIN STREET, STE 200
FAC (925) 940-2200
FAX (925) 940-2299



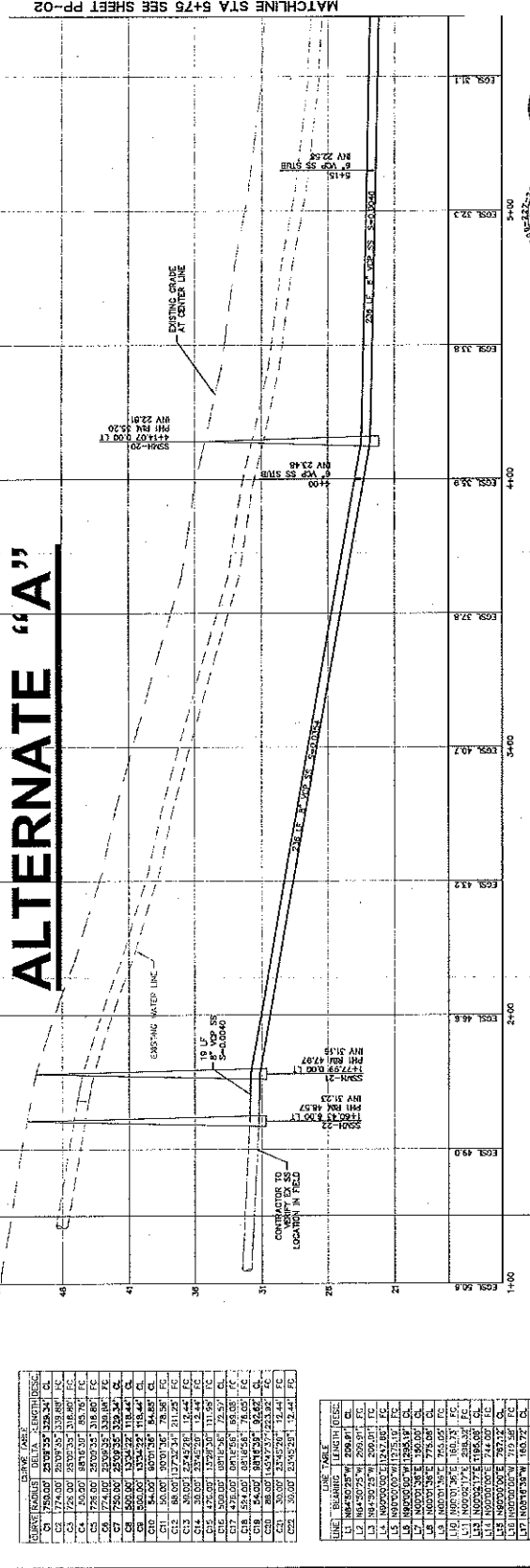
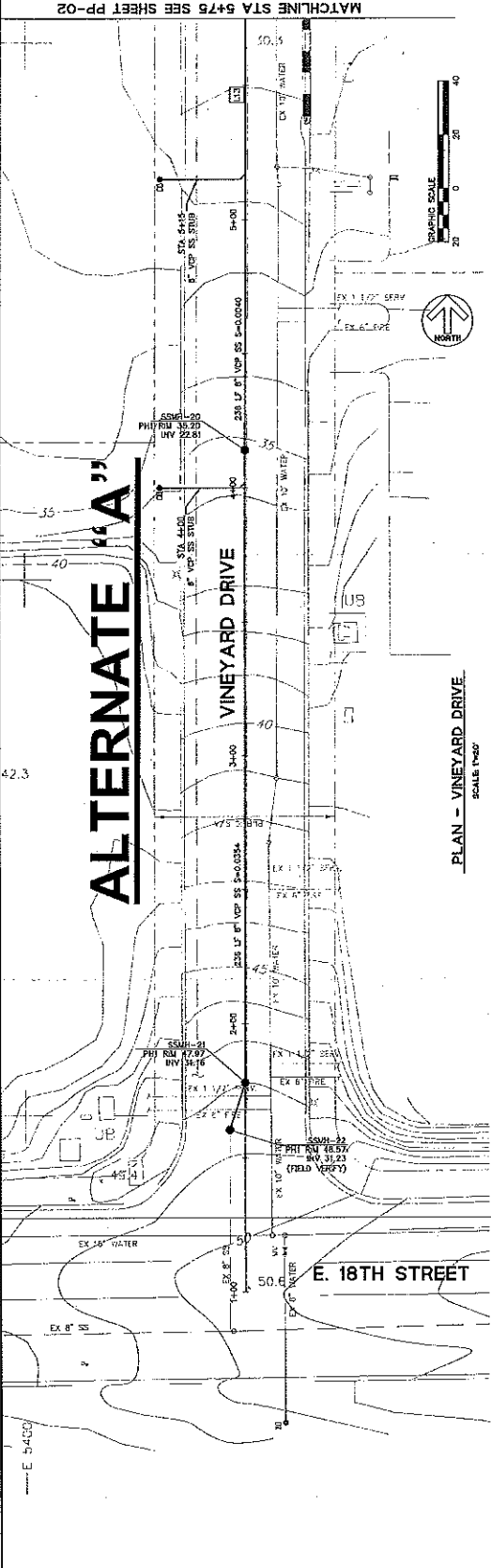
BKF ENGINEERS

DATE: 02/19/2007	NO.	REVISED
BY: J. SMITH	DATE:	BY:
CHECKED: J. SMITH	DATE:	CHECKED:
APPROVED: J. SMITH	DATE:	APPROVED:
PROJECT: 0200115	NO.	REVISED

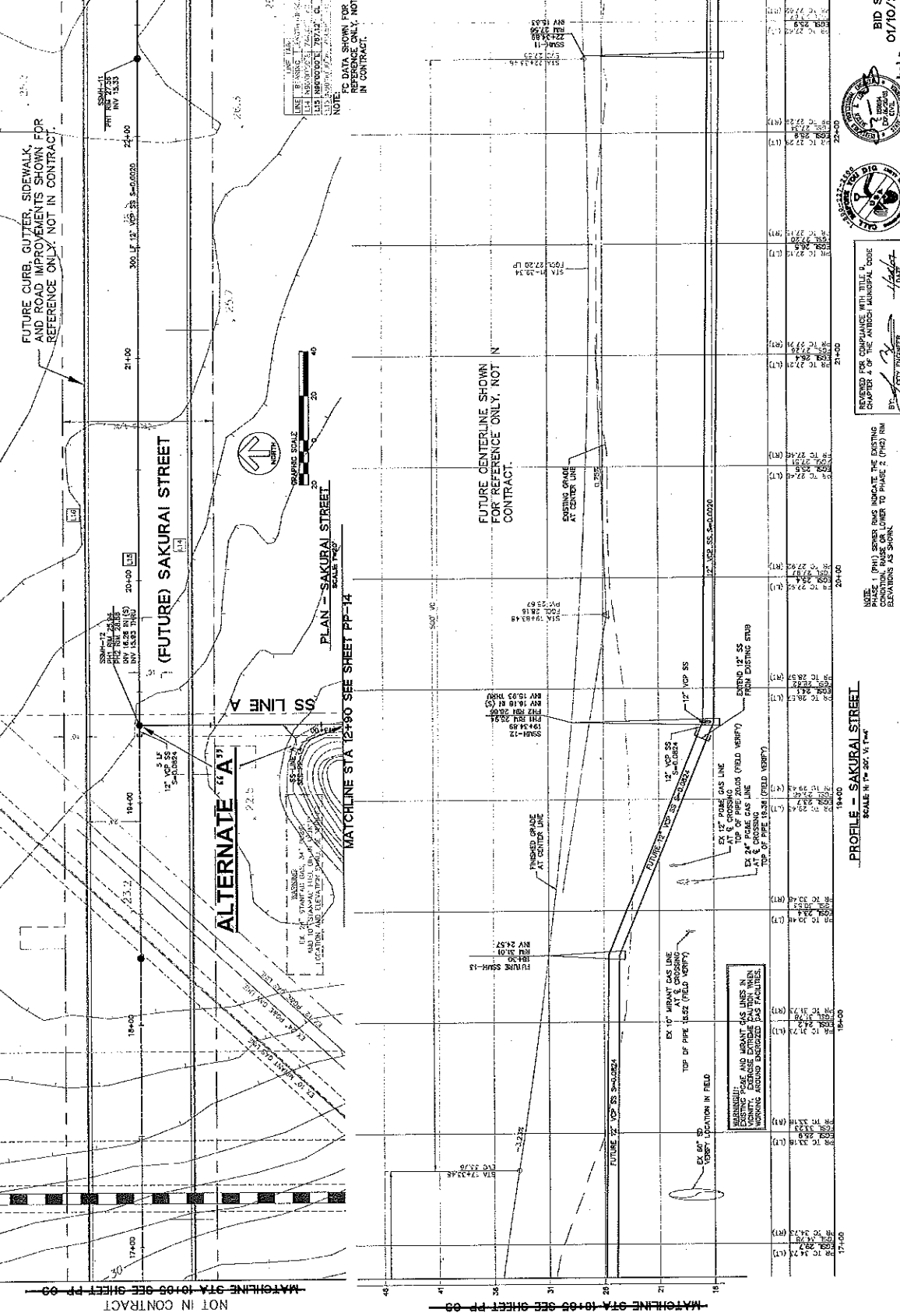
RID SET
01/10/2007



REVIEWED FOR COMPLIANCE WITH TITLE 8
CHAPTER 4 OF THE ANTIHUN MUNICIPAL CODE
DATE: 02/19/2007
BY: CITY ENGINEER



MATCHLINE STA 22+65 SEE SHEET PP-05
MATCHLINE STA 10+05 SEE SHEET PP-03



NOT IN CONTRACT
MATCHLINE STA 10+05 SEE SHEET PP-03



REVIEWED FOR COMPLIANCE WITH TITLE 9, CHAPTER 2 OF THE ANTIOCH MUNICIPAL CODE
DATE: 01/10/2007
BY: [Signature] CITY ENGINEER

NOTE: PHASE 1 (PH) SEWER RIMS INDICATE THE EXISTING CONDITION BASED ON LOWER TO PHASE 2 (PH2) RIM ELEVATIONS AS SHOWN.

SCALE: 1" = 20' (H) 1" = 4' (V)

WARNING: THE SHOWN ALTERNATE GAS LINES IN VICINITY, EXERCISE EXTREME CAUTION WHEN WORKING AROUND DESIGNATED WORKING AREAS.

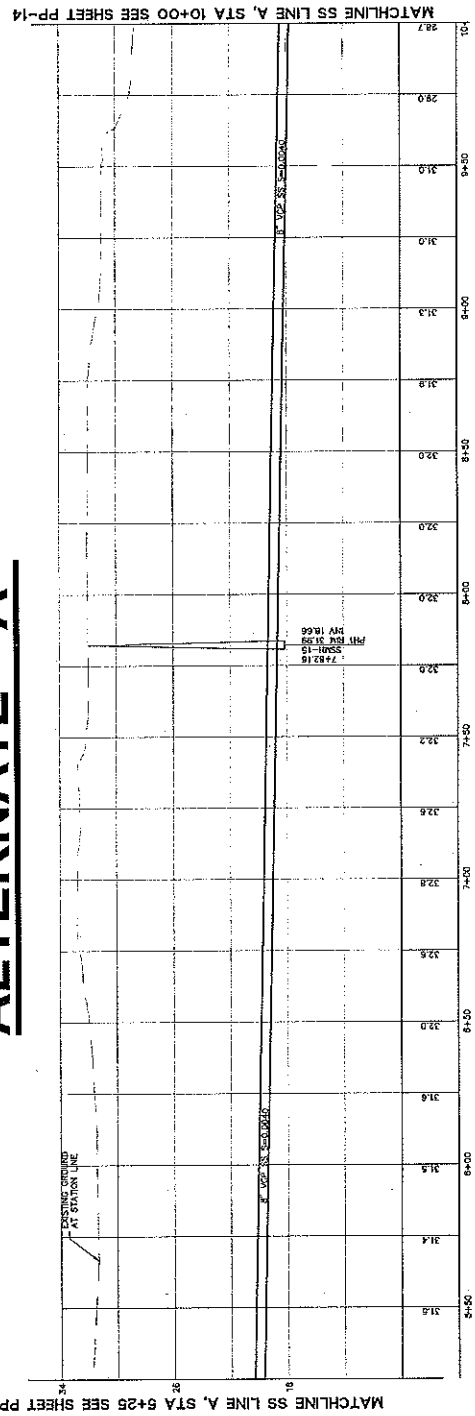
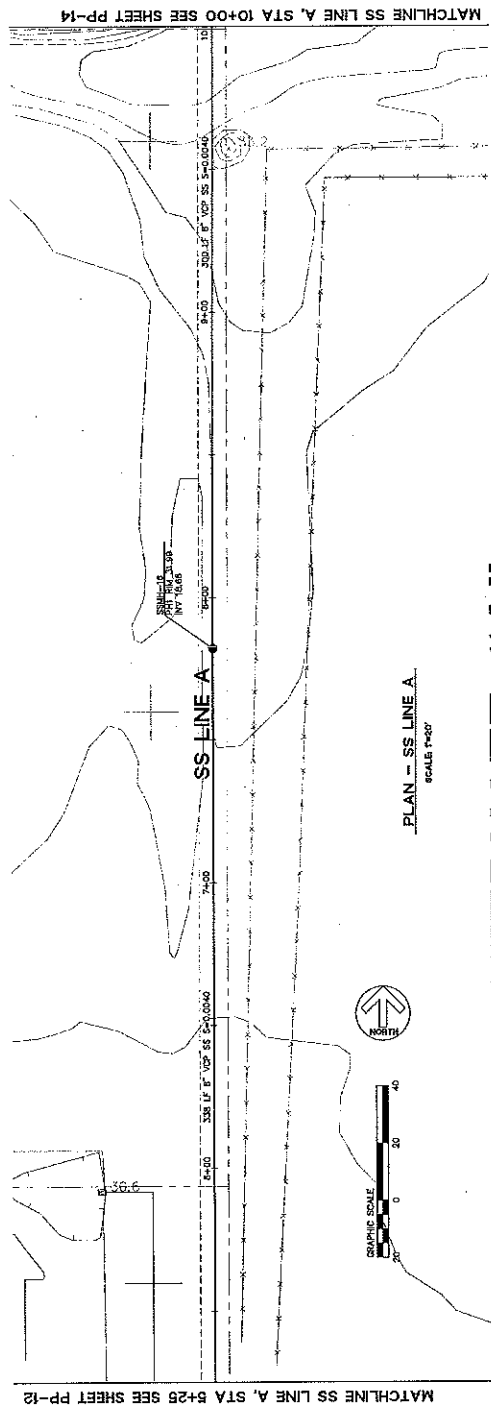
MATCHLINE STA 22+65 SEE SHEET PP-05

BKF
 ENGINEERS / SURVEYORS / PLANNERS
 2327 N. MAIN STREET, STE 200
 WALNUT CREEK, CA 94597
 PH: (925) 940-2800
 FAX: (925) 940-2389

CITY OF ANTOCH
 CONTRA COSTA COUNTY
 CALIFORNIA
**SANITARY SEWER INSTALLATION
 WITHIN FUTURE SAKURAI STREET
 SS LINE A PLAN AND PROFILE**

DATE: 01/10/2007	BY: P. ADAMS
DATE: 03/09/06	BY: J. J. JONES
DATE: 07/20/05	BY: J. J. JONES
DATE: 07/20/05	BY: J. J. JONES
DATE: 07/20/05	BY: J. J. JONES
DATE: 07/20/05	BY: J. J. JONES
DATE: 07/20/05	BY: J. J. JONES
DATE: 07/20/05	BY: J. J. JONES
DATE: 07/20/05	BY: J. J. JONES
DATE: 07/20/05	BY: J. J. JONES

BID SET
 01/10/2007
 PP-13



ALTERNATE "A"



REVIEWED FOR COMPLIANCE WITH TITLE 6,
 CHAPTER 4 OF THE ANTOCH MUNICIPAL CODE
 DATE: 1/10/07
 BY: J. J. JONES
 CITY ENGINEER

NOTE: (PH) SEWER RIMS INDICATE THE EXISTING
 CONDITION, RAISE OR LOWER TO PHASE 2 (PH2) RIM
 ELEVATIONS AS SHOWN.
 SCALE: H. 1"=20', V. 1"=4'

ATTACHMENT "I"

Design Review – Peer Review Summary

Project: Vineyard Self Storage
E 18th Street & Vineyard Drive
Antioch, CA 94509

Project Description: Proposed Self Storage facility

Reviewed By: Lance Crannell AIA LEED AP
Principal, SDG Architects, Inc.

Date: Aug. 4, 2016

Materials:

We have reviewed the proposed materials and have found that they generally are appropriate for the proposed Self Storage Facility and generally conform to the City of Antioch Commercial Design Guidelines. Those materials include Metal Siding, Hardie Reveal Panel, Glazing, and Plaster.

Metal Siding:

We believe generally that the proposed Metal Siding is an appropriate product for the proposed design. The Metal siding fits well within the context of the neighboring industrial buildings.

Hardie Reveal Panels:

The applicant has proposed to include the Hardie panel reveal product on areas of the building. This material fits well within the overall vocabulary of the building elevation and provided a nice contrast with the metal siding and plaster finishes.

Stucco Material:

The applicant's use of stucco on the elevations is minimal. And as such, provides a subtle sense of articulation and variety within the overall elevation style. This understated use of stucco serves to compliment the building and provide another level of interest.

Elevation Comments

Overall the elevation style and level of articulation are compatible with the Commercial Design Guidelines and will serve to enhance that area of the City.

Building A – South Elevation

I recommend breaking up the long red horizontal element on the second floor to provide a sense of visual interest and reduce the long horizontality of that portion of the elevation. See Fig. 1-1

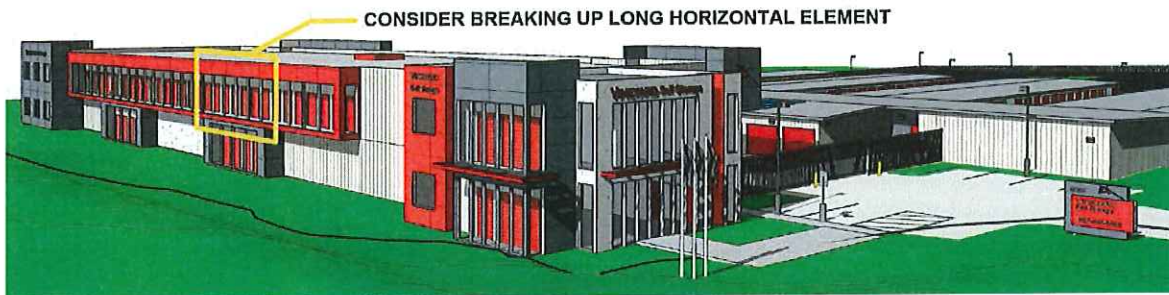


Fig. 1-1

Colors:

We have reviewed the proposed colors and have found that they are generally appropriate for the proposed project and generally conform to the City of Antioch Design Guidelines Section 3.2.13. Those colors (and associated material) include:

Ash Gray – Metal Siding

Iron Gray – Hardie Reveal Panels

Traditional Red – Hardie Panel Reveal Accent

Iceberg 9205 – Stucco

Patriot Red – Roll up Doors

I feel that the palette the applicant has selected works well to provide a muted composition while providing a strong accent in key locations. The articulation and massing of the building provide shadows and break lines the further enhance the building.

Site Layout:

The siting of the main and secondary buildings generally conform to section 3-2.13 of the Commercial Design Guidelines. The elevation along East 18th streets provides visual interest and uses articulation to break down the massing of an otherwise large building. I generally feel that the proposed locations of the buildings work well with the overall design.

ATTACHMENT "J"

VINEYARD BUSINESS CENTER

RECEIVED

SEP 08 2016

CITY OF ANTIOCH
COMMUNITY DEVELOPMENT

September 7, 2016

City of Antioch
Alexis Morris
P.O. Box 5007
Antioch, CA 94509

Dear Alexis,

We have reviewed the Vineyard Self Storage Mitigated Negative Declaration. We have some concerns that are not addressed in the report. Sam Reiter and I are owners of a property at 1771 Vineyard Drive which is directly across the street from the proposed development. We feel that more information is needed before the City should allow a development of a self-storage and outside vehicle storage lot at the Vineyard Drive and 18th Street location.

The report is sectioned in categories. The following notes for various sections contain our questions and concerns.

UTILITIES AND SERVICE SYSTEMS:

There is notation of an offsite sewer improvement. There are two concepts that the City has considered. The Specific Plan Sewer Alignment which runs north for the length of Vineyard Drive and The Alternative A which would cross over property to the East and then travel to the North to make its connection.

1. There needs to be clarification of the Alternative A route. It is shown on page 4 to run to the North of 1771 Vineyard Drive. The other drawn plan appears to show it to the South of 1771 Vineyard Drive. Which is correct?
2. Which plan does the City favor and why?
3. The report states that the developer would be responsible for a sewer hookup. We believe that all of the Vineyard Drive parcels are tied to a Deferred Improvement Agreement. I would request the report address how the cost of the sewer will be paid for and if it is assessed to the property owners. If it is an assessment, it should be assessed equally to all owners by the amount of acreage which is customary and documented. Should you need supporting documentation we can provide it.
4. The Deferred Improvement Agreement additionally states that approximately 50,000 sq.ft. of 1" overlay street paving shall be installed. Is this still potentially a requirement? All issues within the Differed Improvement Agreement need to be addressed.

TRANSPORTATION AND CIRCULATION:

The report states that traffic will not be impacted due to the amount of visits of storage customers. The report estimated 287 trips a day and 23 trips in peak hours. That would be both entering and exiting, therefore doubling the amount of traffic. The amount of stated traffic at peak hours seems low.

1. Vineyard Drive and 18th Street are not signalized. The traffic at that intersection could be substantial at times. Further review would be needed to verify that there is no impact on vehicles waiting to turn onto 18th Street.
2. There will be storage of recreational vehicles and boats at the property. There is no mention of restricting street parking to keep these vehicles from parking on the street when they are not able to access the storage yard.

LAND USE:

The area is referred to as the Eastern Waterfront Employment Area. The business of Self Storage and Vehicle Storage does not create jobs.

1. We thought that was the intent of the City in this area. Has the City changed their opinion?

AESTHETICS:

The development of Self-Storage and Vehicle Storage is not eye appealing.

1. The other developed properties on Vineyard Drive have a business atmosphere. The Self-Storage and Vehicle Storage business is not consistent with what was intended for the property and the area's Planned Business Center zoning.

We hope that the City of Antioch will look after the currently developed land owners when considering this project. The sewer is a big problem and that is the most concerning issue. Your consideration will be appreciated.

Sincerely,



Glen Wilson and Sam Reiter

ATTACHMENT "K"

September 7, 2016

City of Antioch Community Development Department
PO Box 5007 Antioch CA

Attention: Cindy Gnos, Contract Planner
Raney Planning & Management, Inc.
916-799-0431

Submitted by email to: cindygnos@raneymanagement.com

Regarding: Public Hearing Discussion 09/07/16 on Antioch Developments: Vineyard Self Storage; and, Delta Courtyard

Dear Ms. Gnos, and the City of Antioch Planning Commission:

The following are the comments of the East Bay California Native Plant Society (EBCNPS) in regard to the Public Hearing Discussion of two separate project proposals on 09/07/16, both located in Antioch, CA: Vineyard Self Storage; and, Delta Courtyard. The California Native Plant Society (CNPS) is a non-profit organization of more than 10,000 laypersons and professional botanists organized into 34 chapters throughout California. Our local East Bay chapter covers Alameda and Contra Costa Counties, inclusive of approximately 1000 members. The mission of CNPS is to increase the understanding and appreciation of California's native plants and to preserve them in their natural habitat through scientific activities, education, and conservation. Pursuant to the mission of protecting California's native flora and vegetation, EBCNPS submits the following comments.

Our organization recognizes high biodiversity throughout the East Bay, and we have published several reference publications for use by public agencies and available to the public. These are widely accepted and used by other public agencies in Alameda and Contra Costa Counties. EBCNPS recommends exploration and utilization of the above resources while performing biodiversity assessments and preparing environmental review documentation, even at the level of CEQA exemption qualifying evaluations.

- A Guidebook to the Botanical Priority Protection Areas in the East Bay
<http://ebcnps.org/publications/guidebook-to-botanical-priority-protection-areas/>
- Rare, Unusual and Significant Plants of Alameda and Contra Counties
<http://ebcnps.org/native-plants/database-of-rare-unusual-and-significant-plants-of-alameda-and-contra-costa-counties/>

Other resources we recommend to use as standard protocol for field assessments:

- Department of Fish and Wildlife, especially the California Natural Diversity Database
<https://www.wildlife.ca.gov/Data/CNDDB>

- Manual of California Vegetation, 2nd ed <http://vegetation.cnps.org/>

The land under consideration for both proposed project sites, contain habitats officially considered in the staff report as "significantly disturbed." We agree that these sites may have suffered degradation from years of other uses. However, populations of rare and locally rare plants may be harbored where sandy habitat or other rare plant habitat occurs at these locations. CEQA Guidelines section 15332, Class 32 in-fill exemption, part (c) conditions are discussed in the environmental review sections of both projects' staff reports. The requirements for this CEQA exemption include evaluation of project site as having "no value for endangered, rare, or threatened species." However, in both the staff reports describing how these projects meet this qualification for CEQA exemption, there is no discussion of any surveys for rare and locally rare plants on either of the project sites. Presence of significant disturbance is not itself exclusionary of the resiliency of rare and locally rare plants on these sandy soil habitats which require specialized plant adaptations for survival, contributing to the rarity of their existence today. Reference in the staff report for both projects that a "portion of the site is grassland" without listing species (including CNPS rarity rankings), habitats, or vegetation alliances (including type of grassland), demonstrates an insufficient level of preliminary evaluation which should not be used to make a decision whether CEQA process is required on these project sites. EBCNPS encourage professional level botanical surveys and biological reports to ascertain whether rare plants still exist at these degraded sites.

A complete list of all rare and locally rare plants possibly occurring in the area should be assembled and surveyed for by a professional. Many native, rare and locally rare plants requiring protection by CEQA, may occur on either of these project sites, due to their historic existence as contiguous with sandy soils habitats. This minimum threshold of evaluation and surveys should be required even for proposed projects in areas currently zoned for development, or otherwise under consideration for in-fill exemptions. Also, note that the Delta Courtyard proposed project is very close proximity to Antioch Dunes Wildlife Refuge. We recommend plants and insects federally protected at this refuge should also be surveyed for at the Wilbur Avenue properties of the Delta Courtyard proposed project. Please reference EBCNPS and CNPS resource publications for more guidance.

Additionally, East Bay California Native Plant Society supports creation of a Habitat Conservation Plan for the City of Antioch, as soon as possible in order to afford greater protections for rare and locally rare plants and their habitat within the City.

I am available by phone or email at conservation@ebcnps.org for any questions. Thank you for your consideration of our comments.

Sincerely,

Karen Whitestone
Conservation Analyst
East Bay California Native Plant Society

K2



STAFF REPORT TO THE CITY COUNCIL

DATE: Regular Meeting of October 11, 2016

TO: Honorable Mayor and Members of the City Council

SUBMITTED BY: Ron Bernal, Assistant City Manager/Public Works Director/City Engineer REB

SUBJECT: Efforts to Eradicate Blight and Provide Solutions to Homelessness

RECOMMENDED ACTION

It is recommended that Council receive and file this staff report regarding efforts being utilized to address blight and provide solutions to homelessness in our City.

STRATEGIC PURPOSE

Strategy D-2: Create a multifaceted team of resources that can assemble to address areas that habitually experience any combination of criminal, illegal, blighting, and nuisance activities and/or conditions. **Short Term Objectives:**

- Identify geographical areas that have significant criminal, illegal, blighted, and nuisance activities and/or conditions.
- Identify internal resources to help.
- Identify local governmental resources to help.
- Identify non-profit, community groups, or volunteers to help.
- Bring all resources together as an effective working group.

FISCAL IMPACT

This report is informational and has no impact on the City's budget.

DISCUSSION

Blight and homelessness are serious issues facing not only the City of Antioch, but the majority of other cities and counties, both big and small across the nation. The information provided in this report is intended to give Council a snapshot of what is currently being done to address the homeless and blight issues facing Antioch with the understanding this is a constantly changing situation.

The "Great Recession" hit Antioch especially hard in the late 2000's resulting in numerous foreclosed properties, many of which were vacated and fell into a state of disrepair. To compound the situation, the City's Code Enforcement program was dismantled eliminating the City's Rental Inspection Program and all enforcement activities except for the most serious health and safety cases. The sale, reorganization and failure of companies that were tenants of several commercial centers throughout our community and our mall resulted in vacant buildings. These companies include Gottschalks, Mervyn's, Sports Chalet, Longs/CVS, Lucky/Save Mart and Orchard Supply Hardware to name a few, which have resulted in numerous large commercial

properties also falling into a state of disrepair and neglect. As the economy in Antioch began a slow recovery, California experienced one of the most severe droughts in decades between 2012 and 2015 resulting in severe State mandated water restrictions that only compounded the unkempt and neglected look of many distressed properties in Antioch.

1. Blight Eradication

Numerous measures are being implemented over the past two years to aggressively address the issues related to the spiraling blight problem, which includes not only poorly maintained private properties, but also graffiti, illegal dumping, trash, abandoned shopping carts and inoperable vehicles. Although not an exhaustive list, below are some of the things the City is doing to combat blight in our community:

Funding and Business Hours

- In November 2013 the Antioch voters passed Measure C, a ½ cent sales tax that was promoted to provide additional staffing to the Police Department and Code Enforcement Division. Although a general tax measure, the City Council has committed these funds exclusively to the Police Department and Code Enforcement Division.
- In January 2015 the City Council eliminated the furlough program that had the City operating four days per week since 2009 and reinstated a 40-hour work week bringing the City back to a five day per week operation.

Code Enforcement

- Three Code Enforcement Officers and a technician have been hired to support the Code Enforcement Manager. With an expanded Code Enforcement staff, more cases are being opened against blighted properties to enforce compliance with City codes and ordinances.
- The City Council authorized two new laborer positions in Code Enforcement to exclusively address blight issues and in April 2016 these laborers were hired (Abatement Team).
 - a. The Abatement Team's primary duties include picking up illegal dumping and trash, removing graffiti on and adjacent to public properties and utility boxes, picking up abandoned shopping carts, and removing and disposing of debris from abandoned homeless encampments.
 - b. The goal of this program is to achieve same or next day service when issues are reported or observed.
 - c. Pick-ups being performed by the City's Abatement Team have contributed to over a 100% increase in tons of garbage hauled off streets and out of creeks. From May through August 2016, 296 tons of garbage picked up by City crews or contractors were hauled by Republic Services, as compared to 147 tons during the same period in 2015.

- Coordinating efforts with the State (Caltrans), County (including Flood Control) and BNSF and UPRR railroad companies to clean up and maintain their properties.
- More aggressively pursuing and requiring garbage service for residents and businesses without service. This will result in improved compliance with mandated garbage service and reduce illegal dumping and trash.

Police

- The City Council has approved the extension of a six-month pilot program with SP Plus for up to an additional three years for parking enforcement and vehicle abatement services to notice, ticket and tow unregistered or inoperable vehicles parked in the street right-of-way. In the first six months of the program, 528 cars were towed.

Public Works

- The City Council has adopted an aggressive street maintenance program, spreading the work throughout the City with an emphasis on the major arterial streets, which carry the majority of the City's traffic. This has resulted in new pavement surface and striping which is creating a clean look to these streets and neighborhoods.
- Now that Police is again enforcing parking, for the first time in over six years, the City has resumed painting red curbs in all parts of the City. When combined with new pavement surface and striping, the look and feel of neighborhoods and business districts where this work is being performed is dramatic.
- The Public Works Department has taken the following proactive steps to secure the City's public areas:
 - a. Upgraded lighting to brighter LED lights at the Marina and surrounding landscaped areas, and City parking lot at the foot of G Street. The additional light reduces the ability of individuals to loiter or hide in darkened areas where they can engage in illegal activity, allows better vision for law enforcement when patrolling the areas, and provides an increased feeling of security for Marina customers. In a short period of time, we have received favorable feedback related to the improvements from Marina customers.
 - b. Trimming public landscaped areas throughout the City in an effort to allow unobstructed vision under and through the vegetation. This practice enhances the ability of law enforcement to conduct a thorough patrol of an area because there is less opportunity for individuals to hide. Additionally, the increased visibility discourages use of these areas for homeless encampments, which further reduces public health and safety issues.
- Provides garbage bags to individuals who are interested in picking up trash and pick up of bagged or piled garbage.

- Assist non-profits and church groups who organize clean up events by providing garbage bags, safety vests, "hot spot" locations, and pick up of bagged litter and trash.
- Support the efforts of the Graffiti Abatement Program (GAP) and individuals who want to paint over or clean graffiti off public utility boxes, signs, poles, etc. by providing materials, supplies and a vehicle for this effort. This program has not been active for over a year due to lack of volunteers.
- The NPDES group of the Collections Division cleans up creeks and channels of garbage, trash and debris, abandoned homeless encampments, shopping carts, etc. The Work Alternative Program (WAP) will often assist the NPDES group in their efforts.

Shopping Cart Ordinance

- The City has adopted a Shopping Cart Ordinance that requires businesses with carts to become responsible for their carts.
 - a. Between February 2013 and May 2016, the City utilized Shopping Cart Retrieval to pick up abandoned shopping carts throughout the City.
 - b. With the hiring of the two laborers in April 2016, this task was shifted to these individuals who pick up both reported abandoned shopping carts, as well as those they see while on their way to or from other calls for service.
 - c. In response to the Ordinance dealing with shopping cart retrieval and removal, Code Enforcement distributed a letter to all store owners in Antioch and businesses adjacent to Antioch in Pittsburg and Brentwood that explains that the Ordinance assists store owners in the retention and retrieval of shopping carts.
 - d. Businesses are required to place an identifying sign on each cart that includes a notice to the public that the unauthorized removal of a cart from the store premises is a violation of state law. This will allow the Police Department to issue citations to individuals in possession of shopping carts.
 - e. A handout was prepared for distribution to the public interested in the new ordinance or in possession of a shopping cart notifying them of the new ordinance and how it will be enforced.

Garbage Service

- Republic Services, the City's waste hauler continues their bi-weekly pick up of illegally dumped items within the street right-of way.
 - a. Illegal dumping pick-up by Republic increased by over 150% between 2012 and 2015, with 1,570 pick-ups performed in 2015.

- b. To date, 2016 numbers show a 12% increase in the number of illegal dumping pick-ups over last year.
- c. Republic has created a map showing locations of illegal dumping in an attempt to identify trends and "hot spots".
- d. Republic estimates the typical monthly cost of their bi-weekly hauling of illegally dumped garbage is \$15,000.
- e. Staff is in discussions with Republic for occasional distribution of dumpsters to neighborhoods experiencing high incidents of illegal dumping.

Community Events

- Police Department sponsors monthly neighborhood clean-ups.
- Keep Antioch Beautiful, an annual event where the community cleans up all areas of the City was successfully held on April 23rd.
- Coastal Clean Up, an annual event where the focus is the San Joaquin River shoreline and creeks within the City was successfully held on September 17th.

Capital Improvements

- Constructing barricades at dead-end streets and fencing to limit access to dumping "hot spots".
- In addition to the numerous trash capture devices installed in City catch basins and at the inlet to a detention basin, over \$500,000 has been budgeted to install additional trash capture devices over the next five years. These devices will be installed in areas of the City with the highest levels of trash and minimize the amount that enters our storm drain system and creeks.

Report an Issue

- City Website Home and Public Works Pages Report a Problem link, and GoRequest link are mobile reporting applications. GoRequest will be replaced with a new web based and mobile application called SeeClickFix. This application is scheduled to be operable by January 2017.
 - a. Code Enforcement Division web page Report a Violation link.
 - b. Call Public Works or Code Enforcement to report a non emergency situation.
 - c. Call the Police Department 911 number to report a blight related emergency.

2. Providing Solutions to Homelessness

Homelessness is as varied and complex as the individuals who find themselves in this condition. Although it is our desire to see all homeless individuals find stable and ongoing housing, the majority of the City's emphasis is on individuals who are classified as chronically homeless. Chronic homelessness is a significant and increasing social issue, which requires a multi-disciplinary approach to address and combat. With the proper interventions, positive social and economic outcomes can result. Homeless individuals and encampments affect everyone in the community, and as such, no single entity should or can be burdened with solving this problem alone. Businesses, residents, faith based and non-profit organizations, railroad companies, County Flood Control District, Caltrans, School District, Contra Costa County and the City must work together to better address the issues related to homelessness and specifically chronic homelessness. The City continues to work with the County Homeless Program within the County Health Services Department as a key component of this effort.

Up until June 2016, the County Homeless Program dispatched Outreach Teams to encampments and locations in Antioch where homeless were found. This group was tasked with providing information about available services and emergency housing when available, and conducted the homeless Point in Time count of encampments in January 2016. In this count, there were 1,730 homeless people living on the streets or in shelters. Of these, 1,110 were living in encampments throughout the County. Here is a snapshot of persons who are homeless:

- 9% are Veterans who often become homeless due to war-related disabilities. For a variety of reasons – physical disability, mental anguish, post-traumatic stress, etc. – many veterans find readjusting to civilian life difficult. Difficulties readjusting can give rise to dangerous behaviors, including addiction, abuse, and violence, which, coupled with the difficulties, can lead to homelessness. 11% (or 190) of the 1,730 homeless are youth and children, most members of families who are homeless. Families experiencing homelessness are similar to housed families living in poverty. They are usually headed by a single woman with limited education, young, with high rates of domestic violence and mental illness. Some families living in poverty, however, fall into homelessness due to unforeseen financial challenge, such as a death in the family, a lost job, or an unexpected bill, creating a situation where the family cannot maintain housing.
- 29% of the Contra Costa homeless persons counted have serious mental health conditions, and approximately half of persons experiencing homelessness suffer from mental health issues to some degree. Mental and physical health problems are exacerbated by living on the streets and in shelters. Substance use is also prevalent among homeless populations. These health conditions often require long-term, consistent care. Homelessness inhibits this care, as housing instability often detracts from regular medical attention, access to treatment, and recuperation. This inability to treat medical problems often aggravates them, making them both more dangerous and more costly.
- 15% are chronically homeless, which is the same as the national average. People experiencing chronic homelessness are likely to be older than the general homeless

population, male, non-white, and long-term unemployed. These individuals often live in encampments and tend to have high rates of criminal justice involvement, social service use, and emergency healthcare use. Most chronically homeless persons have multiple, complex disorders that are barriers to maintaining stable housing and employment. A small percentage state that they do not want shelter and prefer the homeless lifestyle. National efforts have shown that this usually stems from barriers, such as no-pet policies and prohibitions on drug/alcohol use, imposed by programs and that it is possible to craft appropriate housing solutions for this population.

The increase in homeless individuals who have chosen to locate in Antioch is not unique to our community. Latest numbers indicate that Statewide, over 115,000 people are currently homeless. The cities of San Francisco and Los Angeles have declared a State of Emergency due to the homeless crisis. In spite of significant and costly efforts to construct new temporary and permanent housing, the number of homeless continues to increase. To put this issue into perspective, this year's budget for San Francisco to address the needs of 7,000 homeless individuals living on the streets and another 9,000 living in housing provided by the city, is \$241,000,000.

Antioch is experiencing a similar crisis on a smaller, but equally alarming basis. East Contra Costa County and Antioch experienced a 33% increase in homeless individuals from 2015 to 2016. During this period West and Central County saw a 45% decrease. The information staff hears on the street confirms the data that the homeless population is moving east. The 2016 Point in Time Count provides a comprehensive report of the homeless population in Contra Costa County (Attachment "A").

Although the County's General Fund investment in homeless services has been static for well over a decade, there was a slight increase in 2016 due to lobbying efforts of the Council on Homelessness and Multi-Faith Action Team. In addition, the County just added a new division: Health, Housing, and Homeless Services (HHHS). HHHS will work to integrate housing and homeless services across the County health system, as well as increase opportunities to coordinate health and homeless services across county government and in the community.

However, HUD homeless funding has shifted to eliminate financial support for all transitional homeless housing, resulting in the displacement of residents of SHELTER Inc.'s family transitional housing in Antioch and Pittsburg. The 18-bed Don Brown shelter for persons with disabilities is the only emergency shelter for homeless in all of East County.

Closure of the East County Multi-Service Center (which was co-located with the Don Brown shelter), coupled with the absence of homeless outreach services (which lost funding or closed doors) and the closure of SHELTER Inc's transitional housing has left East County with few homeless services at the present time. The County has never made an investment in East County to provide the infrastructure, such as a homeless shelter, homeless Multi-Service Center, respite center, etc. and this lack of investment significantly compounds the challenge of providing services and housing to these individuals.

The County has been engaged in a two-year process to entirely redesign the homeless service delivery system, and has recently received an influx of HUD funding to implement the new system and replace those services that have been lost. Parts of the new system, such as homeless outreach, will come on-line in the next month to two months, while the rest will begin in January 2017. Still, an ongoing challenge remains to find housing in which to place persons who are homeless, and this directly impacts our community.

Steps that are being taken to address homelessness in Antioch include:

Homeless Services

- With planning completed, funding secured, and the “Coordinated Entry” grants awarded agencies and the County are entering into contract and posting for new positions that will help transform the homeless system of care. Following are some highlights:
 - a. The Contra Costa Crisis Center will provide 24/7 telephone access for homeless persons seeking shelter and/or services. They will make referrals to the new CARE and CARE-capable centers, referrals to safety net and other social services, and administer the new Housing Security Fund to assist homeless people with expenses related to getting into housing. The Crisis Center will also screen callers and attempt to prevent persons from becoming homeless, and divert them from the Contra Costa homeless system if possible, as well as triage calls.
 - b. CORE (Coordinated Outreach, Referral & Engagement) Homeless Outreach teams will begin to operate on the streets in the next two months. The system is starting with two daytime outreach teams and one night team, but this is scalable to meet each city’s need and budget if they wish to contribute to fund additional coverage.
 - c. The day teams will be hitting the streets Monday through Friday from 7:00 a.m. until 6:00 p.m., while the one evening outreach team will pick up from 5:00 p.m. to 1:00 a.m. All teams will have one coordinator and standard of engagement. They will link homeless persons to healthcare services, screen them for eligibility for benefits and enroll them, take them to any open shelter beds and to the new warming centers, and provide linkage to mental health and substance abuse services. They will also conduct a standard assessment to prioritize persons for permanent housing.
 - d. The CARE Center sites will provide critical supportive services, such as showers, food, mail services, laundry, and act as warming centers during the evenings. Case managers will also connect clients to primary and behavioral health services, enroll them into benefits, and provide housing navigation services. Care centers will be open from 8:00 a.m. until 5:00 p.m., and are situated in Concord, Walnut Creek, and Richmond. A site is being sought for East County, with a target for operation within the year.

- e. Warming Center Pilot – A Pilot Warming Center will open in Concord with hours of Monday through Saturday, from 7:00 p.m. to 7:00 a.m. Homeless clients will receive screening and intake, housing assessment, food and showers, as well as a safe environment and chairs in which to rest.
- Areas of future growth include expansion of CORE teams, additional CARE Centers, especially in East County, enhancement of all CARE Centers with warming centers, seven days per week operation, a “Moving On” program, and more affordable housing units.
- City budgeted \$50,000 in non-CDBG funding for grants to homeless service providers last year and expects to increase that amount this year.

Housing

- Antioch Shelter Project proposed a 50 bed facility for homeless women and children:
 - a. The City is in the process of rezoning land and working with this non-profit organization on a possible location on Delta Fair Boulevard where this group is looking to locate a proposed facility on City owned property.
- City has partnered with Satellite Affordable Housing Associates to construct Tabora Gardens:
 - a. 85-unit multi-family housing complex for seniors and homeless senior Veterans with services to meet the needs of these elderly Veterans.
 - b. City is investing almost \$3 million in CDBG, NSP-1, and Housing Successor funds for this project.

Faith-Based and Non Profit Efforts

- Coordinate faith-based and non-profit organization efforts. Although well-meaning, efforts to feed, clothe and provide for the basic needs of homeless individuals at various and random locations throughout the community can be at odds with the City’s goal of encouraging the homeless to utilize available services and locate permanent housing.
 - a. Warming centers were opened at several local churches this past winter through the coordination of the Antioch Shelter Project proponent.
 - b. Golden Hills Community Church operates the Community Outreach Center (COC) on East 18th Street where individuals may receive food, services, training and resources.
 - c. Shower House Ministries is a self contained mobile shower facility. Staff has been working with the operator to a find suitable location(s) for this service.

- d. Loaves and Fishes located on 6th Street provide daily meals to many homeless individuals.
- e. Miscellaneous feeding and offering of clothes, blankets and other basic needed items are provided by groups and individuals and numerous locations throughout the community, both at public locations, as well as on private property.

City Homeless Taskforce

- The City's Homeless Taskforce, comprised of the Police Department, Code Enforcement (division of the Community Development Department) and the Public Works Department are supported by the City's in-house CDBG program analyst and liaison with Contra Costa County homeless services.
 - a. Together, these departments meet to discuss and coordinate efforts to best address homeless and blight issues in the City.
 - b. Our efforts are always conducted with the goal of helping end homelessness one person at a time. Whether an individual is actively seeking assistance and housing or chooses not to, the City is committed to serving the homeless community with respect and compassion.
 - c. Educating everyone we interact with is critical to achieving compliance with our codes, laws and ordinances.
 - d. It is staff's responsibility to enforce and uphold codes and ordinances that govern our residents, customers and visitors.

Code Enforcement

- Code Enforcement averages 3 to 4 encampment inspections per day. They respond to all requests for service regarding encampments located on public and private property. They work cooperatively with citizens, businesses, Public Works, Antioch Police Department, Contra Costa Fire Department, BNSF and Union Rail Road Police, as well as other agencies.
 - a. Code Enforcement distributes the East County Resource Guide to all homeless persons they come in contact with.
 - b. Meet and discuss private property homeless issues with owners to educate them on laws related to homelessness, loitering and the negative impacts to the neighborhood and community.
 - c. Identifying and communicating physical solutions to private property owners, such as removing or trimming shrubs and trees, installing fences, lighting, cameras, security guards, garbage service, etc. to minimize the attractiveness of these locations.

- d. Citing owners who do not comply with Notices of Violation or repeatedly violate the City Code.

Police Department

- Coordination with Highway Patrol to enforce panhandling at interchanges and intersections:
 - a. Enforcement of dusk to dawn rules in City parks,
 - b. Work with private property owners, BNSF and UPRR Railroad companies, businesses, etc. to enforce private property trespassing violations,
 - c. Hiring of officers that will have a more active role in interacting with the homeless,
 - d. Distributing East Contra Costa Resource Guide and other information,
 - e. Interacting with faith-based and non-profit organizations to coordinate their efforts and ensure compliance with laws,
 - f. Police Captain is a member of County Council on Homelessness,
 - g. Attend Suburban Poverty Task Force meetings of the Antioch Chamber of Commerce,
 - h. Lavonna Martin from the County Council spoke at the Crime Prevention Commission to the Neighborhood Block Captains in an effort to educate them on the subject of homelessness, and
 - i. Interacting with the Antioch Chamber of Commerce Suburban Poverty Task Force, which has proposed the idea of installing signage near Highway 4 interchanges that would discourage the practice of giving money to panhandlers (Attachment "B").

3. Education and Communication

- The City utilizes numerous methods to educate and communicate with not only our residents and customers but also to the homeless. These include:
 - a. East Contra Costa County Resource Guide (Attachment "C")
 - b. Homeless Ambulatory Care Clinics (Attachment "D")
 - c. Health Care for the Homeless Medical Mobile Team (Attachment "E")
 - d. Homeless Dental Services (Attachment "F")
 - e. Miller Wellness Center Homeless Clinic (Attachment "G")

- f. Shopping Cart Ordinance and Handouts (Attachment "H")
- g. City of Antioch Resource Guide (Attachment "I")
- h. City Website to obtain information on the Code Enforcement, Police Department or Public Works pages or to report a violation or complaint.

4. Summary

The efforts described in this report attempt to briefly describe the majority of the efforts being made to make Antioch cleaner, safer and more inviting. Homeless encampments and related activity create an attractive nuisance for juveniles, diminish property values and otherwise diminish the quality of life in areas adjacent to such encampments. Encampments may also serve as a potential focal point for criminal activity, such as narcotics trafficking and prostitution. Concentrated populations of homeless in the City create public health, safety and quality of life issues for the community.

Homelessness is an issue that affects everyone from the person who finds themselves in this situation to the neighborhoods and businesses that experience the negative impacts that often result. Since it is a community issue, it demands a community effort to help combat and solve. It is going to take a concerted effort between government programs, faith-based and non-profit organizations, and private property owners and businesses. Everyone must take responsibility for helping our most needy find the help and resources they need to get off the street. For those who either are incapable of deciding to get help and shelter, or choose not to, it must be understood that there are laws that protect the rights of these individuals as long as they are not breaking any laws. This reality is difficult for many to comprehend. It is not against the law to be homeless and as such, the City is limited to what it can do to address this issue.

In the months ahead, staff will be focusing our efforts on enforcing the Shopping Cart Ordinance, acquiring and deploying additional Police Department staffing, meeting with faith-based and non-profit organizations to better understand and attempt to coordinate their efforts to feed and help the homeless, working with the re-established County outreach teams and the County's efforts, and determining how to best invest our Housing Successor Agency funds to address the issue of homelessness.

ATTACHMENTS

- A: 2016 Point in Time Count
- B: Say No to Panhandling Sign
- C: East Contra Costa County Resource Guide
- D: Homeless Ambulatory Care Clinics
- E: Health Care for the Homeless Medical Mobile Team
- F: Homeless Dental Services
- G: Miller Wellness Center Homeless Clinic
- H: Shopping Cart Ordinance and Handouts
- I: City of Antioch Resource Guide

ATTACHMENT "A"



2016 Point in Time Count

SUMMARY

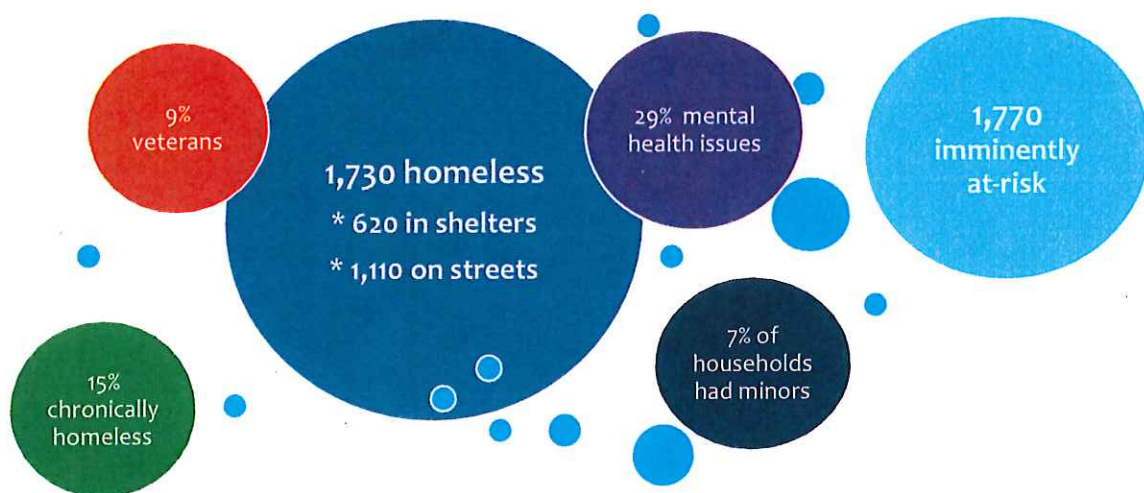
Each January, Contra Costa's Homeless Continuum of Care (CoC) conducts a comprehensive point-in-time count of families and individuals experiencing homelessness. The Point in Time (PIT) Count tallies information about people sleeping in emergency shelters and transitional housing as well as people sleeping in cars, in abandoned properties, or in other places not meant for human habitation. It provides a one-day snapshot of homelessness and includes data about families, youth, chronically homeless, and veterans, as well as demographic data about gender, ethnicity, and race.

PIT data collection is conducted by CoC service agencies, community partners, and volunteers. PIT methodology is provided in Appendix A. Data collection took place the evening of January 27th and continued through the next two days at community sites and through outreach efforts.

Results Overview

On the evening of January 27, 2016, there were 3,500 individuals identified as homeless or at risk of homelessness in Contra Costa County through the annual Point in Time (PIT) Count. Slightly less than half (1,730) of these individuals were literally homeless and 1,770 were at risk of homelessness. Among the literally homeless, there were 620 people in shelters and another 1,110 were sleeping on the streets. Youth under the age of 18 made up 11% of the homeless population and two-thirds of those youth were residing in shelters the night of the count. Two-thirds of the population are male.

3,500 Homeless or Imminently At-Risk



* Sub-population data is self-reported and collected only for literally homeless adults.

The 1,730 homeless individuals made up 1,437 households (households refer to the number of single adults or family units that need housing); 7% of these households were families with minors. There were an additional six unaccompanied minors, five in youth shelters and one living on the streets.

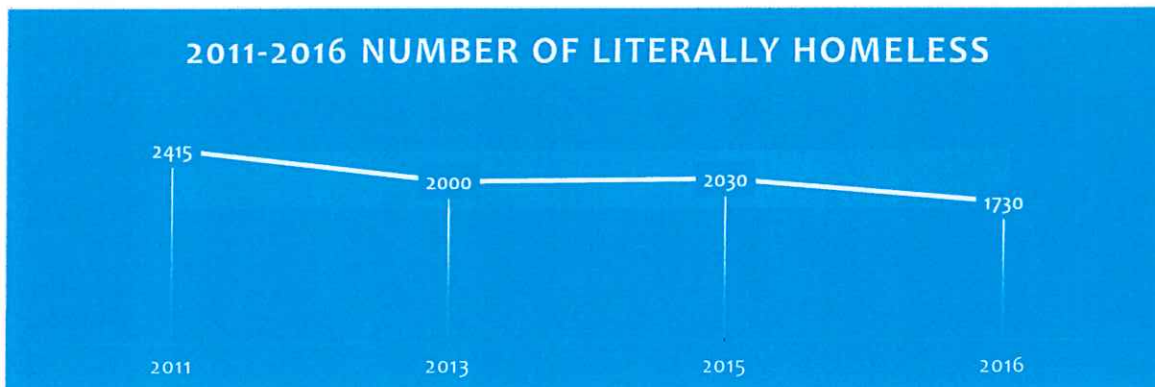
Two-thirds of homeless families slept in shelters the night of the count.

There was a significant regional shift across the county for unsheltered individuals. More people reported sleeping outside or were found in encampments in East County relative to 2015 data, and fewer in West and Central County.

2015-2016 Regional Changes in Unsheltered



Contra Costa County has experienced a 26% decrease in the number of people since the 2011 Point In Time Count.



Additionally, over the past five years there has been a decrease in number of unsheltered individuals identified through PIT. Since 2011 there has been a 26% decrease in the number of people sleeping outside across the county. Central County has experienced 70% fewer people sleeping outside and West County had 60% fewer since 2011. East County had a 30% increase.

Please contact homelessprogram@hsd.cccounty.us for questions or more information about the 2016 Point In Time Report.



2016 Point In Time Count

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2016 PIT RESULTS

The Point in Time Count is required by the U.S. Department of Housing and Urban Development (HUD) to measure homelessness over the course of one night each January. PIT provides valuable information about the scope of homelessness, particularly around the number of unsheltered people on the streets and the progress being made in ending homelessness for adults and families. It is also used by local agencies to help plan services and programs appropriately, address strengths and gaps in programming, increase public awareness, and attract resources to help end homelessness. More information about the purpose of the PIT Count is included in Appendix A; PIT Methodology is provided in Appendix B.

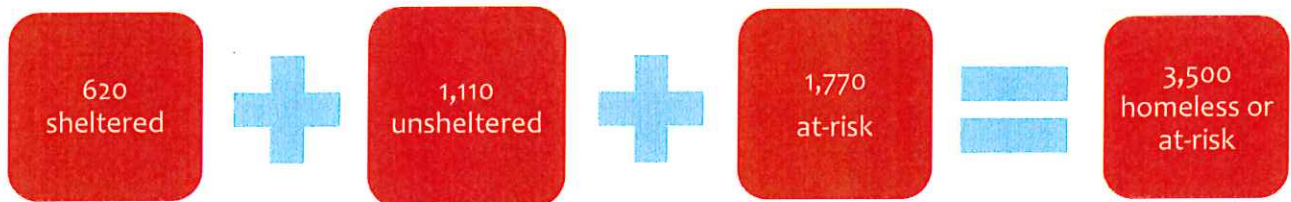
The 2016 Point in Time Count identified 3,500 individuals that were homeless or at-risk of homelessness in Contra Costa County the night of January 27, 2016. Half of these individuals (1,730) were “literally” homeless and the other half (1,770) were “at-risk” of homelessness.

Literally Homeless Sheltered and Unsheltered

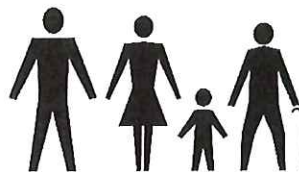
There were 1,730 literally homeless individuals identified in the 2016 PIT Count. Almost two-thirds (1,110 individuals) were sleeping in uninhabitable locations such as encampments, abandoned buildings, and vehicles. Six hundred and twenty people were residing in emergency or transitional shelters.

At-Risk of Homelessness

Individuals at-risk of homelessness are those people that were at imminent risk of losing a temporary sleeping arrangement and were not yet homeless per the HUD definition. Almost all of those identified as at-risk of homelessness were being served under the McKinney Vento Homeless Education Act with the West Contra Costa County Unified School District. Only 179 of the 1,770 were identified as at-risk through PIT surveys.



The 1,730 literally homeless individuals constituted 1,437 households (households refer to the number of single adults or family units that need housing). One hundred and eleven of these households were families with children. There were an additional six unaccompanied minors--five in youth shelters and one living on the streets.



1,437 Homeless Households

- 111 families with children (7% of households)
- 6 unaccompanied youth
- 1,320 households with adults only

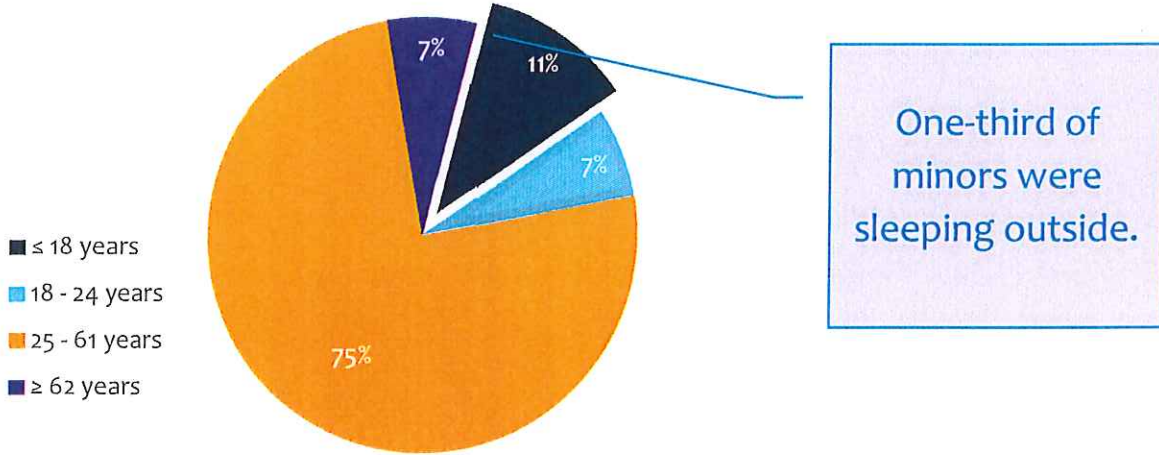


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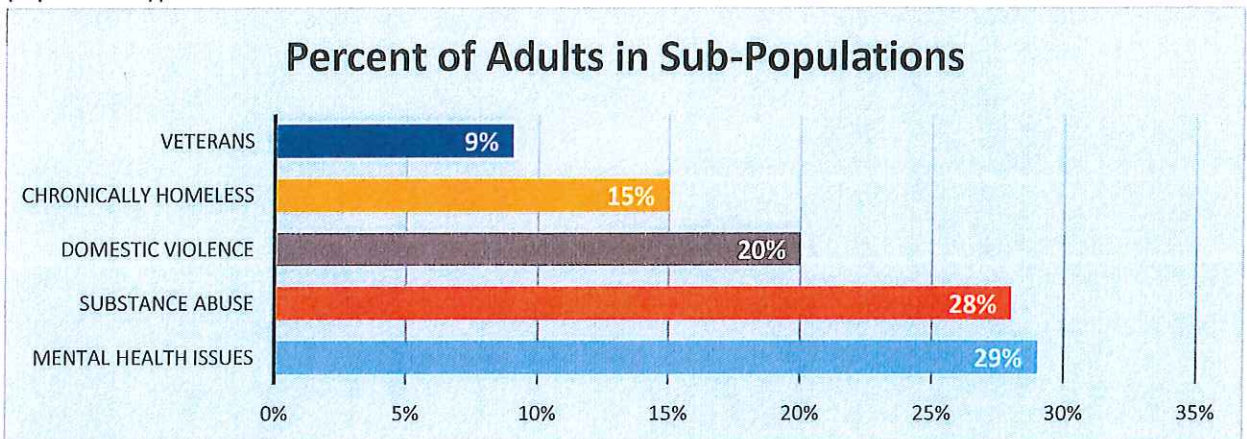
Homeless Sub-Populations

PIT data allows the CoC to understand the housing needs of various groups within the homeless community. Below are data for age groups, chronically homeless, and those with persistent and debilitating mental and physical health conditions. The new HUD definition of chronically homeless is provided in Appendix C.

Age Groups Among Literally Homeless in PIT



Information from the PIT Count confirmed that a significant number of homeless individuals are challenged with chronic disabilities. Many people reported more than one health condition. Data on these sub-populations are consistent with the CoC’s service data collected throughout the year. Note that these categories are not mutually exclusive; individuals may be included in more than one sub-population type.



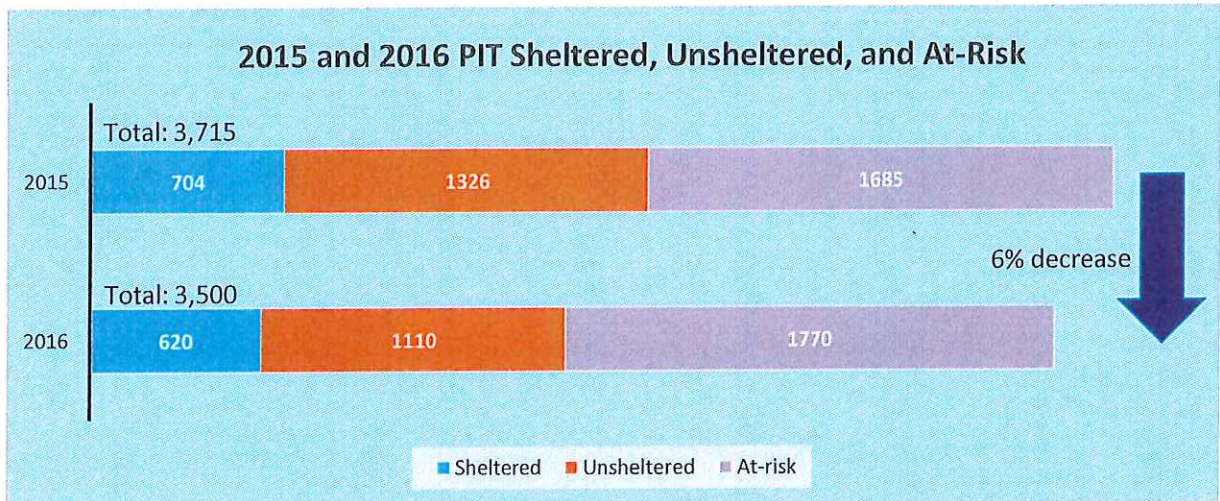
* Data reported for those that self-report a disability or veteran status



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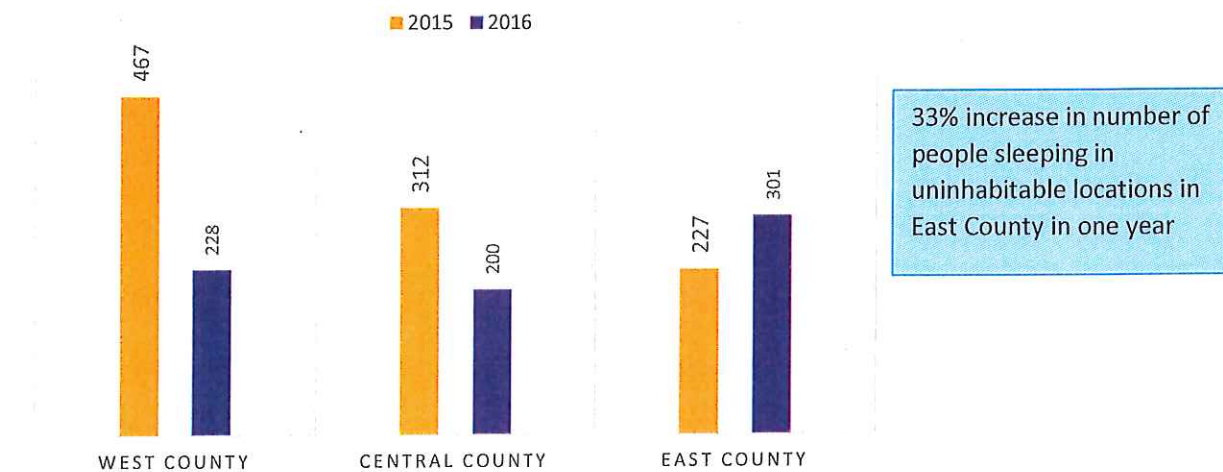
2015 AND 2016 PIT COMPARISONS

The total number of individuals identified in the 2016 PIT Count was similar to the number found in 2015. There were 215 fewer people included in the 2016 Count, a 6% decrease, with slightly fewer in all three homeless status categories (sheltered, unsheltered, and at-risk). Among literally homeless, there was a 15% decrease.



The most notable difference between 2015 and 2016 were the shifts across regions within the county where people slept outside on the night of the count. The graphic below illustrates regional changes for unsheltered individuals who reported the city in which they slept.

PIT UNSHELTERED BY REGION



ALB

The number of people that slept outside during the 2015 and 2016 PIT Counts are listed by each city below. Most cities in West and Central County had decreases in the number of people sleeping outside while multiple cities in East County experienced increases.

2015 and 2016 Unsheltered PIT by City

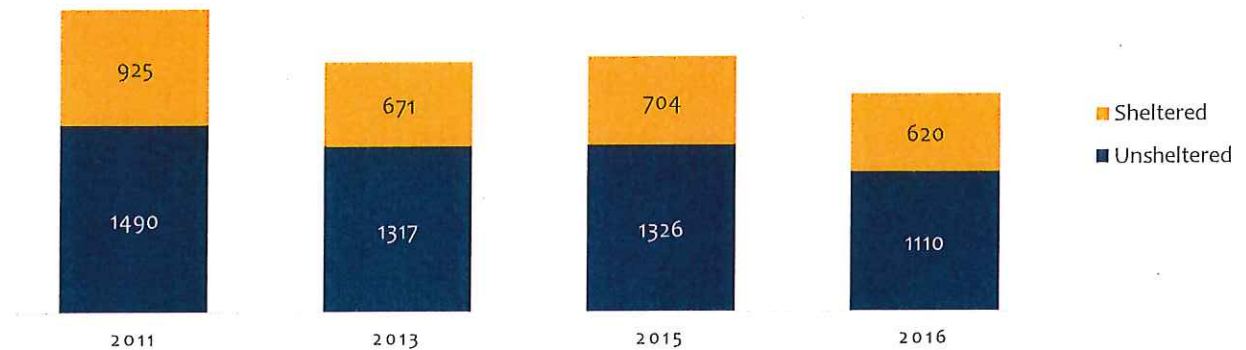
East County			Central County			West County		
	2015	2016		2015	2016		2015	2016
Antioch	122	164	Alamo	0	1	Crockett	0	1
Bay Point	25	39	Clayton	10	2	El Cerrito	30	13
Bethel Island	5	2	Clyde	0	1	El Sobrante	14	8
Brentwood	11	8	Concord	114	73	Hercules	12	1
Byron	0	0	Danville	0	0	N. Richmond	9	1
Oakley	8	28	Lafayette	1	2	Pinole	11	5
Pittsburg	56	60	Martinez	72	63	Richmond	356	160
			Pacheco	18	8	Rodeo	12	2
			Pleasant Hill	63	11	San Pablo	23	37
			San Ramon	1	0			
			Walnut Creek	33	39			
Totals	227	301	Totals	312	200	Totals	467	228

* This table includes data only for individuals that reported the city in which they slept on the night of the count.

PIT TREND DATA (2011-2016)

There has been a 26% decreased in the number of people identified through PIT that are homeless since 2011.

2011-2016 LITERALLY HOMELESS

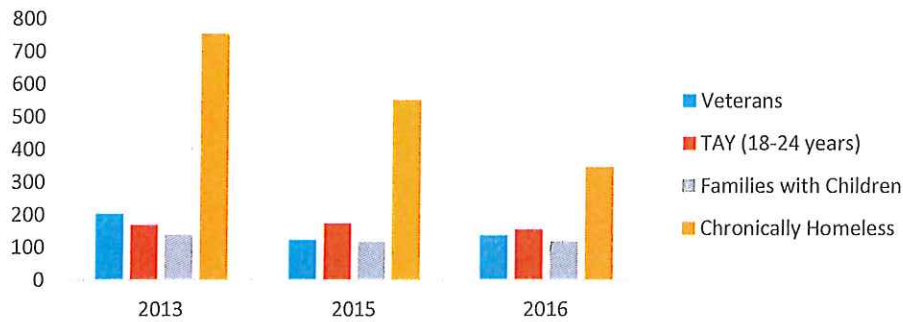


2016 Point In Time Count

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PIT data includes information on demographics and special populations. Since 2013, there has been a general decrease in the number of veterans, transition age youth (18 to 24 year olds), families with children, and chronically homeless individuals. HUD has established a new definition for chronically homeless, provided in Appendix C.

2013-2016 Sub-Population PIT Trends

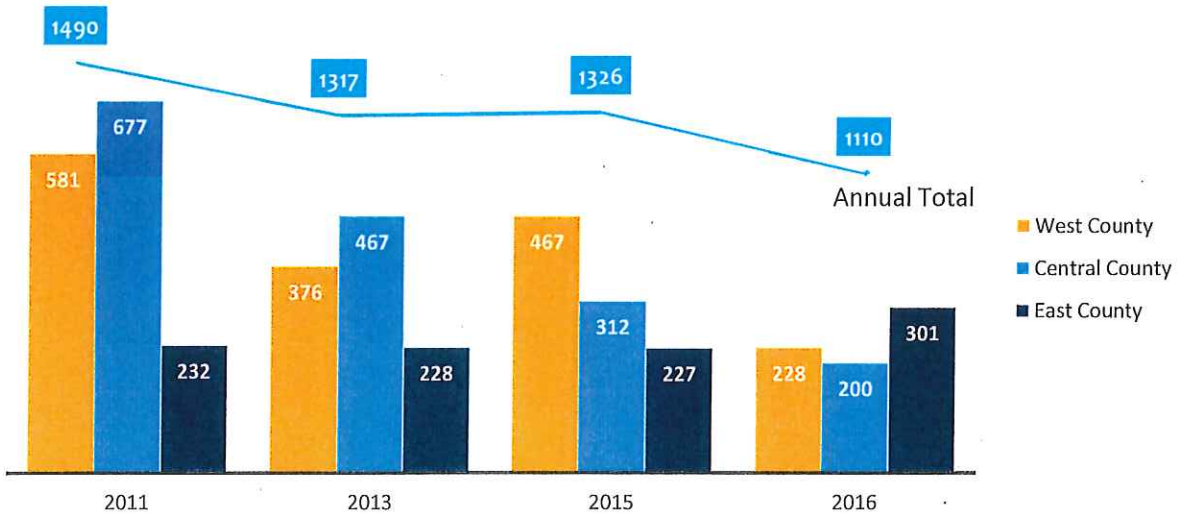


The number in every sub-population has decreased in the past three years.

* Data reported for those that self-report a disability or veteran status

The number of people sleeping outside has decreased gradually over time. There was a 26% decrease in the number of unsheltered identified in the PIT Count from 2011 to 2016. Regional trends show increases in East County and significant decreases in Central and West County.

2011-2016 UNSHELTERED PIT BY REGION



Since 2011, there has been a 70% decrease in Central County in the number of people sleeping outside the night of the PIT Count and a 60% decrease in West County. East County experienced a 30% increase.



AS

APPENDIX A – Purpose of Point in Time Count

The Annual Point In Time (PIT) Count is required by the U.S. Department of Housing and Urban Development (HUD) to learn about homeless individuals and households in each Continuum of Care (CoC) across the country. PIT results are referenced by HUD and other government and non-profit agencies to understand needs and allocate resources to serve those affected by homelessness. Data is reported for *sheltered* and *unsheltered* individuals that are literally homeless. Sheltered individuals are those living in an emergency shelter, transitional housing, half-way house, or youth foster program on the night of the count. Unsheltered individuals are those living in encampments, cars, streets, or other locations not designed for human habitation on the night of the count.

In previous years, Contra Costa's Council on Homelessness collected data on those that did not fit the HUD definition of homelessness but had other temporary living arrangement eligible for HUD funded services, referenced as "at-risk" of homelessness. This includes individuals sleeping in temporary locations such as treatment facilities, jails, hospitals, or doubled-or-tripled-up with family or friends on a temporary basis. However, as the Council moves toward relying on HUD-recognized tools and definitions, the 2016 PIT report does not provide detailed data on "at-risk."

Quantifying the needs and resources to end homelessness requires the use of multiple data sources. There are three key data elements used by HUD to understand the homeless population that fall under four homeless categories (defined in the sidebar on this page). The Point in Time Count and Housing Inventory Count (collected together on the same day) are useful for identifying and serving those homeless that fall under Category One; while the American Housing Survey includes data about Categories Two and Three.

The Continuum of Care collects data throughout the year on all consumers utilizing homeless services. The PIT is simply a snap shot of Category One homelessness.



HUD HOMELESS CATEGORIES

Category 1 Literal Homelessness

Individuals and families who live in a place not meant for human habitation (including the streets or in their car), emergency shelter, transitional housing, and hotels paid for by a government or charitable organization.

Category 2 Imminent Risk of Homelessness

Individuals or families who will lose their primary nighttime residence within 14 days and has no other resources or support networks to obtain other permanent housing.

Category 3 Homeless Under Other Statutes

Unaccompanied youth under 25 years of age, or families with children and youth, who do not meet any of the other categories but are homeless under other federal statutes, have not had a lease and have moved 2 or more times in the past 60 days and are likely to remain unstable because of special needs or barriers.

Category 4 Fleeing Domestic Violence

Individuals or families who are fleeing or attempting to flee domestic violence, dating violence, sexual assault, or stalking and who lack resources and support networks to obtain other permanent housing.

APPENDIX B – Point in Time Methodology

HUD requires that a full sheltered and unsheltered count be conducted every other year, in “odd years,” while sheltered-only counts are acceptable in “even years.” However, the Council on Homelessness chose to conduct the full count in 2016 to better capture trends and changes in this county as the community embarks on new initiatives and programming. For this year’s count, a full census was conducted on January 27, 2016. The PIT Count results presented in this document reflect all the individuals identified as experiencing homelessness on this night.

A new strategy for collecting PIT data was implemented for the 2015 census. These efforts proved to be effective in reaching both sheltered and unsheltered homeless individuals and engaged community members in data collection efforts. These strategies were used for the 2016 PIT Count as well as an additional resource through shelter hotlines (explained below).

The use of these four data collection strategies is critical for the CoC because Contra Costa County is over 720 square miles and has homeless individuals residing in shelters, encampments, and other temporary living situations in rural, suburban, and urban areas. The PIT Count collected data for January 27th, 2016.

The four data collection resources utilized in the 2016 PIT Count:

- 1) **Homeless Management Information System (HMIS) Data:** this captures all individuals residing in emergency shelters and transitional housing on January 27th, 2106.
- 2) **Service and Community Site Canvas:** volunteers surveyed persons experiencing homelessness that utilized homeless services or community resources during the count.
- 3) **Encampment Outreach:** trained staff surveyed all persons sleeping in homeless encampments.
- 4) **Call Centers and Shelter Access Lines:** staff at the three shelter access lines were trained to conduct the PIT survey during PIT data collection.

1) Homeless Management Information System (HMIS) Data

Homeless Management Information System (HMIS) data is collected for any individual utilizing homeless services at any agency in the Contra Costa County Homeless Continuum of Care (CoC). HMIS is important for capturing data about the homeless population served throughout the year at the various CoC sites. For the PIT Count, this data is pulled only for those utilizing emergency or transitional shelters the night of the count, January 27, 2106. Shelter sites not entering data into HMIS provided a supplemental survey to report how many people were sheltered in their program that night, broken down by age category and household type. HMIS and shelter surveys captured demographic and subpopulation data required for HUD reporting.

2) Service and Community Site Canvas

Outreach to individuals experiencing homelessness took place over a two-day period as they visited service providers or community agencies where homeless frequently utilize services. These community



sites included Multi Service Centers that are part of the CoC as well as locations frequented by homeless persons - food distribution sites, soup kitchens and dining halls, libraries, and health care facilities. The full list of service sites is available in the Appendix A. The PIT survey is provided in Appendix D.

All data collection volunteers were required to attend one of the four training sessions offered before initial collection began the evening of the 27th. Volunteers were assigned, based on their availability and location preferences, to a service or community site to interview members of the homeless community. The volunteers conducted a five to ten minute survey with each person experiencing homelessness. Volunteers were posted in these sites over two days following the night of the PIT Count, January 28th and January 29th, for two to four hour shifts at high traffic times as identified by the location managers and/or staff.

To ensure that the same people were not counted multiple times, the PIT survey included the full name, birthdate, and last five digits of the social security number of each person interviewed. Duplicate surveys were then removed from the total count using the Homeless Management Information System (HMIS).

An observational tool was used to capture the most basic and observable data for individuals that chose not to participate or had communication barriers.

3) Encampment Outreach

Outreach for unsheltered individuals was conducted over a three-day period across encampments throughout the county. This outreach was completed by the CoC's regular outreach teams as they are trained in outreach techniques and familiar with encampment locations and the populations residing in those encampments. These teams utilized the HMIS data collection system already used when serving new or current clients. Some individuals in encampments were not comfortable sharing personal information or were sleeping or unwilling to talk. For these individuals, the 2016 PIT Observation Tool was completed to capture basic, observable information such as age and gender.

Outreach teams also tracked, either through GPS or hardcopy maps, the locations of each encampment to help illustrate primary geographic areas throughout the county where encampments have been established. Specific locations are not provided in this report to protect both the homeless community members as well as the local agencies serving those areas.

All encampment locations identified during the count were entered into ARCGIS for a visual representation. Service and community sites where PIT Count was conducted are also included in the map. This map is provided on page 4.

4) Call Centers and Shelter Access Lines

The county has three help lines for consumers to contact when seeking emergency shelter: the Contra Costa Shelter Hotline, 211 with the Contra Costa Crisis Center, and One Door (through SHELTER, Inc.).



All

Staff and volunteers at these agencies already collect personal identifying information as they help identify emergency shelter options.

Using shelter access lines for reaching homeless consumers was a new strategy for the 2016 PIT Count. There were fewer calls than anticipated but this option proved to capture those that would not have been identified through other PIT data collection tools.

PIT Data Elements

In previous years the CoC reported detailed data on those that were literally homeless (the numbers reported to HUD) and at-risk of homelessness in the PIT Count. In an effort to align with HUD PIT reporting requirements, specific information about the population is focused only on those that are literally homeless. However, the total number of homeless referenced in this report includes Individuals categorized as at-risk because they have other temporary living situations, including anyone who told interviewers that they stayed in a jail, hospital, treatment program, or a friend or family member's house on January 27 and consider themselves homeless because they do not have a steady and stable residence. Any family currently in the West Contra Costa County Unified School District Homeless Education program as reported in HMIS (Homeless Management Information System) were also included in the "at-risk" category. These families include those that were "couch surfing" or "doubling-up" and fall within the McKinney Vento definition of homelessness used by the Department of Education.

HUD PIT Reporting Requirements

HUD requires each Continuum of Care to report how many people were sheltered in transitional housing and emergency sheltered programs and how many people were unsheltered on the date chosen in January. Those counted are broken down by age category and household type:

- Age Categories:
 - The number of children under age 18
 - The number of adults ages 18 to 24
 - The number of adults over age 24
- Household Categories:
 - Households with at least one adult and one child
 - Households without children
 - Households with only children (including one-child households and multi-child households)
 - Youth households (including parenting youth and unaccompanied youth)

HUD also requires the CoC to capture demographic data such as ethnicity, race, and gender, as well as subpopulation data for chronically homeless individuals and families, veterans, severely mentally ill persons, persons experiencing chronic substance abuse, persons with HIV/AIDS, and victims of domestic violence (optional reporting).



2016 Point In Time Data Collection Sites

Food Distribution Sites

- Greater Richmond Interfaith Program Souper Center
- Loaves and Fishes (Martinez, Antioch, Pittsburg, Bay Point, Oakley)
- Sunrise Café
- Monument Crisis Center

Multi-Service Sites

- Bay Area Rescue Mission
- Trinity Center
- Anka Behavioral Health Centers

Emergency Shelters and Transitional Housing

- Greater Richmond Interfaith Program
- Bay Area Rescue Mission
- Trinity Center
- Winter Nights
- Mountain View
- County Emergency Shelters (Concord, Brookside, Calli House, Respite)
- Don Brown Shelter
- Lyle Morris Family Center

Healthcare

- HealthCare for the Homeless mobile van

Community Sites

- County and City Libraries

Hotlines

- 211
- Homeless Shelter line
- One Door

Flyer locations

- BART
- John Muir Emergency Rooms (Walnut Creek and Concord)
- Sutter Health Emergency Room
- Contra Costa County Hospital Emergency Room
- Contra Costa County Mental Health clinics
- Day Labor Program
- AmTrak



APPENDIX C – New Chronically Homeless Definition

One of the sub-populations reported in this report are individuals that are chronically homeless. HUD modified the chronically homeless definition to better identify those with the highest needs for permanent supportive housing. The change in definition resulted in far fewer people identified as chronically homeless in the 2016 PIT Count.

HUD DEFINITION OF CHRONICALLY HOMELESS	
Old Definition	New Definition
<ul style="list-style-type: none"> • Has a disability • Experienced homelessness for longer than a year, during which time the individual may have lived in a shelter, Safe Haven, or a place not meant for human habitation. • Or experienced homelessness four or more times in the last three years. 	<ul style="list-style-type: none"> • Has a disability • First, in terms of length of homelessness, the four episodes now have to add up to 12 months. Before this new definition, an individual could technically be homeless four different days over a three-year period and be classified as chronically homeless. • Second, previously people who exited institutional care facilities after spending fewer than 90 days there would not have that period counted toward their homelessness. Now, it will be. • Third, the time between periods of homelessness has now been defined as seven days in order for the period of homelessness to constitute an “episode.” • Finally, HUD has clarified the ways in which service providers should verify whether an individual’s homelessness experience meets the definition of chronic homelessness.



A14

ATTACHMENT "B"

PANHANDLING

**SAY NO TO
PANHANDLING**



**CONTRIBUTE TO
THE SOLUTION
GIVE TO LOCAL CHARITIES**

ATTACHMENT "C"

September 2016
www.211database.org

East Contra Costa County Resource Guide



Abuse

CHILDREN

Children's Protective Services .. 1-877-881-1116

ADULTS

Adult Protective Services 1-877-839-4347
 Human Trafficking Prevention... 1-800-670-7273
 (Community Violence Solutions)
 Ombudsman of CCC..... 925-685-2070
 (For patients in long-term care facilities)

FAMILIES

STANDI For Families Free of Violence
 1-888-215-5555

AIDS/HIV

AIDS Info 1-800-448-0440
 Contra Costa AIDS Line 1-800-287-0200

Alcohol & Drug Abuse

Al-Anon..... 925-932-6770
 Alcohol & Other Drugs ACCESS 1-800-846-1652
 Alcoholics Anonymous..... 925-939-4155
 DUI Programs 925-932-8100
 (Alcohol & Drug Abuse Council of CCC)
 Narcotics Anonymous 925-685-4357
 Pueblos del Sol DUI Prgm(Bi-Bett)...925-240-7213

DETOX TREATMENT CENTERS

BAART—California Detox Pgm. .925-522-0124
 East County Wollam House..... 925-427-1384
 Pueblos del Sol (Men)..... 925-676-2580
 The Center for Recovery 925-674-4100
 Thunder Road Adolescent Treatment Center
 510-653-5040

TREATMENT / COUNSELING

REACH Project - Antioch 925-754-3673
 Oakley 925-679-2504
 Ujima East 925-427-9100

SMOKING CESSATION

California Smokers Helpline ... 1-800-662-8887
 Tobacco Helpline 1-800-844-2439

Animals

Antioch Animal Services..... 925-779-6989
 Contra Costa Humane Society . .925-279-2247
 Pet Food Assistance Program ... 925-676-7543

Child Care/Crisis Child Care

CC Child Care Council 925-778-5437
 Head Start Programs/Child Care Services
 (CCC Community Services Bureau).....925-427-8852

CRISIS CHILD CARE

Bay Area Crisis Nursery (Ages 0-5) ..925-685-8052
 Dahlstrom House (Ages 6-12) 925-685-3695

Death & Dying

Grief Counseling 1-800-837-1818
 (Contra Costa Crisis Center)
 Hospice of the East Bay 925-887-5678

Dental Care

Berkeley Free Clinic 1-800-625-4642
 Contra Costa Health Services Dental Clinics
 Bay Point Children's Dental..... 925-427-8302
 Pittsburg 925-431-2501
 Denti-Cal/Medi-Cal Dental Pgm . 1-800-322-6384
 La Clínica Pittsburg Dental Clinic. 925-431-1251
 University California San Francisco
 Dental School 415-476-1891

University of the Pacific Dental Clinic
 San Francisco 415-929-6501
 Union City..... 510-489-5200

Disability Services

California Children's Services..... 925-957-2680
 CA Dept. of Rehabilitation 925-754-7700
 Contra Costa ARC 925-370-1818
 Developmental Disabilities Council . 925-313-6836
 Futures Explored 925-825-0263
 Independent Living Resource... ..925-363-7293
 Regional Center of the East Bay ..925-691-2300
 Social Security..... 1-800-772-1213
 State Council on Developmental Disabilities
 Bay Area..... 510-286-0439
 We Care Services for Children . .925-671-0777

Education & Literacy

CCC Regional Occupational Program (ROP)
 925-942-3368
 Contra Costa County Library ... 1-800-984-4636
 Contra Costa County Office of Education
 925-942-3388
 Opportunity Junction 925-776-1133
 Project Second Chance..... 925-754-8317
 (Contra Costa Library)

ESL/GED/ADULT EDUCATION

Antioch Adult Education.....925-779-7490
 Liberty Adult Education..... 925-634-2565
 Pittsburg Adult Education.....925-473-4460

Emergency Services

American Red Cross 1-800-272-2237
 California Poison Control System 1-800-222-1222
 CCC Office Emergency Services ..925-646-4461
 Emergency Broadcast System..... KCBST40AM
 Hazardous Materials Incident Response
 925-335-3232
 Health Emergency Hotline..... 1-800-959-9911

Employment/Job Training

CalJOBS - Internetwww.caljobs.ca.gov
 Child Care Job Bank 925-676-5442
 (Child Care Council)
 Experience Unlimited 925-602-0166
 EASTBAY Works, America's Job Center of CA
 Antioch..... 925-706-4830
 Brentwood..... 925-634-2195
 Opportunity Junction..... 925-776-1133
 SparkPoint East Contra Costa . .925-252-2331
 (Bay Point Family Service Center)
 Unemployment Insurance, CA... 1-800-300-5616
 www.edd.ca.gov/Unemployment

Evictions/Rent Assist./Foreclosures

**EVICTIION NOTICE ASSISTANCE/ LANDLORD
 TENANT ASSISTANCE**
 ECHO Fair Housing 1-855-275-3246
 (except Concord, Pittsburg and Richmond)
 Pacific Community Services.....925-439-1056
 (Antioch, Pittsburg and Bay Point residents only)

EVICTIION COURT SUMMONS ASSISTANCE
 Bay Area Legal Aid..... 925-219-3325

FORECLOSURE ASSISTANCE

Concord Family Service Center . 925-825-3099
 (Catholic Charities of East Bay)
 Foreclosure Assistance – HUD 415-489-6400
 Housing & Economic Rights Advocates
 510-271-8443

National Foreclosure Hotline..... 1-888-995-4673
 Pacific Community Services925-439-1056

RENTAL ASSISTANCE

Concord Family Services Center..925-825-3099
 (Catholic Charities of the East Bay)
 Season of Sharing..... 925-521-5065
 SHELTER, Inc. 925-338-1038

Financial Assistance

CalWORKs (families) 1-877-505-4630
 General Assistance (Individuals)..1-877-505-4630

Food

CalFresh (Food Stamps)..... 1-877-505-4630
 EBT Card Services 1-877-328-9677
 Food Bank of Contra Costa & Solano
 Groceries, pantries, meals925-676-7543
 Food Pantries/Soup Kitchens..... 211
 Loaves & Fishes Dining Rooms .925-293-4792
 WIC Program – Brentwood 925-513-6880
 WIC Program – Pittsburg925-431-2460

Gay, Lesbian, Bisexual, Transgender

GLBT National Help Center..... 1-888-843-4564
 Rainbow Community Center..... 925-692-0090

Health Care

Advice Nurse 1-877-661-6230
 Contra Costa Health Services Health Centers
 Antioch, Bay Point, Brentwood 1-800-495-8885
 Health Care for the Homeless Mobile Van
 (CCHS) Call for locations/hours 925-313-6166

COMMUNITY CLINICS

Brighter Beginnings - Family Health Clinic
 Antioch..... 925-303-4780
 La Clínica Oakley..... 925-776-8240
 La Clínica Pittsburg 925-431-1251
 Mobile Health Clinic (John Muir).....925-363-7588
 Planned Parenthood – Antioch, Pittsburg
 1-800-230-7526
 RotaCare Clinic - Pittsburg 925-439-2009

HOSPITALS

Contra Costa Regional Medical Center
 925-370-5000
 Kaiser Medical Center 925-813-6500
 Sutter Delta Medical Center..... 925-779-7200

Health Insurance

Covered California 1-888-975-1142
 www.coveredca.com
 Child Health & Disability Prevention (CHDP)
 925-313-6150
 HICAP 1-800-510-2020
 (Health Insurance Counseling & Advocacy)
 Kaiser Child Health Plan 1-800-464-4000
 Medi-Cal/CalFresh Applications 1-800-709-8348
 Patient Financial Counseling..... 1-800-771-4270
 (Information on County health insurance programs)

Homeless

Bay Area Rescue Mission
 Men's Shelter.....510-215-4868
 Women & Family Shelter.....510-215-4860
 Berkeley Shelter Bed Hotline..... 1-866-960-2132
 Brookside Shelter (Richmond), Concord Shelter
 (singles only)..... 1-800-799-6599
 Calli House-Richmond (Youth, 14-21) 1-800-610-9400
 GRIP Resource Center..... 510-233-2141
 SHELTER, Inc.....925-338-1038

C1

Shepherd's Gate - Brentwood 925-308-7507

Housing

Housing Authority Public Housing Wait List
 (Except Richmond and Pittsburg) 925-957-8000
 Housing Authority - Pittsburg... .. 925-252-4830
 Housing Workshop/Shared Housing
 (Independent Living Resources) 925-363-7293
 Senior & Adults w/ Disabilities . 1-800-510-2020
 SHELTER, Inc. 925-338-1038

Immigrant & Refugee Services

Cash Assistance Program for Immigrants
 1-877-505-4630
 Immigration & Naturalization Services
 (Catholic Charities of the East Bay) 925-825-3099
 Immigration & Citizenship Program
 (International Institute of the Bay Area) ..925-237-8581
 Refugee & Immigrant Services . 925-927-2000
 (Jewish Family & Community Services of the East Bay)
 Refugee Health Program..... 925-313-6893
 U.S. Citizenship and Immigration Services
 1-800-375-5283

Information & Referral

2-1-1 Contra Costa..... 211
 (Contra Costa Crisis Center)
 Information & Assistance for Seniors &
 Dependent Adults..... 1-800-510-2020

Legal & Mediation Services

Bay Area Legal Aid..... 925-219-3325
 CCC Bar Association 925-825-5700
 CCC Dept. of Child Support..... 1-866-901-3212
 CC Senior Legal Services 925-609-7900
 Family Law Facilitator 925-646-4099
 (Divorce, Child Custody, Support, Paternity issues help)
 Victim Witness Assistance 925-957-8650

Low Cost Internet

Access from AT&T.....1-855-220-5211
 Comcast Internet Essentials 1-855-846-8376

Mental Health

Access Mental Health Appointment Line for
 Contra Costa County..... 1-888-678-7277
 Adolescent, Adult and Children's Psychiatric
 Programs 1-800-680-6555
 (John Muir Health Behavioral Health Center)
 Community Health for Asian Americans
 925-778-1667
 Contra Costa Crisis Center..... 1-800-833-2900
 Family Advocate Mental Health (CCHS)
 925-957-5139
 First Hope- CCHS 925-681-4450
 National Alliance for the Mentally Ill (NAMI)
 925-942-0767
 The Hume Center925-432-4118

Multi-Service Centers

SparkPoint East Contra Costa... 925-252-2300
 (Bay Point Family Service Center)

Parenting Classes

Antioch First 5 Center925-757-5303
 (Brighter Beginnings)
 Bay Point First 5 Center 925-709-0874
 C.O.P.E. Family Support Center...925-689-5811
 Liberty Adult Education.....925-634-2565

Pittsburg Adult Education.....925-473-4460

Pregnancy

Black Infant Health 925-313-6254
 (CCHS)
 Healthy Families America (CCHS)925-313-6254
 Healthy Start..... 925-431-2345
 Independent Adoption Center925-827-2229
 Planned Parenthood 1-800-230-7526
 Prenatal Care Guidance 925-313-6254
 (CC Health/First 5)
 Safely Surrendered Baby..... 1-800-833-2900
 Teen Success, Inc. 925-303-4340
 (Brighter Beginnings)

SUBSTANCE ABUSE & PREGNANCY

Ujima East..... 925-427-9100
 Wollam House 925-427-1384

Rape/Victims of Crime

Community Violence Solutions..1-800-670-7273
 Rape, Abuse & Incest National Network
 1-800-656-4673
 Victim Witness Assistance Program
 925-957-8650

Senior Services

Adult Day Services Network 925-682-1000
 Alzheimer's Association1-800-272-3900
 An Elderly Wish Foundation..... 925-978-1883
 CC Café (Hot lunch program)
 Antioch..... 925-757-7325
 Bay Point..... 925-458-2662
 Brentwood..... 925-634-5040
 Pittsburg 925-439-2136
 Eldercare Locator..... 1-800-677-1116
 Family Caregiver Alliance 1-800-445-8106
 Senior Outreach Services 925-937-8311
 Information & Assistance for Seniors &
 Dependent Adults..... 1-800-510-2020
 In-Home Personal Assistance.....925-945-8040
 (Diablo Valley Foundation for the Aging)
 Meals-on-Wheels 925-937-8607
 Medicare Hotline..... 1-800-633-4227
 Senior Food Program (Food Bank) Bay Point,
 Antioch, Brentwood, Oakley, Pittsburg..925-676-7543
 Senior Peer Counseling 925-521-5636
 Social Security..... 1-800-772-1213

Suicide

Contra Costa Crisis Center..... 1-800-833-2900
 National Suicide Hotlines 1-800-273-8255
 1-800-784-2433
 (Spanish)..... 1-877-784-2432

Teen Services

Alateen 925-932-6770
 California Youth Crisis Line 1-800-843-5200
 New Leaf Treatment Center 925-284-5200
 (Tratamiento de substancias)
 REACH Project, Inc Antioch 925-754-3673
 REACH Project, Inc Oakley..... 925-679-2504
 Teen Parenting Classes 925-634-2565
 (Liberty Adult Education)
 Teen Services/SAFE Place..... 1-800-718-4357
 (Northern California Family Center)
 Teen Success, Inc. 925-303-4340
 (Brighter Beginnings)

Transportation

Bay Area Travel Information..... 511
 BART 925-676-2278
 Dial-A-Ride..... 925-754-3060
 Tri-Delta Route Info 925-754-4040

Utility Assistance

California Alternate Rates for Energy (CARE)
 Program 1-866-743-2273
 Low-Income Home Energy Assistance
 Program (LIHEAP)..... 925-681-6380
 Medical Baseline Program Relief for Energy
 1-800-743-5000
 REACH- Utility Assistance Prgm...925-778-0808
 (Salvation Army-Antioch)
 Utility Shut-off Assistance 1-800-743-5000

Veterans

Contra Costa County Veterans Services
 925-313-1481
 Concord Veterans Center925-680-4526
 Martinez VA Outpatient Clinic925-372-2000
 SHELTER, Inc. 925-957-7579
 Veterans Suicide Hotline.....1-800-273-8255

Need help and don't know where to go?
 Call 211 or visit www.211database.org

C2

ATTACHMENT "D"



HOMELESS AMBULATORY CARE CLINICS

HOMELESS AMBULATORY CLINICS ARE NOW AVAILABLE AT:

MILLER WELLNESS CENTER: 2500 ALHAMBRA AVE., MARTINEZ- FRI AM
WEST COUNTY HEALTH CENTER: 13601 SAN PABLO AVE., SAN PABLO- TUES AM & FRI AM
ANTIOCH HEALTH CENTER: 2335 COUNTRY HILLS DRIVE, ANTIOCH- THURS AM

ALL RESPITE CLINICS: 2047D ARNOLD INDUSTRIAL WAY, CONCORD

RESPITE CARE CLINIC- MON AM, TUES AM, THURS AM, FRI AM/PM

RESPITE DENTAL CLINIC- TUES PM, WED AM/PM, THURS PM

RESPITE MENTAL HEALTH CLINIC- THURS PM

RESPITE LABORATORY CLINIC- 4TH WED AM

General Health Care, Including:

- Care for chronic diseases such as asthma, diabetes, heart disease and hypertension
- General Health Supervision
- Assistance in applying for health care coverage according to your eligibility
- Immunizations
- Behavioral Health Assessments
- Health Care Maintenance
- STD testing/HIV testing
- Pregnancy testing
- Physical Exams
- PCP/Medical home assignment
- Dental assessment

Referrals made for:

- Mammograms for women over 40
- Public health nursing
- Prenatal Care
- Ongoing Mental Health Services
- Alcohol and Drug Counseling

Contra Costa Health Services is committed to serving the homeless population of Contra Costa County.

**IF YOU ARE HOMELESS, CALL TO MAKE A HOMELESS
AMBULATORY CARE CLINIC APPOINTMENT.**

Call 925-313-6166

Someone will get back to you with an appointment within 24-48 hours. If it's an emergency please call **911**

Many services are covered by Medi-Cal. If you would like to receive information regarding Medi-Cal eligibility call the Social Services office in your area:
West County: Richmond 510-231-8114 Hercules 510-262-7700 Central County: 925-706-4980 East County: 925-706-4980

CLINICA MOVIL-HEALTH CARE FOR THE HOMELESS

Effectivo August 2015

ATTACHMENT "E"

LUNES	MARTES	MIERCOLES	JUEVES
<p><u>OESTE DEL CONDADO</u> 8:30am-11:30am Bay Area Rescue Mission "BARM" 224 Macdonald Ave. Richmond, CA 94801</p> <p>12:30pm-3pm Greater Richmond Interfaith Program "GRIP" 165 22nd St. Richmond, Ca 94801</p> <p><u>ESTE DEL CONDADO</u> 1pm-3:30pm Ambrose Center 3105 Willow Pass Rd. Bay Point, CA 94565</p>	<p><u>CENTRO DEL CONDADO</u> 8:30am-3:15pm Monument 4 corners Rite Aid Parking Lot 1905 Monument Blvd. Concord, CA 94520</p>	<p><u>OESTE DEL CONDADO</u> 1st, 3rd, 4th, & 5th Miercoles 1pm-3pm West County Multi Service Center 1515 Market St. Richmond, Ca.94806</p> <p>8:30am-11:30am 4th Miercoles Home Depot El Cerrito 11939 San Pablo Ave. El Cerrito, Ca 94805</p> <p><u>ESTE DEL CONDADO</u> 8:30am-3pm 1st, 3rd, 4th, & 5th Miercoles Don Brown Shelter Multi Service Center 1401 W. 4th St. Antioch, Ca. 94509</p>	<p><u>CENTRO DEL CONDADO</u> 8:30am- 12:00pm Trinity Center 1924 Trinity Ave Walnut Creek, CA 94596</p> <p><u>OESTE DEL CONDADO</u> 1pm-3pm Bay Area Rescue Mission "BARM" 224 Macdonald Ave. Richmond, CA 94801</p>
<p>*No Habra ninguna clinica Movil el Segundo miercoles del mes*</p>			<p>*Todo las clinicas moviles de Viernes estan cerrados al public*</p>

LA REGISTRACION DE LA CLINICA ES CONFORME VA LLEGANDO EL CLIENTE. LA CLINICA CIERRA CUANDO SE LLENA
 PARA PREGUNTAS POR FAVOR LLAMAR A 925-313-6166
 EL HORARIO PUEDE CAMBIAR

E1

HEALTH CARE FOR THE HOMELESS MEDICAL MOBILE TEAM SCHEDULE Effective August 2015

MONDAY	TUESDAY	WEDNESDAY	THURSDAY
<p><u>WEST COUNTY</u></p> <p>8:30am-11:30am Bay Area Rescue Mission "BARM" 224 Macdonald Ave. Richmond, CA 94801</p> <p>12:30pm-3pm Greater Richmond Interfaith Program "GRIP" 165 22nd St. Richmond, Ca 94801</p> <p><u>EAST COUNTY</u></p> <p>1pm-3:30pm Ambrose Center 3105 Willow Pass Rd. Bay Point, CA 94565</p>	<p><u>CENTRAL COUNTY</u></p> <p>8:30am-3:15pm Monument 4 corners Rite Aid Parking Lot 1905 Monument Blvd. Concord, CA 94520</p>	<p><u>WEST COUNTY</u></p> <p>1st, 3rd, 4th, & 5th Wednesday 1pm-3pm West County Multi Service Center 1515 Market St. Richmond, Ca. 94806</p> <p>8:30am-11:30am 4th Wednesday Home Depot El Cerrito 11939 San Pablo Ave El Cerrito, Ca 94805</p> <p><u>EAST COUNTY</u></p> <p>8:30am-3pm 1st, 3rd, 4th, & 5th Wednesday Don Brown Shelter Multi Service Center 1401 W. 4th St. Antioch, Ca. 94509</p> <p>*There is no mobile clinic the 2nd Wednesday of the month*</p>	<p><u>CENTRAL COUNTY</u></p> <p>8:30am-12pm Trinity Center 1924 Trinity Ave Walnut Creek, CA 94596</p> <p><u>WEST COUNTY</u></p> <p>1pm-3pm Bay Area Rescue Mission "BARM" 224 Macdonald Ave. Richmond, CA 94801</p> <p>*All Friday mobile clinics are closed to the public*</p>

CLINIC REGISTRATION IS ON A FIRST COME FIRST SERVE BASIS, REGISTRATION ENDS WHEN CLINIC IS FULL

For questions please call 925-313-6166 Schedule is subject to change

E2

ATTACHMENT "F"



Health Care for the Homeless

Homeless Dental Services

Hours of Service

Day	Hours
Tuesday	1:00pm-5:00pm
1 st , 4 th , & 5 th	8:00am-5:00pm
Wednesday	
2 nd	1:00pm-5:00pm
Wednesday	
3 rd	8:00am-12:00pm
Wednesday	
Thursday	1:00pm-5:00pm



Location

Concord Respite Clinic
2047 Arnold Industrial
Way Suite D
Concord, CA 94520
***Appointments
Required***



Giving you a
NEW reason
to smile!

Call to see if you are qualified for the homeless
dental clinic at: **(925) 646-5016**

ATTACHMENT "G"

CONTRA COSTA
HEALTH SERVICES

Homeless Clinic

Miller Wellness Center
25 Allen Street, Martinez

IF you are **HOMELESS**, You can walk-in or schedule an appointment every **Friday: 8am-12pm.**

Call **(925) 270-7451** or **(925) 313-6166**

to schedule an appointment, to see if you qualify, or to confirm availability.

Services Offered:

- Care for chronic diseases such as asthma, diabetes, heart disease
- Assistance in applying for health care coverage according to eligibility
- Immunizations
- Behavioral Health Assessments
- Health Care Maintenance

Referrals Made For:

- Public Health Nurse
- Ongoing Mental Health Services
- Alcohol and Drug Counseling

ATTACHMENT "H"

ORDINANCE NO. 2114-C-S

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ANTIOCH ADDING CHAPTER 21 TO TITLE 5 OF THE ANTIOCH MUNICIPAL CODE, DEALING WITH SHOPPING CART RETRIEVAL AND REMOVAL

The City Council of the City of Antioch does ordain as follows:

Section 1. Chapter 21 is hereby added to Title 5 of the Antioch Municipal Code, to read as follows:

CHAPTER 21. SHOPPING CART RETRIEVAL AND PREVENTION OF REMOVAL

5.21.101 Findings and Purpose.

- (A) In enacting this Chapter, the City hereby finds that abandoned shopping carts are unsightly, accumulate over time on public and private property causing blight and similar conditions resulting in reduction of property values, interfere with pedestrian and vehicular traffic and constitute a public nuisance detrimental to the public health, safety and welfare.
- (B) The purpose of this Chapter is to facilitate the removal of wrecked, dismantled and abandoned shopping carts and parts thereof from public and private property, to return carts to their rightful owners, and to ensure that measures are taken by cart owners to prevent the removal of shopping carts from store premises; collectively alleviating the safety hazards, unsafe conditions and the impairment of property values resulting from the abandonment of such carts. This Chapter implements the provisions of California Business and Professions Code Sec. 22435 et seq

5.21.102 Applicability.

This Chapter applies to:

- (A) Each business owner in the City of the business provides shopping carts for customer use at any one business location; and
- (B) Any person in possession of a shopping cart.

5.21.103 Definitions.

For the purposes of this Chapter, the following words and phrases shall have the following meanings:

- (A) "Director" means the Community Development Director;
- (B) "Off-site shopping cart" means any shopping cart or part thereof which has been removed from the premises of the owner of the shopping cart without the owner's written consent and which is located on either public or private property, except shopping carts which are removed from such premises for the purpose of

repair or maintenance and which are in the possession or custody of the party to whom they have been released.

- (C) "Owner" means any person, firm, partnership, corporation, association or other entity which owns, possesses or makes a shopping cart available for the use of the owner's customers or the public in connection with the management and operation of the owner's business. For purposes of this Chapter, "owner" shall also include the owner's on-site business manager or designated agent that provides shopping carts for use by owner's customers or the public.
- (D) "Premises" means the entire area owned, utilized or under the control of the business establishment that provides shopping carts for use by customers, including any parking area or other off-street area provided by or for use by a customer of said business establishment.
- (E) "Prevention of Shopping Cart Removal Form" means a form provided by the City to an owner of a business with a shopping cart that the owner must complete, providing contact information for the owner's business, information regarding the shopping carts owned by the business and information regarding methods used by the business owner to deter cart removal from the business premises. The information provided on the form shall be used to assist the City in notifying owners of found off-site shopping carts.
- (F) "Shopping cart" means a basket which is mounted on wheels of a similar device generally used in a retail establishment by a customer for transporting goods of any kind, including but not limited to, grocery store carts.
- (G) "Unidentifiable shopping cart" means any shopping cart that does not have a shopping cart identification sign as provided herein.

5.21.104 Shopping cart identification signs.

Every owner shall permanently affix to each shopping cart owned or provided by owner a sign that includes the following information:

- (A) The identity of the owner of the shopping cart or the business establishment to which it pertains, or both;
- (B) The City may only enforce the provisions of the following section of this Chapter if the sign on the shopping cart also includes the following information:
 - (1) A valid telephone number and address for returning the shopping cart to its owner or to the business establishment identified thereof;
 - (2) Notice to the public that the unauthorized removal of the shopping cart from the premises of the business establishment, or the unauthorized possession of the shopping cart, is a violation of State law.

5.21.105 Unauthorized removal or possession of a shopping cart.

It is unlawful for any person to do any of the following if a shopping cart has a permanently-affixed sign pursuant to Sec. 5.21.104:

- (A) To remove a shopping cart from the premises of a business establishment with the intent to temporarily or permanently deprive the owner of its possession.

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- (B) To leave or abandon a shopping cart at a location other than the premises of the retail establishment, with the intent to temporarily or permanently deprive the owner or retailer of possession of the shopping cart;
- (C) To alter, convert, or tamper with a shopping cart, or to remove any part or portion thereof, or to remove, obliterate or alter serial numbers on a shopping cart, with the intent to temporarily or permanently deprive the owner or retailer of possession of the cart.
- (D) To be in possession of any shopping cart while that shopping cart is not located on the premises of the owner's business establishment, with the intent to temporarily or permanently deprive the owner or retailer of possession of the shopping cart.

These provisions do not apply to the owner of a shopping cart, or to their agents or employees, or to a customer of a retail establishment who has written consent from the owner of a shopping cart to be in possession of the shopping cart or to remove the shopping cart from the premises of the owner's business establishment or to do any of the acts specified in this section.

5.21.106 Prevention of shopping cart removal form.

Every owner of a business establishment providing shopping carts to customers shall complete a Prevention of Shopping Cart Removal Form. The form shall be prepared and distributed by the Director.

5.21.107 Submission of form.

- (A) All owners of businesses which provide shopping carts for customer use shall submit a Prevention of Shopping Cart Removal Form to the Director within sixty (60) days after the effective date of the ordinance codified in this Chapter.
- (B) All new or relocated businesses which provide shopping carts for customer use shall submit a form to the Director within sixty (60) days after opening for business.

5.21.108 Notification to Owner of Off-site Shopping Cart.

- (A) The City shall use the information provided on the Prevention of Shopping Cart Removal Form to notify owner of any off-site shopping cart found within the City, and shall provide the owner with the location of the off-site shopping cart and shall also inform the owner that the off-site shopping cart must be retrieved within three business days from the date that the owner receives actual notice from the City of the cart's discovery and location. The City may abate, remove and impound an off-site shopping cart that has a sign affixed to it as set forth in Section 5.21.104 if the off-site shopping cart is not retrieved within three business days from the date the owner receives actual notice from the City of the shopping carts discovery and location.

- (B) Alternatively, the City may immediately abate, remove and impound an off-site shopping cart that has a sign affixed to it as set forth in Section 5.21.104 if the City provides the owner with actual notice within 24 hours following the impound and informs the owner of the location where the shopping cart may be claimed.
- (C) If any shopping cart will impede emergency services, the City may immediately retrieve the shopping cart from public or private property.
- (D) The City may, without notice, abate, remove, and impound any off-site shopping cart that lacks an affixed sign as required by Section 5.21.104 if the owner of the off-site shopping cart cannot readily be determined from viewing the cart. If the owner of the unidentifiable cart has not been ascertained after thirty (30) days in impound, the City may dispose of the cart and shall not be liable to any party for the value or loss of value of the cart.
- (E) Any impounded off-site shopping cart shall be marked with a tag indicating the date and location of its discovery and shall be held at a location selected by the City that is reasonably located to the owner's business establishment and that is open for business at least six hours of each City business day. The City is not liable to any party for any damage to a stored off-site shopping cart.
- (F) The owner of the off-site shopping cart, or agent, shall be provided actual notice within twenty-four (24) hours following the impound of any off-site shopping cart, informing the owner or agent as to the location where the cart may be claimed.
- (G) Any off-site cart reclaimed by the owner within three business days following the date the owner receives actual notice of the cart's discovery and location shall be released and surrendered to the owner at no charge whatsoever, including the waiver of any impound or storage fees or fines that would otherwise be applicable. Any off-site shopping cart not reclaimed by the owner within three business days shall be subject to any applicable impound and storage fees, commencing on the fourth business day following notice. The fee for impound and storage shall be established and modified by resolution of the City Council and shall include the actual cost of removal and storage of the cart, plus the proportionate share of administrative costs in connection therewith.
- (H) An off-site shopping cart shall be released to the owner or to a contractor hired by the owner for the purpose of retrieving the cart. There shall be a presumption that the off-site shopping cart is owned by the business establishment designated on the cart.
- (I) Any off-site shopping cart not reclaimed by the owner within thirty (30) days of receipt following the date of actual notice may be sold or disposed of. The City retains the right to collect any cost associated with disposal of the off-site cart along with any applicable fees or fines.

5.21.109 Fine, Sale and Disposal of Off-site Carts.

In addition to any other penalty or requirement set forth in this Chapter, any owner who fails to retrieve off-site shopping carts pursuant to this Chapter on three or more occasions within a specified six-month period shall be subject to a \$50.00 fine for each occurrence. An occurrence includes all off-site shopping carts owned by the owner that are impounded by the City within a one-day period. All penalties and fines shall be due and payable to the City within thirty (30) days after issuance of the penalty or fine.

Section 2. CEQA Findings.

This ordinance is exempt from CEQA per CEQA Guidelines Sec. 15061(b)(3), Review for Exemption, because it can be seen with certainty that the project will not have a significant effect on the environment, therefore the project is not subject to CEQA.

Section 3. Severability.

In the event any section or portion of this ordinance shall be determined to be invalid or unconstitutional, such section or portions shall be deemed severable and all other sections or portions hereof shall remain in force and effect.

Section 4. Effective Date and Publication.

This ordinance shall take effect and be in force thirty (30) days from and after the date of its passage. The City Clerk shall cause the ordinance to be published within fifteen (15) days after its passage in a newspaper of general circulation or by publishing a summary of the proposed ordinance and posting a certified copy of the proposed ordinance in the City Clerk's Office at least five (5) days prior to the City Council meeting at which the ordinance is to be adopted and within fifteen (15) days after its adopting, publishing a summary of the ordinance with the names of the Council members voting for and against the ordinance.

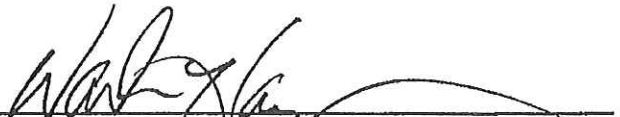
* * * * *


I HEREBY CERTIFY that the foregoing ordinance was introduced at a regular meeting of the City Council of the City of Antioch held on the 9th day of February 2016 and passed and introduced at a regular meeting thereof, held on the 23rd day of February 2016, by the following vote:

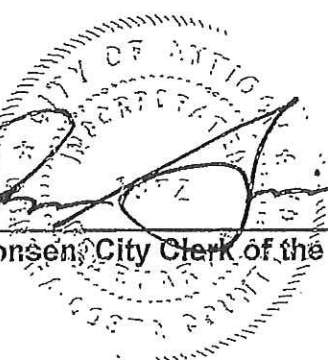
AYES: Council Members Wilson, Ogorchock, Tiscareno, Rocha and Mayor Harper

NOES: None

ABSENT: None


Wade Harper, Mayor of the City of Antioch

ATTEST:

Arne Simonsen, City Clerk of the City of Antioch



H5



August 18, 2016

Subject: Shopping Carts - Ordinance No. 2114-C-S

Store Management,

As you may be aware, the City of Antioch recently passed Ordinance No. 2114-C-S addressing shopping cart retrieval and removal. The objective of the Ordinance is twofold. First, the Ordinance will assist businesses in the retention and retrieval of shopping carts. The second is to prevent abandoned carts from being left in public streets, causing blight or inappropriate use.

As outlined in the Ordinance, all businesses offering shopping carts will be required to place an identifying sign on each cart that includes a valid telephone number, address of the cart's owner, and a notice to the public that the unauthorized removal of the cart from the premises, or the unauthorized possession of the cart off the premises is a violation of state law. This notice will allow the Antioch Police Department to issue citations to individuals in possession of shopping carts beyond the business property and will hopefully deter individuals from removing them in the first place.

In order for the City of Antioch to begin implementation of this Ordinance, we need each business that offers shopping carts to fill out and return the attached Cart Prevention Removal Form. Once retrieved, we will notify you with the information provided on the form, and will provide you with the number of carts being stored, their location, and the time needed to pick them up before any fees incur. Please note that the owner or authorized representative of the owner has 3 business days to pick up the carts free of charge. After the 3rd business day, there will be a \$50 charge per day, per cart.

When you have completed the Prevention Cart Removal Form, please return the form to 200 H Street, Antioch, CA 94509, 2nd Floor Community Development Department. Or, it can be mailed to: P.O. Box 5007, Antioch, CA 94531-5007. You may also contact me and I will be glad to pick up the completed form.

Once all forms have been returned, we can start collecting and assisting you in getting your carts back. If you have any questions or concerns, please feel free to contact me directly. A copy of the Ordinance is attached for your reference.

Thank you for your help,

Jeff Gallegos
Code Enforcement Officer
City of Antioch
925-779-6153
jgallegos@ci.antioch.ca.us

Community Development Department

P.O. Box 5007 • 200 H Street • Antioch, CA 94531-5007 • Tel: 925-779-7035 • Fax: 925-779-7034 • www.ci.antioch.ca.us

HG



Prevention Cart Removal Form

1. General Information (See also California B & P Code Section 22435)

Name of Business			
Name of Business or Corporate Owner			
Business Address			ZIP CODE
Name of On-Site Contact			
Phone Number for Contact by the City.			
Email for Contact			

2. Cart Inventory

<input type="checkbox"/> 0 - 25 Carts	<input type="checkbox"/> 50 or more Carts	Approximately How Many Carts? _____
<input type="checkbox"/> 26 - 50 Carts		

3. Community Outreach

Indicate how you will inform your customers that removing carts or being in possession of a cart outside of the store premises without written permission is a violation of Antioch Municipal Code Title 5 Chapter 21 and State law?	
<input type="checkbox"/> Signs posted near entrance doors or parking lot exits.	<input type="checkbox"/> Other: Please Describe (Attach additional sheets if necessary)

4. Cart Signage

<p>Every Cart owned or provided by any Owner must have a sign permanently affixed to the Cart <u>that contains all of the following information:</u></p> <ol style="list-style-type: none"> 1) <u>Identity of Owner, business establishment,</u> or both 2) <u>The address and or phone number</u> of the Owner of the business establishment for Cart return. 3) Notification that <u>the removal or possession of the Cart off the Premises is a violation of State Law</u> and that only <u>the legal means for removal is by written permission of the store owner.</u> <p>Provide a <u>Sample</u> of the statement to be used and affixed to carts to comply with the above Ordinance standards: If you are using stickers as signage, attach a sample sticker or a copy of the sticker or sign.</p>

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5. Loss Prevention Measures

Please describe the shopping cart loss prevention measures in use at this store that are likely to prevent cart removal from the premises.

<input type="checkbox"/> Wheel Locks, or other disabling devices	<input type="checkbox"/> Carts equipped with poles	<input type="checkbox"/> Clerks or Security personnel	<input type="checkbox"/> Security deposit for use of Cart
<input type="checkbox"/> Other: Please Describe			

6. Mandatory Retrieval

Each Prevention Plan requires a plan for cart retrieval within three business days upon notification by the City of Antioch. Include primary contact information.

Provide the name and phone number of whom the City of Antioch should contact for Cart Retrieval.

7. Employee Training

Please describe the annual method of employee training on the store's Abandoned Cart Prevention Plan.

<input type="checkbox"/> Staff Meetings	<input type="checkbox"/> Employee Orientation	<input type="checkbox"/> Other (describe below)
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To the best of my knowledge the above information is true and accurate.

 Signature (Store Representative) Print Name Title Date

Return completed form to:
City of Antioch
Code Enforcement
P. O. Box 5007
200 H Street Antioch Ca 94531-5007
Phone (925) 779-7042
Email:

Remember to:
 Check that all portions of the form are completed
 Attach additional pages if necessary

HS



UNLAWFUL POSSESSION OF SHOPPING CARTS

Recently there has been a lot of public interest in abandoned shopping carts found on city streets and public property. For the benefit Antioch's citizens here's a summary of the Antioch Municipal Codes and the California Business and Professions Codes pertaining to this problem:

B&P: 22435.2(f)

To be in possession of any shopping cart or laundry cart while that cart is not located on the premises or parking lot of a retail establishment, with the intent to temporarily or permanently deprive the owner or retailer of possession of the cart.

B&P: 22435.3

Any person who violates any provisions of this article is guilty of a misdemeanor.

AMC: 5.21.105(A-D)

(A) To remove a shopping cart from the premises of a business establishment with intent to temporarily or permanently deprive the owner of possession.

(B) To leave or abandon a shopping cart at a location other than the premises of the retail establishment, with the intent to temporarily or permanently deprive the owner or retailer of possession of the shopping cart.

(C) To alter, Convert, or tamper with a shopping cart, or to remove any part or portion thereof, or to remove, obliterate or alter serial numbers on a shopping cart, with the intent to temporarily or permanently deprive the owner or retailer of possession of the cart.

(D) To be in possession of any shopping cart while that shopping cart is not located on the premises of the owner's business establishment, with the intent to temporarily or permanently deprive the owner or retailer of possession of the shopping cart.

AMC: 1-2.01(b)

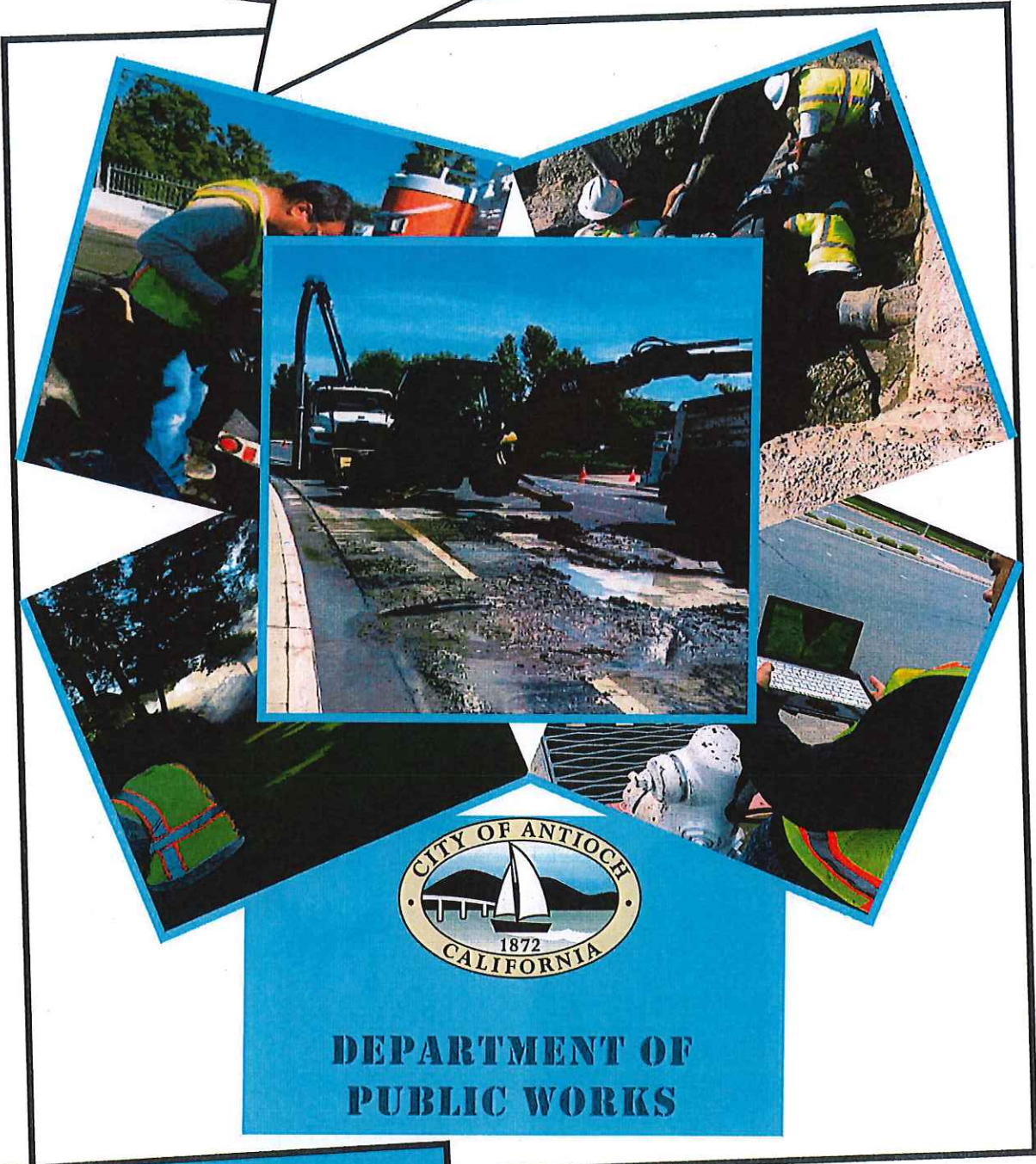
Of this section, pursuant to Cal. Gov't Code § 36900, every act prohibited or declared unlawful and every failure to perform any act required by this code shall be a misdemeanor.

Many shopping carts are taken from store properties after they are used to transport goods and are discarded on private property or on city streets. These carts present traffic, pedestrian and safety hazards to the surrounding neighborhoods.

For further information or to report abandoned shopping carts, contact the Antioch Code Enforcement Division at 925-779-7042.

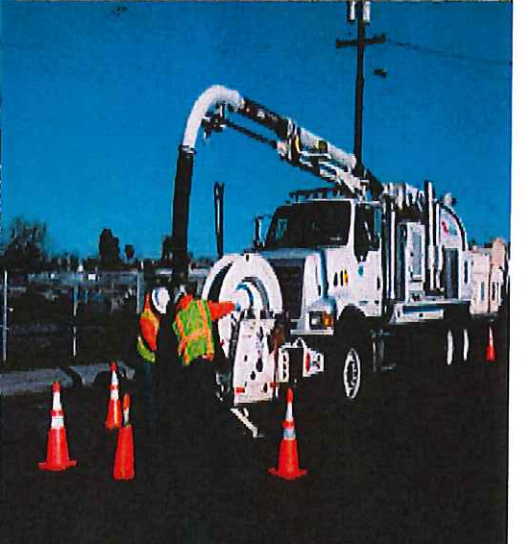
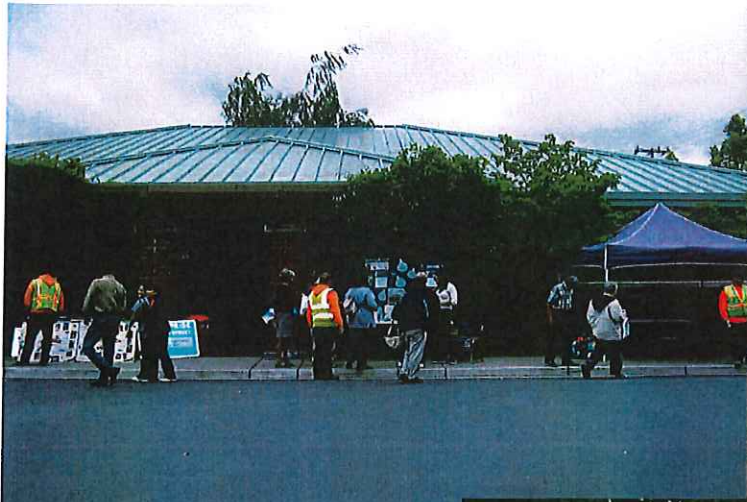
ATTACHMENT "I"

**CITY OF ANTIOCH
RESOURCE GUIDE**



#AntiochPublicWorks24/7

REVISED 10/16



CITY OF ANTIOCH

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DEPARTMENT OF PUBLIC WORKS

The **Public Works Department** is committed to serving our community to the utmost of our ability and appreciates every opportunity to partner with those who share our commitment towards improving our community.

If you receive a complaint, request or concern related to Public Works services, please share our contact options below with the reporting party.

Thank you for helping our customers connect with Public Works. Their feedback allows us the opportunity to address service related concerns in a timely manner.

PUBLIC WORKS CONTACT OPTIONS

Hours: Monday thru Friday 7 am – 4 pm
Website: www.ci.antioch.ca.us/CommentForms/publicworks.asp
Email: publicworks@ci.antioch.ca.us
Phone: 925-779-6950
925-778-2441 Emergency/Hazards After Hours
Mobile App: **GORequest** <http://www.govoutreach.com/>



- Easily report issues such as: street lights, graffiti, or potholes.
- GPS & camera uploads to send photos & location of the issue.
- Requests are automatically delivered to the City.
- Compatible with iPhone, Android, web or email.

** The following pages provide general information, contact information and websites of the responsible City departments, agencies and/or utility districts.*

EMERGENCY OR HAZARDOUS PUBLIC WORKS ISSUES

WHAT SHOULD I DO?

If you are reporting a water, sewer or other related hazard that requires immediate attention, please call (925) 779-6950, Monday thru Friday, 7 am – 4 pm.

On holidays and after normal hours, call Dispatch, at (925) 778-2441. The Public Works Department operates a 24-hour emergency response team to respond to emergencies outside of our normal hours of operations.



DROUGHT COMPLAINTS ON PRIVATE PROPERTY

Please contact the Water Conservation Hotline at (925) 779-6140; your report will be recorded and investigated, and you will only be contact if additional information is required. For City property, contact Public Works at (925) 779-6950.

FIRE ABATEMENT - PRIVATE PROPERTY

Overgrown weeds on private property is under the authority of the Contra Costa Fire Protection District (CCFPD). Please contact CCFPD at (925) 941-3300 or refer to the website, <http://www.cccfpd.org/administration.php>

FIRE ABATEMENT - PUBLIC PROPERTY (April - July)

The City's Fire Abatement Program is operated under Contra Costa Fire Protection District (CCFPD) mandates. This program services specific areas and phased work plans that begin in April and are expected to be complete by July 7th of each year. This vital safety program is provided with a disciplined work plan. Please refrain from reporting concerns until after July 1st. This will help keep the program moving as planned and allow the work crews and follow up inspections to be completed as scheduled. View mandates at CCFPD's website. Visit <http://www.cccfpd.org/administration.php>



GRAFFITI REMOVAL

The Public Works Department responds to graffiti on City owned property such as parks, streets, signs, street lights and mason retaining walls; please provide the address and description of the graffiti so that we can remove it as soon as possible.

The maintenance of wooden fences and structures within commercial or retail complexes is the responsibility of the property owner. Please contact Code Enforcement at (925) 779-7042 or visit:

<http://www.ci.antioch.ca.us/CityGov/CommDev/Code-Enforcement/>

ILLEGAL DUMPING

Public Property: Republic Services is responsible for disposing illegally dumped items on the public rights of way. Republic Services can be contacted at (925) 685-4711, option 2 for residential service.

Private Property: Blight, retail parking lots, homes contact Code Enforcement at (925) 779-7042 or visit the website at <http://www.ci.antioch.ca.us/CityGov/CommDev/Code-Enforcement/>



LANDSCAPE IRRIGATION AND MAINTENANCE

The Public Works Department repairs irrigation on City property, medians, and rights of way where no fronting private, commercial or retail property is present. All areas are on a routine maintenance schedule for trimming, landscaping and weed abatement. Contact Public Works at (925) 779-6950, when public landscapes block the public rights of way and traffic signs, or when irrigation leaks exist.

MARINA

Antioch's Municipal Marina is a pleasure boat marina operation. This involves renting berths, selling fuels and oils, and providing various public customer services. The Marina offers a new boat launch at its facility. Contact the Marina at (925) 779-6957 or visit antiochmarina@ci.antioch.ca.us.

PARKS

Public Works maintains 32 parks. Click the following link, [Park Maps](#) to see the various parks. Let your mouse hover over the parks on the map to see the distinct amenities at each location. URL for the site is <http://www.ci.antioch.ca.us/CityGov/PublicWorks/Parks/>. The parks are open from dawn to dusk, exact times are not available as crews are addressing maintenance issues during the process.

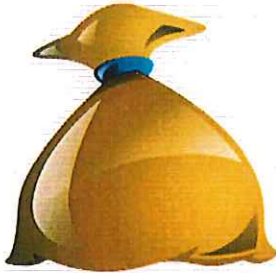
Park areas are available on a first come first serve basis, except for Antioch Community Park where some reservation-only spots are available by contacting the Recreation department. Athletic Fields are also administered by the Recreation department. Contact the Recreation department at (925) 776-3050 or online at <http://www.ci.antioch.ca.us/Recreation/parks.asp>.

POT HOLES

The Public Works Street crews maintain the roadways, repair potholes and remove road obstructions. When reporting a pot hole, please provide the specific location information and it will be repaired as soon as possible. Please contact Public Works immediately at (925) 779-6950.

RV STORAGE LOT

The City's municipal RV storage facility currently has space available for lease. For more details and information, contact publicworks@ci.antioch.ca.us or (925) 779-6950.



SANDBAGS

The City's sandbag station is located at the Public Works corporation yard at [1201 W. 4th Street \(enter at N Street\)](#). The station is self-serve; filled sandbags are \$1.00 each, empty bags are available for \$0.50 each. Quantities are limited to 20 per resident.

SEWER/COLLECTION SYSTEMS

If you experience a sewer overflow, DO NOT use ANY water or sewer utilities such as faucets, flushing toilets or home appliances, and contact Public Works at (925) 779-6950 *IMMEDIATELY*.

SHOPPING CARTS

Shopping carts are private property. To report ALL abandoned shopping carts, please contact Code Enforcement: (925) 779-7042, or refer to the website: <http://ci.antioch.ca.us/CityGov/CommDev/Code-Enforcement/>



SIDEWALK PROGRAM

Property owners are responsible for maintenance of sidewalks abutting their property. The City's sidewalk program is managed through Capital Improvements. Contact the Senior Development Services/ Engineering Technician at (925) 779-6128, or email srodriguez@ci.antioch.ca.us.

SIDEWALKS, CURBS AND GUTTERS RELATED TO UTILITY REPAIRS

Curb, gutter and sidewalk repairs resulting from Public Works performing utility service work is coordinated by the Public Works Inspector at (925) 779-6125 or email at khansen@ci.antioch.ca.us



STREET LIGHTS

The City's street lights are inventoried by a number located on the front of the pole. Contact Public Works at (925) 779-6950 to report an outage and provide the pole number and street address to help us respond to your report as quickly as possible.

STREET / ROAD CONDITIONS

All streets/roads in Antioch are rated and service is prioritized by conditions, funding, resources and impacts to vehicle traffic such as school and other commute schedules. The existing work plan schedule will only be adjusted if the street conditions override the existing priority rated service list. Contact the Associate Civil Engineer email at aabualy@ci.antioch.ca.us, or call (925) 779-6130 to request a street inspection.

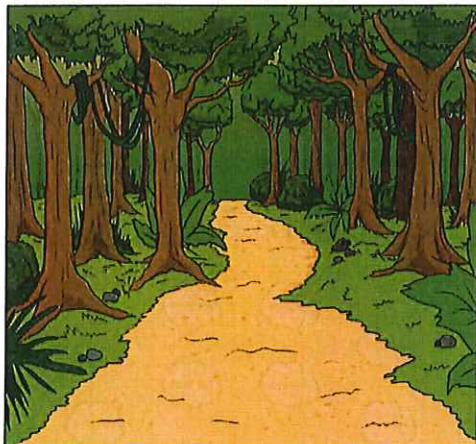


STREET SWEEPING

Provided by Delta Diablo at (925) 756-1900. A street sweeping schedule of City streets is available at www.ddsd.org.

TRAILS: [Trail Map – Antioch CA](#)

Delta DeAnza Trail is adjacent to the Contra Costa Canal is maintained by East Bay Regional Parks District (EBRPD). Please contact the responsible agency directly at http://www.ebparks.org/parks/trails/delta_deanza, or call (888) 327-2757.



Mokelumne Trail is adjacent to the East Bay Mud channels and pipeline. Public Works maintains the trail utilizing alternative labor through Contra Costa County Sheriff's department. All areas of the trail are on a service maintenance schedule; trimming, landscape and weed abatement are performed routinely as scheduled. Please report irrigation, hazardous or graffiti related issues to Public Works.

TREE MAINTENANCE ON PUBLIC RIGHTS OF WAY AND CITY-OWNED PARCELS

The Public Works Department manages public tree maintenance to address growth affecting public areas; the department does not trim trees to relieve limb growth and/or leaf drop from private property. Please contact Public Works at (925) 779-6950 if the issue you are reporting poses an imminent, dangerous condition, and the tree in question appears unstable or a threat to the public.

Trees in front of private property are mostly privately owned and related issues are to be reported to Code Enforcement (925) 779-7042 so that the property owner can be held responsible.

TREE REMOVAL PERMITS

Please visit our website to determine if a permit is required prior to removing trees on private property. <http://www.ci.antioch.ca.us/CityGov/PublicWorks/Tree-Removal-Permit-Request.pdf>. To expedite the process, please complete the permit and email pictures to publicworks@ci.antioch.ca.us.

UTILITY BOXES – GRAFFITI OR OTHER MAINTENANCE

The City does not track or have jurisdiction over an outside agency's service orders and maintenance requests. Contact Public Works for small utility boxes near trails and large utility boxes near traffic signals only; otherwise contact the responsible utility agency as described below:



- PG&E (800) 743-5000 [PG&E](#) - For dark green utility boxes or covers/doors in the ground.



- AT&T (866) 577-7726 - For light green utility boxes. (ATT does not provide web reporting.)

WATER LEAKS

The City operates a 24-hour emergency response team that resolves domestic water leaks. Please report water leaks on City property or rights-of-way, to Public Works at (925) 779-6950.

Water leaks on commercial, retail or private property contact Code Enforcement at (925) 779-7042 or online at <http://www.ci.antioch.ca.us/CityGov/CommDev/Code-Enforcement/>



WATER QUALITY

Questions related to taste and odor should be directed to the Water Quality Analyst, at (925) 779-7024 or email at lsarti@ci.antioch.ca.us

YARD SALES – CITY WIDE YARD SALE

The City sponsors a city wide yard sale usually held in the month of October. Look for flyers in your water bill and register to participate. Call (925) 779-7097 to register or go online at <http://www.antiochyardsales.com/>.



OTHER AGENCY SERVICES & CONTACT INFORMATION

FRUIT VENDORS

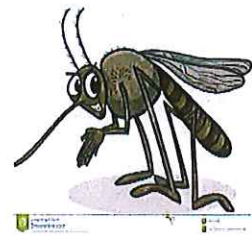
Please contact the Environmental Health Division of Contra Costa Health Services, at (925) 692-2550 or visit the website at <http://cchealth.org/eh/contact-us.php> to email the agency.

HIGHWAY ON/OFF RAMPS – ADJACENT SIGNS, SIGNALS, IRRIGATION & LANDSCAPE

Public Works does not have jurisdiction over outside agency's service orders, for reference purposes please contact CalTrans directly at <http://www.dot.ca.gov/dist4/d4address.htm>

MOSQUITOES, RODENTS / PESTS

Contact Public Works for rodent/squirrel abatement at City Parks only. Otherwise contact: Contra Costa Mosquito & Vector Control District 155 Mason Circle Concord, CA 94520, or call (925) 685-9301 for rodents press 3 then 4; <http://www.ccmvcd.dst.ca.us/contact.htm>



SCHOOL DISTRICT MAINTENANCE

Visit the website at <http://www.antioch.k12.ca.us/maintenanceandoperations> or call (925) 779-7600 ext 13095

RAILROAD TRACKS

Burlington Northern Santa Fe Railway DOT #029683D. Tracks run nearest to the river and easterly towards Wilbur Ave. <http://www.bnsf.com/about-bnsf/contact-us/>

Union Pacific – tracks on Auto Center Dr. and then running south east (including south of Wilbur Avenue.) Please call (888) 877-7267 or go to the following website: <https://www.up.com/aboutup/contact/>

DEPARTMENT	DIVISIONS	SERVICE HOURS	CONTACT INFO
ADMINISTRATION	City Manager City Attorney City Clerk City Treasurer	Mon. - Fri. 8am to 5pm	200 H Street (925) 779-7000 Main Website: http://www.ci.antioch.ca.us/CityGov/Administration/
COMMUNITY DEVELOPMENT	Building Division (CD) Code Enforcement (CE) Planning (CD)	Mon. - Fri. 8am to 11:30am. *Staff is available from 1pm to 5pm by appointment only. Please call for an appointment.	200 H Street, 2nd Flr (925) 779-7065 Main Website: http://www.ci.antioch.ca.us/CityGov/CommDev/ Building: (925) 779-7065 Website: http://ci.antioch.ca.us/CityGov/CommDev/BldgDiv.htm Code Enforcement: (925) 779-7042 Website: http://ci.antioch.ca.us/CityGov/CommDev/Code-Enforcement/ Planning: (925) 779-7035 Website: http://ci.antioch.ca.us/CityGov/CommDev/PlanningDivision/
ECONOMIC DEVELOPMENT	Economic Development	Mon. - Fri. 8am to 5pm	200 H Street, 3rd Flr (925) 779-6168 Main Website: http://ci.antioch.ca.us/CityGov/Finance/EconDev/

DEPARTMENT	DIVISIONS	SERVICE HOURS	CONTACT INFO
FINANCE	Accounts Payable Accounts Receivable Alarm Permit Fees Business License Finance Customer Service Invoices Payable to City Water Accounts	Mon. – Fri. 8:30am to 4:30pm	200 H Street, 1st Flr (925) 779-7055 Main (925) 779-7059 Business License (925) 779-7060 Water Accounts Main Website: http://www.ci.antioch.ca.us/CityGov/Finance/ Business License Website: http://www.ci.antioch.ca.us/CityGov/Finance/BusLic.htm Water Services Website: http://www.ci.antioch.ca.us/CityGov/Finance/Water/
HUMAN RESOURCES	Human Resources	Mon., Tues., Fri., 8am to 4:30pm Wed. 1pm to 4:30pm	200 H Street, 1st Flr (925) 779-7000 Website: http://www.ci.antioch.ca.us/Human-Resources/
MARINA	Municipal Marina	Mon. – Fri. 8am to 4pm Sat. & Sun. 8am to 5pm	5 Marina Plaza (925) 779-6957 Website: http://www.ci.antioch.ca.us/antioch-marina/
POLICE	Abandon Auto Alarm Permits Animal Services VIP Program Chaplaincy Records Road Side Memorials	Mon. – Fri. 9 am to 1pm See website for all PD services.	300 L. Street Emergency: 911 (925) 779-6900 Website: http://www.ci.antioch.ca.us/CityGov/Police/

DEPARTMENT	DIVISIONS	SERVICE HOURS	CONTACT INFO
POLICE - Cont'd			<p>Website: http://www.ci.antioch.ca.us/CityGov/Police/AntiochAnimalSvcs/</p> <p>Abandoned Cars: (925) 779-6981</p> <p>Alarm Permits: (925) 779-6819</p>
PUBLIC WORKS	<p>Facilities Fleet GIS Landscaping NPDES Parks Sewer Streets Water</p> <p>Capital Improvements Sidewalk Program</p> <p>Engineering and Development Services</p>	<p>Mon. – Fri. 7am to 4pm</p> <p>Field Operations: 24 Hour Emergency Services</p> <p>Mon - Fri 8am to 5pm</p> <p>Mon - Fri 8am to 5pm</p>	<p>1201 W 4th Street (925) 779-6950 (925) 778-2441, after 4 pm</p> <p>Email: publicworks@ci.antioch.ca.us</p> <p>Website: http://www.ci.antioch.ca.us/CityGov/PublicWorks/</p> <p>200 H Street, Basement (925) 779-7050</p> <p>Main Website: http://www.ci.antioch.ca.us/CityGov/CapitalImp/CIP/</p> <p>200H Street, 2nd Flr (925) 779-7065</p> <p>Main Website: http://ci.antioch.ca.us/CityGov/CommDev/Engineering/</p>

DEPARTMENT	DIVISIONS	SERVICE HOURS	CONTACT INFO
RECREATION	Antioch Community Center	Mon. – Fri. 8:30am to 5pm	4703 Lone Tree Way (925) 776-3050 Water Park: (925) 779-3070
	Antioch Water Park	Open Memorial Day through Labor Day; see Website for seasonal facility hours of operation.	Website: http:// www.ci.antioch.ca.us/ Recreation/ Water Park Website: http:// www.ci.antioch.ca.us/CitySvcs/ Prewett/
	Sports Fields Classes and Programs	See Website for seasonal facility hours of operation.	213 F Street (925) 776-7070 415 West 2nd Street (925) 778-1158 Website: http:// www.ci.antioch.ca.us/ Recreation/seniors.asp
	Nick Rodriguez Community Center	By appointment only	
	Antioch Senior Center	Mon. – Thurs. 8am to 4pm & Fri. 8am to 3pm	

**PUBLIC WORKS CREW
MEMBERS AT WORK!!!**

On December 18, 2015, Public Works crew members tackle repairing a leaking cast iron 24" transmission main at Texas and "b" Street.

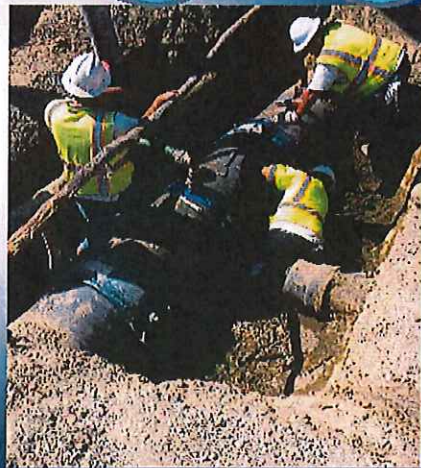
There is no job too big or too difficult for the Public Works crews. They handle each event with professionalism and the greatest work ethic.

Keep up the good work Team!

#CityofAntiochPublicWorks24/7.



**CITY OF ANTIOCH
PUBLIC WORKS
DEPARTMENT**



Getting the Job Done!!!
Above: Water Distribution crews excavate a ruptured 12" water main on Vista Grande.
Right: Water Distribution crews repair a 24" water main on Tregallas Rd.

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#AntiochPublicWorks24/7

*Public Works is Committed to
Enhancing the
Quality of Life in our Community
through
Quality Service,
Effective Management of
Resources.*



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E-mail: publicworks@ci.antioch.ca.us