



Council Chambers  
200 H Street  
Antioch, CA 94509

Closed Session - 4:45 P.M.  
Special Meeting/Workshop - 5:30 P.M.  
Regular Meeting - 7:00 P.M.

# ANNOTATED AGENDA

for

APRIL 10, 2018

## Antioch City Council Special Meeting/Workshop and Regular Meeting

Sean Wright, Mayor  
Lamar Thorpe, Mayor Pro Tem  
Monica E. Wilson, Council Member  
Tony Tiscareno, Council Member  
Lori Ogorchock, Council Member

Arne Simonsen, CMC, City Clerk  
Donna Conley, City Treasurer

Ron Bernal, City Manager  
Derek Cole, Interim City Attorney

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**With Project Plans at:** <http://ci.antioch.ca.us/CityGov/CommDev/PlanningDivision/docs/Project-Pipeline.pdf>  
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### Notice of Availability of Reports

This agenda is a summary of the actions proposed to be taken by the City Council. For almost every agenda item, materials have been prepared by the City staff for the Council's consideration. These materials include staff reports which explain in detail the item before the Council and the reason for the recommendation. The materials may also include resolutions or ordinances which are proposed to be adopted. Other materials, such as maps and diagrams, may also be included. All of these materials are available at the City Clerk's Office, located on the 3<sup>rd</sup> Floor of City Hall, 200 H Street, Antioch, CA 94509, during normal business hours for inspection and (for a fee) copying. Copies are also made available at the Antioch Public Library for inspection. Questions on these materials may be directed to the staff member who prepared them, or to the City Clerk's Office, who will refer you to the appropriate person.

### Notice of Opportunity to Address Council

The public has the opportunity to address the Council on each agenda item. To address the Council, fill out a yellow Speaker Request form, available on each side of the entrance doors, and place in the Speaker Card Tray. See the Speakers' Rules on the inside cover of this Agenda. Comments regarding matters not on this Agenda may be addressed during the "Public Comments" section.

**4:47 P.M. ROLL CALL – CLOSED SESSIONS – for Council Members – *All Present***

**PUBLIC COMMENTS** for Closed Sessions – *None*

#### **CLOSED SESSIONS:**

- 1) **CONFERENCE WITH LEGAL COUNSEL ANTICIPATED LITIGATION** – Potential Litigation pursuant to Election Code 14025: California Voter Rights Act Demand Letter.

*No reportable action*

- 2) **CONFERENCE WITH REAL PROPERTY NEGOTIATORS** pursuant to California Government Code section 54956.8: Orton/Libitzky owned Assessor's Parcel Numbers (APN No.'s): 066-110-009; 074-040-035; 066-101-001. City and Agency Negotiator, City Manager Ron Bernal; Parties – Orton/Libitzky, Antioch Marina LLC.

*Direction given to City Manager*

- 3) **CONFERENCE WITH REAL PROPERTY NEGOTIATORS** pursuant to California Government Code section 54956.8: City and Agency Negotiator, City Manager Ron Bernal; Parties – City Ventures.

*Direction given to City Manager*

- 4) **PUBLIC EMPLOYEE PERFORMANCE EVALUATION: City Manager.** This closed session is authorized pursuant to Government Code section 54957.

*No reportable action*

**5:36 P.M. ROLL CALL – SPECIAL MEETING/WORKSHOP – for Council Members – *All Present***

#### **PLEDGE OF ALLEGIANCE**

#### **SPECIAL MEETING/WORKSHOP**

1. RECEIPT OF PUBLIC INPUT REGARDING THE DRAFTING OF A PROPOSED MAP OR MAPS FOR A DISTRICT-BASED SYSTEM OF ELECTING ANTIOCH CITY COUNCIL MEMBERS

*Direction to move forward with Working Draft 1 and Quadrant Map C*

Recommended Action: It is recommended that the City Council receive public input regarding the drafting of a proposed map or maps for a district-based system of electing Antioch City Council members.

STAFF REPORT

6:56 P.M. ADJOURNED SPECIAL MEETING/WORKSHOP

7:14 P.M. ROLL CALL – REGULAR MEETING – for Council Members – *All Present*

**OPEN AND CLOSE MEETING IN HONOR OF TIQUE LEE CAUL**

**PLEDGE OF ALLEGIANCE**

**2. PROCLAMATIONS**

- Keep Antioch Beautiful Day, April 21, 2018
- Arbor Day, April 27, 2018

STAFF REPORT

STAFF REPORT

**Approved, 5/0**

Recommended Action: It is recommended that the City Council approve the proclamations.

**ANNOUNCEMENTS OF CIVIC AND COMMUNITY EVENTS**

**ANNOUNCEMENTS OF BOARD AND COMMISSION OPENINGS**

- *CONTRA COSTA TRANSPORTATION AUTHORITY-CITIZENS ADVISORY COMMITTEE*
- *SALES TAX CITIZENS' OVERSIGHT COMMITTEE*
- *BOARD OF ADMINISTRATIVE APPEALS, ALTERNATE*
- *POLICE CRIME PREVENTION COMMISSION*

**PUBLIC COMMENTS** – *Members of the public may comment only on unagendized items. The public may comment on agendized items when they come up on this Agenda.*

**CITY COUNCIL COMMITTEE REPORTS**

**MAYOR'S COMMENTS**

**PRESENTATION** – *Choice in Aging – Contra Costa Aging Policy Platform, presented by President & CEO Debbie Toth*

STAFF REPORT

**3. CONSENT CALENDAR**

**A. APPROVAL OF COUNCIL SPECIAL MEETING/WORKSHOP MINUTES FOR MARCH 24, 2018**

**Approved, 5/0**

Recommended Action: It is recommended that the City Council approve the Special Meeting/Workshop Minutes.

STAFF REPORT

**B. APPROVAL OF COUNCIL MINUTES FOR MARCH 27, 2018**

**Approved, 5/0**

Recommended Action: It is recommended that the City Council approve the minutes.

STAFF REPORT

**C. APPROVAL OF COUNCIL WARRANTS**

**Approved, 5/0**

Recommended Action: It is recommended that the City Council approve the warrants.

STAFF REPORT

**CONSENT CALENDAR – Continued**

- D. RESOLUTION RESCINDING RESOLUTION NO. 2018/21 AMENDING THE FY17/18 MASTER FEE SCHEDULE REGARDING RECORDATION AND RELEASE OF LIENS

**Reso No. 2018/44 adopted, 5/0**

Recommended Action: It is recommended that the City Council adopt the resolution rescinding Resolution No. 2018/21 regarding amendment to FY17/18 Master Fee Schedule and Recordation and Release of Liens.

STAFF REPORT

- E. RESOLUTION ESTABLISHING THE RATE PER EQUIVALENT RUNOFF UNIT FOR FISCAL YEAR 2018/19 AND REQUESTING THE CONTRA COSTA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT TO ADOPT AN ANNUAL PARCEL ASSESSMENT FOR DRAINAGE MAINTENANCE AND THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM PROGRAM

**Reso No. 2018/45 adopted, 5/0**

Recommended Action: It is recommended that the City Council adopt the resolution establishing a rate of twenty-five dollars (\$25) per equivalent runoff unit (ERU) for fiscal year (FY) 2018-19. That rate will generate the funds used to maintain storm water quality as mandated by the Clean Water Act.

STAFF REPORT

- F. SECOND AMENDMENT TO THE CONSULTANT SERVICE AGREEMENT WITH KAPSCH TRAFFICOM USA, INC. FOR SUPPORT SERVICES RELATED TO THE WATER TREATMENT PLANT DISINFECTION IMPROVEMENTS (P.W. 246-29)

**Reso No. 2018/46 adopted, 5/0**

Recommended Action: It is recommended that the City Council adopt the resolution authorizing the City Manager to execute the second amendment to the Consultant Service Agreement with Kapsch Trafficom USA, Inc. for support services related to the Water Treatment Plant Disinfection Improvements in the amount of \$25,000 for a total contract amount of \$74,999.

STAFF REPORT

**PUBLIC HEARING**

4. INTRODUCTION AND WAIVER OF FIRST READING OF AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ANTIOCH ENACTING SECTION 2-1.303 OF TITLE 2 OF THE ANTIOCH MUNICIPAL CODE ADOPTING A BY-DISTRICT SYSTEM FOR ELECTING MEMBERS OF THE CITY COUNCIL

**Council approved Option #2 when Ordinance was introduced,  
To 05/08/18 for adoption, 5/0**

Recommended Action: It is recommended that the City Council introduce and waive the First Reading of an Ordinance of the City Council of the City of Antioch Enacting Section 2-1.303 of Title 2 of the Antioch Municipal Code Adopting a By-District System for Electing Members of the City Council.

STAFF REPORT

9:43 P.M.  
9:58 P.M.

**ADJOURNED TO BREAK  
RECONVENE. ROLL CALL for Council Members – All Present**

**PUBLIC HEARING – Continued**

5. OAKLEY KNOLLS (PD-15-01): DISCOVERY BUILDERS REQUESTS APPROVAL OF A VESTING TENTATIVE SUBDIVISION MAP, FINAL DEVELOPMENT PLAN, AND PLANNED DEVELOPMENT REZONE TO PERMIT THE DEVELOPMENT OF A 28-UNIT RESIDENTIAL SUBDIVISION

Recommended Action: It is recommended that the City Council take the following actions:

**Reso No. 2018/47 adopted,**

- 1) Adopt the Resolution adopting the Oakley Knolls Initial Study and Mitigated Negative Declaration; and

**To 04/24/18 for adoption, AND**

- 2) Introduce the Ordinance for a zoning map amendment from Planned Development District (PD) to Planned Development District (PD-15-01); and

**Reso No. 2018/48 adopted as amended,  
3/2 (Wilson, Thorpe)**

- 3) Adopt the Resolution approving a Vesting Tentative Map/Final Development Plan subject to conditions of approval.

STAFF REPORT

**10:55 P.M. – COUNCIL'S CONSENSUS TO HEAR ITEM #6 AND TO CONTINUE ITEMS #7, #8 AND #9 TO A FUTURE NEXT MEETING**

**COUNCIL REGULAR AGENDA**

6. UPDATE OF THE WATER AND SEWER RATE FEE STUDY (P.W. 362-8)

**Direction provided to staff**

Recommended Action: It is recommended that the City Council provide direction to staff regarding the recommended water and sewer rates, fees and charges.

STAFF REPORT

7. INFORMATION ON SECTION 115 TRUST FOR PENSIONS

Recommended Action: It is recommended that the City Council discuss and direct staff regarding the establishment of a Section 115 trust for pension obligations.

STAFF REPORT

8. CONSIDERATION OF PROJECTS UNDER THE ONE-TIME REVENUE POLICY

Recommended Action: It is recommended that the City Council discuss and allocate one-time revenues to projects.

STAFF REPORT

9. APPROVE A CIVIC ENHANCEMENT GRANT PROGRAM TO SUPPORT COMMUNITY EVENTS AND IMPROVEMENT PROJECTS

Recommended Action: It is recommended that the City Council approve a Civic Enhancement Grant Program to support community events and improvement projects that originate with nonprofit organizations.

STAFF REPORT

**PUBLIC COMMENT**

**STAFF COMMUNICATIONS**

**COUNCIL COMMUNICATIONS AND FUTURE AGENDA ITEMS** – *Council Members report out various activities and any Council Member may place an item for discussion and direction on a future agenda. Timing determined by Mayor and City Manager – no longer than 6 months.*

**ADJOURNMENT – 12:01 A.M.**



## STAFF REPORT TO THE CITY COUNCIL

**DATE:** Special Meeting of April 10, 2018

**TO:** Honorable Mayor and Members of the City Council

**SUBMITTED BY:** Derek P. Cole, Interim City Attorney DC

**SUBJECT:** Receipt of public input regarding the drafting of a proposed map or maps for a district-based system of electing Antioch City Council members

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### **RECOMMENDED ACTION**

It is recommended that the City Council receive public input regarding the drafting of a proposed map or maps for a district-based system of electing Antioch City Council members.

### **STRATEGIC PURPOSE**

The proposed action is consistent with Strategy N-1: Effectively and efficiently provide legal services in support of the City's policies, procedures, and initiatives.

### **FISCAL IMPACT**

None.

### **DISCUSSION**

On the Regular Session Agenda for this meeting, the Council will consider the introduction of an ordinance implementing a districting election system for the four City Council positions. The Staff Report for that agenda item provides a more thorough summary of the issues the Council has discussed to date regarding the proposed transition away from its current at-large election system.

The purpose of this agenda item is to allow the Council to take additional public testimony regarding Working Drafts No. 1 and Quadrants Map B. The City's demographer will be present and will be available to make additional changes to any of these maps using the special software she has for districting work she performs. In particular, at the last meeting, some councilmembers expressed a desire to have refinements made to Quadrants Map B, and this workshop item will provide that opportunity.

Assuming the City introduces the ordinance scheduled for consideration on the Regular Agenda of the April 10, 2018 meeting, the Council will need to adopt a final district map at the same meeting it enacts the ordinance. *(As noted in the separate staff report for*

*the ordinance, the Council is now scheduled to consider adoption of the ordinance at its May 8, 2018 meeting, as it has received an extension of time to complete the conversion process under the California Voting Rights Act.) For this reason, the Council should make every effort following the consideration of this item to narrow down the map it would like to consider for final adoption.*

**ATTACHMENTS**

None





**KEEP ANTIOCH BEAUTIFUL DAY  
SATURDAY, APRIL 21, 2018**

*WHEREAS, Nine years ago Councilmember Martha Parsons along with several Antioch civic leaders and volunteers pitched in to clean up our community by creating the Citywide clean-up event known as Keep Antioch Beautiful Day; and*

*WHEREAS, Keep Antioch Beautiful Day has grown into a signature event that also recognizes Earth Day, a national celebration for more than forty-six years; and*

*WHEREAS, Earth Day and Keep Antioch Beautiful Day educates and inspires people to create a cleaner environment through community engagement and the positive power of teamwork; and*

*WHEREAS, Volunteers of all ages and abilities will join together to pick up garbage and litter in community parks, local trails, streets and roadways, and recreational areas throughout the City of Antioch; and*

*WHEREAS, the Keep Antioch Beautiful Day program awards cash prizes to the Antioch Schools with the highest number of volunteers participating on April 21<sup>st</sup>; and*

*WHEREAS, the City of Antioch recognizes the volunteerism and community service that regularly occurs throughout the year, especially during the month of April, and encourages community groups, faith-based organizations, families and neighbors, and schools to make a difference in the community by donating just a few hours to pick up litter.*

*NOW, THEREFORE, I, SEAN WRIGHT, Mayor of the City of Antioch, do hereby proclaim April 21, 2018 as the Ninth Annual “Keep Antioch Beautiful Day” Citywide clean-up and call on all our residents to volunteer and make a difference by beautifying the City of Antioch.*

**APRIL 10, 2018**

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**SEAN WRIGHT, Mayor**

**2.01**  
**04-10-18**



**ARBOR DAY**  
**FRIDAY, APRIL 27, 2018**

**WHEREAS,**

*In 1872, J. Sterling Morton proposed to the Nebraska Board of Agriculture that a special day be set aside for the planting of trees; and*

**WHEREAS,**

*this holiday, called Arbor Day, was first observed with the planting of more than a million trees in Nebraska; and*

**WHEREAS,**

*trees can reduce the erosion of our precious topsoil by wind and water, cut heating and cooling costs, moderate the temperature, clean the air, produce life-giving oxygen, and provide habitat for wildlife; and*

**WHEREAS,**

*trees are a renewable resource giving us paper, wood for our homes, fuel for our fires, and beautify our community; and*

**WHEREAS,**

*the City of Antioch has been named Tree City USA for the thirteenth consecutive year; and*

**WHEREAS,**

*the City of Antioch will be celebrating Arbor Day with a tree planting on April 27, 2018, 3:00 p.m. with the Riverview Garden Club and Boy Scout Troop 247 at Mira Vista Park, Antioch.*

**NOW, THEREFORE, I, SEAN WRIGHT, Mayor of the City of Antioch, do hereby proclaim April 27, 2018 as ARBOR DAY in the City of Antioch and urge all citizens to celebrate Arbor Day and to support efforts to protect our trees and woodlands.**

**APRIL 10, 2018**

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**SEAN WRIGHT, Mayor**

**2.02**  
**04-10-18**

# Age Friendly Community

Presentation  
04-10-18

# Growth of California

- ▶ 7,000 Californians turn 65 every week;
  - ▶ 30,000 people per month
  - ▶ 365,000 people per year
- ▶ 20% of Californians will be 65 years or older in 2030
- ▶ Fastest growing segment is age 85 and older

## Contra Costa's Aging Population in 40 years:

Ages 65 – 74 will grow by **125%**

Ages 75 – 84 will grow by **198%**

Ages 85 years and older will grow by **299%**

# Senior Aging Policy Platform Contra Costa County

## Shared understanding of:

- Demographic trends
- Living environment
- Health conditions and access to care issues

## Articulation of a policy platform:

- To improve service access
- To improve service quality and overall quality of life for seniors

## Endorsement of a strategic plan:

- Outline of specific strategies
- Steps to achieve the policy platform.

# Learning Lab Goals:

- Understand elements that create age-friendly communities:
  - Public space
  - Transportation
- Identify age-friendliness barriers in Contra Costa County
- Develop and Assess ideas to become more age-friendly:
  - Transportation project ideas
  - Public space-related project ideas





**Contra Costa's**

**Potential Goal**

**Can Be An**

**Age-Friendly Community that is  
welcoming to all whether one is  
eight years-old or 80 years-old.**



**We need to stop  
building cities as  
though everyone  
is 30 years old  
and athletic.**

**-Gil Penalosa  
Founder & Chair of 8 80 Cities**

**Thank you!**

The background features abstract, overlapping geometric shapes in various shades of green, ranging from light lime to dark forest green. These shapes are primarily located on the right side of the frame, creating a modern, layered effect against the white background.

**Contra Costa Senior Policy Platform**  
**Policy Platform 2020**  
*September 2016*

**OVERVIEW**

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The Contra Costa Senior Policy Platform (CCSPP) is a collaborative effort of senior service providers, healthcare agencies, advocates, public agencies and concerned individuals committed to ensuring that Contra Costa County’s aging community (residents aged 65 and older) can age with dignity and receive the services and support they deserve.

In addition to the many service and support needs that aging community members living in Contra Costa County exhibit today, this need is expected to grow exponentially in the near future. By 2030, the number of community residents aged 65 and over living in Contra Costa County will grow by more than 90%. Today aging residents represent just 13% of the County population. By 2030, they will represent 27% of all Contra Costa County residents.

To pro-actively address this need, the Contra Costa Senior Policy Platform (CCSPP) has articulated a Policy Platform 2020 with specific local priorities and strategic steps to propel Contra Costa County investments and initiatives to support aging with dignity. The platform addresses four priorities:

1. **EVALUATE.** Support research that describes and assesses local service needs and gaps impacting aging residents and that proposes specific and actionable local strategies to address these needs.
2. **CONVENE.** Strengthen service delivery and coordination, including discharge planning and information exchange, by convening community-based service providers, healthcare providers, behavioral health providers, law enforcement, transportation, public guardians and other partners.
3. **EDUCATE.** Actively educate the Board of Supervisors, local city councils and Conference of Mayors, and other elected officials, County agency officials, seniors and family members, and other community leaders about the dramatic increase in the aging population, key unmet service needs and gaps, and the roles that local officials and agencies can play in supporting aging residents.
4. **ADVOCATE.** Conduct coordinated advocacy to promote County and city policies that significantly increase investment into services to support aging with dignity.

## **FOUR-YEAR POLICY PLATFORM**

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### **1) EVALUATE. Support research that describes and assesses local service needs and gaps impacting aging residents and that proposes specific and actionable local strategies to address these needs.**

- Utilize existing data and conduct new studies to evaluate access to long-term services and support for vulnerable aging residents and to make recommendations to increase the number of vulnerable aging residents with affordable access to long-term care, services and supports.
- Using existing data and new evaluations, analyze and articulate the key issues affecting seniors, including: 1) housing affordability and economic stability, 2) transportation, 3) medical service access, 4) senior homelessness and 5) the shortage of skilled caregivers and senior service workforce with the goal of presenting key needs and recommendations to decision-makers.
- Enhance the Area Agency on Aging needs assessment to more effectively describe how many aging residents are receiving services from all providers, including public, non-profit and private providers, and the continuum of care for seniors.

### **2) CONVENE. Strengthen service delivery and coordination, including discharge planning and information exchange, by convening community-based service providers, healthcare providers, behavioral health providers, law enforcement, transportation, public guardians and other partners.**

- Convene a multi-disciplinary and multi-agency workgroup to review best-practices and propose pilot projects that enhance care coordination and reduce care silos. Potential workgroup partners could include funders, community-based service providers, healthcare providers, behavioral health providers, law enforcement, transportation agencies, public guardians and other partners.
- Identify and leverage the work of existing workgroups addressing similar issues by educating and engaging them to collaborate in Policy Platform 2020 and linking Policy Platform 2020 participants to existing efforts in the community.
- Improve the quality of discharge planning by hospitals, nursing homes, community based organizations and County departments by providing training programs, developing practice standards and referral protocols and regularly convene discharge planners and other interested staff to discuss shared challenges and best practices.

- Convene a local workgroup to promote information exchange between community-based service providers, behavioral health providers and healthcare providers with a priority on sharing acute hospital re-admission data.

**3) EDUCATE. Actively educate the Board of Supervisors, local city councils and Conference of Mayors, and other elected officials, County agency officials, seniors and family members, and other community leaders about the dramatic increase in the aging population, key unmet service needs and gaps, and the roles that local officials and agencies can play in supporting aging residents.**

- Create easy to understand fact sheets, report briefs, mapping tools and other resources to educate elected officials and other key stakeholders.
- Complete public presentations and individual visits with governing bodies, individual elected officials and other stakeholder groups.
- Market the effectiveness of current programs to key stakeholders and funders by demonstrating the return on investment of successful programs.

**4) ADVOCATE. Conduct coordinated advocacy to promote County and city policies that significantly increase investment into services to support aging with dignity.**

- Advocate for the Board of Supervisors and all city councils to implement an “aging friendly” policy that ensures that all new policies consider the impact on Contra Costa County seniors and utilize the aging-friendly components/domains defined by the World Health Organization.<sup>1</sup>
- Based on evaluation findings, advocate for new policies and investments related to long-term care, senior housing affordability, medical service access, transportation, isolation and other quality of life issues.
- Facilitate coordinated state-level advocacy by community stakeholders, agencies and elected officials to promote the interests of Contra Costa County aging residents.

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<sup>1</sup> World Health Organization, Aging-Friendly Practice. <https://extranet.who.int/agefriendlyworld/age-friendly-in-practice/>

**ANTIOCH CITY COUNCIL  
SPECIAL MEETING/WORKSHOP**

**Special Meeting/Workshop  
9:00 A.M.**

**March 24, 2018  
Antioch Community Center  
4703 Lone Tree Way, Antioch**

**On March 24, 2018**, the workshop was called to order by Mayor Wright at 9:06 a.m. City Council Members present were Mayor Wright, Mayor Pro Tem Thorpe, Council Members Wilson, Tiscareno and Ogorchock. Mayor Wright welcomed everyone to the Antioch Council Special Meeting/Workshop.

**PLEDGE OF ALLEGIANCE**

Mayor Wright led the Council and audience in the Pledge of Allegiance.

**Staff present:**

Ron Bernal, City Manager  
Elizabeth Perez, Assistant City Attorney  
Nickie Mastay, Administrative Services Director  
Nancy Kaiser, Parks and Recreation Director  
Consultants from MuniServices Jeff Kolin and Larry Bergkamp facilitated the workshop.

**PUBLIC COMMENTS – None**

**1. ECONOMIC ANALYSIS OF COMMERCIAL AND RECREATIONAL MARIJUANA USES  
WITHIN THE CITY OF ANTIOCH (PROP 64) WORKSHOP**

Mayor Wright announced that we were having technical difficulty with the projector for the power point presentation, but we had hard copies of the power point presentation for everyone to follow along.

Mayor Wright introduced Elizabeth Perez as Assistant City Attorney.

The consultants from MuniServices, Jeff Kolin and Larry Bergkamp, gave a presentation on the Commercial Cannabis Industry Overview and Economic Evaluation using a 31 page power point presentation. Council and members of the audience had a paper version of the power point presentation.

At the end of the presentation, there were 4 speaker cards received.

Antioch resident Ellie Householders speaker card was read by Mayor Wright for bringing cannabis to Antioch.

Keith Archuleta, Antioch resident, stated he was not for or against bringing cannabis to Antioch but wanted the City to keep its options open and move slowly.

Rosa Jaureque, Antioch resident, stated it was a good idea to allow cannabis here.

Richard Pagano, Antioch resident, stated he was for bringing cannabis to Antioch but for the City to move slowly.

City Council then gave their comments.

Council member Tiscareno stated he was here to receive and hear comments from the public. He was pleased with the public responses and wanted to proceed in a smart way and not rush into anything.

Mayor Pro Tem Thorpe commented that this was the second report that was fair and balanced. Although he voted no on Prop 64, the residents have been clear to be open about it. He will continue to keep an open mind and appreciated the public's comments. He stated he wanted to take a look at the City maps (that were located towards the back of the room).

The consultants from MuniServices then encouraged everyone to take a look at the maps and then mark with post it notes (blue for non-profits and yellow for residents) whether they Strongly Opposed, Opposed, Neutral, Support or Strongly Support Cannabis Business Categories.

Mayor Pro Tem Thorpe then commented that Attorney General Sessions could not find a nexus between violent crime and marijuana use.

Council member Ogorchock then stated that she was here to listen to the possibilities and to open their minds to other aspects of cannabis. She stated that the Police Chief was against the sale of Marijuana. One of the opportunities for other uses is opaque boxes and the sale of these boxes, need to look into this area. She stated that on page 13 of the power point presentation, it asks do we have the team we will need? Currently we do not have enough Police, Code Enforcement, or Economic Development. Until we are fully staffed, we need to look at these areas.

Council member Wilson was also trying to be open minded. She stated that the question is what piece of the puzzle were we going to take? She noted that on page 9 of the power point presentation that the Licensing and Testing pieces had a salary range that was pretty big. She asked for taxing, how do we tax so we do not have this go back into the black market?

MuniServices Larry Bergkamp answered that the State is looking at bills to reduce the taxes. If the total of all taxes is around 30 percent to 40 percent, this was enough to push it into the black market. He stated the City should propose a range for the tax rate(s).

MuniServices Jeff Kolin commented that because of how the Federal government looked at cannabis, this type of business cannot deduct normal business expenses.

Council member Wilson then commented that we had to move carefully through the process. We have to be able to make our decision flexible and fluid to be able to adjust as we go along.

Mayor Wright referenced page 28 retail aspect, what is the net cost to the City and what was the net benefit?



MuniServices Larry Bergkamp stated that the cost was covered through licensing and application fees. The City should cover their costs the best they can and make fees flexible. An example would be a flat fee plus an additional amount for code enforcement, etc. There was no one size fits all and a cost recovery study should be done for this.

MuniServices Jeff Kolin stated that the largest potential for Antioch would be Manufacturing and Cultivation; the largest for profit.

Mayor Wright asked if there were any studies done on communities surrounding the Denver Colorado area?

MuniServices Jeff Kolin stated that the problem was you cannot tell the data from the local jurisdiction. Also, in California the data was protected and cannot be released. They could try and see what they could get from Denver and the surrounding areas.

The Mayor then asked if there were any other speakers. There were 2 more speaker cards received.

Robert Kilbourne, Antioch resident, stated that there needed to be more public comment and the City needed to get the word out. Looking for information from the churches and the schools.

Henry Killings, Antioch resident, stated he was strongly against this and that this was illegal on the Federal level. He felt that we were setting a wrong example for our youth.

## **ADJOURNMENT**

The workshop was adjourned at 10:52 am.

Respectfully submitted:

*Nickie Mastay*

\_\_\_\_\_  
Nickie Mastay, Administrative Services Director

**CITY COUNCIL MEETING  
INCLUDING THE ANTIOCH CITY COUNCIL  
ACTING AS HOUSING SUCCESSOR  
TO THE ANTIOCH DEVELOPMENT AGENCY**

**Regular Meeting  
7:00 P.M.**

**March 27, 2018  
Council Chambers**

**6:00 P.M. – CLOSED SESSION**

1. **CONFERENCE WITH REAL PROPERTY NEGOTIATORS** pursuant to California Government Code section 54956.8: Orton/Libitzky owned Assessor's Parcel Numbers (APN No.'s): 066-110-009; 074-040-035; 066-101-001. City and Agency Negotiator, City Manager Ron Bernal; Parties – Orton/Libitzky, Antioch Marina LLC.
  
2. **CONFERENCE WITH REAL PROPERTY NEGOTIATORS** pursuant to California Government Code section 54956.8: City and Agency Negotiator, City Manager Ron Bernal; Parties – City Ventures.

Interim City Attorney Cole reported the City Council had been in Closed Session and gave the following report: **#1 CONFERENCE WITH REAL PROPERTY NEGOTIATORS**, direction given to City Manager Bernal; and, **#2 CONFERENCE WITH REAL PROPERTY NEGOTIATORS**, direction given to City Manager Bernal.

Mayor Wright called the meeting to order at 7:01 P.M., and City Clerk Simonsen called the roll.

Present: Council Members Wilson, Thorpe, Tiscareno, Ogorchock and Mayor Wright

**PLEDGE OF ALLEGIANCE**

Councilmember Ogorchock led the Council and audience in the Pledge of Allegiance.

**ANNOUNCEMENTS OF CIVIC AND COMMUNITY EVENTS**

Director of Parks and Recreation Kaiser announced the Spring/Summer Recreation Guide had been mailed out and she invited everyone to attend the Recreation & Health Expo from 10:00 A.M. – 4:00 P.M. on May 12, 2018. She noted on that day they were offering a 15 percent discount registration on all classes, camps and programming.

JR Wilson thanked staff and the Memorial Day Committee for assisting them with hosting for the Memorial Day Delta Softball Tournament of Heroes on May 26 and 27, 2018 at Antioch Community Park. He also thanked Mayor Wright for being available to throw out the first pitch. He announced on Memorial Day, a motorcycle parade from downtown to the Oak View Cemetery would take place and be followed by Memorial Day Services at 10:00 A.M. on May 28, 2018. Immediately following, Antioch VFW Post #6435 would be hosting a free barbeque. He commented that Veteran's Memorial banners would be flown on "L" Street and more information

on the event and how to obtain a banner were available at [deltaveteransgroup.org](http://deltaveteransgroup.org). Additionally, applications and flyers were available in Council Chambers this evening.

## **ANNOUNCEMENTS OF BOARD AND COMMISSION OPENINGS**

City Clerk Simonsen announced the following Board and Commission openings:

- Contra Costa Transportation Authority - Citizens Advisory Committee: One (1) vacancy; deadline date is April 20, 2018
- Sales Tax Citizens' Oversight Committee: Seven (7) vacancies; deadline date is April 20, 2018
- Economic Development Commission: One (1) vacancy; deadline date is April 6, 2018
- Board of Administrative Appeals: One (1) alternate vacancy; deadline date is April 20, 2018
- Police Crime Prevention Commission: One (1) vacancy; deadline date is April 13, 2018

He reported applications would be available online at the City's website and at the City Clerk's and Deputy City Clerks offices.

## **PUBLIC COMMENTS**

Marty Fernandez thanked Councilmember Thorpe, Mayor Wright, City Manager Bernal and Code Enforcement Manager Michael for visiting his neighborhood and reported that there had been a significant reduction in blight. He requested the lights and water be turned on in the park.

Rick Robison, Antioch resident, requested the City Council take action to exempt itself from California's sanctuary state policy and asked them to respond to his request by the next City Council meeting.

Nicole Gardner discussed the needs of the homeless and requested the City consider funding restrooms, dumpsters, showers and shelters for them. She questioned who she could contact with regards to acquiring these items.

Mary Rocha invited the community to attend a breakfast honoring César Chavez at Applebee's on March 31, 2018.

## **COUNCIL SUBCOMMITTEE REPORTS**

Councilmember Wilson stated she would be attending the Tri Delta Transit meeting on March 28, 2018.

Councilmember Thorpe reported on his attendance at the annual Water Education for Latino Leaders (WELL) Conference. He invited colleagues to participate in the conference next year.

Councilmember Tiscareno commented that in the past he had participated in the WELL conference and it was very educational.

Mayor Wright reported on his participation at Delta Diablo Sanitation District meeting.

## **MAYOR'S COMMENTS**

Mayor Wright announced Antioch was awarded \$10,000,000 in State of California Prop 1 Grant Funding for the construction of a water desalination facility. He reported the Antioch Home Ownership Program (AHOP) Forum was a well-attended event. He announced the passing of former Mayor and Police Chief Len Herendeen.

## **PRESENTATION**

### *Sales Tax Citizens' Oversight Committee Annual Report to Council*

Chairperson Williams and Vice Chair Householder introduced committee members in attendance and gave a Measure C Sales Tax Citizens' Oversight Committee PowerPoint presentation.

Ralph Fernandez, Antioch resident, urged Council to support hiring more police officers and background investigators. He stated he believed he was entitled to speak for at least five (5) minutes.

Interim City Attorney Cole clarified that this item was a regular agenda item and not a public hearing; therefore, speakers were allowed three (3) minutes.

Councilmember Tiscareno commented that the City was focused on hiring Antioch Police officers. He thanked the Sales Tax Citizens' Oversight Committee members for the presentation and for serving.

Councilmember Ogorchock thanked the Sales Tax Citizens' Oversight Committee for the report and stated she would also like to see more officers on the street and Chief Brooks was working diligently to increase those numbers. She noted license plate readers, cameras and code enforcement were improving the statistics.

Mayor Wright stated that Measure C funding had provided tools necessary to improve the statistics. He thanked Antioch Police Department, Code Enforcement Officers, and Committee Members for their service.

**1. CONSENT CALENDAR for City /City Council Members acting as Housing Successor to the Antioch Development Agency**

**A. APPROVAL OF COUNCIL SPECIAL MEETING MINUTES FOR MARCH 10, 2018**

- B. APPROVAL OF COUNCIL MINUTES FOR MARCH 13, 2018
- C. APPROVAL OF COUNCIL SPECIAL MEETING/WORKSHOP MINUTES FOR MARCH 24, 2018
- D. APPROVAL OF COUNCIL WARRANTS
- E. APPROVAL OF TREASURER'S REPORT FOR FEBRUARY 2018
- F. ORDINANCE NO. 2140 C-S SECOND READING – ORDINANCE AMENDING TITLE 9, CHAPTER 5 OF THE ANTIOCH MUNICIPAL CODE (ZONING ORDINANCE) REGARDING DONATION BINS AND GARAGE SALES (*Reintroduced on 03/13/18*)
- G. LEAGUE OF CALIFORNIA CITIES POLICY COMMITTEE MEETINGS ON APRIL 12-13, 2018, THE CITY CLERKS ASSOCIATION OF CALIFORNIA (CCAC) ANNUAL CONFERENCE, AND THE CCAC ADVANCED ACADEMY ON APRIL 17-20, 2018
- H. RESOLUTION NO. 2018/38 EMAIL SYSTEM AND MICROSOFT OFFICE SUITE UPGRADE PROJECT
- I. RESOLUTION NO. 2018/39 FOURTH AMENDMENT TO THE CONSULTANT SERVICE AGREEMENT WITH ARC ALTERNATIVES FOR THE LONE TREE GOLF COURSE SOLAR PHOTOVOLTAIC SYSTEM (P.W. 699-1)
- J. RESOLUTION NO. 2018/40 CONSENT AGREEMENT WITH CONTRA COSTA WATER DISTRICT (CCWD) FOR THE WIDENING OF THE HILLCREST AVENUE RIGHT OF WAY AT CCWD LATERAL 9.1 (P.W. 460-4)
- K. RESOLUTION NO. 2018/41 NORTHEAST ANTIOCH ANNEXATION AREA 1 AND 2B (P.W. 693)
- L. RESOLUTION NO. 2018/42 COMMUNITY DEVELOPMENT BLOCK GRANT DOWNTOWN ROADWAY PAVEMENT REHABILITATION, PHASE 7 (P.W. 678-7)
- M. RESOLUTION NO. 2018/43 TRAFFIC SIGNAL INSTALLATION – WILD HORSE ROAD AND FOLSOM DRIVE AND TRAFFIC SIGNAL MODIFICATIONS – W. 10TH STREET/L STREET (P.W. 636-8)

City of Antioch Acting as Housing Successor to the Antioch Development Agency

- N. APPROVAL OF HOUSING SUCCESSOR WARRANTS
- O. 2017 ANNUAL HOUSING ELEMENT PROGRESS REPORT AND HOUSING SUCCESSOR ANNUAL REPORT

City Manager Bernal pulled Item H from the Consent Calendar.

On motion by Councilmember Thorpe, seconded by Councilmember Tiscareno, the City Council unanimously approved the Council Consent Calendar with the exception of Item H which was removed for further discussion.

**Item H** – City Manager Bernal amended the resolution under THEREFORE, BE IT RESOLVED, the last sentence, to read: “This is for a multi-year contract, the first year will be a partial payment of \$3.656 with the remaining two years being \$43,848 each.”

On motion by Councilmember Ogorchock, seconded by Councilmember Wilson, Item H was approved as amended.

## **PUBLIC HEARING**

### **2. RECEIPT OF ADDITIONAL PUBLIC INPUT REGARDING THE DRAFTING OF PROPOSED MAPS FOR A DISTRICT-BASED SYSTEM OF ELECTING ANTIOCH CITY COUNCIL MEMBERS**

City Manager Bernal introduced Public Hearing Item #2.

Interim City Attorney Cole announced that two translators were present to assist with interpretive services.

At the request of Interim City Attorney Cole, a translator made the above announcement in Spanish.

Interim City Attorney Cole presented the staff report dated March 27, 2018 recommending the City Council receive additional public input regarding the drafting of proposed maps for a district-based system of electing Antioch City Council members. He announced a Supplemental Staff report dated March 27, 2018 was distributed this evening to Council and the public.

Consultant Jaime Clark reviewed each of Working Draft District Maps 1 and 2 as well as Quadrant Draft District Maps A and B.

Mayor Wright opened the public hearing.

Norma and Ralph Hernandez stated they were opposed to district based elections and noted it would segregate the community and disenfranchise voters.

Mayor Wright read written comment submitted from Joette Milano Bright, Susan Welch, and Donald Bright in support of Working Draft District Map 1.

Brendon O'Laskey, East County Regional Group (ECRG), Ellie Householder, Antioch resident, Christine Clark, ECRG, Deborah Polk, ECRG, Susana Williams, Antioch resident, Belem Ramirez, ECRG, Evelyn Lopez, ECRG, Sylvia Angeles ECRG, Berlen and Fredy Leon ECRG, Jennifer Hughes, Antioch resident, Warren Lutz, Antioch resident, Janet Costa, ECRG, Francisco Nazario and Joy Motts, Antioch resident, spoke in support of the district based election process and Working Draft District Map 1.

Kerry Motts, Antioch resident, spoke in support of Working Draft Map 1 and implementing district based elections in 2018.

Tina Price, Antioch resident, read the Change.org petition which had been signed by 52 people and which asked to designate the Hillcrest/Deer Valley corridor as a Community of Interest during the districting process.

Samson Knight, Antioch resident, spoke in support of the district based election process and Working Draft District Maps 1 and 2.

Tim McCall, Antioch resident, stated if the City moved forward with district based elections, he would support a "sliced bread approach" and implementing district based elections in 2020.

Terry Ramus, Antioch resident, spoke in opposition to district based elections but noted that if the City moved forward he would support Quadrant Draft District Maps A or B.

Sharon Johnson, Antioch resident, spoke in opposition to district based elections.

Ken Turnage II, Antioch resident, spoke in opposition to district based elections but noted that if the City moved forward he would support Quadrant Draft District Map B.

Don Freitas, Antioch resident, spoke in opposition to district based elections but noted that if the City moved forward he would support Quadrant Draft District Map B with staggered terms for the north and south. He also suggested implementing district based elections in 2020.

Mayor Wright closed the public hearing and commented that Council allowed everyone who wanted to speak on this to speak for their full five minutes this evening; however, in the future the allotted time may be reduced.

Councilmember Thorpe stated he would have preferred district based election process had gone to the voters. He spoke in support of Working Draft District Map 1 noting north Antioch residents deserved to have their own Council district.

Councilmember Tiscareno thanked everyone for their input. He stated he would support advancing Working Draft District Map 1 and a revised Quadrant Draft District Map B for future consideration. He expressed concern that the City was using census data that was no longer

accurate and questioned if the City could postpone action until the 2020 census. Additionally, he questioned if district based elections could begin in 2018 with all Councilmembers running.

Interim City Attorney Cole explained that new census numbers would not be available until after the 2020 election cycle and if they waited, the City would be vulnerable to claims that they would be depriving individuals of their voting rights. Additionally, he clarified that Councilmembers in the second year of their terms were entitled by law to complete their terms. He noted the decision before Council was if they wanted to phase in two seats this year, assign them to districts, and pick which districts should run or move forward with at large terms for 2018 and phase in everything in 2020.

Councilmember Wilson thanked the community for their input. She spoke in support of the district based election process and advancing Working Draft District Maps 1 or 2.

Councilmember Ogorchock thanked the community for their input. She stated she was opposed to district based elections; however, if they moved forward, she would support implementation occurring in 2020 and advancing both Quadrant maps for consideration.

Mayor Wright expressed concern that "A" Street was not utilized as the dividing line in the Quadrant Map B and that the census data was outdated.

Consultant Jaime Clark clarified that "A" Street was not utilized because of population and in order to respect communities of interest. She noted that they were required to use the 2010 census data.

Mayor Wright, in referencing the quadrant map, suggested working the "C" Street area into the area designated as "A". He offered other suggestions for amending the quadrant map.

Councilmember Tiscareno suggested congressional districts stay within a community of interest.

In response to Council, Interim City Attorney Cole stated he would draft an ordinance adopting a four district system and provide two options for implementation in 2018 and 2020 which could be introduced at the next meeting. Additionally, he would bring back Working Draft District Map 1 and Quadrant Draft District Map B for consideration. He noted he would work with the demographer to reflect the revisions requested by Council.

Councilmember Ogorchock announced she would be out of town for the March 24, 2018 City Council meeting.

Following discussion, the City Council agreed on the following meeting schedule:

- April 10, 2018 – Closed Session – 5:00 P.M.
- April 10, 2018 – Special Meeting/Mapping Workshop 5:30 P.M. – 7:00 P.M.
- April 10, 2018 – Regular Meeting Introduce Ordinance – 7:00 P.M.



- April 23, 2018 – Special Meeting – Second Reading, Enactment of Ordinance, Final Adoption of a Map

Mayor Wright stated Working Draft District Map 1 and a Working Study Session for Quadrant Draft District Map B would be discussed at the Mapping Workshop on April 10, 2018.

### **COUNCIL REGULAR AGENDA**

#### **3. UPDATE TO THE CITY COUNCIL REGARDING DEVELOPMENT OF PERMANENT COMMERCIAL CANNABIS ORDINANCE**

City Manager Bernal introduced Regular Agenda Item #3.

Interim City Attorney Cole presented the staff report dated March 27, 2018 recommending the City Council receive a report regarding development of permanent commercial marijuana ordinance and provide input.

Fran Mancia and Larry Bergkamp representing MuniServices were available to answer any questions this evening.

Daniel Uribe, Oakley resident and Art Uribe, stated as Council drafted the ordinance and decided tax rates for commercial cannabis business, they requested that they keep small business owners in mind.

Susana Williams, Antioch resident, urged Council to allow recreational and consider manufacturing/growing aspect of commercial cannabis as well as the revenue generating opportunities.

Tim McCall, Economic Development Commissioner, encouraged everyone to review the full Economic Development Commission Cannabis Report and contact the Economic Development Commission for more information.

Councilmember Ogorchock requested a link to the report be added to the City's Manager's Weekly Report.

Mayor Wright questioned if there was a way to protect small businesses from increased rents for commercial space.

Mr. Mancia responded that the City could identify zoning or property areas to allow cannabis businesses so as not to impact existing businesses.

#### **4. STRATEGIC PLAN ADOPTION**

Economic Development Program Manager Zepeda announced a second Public Workshop would be held at 9:00 A.M. on May 5, 2018 at the Nick Rodriguez Community Center.

City Manager Bernal and Consultant Kendall Flint of Regional Government Services (RGS), presented the staff report dated March 27, 2018 recommending the City Council review, make comments if appropriate, and then adopt its 2018-2023 Strategic Plan.

Councilmember Tiscareno thanked Ms. Flint for the presentation and noted the information presented was reflective of input received at the community workshops.

Councilmember Ogorchock thanked Ms. Flint for the presentation and noted that while she was impressed with the package, she felt the mission statement needed to be revised.

Ms. Flint stated she would be happy to revisit the mission statement, she noted if the goals were correct they would be able to build implementation plans.

Councilmember Wilson thanked Ms. Flint for the report. She expressed concern that some items were vague and not actionable. She noted that she wanted more details for the goals and sub-items.

Councilmember Thorpe stated that he did not believe the Council had constructed goals that were aspirational.

Ms. Flint suggested that if Council could provide guidance that the goals were correct, they could move to the next phase to fill in the tactics and make it a more compelling document.

Mayor Wright stated the categories created were correct; however, the goals were confusing because they were not specific, timely or relevant and lacked aspirational change.

Ms. Flint stated she would take Council's comments and input and come back with an implementation plan.

Councilmember Tiscareno stated goals had to be attainable; however, he would support adding a visionary plan.

City Manager Bernal recommended Council hold another Council Workshop for vision planning.

Councilmember Ogorchock stated the goals were correct and she supported holding another workshop to expand on the vision plan.

City Manager Bernal stated he would communicate with Council to get their input for the scheduling of a Workshop.

5. UPDATE OF THE WATER AND SEWER RATE FEE STUDY (P.W. 362-8)
6. CONSIDERATION OF PROJECTS UNDER THE ONE-TIME REVENUE POLICY

*[At 11:00 p.m.]* On motion by Councilmember Ogorchock, seconded by Councilmember Wilson, the City Council unanimously continued Regular Agenda Items 5 and 6 to April 10, 2018.

**PUBLIC COMMENTS** – None

**STAFF COMMUNICATIONS** – None

**COUNCIL COMMUNICATIONS**

Mayor Wright requested staff agendaize a policy regarding Antioch business bids for a competitive advantage over outside bids.

**ADJOURNMENT**

Mayor Wright adjourned the meeting at 11:01 P.M. to the next regular Council meeting on April 10, 2018.

Respectfully submitted:

*Kitty Eiden*

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KITTY EIDEN, Minutes Clerk

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**100 General Fund**

**Non Departmental**

373817 BARKER MECHANICAL SERVICES INC	SMIP FEE REFUND	0.50
373820 BAY AREA NEWS GROUP	LEGAL PUBLICATIONS	104.40
373851 H AND R PLUMBING AND DRAIN CLE	SMIP FEE REFUND	1.50
373865 LY, SYLVIE	CBSC FEE REFUND	3.90
373887 TESLA	CBSC FEE REFUND	5.90
373893 VIVINT SOLAR DEVELOPER LLC	CBSC FEE REFUND	8.57
373971 STATE TREASURERS OFFICE	PREWETT RANCH DEPOSIT	240,000.00
931270 MICHAEL BAKER INTERNATIONAL INC	CONSULTING SERVICES	5,520.00

**City Council**

373864 LOWES COMPANIES INC	SUPPLIES	28.67
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**City Attorney**

373836 COTA COLE ATTORNEYS LLP	LEGAL SERVICES RENDERED	40,611.84
373885 TELECOM LAW FIRM PC	LEGAL SERVICES RENDERED	253.00
373968 SHRED IT INC	SHRED SERVICES	58.46

**City Manager**

373818 BARTON, T ALAN	EXPENSE REIMBURSEMENT	43.49
373822 BEST BEST AND KRIEGER LLP	PROFESSIONAL SERVICES	483.60
373906 BAGEL STREET CAFE	MEETING EXPENSE	155.35
373954 OFFICE MAX INC	OFFICE SUPPLIES	13.46
373981 VERIZON WIRELESS	CELL PHONE	38.01

**City Clerk**

373809 AMERICAN LEGAL PUBLISHING	MUNICIPAL CODE UPDATES	1,706.36
373820 BAY AREA NEWS GROUP	LEGAL PUBLICATIONS	908.10
373845 EIDEN, KITTY J	PROFESSIONAL SERVICES	1,455.50
373872 OFFICE MAX INC	OFFICE SUPPLIES	124.12
373954 OFFICE MAX INC	OFFICE SUPPLIES	757.77

**Human Resources**

373846 FEDEX	SHIPPING	23.94
373954 OFFICE MAX INC	OFFICE SUPPLIES	90.64
373968 SHRED IT INC	SHRED SERVICES	57.76

**Economic Development**

373819 BAY ALARM COMPANY	ALARM SERVICES	173.84
373842 DUALHARE INC	PROFESSIONAL SERVICES	4,950.00
373843 EAST BAY EDA	MEMBERSHIP RENEWAL	9,005.00

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373896 ZEPEDA, MARIA LIZEHT	EXPENSE REIMBURSEMENT	61.10
<b>Finance Administration</b>		
373872 OFFICE MAX INC	OFFICE SUPPLIES	116.12
<b>Finance Accounting</b>		
373932 FEDEX	SHIPPING	16.70
373968 SHRED IT INC	SHRED SERVICES	57.76
931271 SUPERION LLC	ASP SERVICE	20,607.90
<b>Finance Operations</b>		
373872 OFFICE MAX INC	OFFICE SUPPLIES	73.91
373881 SAUNDERS, LISA D	EXPENSE REIMBURSEMENT	52.11
373890 UNITED PARCEL SERVICE	WEEKLY PRINTER SERVICE FEE	16.50
373948 NEOPOST	POSTAGE LEASE	1,022.23
373979 UNITED PARCEL SERVICE	WEEKLY PRINTER SERVICE FEE	3.00
<b>Non Departmental</b>		
373839 DELTA DIABLO	GOLF COURSE WATER	2,370.00
373875 PES ENVIRONMENTAL INC	PROFESSIONAL SERVICES	810.00
373923 DAVID WELLHOUSE AND ASSOC INC	FILING FEES	5,500.00
373964 REGIONAL GOVERNMENT SERVICES	PROFESSIONAL SERVICES	7,368.75
931353 RETIREE	MEDICAL AFTER RETIREMENT	1,709.04
<b>Public Works Maintenance Administration</b>		
373982 VERIZON WIRELESS	CELL PHONE	38.01
<b>Public Works Street Maintenance</b>		
373811 ANCHOR CONCRETE CONSTRUCTION	SIDEWALK REPAIR PROJECT	75,878.99
373812 ACE HARDWARE, ANTIOCH	SUPPLIES	45.56
373864 LOWES COMPANIES INC	SUPPLIES	6.37
373899 ACE HARDWARE, ANTIOCH	SUPPLIES	20.67
373931 FASTENAL CO	SUPPLIES	154.74
373940 KELLY MOORE PAINT CO	SUPPLIES	48.70
373950 NEXTEL SPRINT	CELL PHONE	57.39
373982 VERIZON WIRELESS	CELL PHONE	38.01
374010 P AND L MARKETING INC	SEMINAR	550.00
931275 GRAINGER INC	SUPPLIES	373.71
<b>Public Works-Signal/Street Lights</b>		
373831 CONTRA COSTA COUNTY	TRAFFIC SIGNAL MAINTENANCE	32,492.17
373874 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	7,452.82

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373903 AT AND T MCI	PHONE	747.68
373956 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	47.67
931268 ICR ELECTRICAL CONTRACTORS	ELECTRICAL SERVICES	1,964.00

**Public Works-Striping/Signing**

373844 EAST BAY WELDING SUPPLY	WELDING SUPPLIES	48.07
373864 LOWES COMPANIES INC	SUPPLIES	134.65
373866 MANERI SIGN COMPANY	SIGNS	1,034.77
373945 MANERI SIGN COMPANY	SIGNS	16,452.12
373950 NEXTEL SPRINT	CELL PHONE	57.39
373982 VERIZON WIRELESS	CELL PHONE	38.01
374004 INTERSTATE SALES	SUPPLIES	686.75

**Public Works-Facilities Maintenance**

373810 AMERICAN PLUMBING INC	PLUMBING SERVICES	385.00
373815 BANK OF AMERICA	CITY HISTORY PROJECT	2,479.75
373821 BAY CITIES PYROTECTOR	INSPECTION SERVICES	1,110.00
373864 LOWES COMPANIES INC	SUPPLIES	208.14
373874 PACIFIC GAS AND ELECTRIC CO	GAS	13,239.14
373880 REAL PROTECTION INC	MONITORING SERVICE	360.23
373898 AMERICAN GREENPOWER USA INC	SUPPLIES	216.75
373903 AT AND T MCI	PHONE	59.27
373937 HONEYWELL INTERNATIONAL INC	REPAIR SERVICES	13,452.50
373942 LENHART ALARM AND SECURITY	EQUIPMENT	385.44
373950 NEXTEL SPRINT	CELL PHONE	9.86
373982 VERIZON WIRELESS	CELL PHONE	38.01
374006 KINGSLEY COMPANIES	WATER PAYMENT BOX	4,214.27
374008 OAKLEYS PEST CONTROL	PEST CONTROL	165.00
374026 BANK OF AMERICA	SUPPLIES	248.00
931275 GRAINGER INC	SUPPLIES	149.82

**Public Works-Parks Maint**

373810 AMERICAN PLUMBING INC	PLUMBING SERVICES	4,116.75
373840 DELTA FENCE CO	REPAIR SERVICES	3,634.00
373874 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	1,163.37
373899 ACE HARDWARE, ANTIOCH	SUPPLIES	37.29
373903 AT AND T MCI	PHONE	101.55
373972 STEWARTS TREE SERVICE INC	LANDSCAPE SERVICES	685.00
373996 COMBINATION LOCK AND SAFE	REPAIR SERVICES	319.25
931279 ICR ELECTRICAL CONTRACTORS	ELECTRICAL SERVICES	3,987.97

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**Public Works-Median/General Land**

373812 ACE HARDWARE, ANTIOCH	SUPPLIES	22.85
373856 HORIZON	VALVES	596.06
373874 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	1,768.73
373903 AT AND T MCI	PHONE	214.47
373931 FASTENAL CO	SUPPLIES	6.23

**Public Works-Work Alternative**

373950 NEXTEL SPRINT	CELL PHONE	50.43
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**Police Administration**

373807 ADAMSON POLICE PRODUCTS	EQUIPMENT	2,519.32
373815 BANK OF AMERICA	SUPPLIES	213.10
373816 BANK OF AMERICA	BUSINESS CARDS	1,164.92
373830 COMMERCIAL SUPPORT SERVICES	CAR WASHES	446.00
373835 CORTEZ, ANA E	TRAINING PER DIEM	64.00
373837 CRIME SCENE CLEANERS INC	CRIME SCENE CLEANUP	250.00
373846 FEDEX	SHIPPING	25.19
373849 GALLS INC	EQUIPMENT	1,445.49
373860 KIDD, CHRISTOPHER C	TRAINING PER DIEM	320.00
373868 NISSEN, TARRA L	TRAINING PER DIEM	64.00
373872 OFFICE MAX INC	OFFICE SUPPLIES	300.97
373879 REACH PROJECT INC	PROGRAM SERVICES	17,083.00
373883 SIMPSON INVESTIGATIVE SERVICES	INVESTIGATIVE SERVICES	1,914.59
373897 ADAMSON POLICE PRODUCTS	EQUIPMENT	65.24
373904 ATKINSON ANDELSON LOYA RUUD	LEGAL SERVICES	2,017.70
373908 BITTNER, DESMOND D	EXPENSE REIMBURSEMENT	97.18
373922 CSI FORENSIC SUPPLY FORNERLY	SUPPLIES	1,513.02
373934 GALLS INC	EQUIPMENT	297.86
373941 LC ACTION POLICE SUPPLY	SUPPLIES	1,652.37
373943 LEXIPOL LLC	SUBSCRIPTION	4,950.00
373954 OFFICE MAX INC	OFFICE SUPPLIES	1,346.64
373960 PETERSON, SAMANTHA GENOVEVA	EXPENSE REIMBURSEMENT	30.00
373961 PORAC LEGAL DEFENSE FUND	LDF DUES	27.00
373977 ULINE	SUPPLIES	725.51
373980 VANDERPOOL, JASON C	MEAL ALLOWANCE	57.50
373986 ALAMEDA COUNTY SHERIFFS OFFICE	TRAINING - E JOHNSEN	638.00
373987 ALAMEDA COUNTY SHERIFFS OFFICE	TRAINING - T LENDERMAN	638.00
373988 ALAMEDA COUNTY SHERIFFS OFFICE	TRAINING - E JOHNSEN	1,098.00
373989 ALAMEDA COUNTY SHERIFFS OFFICE	TRAINING - T LENDERMAN	1,098.00
374024 AIELLO, STEVEN J	TRAINING MEAL ALLOWANCE	34.50
374025 BANK OF AMERICA	RECRUITING SUPPLIES	390.35

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931269 IMAGE SALES INC	SUPPLIES	20.61
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**Police Community Policing**

373816 BANK OF AMERICA	FASTRAK FEE	50.00
373861 KIRBY POLYGRAPH AND INVESTIGAT	POLYGRAPH EXAMS	3,600.00
373870 MOORE K9 SERVICES	K9 TRAINING	800.00
373916 COLE, SHANE RYAN	MILEAGE REIMBURSEMENT	66.49
373953 OCCUPATIONAL HEALTH CENTERS OF	MEDICAL EXAM	1,071.00

**Police Investigations**

373816 BANK OF AMERICA	TOLL FEE	152.84
373825 BROGDON, CASEY AMON	EXPENSE REIMBURSEMENT	59.78
373905 AUTO WORLD INC	VEHICLE LEASE	1,093.00
373908 BITTNER, DESMOND D	EXPENSE REIMBURSEMENT	5.00
373909 BONFARE MARKET	DVR REPLACEMENT	700.00
373913 CELLEBRITE USA INC	SOFTWARE	3,098.99
373944 LEXISNEXIS	LEGAL SERVICES	252.50
373973 T MOBILE USA INC	RESEARCH SERVICES	50.00
931264 COMPUTERLAND	COMPUTER EQUIPMENT	2,764.69
931273 COMPUTERLAND	SUPPLIES	120.83
931280 IMAGE SALES INC	SUPPLIES	20.61

**Police Special Operations Unit**

373975 TOYOTA FINANCIAL SERVICES	VEHICLE LEASE	731.73
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**Police Communications**

373816 BANK OF AMERICA	CONNECTION SERVICES	98.94
373878 QUICK PC SUPPORT	ANNUAL RENEWAL	1,800.00
373892 VERIZON WIRELESS	WIRELESS SERVICE	2,242.59
373903 AT AND T MCI	PHONE	1,481.16
931266 DELL COMPUTER CORP	HARDWARE	325.75

**Office Of Emergency Management**

373903 AT AND T MCI	PHONE	309.47
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**Police Community Volunteers**

373815 BANK OF AMERICA	RECOGNITION AWARDS	1,325.00
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**Police Facilities Maintenance**

373815 BANK OF AMERICA	HISTORY PROJECT	332.74
373821 BAY CITIES PYROTECTOR	INSPECTION SERVICES	740.00



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373864	LOWES COMPANIES INC	SUPPLIES	246.31
373874	PACIFIC GAS AND ELECTRIC CO	GAS	15,133.89
373880	REAL PROTECTION INC	MONITORING SERVICES	311.38
373903	AT AND T MCI	PHONE	293.08
373937	HONEYWELL INTERNATIONAL INC	HVAC SERVICES	7,869.00
373949	NEXTEL SPRINT	CELL PHONE	3,367.53
374008	OAKLEYS PEST CONTROL	PEST CONTROL	200.00

**Community Development Land Planning Services**

373820	BAY AREA NEWS GROUP	LEGAL PUBLICATIONS	712.80
373929	EIDEN, KITTY J	MINUTES CLERK	56.00
373984	VERIZON WIRELESS	CELL PHONE	38.01

**CD Code Enforcement**

373820	BAY AREA NEWS GROUP	LEGAL PUBLICATIONS	180.00
373832	CONTRA COSTA COUNTY	RECORDING FEES	1,390.00
373888	TRB AND ASSOCIATES	CONSULTING SERVICES	49,380.00
373910	BRIDGEHEAD SELF STORAGE	STORAGE	225.00
373920	CREATIVE SUPPORTS INC	OFFICE EQUIPMENT	744.34
373950	NEXTEL SPRINT	CELL PHONE	251.21
373984	VERIZON WIRELESS	CELL PHONE	152.04

**PW Engineer Land Development**

373903	AT AND T MCI	PHONE	38.96
373950	NEXTEL SPRINT	CELL PHONE	170.06
373983	VERIZON WIRELESS	CELL PHONE	76.02
931283	RAY MORGAN COMPANY	COPIER USAGE	364.53

**Community Development Building Inspection**

373851	H AND R PLUMBING AND DRAIN CLE	TECHNOLOGY FEE REFUND	137.28
373865	LY, SYLVIE	INSPECTION FEE REFUND	233.10
373872	OFFICE MAX INC	OFFICE SUPPLIES	154.07
373887	TESLA	BLDG PERMIT FEE REFUND	263.18
373893	VIVINT SOLAR DEVELOPER LLC	INSPECTION FEE REFUND	269.78
373947	MUNN, LAWRENCE E	EXPENSE REIMBURSEMENT	261.45
373950	NEXTEL SPRINT	CELL PHONE	105.28

**Capital Imp. Administration**

373872	OFFICE MAX INC	OFFICE SUPPLIES	25.55
373983	VERIZON WIRELESS	CELL PHONE	38.01

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**Community Development Engineering Services**

373872 OFFICE MAX INC	OFFICE SUPPLIES	166.42
373950 NEXTEL SPRINT	CELL PHONE	127.78

**213 Gas Tax Fund**

**Streets**

373850 GHILOTTI BROS INC	CDBG DOWNTOWN PROJECT	15,346.34
373874 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	30,073.64

**214 Animal Control Fund**

**Animal Control**

373855 HILLS PET NUTRITION	ANIMAL FOOD	1,065.91
373874 PACIFIC GAS AND ELECTRIC CO	GAS	796.53
373919 COTTLE, CATRIONA MARIE	TRAINING PER DIEM	740.00
373925 EAST BAY MOBILE COUNTRY VET	VETERINARY SERVICES	350.00
373927 EAST BAY VETERINARY EMERGENCY	VETERINARY SERVICES	152.10
373949 NEXTEL SPRINT	CELL PHONE	270.87
373957 PATTERSON SUPPLY INC	SUPPLIES	2,081.18
373958 PATTERSON SUPPLY INC	SUPPLIES	1,908.08
373970 STARLINE SUPPLY COMPANY	SUPPLIES	781.59
373998 COURTYARD BY MARRIOTT	LODGING WEEK 1 - COTTLE	616.60
373999 COURTYARD BY MARRIOTT	LODGING WEEK 2 - COTTLE	616.60
374016 SANTA ROSA JR COLLEGE	TRAINING - COTTLE	144.00
931277 HLP INC	CONTRACT SERVICES	1,348.50

**215 Civic Arts Fund**

**Civic Arts**

373880 REAL PROTECTION INC	MONITORING SERVICE	67.60
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**219 Recreation Fund**

**Non Departmental**

373992 ANTIOCH HISTORICAL SOCIETY	DEPOSIT REFUND	500.00
374007 LEMONDS, MICHAEL	DEPOSIT REFUND	500.00
374012 PIERCE, LAKISHA	DEPOSIT REFUND	500.00
374013 PINA, PRISCILLA	DEPOSIT REFUND	500.00
374018 ST. MARK AT BETHEL BAPTIST CHU	DEPOSIT REFUND	500.00
374021 ZAMORA, SANDRA	DEPOSIT REFUND	500.00

**Recreation Admin**

373821 BAY CITIES PYROTECTOR	INSPECTION SERVICES	370.00
373874 PACIFIC GAS AND ELECTRIC CO	GAS	2,387.76

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373880 REAL PROTECTION INC	REPAIR SERVICE	949.64
373952 OAKLEYS PEST CONTROL	PEST CONTROL	225.00
931265 CONSOLIDATED ELECTRICAL DIST	SUPPLIES	261.72

**Senior Programs**

373874 PACIFIC GAS AND ELECTRIC CO	GAS	1,591.84
373903 AT AND T MCI	PHONE	82.81
373937 HONEYWELL INTERNATIONAL INC	HVAC SERVICES	5,406.25
374026 BANK OF AMERICA	CLEANING SERVICES	2,687.80

**Recreation Sports Programs**

373874 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	2,083.90
373891 UNITED STATES POSTAL SERVICE	MAIL PERMIT	1,833.00
373903 AT AND T MCI	PHONE	20.31
373912 CALIFORNIA USSSA	SOFTBALL REGISTRATION	780.00
373928 ECOLAB	JANITORIAL SUPPLIES	286.69
373952 OAKLEYS PEST CONTROL	PEST CONTROL	150.00
373959 PEPSI COLA COMPANY	SUPPLIES	1,309.02
373978 UNIQUE PEST CONTROL	PEST CONTROL	50.00
374005 KIDZ LOVE SOCCER INC	YOUTH SOCCER	2,121.00

**Recreation-New Comm Cntr**

373864 LOWES COMPANIES INC	SUPPLIES	153.19
373872 OFFICE MAX INC	OFFICE SUPPLIES	31.73
373874 PACIFIC GAS AND ELECTRIC CO	GAS	6,741.04
373891 UNITED STATES POSTAL SERVICE	MAIL PERMIT	1,833.00
373902 AT AND T MCI	PHONE	66.33
373903 AT AND T MCI	PHONE	22.85
373907 BAY CITIES PYROTECTOR	INSPECTION	370.00
373928 ECOLAB	JANITORIAL SUPPLIES	543.75
373937 HONEYWELL INTERNATIONAL INC	HVAC SERVICES	9,930.25
373952 OAKLEYS PEST CONTROL	PEST CONTROL	250.00
373984 VERIZON WIRELESS	CELL PHONE	38.01
373994 BLACK DIAMOND KIDS CENTER	CONTRACTOR PAYMENT	323.40
374001 DUGAND, KARINA	CONTRACTOR PAYMENT	356.40
374015 RIDLEY, DEXTER	CONTRACTOR PAYMENT	231.00
374019 UNIQUE PEST CONTROL	BIRD CONTROL SERVICES	400.00

**220 Traffic Signalization Fund**

**Traffic Signals**

373869 MIKE BROWN ELECTRIC CO	TRAFFIC SIGNAL PROJECT	15,675.00
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**226 Solid Waste Reduction Fund**

**Solid Waste**

373817 BARKER MECHANICAL SERVICES INC	WASTE MANAGEMENT REFUND	35.00
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**229 Pollution Elimination Fund**

**Channel Maintenance Operation**

373895 WRECO	PROFESSIONAL SERVICES	1,020.00
373950 NEXTEL SPRINT	CELL PHONE	50.43
373955 PACIFIC COAST LANDSCAPE MGMT	LANDSCAPE SERVICES	3,080.54
373991 ALTA FENCE	PARTS	132.16
373997 CONTRA COSTA HEALTH SERVICES	INSPECTION SERVICES	348.00
374026 BANK OF AMERICA	PAPA SEMINAR	340.00

**251 Lone Tree SLLMD Fund**

**Lonetree Maintenance Zone 1**

373874 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	729.51
373886 TERRACARE ASSOCIATES	TURF MOWING	136.60
373903 AT AND T MCI	PHONE	81.24
373974 TERRACARE ASSOCIATES	TURF MOWING	136.60

**Lonetree Maintenance Zone 2**

373874 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	719.80
373903 AT AND T MCI	PHONE	138.86

**Lonetree Maintenance Zone 3**

373903 AT AND T MCI	PHONE	60.93
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**Lonetree Maintenance Zone 4**

373886 TERRACARE ASSOCIATES	TURF MOWING	218.56
373974 TERRACARE ASSOCIATES	TURF MOWING	218.56

**252 Downtown SLLMD Fund**

**Downtown Maintenance**

373874 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	238.72
373886 TERRACARE ASSOCIATES	TURF MOWING	136.60
373974 TERRACARE ASSOCIATES	TURF MOWING	136.60

**253 Almondridge SLLMD Fund**

**Almondridge Maintenance**

373874 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	206.43
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**254 Hillcrest SLLMD Fund**

**Hillcrest Maintenance Zone 1**

373874	PACIFIC GAS AND ELECTRIC CO	ELECTRIC	550.08
373882	SILVA LANDSCAPE	LANDSCAPE SERVICES	3,420.00
373886	TERRACARE ASSOCIATES	TURF MOWING	355.16
373903	AT AND T MCI	PHONE	40.62
373969	SILVA LANDSCAPE	LANDSCAPE SERVICES	3,420.00
373974	TERRACARE ASSOCIATES	TURF MOWING	355.16

**Hillcrest Maintenance Zone 2**

373874	PACIFIC GAS AND ELECTRIC CO	ELECTRIC	717.57
373886	TERRACARE ASSOCIATES	TURF MOWING	486.30
373903	AT AND T MCI	PHONE	142.17
373974	TERRACARE ASSOCIATES	TURF MOWING	486.30

**Hillcrest Maintenance Zone 4**

373874	PACIFIC GAS AND ELECTRIC CO	ELECTRIC	642.63
373886	TERRACARE ASSOCIATES	TURF MOWING	273.20
373903	AT AND T MCI	PHONE	120.20
373974	TERRACARE ASSOCIATES	TURF MOWING	273.20

**255 Park 1A Maintenance District Fund**

**Park 1A Maintenance District**

373874	PACIFIC GAS AND ELECTRIC CO	GAS	161.64
373886	TERRACARE ASSOCIATES	TURF MOWING	355.16
373903	AT AND T MCI	PHONE	40.62
373974	TERRACARE ASSOCIATES	TURF MOWING	355.16

**256 Citywide 2A Maintenance District Fund**

**Citywide 2A Maintenance Zone 3**

373874	PACIFIC GAS AND ELECTRIC CO	ELECTRIC	74.95
373886	TERRACARE ASSOCIATES	TURF MOWING	5.46
373974	TERRACARE ASSOCIATES	TURF MOWING	5.46

**Citywide 2A Maintenance Zone 4**

373874	PACIFIC GAS AND ELECTRIC CO	ELECTRIC	304.44
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**Citywide 2A Maintenance Zone 5**

373874	PACIFIC GAS AND ELECTRIC CO	ELECTRIC	379.59
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**Citywide 2A Maintenance Zone 6**

373874	PACIFIC GAS AND ELECTRIC CO	ELECTRIC	222.27
373886	TERRACARE ASSOCIATES	TURF MOWING	327.84
373974	TERRACARE ASSOCIATES	TURF MOWING	327.84

**Citywide 2A Maintenance Zone 8**

373886	TERRACARE ASSOCIATES	TURF MOWING	27.32
373974	TERRACARE ASSOCIATES	TURF MOWING	27.32

**Citywide 2A Maintenance Zone 9**

373874	PACIFIC GAS AND ELECTRIC CO	ELECTRIC	468.65
373886	TERRACARE ASSOCIATES	TURF MOWING	81.96
373903	AT AND T MCI	PHONE	81.24
373974	TERRACARE ASSOCIATES	TURF MOWING	81.96

**Citywide 2A Maintenance Zone10**

373874	PACIFIC GAS AND ELECTRIC CO	ELECTRIC	159.56
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**257 SLLMD Administration Fund**

**SLLMD Administration**

373848	FURBER SAW INC	CHAINS	194.83
373864	LOWES COMPANIES INC	SUPPLIES	880.60
373886	TERRACARE ASSOCIATES	TURF MOWING	327.84
373921	CROP PRODUCTION SERVICES INC	SUPPLIES	2,127.11
373950	NEXTEL SPRINT	CELL PHONE	165.50
373974	TERRACARE ASSOCIATES	TURF MOWING	327.84
373982	VERIZON WIRELESS	CELL PHONE	76.02
374026	BANK OF AMERICA	SUPPLIES	60.66
931278	HOYA SAFETY	SAFETY GLASSES - BURGESS	290.91

**311 Capital Improvement Fund**

**Parks & Open Space**

373823	BLUEPRINT EXPRESS	PLANS	299.36
373841	DMZ BUILDERS	WEST ANTIOCH CREEK PROJECT	70,300.00

**Northeast Annexation**

373932	FEDEX	SHIPPING	48.29
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**319 Residential Dev Alloc Fund**

**Non Departmental**

373951	NOVENTRI	BULLETIN BOARD	1,735.38
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**376 Lone Diamond Fund**

**Assessment District**

373914 CENTRAL SELF STORAGE ANTIOCH	MONTHLY STORAGE FEE	252.00
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**570 Equipment Maintenance Fund**

**Non Departmental**

373938 HUNT AND SONS INC	FUEL	20,836.88
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**Equipment Maintenance**

373814 ANTIOCH AUTO PARTS	AUTO PARTS	729.70
373864 LOWES COMPANIES INC	SUPPLIES	23.75
373874 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	500.77
373876 PETERSON	EQUIPMENT SERVICE	1,134.41
373877 PURSUIT NORTH	EQUIPMENT	16,547.22
373889 TRED SHED, THE	TIRES	3,874.11
373900 ANTIOCH AUTO PARTS	AUTO PARTS	585.10
373926 EAST BAY TIRE CO	TIRE SERVICE	180.88
373946 MUNICIPAL MAINT EQUIPMENT INC	SUPPLIES	75.88
373963 PURSUIT NORTH	AUTO PARTS	228.38
373966 ROYAL BRASS INC	AUTO PARTS	233.63
373982 VERIZON WIRELESS	CELL PHONE	38.01
374009 OREILLY AUTO PARTS	AUTO PARTS	129.68
374017 SGS TESTCOM	SMOG CERTIFICATIONS	19.93
374026 BANK OF AMERICA	AUTO PARTS	171.98
931275 GRAINGER INC	SUPPLIES	340.61
931284 UNLIMITED GRAPHIC AND SIGN NET	SUPPLIES	190.31

**573 Information Services Fund**

**Information Services**

373903 AT AND T MCI	PHONE	74.64
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**Network Support & PCs**

373829 COMCAST	CONNECTION SERVICES	177.40
373862 KIS	PROFESSIONAL SERVICES	255.00
373903 AT AND T MCI	PHONE	85.97

**Telephone System**

373902 AT AND T MCI	PHONE	426.37
373903 AT AND T MCI	PHONE	2,171.30

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**577 Post Retirement Medical-Police Fund**

**Non Departmental**

374039 RETIREE	MEDICAL AFTER RETIREMENT	1,426.72
374041 RETIREE	MEDICAL AFTER RETIREMENT	1,134.00
374042 RETIREE	MEDICAL AFTER RETIREMENT	779.86
374043 RETIREE	MEDICAL AFTER RETIREMENT	1,894.64
374046 RETIREE	MEDICAL AFTER RETIREMENT	1,114.78
374050 RETIREE	MEDICAL AFTER RETIREMENT	1,114.78
374055 RETIREE	MEDICAL AFTER RETIREMENT	1,426.72
374060 RETIREE	MEDICAL AFTER RETIREMENT	963.20
374063 RETIREE	MEDICAL AFTER RETIREMENT	1,224.46
374069 RETIREE	MEDICAL AFTER RETIREMENT	256.93
374072 RETIREE	MEDICAL AFTER RETIREMENT	1,426.72
374073 RETIREE	MEDICAL AFTER RETIREMENT	1,426.72
374077 RETIREE	MEDICAL AFTER RETIREMENT	499.68
931291 RETIREE	MEDICAL AFTER RETIREMENT	499.68
931295 RETIREE	MEDICAL AFTER RETIREMENT	963.20
931296 RETIREE	MEDICAL AFTER RETIREMENT	295.92
931298 RETIREE	MEDICAL AFTER RETIREMENT	1,274.92
931301 RETIREE	MEDICAL AFTER RETIREMENT	1,426.72
931302 RETIREE	MEDICAL AFTER RETIREMENT	1,274.92
931312 RETIREE	MEDICAL AFTER RETIREMENT	967.60
931314 RETIREE	MEDICAL AFTER RETIREMENT	837.00
931317 RETIREE	MEDICAL AFTER RETIREMENT	558.94
931320 RETIREE	MEDICAL AFTER RETIREMENT	1,426.72
931332 RETIREE	MEDICAL AFTER RETIREMENT	1,559.72
931336 RETIREE	MEDICAL AFTER RETIREMENT	1,426.72
931337 RETIREE	MEDICAL AFTER RETIREMENT	837.00
931338 RETIREE	MEDICAL AFTER RETIREMENT	183.34
931339 RETIREE	MEDICAL AFTER RETIREMENT	1,426.72
931350 RETIREE	MEDICAL AFTER RETIREMENT	183.34
931352 RETIREE	MEDICAL AFTER RETIREMENT	256.93
931355 RETIREE	MEDICAL AFTER RETIREMENT	499.68
931356 RETIREE	MEDICAL AFTER RETIREMENT	1,116.23
931357 RETIREE	MEDICAL AFTER RETIREMENT	270.04
931360 RETIREE	MEDICAL AFTER RETIREMENT	506.91
931377 RETIREE	MEDICAL AFTER RETIREMENT	1,089.10
931379 RETIREE	MEDICAL AFTER RETIREMENT	646.86
931380 RETIREE	MEDICAL AFTER RETIREMENT	963.20
931391 RETIREE	MEDICAL AFTER RETIREMENT	1,426.72
931392 RETIREE	MEDICAL AFTER RETIREMENT	558.94
931393 RETIREE	MEDICAL AFTER RETIREMENT	1,426.72



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931395 RETIREE	MEDICAL AFTER RETIREMENT	1,036.79
931404 RETIREE	MEDICAL AFTER RETIREMENT	646.86
931413 RETIREE	MEDICAL AFTER RETIREMENT	1,426.72
931415 RETIREE	MEDICAL AFTER RETIREMENT	779.86
931419 RETIREE	MEDICAL AFTER RETIREMENT	499.68
931423 RETIREE	MEDICAL AFTER RETIREMENT	256.93
931433 RETIREE	MEDICAL AFTER RETIREMENT	646.86
931435 RETIREE	MEDICAL AFTER RETIREMENT	38.44
931436 RETIREE	MEDICAL AFTER RETIREMENT	646.86

**578 Post Retirement Medical-Misc Fund**

**Non Departmental**

374040 RETIREE	MEDICAL AFTER RETIREMENT	221.69
374047 RETIREE	MEDICAL AFTER RETIREMENT	103.69
374048 RETIREE	MEDICAL AFTER RETIREMENT	473.38
374051 RETIREE	MEDICAL AFTER RETIREMENT	103.69
374053 RETIREE	MEDICAL AFTER RETIREMENT	709.38
374058 RETIREE	MEDICAL AFTER RETIREMENT	221.69
374064 RETIREE	MEDICAL AFTER RETIREMENT	103.69
374066 RETIREE	MEDICAL AFTER RETIREMENT	103.69
374067 RETIREE	MEDICAL AFTER RETIREMENT	340.38
374068 RETIREE	MEDICAL AFTER RETIREMENT	103.69
374071 RETIREE	MEDICAL AFTER RETIREMENT	103.69
374075 RETIREE	MEDICAL AFTER RETIREMENT	100.00
374076 RETIREE	MEDICAL AFTER RETIREMENT	103.69
374078 RETIREE	MEDICAL AFTER RETIREMENT	576.38
931290 RETIREE	MEDICAL AFTER RETIREMENT	576.38
931292 RETIREE	MEDICAL AFTER RETIREMENT	249.30
931293 RETIREE	MEDICAL AFTER RETIREMENT	197.76
931297 RETIREE	MEDICAL AFTER RETIREMENT	576.38
931300 RETIREE	MEDICAL AFTER RETIREMENT	103.69
931305 RETIREE	MEDICAL AFTER RETIREMENT	221.69
931307 RETIREE	MEDICAL AFTER RETIREMENT	221.69
931309 RETIREE	MEDICAL AFTER RETIREMENT	576.38
931310 RETIREE	MEDICAL AFTER RETIREMENT	340.38
931313 RETIREE	MEDICAL AFTER RETIREMENT	576.38
931319 RETIREE	MEDICAL AFTER RETIREMENT	103.69
931321 RETIREE	MEDICAL AFTER RETIREMENT	340.38
931324 RETIREE	MEDICAL AFTER RETIREMENT	103.69
931325 RETIREE	MEDICAL AFTER RETIREMENT	221.69
931328 RETIREE	MEDICAL AFTER RETIREMENT	103.69
931331 RETIREE	MEDICAL AFTER RETIREMENT	103.69

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931334 RETIREE	MEDICAL AFTER RETIREMENT	576.38
931335 RETIREE	MEDICAL AFTER RETIREMENT	576.38
931343 RETIREE	MEDICAL AFTER RETIREMENT	103.69
931344 RETIREE	MEDICAL AFTER RETIREMENT	103.69
931346 RETIREE	MEDICAL AFTER RETIREMENT	111.42
931351 RETIREE	MEDICAL AFTER RETIREMENT	576.38
931354 RETIREE	MEDICAL AFTER RETIREMENT	103.69
931359 RETIREE	MEDICAL AFTER RETIREMENT	221.69
931361 RETIREE	MEDICAL AFTER RETIREMENT	221.69
931364 RETIREE	MEDICAL AFTER RETIREMENT	103.69
931366 RETIREE	MEDICAL AFTER RETIREMENT	103.69
931369 RETIREE	MEDICAL AFTER RETIREMENT	576.38
931371 RETIREE	MEDICAL AFTER RETIREMENT	340.38
931372 RETIREE	MEDICAL AFTER RETIREMENT	340.38
931376 RETIREE	MEDICAL AFTER RETIREMENT	340.38
931386 RETIREE	MEDICAL AFTER RETIREMENT	183.34
931387 RETIREE	MEDICAL AFTER RETIREMENT	103.69
931388 RETIREE	MEDICAL AFTER RETIREMENT	340.38
931397 RETIREE	MEDICAL AFTER RETIREMENT	103.69
931400 RETIREE	MEDICAL AFTER RETIREMENT	103.69
931403 RETIREE	MEDICAL AFTER RETIREMENT	340.38
931408 RETIREE	MEDICAL AFTER RETIREMENT	103.69
931418 RETIREE	MEDICAL AFTER RETIREMENT	340.38
931421 RETIREE	MEDICAL AFTER RETIREMENT	86.48
931422 RETIREE	MEDICAL AFTER RETIREMENT	183.34
931424 RETIREE	MEDICAL AFTER RETIREMENT	576.38
931426 RETIREE	MEDICAL AFTER RETIREMENT	709.38
931432 RETIREE	MEDICAL AFTER RETIREMENT	340.38
931434 RETIREE	MEDICAL AFTER RETIREMENT	103.69

**579 Post Retirement Medical-Mgmt Fund**

**Non Departmental**

374044 RETIREE	MEDICAL AFTER RETIREMENT	880.90
374045 RETIREE	MEDICAL AFTER RETIREMENT	161.69
374049 RETIREE	MEDICAL AFTER RETIREMENT	103.69
374052 RETIREE	MEDICAL AFTER RETIREMENT	221.69
374054 RETIREE	MEDICAL AFTER RETIREMENT	499.68
374056 RETIREE	MEDICAL AFTER RETIREMENT	400.00
374057 RETIREE	MEDICAL AFTER RETIREMENT	576.38
374059 RETIREE	MEDICAL AFTER RETIREMENT	1,894.64
374061 RETIREE	MEDICAL AFTER RETIREMENT	340.38
374062 RETIREE	MEDICAL AFTER RETIREMENT	396.54

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374065	RETIREE	MEDICAL AFTER RETIREMENT	741.38
374070	RETIREE	MEDICAL AFTER RETIREMENT	880.90
374074	RETIREE	MEDICAL AFTER RETIREMENT	1,894.64
931294	RETIREE	MEDICAL AFTER RETIREMENT	576.38
931299	RETIREE	MEDICAL AFTER RETIREMENT	340.38
931303	RETIREE	MEDICAL AFTER RETIREMENT	340.38
931304	RETIREE	MEDICAL AFTER RETIREMENT	183.34
931306	RETIREE	MEDICAL AFTER RETIREMENT	161.70
931308	RETIREE	MEDICAL AFTER RETIREMENT	103.69
931311	RETIREE	MEDICAL AFTER RETIREMENT	340.38
931315	RETIREE	MEDICAL AFTER RETIREMENT	576.38
931316	RETIREE	MEDICAL AFTER RETIREMENT	576.38
931318	RETIREE	MEDICAL AFTER RETIREMENT	709.38
931322	RETIREE	MEDICAL AFTER RETIREMENT	631.60
931323	RETIREE	MEDICAL AFTER RETIREMENT	197.76
931326	RETIREE	MEDICAL AFTER RETIREMENT	1,013.90
931327	RETIREE	MEDICAL AFTER RETIREMENT	576.38
931329	RETIREE	MEDICAL AFTER RETIREMENT	456.38
931330	RETIREE	MEDICAL AFTER RETIREMENT	103.69
931333	RETIREE	MEDICAL AFTER RETIREMENT	249.30
931340	RETIREE	MEDICAL AFTER RETIREMENT	340.38
931341	RETIREE	MEDICAL AFTER RETIREMENT	340.38
931342	RETIREE	MEDICAL AFTER RETIREMENT	340.38
931345	RETIREE	MEDICAL AFTER RETIREMENT	558.94
931347	RETIREE	MEDICAL AFTER RETIREMENT	377.40
931348	RETIREE	MEDICAL AFTER RETIREMENT	340.38
931349	RETIREE	MEDICAL AFTER RETIREMENT	340.38
931358	RETIREE	MEDICAL AFTER RETIREMENT	346.97
931362	RETIREE	MEDICAL AFTER RETIREMENT	706.38
931363	RETIREE	MEDICAL AFTER RETIREMENT	340.38
931365	RETIREE	MEDICAL AFTER RETIREMENT	880.90
931367	RETIREE	MEDICAL AFTER RETIREMENT	340.38
931368	RETIREE	MEDICAL AFTER RETIREMENT	340.38
931370	RETIREE	MEDICAL AFTER RETIREMENT	1,426.72
931373	RETIREE	MEDICAL AFTER RETIREMENT	40.79
931374	RETIREE	MEDICAL AFTER RETIREMENT	1,036.79
931375	RETIREE	MEDICAL AFTER RETIREMENT	340.38
931378	RETIREE	MEDICAL AFTER RETIREMENT	528.45
931381	RETIREE	MEDICAL AFTER RETIREMENT	249.30
931382	RETIREE	MEDICAL AFTER RETIREMENT	161.69
931383	RETIREE	MEDICAL AFTER RETIREMENT	1,894.64
931384	RETIREE	MEDICAL AFTER RETIREMENT	340.38

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931385	RETIREE	MEDICAL AFTER RETIREMENT	340.38
931389	RETIREE	MEDICAL AFTER RETIREMENT	103.69
931390	RETIREE	MEDICAL AFTER RETIREMENT	103.69
931394	RETIREE	MEDICAL AFTER RETIREMENT	613.47
931396	RETIREE	MEDICAL AFTER RETIREMENT	103.69
931398	RETIREE	MEDICAL AFTER RETIREMENT	340.38
931399	RETIREE	MEDICAL AFTER RETIREMENT	340.38
931401	RETIREE	MEDICAL AFTER RETIREMENT	221.69
931402	RETIREE	MEDICAL AFTER RETIREMENT	161.70
931405	RETIREE	MEDICAL AFTER RETIREMENT	340.38
931406	RETIREE	MEDICAL AFTER RETIREMENT	340.38
931407	RETIREE	MEDICAL AFTER RETIREMENT	103.69
931409	RETIREE	MEDICAL AFTER RETIREMENT	249.30
931410	RETIREE	MEDICAL AFTER RETIREMENT	631.60
931411	RETIREE	MEDICAL AFTER RETIREMENT	103.69
931412	RETIREE	MEDICAL AFTER RETIREMENT	340.38
931414	RETIREE	MEDICAL AFTER RETIREMENT	456.38
931416	RETIREE	MEDICAL AFTER RETIREMENT	228.50
931417	RETIREE	MEDICAL AFTER RETIREMENT	103.69
931420	RETIREE	MEDICAL AFTER RETIREMENT	709.38
931425	RETIREE	MEDICAL AFTER RETIREMENT	340.38
931427	RETIREE	MEDICAL AFTER RETIREMENT	340.38
931428	RETIREE	MEDICAL AFTER RETIREMENT	229.69
931429	RETIREE	MEDICAL AFTER RETIREMENT	1,697.30
931430	RETIREE	MEDICAL AFTER RETIREMENT	103.69
931431	RETIREE	MEDICAL AFTER RETIREMENT	1,837.00

**611 Water Fund**

**Non Departmental**

373838	CRWA	MEMBER DUES	930.00
373915	COLE SUPPLY CO INC	SUPPLIES	2,254.88
373931	FASTENAL CO	SUPPLIES	766.64
373954	OFFICE MAX INC	OFFICE SUPPLIES	1,678.64
373965	ROBERTS AND BRUNE CO	PIPE FITTINGS	1,282.55
374002	GOLOGO PROMOTIONS	SUPPLIES	154.43
374020	WILCO SUPPLY	SUPPLIES	327.03
931275	GRAINGER INC	SUPPLIES	2,700.16
931276	HAMMONS SUPPLY COMPANY	SUPPLIES	919.79

**Water Supervision**

373884	STOGLIN, KENNETH	CHECK REPLACEMENT	73.34
373950	NEXTEL SPRINT	CELL PHONE	172.17

CITY OF ANTIOCH  
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373982 VERIZON WIRELESS	CELL PHONE	76.02
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**Water Production**

373808 ALAMEDA ELECTRICAL DISTRIBUTOR	REPAIR SERVICES	941.02
373812 ACE HARDWARE, ANTIOCH	SUPPLIES	4.87
373838 CRWA	MEMBERSHIP DUES	310.00
373847 FISHER SCIENTIFIC COMPANY	LAB SUPPLIES	312.86
373852 HACH CO	LAB SUPPLIES	215.85
373853 HAGGARD, WILLIAM T	EXPENSE REIMBURSEMENT	250.00
373854 HARRINGTON INDUSTRIAL PLASTICS	SUPPLIES	95.06
373864 LOWES COMPANIES INC	SUPPLIES	198.66
373874 PACIFIC GAS AND ELECTRIC CO	GAS	106,197.32
373899 ACE HARDWARE, ANTIOCH	SUPPLIES	8.97
373900 ANTIOCH AUTO PARTS	AUTO PARTS	31.33
373902 AT AND T MCI	PHONE	132.69
373903 AT AND T MCI	PHONE	1,121.01
373918 CONTRA COSTA WATER DISTRICT	RAW WATER	132,716.33
373930 ENVIRONMENTAL RESOURCE ASSOC	TESTING	1,298.59
373933 FRANK A OLSEN COMPANY INC	PARTS	4,948.13
373935 GUALCO GROUP INC, THE	PROFESSIONAL SERVICES	6,001.05
373936 HACH CO	SUPPLIES	221.59
373937 HONEYWELL INTERNATIONAL INC	HVAC SERVICES	2,150.20
373950 NEXTEL SPRINT	CELL PHONE	51.28
373954 OFFICE MAX INC	OFFICE SUPPLIES	16.95
373982 VERIZON WIRELESS	CELL PHONE	38.01
373985 WALTER BISHOP CONSULTING	WATER RIGHTS PROJECT	5,795.00
373990 ALAMEDA ELECTRICAL DISTRIBUTOR	FREIGHT	37.32
374026 BANK OF AMERICA	SUPPLIES	77.41
931264 COMPUTERLAND	COMPUTER EQUIPMENT	1,401.21
931265 CONSOLIDATED ELECTRICAL DIST	SUPPLIES	168.70
931267 EUROFINS EATON ANALYTICAL INC	SAMPLE TESTING	20.00
931268 ICR ELECTRICAL CONTRACTORS	ELECTRICAL SERVICES	1,027.72
931272 CHEMTRADE CHEMICALS US LLC	ALUM	5,584.06
931274 EUROFINS EATON ANALYTICAL INC	TESTING	700.00
931275 GRAINGER INC	SUPPLIES	513.71
931281 NTU TECHNOLOGIES INC	POLYMER	2,700.00
931282 OLIN CHLOR ALKALI PRODUCTS	CAUSTIC	13,908.24

**Water Distribution**

373813 ANTIOCH AUTO PARTS	SUPPLIES	5.71
373864 LOWES COMPANIES INC	SUPPLIES	280.91
373872 OFFICE MAX INC	OFFICE SUPPLIES	87.06

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373900 ANTIOCH AUTO PARTS	SUPPLIES	21.74
373903 AT AND T MCI	PHONE	20.31
373931 FASTENAL CO	SUPPLIES	499.16
373939 INFOSEND INC	POSTAGE FEES	7,580.31
373950 NEXTEL SPRINT	CELL PHONE	462.55
373965 ROBERTS AND BRUNE CO	PIPE FITTINGS	1,890.08
373967 RT LAWRENCE CORP	LOCKBOX PROCESSING	1,189.86
373976 TYLER TECHNOLOGIES	INSITE FEES	340.00
373979 UNITED PARCEL SERVICE	SHIPPING	40.40
373982 VERIZON WIRELESS	CELL PHONE	380.10
374026 BANK OF AMERICA	MEMBERSHIP DUES	859.45

**Water Meter Reading**

373899 ACE HARDWARE, ANTIOCH	SUPPLIES	19.55
373950 NEXTEL SPRINT	CELL PHONE	59.97
373982 VERIZON WIRELESS	CELL PHONE	38.01
373993 BACKFLOW DISTRIBUTORS INC	PARTS	1,720.31

**Public Buildings & Facilities**

373827 CAROLLO ENGINEERS INC	PROFESSIONAL SERVICES	36,811.78
373828 CAMP DRESSER AND MCKEE INC	CONSULTING SERVICES	10,923.65
373867 MCMILLEN JACOBS ASSOCIATES	MUNICIPAL RESERVOIR	1,549.00
373871 MUNICIPAL FINANCIAL SERVICES	PROFESSIONAL SERVICES	2,170.00
373894 WOODARD AND CURRAN	WATER TREATMENT PROJECT	21,500.00

**Warehouse & Central Stores**

373864 LOWES COMPANIES INC	SUPPLIES	34.52
373890 UNITED PARCEL SERVICE	WEEKLY PRINTER SERVICE FEE	16.50
373950 NEXTEL SPRINT	CELL PHONE	73.53
373954 OFFICE MAX INC	OFFICE SUPPLIES	15.00
373979 UNITED PARCEL SERVICE	WEEKLY PRINTER SERVICE FEE	3.00

**621 Sewer Fund**

**Sewer-Wastewater Supervision**

373967 RT LAWRENCE CORP	LOCKBOX PROCESSING	1,189.86
373982 VERIZON WIRELESS	CELL PHONE	76.02

**Sewer-Wastewater Collection**

373864 LOWES COMPANIES INC	SUPPLIES	203.86
373871 MUNICIPAL FINANCIAL SERVICES	PROFESSIONAL SERVICES	2,170.00
373872 OFFICE MAX INC	OFFICE SUPPLIES	87.06
373901 ANTIOCH BUILDING MATERIALS	ASPHALT	378.28

CITY OF ANTIOCH  
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373903 AT AND T MCI	PHONE	41.88
373924 DKF SOLUTIONS GROUP LLC	CONSULTING SERVICES	1,995.20
373939 INFOSEND INC	POSTAGE FEES	7,580.27
373950 NEXTEL SPRINT	CELL PHONE	372.57
373965 ROBERTS AND BRUNE CO	PIPE FITTINGS	296.89
373976 TYLER TECHNOLOGIES	INSITE FEES	340.00
373982 VERIZON WIRELESS	CELL PHONE	228.06
373995 CALIFORNIA SURVEYING AND DRAFT	SUPPLIES	766.69
374026 BANK OF AMERICA	CEU WATER	465.00
931264 COMPUTERLAND	COMPUTER EQUIPMENT	1,401.21
931275 GRAINGER INC	SUPPLIES	60.94

**631 Marina Fund**

**Non Departmental**

373857 HUNT AND SONS INC	FUEL	12,058.54
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**Marina Administration**

373874 PACIFIC GAS AND ELECTRIC CO	GAS	4,575.91
373880 REAL PROTECTION INC	MONITORING SERVICE	65.62
373950 NEXTEL SPRINT	CELL PHONE	57.39
374011 PFLUEGER, MATTHEW JAMES	EXPENSE REIMBURSEMENT	192.68
374014 RECREATION PUBLICATIONS	ADVERTISING	375.00
374023 ACME SECURITY SYSTEMS	SUPPLIES	664.64
374026 BANK OF AMERICA	ADVERTISING	369.65

**Marina Maintenance**

373821 BAY CITIES PYROTECTOR	INSPECTION SERVICES	740.00
373864 LOWES COMPANIES INC	SUPPLIES	53.64
373931 FASTENAL CO	SUPPLIES	173.05
374003 HENDERSON MARINE SUPPLY	SUPPLIES	901.06

**641 Prewett Water Park Fund**

**Non Departmental**

373826 CAIMOL, ESPERANZA	DEPOSIT REFUND	390.00
374000 DELOS SANTOS, LORIE	DEPOSIT REFUND	500.00

**Recreation Water Park**

373824 BOWERS, AARON ROBERT	MILEAGE REIMBURSEMENT	15.37
373864 LOWES COMPANIES INC	SUPPLIES	927.98
373874 PACIFIC GAS AND ELECTRIC CO	GAS	10,472.16
373880 REAL PROTECTION INC	MONITORING SERVICE	196.87
373891 UNITED STATES POSTAL SERVICE	MAIL PERMIT	1,834.00

CITY OF ANTIOCH  
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373903 AT AND T MCI	PHONE	116.92
373907 BAY CITIES PYROTECTOR	INSPECTION	740.00
373911 CAL ENVIRONMENTAL TESTING INC	MOLD CLEARANCE TESTING	425.00
373917 COMCAST	CONNECTION SERVICES	107.00
373937 HONEYWELL INTERNATIONAL INC	HVAC SERVICES	2,389.00
373950 NEXTEL SPRINT	CELL PHONE	32.94
373962 PRECISION LEAK DETECTION INC	LEAK DETECTION SERVICES	3,674.50
931265 CONSOLIDATED ELECTRICAL DIST	SUPPLIES	255.32

**721 Employee Benefits Fund**

**Non Departmental**

374022 24 HOUR FITNESS SPORT	PAYROLL DEDUCTIONS	44.99
374027 CALIFORNIA STATE DISBURSEMENT	PAYROLL DEDUCTIONS	103.50
374028 CITY SPORTS CLUB	PAYROLL DEDUCTIONS	54.98
374029 DIAMOND HILLS SPORT CLUB	PAYROLL DEDUCTIONS	199.00
374030 EAST COUNTY STRENGTH & CONDI	PAYROLL DEDUCTIONS	85.00
374031 IN SHAPE HEALTH CLUBS	PAYROLL DEDUCTIONS	770.97
374032 INTERNAL REVENUE SERVICE	PAYROLL DEDUCTIONS	60.00
374033 IRVIN DEUTSCHER YMCA	PAYROLL DEDUCTIONS	50.00
374034 LINA	PAYROLL DEDUCTIONS	6,330.26
374035 MUNICIPAL POOLING AUTHORITY	PAYROLL DEDUCTIONS	3,733.35
374036 PARS	PAYROLL DEDUCTIONS	3,116.74
374037 STANDARD LIFE INSURANCE	PAYROLL DEDUCTIONS	882.75
374038 STATE OF CALIFORNIA	PAYROLL DEDUCTIONS	940.08
931285 ANTIOCH PD SWORN MGMT ASSOC	PAYROLL DEDUCTIONS	550.00
931286 ANTIOCH POLICE OFFICERS ASSOCI	PAYROLL DEDUCTIONS	20,204.85
931287 ANTIOCH PUBLIC WORKS EMPLOYEE	PAYROLL DEDUCTIONS	3,655.74
931288 NATIONWIDE RETIREMENT SOLUTION	PAYROLL DEDUCTIONS	64,089.71
931289 VANTAGEPOINT TRANSFER AGENTS 3	PAYROLL DEDUCTIONS	6,343.45





## STAFF REPORT TO THE CITY COUNCIL

**DATE:** Regular Meeting of April 10, 2018

**TO:** Honorable Mayor and Members of the City Council

**SUBMITTED BY:** Forrest Ebbs, Community Development Director *FE*

**SUBJECT:** Resolution Rescinding Resolution No. 2018/21 Amending the FY17/18 Master Fee Schedule Regarding Recordation and Release of Liens

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### RECOMMENDED ACTION

It is recommended that the City Council adopt the resolution rescinding Resolution No. 2018/21 regarding amendment to FY17/18 Master Fee Schedule and Recordation and Release of Liens.

### STRATEGIC PURPOSE

The proposed action would correct the fee to correspond to recent State actions. It would relate to Strategy D-3, "To grow the Code Enforcement staff in number and efficacy" and Short Term Objective "Research and implement best practices and stay up to date on newest laws and trends as well as effective programs offered by other jurisdictions."

### FISCAL IMPACT

The proposed action would align the City's cost recovery efforts with the actual cost incurred by the City.

### DISCUSSION

On September 29, 2017, Governor Jerry Brown signed Senate Bill 2 (SB-2), Atkins, known as the Building Homes and Jobs Act. One element of SB-2 was a new \$75 fee on real estate recordings that is directed towards the development of affordable housing. This Bill was codified in Government Code Section 27388.1. This fee is collected by County Recorder Offices throughout the State whenever an instrument is recorded against or released from a property.

Contra Costa County began collecting this additional fee on January 1, 2018. On February 13, 2018, the Antioch City Council amended the FY 17/18 Master Fee

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Agenda Item #

Schedule to reflect the new \$150 cost incurred by the City whenever it recorded and released a lien or other document on a property. The fee went from \$100 to \$250. On March 13, 2018, Government Code Section 27388.1(a)(2)(D) was amended to specifically exempt "Any real estate instrument, paper, or notice executed or recorded by the state or any county, municipality, or other political subdivision of the state."

This action meant that Contra Costa County could no longer charge the City of Antioch the additional \$150 for recording or releasing liens. As a result, the City of Antioch no longer needs to charge the affected property owners the additional \$150. By rescinding this resolution, the City Council will return the fee back to its original \$100 - the amount before any changes were made earlier this year.

**ATTACHMENTS**

A: Resolution Rescinding Resolution No. 2018/21

# ATTACHMENT "A"

## RESOLUTION NO. 2018/\*\*

### RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ANTIOCH RESCINDING RESOLUTION NO. 2018/21 REGARDING AMENDMENT TO THE MASTER FEE SCHEDULE TO INCREASE THE "RELEASE OF SPECIAL ASSESMENT" FEE

**WHEREAS**, the City Council approved Resolution No. 2018/21 on February 13, 2018 amending the FY 17/18 Master Fee Schedule regarding the release of special assessment fee; and

**WHEREAS**, the amendment was initially based on SB-2 and the requirement for all parties, including municipalities, to pay an addition \$75 to record or release a lien or other instrument; and

**WHEREAS**, Government Code Section 27388.1(a)(2)(D) was amended on March 13, 2018 to specifically exempt municipalities from this fee; and

**WHEREAS**, the Contra Costa County Recorder's Office has ceased collection of the fee from the City of Antioch; and

**WHEREAS**, Section 3-10.01 et al. of the Antioch Municipal Code states that the City of Antioch may recover all costs reasonably bourn through adoption of a Master Fee Schedule; and

**WHEREAS**, the City Council considered this item at a regularly scheduled public hearing on April 10, 2018.

**NOW THEREFORE BE IT RESOLVED** by the City Council of the City of Antioch that Resolution No. 2018/21 (Exhibit "A") is hereby rescinded.

\* \* \* \* \*

**I HEREBY CERTIFY** that the foregoing resolution was passed and adopted by the City Council of the City of Antioch, at a regular meeting thereof, held on the 10<sup>th</sup> day of April, 2018 by the following vote:

**AYES:**

**NOES:**

**ABSTAIN:**

**ABSENT:**

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**ARNE SIMONSEN, CMC**  
**CITY CLERK OF THE CITY OF ANTIOCH**

**EXHIBIT "A"**

**RESOLUTION NO. 2018/21**

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ANTIOCH AMENDING THE MASTER FEE SCHEDULE TO INCREASE THE "RELEASE OF SPECIAL ASSESMENT" FEE**

**WHEREAS**, the Code Enforcement Division is empowered by the Antioch Municipal Code to issue citations for violations of the Antioch Municipal Code; and

**WHEREAS**, the Code Enforcement Division of the Community Development Department routinely records liens against properties for failure to pay citations or to recover abatement costs for the curing of code violations; and

**WHEREAS**, the passage of Senate Bill 2 imposed a new fee of \$75 for the recording of instruments, such as a lien, against a property or the release of a lien from a property; and

**WHEREAS**, the Contra Costa County Recorder's Office has begun collection of \$75 upon the recording of a lien and \$75 upon the release of a lien; and

**WHEREAS**, Section 3-10.01 et al. of the Antioch Municipal Code states that the City of Antioch may recover all costs reasonably bourn through adoption of a Master Fee Schedule; and

**WHEREAS**, the City Council considered this item at a regularly scheduled public hearing on February 13, 2018.

**NOW THEREFORE BE IT RESOLVED**, that the City Council hereby approves an amendment to the FY17/18 Master Fee Schedule to increase the "Release of Special Assessment Lien" fee from \$100.00 to \$250.00.

\* \* \* \* \*

**I HEREBY CERTIFY** that the foregoing resolution was passed and adopted by the City Council of the City of Antioch, at a regular meeting thereof, held on the 13<sup>th</sup> day of February, 2018 by the following vote:

**AYES:** Council Members Wilson, Thorpe, Tiscareno, Ogorchock and Mayor Wright

**NOES:** None

**ABSTAIN:** None

**ABSENT:** None

\_\_\_\_\_  
**ARNE SIMONSEN, CMC**  
**CITY CLERK OF THE CITY OF ANTIOCH**

AZ



## STAFF REPORT TO THE CITY COUNCIL

**DATE:** Regular Meeting of April 10, 2018

**TO:** Honorable Mayor and Members of the City Council

**SUBMITTED BY:** Phil Hoffmeister, Administrative Analyst II *PH*

**APPROVED BY:** Lynne Filson, Assistant City Engineer II *LF*

**SUBJECT:** Resolution Establishing the Rate per Equivalent Runoff Unit for Fiscal Year 2018/19 and Requesting the Contra Costa County Flood Control and Water Conservation District to Adopt an Annual Parcel Assessment for Drainage Maintenance and the National Pollution Discharge Elimination System Program

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### **RECOMMENDED ACTION**

It is recommended that the City Council adopt the resolution establishing a rate of twenty-five dollars (\$25) per equivalent runoff unit (ERU) for fiscal year (FY) 2018-19. That rate will generate the funds used to maintain storm water quality as mandated by the Clean Water Act.

### **STRATEGIC PURPOSE**

This action directly addresses Citywide Strategic Plan, Long Term Goal E: Environmental Enhancement: Pollution prevention (NPDES), water conservation, energy and carbon conservation, and waste prevention; and Strategy E-1: Exceed environmental regulation compliance in all resource areas.

### **FISCAL IMPACT**

The adoption of the NPDES rate of \$25 per ERU will generate approximately \$1,170,000. The City of Antioch will receive approximately \$820,000 of that revenue to provide services and administer the NPDES program as mandated by the Clean Water Act. The remaining \$350,000 reflects the City's share of County Clean Water Program costs. Such costs are allocated over all participating agencies on a population basis.

### **DISCUSSION**

At its March 9, 1993 meeting, the City Council adopted Resolution 93/49 authorizing the establishment of an annual parcel assessment for drainage maintenance and the National Pollution Discharge Elimination System (NPDES) program. That action set the fee for fiscal year 1993-94 at \$20 per ERU per year and established a maximum rate of \$25 per ERU per year. At its April 12, 1994 meeting, the Council concurred with budget revisions proposed by staff and reduced that fee for fiscal year 1994-95 to \$17 per ERU per year. By subsequent actions, City Council set the rate for fiscal years 1995-96 through 2001-02 at \$17 per ERU per year.

At the April 9, 2002 Council meeting, in preparation for permit revisions and increased costs by the State Water Resources Control Board, staff presented alternatives to raising the ERU from \$17 to the maximum of \$25 over a 3-year period to meet projected increased costs. Staff recommended raising the ERU to \$21 in 2002-03, and proposed increasing the fee per ERU to \$23 in 2003-04 and \$25 in 2004-05. Council approved those increases respectively. The City is required by May 1<sup>st</sup> to determine the cost to be assigned to the ERU for the forthcoming fiscal year. The resolution submitted with this report meets that condition.

With the many uncertainties of future regulations and the cost to implement and administer these mandates, it is difficult to provide completely accurate projections. However, based on the City's current NPDES permit requirements and financial data and estimates for revenue and expenditures to meet those provisions, a revised zero fund balance could be realized by the end of FY 2020-21.

Any rate above the maximum of \$25 requires a Proposition 218 vote. According to the Central Valley Regional Water Quality Control Board (CVRWQCB), the City's storm water program is currently operating at an acceptable level.

#### **ATTACHMENTS**

A. Resolution

**ATTACHMENT "A"**

**RESOLUTION NO. 2018/\*\***

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ANTIOCH ESTABLISHING THE RATE PER EQUIVALENT RUNOFF UNIT FOR FISCAL YEAR 2018/19 AND REQUESTING THE CONTRA COSTA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT TO ADOPT AN ANNUAL PARCEL ASSESSMENT FOR DRAINAGE MAINTENANCE AND THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM PROGRAM**

**WHEREAS**, under the Federal Clean Water Act, prescribed discharges of storm water require a permit from the appropriate California Regional Water Quality Control Board under the National Pollutant Discharge Elimination System (NPDES) program; and

**WHEREAS**, the City of Antioch (CITY) did apply for, and did receive, a NPDES permit which requires the implementation of selected Best Management Practices to minimize or eliminate pollutants from entering storm waters; and

**WHEREAS**, it is the intent of the CITY to utilize funds received from its Storm Water Utility Area (SUA) for implementation of the NPDES program and drainage maintenance activities; and

**WHEREAS**, at the request of the CITY, the Contra Costa County Flood Control & Water Conservation District (DISTRICT) has completed the process for formation of a SUA, including the adoption of the Storm Water Utility Assessment Drainage Ordinance No. 93-47; and

**WHEREAS**, the SUA and Program Group Costs Payment agreement between CITY and DISTRICT requires the CITY, by May 1<sup>st</sup>, determine the rate to be assessed to a single Equivalent Runoff Unit (ERU) for the forthcoming fiscal year.

**NOW, THEREFORE BE IT RESOLVED**, that the City Council of the City of Antioch does determine that the rate to be assigned to a single ERU for FY 2018/19 shall be set at twenty-five dollars (\$25.00).

**BE IT FUTHER RESOLVED**, that the City Council does hereby request the DISTRICT to adopt SUA levies based on said amount.

\* \* \* \* \*

**I HEREBY CERTIFY** that the foregoing resolution was passed and adopted by the City Council of the City of Antioch at a regular meeting thereof, held on the 10<sup>th</sup> day of April, 2018, by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

---

**ARNE SIMONSEN, CMC**  
**CITY CLERK OF THE CITY OF ANTIOCH**



## STAFF REPORT TO THE CITY COUNCIL

**DATE:** Regular Meeting of April 10, 2018

**TO:** Honorable Mayor and Members of the City Council

**SUBMITTED BY:** Scott Buenting, Project Manager *SB*

**APPROVED BY:** Lynne B. Filson, Assistant City Engineer II *LBFC*

**SUBJECT:** Second Amendment to the Consultant Service Agreement with Kapsch Trafficcom USA, Inc. for support services related to the Water Treatment Plant Disinfection Improvements, (P.W. 246-29)

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### **RECOMMENDED ACTION**

It is recommended that the City Council adopt the resolution authorizing the City Manager to execute the second amendment to the Consultant Service Agreement with Kapsch Trafficcom USA, Inc. for support services related to the Water Treatment Plant Disinfection Improvements in the amount of \$25,000 for a total contract amount of \$74,999.

### **STRATEGIC PURPOSE**

This item supports Strategy K-1 in the Strategic Plan by ensuring well maintained public facilities and Strategy K-2 by delivering high quality water to our customers.

### **FISCAL IMPACT**

Adoption of this resolution will increase Kapsch Trafficcom USA, Inc. (Kapsch) contract by \$25,000 for a total contract amount of \$74,999. The cost of this work will be funded by Water Enterprise Funds.

### **DISCUSSION**

Kapsch currently provides consulting services to our Water Treatment Plant supporting the facility's programmable logic controllers (PLC) and instrumentation, as well as the City's supervisory control and data acquisition (SCADA) system and plant instrumentation. In addition, Kapsch has provided design review and electrical and control testing services on numerous water treatment plant and pump station improvement projects.

Staff is recommending Kapsch's Consulting Service Agreement be amended to include support services related to the Water Treatment Plant Disinfection Improvements. This amendment will include reviewing submittals and responding to contractor inquiries related to the integration of the new systems and processes into the existing facilities. Kapsch will develop, implement and test PLC codes and SCADA applications necessary to monitor and control the new disinfection equipment and provide assistance with electrical connections. Kapsch will establish the required



communication links between metering devices and the plant's existing systems. The consultant will also assist in the switch over to the new liquid disinfection chemicals and witness factory and field acceptance testing of new equipment on behalf of the City.

**ATTACHMENTS**

A: Resolution

**ATTACHMENT "A"**

**RESOLUTION NO. 2017/\*\***

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ANTIOCH  
AUTHORIZING THE CITY MANAGER TO EXECUTE THE SECOND AMENDMENT  
TO THE CONSULTANT SERVICE AGREEMENT WITH KAPSCH TRAFFICOM  
USA, INC. FOR SUPPORT SERVICES RELATED TO THE WATER TREATMENT  
PLANT DISINFECTION IMPROVEMENTS  
P.W. 246-29**

**WHEREAS**, on July 1, 2017, Kapsch Trafficcom USA, Inc. entered into an Agreement for Professional Consultant Services for support services related to the Water Treatment Plant Disinfection Improvements in the amount of \$25,000; and

**WHEREAS**, on January 4, 2018, City amended the Agreement with Kapsch Trafficcom USA, Inc. to increase the contract by \$24,999 for a total of \$49,999; and

**WHEREAS**, the City desires to authorize the City Manager to execute the Second Amendment to the Consultant Service Agreement with Kapsch Trafficcom USA, Inc. for support services related to the Water Treatment Plant Disinfection Improvements in the amount of \$25,000 for a total contract amount of \$74,999;

**THEREFORE, BE IT RESOLVED** that the City Council of the City of Antioch hereby authorizes the City Manager to execute the Second Amendment to the Consultant Service Agreement with Kapsch Trafficcom USA, Inc. for support services related to the Water Treatment Plant Disinfection Improvements in the amount of \$25,000 for a total contract amount of \$74,999 and extend the term of the contract.

\* \* \* \* \*

**I HEREBY CERTIFY** that the foregoing resolution was passed and adopted by the City Council of the City of Antioch at a regular meeting thereof, held on the 10<sup>th</sup> day of April 2018, by the following vote:

**AYES:**

**ABSENT:**

**NOES:**

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**ARNE SIMONSEN, CMC  
CITY CLERK OF THE CITY OF ANTIOCH**



## STAFF REPORT TO THE CITY COUNCIL

**DATE:** Regular Meeting of April 10, 2018

**TO:** Honorable Mayor and Members of the City Council

**SUBMITTED BY:** Derek P. Cole, Interim City Attorney DC

**SUBJECT:** Introduction and Waiver of First Reading of an Ordinance of the City Council of the City of Antioch Enacting Section 2-1.303 of Title 2 of the Antioch Municipal Code Adopting a By-District System for Electing Members of the City Council

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### **RECOMMENDED ACTION**

It is recommended that the City Council Introduce and Waive the First Reading of an Ordinance of the City Council of the City of Antioch Enacting Section 2-1.303 of Title 2 of the Antioch Municipal Code Adopting a By-District System for Electing Members of the City Council.

### **STRATEGIC PURPOSE**

The proposed action is consistent with Strategy N-1: Effectively and efficiently provide legal services in support of the City's policies, procedures, and initiatives.

### **FISCAL IMPACT**

If by-district elections are implemented, the City may incur less expenses for elections as, in any election cycle, costs would be incurred only for those precincts corresponding to the two districts running (as opposed to all City precincts). The City would, however, incur expenses for demographers and other professionals as part of the redistricting that would be required every 10 years, after each decennial census. Because redistricting is not required for cities that use at-large voting systems, the City presently does not incur these expenses.

### **BACKGROUND**

At its meeting on January 23, 2018, and in response from a demand letter threatening legal action against the City, the Council adopted a resolution formally declaring its intention to convert from at-large to by-district City Council elections. The Council's adoption of this resolution started a process that must be completed within 90 days and that will culminate in May with consideration of an ordinance effecting the change in the Council selection system. *(Note that the City has now received agreement from the attorney who has filed the California Voting Rights Act ("CVRA") claim that the City Council may have until its May 8, 2018 regular Council meeting to complete this process.)*

At meetings on February 13 and 15, 2018, the Council received presentations from its demographer and took public testimony regarding “communities of interest” that should be preserved as part of the creation of councilmember districts. The demographer took that information, along with information received via online submissions, to prepare two draft maps for Council consideration. Those two drafts are included as attachments to this staff report.

At a special City Council meeting on March 10, 2018, the Council heard public testimony regarding the initial two proposed maps the City’s demographer prepared. During this meeting, following receipt of suggestions of certain speakers, a “Quadrants” map was developed during the meeting that attempted to split the City as equally as possible from a mid-point (horizontally and vertically). Based on comments received from some Councilmembers, the demographer prepared a revised “Quadrants” map after the meeting. The two original maps prepared (Working Drafts 1 and 2) and two Quadrants maps were posted on the City’s Districting website beginning March 12, 2018.

At the March 27, 2018 meeting, the Council received additional public testimony regarding all four proposed maps (Working Drafts 1 and 2 and Quadrants A and B.) In addition to receiving oral testimony from a number of speakers, the Council received email comments from several City residents and was made aware of a Change.org petition regarding a community of interest several residents believed to exist within the City. At the conclusion of the item, the Council agreed to take additional testimony regarding the proposed maps—and in particular, the potential for refinements to Quadrants Map B—during a special session of the City Council meeting to be called at 5:30 p.m. on April 10, 2018, before this item is considered during the Council’s usual Regular Session that same evening.

### **PROPOSED ORDINANCE**

This item requires the City Council to consider the legislative change to the City Code that would be required to implement a by-district system for City Council elections. (As has been noted, the Mayoral elections would continue to be conducted on an at-large basis due to Measure M of the June 2012 election, in which City voters expressed their intention to maintain an elected Mayor separate from the elections of the four councilmembers.)

The attached ordinance would enact a new section in the Chapter of the City Code dealing with City Council elections. The ordinance would make findings declaring the intention to switch to a by-district system of elections to ensure compliance with the CVRA and the portions of the California Constitution guaranteeing the right to vote. The ordinance would also legislatively create four Council districts, to be numbered one through four, and after these districts’ initial creation, would require a redistricting process after every decennial census.

The draft ordinance provides two options for the timing of the implementation of the District elections. As has been noted previously, two councilmembers of the existing City Council have been elected for terms through 2020. Consistent with Government

Code section 34873, these terms cannot be abridged. There will accordingly be two open Council positions that will run in the election this November. The options for the rollout of a districting system are:

Option 1: Staggered rollout of district elections starting this year. In this scenario, the City would keep the two at-large seats of the councilmembers whose terms do not expire, and it would implement two of the four districts for this November's election; then in 2020, the City would replace the two remaining at-large seats with the two other districts. This would keep the current staggering of elections in which two councilmembers are up for election each election cycle. The draft ordinance proposes to run Districts 1 and 4 this year and run Districts 2 and 3 starting in 2020. The Council can adjust these numbers at its pleasure before introducing the ordinance. (For instance, it could specify that Districts 1 and 3 run this year and Districts 2 and 4 run starting in 2020.)

Option 2: Implement districts all at once in 2020. With this option, the City would start all district elections in 2020, but provide that half of the districts would initially be for 2-year terms, while the other half would be for full 4-year terms. Then, in 2022, the districts for which 2-year initial terms were held would convert to 4-year terms. This would allow for the Council to maintain a staggered election system. Effectively, this would mean for the two council seats that are up this year is that those would still be elected on an at-large basis in November, but they would only provide for terms of two years. Note also, that as with Option 1, the Council can substitute the numbers of the districts that will be given two-year initial terms. Presently, Districts 1 and 4 would be given initial two-year terms, but the Council could specify a different combination at its pleasure.

The ordinance itself does not adopt the district map that would set the boundaries of the four council districts. The Council would adopt that map separately by resolution. For the initial creation of the Districts, the Council will take final action to approve a district map at the same meeting it considers the enactment of this ordinance. (*As noted above, the enactment of this ordinance and consideration of the final map are now scheduled for consideration at the Council's regular meeting of May 8, 2018 in light of the extension of the "safe harbor" period on the CVRA claim against the City.*) After each decennial census, the Council would adopt changes to the district map by resolution, following the redistricting processes it would undertake per state law.

#### **ATTACHMENT**

1. Ordinance of the City Council of the City of Antioch Enacting Section 2-1.303 of Title 2 Of The Antioch Municipal Code Adopting a By-District System for Electing Members of the City Council

**ORDINANCE NO. \_\_\_\_-C-S**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ANTIOCH ENACTING SECTION 2-1.303 OF TITLE 2 OF THE ANTIOCH MUNICIPAL CODE ADOPTING A BY-DISTRICT SYSTEM FOR ELECTING MEMBERS OF THE CITY COUNCIL**

**WHEREAS**, the City of Antioch currently elects four Councilmembers and its Mayor using an at-large election system; and

**WHEREAS**, in response to threatened litigation regarding alleged noncompliance with the California Voting Rights Act ("CVRA"), the City Council has determined that it is in the best interest of the City to shift from its current at-large election system to a by-district election system for its four Councilmembers; and

**WHEREAS**, California Government Code section 34886 permits the City Council to change the City's method of election by ordinance to a "by district" system in which each Councilmember is elected only by the voters in the district in which the candidate resides; and

**WHEREAS**, in accordance with California Government Code section 34886, it is declared that the purpose of the change in the method of electing members of the City Council is to implement the guarantees of Section 7 of Article I and of Section 2 of Article II of the California Constitution, as set forth in Sections 14025 through 14032 of the California Elections Code; and

**WHEREAS**, because City electors expressed their intention in Measure M of the June 2012 Primary Election to require an independently elected Mayor separate from the four Councilmembers; this ordinance does not change the at-large method of election for the Mayor.

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF ANTIOCH DOES ORDAIN AS FOLLOWS:**

**Section 1.** Section 2-1.303 of the Antioch Municipal Code is enacted to read as follows:

**§2-1.303 BY-DISTRICT ELECTIONS FOR CITY COUNCIL MEMBERS**

(A) Pursuant to California Government Code section 34886, Members of the City Council of the City of Antioch shall be elected by-district in four (4) single-member districts.

(1) Members of the City Council shall be elected in the electoral districts established by subsection (B) of this Section and subsequently reapportioned as provided by State law. Elections shall take place "by district" as that term is defined in California Government Code section 34871, meaning one

Councilmember shall be elected from each district, by the voters of that district alone.

(2) A Councilmember elected or appointed to represent a district must reside in that district and be a registered voter in that district, and any candidate for City Council must reside in, and be a registered voter in, the district in which he or she seeks election at the time nomination papers are issued.

(B) All four Councilmembers shall be elected on a "by-district" basis from the Council districts shown and numbered on a map titled "City of Antioch District Map," as adopted separately by resolution, a copy of which shall be on file in the City Clerk's office.

(C) Pursuant to Elections Code section 21601, as it may be amended from time to time, the City Council shall adjust the boundaries of any or all of the districts following each decennial federal census to ensure that the districts are in compliance with all applicable provisions of law.

[OPTION 1, IMMEDIATE TRANSITION TO DISTRICT ELECTIONS]

(D) District elections enacted in accordance with this Section shall commence in the November 2018 General election. In the November 2018 General Election, Districts 1 and 4, as shown in the "City of Antioch District Map," will be open for election; and Districts 2 and 3, as shown in that same map, shall be open for election beginning in the November 2020 General Election. The Council positions in all four (4) districts shall have terms of four (4) years.

(E) Nothing in this section is intended to abridge, or shall abridge, any right any existing Councilmember has under California Government Code section 34873 to complete his or her existing term of office.

[OPTION 2, TRANSITION TO DISTRICT ELECTIONS BEGINNING IN 2020]

(D) District elections enacted in accordance with this section shall commence in the November 2020 General election. In the November 2020 General Election, Districts 1 and 4, as shown in the "City of Antioch District Map," will have initial terms of two (2) years, and both districts shall again be open for election in the November 2022 General Election, at and following which election they shall have four (4) year terms. Beginning in the November 2020 General Elections and thereafter, Districts 2 and 3, as shown in the "City of Antioch District Map," shall have four (4) year terms.

(E) Notwithstanding California Government Code section 34878, and to ensure the orderly transition away from the at-large election system for City Councilmember that exists at the time of this Ordinance's adoption, the two City Council positions open for election in the November 2018 General Election shall have two (2) year terms and because of this reduced term of office, no Councilmember elected in the November

2018 General Election shall have any right or claim under Government Code section 34873 to any term of office longer than two years.

**Section 2. CEQA Findings.**

This project is exempt from environmental analysis under the requirements of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines section 15061(b)(3), because it can be seen with certainty that the proposed amendments will not have a significant effect on the environment.

**Section 3. Severability.**

In the event any section or portion of this ordinance shall be determined to be invalid or unconstitutional, such section or portions shall be deemed severable and all other sections or portions hereof shall remain in force and effect.

**Section 4. Effective Date and Publication.**

This ordinance pertains to City elections and shall take effect immediately upon its adoption. The City Clerk shall cause the ordinance to be published within fifteen (15) days after its passage in a newspaper of general circulation or by publishing a summary of the proposed ordinance and posting a certified copy of the proposed ordinance in the City Clerk's Office at least five (5) days prior to the City Council meeting at which the ordinance is to be adopted and within fifteen (15) days after its adopting, publishing a summary of the ordinance with the names of the Council members voting for and against the ordinance.

\* \* \* \* \*

I **HEREBY CERTIFY** that the foregoing ordinance was introduced at a regular meeting of the City Council of the City of Antioch held on the 10th day of April 2018, and passed and adopted at a regular meeting thereof, held on the 8th day of May 2018, by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

\_\_\_\_\_  
**Sean Wright, Mayor of the City of Antioch**

**ATTEST:**

\_\_\_\_\_  
**Arne Simonsen, CMC, City Clerk of the City of Antioch**





## STAFF REPORT TO THE CITY COUNCIL

**DATE:** Regular Meeting of April 10, 2018  
**TO:** Honorable Mayor and Members of the City Council  
**SUBMITTED BY:** Forrest Ebbs, Community Development Director *FE*  
**SUBJECT:** Oakley Knolls Subdivision (PD-15-01)

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### **RECOMMENDED ACTION**

It is recommended that the City Council take the following actions:

1. Adopt the Resolution adopting the Oakley Knolls Initial Study and Mitigated Negative Declaration (Attachment "A").
2. Introduce the Ordinance for a zoning map amendment from Planned Development District (PD) to Planned Development District (PD-15-01) (Attachment "B").
3. Adopt the Resolution approving a Vesting Tentative Map/Final Development Plan subject to conditions of approval (Attachment "C").

### **STRATEGIC PURPOSE**

This action will improve Antioch's existing community by providing new residential development (Strategy H-5 in the Strategic Plan), in that it would provide new housing for new residents that will contribute to the local community and the local economy.

### **FISCAL IMPACT**

This action will not directly impact the City budget. All improvements and infrastructure necessary to facilitate development will be funded by the applicant and ongoing funding mechanisms will be established to address costs related to maintenance of the project and provision of public services. Further, a Fiscal Impact Analysis has been submitted that suggests that the project would be cost-neutral or slightly positive over the long term.

### **DISCUSSION**

#### *Requested Approvals*

The applicant, Discovery Builders, Inc., is seeking approval of the Oakley Knolls project, which is a 28-unit residential Planned Development. Approval of the project consists of adoption of the Initial Study/Mitigated Negative Declaration, approval of the rezone from Planned Development District (PD) to Planned Development District (PD-15-01), and approval of a Vesting Tentative Map/Final Development Plan.

### Environmental Review

The California Environmental Quality Act, Section 21000, et. seq. of the California Public Resources Code, (hereinafter referred to as CEQA) requires analysis of agency approvals of discretionary "projects." A "project," under CEQA, is defined as "the whole of an action, which has a potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment". The proposed Oakley Knolls subdivision is a project under CEQA.

An Initial Study/Mitigated Negative Declaration (IS/MND) was prepared to identify whether any significant environmental impacts could result from the proposed project. Specifically, the following environmental factors were addressed: aesthetics, agriculture and forestry resources, air quality, biological resources, cultural resources, geology and soils, greenhouse gases, hazards and hazardous materials, hydrology and water quality, land use and planning, mineral resources, noise, population and housing, public services, recreation, transportation and traffic, and utilities and service systems. Copies of the document are available at the City of Antioch Community Development Department and on the City's website at: <http://www.ci.antioch.ca.us/CityGov/CommDev/PlanningDivision/Environmental-docs.htm>

The IS/MND determined that the proposed project would not result in any significant environmental impacts that could not be mitigated and mitigation measures were incorporated to ensure that the project would have a less than significant impact on the environment. Pursuant to CEQA, the IS/MND was circulated for 20 days, from March 1, 2018 to March 20, 2018. Staff received no comments as of the drafting of this staff report.

### Background Information/Setting

The project site is currently undeveloped and contains 5.56 acres. It is located immediately to the north of Oakley Road and to the south of the current terminus of Honeynut Street. The site is covered with low grasses that are routinely disked and the site slopes from north to south from a high elevation of 65' at the northwest corner of the site to a low elevation of 49' at the southwest corner of the site. The site is adjacent to the Almondridge neighborhood to the north, undeveloped land to the east, Oakley Road and undeveloped land to the south, and a single-family ranchette on the acreage parcel to the west. The Hillcrest Station Area Specific Plan area is directly to the south of Oakley Road. Access to the project site would be from a connection to Honeynut Street or from Oakley Road via Willow Avenue, Phillips Lane, or from the City of Oakley.

### History

In 2003, a 16-lot subdivision was approved and recorded for the site with larger lots of 10,454 to 13,504 square feet. As the applicant is now pursuing a new subdivision with smaller lots and new lot configurations, the existing subdivision would be dissolved through a process called "reversion to acreage" as part of this project.

Preliminary Development Plan Review

On September 23, 2014, a Preliminary Development Plan (PDP) of the current project was presented to the City Council on September 23, 2014. At that time, the City Council offered direction on the revised subdivision. The minutes from that meeting are provided as Attachment "D".

Parks and Recreation Commission Review

On January 18, 2018, the Parks and Recreation Commission considered the Oakley Knolls project and, following due consideration, approved a recommendation to the Planning Commission that the project satisfy its park land obligation through the payment of an in lieu fee in the amount of \$42,000. The Parks and Recreation Commission Resolution is provided as Attachment "E".

Planning Commission Review

On March 21, 2018, the Planning Commission recommended the project be approved by the City Council. The vote for the CEQA document was 4-1; the vote for the Planned Development was 3-2; and the vote for the Tentative Map/Final Development Plan was 4-1. The dissenting voters shared concerns about the small lot sizes and the reduced setbacks. The draft Planning Commission minutes are provided as Attachment "F".

General Plan Consistency

The site has a General Plan Land Use Designation of Medium Low Density Residential, which is described as follows:

"These areas are generally characterized by single-family homes in typical subdivision development, as well as other detached housing such as zero lot line units and patio homes. Duplex development would generally fall into this development density. Areas designated Medium Low Density are typically located on level terrain with no or relatively few geological or environmental constraints. Older subdivisions within the northern portion of Antioch reflect this residential density." (p.4-19)

This land use designation allows a maximum density of six dwelling units per acre, which would be a maximum of 33 units on this site. However, due to the orientation of streets, the size of the project site, the necessity of drainage basins, and the proposal for a park, the proposal includes just 28 units, which equates to 5 units per acre. The General Plan also identifies a general minimum lot size of 7,000 square feet for lots within the Medium Low Density Residential district unless amenities such as permanent open space and private recreation facilities are provided. In this case, the applicant has proposed a 7,665 square-foot private park to justify the smaller lots.

Planned Development Rezone

The existing zoning for the site is Planned Development District (PD). According to the Zoning Ordinance (AMC §9-5.2301), the intent of Planned Development Districts is to "encourage a wider variety of densities, product types and setbacks than would otherwise be possible under conventional residential zoning. Single-family lot size shall vary between and/or within the P-D Districts to accommodate a range of economic needs. Furthermore, setbacks and garage door facilities to encourage non-auto

oriented circulation within the development. Once established, the P-D District becomes, in effect, the zoning code for the area within its respective boundaries”.

Each PD is required to include specific development standards designed for that particular district, to include minimum lot sizes, setbacks and open space requirements, architectural and landscaping guidelines, and maximum building heights and lot coverages. Once approved as part of a final development plan, all standards, densities, and other requirements remain tied to that plan and to the property designated by that PD district, unless formally amended by City Council action.

The proposed PD zoning would allow single-family residences along with the private park, landscaping, and bio-retention facilities. The applicant has proposed the following setbacks:

- Front – 10’ to porch, 15’ to house living area, 12’ to garage face
- Side – 4’ to house living area
- Rear – 10’ to house living area

Staff recommends that the proposed setbacks be approved with some exceptions. First, staff recommends that the setback to the garage face be increased to 20’. This is a standard setback in the R-6 zoning district and allows for the parking of typical vehicles entirely on the driveway without overhanging the sidewalk. Second, staff has recommended a condition of approval that requires an area behind each gate that is 5’ wide and 10’ deep to accommodate storage of trash carts. Without this area, there would be inadequate space to store trash carts in the side yard behind the gate without impeding ordinary passage. Owners might otherwise elect to store receptacle in the garage or in the front yard without such an accommodation, which would detract from the neighborhood.

The applicant has also proposed that 6 (21%) of the homes would accommodate RV parking. Though staff appreciates the applicant’s willingness to make this provision, we have recommended a condition of approval that specifically *prohibits* the parking of RVs within the neighborhood, including in rear or side yards. This Planned Development contains lots that are substantially smaller than typical 6,000 square-foot single-family lots where the requirement for RV parking is usually applied. As a result, the front and side yards are significantly smaller. If these areas were altered to create driveways for RV access, the appearance of the neighborhood would be negatively affected. Further, the parking of RVs between houses with already-reduced setbacks would also detract from the neighborhood. Similarly, staff has included a condition of approval that would prohibit future owners from widening their driveways to provide additional parking for any other reason. This will better ensure the long-term appearance of the neighborhood.

#### Private Park

The applicant has proposed a 7,665 square-foot private park that would be owned and maintained by the Homeowner’s Association. This park would be available for the residents of the neighborhood and would contain typical park amenities, including a children’s play house, picnic table, tot-lot, and shade trees. The park contributes to the findings for the Planned Development and helps to justify the smaller lots. In lieu of

typical lot sizes and rear yards, the residents would have a shared park to use. On January 18, 2018, the Parks and Recreation Commission evaluated the project and determined that it qualified for the mandatory payment of \$42,000 in park in-lieu fees based on the small number of lots being created.

The Planning Commission discussed with the applicant the need or desire to fence the private park and restrict access through a locked gate. Homeowners would have keys to access the park. No modification to the Conditions of Approval was made to require this element, but the City Council should consider its appropriateness and value.

### Architecture and Design

The applicant has proposed house designs as well as landscape and park plans for the neighborhood. These house designs display typical residential design for production housing and range in size from 2,141 to 3,416 square feet in size. Staff has recommended several conditions of approval that will require changes to the house designs, such as the requirement for the trash can storage area and the required 20' garage setback. As a result, staff and the Planning Commission recommend that the City Council offer *conceptual* approval of the Design Review application and require that the applicant return with an updated Design Review submittal that conforms to the conditions of approval and the Design Guidelines. All other approvals, including the Tentative Map/Final Development Plan and PD Rezone would be approved, but the designs would require final approval from the Planning Commission prior to a building permit.

Staff has provided some basic design direction in the conditions of approval that should also be reflected in the final design submittal. These include the following:

- Clarification about which design elements would be provided, at minimum, to homebuyers and which would be considered upgrades;
- A requirement that at least one model uses an alternative to stucco siding;
- A requirement for a consistent paint or stain color for all visible portions of fences that will be enforced indefinitely by the HOA;
- A modification to the fence plan to place the fences further from the front setback on corner lots;
- A requirement to extend the masonry project wall further into the subdivision to avoid discontinuous materials and improve the long term view from Oakley Road.
- The front yard landscaping plans will need to identify all utilities or other obstructions within the front yard or adjacent right-of-way.

Once received, the final design submittal will be reviewed against the Citywide Design Guidelines and brought to the Planning Commission for final approval. The applicant would be able to proceed with submittal of a Final Map, grading plans, etc. while the design submittal is being considered.

Homeowner's Association

The applicant will be required to form a Homeowner's Association (HOA) to maintain the park, the common landscaping, and the bio-retention basins. In addition, the HOA will be expected to enforce the rules governing property maintenance and those conditions of approval affecting driveways and fences.

**ATTACHMENTS**

- A. Resolution adopting the Oakley Knolls Initial Study and Mitigated Negative Declaration
- B. Ordinance for a zoning map amendment from Planned Development District (PD) to Planned Development District (PD-15-01)
- C. Resolution approving a Vesting Tentative Map/Final Development Plan, (PD-15-01)
- D. City Council Minutes for Preliminary Development Plan Review, September 23, 2014
- E. Parks and Recreation Commission Resolution 2018/03
- F. Project Plans

# ATTACHMENT "A"

## RESOLUTION NO. 2018/\*\*

### RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ANTIOCH ADOPTING THE MITIGATED NEGATIVE DECLARATION FOR THE OAKLEY KNOLLS PROJECT AS ADEQUATE FOR ADDRESSING THE ENVIRONMENTAL IMPACTS OF THE PROPOSED PROJECT

**WHEREAS**, the City received an application from Discovery Builders, Inc. for approval of a Planned Development Rezone, Final Development Plan with Design Review, and a Vesting Tentative Map, to subdivide an approximately 5.56-acre undeveloped parcel to construct 28 single-family residences, a 7,665 square-foot private park, three bio-retention basins, and other supporting infrastructure (PD-15-01). The Project is located on Oakley Road at the southern terminus of Honeynut Street (APN 051-430-001 to 018); and,

**WHEREAS**, the City, as lead agency under the California Environmental Quality Act ("CEQA"), has completed the Mitigated Negative Declaration ("MND") for the Project in accordance with Section 15070 of Title 14 of the California Code of Regulations; and,

**WHEREAS**, this document contains the City's CEQA findings supporting adoption of the MND; and,

**WHEREAS**, consistent with CEQA requirements, the MND was released for public and agency review on March 1, 2018 with the comment period ending on March 20, 2018. Staff received no comment letters during the review period; and,

**WHEREAS**, the MND must be adopted per Resolution as outlined by State law; and,

**WHEREAS**, the Planning Commission has reviewed the IS/MND for this Project; and,

**WHEREAS**, on March 21, 2018, the Planning Commission duly held a public hearing on the matter, and received and considered evidence, both oral and documentary and recommended adoption to the City Council of the Final IS/MND; and,

**WHEREAS**, the custodian of the Final IS/MND is the City of Antioch, Community Development Department. The Final IS/MND is available for public review on the second floor of City Hall in the Community Development Department, Monday-Friday 8:00 am – 5:00 pm.

**NOW, THEREFORE, BE IT RESOLVED AND DETERMINED**, as follows:

1. The foregoing recitals are true and correct.
2. The City Council of the City of Antioch hereby FINDS, on the basis of the whole record before it (including the Initial Study and all comments received) that:

**RESOLUTION NO. 2018/\*\***

April 10, 2018

Page 2

- a. The City of Antioch exercised overall control and direction over the CEQA review for the Project, including the preparation of the Final Initial Study and Mitigated Negative Declaration, and independently reviewed the Final IS/MND; and,
  - b. There is no substantial evidence that the Project will have a significant effect on the environment once mitigation measures have been followed and assuming approval of the Zoning Ordinance amendment; and,
  - c. The Final IS/MND reflect the City's independent judgment and analysis.
3. The City Council hereby **APROVES AND ADOPTS** the Initial Study / Mitigated Negative Declaration for the Project (Exhibit A).

\* \* \* \* \*

**I HEREBY CERTIFY** that the foregoing resolution was adopted by the City Council of the City of Antioch at a regular meeting thereof held on the 10<sup>th</sup> day of April, 2018, by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

**ABSTAIN:**

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**ARNE SIMONSEN, CMC**  
**CITY CLERK OF THE CITY OF ANTIOCH**

AZ



# ATTACHMENT "B"

ORDINANCE NO. \_\_\_\_

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ANTIOCH TO REZONE THE APPROXIMATELY 5.56-ACRE OAKLEY KNOLLS PROJECT SITE (APN 051-430-001 to 018), FROM PLANNED DEVELOPMENT DISTRICT (PD) TO PLANNED DEVELOPMENT DISTRICT (PD-15-01)**

The City Council of the City of Antioch does ordain as follows:

**SECTION 1:** The City Council determined on April 10, 2018, that, pursuant to Section 15070 of the Guidelines of the California Environmental Quality Act, that the appropriate environmental document for the project is an Initial Study, Mitigated Negative Declaration.

**SECTION 2:** At its regular meeting of March 21, 2018, the Planning Commission recommended that the City Council approve the resolution adopting the Initial Study/Mitigated Negative Declaration for the proposed project and recommended that the City Council adopt the ordinance to rezone the subject property to Planned Development District (PD-15-01).

**SECTION 3:** At its regular meeting of April 10, 2018, the City Council approved the resolution adopting the Initial Study/Mitigated Negative Declaration for the Oakley Knolls project.

**SECTION 4:** The real property described in Exhibit A, attached hereto, is hereby rezoned to Planned Development (PD-15-01) for the Oakley Knolls project.

**SECTION 5:** The development standards, as defined below, for the subject property (APN 051-430-001 to 018), known as the Oakley Knolls Project, are herein incorporated into this ordinance, and are binding upon said property.

**Development Standards for the Oakley Knolls  
Planned Development District (PD-15-01)**

<b>Development Standards for the Oakley Knolls Planned Development District</b>	<b>PD Zoning Standards for Single-Family Residential (SF)</b>
Maximum height	35'
Maximum Density – DU per acre	6 DU/Acre
Maximum Number of Units	28
Maximum Lot Coverage	60% (gross first floor living plus garage area and any accessory structures divided by the lot area.
Minimum Lot Width	Lots shall conform to the Vesting Tentative Subdivision Map submitted to the Community Development Department on November 14, 2017
Minimum Front Yard Setbacks	<u>From back of sidewalk:</u> Porch: 10' Living Area: 15' Garage: 20'
<b>Minimum Side Yard Setbacks</b>	<u>Minimum:</u> 4' to house living area; one 5' x 10' side setback area shall be provide for the storage of trash/recycling carts outside of the front setback to house living area.  Architectural pop-outs and encroachments to the front, side and rear shall be allowed pursuant to Municipal Code Section 9-5.801.
<b>Minimum Rear Yard Setbacks</b>	<u>Living Space:</u> 10' to house living area
<b>Accessory Structure Setbacks</b>	<u>All Lot Types: Interior lot:</u> side yard and rear yard setback is zero feet.  <u>All Lot Types: Corner lot:</u> street side yard is 10 feet and rear /interior side yard is zero feet.
<b>Covered Patio / California Room</b>	<u>Covered Patio Definition:</u> A patio covered by a trellis, arbor or solid roof attached or detached to the main structure and open on three sides. <u>Setbacks:</u> 3' minimum to rear and side yard.
<b>Parking and Driveways</b>	20-foot minimum setback to garage door. Garage shall provide at least two off-street parking spaces. Parking shall be provided per approved plans.

<b>Driveway Width</b>	Driveway width not to exceed 45% of lot frontage. No expansion of driveway is permitted.
<b>Landscape Requirements</b>	Project landscaping shall be consistent with the Oakley Knolls Conceptual Landscape Plan as amended by the Planning Commission with final design approval.
<b>RV Parking</b>	On-street or on-lot RV parking is prohibited.

**SECTION 6:** The allowed uses, as defined below, for the subject property (APN 051-430-001 to 018), known as the Oakley Knolls Project, are herein incorporated into this ordinance, and are binding upon said property.

Single Family Residential Uses. Allowed uses within the Oakley Knolls project shall be those uses as allowed in the R-6 Single-Family Residential District as established in Section 9.5.3803 of the City of Antioch Municipal Code.

**SECTION 7:** The City Council finds that the public necessity requires the proposed zone change that the subject property is suitable to the use permitted in the proposed zone change that said permitted use is not detrimental to the surrounding property, and that the proposed zone change is in conformance with the Antioch General Plan.

**SECTION 8:** This ordinance shall take effect and be enforced thirty (30) days from and after the date of its adoption and shall be published once within fifteen (15) days upon passage and adoption in a newspaper of general circulation printed and published in the City of Antioch.

\* \* \* \* \*

I **HEREBY CERTIFY** that the foregoing ordinance was introduced and adopted at a regular meeting of the City Council of the City of Antioch, held on the 10<sup>th</sup> day of April, 2018, and passed and adopted at a regular meeting thereof, held on the \_\_\_\_ day of \_\_\_\_\_, by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

\_\_\_\_\_  
**Sean Wright, Mayor of the City of Antioch**

**ATTEST:**

\_\_\_\_\_  
**Arne Simonsen, CMC**  
**City Clerk of the City of Antioch**

**EXHIBIT A**

LEGAL DESCRIPTION

# ATTACHMENT "C"

## RESOLUTION NO. 2018/\*\*

### RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ANTIOCH APPROVING A VESTING TENTATIVE SUBDIVISION MAP AND FINAL DEVELOPMENT PLAN FOR THE OAKLEY KNOLLS PROJECT

**WHEREAS**, the City received an application from Discovery Builders, Inc. for approval of a Vesting Tentative Map and Final Development Plan to subdivide an approximately 5.56-acre undeveloped parcel and to grant Final Development Plan approval to construct 28 single-family residences, a 7,665 square-foot private park, three bio-retention basins, and other supporting infrastructure (PD-15-01). The Project is located on Oakley Road at the southern terminus of Honeynut Street (APN 051-430-001 to 018); and,

**WHEREAS**, an Initial Study / Mitigated Negative Declaration was prepared in accordance with the California Environmental Quality Act (CEQA) Guidelines Section 15162; and,

**WHEREAS**, on March 21, 2018, the Planning Commission held a duly noticed public hearing on the matter, and received and considered evidence, both oral and documentary and recommended adoption of the Initial Study / Mitigated Negative Declaration to the City Council; and,

**WHEREAS**, on March 21, 2018, the Planning Commission recommended approval of a rezone to Planned Development (PD-15-01) to the City Council; and,

**WHEREAS**, the City Council duly gave notice of public hearing as required by law; and,

**WHEREAS**, on April 10, 2018, the City Council duly held a public hearing on the matter, and received and considered evidence, both oral and documentary; and,

**WHEREAS**, on April 10, 2018, the City Council introduced an ordinance to rezone the subject property to Planned Development (PD-15-01); and,

**WHEREAS**, on April 10, 2018, the City Council duly held a public hearing on the matter, and received and considered evidence, both oral and documentary.

**NOW THEREFORE BE IT RESOLVED**, that the City Council does hereby make the following findings for approval of a Vesting Tentative Subdivision Map:

1. That the Vesting Tentative Subdivision Map, design and improvements are consistent with the General Plan, as required by Section 66473.5 of the Subdivision Map Act and the City's Subdivision Regulations. The site has a proposed General Plan Designation of Mixed Use and proposed Planned Development zoning and the Vesting Tentative Subdivision Map will

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accommodate uses that are consistent with the proposed General Plan designation.

2. That the Vesting Tentative Subdivision Map complies with the rules, regulations, standards and criteria of the City's Subdivision Regulations. The proposed Vesting Tentative Subdivision Map meets the City's criteria for the map. The City's Planning and Engineering staff have reviewed the Vesting Tentative Subdivision Map and evaluated the effects of the map proposed and have determined that the Vesting Tentative Subdivision Map as conditioned complies with and conforms to all the applicable rules, regulations, standards, and criteria of the City's Subdivision Regulations.
3. The Conditions of approval protect the public safety, health and general welfare of the users of the project and surrounding area. In addition, the conditions ensure the project is consistent with City standards.

**NOW THEREFORE BE IT RESOLVED**, that the City Council does hereby make the following required findings for approval of a Final Development Plan:

1. Each individual unit of the development can exist as an independent unit capable of creating an environment of sustained desirability and stability, and the uses proposed will not be detrimental to present and potential surrounding uses but instead will have a beneficial effect which could not be achieved under another zoning district. The proposed uses include single-family residential, along with ancillary park, detention basins, and landscape parcel. Each of these uses will be beneficial to the neighborhood and provide amenities, such as the park, that could not be achieved under traditional zoning.
2. The streets and thoroughfares proposed meet the standards of the city's Growth Management Program and adequate utility service can be supplied to all phases of the development. The project includes the development and dedication of public streets that meet all City standards. In addition, adequate utility service can be supplied to the project.
3. Any commercial component is justified economically at the location(s). No commercial component is proposed.
4. Any residential component will be in harmony with the character of the surrounding neighborhood and community and will result in densities no higher than that permitted by the General Plan. The proposed residential component will contain single-family homes which are similar in character to the single-family homes to the immediate north of the project in the Almondridge Neighborhood. The General Plan density for the Medium Low Density Residential neighborhood is 6 units per acre. The proposed project would produce a gross density of 5 units per acre.

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5. Any industrial component conforms to applicable desirable standards and will constitute an efficient, well-organized development with adequate provisions for railroad and/or truck access and necessary storage and will not adversely affect adjacent or surrounding development. No industrial component is proposed.
6. Any deviation from the standard zoning requirements is warranted by the design and additional amenities incorporated in the final development plan which offer certain unusual redeeming features to compensate for any deviations that may be permitted. The proposal includes the dedication of a 7,665 square-foot park that will be improved with amenities including landscaping, furniture and play equipment. The provision of a park is not ordinarily required as part of a standard subdivision. This unusual redeeming feature will compensate for the requested deviations, which primarily include lot size and setback standards. Whereas, strict application of the typical standards would result in larger private yards, the shared park will compensate for the smaller private yards by offering a consolidated, more efficient open space amenity.
7. The area surrounding the P-D District can be planned and zoned in coordination and substantial compatibility with the proposed development. The proposed project does not preclude development of the sites to the east or west of the project and offers a potential connection to the property to the east.
8. The P-D District conforms with the General Plan of the city. The proposed P-D district conforms with the General Plan of the city as it provides residential development consistent with the recommended zoning. Further, it has been demonstrated through economic analysis that the project will not incur short or long term expense to the City through the provision of ordinary services. The project will annex into the CFD-16-01, which will ensure long term funding of police services necessary to serve the project.

**NOW THEREFORE BE IT RESOLVED** that the City Council of the City of Antioch does hereby **APPROVE** a Vesting Tentative Subdivision Map and a Final Development Plan for the development of the Oakley Knolls project (APN 051-430-001 to 018); subject to the following conditions:

**A. GENERAL CONDITIONS**

1. The project shall comply with the City of Antioch Municipal Code, unless a specific exception is granted thereto, or is otherwise modified in these conditions.
2. This approval expires two years from the date of approval (Expires March 21, 2020).
3. The project shall be completed in one phase. A single Final Subdivision Map shall be submitted addressing all requirements of the Tentative Subdivision Map approval.

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4. The applicant shall defend, indemnify, and hold harmless the City in any action brought by a third party to challenge any land use approval or environmental review for the Project. In addition, if there is any referendum or other election action to contest or overturn these approvals, the applicant shall either withdraw the application or pay all City costs for such an election.
5. A final and unchallenged approval of this project supersedes previous approvals that have been granted for this site.
6. Permits or approvals, whether discretionary or ministerial, will not be considered if the applicant is not current on all fees associated with this or any other project within the City of Antioch, reimbursement and/or other payments that are due the City.
7. All required easements or rights-of-way for improvements shall be obtained by the applicant at no cost to the City of Antioch. Advance permission shall be obtained by the applicant from any property owner or, if required from easement holders, for any work done within such property or easements.
8. All advertising signs shall be consistent with the Sign Ordinance or as approved by the Community Development Director. New off-site signage is not permitted.
9. The applicant shall provide a "checklist" of universal design accessibility features to home buyers as required by Section 17959.6 of the Health and Safety Code.

**B. VESTING TENTATIVE MAP**

1. The Vesting Tentative Map approval is subject to the time lines established in the State of California Subdivision Map Act.
2. Approval is based upon substantial conformance with the Vesting Tentative Map submitted to the City of Antioch on November 14, 2017.
3. Approval of this Vesting Tentative Map shall not be construed as a guarantee of future extension or re-approvals of this or similar maps.
4. Approval of this Vesting Tentative Map does not suggest approval of individual site plans, landscaping or other elements of the project.



**C. DISTRICTS AND ANNEXATION**

1. The developer shall annex into the Almondridge District 5 Zone 1 Lighting and Landscape District (LLD) or establish a public services CFD. The developer shall accept a level of annual assessments sufficient to maintain the street lights within and streetlights and landscaping adjacent to the project area excluding those areas to be maintained by the HOA and include a proportionate share of maintenance for Almondridge Park. The annual assessment shall cover the actual annual cost of maintenance and will escalate with the cost of living as described in the Engineer's Report.
2. Prior to filing of the first final map for recording, the applicant shall annex into the police financing CFD 16-01.

**D. HOME OWNERS ASSOCIATION AND CC&Rs**

1. The applicant shall establish a Home Owners Association (HOA) for this project in conformance with the regulations set forth by the California Department of Real Estate. The HOA shall be responsible for enforcing CC&Rs and maintaining:
  - a. Parcel "F" park
  - b. Parcel "B" bioretention basin
  - c. Parcel "C" bioretention basin
  - d. Parcel "D" bioretention basin
  - e. Parcel "E"
  - f. Landscaping in City right-of-way north of the northerly curb line of Oakley Road.
  - g. Landscaping in the cul-de-sac island
  - h. Storm drain facilities (basins and pipes from structure to the basins).
  - i. The City shall be reimbursed if it maintains landscape, storm drain facilities, and all other HOA facilities and amenities that are not maintained by the HOA to an acceptable City level.
  - j. All front yard landscaping for residential lots is to be maintained by the HOA.
2. Subject to approval by the state, the CC&Rs shall include a provision indicating that the City of Antioch is named as a third-party beneficiary with the right, but not the obligation, to enforce the provisions of the CC&Rs relating to the maintenance and repair of the property and improvements, including but not limited to landscaping, streets, curbs,

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gutters, street lights, parking, open space, storm water facilities and the prohibition of nuisances. The City shall have the same rights and remedies as the Association, Manager or Owners are afforded under the CC&Rs, including but not limited to rights of entry. This right of enforcement is in addition to all other legal and equitable remedies available to the City, including the right to refuse to issue building permits for any building or structure that is not in compliance with applicable federal, state or local laws, regulations, permits or approvals. Neither action nor inaction by the City shall constitute a waiver or relinquishment of any rights or remedies. In addition, the CC&Rs shall include a provision that any design approvals required by the CC&Rs for construction, reconstruction and remodeling are in addition to any approvals needed from the City as well. Further, the CC&Rs cannot be terminated or amended materially without the prior written consent of the Community Development Director and City Attorney of the City of Antioch. The CC&Rs for this project shall be reviewed and approved by the City Attorney and the Community Development Director prior to submittal of the Final Subdivision Map. Material changes are those that would change the fundamental purpose of the development including but not limited to:

- a. City approvals of uses or external modifications.
  - b. Property ownership or maintenance obligations including, but not limited to, common areas, storm water and landscaping.
3. The following restrictions shall be stated in the CC&Rs and disclosed to future buyers:
- a. The parking of recreational vehicles, commercial vehicles, trailers, or boats shall be prohibited on any portion of the project site, including in rear or side yards, except within the enclosed garage.
  - b. The paved driveways shall not be widened for any purpose.
  - c. Fences shall be maintained in their original condition.
  - d. Front yard landscaping shall be maintained in its original condition.
4. The applicant and then the HOA, once the CC&Rs are operative, shall maintain all undeveloped areas within this subdivision in an attractive manner, which shall also ensure fire safety.

**D. FINAL SUBDIVISION MAP REQUIREMENTS**

1. The Final Subdivision Map submittal shall include all of the required information described in Title 9, Chapter 4, Article 5: Final Maps, of the Antioch Municipal Code, including, but not limited to:
  - a. Improvement security in one of the following forms:
    - i. Bond or bonds issued by one or more duly authorized corporate securities in an amount equal to 100% of the total estimated costs of the improvements for faithful performance, and in an amount equal to 100% of the total estimated costs of the improvements for labor and materials.
    - ii. A deposit, either with the city or a responsible escrow agent or trust company, at the option of the City Engineer, of money or negotiable bonds of the kind approved for securing deposits of public moneys, in the amounts and for security as specified above, to be released in the same manner as described above for bonds.
    - iii. An irrevocable letter of credit in form acceptable to the City Attorney issued by a financial institution acceptable to the City Attorney in an amount equal to 100% of the total estimated costs of the improvements for faithful performance, no part thereof to be released until the final completion and acceptance of the work by the Council, and in an amount equal to 100% of the total estimated costs of the improvements for labor and materials, no part thereof to be released until the expiration of six months after the completion and acceptance of the work by the Council.
    - iv. An instrument of credit from an agency of the state, federal or local government when any agency of such governments provides at least twenty percent of the financing for the portion of the act or agreement requiring security, or from one or more financial institutions subject to regulation by the state or federal government and pledging that the funds necessary to carry out the act or agreement are on deposit and guaranteed for payment, or a letter of credit issued by such financial institution. Such instrument of credit shall be in the amounts, for the security specified, and shall be released, in the same manner described above for bonds and letters of credit.
    - v. A lien upon the property to be divided, created by contract between the owner and the city, if the City Engineer finds that it would not be in the public interest to require the

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installation of the required improvement sooner than two years after the recordation of the map.

- b. An original, signed subdivision agreement, to be executed by the subdivider or his agent, guaranteeing the completion of the construction of the improvements required by the governing body within a specified time and payment therefore, satisfactory to the City Attorney as to legality and satisfactory to the City Engineer as to amount.
- c. A letter from the Tax Collector showing that all payable taxes have been paid and a bond for the payment of taxes then a lien but not yet payable, as required by the Subdivision Map Act.
- d. A cash payment, or receipt therefore, of all the fees required for the checking and filing of the maps and the inspections of the construction; payment for the street signs to be furnished and installed by the city, if required by the subdivider; a cash deposit for the payment of such fire hydrant rental fees as may be established by the respective fire districts or water company or district having jurisdiction; and any other applicable fees or deposits.
- e. Deeds for the easements or rights-of-way for road purposes map.
- f. Written evidence acceptable to the city, in the form of rights of entry or permanent easements across private property outside the subdivision, permitting or granting access to perform the necessary construction work and permitting the maintenance of the facility.
- g. Agreements acceptable to the city, executed by the owners of existing utility easements within the proposed roads rights-of-way, consenting to the dedication of roads or consenting to the joint use of the rights-of-way as may be required by the city for the purpose use and convenience of the roads.
- h. A surety bond acceptable to the city, guaranteeing the payment of the taxes and assessments which will be a lien on the property, as set forth in the Subdivision Map Act, when applicable.
- i. Evidence of payment of drainage district fees.
- j. Payment of map maintenance fee.
- k. Payment of the assessment district apportionment fee, if applicable.
- l. Evidence of annexation into Police Services Fee CFD
- m. Evidence of payment of Contra Costa County Flood Control District fees.
- n. A preliminary soil report, prepared by a civil engineer who is registered by the state, based upon adequate test borings or excavations of every subdivision, as defined in Cal. Gov't Code §§

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66490 and 66491. The preliminary soil report may be waived if the City Engineer shall determine that, due to the knowledge of such department as to the soil qualities of the subdivision, no preliminary analysis is necessary.

2. Concurrent with, or prior to, submittal of the Final Subdivision Map, the applicant shall pay all required Park in-lieu fees as recommended by the Park and Recreation Commission (estimated amount of \$42,000).
3. Concurrent with, or prior to, submittal of the Final Subdivision Map, the applicant shall submit evidence of annexation into all required districts, including Community Facilities Districts and Lighting and Landscape Districts.
4. All easements of record that are no longer required and affect individual lots or parcels within this project site shall be removed prior to or concurrently with the recordation of the Final Subdivision Map.

**E. GRADING PLAN AND PERMIT**

1. No grading shall occur on the site, for any purpose, unless and until authorized by a Grading Permit issued by the Building Official.
2. All grading shall conform to Appendix J of the 2016 ICC Building Code.
3. An application for a Grading Permit must contain, at minimum, the content prescribed in Section J104 (Appendix J) of the 2016 ICC Building Code.
4. The City Engineer reserves the right to determine if it is necessary to engage soils and structural engineers, as well as any other professionals, deemed necessary to review and verify the adequacy of the Grading Plans submitted for this project. If deemed necessary by the City Engineer, this condition may include field inspections by such professionals to verify implementation of the plans. Costs for these services shall be borne by the applicant.
5. Include erosion control/storm water quality measures in the final grading plan that specifically address measures to prevent soil, dirt, and debris from entering the storm drain system. Such measures may include, but are not limited to, hydro seeding, gravel bags and siltation fences and are subject to review and approval of the City Engineer. If no grading plan is required, necessary erosion control/storm water quality measures shall be shown on the site plan submitted for an on-site permit, subject to review and approval of the City Engineer. The applicant shall be responsible for ensuring that all contractors and subcontractors are aware of and implement such measures.

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6. Prior to initiating construction or grading, the applicant shall request and coordinate an on-site pre-construction meeting with City staff, including representatives from the Community Development Department and Public Works Department.
7. Construction or grading access from Honeynut Street or the adjacent PG&E right-of-way is not permitted. A semi-permanent barrier, approved by the City Engineer, shall be installed prior to construction and maintained until all project construction is complete and the final Certificate of Occupancy is issued.
8. Prior to the commencement of the grading, the subdivider shall pay to the City the costs for inspections of the work and the checking and testing of the materials at the rate established by resolution of the Council.
9. The grading operation shall take place at a time, and in a manner, so as not to allow erosion and sedimentation. The slopes shall be landscaped and reseeded as soon as possible after the grading operation ceases. Erosion measures shall be implemented during all construction phases in accordance with an approved erosion and sedimentation control plan.
10. Sound wall locations and elevations for each phase of the project shall be included on the grading plan.
11. The entire project site shall drain to approved drainage facilities as determined by the City Engineer.
12. All grading shall be accomplished in a manner that precludes surface water drainage across any property line. No drainage shall be conveyed to the adjacent property.
13. All lots shall be graded to drain positively from the rear to the street or as approved by the City Engineer.
14. The swales adjacent to the house structure shall have a minimum of a one (1) percent slope or as directed by the City Engineer.
15. All off-site grading is subject to the coordination and approval of the affected property owners and the City Engineer. The applicant shall submit written authorization to "access, enter, or grade" adjacent properties prior to performing any work.
16. Any sale of a portion (or portions) of this project to multiple developers shall include the necessary agreement and/or grading easements to

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assure that project-wide grading conforms to the approved map and conditions of this resolution.

17. The grading plan for this development shall be approved by the City Engineer.
18. All elevations shown on the improvement plans shall be on the USGS 1929 sea level datum or as approved by the City Engineer.
19. No retaining walls shall be constructed in City right-of-way or other City maintained parcels unless approved by the City Engineer.
20. All retaining walls shall be of masonry construction.
21. All retaining walls shall be reduced in height to the maximum extent practicable and the walls shall meet the height requirements in the front yard setback and sight distance triangles as required by the City Engineer.
22. The back to back or side to side grading transitions from lot to lot shall have a maximum slope of 2:1, and shall be accommodated entirely on the lower lot or as approved by the City Engineer.
23. The minimum concrete gutter flow slope shall be 0.75%.
24. All property lines shall be located at the top of slope.
25. Toe of slopes shall be constructed one (1') foot behind right-of-way line.

**F. BUILDING PERMIT AND CONSTRUCTION**

1. Building Permits for any homes, including model homes, will not be issued until the following improvements are completed:
  - a. All public right-of-way improvements, including, but not limited to:
    - i. Construction of Hickorynut Street, Honeynut Street, Honeycomb Court, and Oakley Road widening improvements,
    - ii. Installation of street lights, sidewalks, water mains and fire hydrants, sewer, and storm drain infrastructure, retaining walls as necessary, roadway paving, driveway cuts, curb ramps, landscaping and any other improvements within the public right-of-way.
  - b. All project grading.
  - c. Construction of all bioretention basins.

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- d. Masonry project walls along Oakley Road and Hickorynut Street.
- e. Installation of the semi-permanent barrier at Hickorynut Street.
2. Prior to the placement of any sales trailers, plans shall be submitted to the Building Official for review and approval. Any trailer shall be placed out of the public right-of-way and shall have its own parking lot.
3. The model home complex parking lot location and design shall be subject to the City Engineer approval.
4. The use of construction equipment shall be as outlined in the Antioch Municipal Code (AMC), these conditions, and the mitigation measures.
5. The project shall be in compliance with and supply all the necessary documentation for AMC 6-3.2: Construction and Demolition Debris Recycling. Specifically, the applicant shall submit a comprehensive Waste Management Plan for the entire project concurrently with, or prior to, the first Building Permit application. The site shall be kept clean of all debris (boxes, junk, garbage, etc.) at all times.
6. Standard dust control methods and designs shall be used to stabilize the dust generated by construction activities. The applicant shall post dust control signage with a contact number of the applicant, City staff, and the air quality control board. The project is also subject to water conservation imposed by state regulators.

**G. LANDSCAPE DESIGN**

1. All front yard landscaping and irrigation shall be completed prior to Final Occupancy or issuance of a Certificate of Occupancy for individual units.
2. The masonry project wall shall be continued along the western fence line of Lot 13 for a distance of 30 northward'.
3. The following fencing requirements shall apply to Parcel B:
  - a. The southern boundary shall be enclosed with the masonry project wall and shall be set back a minimum of 5' from the project boundary to account for necessary footings. The wall shall be continued along the eastern boundary for a distance of 40' northward such that it aligns with the masonry project wall across Hickorynut Street.
  - b. The typical wood fence shall be installed along the entire western, northern and southern boundaries of Parcel B. The fence shall be modified, if necessary, to ensure that a sight-line obstruction for the

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driveway of Lot 12 is not created. Such modifications are subject to approval by the Community Development Director.

4. All street trees and/or front yard trees shall be a minimum of 15 gallons in size and located entirely outside of the public right-of-way. They shall be located entirely within the front or corner side yards and at least 5' from the back edge of the sidewalk.
5. The fence plan shall be modified such that no fence greater than 6' in height is located within twenty feet of a front property line or ten feet of a corner side property line. This affects, at minimum, Lots 13, 22, and 26.
6. Rear and side yard fencing shall be provided for all units. All fences shall be located at the top of slope, or as approved by the City Engineer.
7. In cases where a fence is to be built in conjunction with a retaining wall, and the wall face is exposed to the street, the fence shall be setback a minimum of three feet (3') behind the retaining wall per City Ordinance 9-5.1603.
8. All portions of wood fences visible from the public right-of-way shall be stained with either a transparent stain or a semi-solid stain. The stain shall be uniform throughout the project. The CC&Rs must make a reference to the stain, shall require that home owners' maintain all fences in their original condition, shall prohibit modification of the fence design or materials, including adding lattice panels atop the fence, and shall prohibit differing paint or stain colors.

#### **H. ROADWAY, SIDEWALK, DRIVEWAY, AND CURB RAMP DESIGN**

1. The location of sidewalks, driveways, and curb ramps shall be as described on the Tentative Subdivision Map, except as changed by these Conditions of Approval.
2. The final design of the sidewalks, driveways, and curb ramps are subject to review and approval. At minimum, they shall meet the following requirements:
3. Monolithic sidewalks with beveled curb shall be 6 inches thick and reinforced as approved by the City Engineer. Detached sidewalks that will be crossed by vehicles at driveway locations shall be 6 inches thick and reinforced as approved by the City Engineer. Sidewalk at driveway approaches shall be ADA complaint.
4. The southeastern corner of the intersection of Honeynut Street and Hickorynut Street shall be constructed as an ordinary radius. The curb

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line on the adjacent northern portion of Honeynut Street shall be extended to this radius.

5. A minimum of a 20 foot tangent shall extend beyond the return at intersections at public streets, or as approved by the City Engineer.
6. All lot sidelines shall be perpendicular or radial to the fronting street centerline at public streets for a distance of 20 feet, or as approved by the City Engineer.
7. Sight distance triangles shall be maintained per 9-5.1101; Site Obstructions at Intersections of the Antioch Municipal Code or as approved by the City Engineer.
8. The proposed street names approved by Planning Commission shall be as listed below. Changes to street names will require Planning Commission review and approval.
  - a. Hickorynut Street
  - b. Honeycomb Court
9. All improvements for each lot (water meters, sewer cleanouts, etc.) shall be contained outside of the driveway and within the lot and the projection of its sidelines, or as approved by the City Engineer.
10. One on-street parking space per lot shall be located within close proximity to the unit served as shown on the parking plan dated April 20, 2015.

**I. UTILITIES**

1. Public utilities shall be constructed to their ultimate size and configuration with the road construction in which they are to be located.
2. All existing and proposed utilities shall be undergrounded (e.g. transformers and PMH boxes) and subsurface in accordance with the Antioch Municipal Code.
3. Underground utilities shall be designed to flow approximately parallel to the centerline of the street, or as approved by the City Engineer.
4. All sewage shall flow by gravity to the intersecting street sewer main.
5. All public utilities shall be installed in streets avoiding between lot locations unless approved by the City Engineer.
6. Prior to the recordation of the final map, the applicant shall submit hydrology and hydraulic analyses with a storm water control plan to the

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City for review and approval and to Contra Costa County Flood Control for review at no cost to the City as directed by the City Engineer.

7. The applicant shall provide adequate water pressure and volume to serve this development. This will include a minimum residual pressure of 20 psi with all losses included at the highest point of water service and a minimum static pressure of 50 psi or as approved by the City Engineer. See Fire Requirements 3.c. for additional water flow conditions.
8. The houses shall be constructed with rain gutters and downspouts that direct water away from the foundations as approved by the City Engineer.

**J. FIRE REQUIREMENTS**

1. The applicant shall provide an adequate reliable water supply for fire protection with a minimum fire flow of 1750 GPM. Required flow shall be delivered from not more than one hydrant flowing simultaneously for the duration of 120 minutes while maintaining 20-pounds residual pressure in the main. (508.1), (B105) CFC
2. The applicant shall provide hydrants of the East Bay type, which shall be maintained by the City.
3. Premises identification shall be provided. Such numbers shall contrast with their background and be a minimum of four inches high with ½-inch stroke or larger as required to be readily visible from the street. (505.1) CFC, (501.2) CBC.
4. All proposed homes shall be protected with an approved automatic fire sprinkler system complying with the 2013 edition of NFPA 13D or Section R313.3 of the 2013 California Residential Code. Submit a minimum of two (2) sets of plans for each model home to this office for review and approval prior to installation. (903.2) CFC, (R313.3) CFC.
5. Plan review and inspection fees shall be submitted at the time of plan review submittal. Checks may be made payable to Contra Costa County Fire Protection District (CCCFPD). Submit plans to: Contra Costa County Fire Protection District, 4005 Port Chicago Hwy, Suite 250, Concord, CA 94520.
6. The developer shall submit a computer-aided design (CAD) digital file copy of the site plan to the Fire District upon final approval of the site improvements plans or subdivision map. CAD file shall be saved in the latest AutoCAD.DXF file format. (501) CFC.\

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**K. FEES**

1. The applicant shall pay all City fees in the amounts at the time of Building Permit submittal, unless otherwise specified, which have been established by the City Council and as required by the Antioch Municipal Code. Fees include but are not limited to:
  - a. Any acreage and utility connection fees which have been established by the City Council prior to the filing of the final map and as required by the Antioch Municipal Code.
  - b. Traffic signal fees as adopted by the City Council.
  - c. Park in lieu fee shall be paid as stated in the City Ordinance and due at the recording of the final map.
  - d. Development Impact Fees as established in the City master fee schedule at the time of the issuance of the building permits.
  
2. The applicant shall pay all pass thru fees. Fees include, but are not limited to, the following:
  - a. East Contra Costa Regional Fee and Financing Authority (ECCRFFA) Fee in effect at the time of building permit issuance.
  - b. Contra Costa County Fire Protection District Fire Development Fee in place at the time of building permit issuance.
  - c. Contra Costa County Map Maintenance Fee in affect at the time of recordation of the final map(s). (Currently \$50 per lot or parcel).
  - d. Contra Costa County Flood Control District.
  - e. School Impact Fees
  - f. Delta Diablo Sewer Fees
  - g. Contra Costa Water Fees.

**L. NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES)**

1. The project shall comply with all Federal, State, and City regulations for the National Pollution Discharge Elimination System (NPDES) (AMC§6-9). (Note: Per State Regulations, NPDES Requirements are those in affect at the time of the Final Discretionary Approval.) Under NPDES regulations, the project is subject to provision C.3: New development and redevelopment regulations for storm water treatment. Provision C.3 requires that the project include storm water treatment and source control measures, as well as run-off flow controls, so that post-project runoff does not exceed estimated pre-project runoff.

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2. Prior to issuance of a Grading Permit, the applicant shall complete the following:
  - a. Submit a Storm Water Control Plan (SWCP) and an Operation and Maintenance Plan (O&M) for approval by the City Engineer.
  - b. Submit proof of filing of a Notice of Intent (NOI) by providing the unique Waste Discharge Identification Number (WDID#) issued from the Regional Water Quality Control Board.
  - c. Submit a copy of the Storm Water Pollution Prevention Plan (SWPPP). The SWPPP and O&M shall include, at minimum, the following provisions:
    - i. The general contractor and all subcontractors and suppliers of materials and equipment shall implement the Best Management Practices (BMPs).
    - ii. Install appropriate clean water devices at all private storm drain locations immediately prior to entering the public storm drain system.
    - iii. Install on all catch basins "No Dumping, Drains to River" decal buttons.
    - iv. If sidewalks are pressure washed, debris shall be trapped and collected to prevent entry into the storm drain system. No cleaning agent may be discharged into the storm drain. If any cleaning agent or degreaser is used, wash water shall be collected and discharged to the sanitary sewer, subject to the approval of the sanitary sewer District.
    - v. Construction site cleanup and control of construction debris shall also be addressed in this program.
    - vi. Failure to comply with the approved construction BMP may result in the issuance of correction notices, citations, or a project stop work order.
    - vii. Sweep or vacuum the model home parking lot a minimum of once a month and prevent the accumulation of litter and debris on the site. Corners and hard to reach areas shall be swept manually.
    - viii. Ensure that the area surrounding the project such as the streets stay free and clear of construction debris such as silt, dirt, dust, and tracked mud coming in from or in any way related to project construction. Areas that are exposed for extended periods shall be watered regularly to reduce wind erosion. Paved areas and access roads shall be swept on a regular basis. All trucks shall be covered.

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- ix. Clean all on-site storm drain facilities a minimum of twice a year, once immediately prior to October 15 and once in January. Additional cleaning may be required if found necessary by City Inspectors and/or City Engineer.
3. The SWCP shall be certified by a registered civil engineer, and by a registered architect or landscape architect as applicable. Professionals certifying the SWCP shall be registered in the State of California and submit verification of training, on design of treatment measures for water quality, not more than three years prior to the signature date by an organization with storm water treatment measure design expertise (e.g., a university, American Society of Civil Engineers, American Society of Landscape Architects, American Public Works Association, or the California Water Environment Association), and verify understanding of groundwater protection principles applicable to the project site (see Provision C.3.i of Regional Water Quality Control Board Order R2 2003 0022).
4. Both the approved SWCP and O&M plans shall be referenced in the project CC&Rs.
5. Prior to issuance of any Building Permit, the applicant shall complete the following:
  - a. Execute any agreements identified in the Storm Water Control Plan that pertain to the transfer of ownership and/or long-term maintenance of storm water treatment or hydrograph modification BMPs.
  - b. Submit plans to the City Engineer consistent with the approved Storm Water Control Plan, and include drawings and specifications necessary for construction of permanent site design features, measures to limit directly connected impervious area, pervious pavements, self-retaining areas, treatment BMPs, permanent source control BMPs, and other features that control storm water flow and potential storm water pollutants.

**M. FINAL IS/MND**

1. The applicant shall comply with all mitigation measures identified in the Initial Study/Mitigated Negative Declaration.

**N. PLANNED DEVELOPMENT**

1. This action includes approval of the Final Development Planned as proposed and modified by the Conditions of Approval.

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2. Approved land uses include Single-Family Residential Uses and all Accessory Uses and other uses permitted by the Antioch Municipal Code for the Single-Family Residential District (R-6).
3. The approved modified setbacks are as follows:
  - a. Front Yard: 20' to garage, 15' to living space.
  - b. Side Yard: 4', except as required by these conditions for trash receptacle storage.
  - c. Rear Yard: 10'
4. The submitted architectural plans shall serve as basic design approval for the purposes of the Final Development and Planned Development. The applicant shall apply to the Design Review Board (Planning Commission) for approval of final Design Review for the individual lots. The house designs shall conform to the City of Antioch Citywide Design Guidelines and shall reflect any modifications required by these Conditions of Approval. The following elements are not approved as part of this application, but are subject to independent review and approval by the Design Review Board:
  - a. House plans and elevations
  - b. Landscape species selection
  - c. Masonry project wall and project fence design, colors and materials
5. The Design Review application shall also address the following:
  - a. A trash/recycling/yard waste receptacle storage location shall be identified on each site plan. This must be located behind the gate and shall be a minimum of 5' wide and 10' deep.
  - b. Architectural plans shall identify all base design details that are provided, at minimum, to homebuyers. Optional or buyer-upgraded materials shall be clearly and separately described.
  - c. Elevations shall not include landscaping backgrounds.
  - d. Each model elevation shall include a version that utilizes a material besides stucco, such as horizontal siding, for at least 75% of the front elevation. Such a material should wrap at least 10' down the sides of the structure. As an alternative, one model may have all versions utilizing a material besides stucco as described above.
  - e. All front yard landscape plans shall identify any utilities or other obstructions in the front yard or adjacent right-of-way.
  - f. Building articulation shall be demonstrated on all front and corner side elevations. No more than 40% of the wall surface should be in

a single uninterrupted plan. Articulations should be at least 18" in depth.

**O. CEQA MITIGATION MEASURES**

1. MM AIR-1: Dust Control Measures: The selected contractor shall be required to prepare and implement a dust control plan prior to construction. A range of mitigation measures will be conducted throughout the construction period to limit and control dust, including the use of water or other such agents to be placed on roads, grading and excavation areas, and exposed soil in a manner that minimizes the generation of dust. In the absence of rain, these measures will be implemented in all seasons during which grading, excavation, and earth moving, or other work occurs. The Dust Control Plan measures shall include:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.;
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered;
- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited
- d. All vehicle speeds on unpaved roads shall be limited to 15 mph;
- e. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used; and
- f. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The BAAQMD's phone number shall also be visible to ensure compliance with applicable regulations.

2. MM AIR-2: Implement BMPs to Reduce Impacts on Air Quality from Construction Equipment

- a. The following mitigation measures shall be implemented to ensure emissions generated during proposed project construction activities are maintained at regulatory levels by requiring the following actions by the construction contractor:
- b. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation;



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- c. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
  
- 3 MM AIR-3: The following mitigation measure shall be implemented to ensure that VOC levels are kept at minimum during architectural coating activities.
  - a Use low VOC (i.e., ROG) coatings as described in the local requirements (i.e., Regulation 8, Rule 3: Architectural Coatings)
  
- 4 MM BIO-1: Avoid Disturbance of Western Burrowing Owls and active Western Burrowing Owl Burrows.
  - a. A pre-construction survey would be conducted by a qualified biologist for burrowing owls within 30 days of the on-set of construction. This survey would be conducted according to methods described in the Staff Report on Burrowing Owl Mitigation (CDFW 2012). All suitable habitats of the site would be covered during this survey.
  - b. If pre-construction surveys undertaken during the breeding season (February 1 through August 31) locate active nest burrows within or near construction zones, these nests, and an appropriate buffer around them (as determined by a qualified biologist) would remain off-limits to construction until the breeding season is over or until a qualified biologist has determined that the natal burrow is no longer in use.
  - c. During the non-breeding season (September 1 through January 31), resident owls may be relocated to alternative habitat. The relocation of resident owls must be according to a relocation plan prepared by a qualified biologist. Passive relocation would be the preferred method of relocation. This plan must provide for the owl's relocation to nearby lands possessing available nesting and foraging habitat.
  
- 5 MM BIO-2: Avoid Disturbance of Nesting Special Status and Non-Special Status Raptors and other Migratory Birds, including Swainson's Hawk and White-tailed Kite.
  - a. Depending on the specific construction timeframe, to avoid disturbing nesting raptors and other migratory birds, the following measures would be implemented:
    - i. If construction activities are scheduled to occur during the

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- nesting season (approximately February 15 through August 31), a qualified wildlife biologist shall be retained to conduct a pre-construction nesting survey within the appropriate habitat.
- ii. Surveys shall be conducted within the project site and all potential nesting habitat within 500 feet of this area (this distance covers recommended Swainson's hawk and western burrowing owl buffers);
  - iii. The surveys should be conducted within one week before initiation of construction activities at any time between February 15 and August 31. If no active nests are detected, then no additional mitigation is required; or
  - iv. If surveys indicate that migratory bird nests are found in any areas that would be directly or indirectly affected by construction activities, a no-disturbance buffer shall be established around the site to avoid disturbance or destruction of the nest site until after the breeding season or after a wildlife biologist determines that the young have fledged (typically late June to mid-July). The extent of these buffers shall be determined by a qualified biologist and shall depend on the special status species present, the level of noise or construction disturbance, line of sight between the nest and the disturbance, ambient levels of noise and other disturbances, and other topographical or artificial barriers. These factors should be analyzed to make an appropriate decision on buffer distances.
- b. If construction activities begin outside the breeding season (approximately September 1 through February 14) then construction may proceed until it is determined that an active migratory bird or raptor nest would be subject to abandonment as a result of construction activities. Optimally, all necessary vegetation removal should be conducted before the breeding season so that nesting birds would not be present in the construction area during construction activities. If any bird nests are in the project site under pre-existing construction conditions, then it is assumed that they are habituated (or would habituate) to the construction activities. Under this scenario, the pre-construction survey described previously should still be conducted on or after February 15 to identify any active nests in the vicinity: Active sites should be monitored by a qualified biologist periodically until after the breeding season or after the young have fledged (typically late June to mid-July). If active nests are identified on or immediately adjacent to the project site, then all non-essential construction activities (e.g., equipment storage and meetings) should be avoided

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in the immediate vicinity of the nest site, but the remainder of construction activities may proceed.

6 MM CUL-1: If any cultural resource is encountered during ground disturbance or subsurface construction activities (e.g., trenching, grading), all construction activities within a 50-foot radius of the identified potential resource shall cease until a Secretary of the Interior qualified archaeologist evaluates the item for its significance and records the item on the appropriate State Department of Parks and Recreation (DPR) 523 series forms. All forms and associated reports would be submitted to the NWIC of the California Historical Resources Information System (CHRIS). The archaeologist shall determine whether the resource requires further study. If, after the qualified archaeologist conducts appropriate technical analyses, the resource is determined to be eligible for listing on the California Register of Historical Resources or as a unique archaeological resource as defined in Public Resources Code Section 15064.5, the archaeologist shall develop a plan for the treatment of the resource. This shall contain appropriate mitigation measures, including avoidance, preservation in place, data recovery excavation, or other appropriate measures, as outlined in Public Resources Code Section 21083.2.

7 MM CUL-2: If a prehistoric or ethnographic period archaeological resource is encountered during ground disturbance or subsurface construction activities (e.g., trenching, grading), all construction activities within a 50-foot radius of the identified potential resource shall cease and a list of representatives of California Native American Tribes identified by the NAHC would be contacted. Construction activities shall not resume until the tribal representative has had an opportunity to evaluate the archaeological resource for its potential as a tribal cultural resource. If it is determined that the cultural materials do constitute a tribal cultural resource, further mitigation and/or recommendations for the treatment and protection of the resource would be developed in consultation with the Tribes.

8 MM CUL-3: If ground-disturbing activities uncover previously unknown human remains, Section 7050.5 of the California Health and Safety Code applies, and the following procedures shall be followed:

- a. There shall be no further excavation or disturbance of the area where the human remains were found or within 50 feet of the find until the Contra Costa County Coroner and the appropriate City representative are contacted. Duly authorized representatives of the Coroner and the City shall be permitted onto the project site and shall take all actions consistent with Health and Safety Code Section 7050.5 and Government Code Sections 27460, et seq. Excavation or disturbance of the area where the human remains were found or within 50 feet of the find shall not be permitted to recommence until the Coroner determines that the remains are not subject to the provisions of law concerning investigation of the

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**RESOLUTION NO. 2018/\*\***

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circumstances, manner, and cause of any death. If the Coroner determines the remains are Native American, the Coroner shall contact the NAHC within 24 hours, and the NAHC shall identify the person or persons it believes to be the "most likely descendant" of the deceased Native American. The "most likely descendant" may make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods as provided in PRC Section 5097.98. If the "most likely descendant" does not make recommendations within 48 hours, the land owner shall reinter the remains in an area of the property secure from further disturbance. If the land owner does not accept the recommendations from the "most likely descendant", the owner or the "most likely descendant" may request mediation by NAHC.

9 MM GEO-1: Prior to issuance of building permit, the project Applicant shall submit plans to the City for review and approval demonstrating project compliance with the latest adopted edition of the California Building Standards Code seismic requirements and the recommendations of a design-level geotechnical investigation. All soil engineering recommendations and structural foundations shall be designed by a licensed professional engineer. The approved plans shall be incorporated into the proposed project. All onsite soil engineering activities shall be conducted under the supervision of a licensed Geotechnical Engineer or Certified Engineering Geologist.

10 MM HAZ-1: Construction contractors shall ensure that during construction, staging areas and building areas where spark-producing equipment is used shall be cleared of non-native vegetation or other materials that could serve as fuel for combustion. To the extent feasible, the contractor shall keep these areas clear of combustible materials to maintain a firebreak.

11 MM HAZ-2: Construction contractors shall ensure that any construction equipment that normally includes a spark arrester shall be equipped with an arrester in good working order. This includes, but is not limited to, vehicles, heavy equipment, and chainsaws.

12 MM HYD-1: Prior to the issuance of any construction related permits, the City would prepare and submit an NOI to the State Water Board and prepare a SWPPP in compliance with the NPDES GCP requirements. The final drainage plan would demonstrate the ability of the planned onsite storm drainage to adequately collect onsite stormwater flows in accordance with all applicable standards and requirements by: minimizing impervious surfaces, and directing flows to BMPs; integrating appropriately sized BMPs to minimize impact on local water quality by controlling runoff from erosion and potential contaminants; and incorporating bio-retention in combination with site planning, and dispersion of runoff to meet Low Impact Development (LID) requirements.

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13 MM TRANS-1: Prior to the issuance of building permits, the applicant shall prepare a detailed site design plan to the City for review and approval that demonstrates that all project driveways, crosswalks, bicycle crossings, trails, and retaining walls would provide clear sight lines. The approved plan shall be incorporated in the proposed project.

14 MM TRANS-2: Features shall be incorporated into the design of Project driveway crossings to warn both drivers and perimeter path users of the crossing. These design features may include, but are not limited to, warning signs, pedestrian activated warning lights, colorized crossing areas, specialized crosswalk treatments, or other features as approved by the City.

\* \* \* \* \*

**HEREBY CERTIFY** that the foregoing resolution was passed and adopted by the City Council of the City of Antioch at a regular meeting thereof, held on the 10<sup>th</sup> day of April 2018 by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

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**ARNE SIMONSEN, CMC**  
**CITY CLERK OF THE CITY OF ANTIOCH**

025

# ATTACHMENT "D"

ANTIOCH CITY COUNCIL  
SUCCESSOR AGENCY  
Regular Meeting  
September 23, 2014

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Director of Community Development Wehrmeister clarified the traffic analysis indicated there were less than 40 trips during the peak hour.

Mayor Harper declared a recess at 8:50 P.M. The meeting reconvened at 9:08 P.M. with all Councilmembers present.

Following discussion, the Council agreed that allowing the residents to park in the restricted area during business hours would be counter to the safety concerns brought forward by the appellants.

## **RESOLUTION NO. 2014/83**

On motion by Councilmember Rocha, seconded by Councilmember Tiscareno, the Council unanimously upheld Planning Commission's decision and denied appeal with the following additional conditions: 1) The applicant shall pay for the installation of "no parking" signage restricting parking in front of the building on South Lake Drive between the hours of 7:00 A.M. to 4:00 P.M. Monday – Friday. 2) The applicant shall secure and maintain for the life of the business an off-site parking area for Mission Hope employees with the number of spaces to be determined by the Community Development Director following submittal of the re-stripping plan. Operations shall be suspended during any period that the off-site parking is not available or the lease is lost. 3) Company vans shall be no wider than seven (7) feet and no longer than twenty (20) feet.

3. **PDP-14-04 – OAKLEY KNOLLS PRELIMINARY DEVELOPMENT PLAN – DISCOVERY BUILDERS REQUESTS THE REVIEW OF A PRELIMINARY DEVELOPMENT PLAN, WHICH IS NOT AN ENTITLEMENT, FOR THE DEVELOPMENT OF 31 SINGLE FAMILY HOMES ON APPROXIMATELY 5.56 ACRES. THE PROJECT SITE IS LOCATED ON THE NORTH SIDE OF OAKLEY ROAD APPROXIMATELY 875 FEET EAST OF WILLOW AVENUE (APNS 051-430-001, -002, -003, -004, -005, -006, -007, -008, -009, -010, -011, -012, -013, -014, -015, AND -016).**

Associate Planner Morris presented the staff report dated September 18, 2014 recommending the City Council provide feedback to the applicant and staff regarding the proposal and provide direction to the applicant for the Final Development Plan submittal.

Mayor Harper opened the public hearing.

## **PROPONENT**

Louis Parsons, representing Discovery Builders, stated this project was more consistent with development to the north while keeping the same street pattern that was on the previous map. He noted they believed they could comply with R-6 development standards and C-3 stormwater regulations. He stated they would discuss with staff the possibility of using the C-3 treatment areas for public open space and water treatment. He stated they may have an issue with being able to comply with a 20-foot rear setback for the single story product and suggested the City not require RV parking for this project. He affirmed the project increased density from the prior plan and remained consistent with the General Plan.

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In response to Councilmember Wilson, Mr. Parsons stated they could insure the properties were owner occupied. He noted if they were required to comply with the 20-foot rear yard setback and provide 25 percent single story product, there would be density reduction.

## OPPONENTS

Duane Shoemake, Antioch resident, presented a petition requesting the Oakley Knolls project retain the same density and lot size of the original approval. He gave a history of the subdivision and expressed concern the current developer had not involved him in the preliminary plan process. He noted the development would negatively impact the ranch style houses in the area and suggested an upscale project for the area to blend with the existing development. He questioned if the sewer line had sufficient capacity and expressed concern for drainage from the area onto his property. He informed the City they had failed to maintain the trail along his property.

Steve Lucchesi, Antioch resident, agreed with Mr. Shoemake and stated increasing the number of homes by over 100 percent, would be difficult to mitigate for and would set precedent.

Mayor Harper closed the public hearing.

Director of Public Works/City Engineer Bernal stated the sewer line had sufficient capacity for at least 31 houses.

In response to Mayor Harper, Director of Community Development Wehrmeister stated the project was properly noticed.

Following discussion, the Council requested the project include the following:

- Traffic study
- Project Labor Agreement, local hires and the Helmets to Hardhats Program
- Confirmation the sewer pipe can accommodate the proposed 31 units
- Community Facilities District for Police Services
- Owner occupied requirement for the standard duration
- Some setbacks to accommodate boat or RV parking

4. **PDP-12-01 – QUAIL COVE PRELIMINARY DEVELOPMENT PLAN – WEST COAST HOME BUILDERS REQUESTS THE REVIEW OF A PRELIMINARY DEVELOPMENT PLAN, WHICH IS NOT AN ENTITLEMENT, FOR THE DEVELOPMENT OF 31 SINGLE FAMILY HOMES ON APPROXIMATELY 5.59 ACRES. THE PROJECT SITE IS LOCATED ON THE WEST SIDE OF HEIDORN RANCH ROAD, AT THE EASTERN TERMINUS OF PREWETT RANCH DRIVE (APNS 056-130-012).**

Associate Planner Morris presented the staff report dated September 18, 2014 recommending the City Council provide feedback to the applicant and staff regarding the proposal and provide direction to the applicant for the Final Development Plan submittal.

# ATTACHMENT "E"

**RESOLUTION NO. 2018/03  
RESOLUTION OF THE CITY PARKS AND RECREATION COMMISSION OF THE  
CITY OF ANTIOCH RECOMMENDING ACCEPTANCE OF IN LIEU FEES TO  
MEET THE PARK LAND OBLIGATION OF THE OAKLEY KNOLLS PROJECT**

**WHEREAS**, the City of Antioch has received an application for the Oakley Knolls project (Project), a subdivision that includes 9 single-family dwellings; and

**WHEREAS**, the City requires that subdivisions that include residential development shall dedicate land or pay in lieu fees; and

**WHEREAS**, the park obligation for the Oakley Knolls project has been calculated as 0.42 acres based on the requirements of the City of Antioch Municipal Code; and

**WHEREAS**, the configuration of proposed lots and the existing surrounding neighborhood do not allow for the inclusion of parks consistent with the City's adopted standards; and

**WHEREAS**, the total calculated park land obligation for the Project is less than the minimum park size as established by the City for purposes of park land dedication.

**NOW, THEREFORE, BE IT RESOLVED**, that the Park and Recreation Commission does recommend that the Black Diamond Ranch Unit 4 project meet its park land dedication requirements through the payment of in lieu fees; and

**BE IT FURTHER RESOLVED**, that the Park and Recreation Commission does recommend that in lieu fees in the amount of \$42,000 be paid to the City of Antioch to meet the Project's park land dedication obligation.


\* \* \* \* \*

**I HEREBY CERTIFY** that the foregoing resolution was passed and adopted by the Parks and Recreation Commission of the City of Antioch, acting as the City's PBAC, at a regular meeting thereof held on the 18th day of January, 2018 by the following vote:

**AYES:** J. Farr, K. Farr, Kelly, Knight, McClelland, Soliz

**NOES:** None

**ABSENT:** Foster

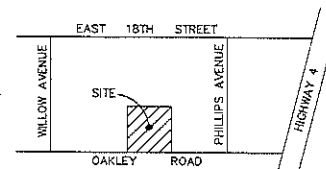
  
\_\_\_\_\_  
**NANCY KAISER**  
**CLERK TO THE PARKS AND**  
**RECREATION COMMISSION**



# SITE PLAN "OAKLEY KNOLLS" SUBDIVISION NO. 9353

CITY OF ANTIOCH  
CONTRA COSTA COUNTY, CALIFORNIA

OCTOBER, 2017



**VICINITY MAP**  
NOT TO SCALE

### GENERAL NOTES

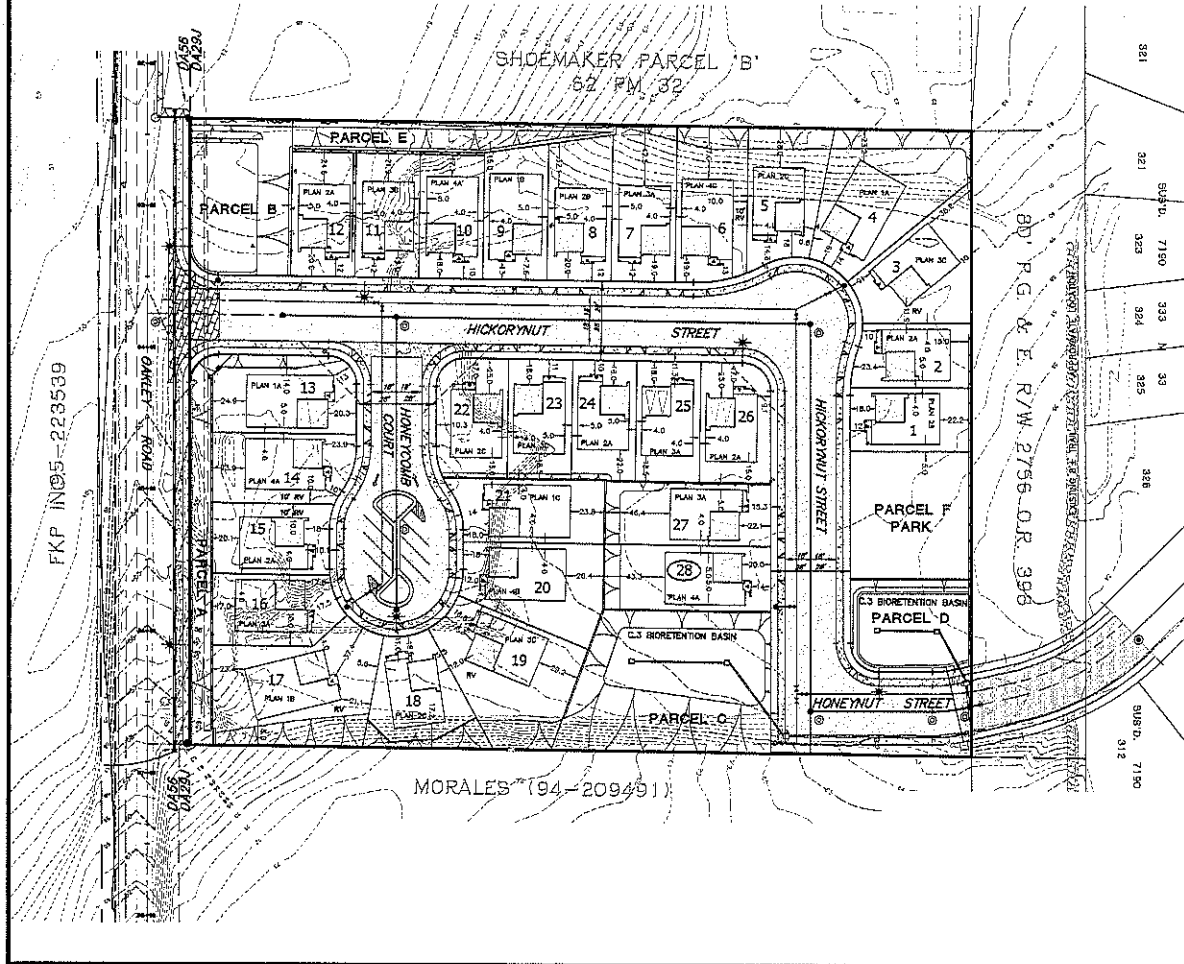
1. OWNER & DEVELOPER: DISCOVERY BUILDERS  
4081 PORT CHICAGO HWY # H  
CONCORD, CA 94520  
(925) 882-6419
2. ENGINEER: ISAKSON & ASSOCIATES, INC.  
2255 YONACIO VALLEY ROAD # C  
WALNUT CREEK, CA 94598  
(925) 327-9333
3. WATER SUPPLY: CITY OF ANTIOCH
4. SEWER SERVICE: DELTA DIABLO SEWER DISTRICT / CITY OF ANTIOCH
5. CONTOURS: 1' CONTOURS
6. ASSESSORS PARCELS: APN. 051-430-001 THRU 010
7. AREA: 5.56 ACRES
8. PARCEL A (LANDSCAPING PARCEL): 4,166 S.F.
9. PARCEL B (BIO RETENTION BASIN): 7,779 S.F.
10. PARCEL C (BIORETENTION AREA): 13,571 S.F.
11. PARCEL D (BIORETENTION AREA): 5,409 S.F.
12. PARCEL E (H.G.A. MAINTAINED): 4,083 S.F.
13. PARCEL F (PARK): 7,605 S.F.
14. NUMBER OF LOTS PROPOSED: 28
15. MAXIMUM LOT SIZE: 8,524 SF (LOT 17)
16. MINIMUM LOT SIZE: 3,649 SF (LOT 2)
17. AVERAGE LOT SIZE: 4,890 SF
18. GROSS DENSITY: 5.04 DWELLING UNITS PER ACRE
19. EXISTING LAND USE: VACANT
20. EXISTING GENERAL PLAN: MEDIUM LOW DENSITY RESIDENTIAL
21. EXISTING ZONING: P.D. (PLANNED DEVELOPMENT)
22. PROPOSED ZONING: P.D. (PLANNED DEVELOPMENT) AMENDED
23. RV PARKING (21%): LOTS: 3, 6, 14, 15, 17, 19

### MINIMUM SETBACKS:

- FRONT:**  
10' TO PORCH  
15' TO HOUSE LIVING AREA  
12' TO GARAGE FACE
- SIDE:**  
4' TO HOUSE LIVING AREA
- REAR:**  
15' TO HOUSE LIVING AREA

### DISTRIBUTION TABLE

PLAN#	1 SINGLE STORY	2 TWO STORY	3 TWO STORY	4 TWO STORY	
COUNT	5	10	8	5	GRAND TOTAL HOMES: 28
PERCENT	17.9%	35.7%	28.5%	17.9%	TOTAL PERCENT: 100.0%



	SUBDIVISION 9353	OAKLEY KNOLLS
	<b>SITE PLAN</b>	
	CITY OF ANTIOCH    CONTRA COSTA COUNTY    CALIFORNIA	
	<b>Isakson &amp; Assoc. Inc.</b> civil engineering    land surveying	
	3325 Yonacido Valley Road, Suite C, Walnut Creek, CA 94598    Phone: (925) 937-9333	
DATE: 10-23-17	DESIGNED BY: [Signature]	CHECKED BY: [Signature]
DRAWN BY: [Signature]	STAFF BY: [Signature]	NO. 200429
		SHEET 1 OF 1

E:\2004\9353\9353.dwg

2004/29 - OAKLEY KNOLLS - SITE PLAN - 10-23-2017

FA

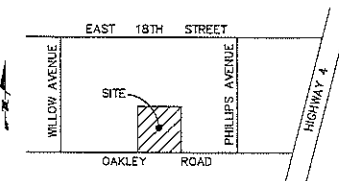
# SIGNING, STRIPING, AND PARKING PLAN

"OAKLEY KNOLLS"

SUBDIVISION 9353

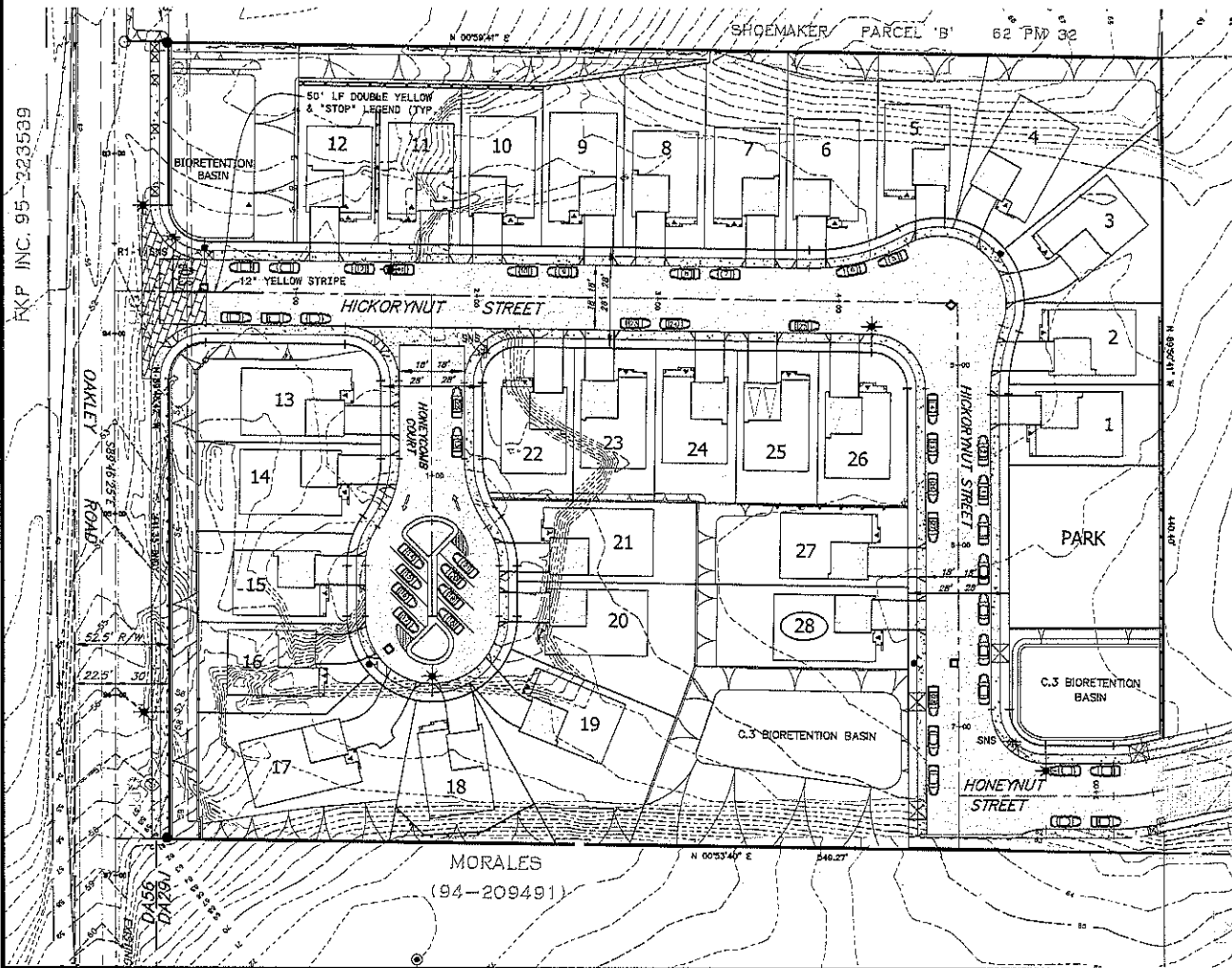
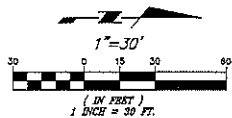
CITY OF ANTIOCH

COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA



VICINITY MAP

NOT TO SCALE



**LEGEND / ABBREVIATIONS:**

- | PROPOSED | EXISTING |   |
|----------|----------|---|
|          |          | ELECTRICAL - 70 WATTS                                       |
|          |          | CITY STANDARD STOP SIGN WITH CITY STANDARD STREET NAME SIGN |
|          |          | CITY STANDARD STREET NAME SIGN                              |
|          |          | BLUE MARKER FOR FIRE HYDRANT                                |
|          |          | TURN ARROW PER NOTE 4                                       |
|          |          | PROPOSED PARKING  |
|          |          | REQUIRED ON-STREET PARKING FOR SPECIFIED LOT                |

**PARKING SUMMARY**

TOTAL ON STREET PARKING REQUIRED: 28 SPACES \*  
 TOTAL ON STREET PARKING PROVIDED: 44 SPACES  
 \* 1 SPACE PER LOT MINIMUM.

	SUBDIVISION 9353		OAKLEY KNOLLS	
	<b>SIGNING, STRIPING, AND PARKING PLAN</b>			
CITY OF ANTIOCH		CONTRA COSTA COUNTY		CALIFORNIA
<b>Isakson &amp; Assoc. Inc.</b> civil engineering and land surveying				
2255 Yegorova Valley Road, Suite C, Walnut Creek, CA 94598 Phone (925) 637-4333				
DATE: 10-23-17	DESIGNED BY: DCJ	DRAWN BY: STAFF	CHECKED BY: D.O.J.	DATE: 10-23-17
PROJECT NO: 200429		SHEET: 1 OF 1		

200429 - OAKLEY KNOLLS - SIGNING, STRIPING, AND PARKING PLAN - 10-23-2017

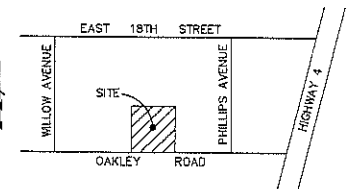
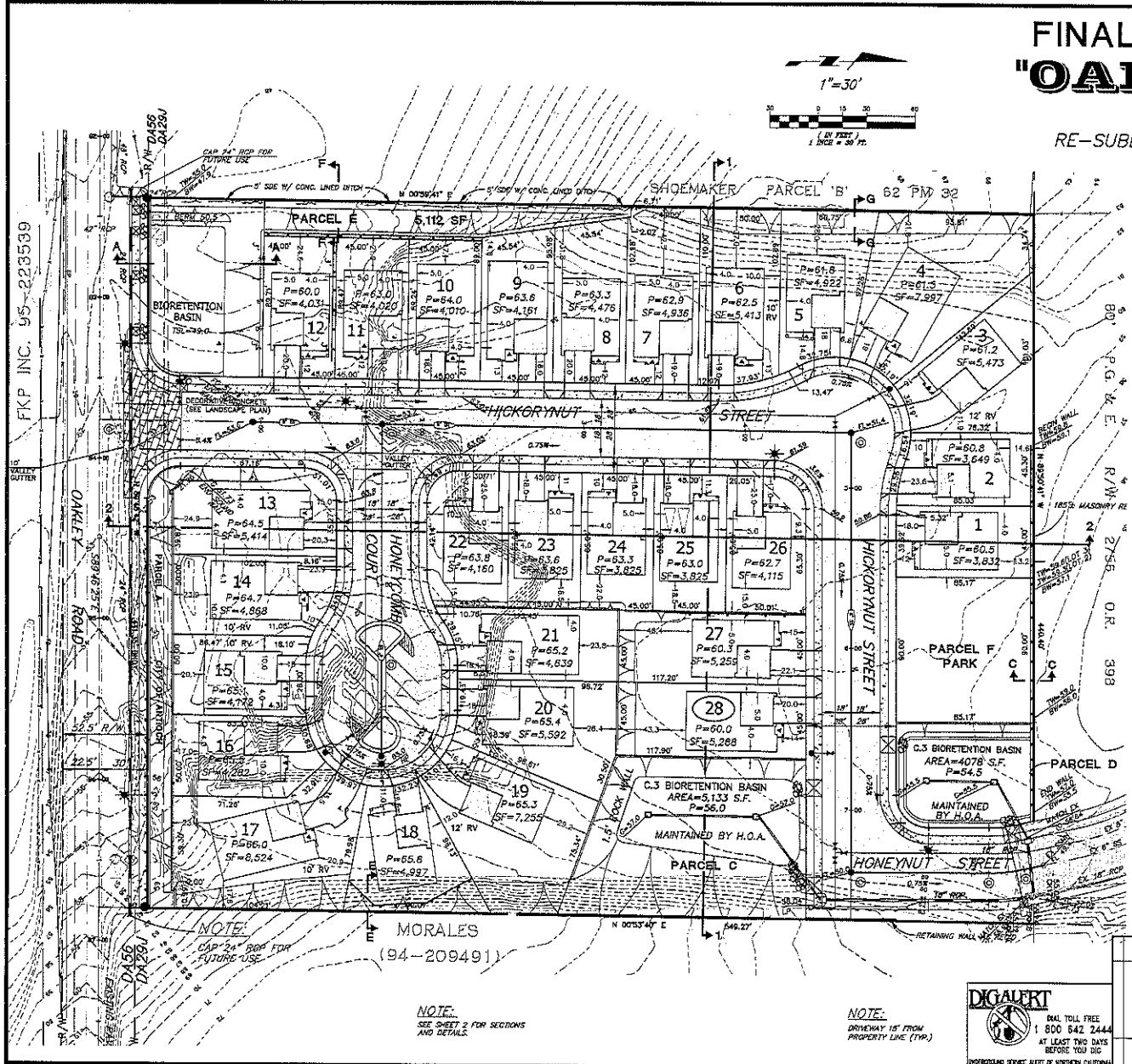
72

# FINAL DEVELOPMENT PLAN "OAKLEY KNOLLS"

SUBDIVISION NO. 9353

RE-SUBDIVISION OF SUBDIVISION #8501 (486 M 5)

CITY OF ANTIOCH  
CONTRA COSTA COUNTY, CALIFORNIA  
JULY, 2017



VICINITY MAP  
NOT TO SCALE

### GENERAL NOTES

- OWNER & DEVELOPER: DISCOVERY BUILDERS  
4061 PORT CHICAGO HWY # H  
CONCORD, CA 94520  
(925) 882-6419
- ENGINEER: ISAISON & ASSOCIATES, INC.  
2245 YONKADO VALLEY ROAD # C  
WALNUT CREEK, CA 94598  
(925) 937-9333
- WATER SUPPLY: CITY OF ANTIOCH
- SEWER SERVICE: DELTA DIABLO SEWER DISTRICT / CITY OF ANTIOCH
- CONTOURS: 1' CONTOURS
- ASSESSORS PARCELS: APN 051-430-001 THRU 018
- AREA: 5.56 ACRES
- PARCEL A (LANDSCAPING PARCEL): 4,195 S.F.
- PARCEL B (BIO RETENTION BASIN): 7,776 S.F.
- PARCEL C (BIORETENTION AREA): 13,571 S.F.
- PARCEL D (BIORETENTION AREA): 5,409 S.F.
- PARCEL E (H.O.A. MAINTAINED): 4,043 S.F.
- PARCEL F (PARK): 7,865 S.F.
- NUMBER OF LOTS PROPOSED: 28
- MAXIMUM LOT SIZE: 8,254 SF (LOT 17)
- MINIMUM LOT SIZE: 3,649 SF (LOT 2)
- AVERAGE LOT SIZE: 4,890 SF
- GROSS DENSITY: 5.04 DWELLING UNITS PER ACRE
- EXISTING LAND USE: VACANT
- EXISTING GENERAL PLAN: MEDIUM LOW DENSITY RESIDENTIAL
- EXISTING ZONING: P.D. (PLANNED DEVELOPMENT)
- PROPOSED ZONING: P.D. (PLANNED DEVELOPMENT) AMENDED
- RV PARKING (21%): LOTS: 3, 6, 14, 15, 17, 19

### LEGEND

EXISTING	
EX FIRE HYDRANT	
EX SANITARY SEWER	
EX STORM DRAIN	
EX WATER LINE	
PROPOSED	
FIRE HYDRANT	
LOT LINE	
LOT NUMBER	<b>1</b>
LOT AREA	5,256 SF
PAD ELEVATION	P=67.5
RIGHT OF WAY LINE	
SANITARY SEWER	
STORM DRAIN CATCH BASIN	
STORM DRAIN LINE	
STREET SLOPE	1.0%
WATER LINE	
F/C TO F/C	36'
ROW TO ROW	56'
SIDEWALK X-DRAIN	
DATA30 CCCC FC DRAINAGE DIST NO.	

ATTACHMENT "F"

2004929 - OAKLEY KNOLLS - FINAL 1

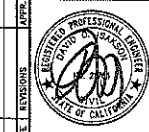
FKP INC. 95-223539

NOTE:  
CAP 24" RCP FOR FUTURE USE

NOTE:  
SEE SHEET 2 FOR SECTIONS AND DETAILS

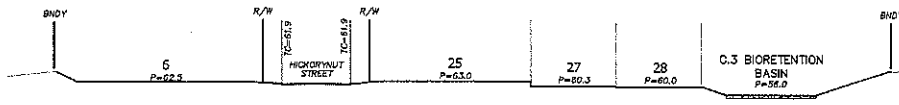
NOTE:  
DRIVEWAY 15' FROM PROPERTY LINE (TYP.)

**DIGAULT**  
REAL TOLL FREE  
1 800 642 2444  
AT LEAST TWO DAYS BEFORE YOU DIG  
UNDERGROUND SERVICE ALERT (US) SERVICE CALIFORNIA

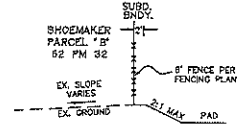
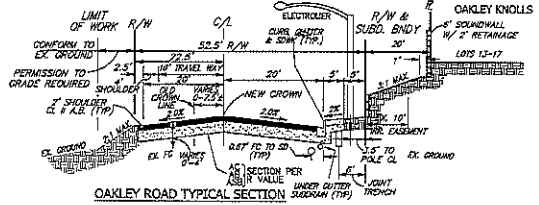


SUBDIVISION 9353 OAKLEY KNOLLS  
**FINAL DEVELOPMENT PLAN**  
CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA  
**Isakson & Assoc. Inc.**  
civil engineering land surveying  
2252 Yonkado Valley Road, Suite C, Walnut Creek, CA 94598 Phone: (925) 937-9333  
DATE: 10-23-17 DESIGNED: DOR DRAWN: DOR CHECKED: D.G.L. 200429 SHEET 1 OF 2

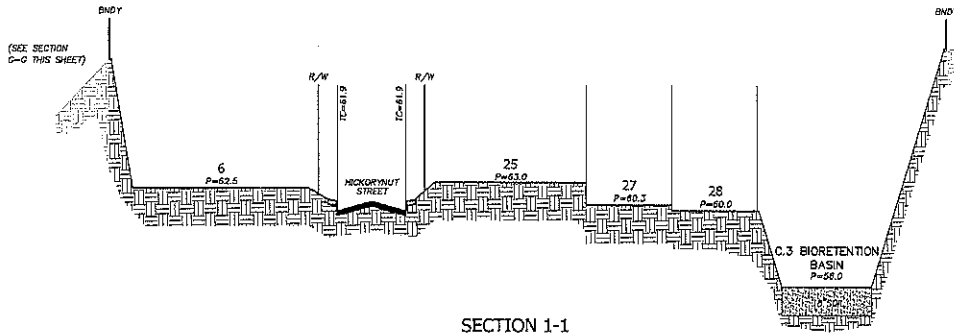
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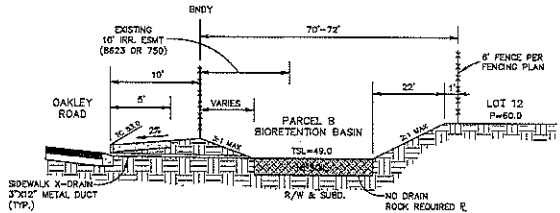
SECTION 1-1  
1"=30'



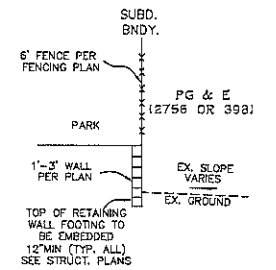
TYPICAL SECTION G-G  
NOT TO SCALE



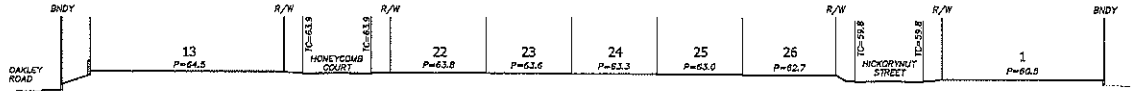
SECTION 1-1  
HORIZONTAL 1"=30'  
VERTICAL 1"=3'



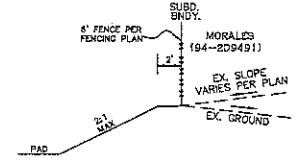
TYPICAL SECTION A-A  
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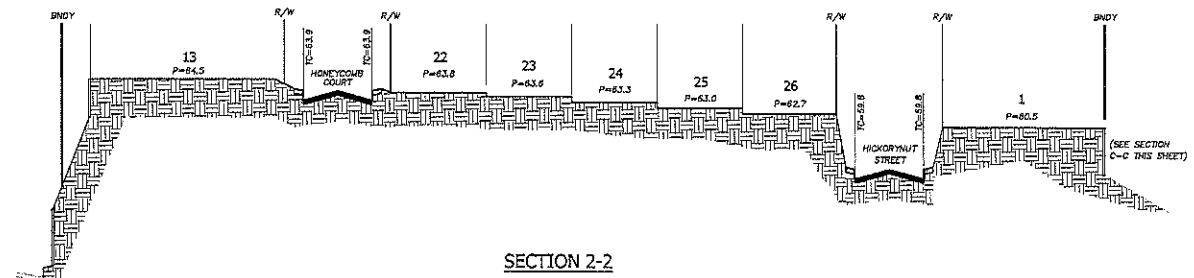
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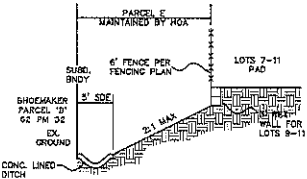
SECTION 2-2  
1"=30'



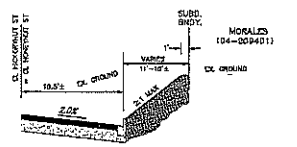
TYPICAL SECTION E-E  
NOT TO SCALE



SECTION 2-2  
HORIZONTAL 1"=30'  
VERTICAL 1"=3'



TYPICAL SECTION F-F  
NOT TO SCALE



TYPICAL SECTION H-H  
NOT TO SCALE

(SEE OAKLEY ROAD SECTION THIS SHEET)

**DIGIART**  
DIAL TOLL FREE  
1 800 642 2444  
AT LEAST TWO DAYS  
BEFORE YOU GO  
REGISTRATION SERVICE ALERT OF NORTHERN CALIFORNIA

DATE	REVISIONS	IN PERS.	DATE	REVISIONS	IN PERS.
10-23-17					

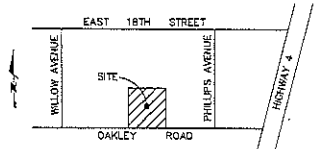
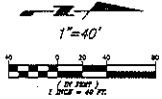


SUBDIVISION 9353 OAKLEY KNOLLS  
**FINAL DEVELOPMENT PLAN**  
SECTIONS AND DETAILS  
CITY OF ANTIPOCH CONTRA COSTA COUNTY CALIFORNIA  
**Isakson & Assoc. Inc.**  
civil engineering and land surveying  
2255 Yarnella Millers Road, Suite E, Walnut Creek, CA 94598 Phone (925) 937-8333  
DRAWN BY: STAFF CHECKED BY: STAFF DATE: 10-23-17 DESIGNED BY: DGA/STF SHEET 2 OF 2

17

# VESTING TENTATIVE MAP PRELIMINARY GRADING & UTILITY PLAN "OAKLEY KNOLLS" SUBDIVISION NO. 9353

CITY OF ANTIOCH  
CONTRA COSTA COUNTY, CALIFORNIA  
SEPTEMBER, 2017



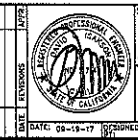
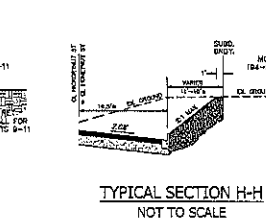
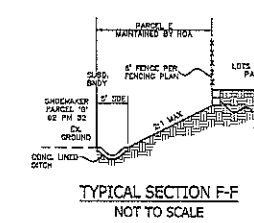
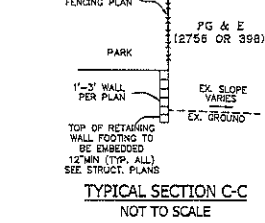
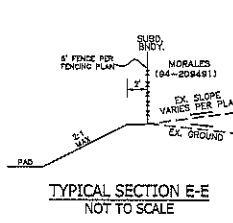
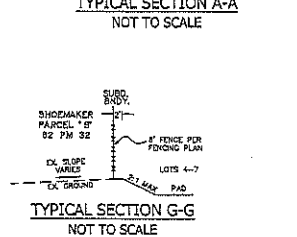
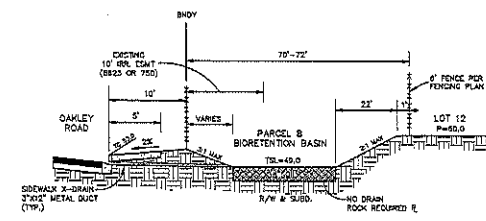
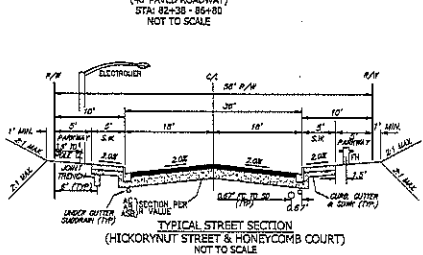
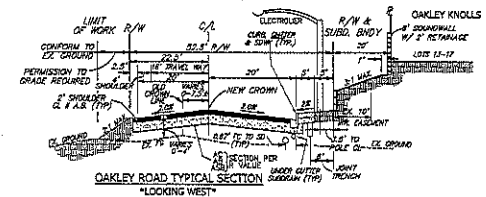
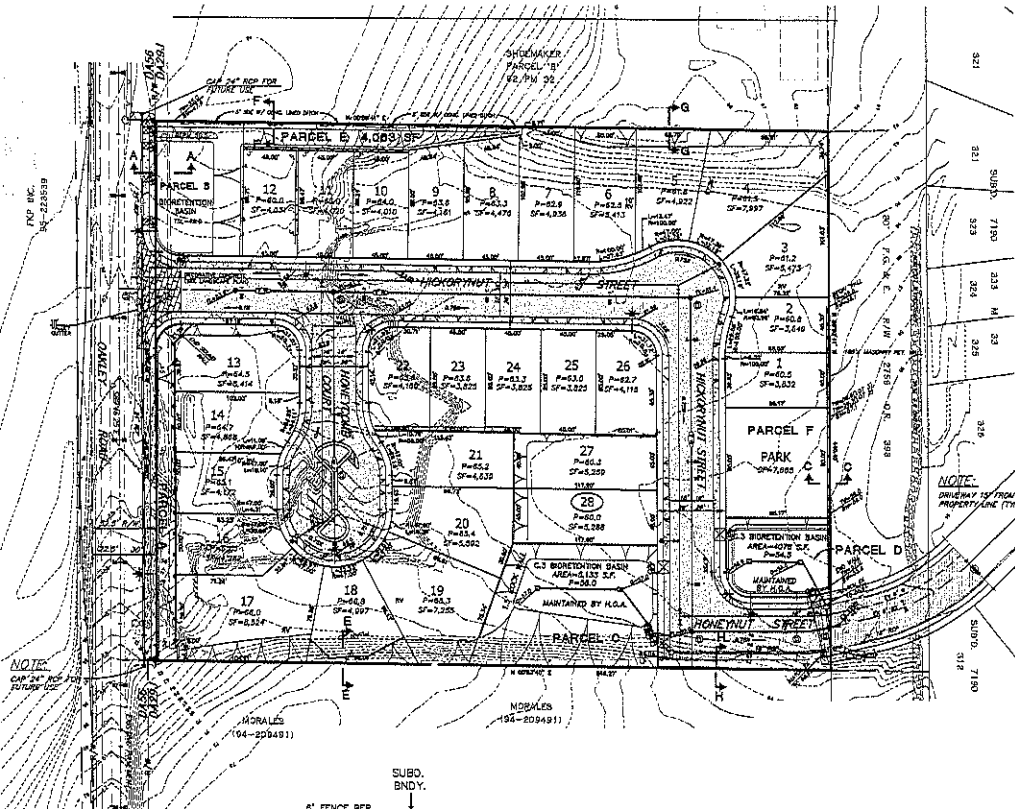
**VICINITY MAP**  
NOT TO SCALE

**LEGEND**

EXISTING	
EX FIRE HYDRANT	⊕
EX SANITARY SEWER	⊙
EX STORM DRAIN	—
EX WATER LINE	—
PROPOSED	
FIRE HYDRANT	⊕
LOT LINE	—
LOT NUMBER	1
LOT AREA	5,258 SF
PAD ELEVATION	P=167.5
RIGHT OF WAY LINE	—
HATCHWAY WALL	—
RETAINING WALL	—
SANITARY SEWER	⊙
STORM DRAIN CATCH BASIN	⊕
STORM DRAIN LINE	—
STREET SLOPE	3.0%
WATER LINE	—
F/C TO F/C	36'
ROW TO ROW	56'
SIDEWALK X-DRAIN	⊕
DAZZN 6000 FC DRAINAGE DIST NO.	

**GENERAL NOTES**

- OWNER & DEVELOPER: DISCOVERY BUILDERS 4001 FORT CHICAGO HWY # H CONCORD, CA 94520 (925) 888-8419
- ENGINEER: ISAISON & ASSOCIATES, INC. 2235 WINDSOR VALLEY ROAD # C WALNUT CREEK, CA 94596 (925) 937-9355
- WATER SUPPLY: CITY OF ANTIOCH
- SEWER SERVICE: DELTA DIABLO SEWER DISTRICT / CITY OF ANTIOCH
- CONTOURS: 1' CONTOURS
- ADJACENT PARCELS: APR. 031-430-001 THRU 018
- AREA: 5.58 ACRES
- PARCEL A (LANDSCAPING PARCEL): 4,155 S.F.
- PARCEL B (BIO RETENTION BASIN): 7,779 S.F.
- PARCEL C (BIORETENTION AREA): 13,271 S.F.
- PARCEL D (BIORETENTION AREA): 3,409 S.F.
- PARCEL E (M.G.A. MAINTAINED): 4,083 S.F.
- PARCEL F (PARK): 7,885 S.F.
- NUMBER OF LOTS PROPOSED: 28
- MAXIMUM LOT SIZE: 8,824 SF (LOT 17)
- MINIMUM LOT SIZE: 3,649 SF (LOT 2)
- AVERAGE LOT SIZE: 4,850 SF
- GROSS DENSITY: 5.04 DWELLING UNITS PER ACRE
- EXISTING LAND USE: VACANT
- EXISTING GENERAL PLAN: P.G. (PLANNED DEVELOPMENT)
- EXISTING ZONING: P.G. (PLANNED DEVELOPMENT)
- PROPOSED ZONING: ANNECDED
- RV PARKING (21X): LOTS: 3, 6, 14, 15, 17, 21



**TENTATIVE MAP**  
CITY OF ANTIOCH    CONTRA COSTA COUNTY    CALIFORNIA

**Isakson & Assoc. Inc.**  
engineering    civil    land  
surveying

2235 Windsor Valley Road, Suite G, Walnut Creek, CA 94598    Phone: (925) 937-9355

DATE: 08-19-17    DRAWN: DOI    CHECKED: S.O.L.    STAFF:    SHEET 1 OF 1

# SUBDIVISION 9353 OAKLEY KNOLLS ANTIOCH, CALIFORNIA

LANDSCAPE CONSTRUCTION DOCUMENTS  
DISCOVERY BUILDERS, INC.



VICINITY MAP

### SHEET INDEX:

- L-0 COVER SHEET
- L-1.1 STREET TREE AND FENCING PLAN
- L-1.2 FENCE AND WALL DETAILS
- L-1.3 TYPICAL FRONT YARD IRRIGATION PLANS
- L-1.4 TYPICAL IRRIGATION NOTES AND DETAILS
- L-1.5 TYPICAL FRONT YARD PLANTING PLANS
- L-1.6 TYPICALS PLANTING NOTES AND DETAILS
- L-2.1 H.O.A. MAINTAINED IRRIGATION PLANS
- L-2.2 H.O.A. MAINTAINED IRRIGATION NOTES AND DETAILS
- L-2.3 H.O.A. MAINTAINED IRRIGATION DETAILS
- L-2.4 H.O.A. MAINTAINED PLANTING PLANS
- L-2.5 H.O.A. MAINTAINED PLANTING NOTES AND DETAILS
- L-2.6 PARK AND TOT LOT PRELIMINARY PLAN

REVISIONS	
▲	12-21-17 SEE PLAN
▲	
▲	
▲	
▲	

Thomas Park & Associates, LLP  
Landscape Architects  
10000 CHINA GATE BLVD  
ANTIOCH, CA 94509  
925.262.5230



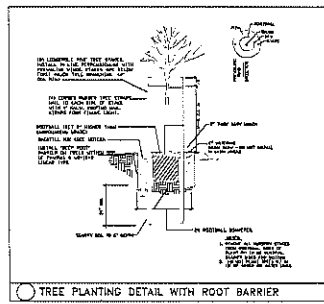
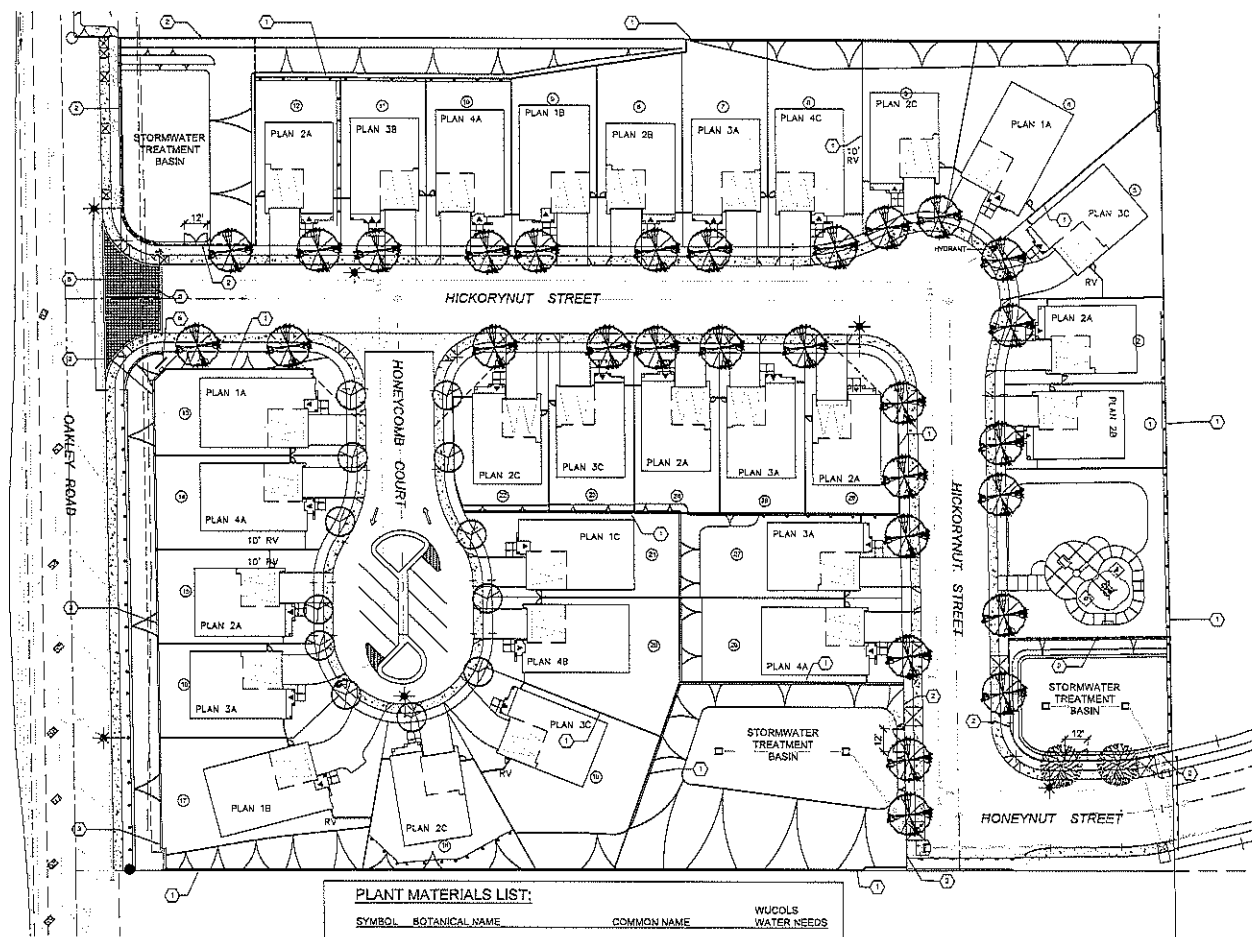
OAKLEY KNOLLS  
SUBDIVISION 9353  
ANTIOCH, CALIFORNIA

COVER SHEET

DESIGNED	DRAWN
RS	KD
CHECKED	JOB NO.
DATE	SCALE
5-22-17	NOTED

SHEET  
L-0  
OF SHEETS

Flu

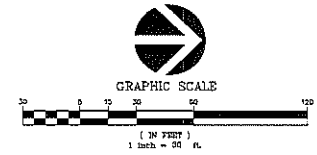


**PLANT MATERIALS LIST:**

SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS	WATER NEEDS
<b>TREES: TO BE 15 GAL. SIZE</b>				
	ULMUS 'FRONTIER'	CHINESE ELM	MEDIUM	
	CELTIS SINENSIS	COMMON HACKBERRY	MEDIUM	
	LAGERSTROEMIA IND. 'TUSCARORA'	CRAPE MYRTLE (STANDARD)	LOW	

**LEGEND:**

- ① 6' HT. SOLID WOOD FENCE AT RESIDENCES; SEE DETAIL 1/L-1,2
- ② 3' HT. BLACK VINYL-CLAD CHAIN LINK FENCE AT STORMWATER BASIN; SEE DETAIL 2/L-1,2
- ③ NEW PROJECT SOUNDWALL TO MATCH EXISTING; SEE DETAIL 3/L-1,2
- ④ NEW PROJECT SIGN ON ENTRY CORNER SOUNDWALL PANEL; SEE DETAIL 4/L-1,2
- ⑤ COLORED STAMPED CONCRETE: 18" GRID PATTERN FIELD WITH 12" WIDE SMOOTH TROWEL BANDS; PROVIDE "DAVIS#860" COBBLESTONE INTEGRAL COLOR; SEE CIVIL ENGINEERING PLANS FOR DETAIL SECTION
- ⑥ PROJECT SIGNAGE MOUNTED ON PROJECT WALL



REFER TO SHEET L-1.2 FOR WALL & FENCE DETAILS

**REVISIONS**

1	5-22-17	SEE PLAN

Thomas Bank & Associates, ILL.  
Landscape Architects  
1000 N. WILSON AVENUE, SUITE 1  
WILSON, CALIFORNIA 95690  
TEL: 916.332.1234

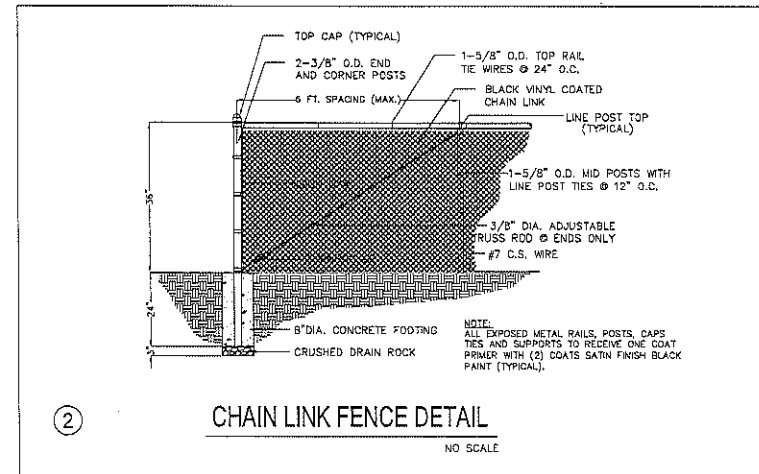
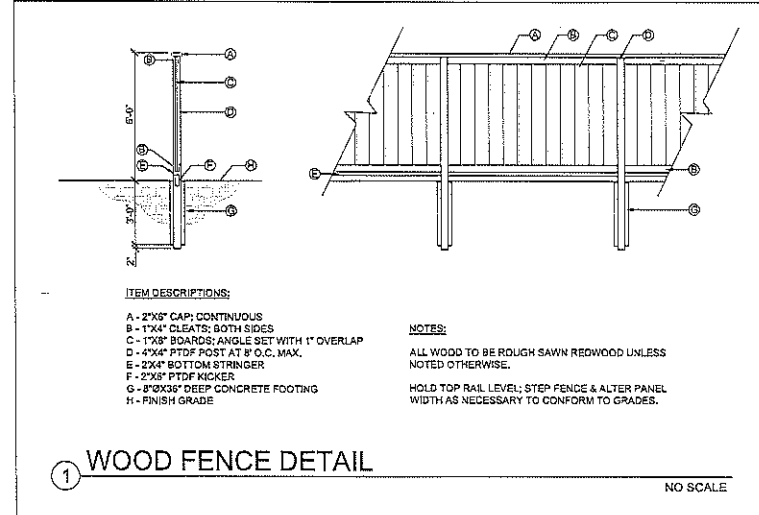
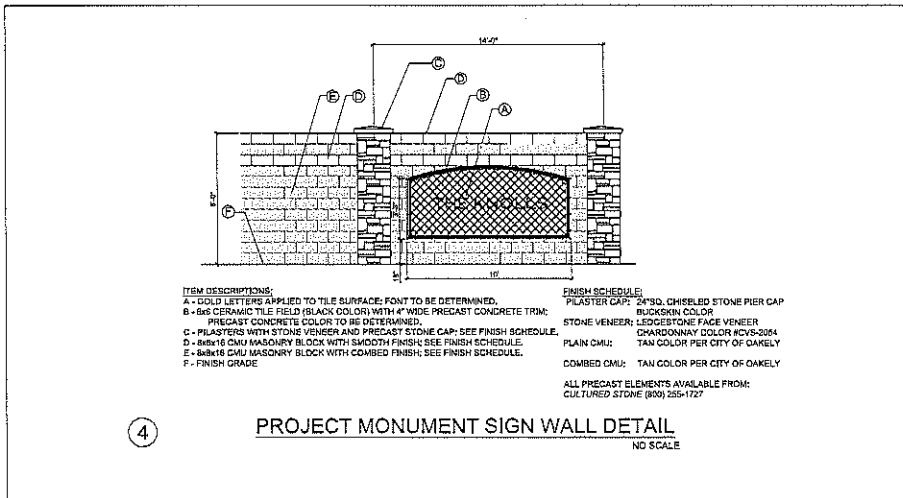
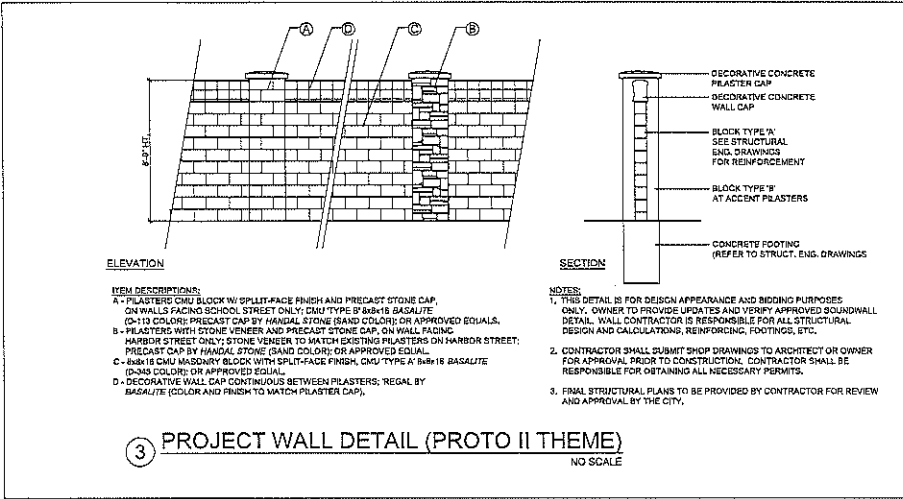
**OAKLEY KNOLLS**  
**SUBDIVISION 9353**  
ANTIOCH, CALIFORNIA

**STREET TREE**  
**AND FENCING**  
**PLAN**

DESIGNED BY	DATE
CHECKED BY	SCALE
	NOTED

SHEET  
**L-1.1**  
OF SHEETS

17



REVISIONS


Thompson Bank & Associates, L.L.C.  
ARCHITECTS  
10000 W. CENTRAL EXPRESSWAY  
SUITE 1000  
ANTIOCH, CALIFORNIA 94509  
PH: 925.263.2121

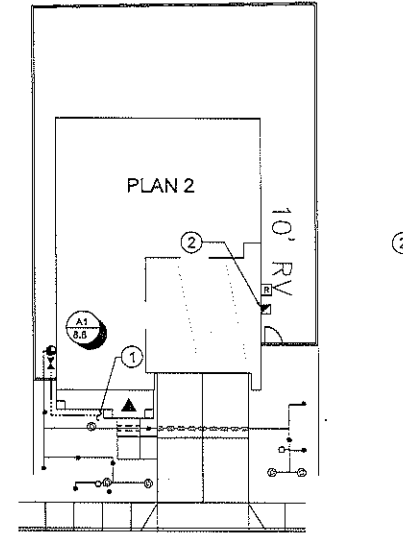
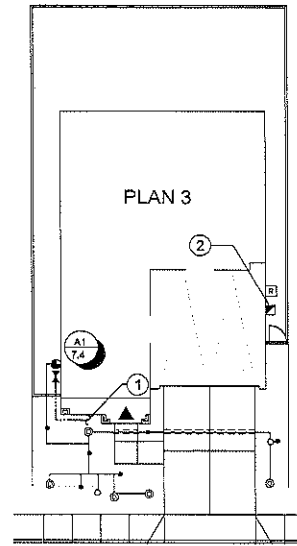
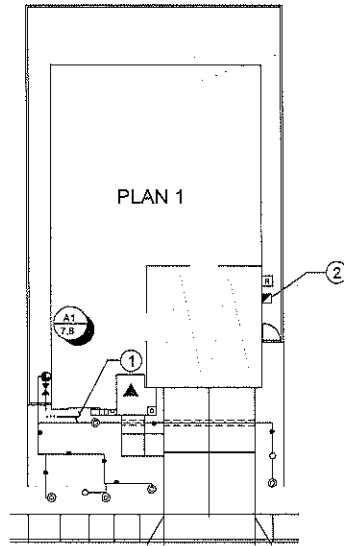
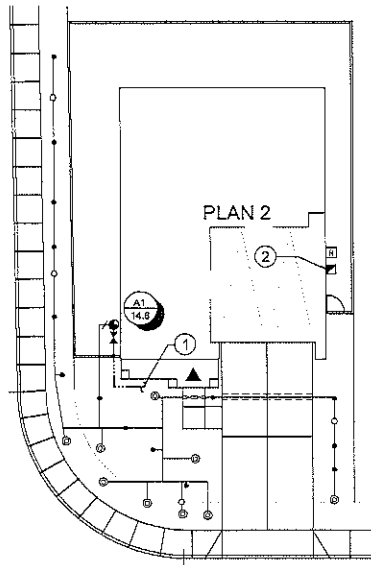
OAKLEY KNOLLS  
SUBDIVISION 93553  
ANTIOCH, CALIFORNIA

FENCE AND WALL  
DETAILS

DESIGNED	RS	DRAWN	KD
CHECKED	JAB	DATE	NO
SHEET		NO.	
5-22-17			
SCALE		NOTED	
SHEET			
L-1.2			
OF SHEETS			

001





**WATER EFFICIENT LANDSCAPE WORKSHEET- PLAN 2 -CORNER**

REFERENCE EVAPOTRANSPIRATION (ET<sub>0</sub>): 48.3

HYDROZONE / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF / IE)	LANDSCAPE AREA (sq. ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
<b>REGULAR LANDSCAPE AREAS:</b>							
LOW WATER USE	0.5	BUBBLER	0.81	0.370370	1128	418.065878	1347.3
MEDIUM WATER USE	0.5	BUBBLER	0.81	0.370370	30	22.222204	693.5
<b>TOTALS:</b>					1161	439	
<b>SPECIAL LANDSCAPE AREAS:</b>							
REG. AREA				0	0	0	0
WATER FEATURE 1				0	0	0	0
WATER FEATURE 2				0	0	0	0
<b>TOTALS:</b>					0	0	0
<b>ETWU TOTAL:</b>						13,143	
<b>MAXIMUM ALLOWED WATER ALLOWANCE (MAWA):</b>						19,122	

**ETAF CALCULATIONS:**

**REGULAR LANDSCAPE AREAS:**

TOTAL ETAF x AREA	439
TOTAL LANDSCAPE AREA	1,161
AVERAGE ETAF	0.38

NOTE: AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS, AND 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS.

**ALL LANDSCAPE AREAS:**

TOTAL ETAF x AREA	439
TOTAL LANDSCAPE AREA	1,161
SITEWIDE ETAF	0.38

**WATER EFFICIENT LANDSCAPE WORKSHEET-PLAN 1**

REFERENCE EVAPOTRANSPIRATION (ET<sub>0</sub>): 48.3

HYDROZONE / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF / IE)	LANDSCAPE AREA (sq. ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
<b>REGULAR LANDSCAPE AREAS:</b>							
LOW WATER USE	0.5	BUBBLER	0.81	0.370370	461	171.951813	3144.3
MEDIUM WATER USE	0.5	BUBBLER	0.81	0.370370	30	11.111102	332.7
<b>TOTALS:</b>					492	183	
<b>SPECIAL LANDSCAPE AREAS:</b>							
REG. AREA				0	0	0	0
WATER FEATURE 1				0	0	0	0
WATER FEATURE 2				0	0	0	0
<b>TOTALS:</b>					0	0	0
<b>ETWU TOTAL:</b>						5,479	
<b>MAXIMUM ALLOWED WATER ALLOWANCE (MAWA):</b>						7,839	

**ETAF CALCULATIONS:**

**REGULAR LANDSCAPE AREAS:**

TOTAL ETAF x AREA	183
TOTAL LANDSCAPE AREA	492
AVERAGE ETAF	0.38

NOTE: AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS, AND 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS.

**ALL LANDSCAPE AREAS:**

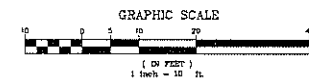
TOTAL ETAF x AREA	183
TOTAL LANDSCAPE AREA	492
SITEWIDE ETAF	0.38

**GRAPHIC NOTE:**

IRRIGATION PLAN IS A SCHEMATIC REPRESENTATION OF THE DESIGN. ALL IRRIGATION PIPES AND VALVES SHOWN IN PAVING AREAS SHALL BE INSTALLED IN ADJACENT PLANTERS ALONG BACK OF PAVING AS SITE CONSTRAINTS ALLOW. SLEEVE LOCATIONS ARE SHOWN RELATIVE TO RELATED SITE, PAVING LOCATIONS.

**LANDSCAPE IRRIGATION AUDITS:**

WATER AUDITS FOR THE LANDSCAPE IRRIGATION SYSTEM SHALL BE CONDUCTED ONCE EVERY FIVE YEARS (60 MONTHS) AFTER FINAL ACCEPTANCE OF THE PROJECT LANDSCAPE INSTALLATION. THE AUDITS SHALL BE CONDUCTED BY A CERTIFIED LANDSCAPE IRRIGATION AUDITOR IN ACCORDANCE WITH THE CALIFORNIA LANDSCAPE WATER MANAGEMENT PROGRAM, AS DESCRIBED IN THE LANDSCAPE IRRIGATION AUDITOR HANDBOOK.



REFER TO SHEET L-1.4 FOR IRRIGATION LEGEND, NOTES AND DETAILS

NO.	DATE	DESCRIPTION
1	10-21-17	SPR. PLAN

Thomson Bank & Associates, L.L.C.  
Landscape Architects  
10000 E. 1st Avenue  
Suite 100  
Denver, CO 80231  
PH: 303.751.2121



OAKLEY KNOLLS  
SUBDIVISION 9353  
ANTIOCH, CALIFORNIA

TYPICAL FRONT  
YARD IRRIGATION  
PLANS

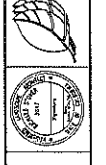
DATE	10-21-17
SCALE	NOTED

SHEET  
L-1.3

DATE

REVISIONS	
1	11-27-22
2	
3	
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5	
6	
7	
8	
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Thomas Bank & Associates, L.P.  
Landscape Architects  
10000 Wilshire Blvd., Suite 1000  
Los Angeles, CA 90024  
Tel: 310.342.1234  
Fax: 310.342.1235



**OAKLEY KNOLLS**  
SUBDIVISION 93553  
ANTIOCH, CALIFORNIA

**TYPICAL FRONT YARD**  
IRRIGATION NOTES  
AND DETAILS

ISSUED	BY	DATE	SHEET NO.	TOTAL SHEETS
10/15/22	RS	11/22/22	1	1

SCALE NOTED  
L-1.4

**IRRIGATION LEGEND:**

- 1 HUNTER® HX-400 4-STATION EXTERIOR WALL MOUNT CONTROLLER. PROVIDE HUNTER SOLAR-SYNC RECEIVER UNIT NEXT TO CONTROLLER.
- 2 KING BROS® SCHEDULE 80 PVC BALL VALVE. LINE SIZE
- 3 HUNTER® HWSS-SEN WIRELESS SOLAR-SYNC SENSOR WITH WEATHER BASED OPERATION AND RAIN/FREEZE SHUT-OFF. RECEIVER MOUNTS NEXT TO CONTROLLER. SENSOR MOUNT ON HOUSE EAVE LINE CLEAR OF OVERHANG.
- 4 RAINBIRD® #100-AV5F 1" ANTI-SIPHON REMOTE CONTROL VALVE AND AMIAD® FILTER WITH #150 MESH SCREEN
- 5 MAIN LINE: 1" CLASS 315 PVC PIPE WITH SCHEDULE 40 PVC SOLVENT-WELD FITTINGS; ALL CUTS TO BE SQUARE, PRIMER TO BE PROVIDED 16" (MIN.) COVER
- 6 LATERAL LINE: CLASS 200 PVC PIPE WITH SCHEDULE 40 PVC SOLVENT-WELD FITTINGS; SEE PLAN FOR LINE SIZE. 1" ALL CUTS TO BE SQUARE, PRIMER TO BE USED. PROVIDE 12" (MIN.) COVER
- 7 4" SCHEDULE 40 PVC PIPE SLEEVES UNDER PAVING (8" FOR SHARED PIPES GROUDED IN SLEEVES); PROVIDE 24" (MIN.) COVER BELOW FINISH PAVING
- 8 CONTROLLER STATION NUMBER  
BALLONS PER MINUTE
- 9 PEPCO® #858 OCTABUBBLER (BLACK, 0.80 GPM HEAD) EMITTER SCHEDULE: (2) PER 5 GAL. PLANT, (1) PER 1 GAL. PLANT
- 10 PEPCO® #8933 QUADABUBBLER (BLACK, 0.40 GPM HEAD) EMITTER SCHEDULE: (2) PER 5 GAL. PLANT, (1) PER 1 GAL. PLANT
- 11 PEPCO® #8932 QUADABUBBLER (RED, 0.65 GPM HEAD) EMITTER SCHEDULE: (1) HEAD PER TREE
- 12 POINT-OF-CONNECTION TO WATER SUPPLY: PROVIDE CONNECTION TO DOMESTIC WATER SERVICE WITH COMPRESSION FEE AND ADAPT TO NEW 1" PD MAIN LINE. VERIFY LOCATION WITH PROJECT SUPERINTENDENT IN FIELD. VERIFY A MINIMUM AVAILABLE STATIC WATER PRESSURE OF 55 PSI; IF EXCEEDS 80 PSI INSTALL WALKING 4000 PRESSURE REGULATORS ON TOP ROUND VALVE BOX. VERIFY A MINIMUM AVAILABLE FLOW OF 14.8 GPM. (SEE DETAIL SHT. L-1.4)
- 13 EXTERIOR WALL-MOUNT CONTROLLER: PROVIDE 120 VOLT POWER WITHIN RIGID CONDUIT FROM SOURCE STUBBED-OUT BY ELECTRICAL CONTRACTOR TO CONTROLLER LOCATION; FINAL LOCATION ON WALL TO BE COORDINATED WITH PROJECT SUPERINTENDENT. ALL ABOVE GRADE CONTROL WIRES SHALL BE CONTAINED WITHIN PVC ELECTRICAL CONDUIT SECURELY FASTENED TO EXTERIOR WALL; PAINT CONDUIT TO MATCH WALL.

**IRRIGATION NOTES:**

OWNER: OWNER IS TO VERIFY ALL UTILITIES (ELECTRIC, GAS, WATER, SEWER) BEFORE THE BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND OTHER AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND OTHER AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND OTHER AGENCIES.

REPAIRS: DUE TO THE SCALE OF DRAWINGS IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL ALSO CAREFULLY OVERSEE THE STRUCTURAL WORK BEING COMPLETED BY ALL OTHER TRADES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND OTHER AGENCIES.

CONTROLLER: IRRIGATION CONTRACTOR IS TO PROGRAM NUMBER OF STATIONS ON CONTROLLER TO INDICATE IN THE MOST EFFICIENT MANNER CONSIDERING WATER USAGE. IT IS THE RESPONSIBILITY OF THE LANDSCAPE ARCHITECT/CONTRACTOR AND/OR THE OWNER TO PROGRAM THE IRRIGATION CONTROLLER TO PROVIDE THE ANNUAL AMOUNT OF WATER NEEDED TO SUSTAIN PROPOSED PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, CHANGES IN PLANTING, SOAKING AND HARD SPOTS, ETC. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE, EROSION, POLLUTION, ETC. DUE TO IMPROPER PROGRAMMING. ELECTRICAL CONTRACTOR TO SUPPLY HIGH-VOLTAGE (240V) POWER TO THE CONTROLLER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND OTHER AGENCIES.

VALVES: ISOLATION AND CONTROL VALVE LOCATIONS SHOWN ARE APPROXIMATE. INSTALL IN PROTECTED AREAS WHERE POSSIBLE. NOT IN WALKWAYS, DRIVES, OR UNDER PAVING. VALVES SHALL BE 18" FROM ANY WALL OR PERPENDICULAR TO WALL. VALVE BOXES SHALL BE 18" FROM ANY WALL OR PERPENDICULAR TO WALL. VALVE BOXES SHALL BE 18" FROM ANY WALL OR PERPENDICULAR TO WALL. VALVE BOXES SHALL BE 18" FROM ANY WALL OR PERPENDICULAR TO WALL.

WIRING: CONTROL WIRES SHALL BE ALL APPROVED FOR DIRECT BURIAL IN GROUND. COPPER WIRE #14. GROUNDING WIRE SHALL HAVE INSULATION ADJUT. CONTROL WIRE SHALL HAVE INSULATION ADJUT OF COLOR OTHER THAN WHITE. SPACING SHALL BE DONE WITH AN APPROVED SEAL PASTE. SPACING OF WIRE TUBES SHALL NOT BE PERMITTED EXCEPT IN WALKWAYS, DRIVES, OR UNDER PAVING. WIRE SHALL BE 18" FROM ANY WALL OR PERPENDICULAR TO WALL. WIRE SHALL BE 18" FROM ANY WALL OR PERPENDICULAR TO WALL. WIRE SHALL BE 18" FROM ANY WALL OR PERPENDICULAR TO WALL.

MULTI-OUTLET BRP SYSTEM: CONTRACTOR SHALL INSTALL DRIP HEAD IN PLASTIC GAS PER DETAIL. INSTALL POT PIPES IN ANY AND ALL UNSEEN DRIP TRAP PARTS. DISTRIBUTION TUBING SHALL NOT EXCEED BEYOND MANUFACTURER'S RECOMMENDATIONS. PL. LINES. SECURE DISTRIBUTION TUBING TO OBJECTS WITH TUBING TIES. SPACING SHALL BE 18" FROM ANY WALL OR PERPENDICULAR TO WALL. SPACING SHALL BE 18" FROM ANY WALL OR PERPENDICULAR TO WALL. SPACING SHALL BE 18" FROM ANY WALL OR PERPENDICULAR TO WALL.

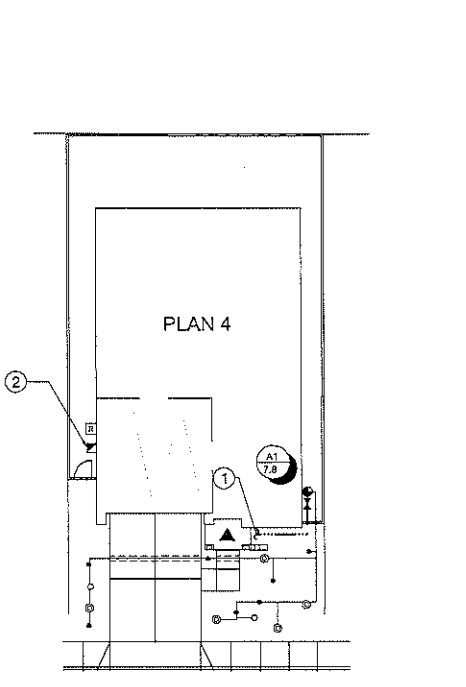
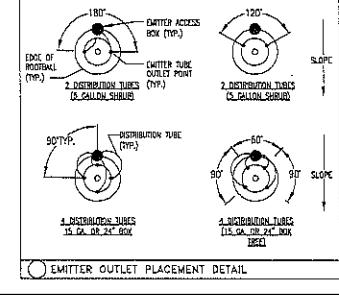
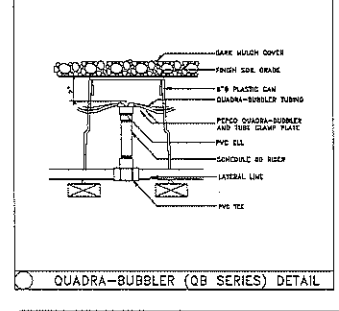
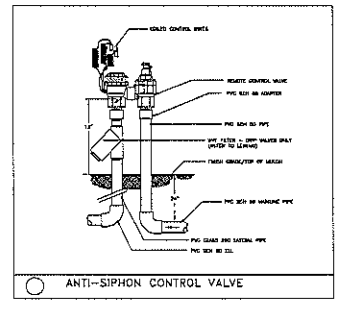
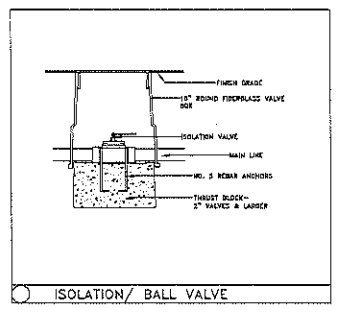
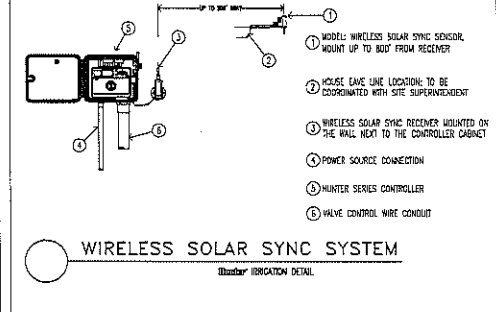
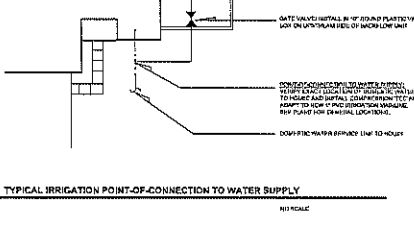
PIPEWORK/REPAIRS: INSTALL MAIN LINE PIPING WITH CONCRETE TIE-INS. PROTECT ALL PIPING FROM DAMAGE. ALL MAIN AND LATERAL LINES SHALL BE SURROUNDED WITH A MINIMUM OF 2" OF SAND OR ROCK FREE SOIL. PIPE SEAL AND COUPLERS SHALL BE FACTOR SEAL. FITTINGS OR LASSO PROBAB PRESSURE TIGHTENING (80 PSI) FOR 24 HOURS AND THE LATERAL LINE IS TO BE 100 PSI. IF NECESSARY TO PREPARE FOR FUTURE REPAIRS, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO TREES, AND TREE ROOTS IN ANY EXCAVATION IN AREA WHERE TRENCHING AND LATERAL LINES SHALL BE LAYED. IN ALL CASES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND OTHER AGENCIES.

SLEEVES: THE IRRIGATION CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL CONTRACTOR AND OTHER TRADES CONTRACTORS FOR THE LOCATION AND INSTALLATION OF SLEEVES. CONDUIT OF PVC THROUGH WALLS, UNDER ROADS, DRIVEWAYS, STRUCTURES, ETC. PRIOR TO CONSTRUCTION IN ADDITION TO THE SLEEVES AND CONDUITS SHOWN ON THE DRAWINGS, THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND/OR INSTALLATION OF SLEEVES AND CONDUITS OF ANY OTHER TRADES/UTILITIES CONTRACTORS.

IRRIGATION SYSTEM: THE IRRIGATION SYSTEM IS CONSIDERED FINAL. SET UP FOR POSSIBLE RETROFIT TO RECYCLED WATER SOURCE IN FUTURE. DESIGN IS BASED ON A MINIMUM OPERATING PRESSURE (PSI) AND A FLOW (GPM) AS NOTED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE PROVIDED IN THE DRAWINGS AND THE ACTUAL PRESSURE READINGS AT THE IRRIGATION POINT OF CONNECTION TO THE LANDSCAPE ARCHITECT. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR ANY NECESSARY CHANGES DUE TO THIS DIFFERENCE.

WARRANTY: ALL CONSTRUCTION PARTS AND PRODUCTS BY THE LANDSCAPE CONTRACTOR AND/OR HIS SUBCONTRACTORS SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER THE BEGINNING OF THE MAINTENANCE PERIOD. THE CONTRACTOR SHALL REPAIR AND/OR REPLACE TO THE OWNER ANY AND ALL IRRIGATION PRODUCTS THAT ARE BEING GUARANTEED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND OTHER AGENCIES.

DO NOT BUY, ORDER MATERIALS OR INSTALL ANY OF ANY SYSTEM BEFORE READING THE IRRIGATION NOTES IN THEIR ENTIRETY. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL CHANGES, OMISSIONS AND/OR ADDITIONS TO SYSTEM DUE TO FAILURE TO DO SO.



0110

NO.	DATE	BY	DESCRIPTION
1	5-22-17	RS	ISSUED FOR PERMITS
2			
3			
4			
5			

Design Risk & Associates, L.L.C.  
 10000 S. GARDEN AVENUE, SUITE 100  
 GARDEN GROVE, CA 92647  
 PH: 714.261.1122

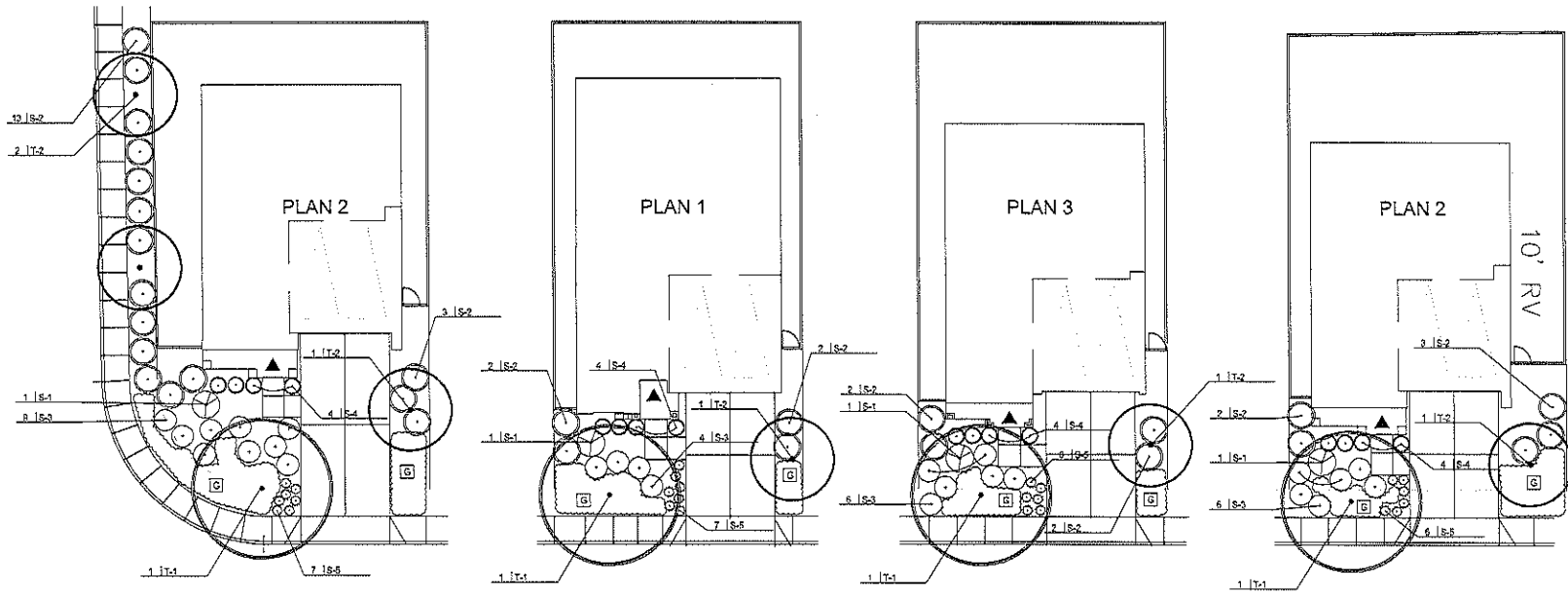


OAKLEY KNOLLS  
 SUBDIVISION 9353  
 ANTOCH, CALIFORNIA

TYPICAL FRONT  
 YARD PLANTING  
 PLANS

ISSUED	DATE
RS	5-22-17
RS	5-22-17
RS	5-22-17

97 SHEETS  
 L-1.5



**SUGGESTED PLANT MATERIALS LIST:  
FRONT YARD LANDSCAPE**

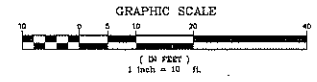
SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS WATER NEEDS	SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS WATER NEEDS
T-1	STREET TREE: REFER TO STREET TREE & FENCING PLAN						
T-2	ACCENT TREE: TO BE 15 GAL. SIZE						
	CERCIS OCCIDENTALIS	(WESTERN REDBUD)	VERY LOW	S-4	HEDGING SHRUBS: TO BE 5 GAL. SIZE		
	LAGERSTROEMIA 'TUSCARORA'	(DRAPE MYRTLE)	LOW		MYRTUS COMMUNIS 'COMPACTA'	(DWARF MYRTLE)	LOW
S-1	STANDARD SHRUB: TO BE 5 GAL. SIZE						
	EURYOPIS PECTINATUS	(YELLOW DAISY STANDARD)	LOW		RHAPHOLEPIS IND. 'CLARA'	(INDIAN HAWTHORN)	LOW
	LAVATERA ASSURGENTIFLORA	(TREE MALLOW STANDARD)	LOW		TEUCRIUM FRU. 'COMPACTUM'	(BUSH GERMANDER)	LOW
	RHAPHOLEPIS 'MAJESTIC BEAUTY'	(INDIA HAWTHORN STANDARD)	LOW	S-5	SMALL ACCENT SHRUBS: TO BE 1 GAL. SIZE		
S-2	MEDIUM SHRUBS: TO BE 5 GAL. SIZE						
	GRAVILEA 'NOELLI'	(NOELLI GREVILLEA)	LOW		ASAPANTHUS AFR. 'BLUE STORM'	(LILY OF THE NILE)	MEDIUM
	NERIUM OLE. 'PETITE PINK'	(DWARF OLEANDER)	LOW		DIETES IRIDIODES	(FORTNIGHT LILY)	LOW
	RHAPHOLEPIS 'JACK EVANS'	(INDIA HAWTHORN)	LOW		NANDINA 'FIREPOWER'	(DWARF HEAVENLY BAMBOO)	LOW
					PHORMIUM 'JACK SPRATT'	(DWARF NEW ZEALAND FLAX)	LOW
S-3	SPREADING SHRUBS: TO BE 5 GAL. SIZE						
	ABELIA 'BRONZE ANNIVERSARY'	(GLOSSY ABELIA)	MEDIUM	G	GROUND COVER: TO BE 1 GAL. SIZE AT 30" O.C.		
	CISTUS 'SNOW FIRE'	(ROCKROSE)	LOW		COTONEASTER 'LOWFAST'	(PROSTRATE COTONEASTER)	LOW
	COLEONEMA PUL. 'SUNSET GOLD'	(BREATH OF HEAVEN)	MEDIUM		ROSMARINUS 'PROSTRATA'	(PROSTRATE ROSEMARY)	LOW

**NOTES FOR PLANT MATERIAL SELECTION:**

1. ROTATE PLANT MATERIALS COURT TO COURT SO THAT THE PLANT PALETTE FOR ADJOINING COURTS IS DIFFERENT, ESPECIALLY AT THE FRONT ENTRIES.
2. IF A PLANT MATERIAL GROUPING CROSSES THE PROPERTY LINE BETWEEN LOTS, USE ALL OF ONE SPECIES OF PLANT FOR THAT GROUPING.

**ADDITIONAL NOTES:**

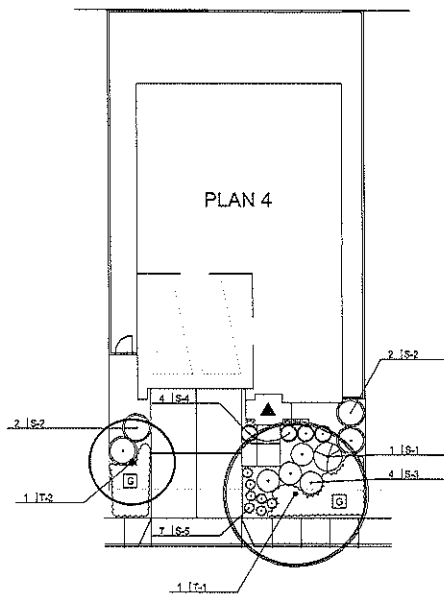
1. ALL PLANTING AREAS SHALL RECEIVE A 3" LAYER OF FIBERBARK TOP DRESSING MULCH (MULCH NOT SHREDDED).
2. ALL FRONT YARD LANDSCAPE AREAS SHALL BE WATERED BY A WATER CONSERVING AUTOMATIC IRRIGATION SYSTEM AT EACH LOT.



REFER TO SHEET L-1.6 FOR PLANTING NOTES AND DETAILS

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112



**PLANTING NOTES:**

**GENERAL NOTES:** The Landscape Contractor shall inspect the site and be familiar with all existing site conditions prior to submitting his bid. Contractor shall not utilize proceed with construction as shown when it is obvious that obstructions, landscape areas and/or grade differences exist that may not have been known during design. Such conditions shall immediately be brought to the attention of the Landscape Architect. The Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification. Contractor shall be responsible for making himself familiar with all underground utilities, pipes, structures and obstructions. Contractor shall take sole responsibility for all costs incurred due to changes and/or replacement of these items. Contractor shall be responsible for coordination between trade and subcontractors as required to accomplish landscape operations. The Landscape Contractor shall be responsible for any damage to existing facilities caused by or during the performance of his work. All repairs shall be made at no cost to the Owner. Planting shall be installed in conformance with all applicable local codes and ordinances by experienced workmen and a licensed Landscape Contractor who shall obtain all necessary permits and pay all required fees.

**SOIL PREPARATION:** The Landscape Contractor shall be responsible for finish grading and all planting area drainage. Positive drainage away from the building and per city codes shall be maintained. No low spots which hold standing water will be accepted. The Landscape Contractor shall incorporate and prepare/amendments into planting areas as noted below. Where regrading is not possible, incorporate soil amendments into top 8 inches with hand tools. After installation of irrigation system, all planting areas are to be prepared to within 2 inches and slightly mounded away from edges of top of finished curb, walk, boulevard, etc., and must comply with all codes and provide over 1 inch in diameter removed.

**SOIL PREPARATION AMENDMENTS AND BACKFILL MDG:** The Landscape Contractor shall amend existing soil, by adding 8 cu. yd. BF Super Mulch Compost and 15 lbs. organic balanced fertilizer "Phyto-Super" (1-1-2) per 1,000 sq. ft. Available from California Organic or equal into the top 8 inches of soil in all planting areas, or equal PH Planting Mix for trees and shrubs and 10 organic amendment, 200 amended topsoil as noted above.

**TREE PLANTING:** The trees are to be planted as per detail on plan. Trees shall typically be located a minimum of 4 feet from curbs, walks, fences, buildings, sidewalks, and other trees within the project. Details shall be per PH Planting Mix as noted above. All trees shall receive equal fertilizer "Phyto Super" 1-1-2 avail. from California Fertilizer Company (equal or equal) for 15 gallon trees; 1 cup; for 9 gallon trees and shrubs; 1/2 cup. Thoroughly water trees immediately after planting.

**ROOT BARRIERS:** All trees planted within 9' of a paved surface shall receive a linear type root barrier 18" deep and 12' long along sidewalk paving edges, detailed on the tree form. (See detail)

**SHRUB PLANTING:** The shrubs shall be selected as per plan and the varieties approved prior to the digging of the holes. Shrub backfill shall be the PH Planting Mix as noted in the detail. All shrubs shall receive "Phyto-Super" 1-1-2 organic fertilizer equal from California Fertilizer Company (equal or equal) at the following rates: For 6 gallon shrubs; 1/2 cup for 1 gallon shrubs; 1/4 cup. Thoroughly water shrubs immediately after planting. Do not plant any shrub within 20' of any building wall.

**MULCHING:** Mulch all planting areas, including lawn and storm water drainage areas, having a slope less than 2:1 with a 3 inch minimum depth of recycled wood chips, UV stabilized, dyed, or black with a PH of no higher than 6.5, and free of noxious weeds and foreign materials, #100 Black Chip from "Re-Use, Inc." or approved equal.

**MAINTENANCE:** The Contractor shall maintain the project for 90 days (or as requested by owner) following the approval to begin the maintenance period. During the entire maintenance period, watering, cultivating, weeding, mowing, regrading, and/or other work shall be performed on a regular basis, as needed, to maintain the project in a healthy, thriving condition. Integrated pest management practices shall be implemented.

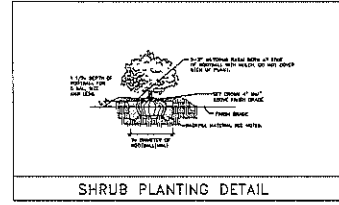
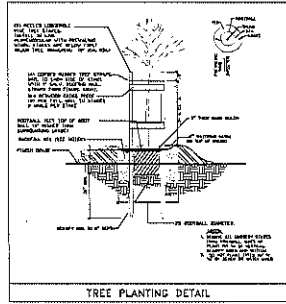
**SUBSTITUTIONS:** Requests for substitutions of plant varieties shall be made to the Landscape Architect within 15 days after signing of contract.

**GUARANTEE:** All construction, trees and shrubs by the Landscape Contractor and/or his subcontractors shall be guaranteed for (1) one year after beginning of maintenance period. The Contractor shall replace, at his expense to the Owner, any and all landscape materials that are in an unsatisfactory condition for (1) one year, and trees or shrubs that are dead or top kill in a significant, healthy growing condition within two weeks of notification of such condition. Replacement shall be of the same kind and size as the originally specified item and shall be replaced as originally specified on the drawings. The Contractor shall not be held liable for loss of plants materials during the guarantee period due to vandalism, accidental causes or acts of neglect by others than the Contractor, his agents and employees.

**CLEAN UP:** At the end of each work day, at the inspection for substantial completion and before acceptance of project, clean paved areas that are dirtied or stained by construction operations, by sweeping or washing, and remove all materials and debris. Remove construction equipment, excess materials and tools. Hold them Owners property the details resulting from construction, and dispose of legally. Remove remaining temporary protection at time of acceptance by Owner unless otherwise agreed.

**FERTILIZERS:** Available California Fertilizer Company Inc. 1-800-288-5880 www.zagplanting.com www.californiaorganic.com

**EXISTING TREES TO REMAIN:** Provide temporary fencing, barricades or guards as necessary to protect existing trees or other plants which are to remain. Mark above grade drainage. Protect and preserve from construction. Do not cause construction materials, debris or excavated material within 6' (outer perimeter of tree branches). Restrict vehicular and foot traffic within 6' (to be placed) excavated compaction of soil over root systems. Arborist's report, when present, takes precedence over these notes.



REVISIONS	
NO.	DATE

THOMAS BIRK & ASSOCIATES, L.P.  
 1000 WEST 10TH AVENUE  
 SUITE 200  
 ANAHEIM, CALIFORNIA 92801  
 PH: 714.771.1111

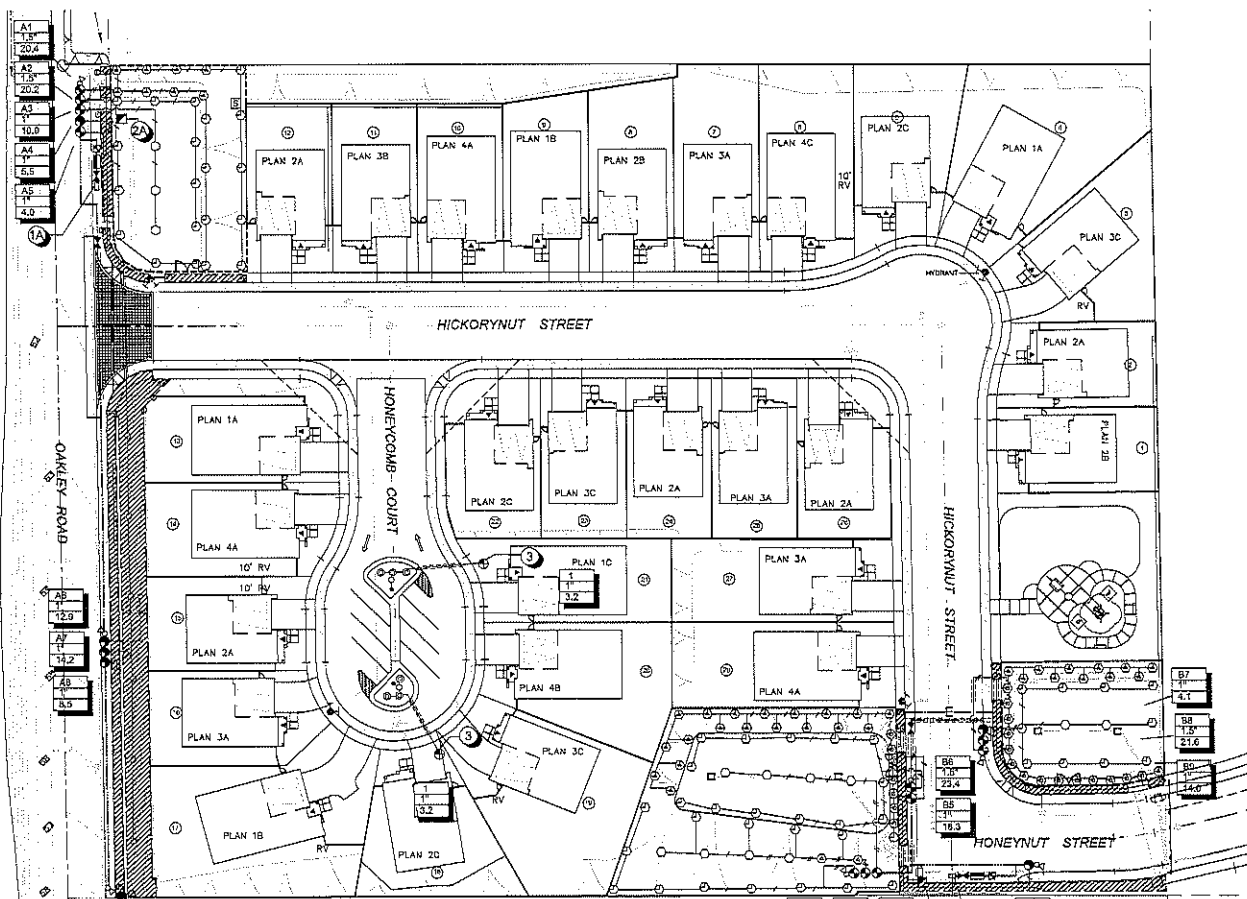


OAKLEY KNOLLS  
 SUBDIVISION 9353  
 ANTIPOCH, CALIFORNIA

TYPICALS PLANTING  
 NOTES AND DETAILS

REVISION	DATE

SHEET  
 L-1.6



### IRRIGATION LEGEND:

- ☑ HUNTER #PDC-1200 120-STATION EXTERIOR WALL-MOUNT CONTROLLER IN 1/2" MOUNT TYPE 'A' ENCLOSURE. PROVIDE WISSSEN SOLAR SYNC WIRELESS WEATHER SENSOR MOUNTED ON POST.
- ☑ HUNTER #WSS-SEN SOLAR SYNC WIRELESS WEATHER SENSOR MOUNTED ON POST.
- ☑ #EBCOY #F425-V 1" REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY (LEAD FREE); SET IN LE MUR BACKFLOW ENCLOSURE W/ INSULATION COVER.
- ☑ #ATA INDUSTRIAL #R1000 BRASS FLOW SENSOR WITH #20PMDCK #3100 1" MASTER CONTROL VALVE. NORMALLY OPEN MOUNT WITHIN CARBON BROOKS PLASTIC VALVE BOX WITH STAINLESS LOCK DOWN BOLTS.
- ☑ #WBCO #T-15 CLASS 125 BRONZE GATE VALVE. LINE SIZE. INSTALL IN CARBON BROOKS PLASTIC VALVE BOX WITH STAINLESS LOCK DOWN BOLTS.
- ☑ #RAINBRO #M4-RD QUICK COUPLER VALVE IN LOCKING PLASTIC VALVE BOX AT 1/2" O.D. (MAKE: PROVIDE (1) #44K KEY AND HOSE SNIVEL PER (5) GALLONS)
- ☑ #RAINBRO #P6B SERIES REMOTE CONTROL VALVE. SEE PLAN FOR SIZE; MOUNT WITHIN CARBON BROOKS PLASTIC VALVE BOX WITH STAINLESS LOCK DOWN BOLTS.
- ☑ #RAINBRO #P6B SERIES REMOTE CONTROL VALVE AND #MMDP FILTER WITH #20 MESH SCREEN. SEE PLAN FOR SIZE; MOUNT WITHIN CARBON BROOKS PLASTIC VALVE BOX WITH STAINLESS LOCK DOWN BOLTS.
- ☑ #RAINBRO #R100-ASVIF 1" ANTI-DIPHNOX REMOTE CONTROL VALVE AND #MMDP FILTER WITH #20 MESH SCREEN

MAINLINE: SCHEDULE 40 PVC PIPE WITH SCHEDULE 40 PVC FITTINGS; 1-1/2" LINE SIZE THROUGHOUT. PROVIDE 18" (MIN.) COVER.

LATERAL LINE: GLASS 200 PVC PIPE WITH SCHEDULE 40 PVC SOLVENTWELDED FITTINGS; SEE PLANS FOR LINE SIZE. PRIMER TO BE USED. PROVIDE 12" (MIN.) COVER.

3/4" LATERAL LINE (5.1-16.8 GPM)  
 1" LATERAL LINE (7.0-14.8 GPM)  
 1-1/2" LATERAL LINE (10.0-24.8 GPM)

SCHEDULE 40 PVC SLEEVE AT PAVING CROSSING: PROVIDE 2X THE LINE SIZE OF THE ENCLOSED IRRIGATION PIPE (E.G. 8" SLEEVE FOR 4" MAINLINE, 4" FOR 2" LATERAL LINE). PROVIDE 24" (MIN.) COVER FOR MAIN LINE; 18" (MIN.) COVER FOR LATERAL LINE.

2" SCHEDULE 40 PVC ELECTRICAL CONDUIT CROSSING AT STREETS

#RAINBRO #XPD3H-16-500 ON-SURFACE DRIP LINE. EMITTERS AT 18" SPACING. FLOW AT 8.00 GPM; SET EMITTERS ON GRADE IN PARALLEL ROWS 10' APART PROVIDING CONTINUOUS COVERAGE ACROSS ALL PROPOSED EMULSION/ORGANIC COVER PLANTING AREAS. IN IMPROVED AREAS PROVIDE MINIMAL PARALLEL ROWS OF TUBING. PROVIDE COMPRESSION FITTERS AND ADAPTORS PER MANUFACTURER'S SPECIFICATIONS; INSTALL #MDDFCAP CND GAP WITH ADAPTOR ON TERMINUS OF EACH DRIP LINE RUN. OR FARTHEST POINT ON LOOP FROM ROW. STARE TO GRADE WITH TIE-DOWN METAL STAKES AT 1 FT. SPACING (MAKE MANUFACTURER RECOMMENDATIONS NOT EXCEEDING 30 FT. IN ANY SINGLE LENGTH OF TUBING).

#RAINBRO #FVH VALVE: #MDDFCAP REMOVABLE FLUSH GAP W/ #MDDFCAP COUPLING (ON GRADE DRIP)

CONTROLLER STATION NUMBER  
 REMOTE CONTROL VALVE  
 GALLONS PER MINUTE

- ① HUNTER #P6B-P6S-12-P6S-2000 380 ADJ. ARC. FULL CIRCLE POP-UP HEAD (12" POP-UP) RATED 10' RAD. @ 40 PSI 1.3 GPM
- ② HUNTER #P6B-P6S-12-P6S-2000 210 ADJ. ARC. POP-UP HEAD (12" POP-UP) RATED 10' RAD. @ 40 PSI 0.9 GPM
- ③ HUNTER #P6B-P6S-12-P6S-2000 90 ADJ. ARC. POP-UP HEAD (12" POP-UP) RATED 10' RAD. @ 40 PSI 0.7 GPM
- ④ HUNTER #P6B-P6S-12-P6S-3000 365 FULL CIRCLE HIGH-POP POP-UP SPRAY HEAD (12" POP-UP) RATED 10' RAD. @ 40 PSI 3.8 GPM
- ⑤ HUNTER #P6B-P6S-12-P6S-3000 00 ADJ. ARC. POP-UP SPRAY HEAD (12" POP-UP) RATED 30' RAD. @ 40 PSI 1.8 GPM
- ⑥ HUNTER #M-P-800-GR ADJ. ARC. POP-UP HEAD (12" POP-UP) RATED 10' RAD. @ 40 PSI 0.4 GPM
- ⑦ #EBCOY #856 OCTABUBBLER (BLACK, 0.80 GPM HEAD) EMITTER SCHEDULE: (3) PER 5 GAL. PLANT; (1) PER 1 GAL. PLANT
- ⑧ #EBCOY #6633 QUADABUBBLER (BLACK, 0.40 GPM HEAD) EMITTER SCHEDULE: (3) PER 5 GAL. PLANT; (1) PER 1 GAL. PLANT
- ⑨ #RAINBRO #1451 FLOOD BUBBLER (0.25 GPM ON 1/2" FLEX RISER SET ON TREE ROOTBALL IN WATER BASIN @ 2 PER TREE)

### IRRIGATION WATER SUPPLY AND CONTROLLER NOTES:

1A POINT-OF-CONNECTION 'A' TO POTABLE WATER SUPPLY: PROVIDE CONNECTION TO DISCHARGE SIDE OF DEVELOPER PROVIDE 3/4" POTABLE WATER METER; VERIFY EXACT LOCATION IN FIELD. ADAPT TO NEW 1-1/2" PVC MAIN LINE AND EXTEND TO NEW RP BACKFLOW UNIT. VERIFY A MINIMUM AVAILABLE STATIC WATER PRESSURE OF 65 PSI. VERIFY A MINIMUM AVAILABLE FLOW OF 30.0 GPM

1B POINT-OF-CONNECTION 'B' TO POTABLE WATER SUPPLY: PROVIDE CONNECTION TO DISCHARGE SIDE OF DEVELOPER PROVIDE 1" POTABLE WATER METER; VERIFY EXACT LOCATION IN FIELD. ADAPT TO NEW 1-1/2" PVC MAIN LINE AND EXTEND TO NEW RP BACKFLOW UNIT. VERIFY A MINIMUM AVAILABLE STATIC WATER PRESSURE OF 65 PSI. VERIFY A MINIMUM AVAILABLE FLOW OF 24.7 GPM

2A EXTERIOR WALL-MOUNT CONTROLLER 'A' IN ENCLOSURE, SET IN R.O.W.; PROVIDE 120 VOLT POWER WITHIN RIGID CONDUIT FROM SOURCE STUBBED-OUT BY ELECTRICAL CONTRACTOR TO CONTROLLER LOCATION; FINAL LOCATION TO BE COORDINATED WITH PROJECT SUPERINTENDENT. ALL ABOVE GRADE CONTROL WIRES SHALL BE CONTAINED WITHIN PVC ELECTRICAL CONDUIT SECURELY FASTENED TO WALL OF ENCLOSURE

2B EXTERIOR WALL-MOUNT CONTROLLER 'B' IN ENCLOSURE: PROVIDE 120 VOLT POWER WITHIN RIGID CONDUIT FROM SOURCE STUBBED-OUT BY ELECTRICAL CONTRACTOR TO CONTROLLER LOCATION; FINAL LOCATION TO BE COORDINATED WITH PROJECT SUPERINTENDENT. ALL ABOVE GRADE CONTROL WIRES SHALL BE CONTAINED WITHIN PVC ELECTRICAL CONDUIT SECURELY FASTENED TO WALL OF ENCLOSURE

3 CONTROL VALVE CIRCUIT TO BE ADDED TO FRONT YARD IRRIGATION SYSTEM OF LOT SHOWN. PROVIDE SLEEVE ACCESS TO MEDIAN PLANTER; COORDINATE WITH FRONT YARD INSTALLATIONS.

REVISIONS	DATE	BY
1	5-22-17	STC/PL

TRUMBULL & ASSOCIATES, I.L.C.  
 1200 W. 10TH AVENUE, SUITE 100  
 DENVER, CO 80202  
 PHONE: 303.733.8888  
 FAX: 303.733.8888

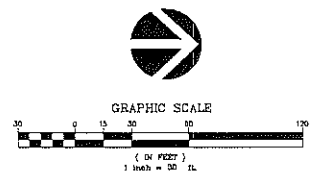


OAKLEY KNOLLS  
 SUBDIVISION 9353  
 ANTIPOCH, CALIFORNIA

H.O.A. MAINTAINED  
 IRRIGATION  
 PLAN

REV	DATE	BY
RS	5-22-17	STC/PL
CHG	5-22-17	STC/PL

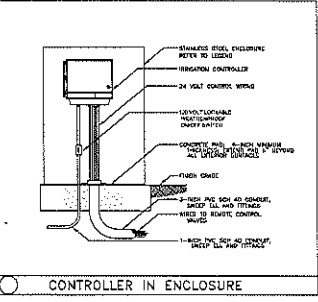
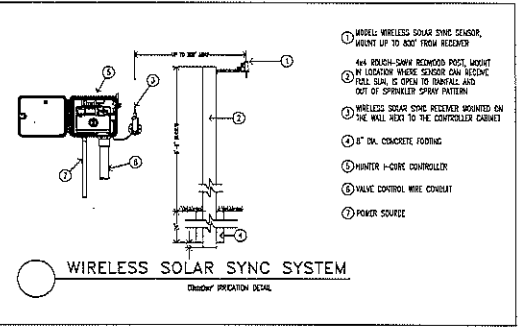
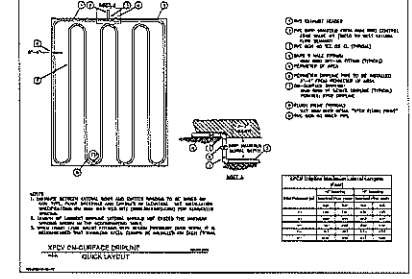
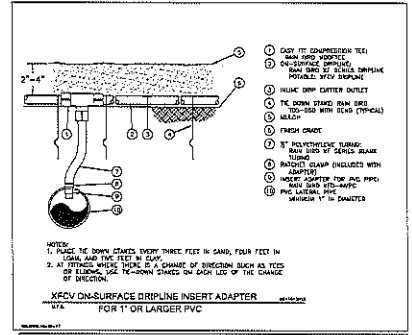
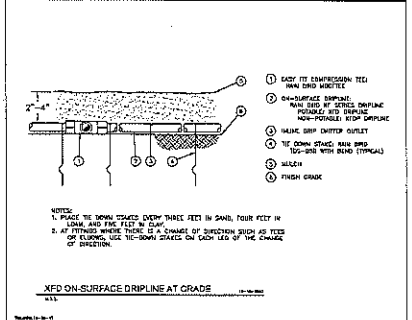
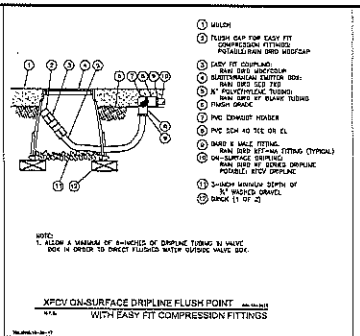
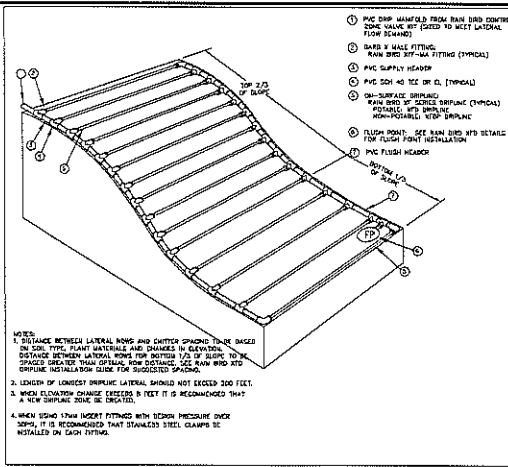
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 L-2.1  
 OF 2 SHEETS



REFER TO SHEET L-2.2 AND L-2.3 FOR IRRIGATION NOTES AND DETAILS

F13





REVISIONS

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Thomas Bank & Associates, L.L.C.  
 Landscape Architects  
 10000 W. 15th Avenue  
 Suite 100  
 Littleton, CO 80120  
 303.440.1111



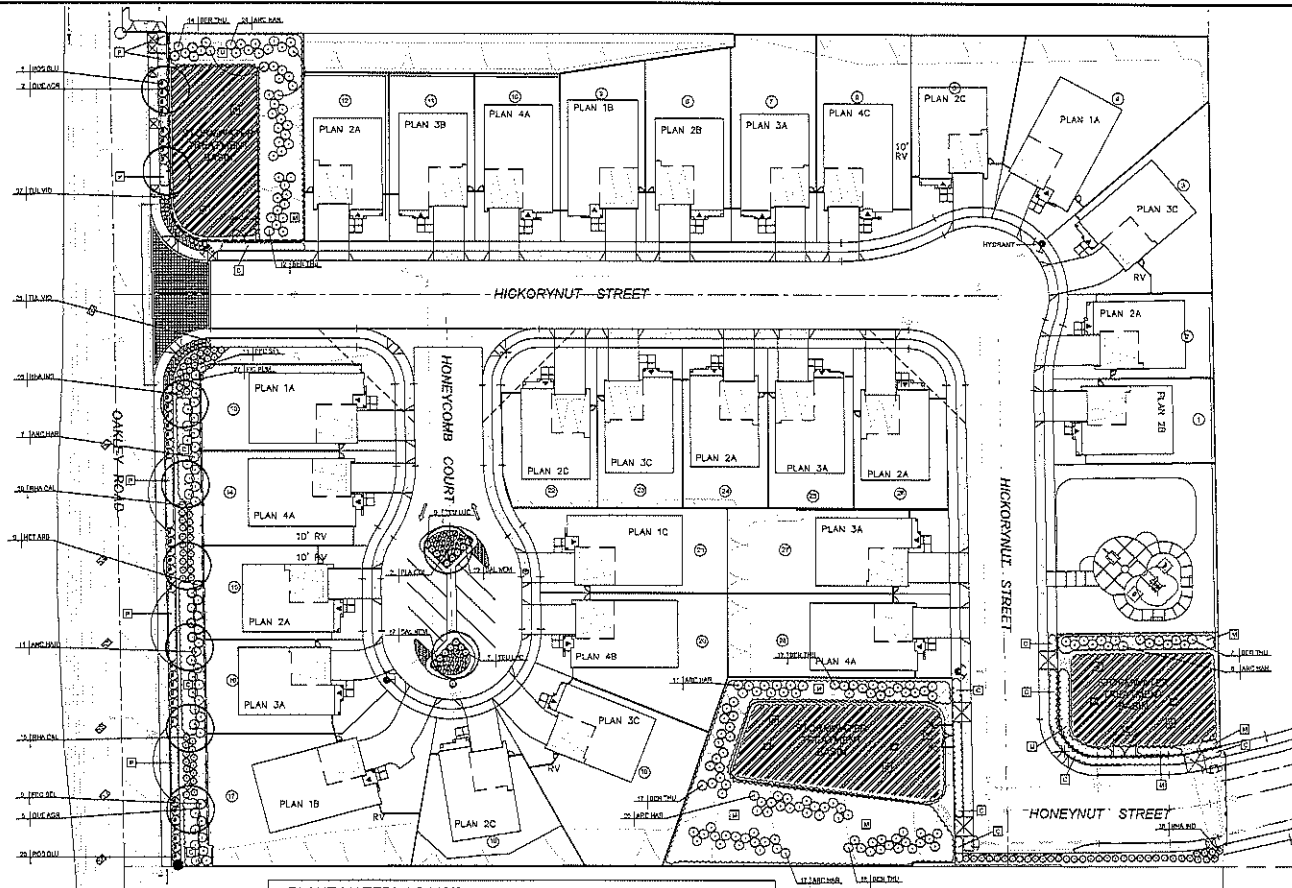
OAKLEY KNOLLS  
 SUBDIVISION 9353  
 ANTIPOCA, CALIFORNIA

H.O.A. MAINTAINED  
 IRRIGATION  
 DETAILS

DESIGNED BY	RS	DATE	XD
CHECKED BY	JD	SCALE	AS SHOWN
DATE: 5-22-17			
SCALE: NOTED			

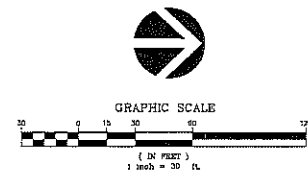
SHEET  
 L-2.3  
 OF 2 SHEETS

115



**PLANT MATERIALS LIST:**

SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS	WATER NEEDS
<b>TREES: TO BE 15 GAL. SIZE</b>				
PLA COL	PLATANUS ACERIFOLIA 'COLUMBIA'	LONDON PLANE TREE		MEDIUM
QUE AGR	QUERCUS AGRIFOLIA	COAST LIVE OAK		VERY LOW
<b>SHRUBS: TO BE 6 GAL. SIZE</b>				
ARC HAR	ARCUTOSTAPHYLOS 'HARMONY'	MANZANITA		LOW
BER THU	BERBERIS THUNBERGII 'ROYAL CLOAK'	JAPANESE BARBERRY		LOW
FEI SEL	FELOA SELLOWIANA	PINAPPLE GUAVA		LOW
HET ARB	HETEROMELES ARBUTIFOLIA	TOYON		LOW
RHA CAL	RHAMNUS CALIFORNICA 'EVECASE'	EVE CASE COFFEEBERRY		LOW
RHA IND	RHAMNUS INDICA 'CLARA'	INDIAN HAWTHORN		LOW
ROS BLU	ROSMARINUS 'BLUE SPIRES'	ROSMARY		LOW
SAL NEM	SALVIA NEMOROSA	PURPLE SAGE		LOW
TEU LUC	TEUCRIUM LUCIDRYS	DWARF GERMANDER		LOW
TUL VID	TULBAGHA VIOLEACEA	SOCIETY GARLIC		LOW
<b>VINES: TO BE 1 GAL. SIZE</b>				
FIC PLUM	FICUS PUMILA REPENS	CREeping EVERGREEN FIG		LOW
<b>GROUNDCOVERS: SIZE AND SPACING NOTED BELOW</b>				
C	COMPROMSA KIRKII	CREeping COMPROMSA		LOW
M	MYOPORUM PARVIFOLIUM	MYOPORUM		LOW
P	PENNISETUM 'LITTLE SUNNY'	DWARF FOUNTAIN GRASS		LOW
<b>STORMWATER BASIN PLANTING: SIZE 1 GAL. AT 24" O.C.</b>				
B	MUHLENBERGIA RIGENS	DEER GRASS		LOW



REFER TO SHEET L-2.5 FOR PLANTING NOTES AND DETAILS

REVISIONS

NO.	DATE	DESCRIPTION
1	10-27-17	ISS. PLAN

Thomas Park & Associates, L.P.  
 11000 W. Arroyo  
 Suite 100  
 San Jose, CA 95128  
 P: 408.261.1111  
 F: 408.261.1112



OAKLEY KNOLLS  
 SUBDIVISION 9353  
 ANTIPOCH, CALIFORNIA

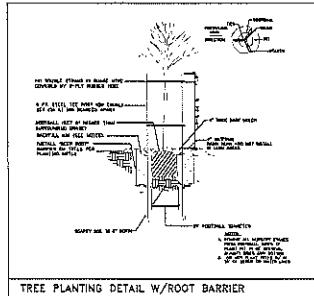
H.O.A. MAINTAINED  
 PLANTING  
 PLAN

DESIGN	DATE
RS	10/27/17
CHECKED	DATE
AW	5-22-17
SCALE	NOTED

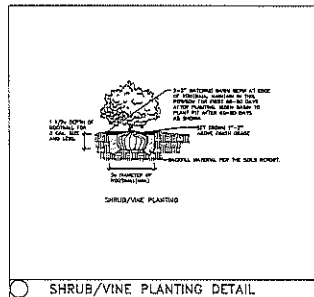
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 L-2.4  
 OF 2 SHEETS

F16





TREE PLANTING DETAIL W/ROOT BARRIER



SHRUB/VINE PLANTING DETAIL

**PLANTING NOTES**

**GENERAL NOTES:** The Landscape Contractor shall inspect the site and be familiar with all existing site conditions prior to submitting his bid. Contractor shall not willfully proceed with construction as shown when it is obvious that obstructions, landscape area and/or grade differences exist that may not have been known during design. Such conditions shall immediately be brought to the attention of the Landscape Architect. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification. Contractor shall be responsible for making himself familiar with all underground utilities, pipes, structures and obstructions. Contractor shall take sole responsibility for all costs incurred due to damage and/or replacement of those items. Contractor shall be responsible for coordination between trades and subcontractors as required to accomplish landscape operations. The Landscape Contractor shall be responsible for any damage to existing facilities caused by or during the performance of his work. All repairs shall be made at no cost to the Owner. Planting shall be installed in conformance with all applicable local codes and ordinances by experienced workmen and a licensed Landscape Contractor who shall obtain all necessary permits and pay all required fees.

**SOIL PREPARATION:** The Landscape Contractor shall be responsible for finish grading and all planting area drainage. Positive drainage away from the building as per city codes shall be maintained. No low spots which hold standing water will be accepted. The Landscape Contractor shall incorporate soil preparation amendment into planting areas as noted below. Where retilling is not possible, incorporate soil amendments into top 6 inches with hand tools. After installation of irrigation system, all planting areas are to be fine graded to within 2 inches and slightly mounded away from edges of top of planter, curb, walk, header, etc. and raised smooth with all rocks and debris over 1 inch in diameter removed.

**SOIL PREPARATION AMENDMENTS AND BACKFILL MIX:** The Landscape Contractor shall amend existing soil, by retilling, 6 cu. yd. BFI Super Humus<sup>®</sup> compost and 15 lbs. organic balanced fertilizer Phyla-Biosol<sup>®</sup> (7-1-3) per 1,000 sq. ft. available from California Organics or equal into the top 6 inches of soil in all planting areas, (or equal) P1 Planting Mix<sup>®</sup> for trees and shrubs mix 1/3 organic amendment, 2/3 amended topsoil as noted above.

**TREE PLANTING:** The trees are to be planted as per detail on plan. Trees shall typically be located a minimum of 4 feet from curbs, walks, headers, buildings, overhangs, and other trees within the project. Backfill shall be the P1 Planting Mix<sup>®</sup> as noted above. All trees shall receive organic fertilizer Phyla-Biosol<sup>®</sup> (7-1-3) available from California Fertilizer Company Inc. (or equal) for 15 gallon trees; 1 cup, for 5 gallon trees and shrubs; 1/2 cup. Thoroughly water trees immediately after planting.

**ROOT BARRIERS:** All trees planted within 5' of a paved surface shall receive a linear type root barrier 18" deep and 10' long along adjacent paving edges, centered on the tree trunk. (See detail)

**SHRUB PLANTING:** The shrubs shall be spotted as per plan and the locations approved prior to the digging of the holes. Shrub backfill shall be the P1 Planting Mix<sup>®</sup> as noted in "Backfill" soil mixer. All shrubs shall receive Phyla-Biosol<sup>®</sup> 7-1-2 organic fertilizer available from California Fertilizer Company Inc. (or equal) at the following rates: For 5 gallon shrubs: 1/2 cup for 1 gallon shrubs: 1/4 cup. Thoroughly water shrubs immediately after planting. Do not plant any plant within 20" of any building wall.

**MULCHING:** Mulch all planting areas, excluding lawn and storm water drainage areas, having a shade base than 2" with a 3 inch minimum depth of recycled wood fiber, UV stabilized dyes-colorfast black with a PH of no higher than 5.0, and free of noxious weeds and foreign materials. #135 Black Chip from "Re-User Inc." or approved equal.

**MAINTENANCE:** The Contractor shall maintain the project for 90 days (or as requested by owner) following the approval to begin the maintenance period. During the entire maintenance period, watering, cultivating, weeding, mowing, reuprighting of stakes and ties, restoration of balms, provision of supplemental water by hand in addition to irrigation system as necessary. No pre-maintenance herbicides shall be applied; hand remove weeds. Only organic fertilizers shall be applied such as those specified above. Install per manufacturer's recommendations. At the end of the 90 day maintenance period all areas are to be weed free and all plant material is to be in a healthy, thriving condition. Integrated pest management practices shall be implemented.

**SUBSTITUTIONS:** Requests for substitutions of plant varieties shall be made to the Landscape Architect within 15 days after signing of contract.

**GUARANTEE:** All construction, trees and shrubs by the Landscape Contractor and/or his subcontractors shall be guaranteed for (1) one year after beginning of maintenance period. The contractor shall replace, at no expense to the Owner, any and all landscape materials that are in an unacceptable condition for time of use, and trees or shrubs that are dead or not in a vigorous, healthy growing condition within two weeks of notification of such condition. Replacement shall be of the same kind and size as the originally specified item and shall be replaced as originally described on the drawings. The Contractor shall not be held liable for loss of plant materials during the guarantee period due to vandalism, accidental causes or acts of neglect by others than the Contractor, his agents and employees.

**CLEAN UP:** At the end of each work day, at the inspection for substantial completion and before acceptance of project, clean paved areas that are dirtied or stained by construction operations, by sweeping or washing, and remove disencumbers and stains. Remove construction equipment, excess materials and tools. Haul from Owners property the debris resulting from construction, and dispose of legally. Remove retaining temporary protection at time of acceptance by Owner unless otherwise agreed.

**FERTILIZERS:** Available California Fertilizers Company Inc. 1-800-285-5690 www.organicap.com  
www.californiaorganicfertilizers.com. Compost available from BFI 408-888-7832 www.bfi.com

NO.	DATE	REVISIONS
1	10-21-17	20% PLAN

THURMAN BARK & ASSOCIATES, LLC  
Landscape Architecture  
1000 G Street, Suite 100  
San Francisco, CA 94109  
415.774.1111



OAKLEY KNOLLS  
SUBDIVISION 9353  
ANTIOCH, CALIFORNIA

H.O.A. MAINTAINED  
PLANTING NOTES  
AND DETAILS

DESIGNER	DATE	SCALE
RS	5-22-17	NOTED
CHECKED		

SHEET  
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617

NO.	DATE	DESCRIPTION

Thurman Bank & Associates, LLP  
 810 West Main Street, Suite 200  
 Antioch, CA 94509  
 Tel: 925.525.2121



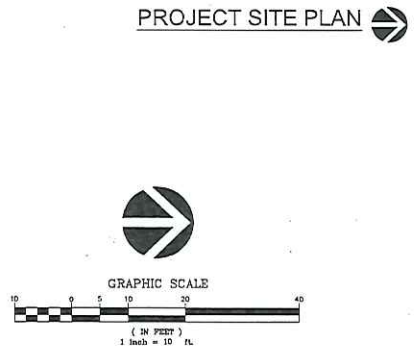
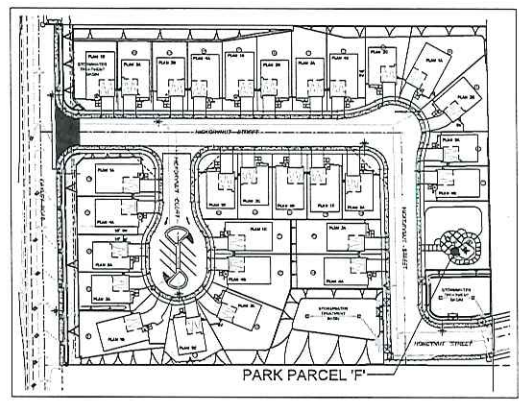
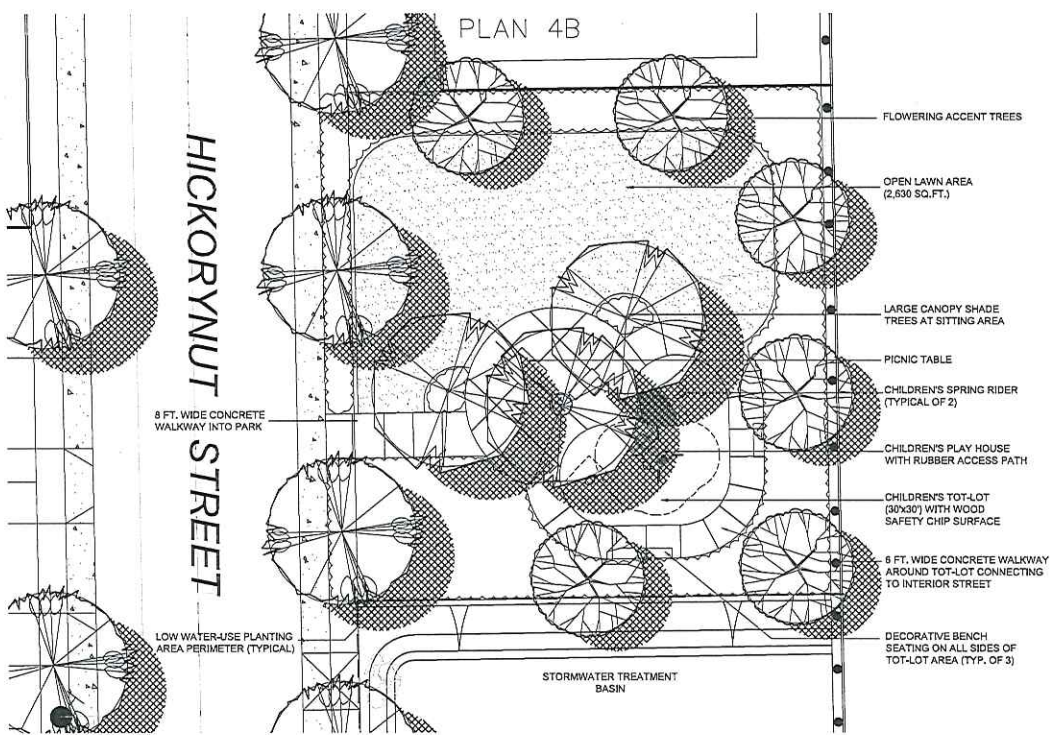
OAKLEY KNOLLS  
 SUBDIVISION 9353  
 ANTIOCH, CALIFORNIA

PARK AND TOT LOT  
 PRELIMINARY  
 PLAN

DESIGNED	DRAWN
RS	KD
CHECKED	JOB NO.
DATE	SCALE
11-05-16	NOTED

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OF SHEETS



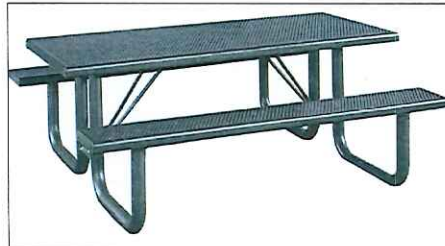
CHILDREN'S PLAY HOUSE  
 (LANDSCAPE STRUCTURES 'SMART PLAY NOOK')



TOT SPRING RIDER  
 (PLAYWORLD SYSTEMS 'LADYBUG')



TOT SPRING RIDER  
 (PLAYWORLD SYSTEMS 'SHARK')



PICNIC TABLE  
 (PLAYWORLD SYSTEMS 6 FT. METAL TABLE)

118



# OAKLEY KNOLLS

ANTIOCH, CA



Discovery Builders, Inc.  
Date 10/28/16  
Revised Date 03/28/17

F-19

**MATERIAL LEGEND**

- |   |   |   |
|---|---|---|
| <p><b>A</b> VILLA CONCRETE TILE ROOFING<br/>         GABLE ROOFS<br/>         STUCCO BODY<br/>         STUCCO TRIM<br/>         MOCK TILE VENTS<br/>         ROLL-UP GARAGE DOORS</p> | <p><b>B</b> FLAT CONCRETE TILE ROOFING<br/>         HIP ROOFS<br/>         STUCCO BODY<br/>         STUCCO TRIM<br/>         ROLL-UP GARAGE DOORS</p> | <p><b>C</b> FLAT CONCRETE TILE ROOFING<br/>         GABLE &amp; HIP ROOFS<br/>         STUCCO BODY<br/>         STUCCO TRIM<br/>         MOCK WOOD SHUTTERS<br/>         SIMULATED STONE VENEER<br/>         ROLL-UP GARAGE DOORS</p> |
|---|---|---|



**Elevation A**



**Elevation B**



**Elevation C**

**Plan 1  
 Front Elevations**

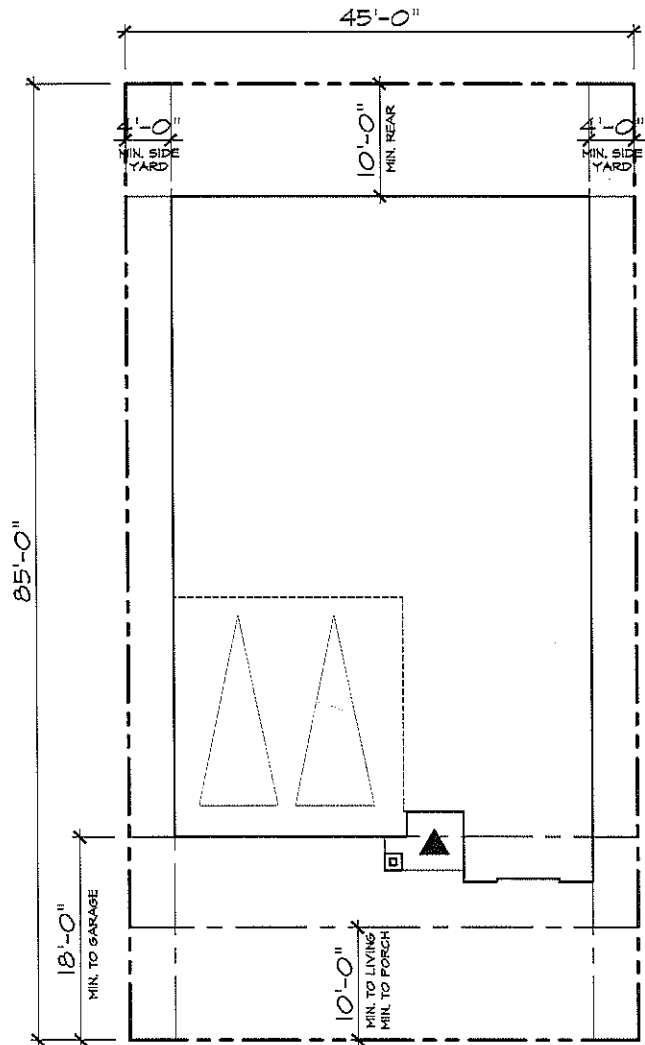
**OAKLEY KNOLLS**  
 ANTIOCH, CA



Discovery Builders, Inc.  
 Date 10/28/16

**A1**

120



**City of Antioch**  
**P-D Zoning District**

FRONT SETBACK - TO LIVING 10' MIN.  
 FRONT SETBACK - TO GARAGE 18' MIN.  
 SIDE SETBACK 4' MIN.  
 REAR YARD SETBACK 10' MIN.  
 PORCH SETBACK 10' MIN.

**LOT COVERAGE**

APPROXIMATE LOT SIZE	FOOTPRINT	COVERAGE
45x85' (MIN.) = 3825 SF	2141 SF	56%

**Plan 1**  
**Site Plan**



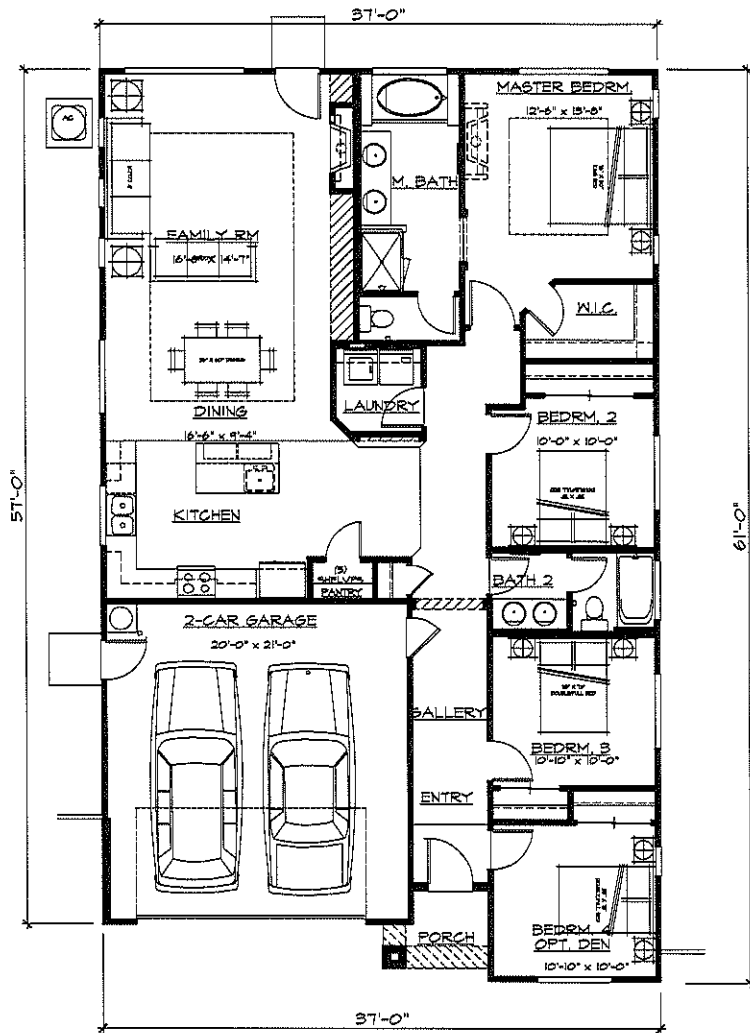
**OAKLEY KNOLLS**  
 ANTIOCH, CA



Discovery Builders, Inc.  
 Date 03/28/17

**A2**

127



**Plan 1  
Floor Plan**

SQUARE FOOTAGE	
TOTAL LIVING AREA	1707 SF
GARAGE	484 SF



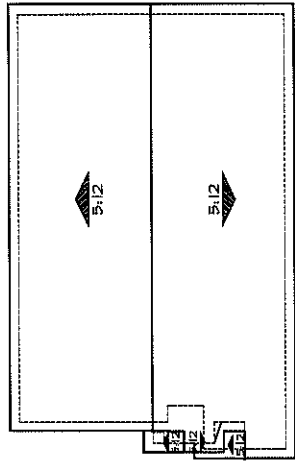
**OAKLEY KNOLLS**  
ANTIOCH, CA



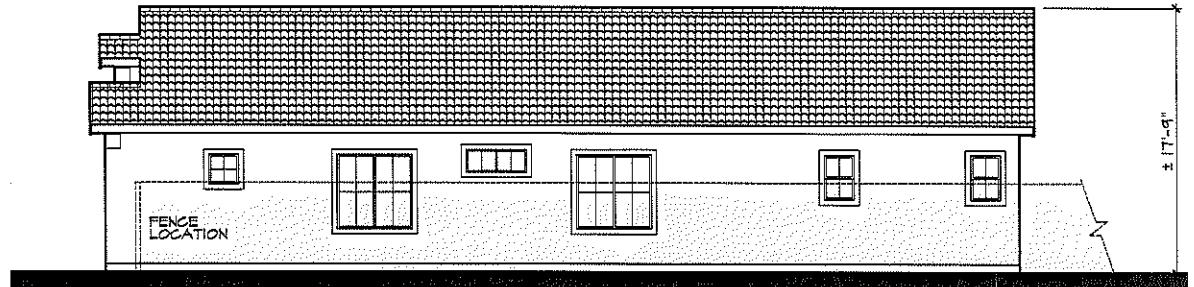
Discovery Builders, Inc.  
Date 03/28/17

**A3**

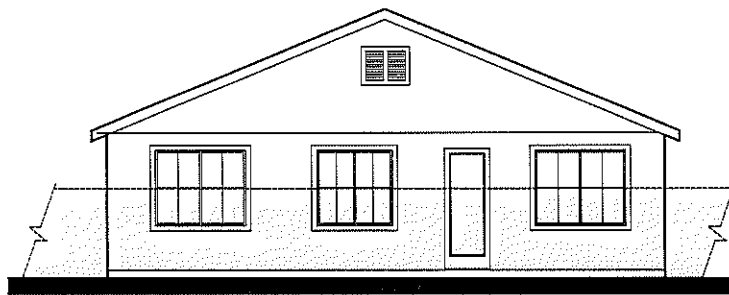
F22



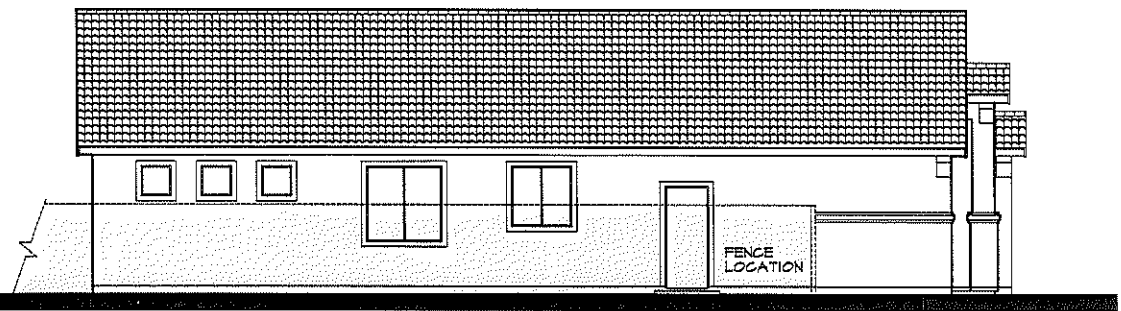
**Roof Plan 'A'**  
 0 2 4 6 8



**Right**



**Rear**



**Left**

**Plan 1 - Elevation 'A'**  
**Lot 14 Enhanced**



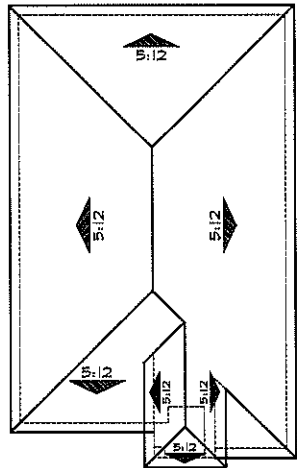
**OAKLEY KNOLLS**  
 ANTIOCH, CA



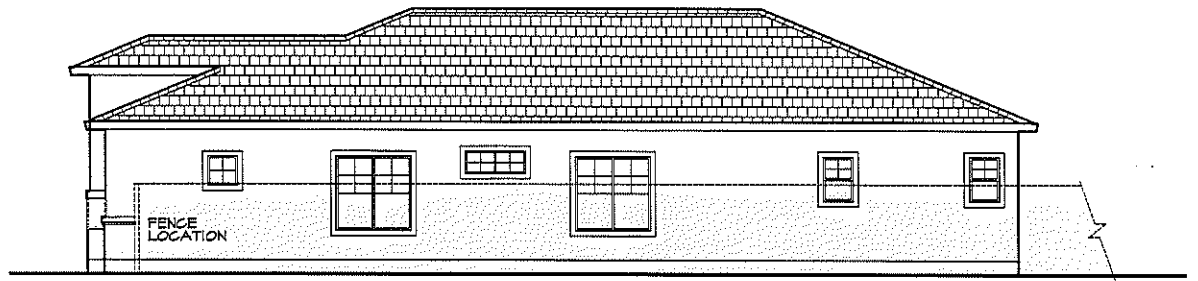
Discovery Builders, Inc.  
 Date 03/28/17

**A4**

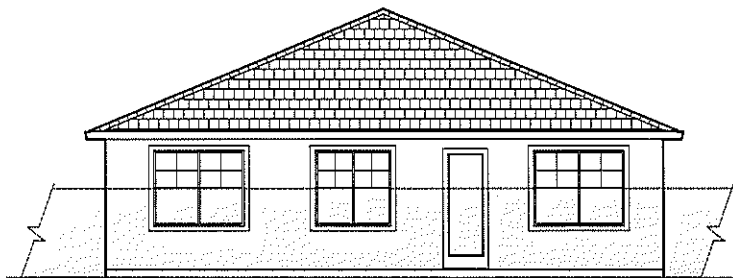
123



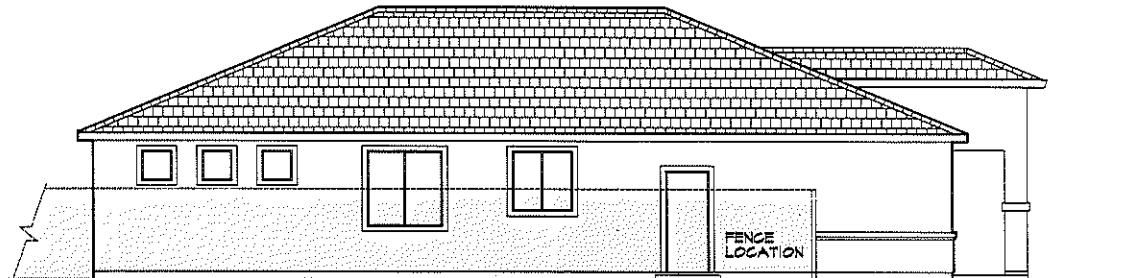
**Roof Plan 'B'**



Right



Rear



Left

**Plan 1 - Elevation 'B'**  
**Lots 13 & 18 Enhanced**



**OAKLEY KNOLLS**  
ANTIOCH, CA



Discovery Builders, Inc.  
Date 03/28/17

**A5**

h24





Elevation A



Elevation C

**MATERIAL LEGEND**

**A** VILLA CONCRETE TILE ROOFING  
 GABLE & HIP ROOFS  
 STUCCO BODY  
 STUCCO TRIM  
 MOCK TILE VENTS  
 ROLL-UP GARAGE DOORS

**B** FLAT CONCRETE TILE ROOFING  
 HIP ROOFS  
 STUCCO BODY  
 STUCCO TRIM  
 ROLL-UP GARAGE DOORS

**C** FLAT CONCRETE TILE ROOFING  
 GABLE & HIP ROOFS  
 STUCCO BODY  
 STUCCO TRIM  
 MOCK WOOD SHUTTERS  
 SIMULATED STONE VENEER  
 ROLL-UP GARAGE DOORS



Elevation B

**Plan 2  
 Front Elevations**

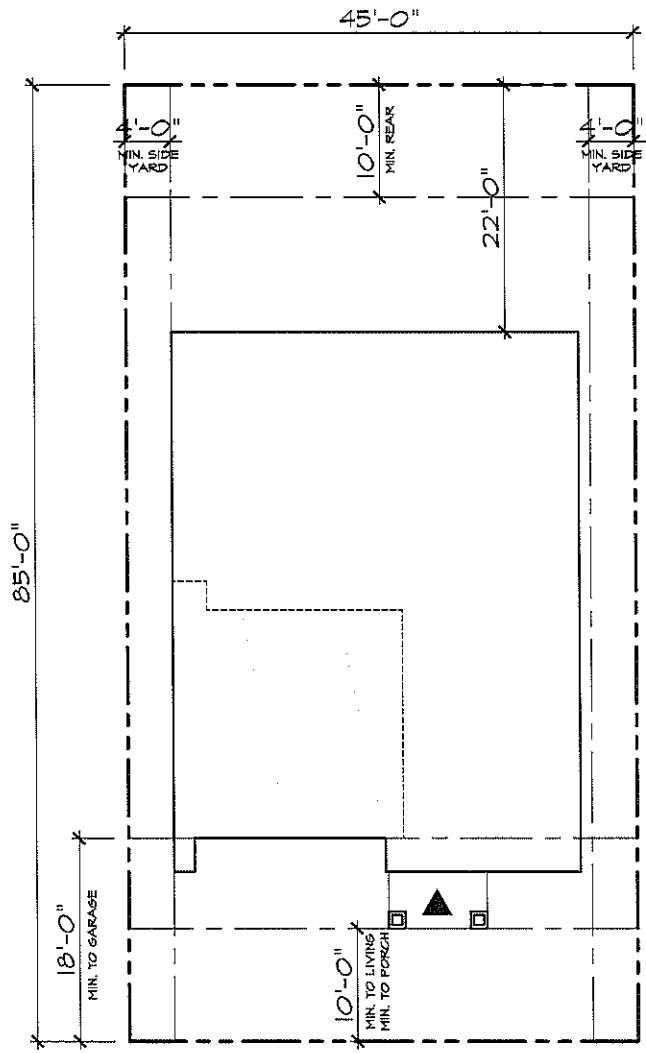
**OAKLEY KNOLLS**  
 ANTIOCH, CA



Discovery Builders, Inc.  
 Date 10/28/16

F25

F26



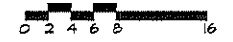
**City of Antioch**  
 P-D Zoning District

FRONT SETBACK - TO LIVING 10' MIN.  
 FRONT SETBACK - TO GARAGE 18' MIN.  
 SIDE SETBACK 4' MIN.  
 REAR YARD SETBACK 10' MIN.  
 PORCH SETBACK 10' MIN.

**LOT COVERAGE**

APPROXIMATE LOT SIZE	FOOTPRINT	COVERAGE
45x85' (MIN.) = 3825 SF	1668 SF	44%

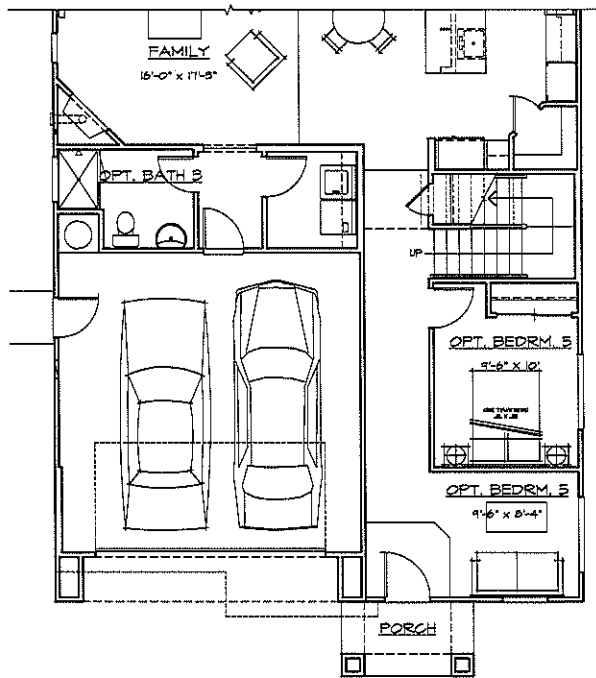
**Plan 2  
 Site Plan**



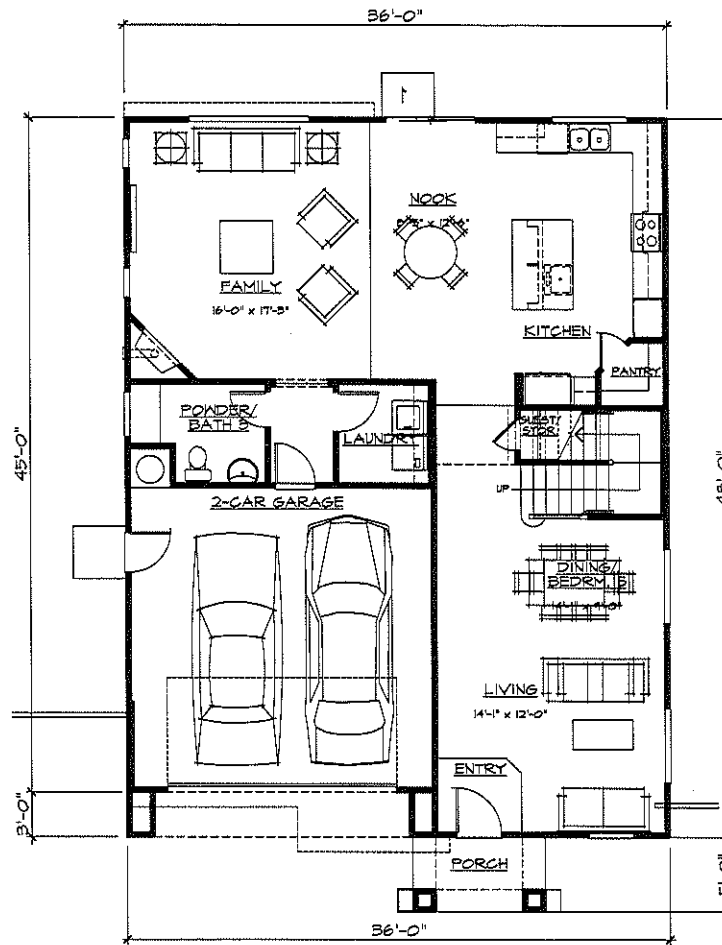
**OAKLEY KNOLLS**  
 ANTIOCH, CA



Discovery Builders, Inc.  
 Date 03/28/17

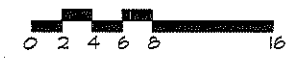


**Optional Bedrm. 5/Bath 3**



**Plan 2  
First Floor Plan**

SQUARE FOOTAGE	
FIRST FLOOR	1248 SF
SECOND FLOOR	1651 SF
TOTAL LIVING AREA	2899 SF
<hr/>	
GARAGE	420 SF



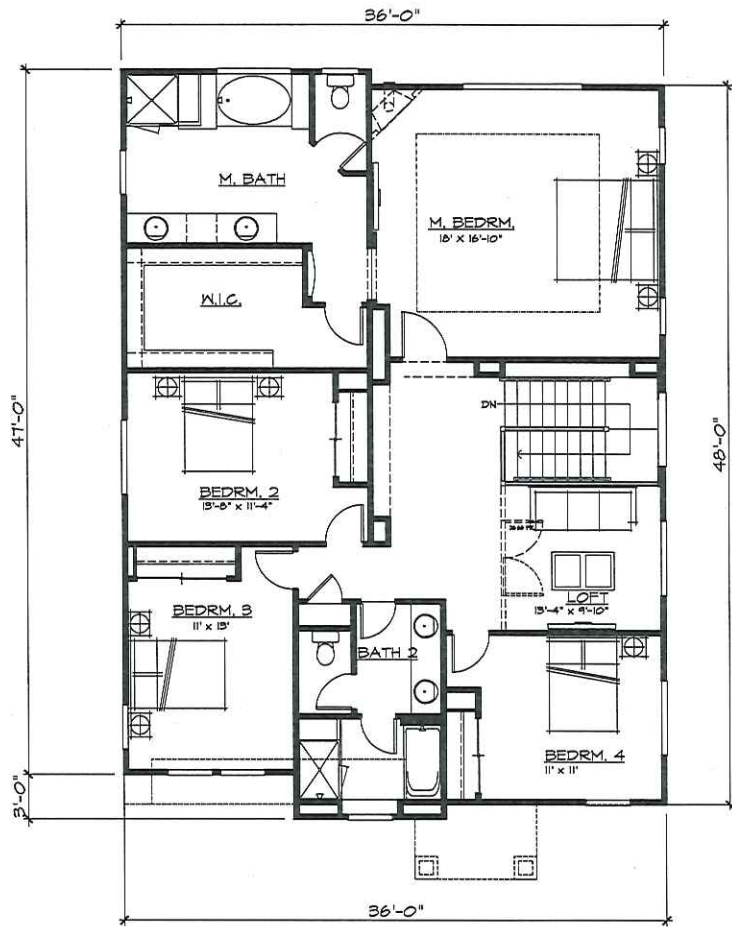
**OAKLEY KNOLLS**  
ANTIOCH, CA



Discovery Builders, Inc.  
Date 03/28/17

**A8**

227



## Plan 2 Second Floor Plan

SQUARE FOOTAGE	
FIRST FLOOR	1248 SF
SECOND FLOOR	1651 SF
TOTAL LIVING AREA	2899 SF
GARAGE	420 SF



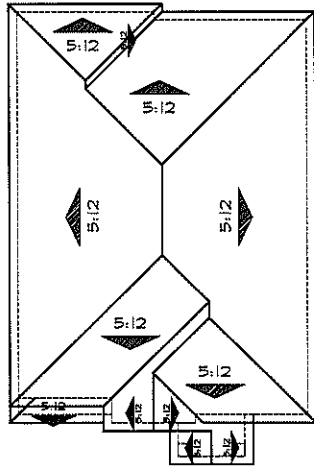
**OAKLEY KNOLLS**  
ANTIOCH, CA



Discovery Builders, Inc.  
Date 03/28/17

A9

128



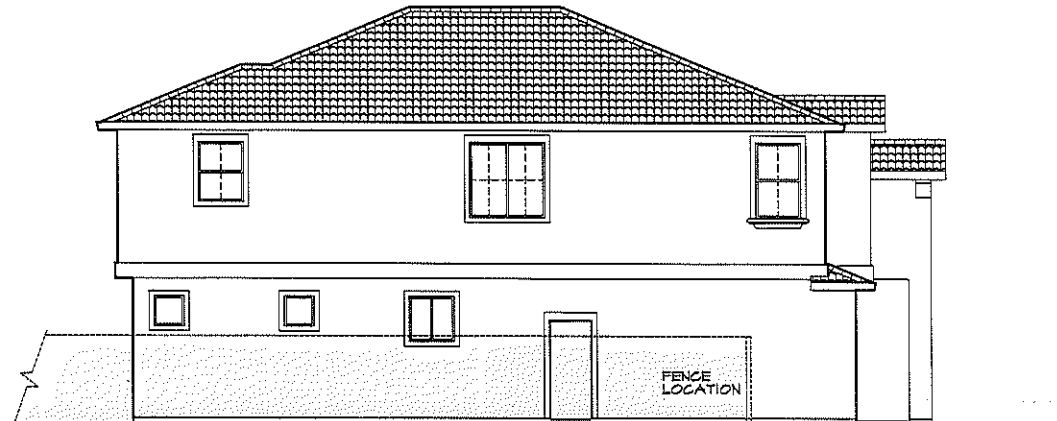
**Roof Plan 'A'**



**Right**  
**Lot 27 Enhanced only**



**Rear**  
**Lots 16 & 27 Enhanced**



**Left**

**Plan 2 - Elevation 'A'**  
**Lots 16 & 27 Enhanced**



□ DENOTES WINDOW GRIDS AT  
SIDE & REAR ELEVATIONS  
FACING STREETS.

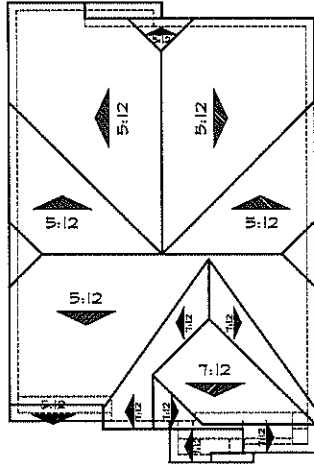
**OAKLEY KNOLLS**  
ANTIOCH, CA



Discovery Builders, Inc.  
Date 03/28/17

**A10**

629



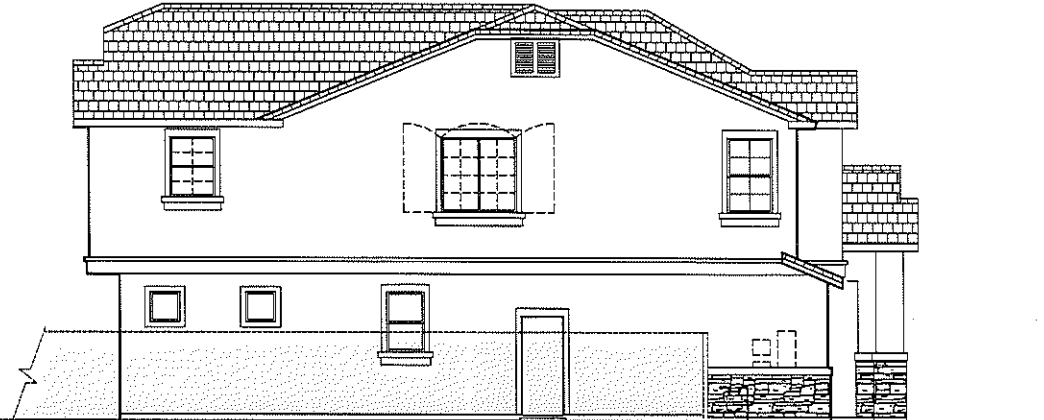
Roof Plan 'C'



Right



Rear



Left

□ DENOTES WINDOW GRIDS & SHUTTERS AT SIDE & REAR ELEVATIONS FACING STREETS.

Plan 2 - Elevations 'C'  
Lot 23 Enhanced



**OAKLEY KNOLLS**  
ANTIOCH, CA



Discovery Builders, Inc.  
Date 03/28/17

A11

130



Elevation A



Elevation C

**MATERIAL LEGEND**

**A** VILLA CONCRETE TILE ROOFING  
 GABLE & HIP ROOFS  
 STUCCO BODY  
 STUCCO TRIM  
 MOCK TILE VENTS  
 ROLL-UP GARAGE DOORS

**B** FLAT CONCRETE TILE ROOFING  
 HIP ROOFS  
 STUCCO BODY  
 STUCCO TRIM  
 MOCK TILE VENTS  
 ROLL-UP GARAGE DOORS

**C** FLAT CONCRETE TILE ROOFING  
 GABLE & HIP ROOFS  
 STUCCO BODY  
 STUCCO TRIM  
 MOCK WOOD SHUTTERS  
 SIMULATED STONE VENEER  
 ROLL-UP GARAGE DOORS



Elevation B

**Plan 3  
 Front Elevations**

**OAKLEY KNOLLS**  
 ANTIOCH, CA

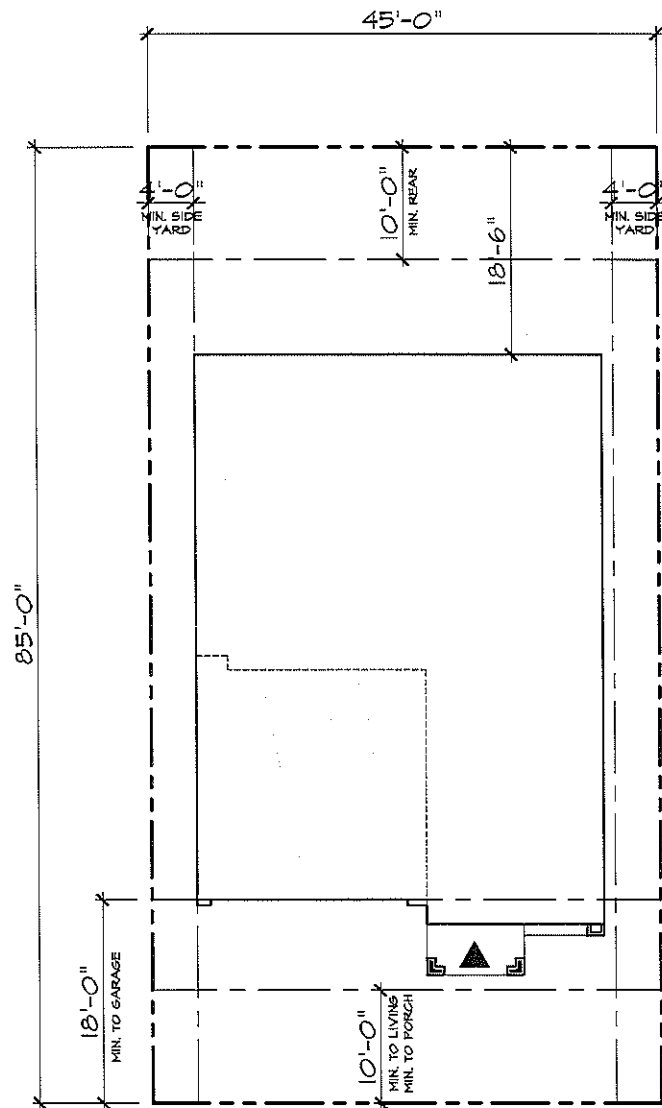


Discovery Builders, Inc.  
 Date 10/28/16

A12

F31

F32



**City of Antioch**  
P-D Zoning District

FRONT SETBACK - TO LIVING	10' MIN.
FRONT SETBACK - TO GARAGE	18' MIN.
SIDE SETBACK	4' MIN.
REAR YARD SETBACK	10' MIN.
PORCH SETBACK	10' MIN.

**LOT COVERAGE**

APPROXIMATE LOT SIZE	FOOTPRINT	COVERAGE
45x85' (MIN.) = 3825 SF	1780 SF	47%

**Plan 3  
Site Plan**



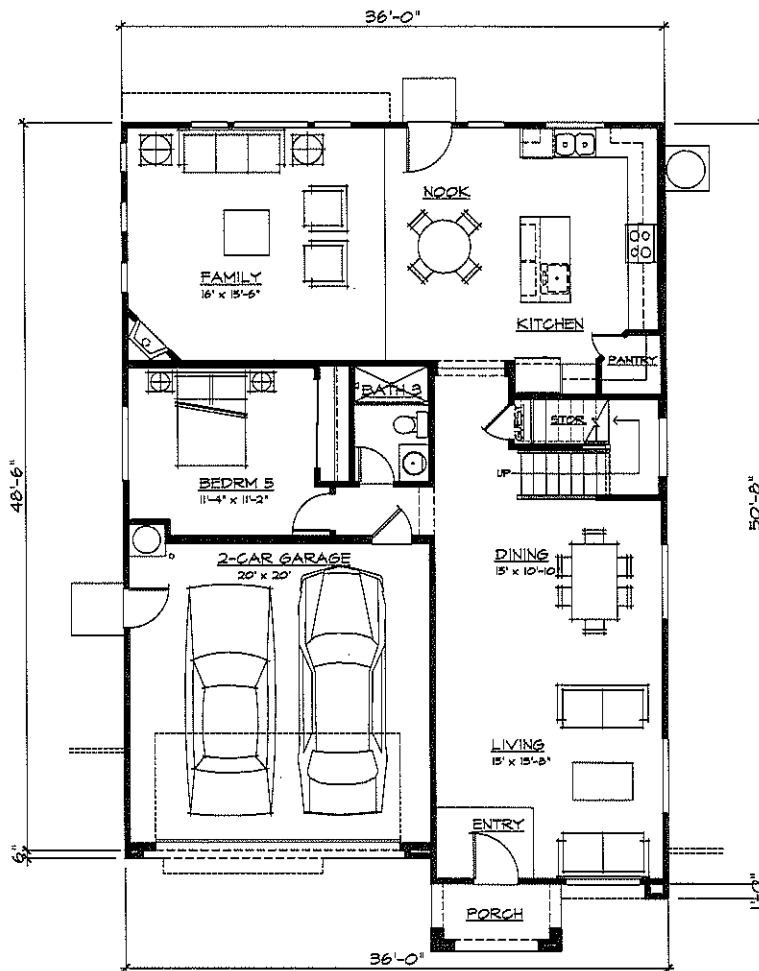
**OAKLEY KNOLLS**  
ANTIOCH, CA



Discovery Builders, Inc.  
Date 10/28/16

**A13**





### Plan 3 First Floor Plan

SQUARE FOOTAGE	
FIRST FLOOR	1361 SF
SECOND FLOOR	1706 SF
TOTAL LIVING AREA	3147 SF
<hr/>	
GARAGE	419 SF



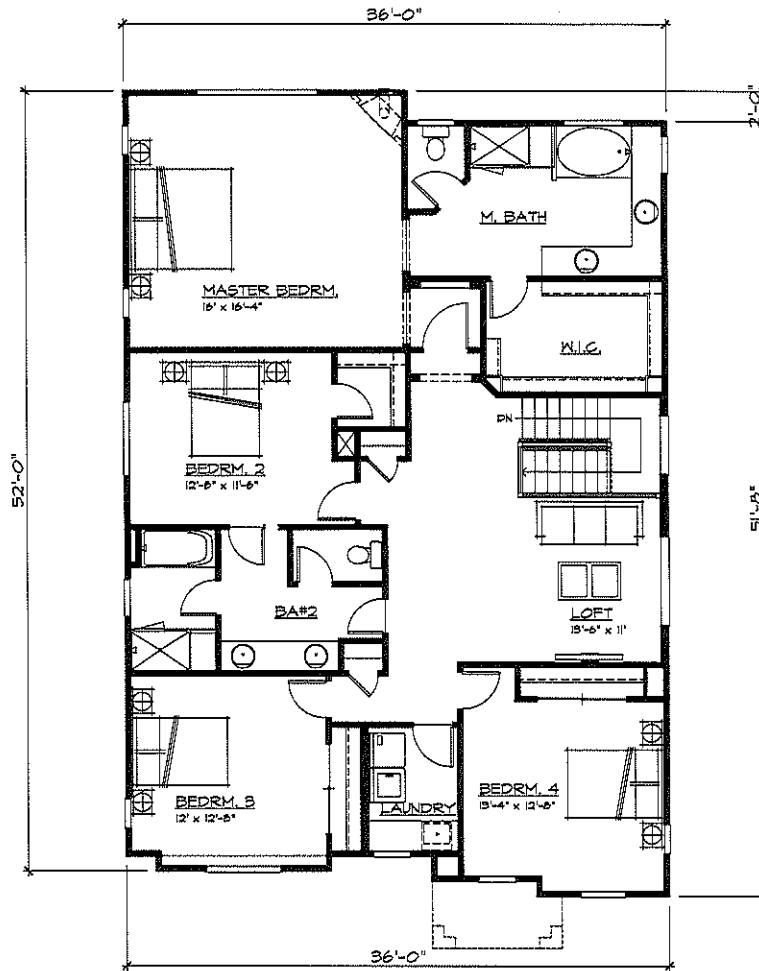
**OAKLEY KNOLLS**  
ANTIOCH, CA



Discovery Builders, Inc.  
Date 10/28/16

**A14**

1333



### Plan 3 Second Floor Plan

SQUARE FOOTAGE	
FIRST FLOOR	1361 SF
SECOND FLOOR	1786 SF
TOTAL LIVING AREA	3147 SF
<hr/>	
GARAGE	419 SF



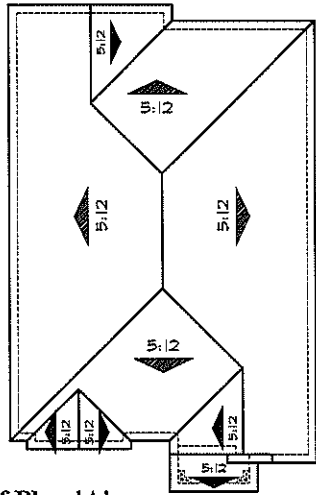
**OAKLEY KNOLLS**  
ANTIOCH, CA



Discovery Builders, Inc.  
Date 10/28/16

**A15**

F34



Roof Plan 'A'



Right



Rear



Left

Plan 3 - Elevation 'A'  
Lot 17 Enhanced



□ DENOTES WINDOW GRIDS AT  
SIDE & REAR ELEVATIONS  
FACING STREETS.

**OAKLEY KNOLLS**  
ANTIOCH, CA



Discovery Builders, Inc.  
Date 10/28/16

**A16**

F35



Elevation A



Elevation C

**MATERIAL LEGEND**

**A** VILLA CONCRETE TILE ROOFING  
HIP & GABLE END ROOFS  
STUCCO BODY  
STUCCO TRIM  
DECORATIVE WROUGHT IRON  
MOCK TILE VENTS  
MOCK SHUTTERS  
SIMULATED BRICK VENEER  
ROLL-UP GARAGE DOORS  
W/ OPT. WINDOW LITES

**B** FLAT CONCRETE TILE ROOFING  
HIP ROOFS  
STUCCO BODY  
STUCCO TRIM  
MOCK SHUTTERS  
SIMULATED STONE VENEER  
ROLL-UP GARAGE DOORS  
W/ OPT. WINDOW LITES

**C** FLAT CONCRETE TILE ROOFING  
HIP & GABLE END ROOFS  
STUCCO BODY  
STUCCO TRIM  
STUCCO/FOAM CORBELS  
MOCK SHUTTERS  
SIMULATED STONE VENEER  
ROLL-UP GARAGE DOORS  
W/ OPT. WINDOW LITES



Elevation B

Plan 4  
Front Elevations

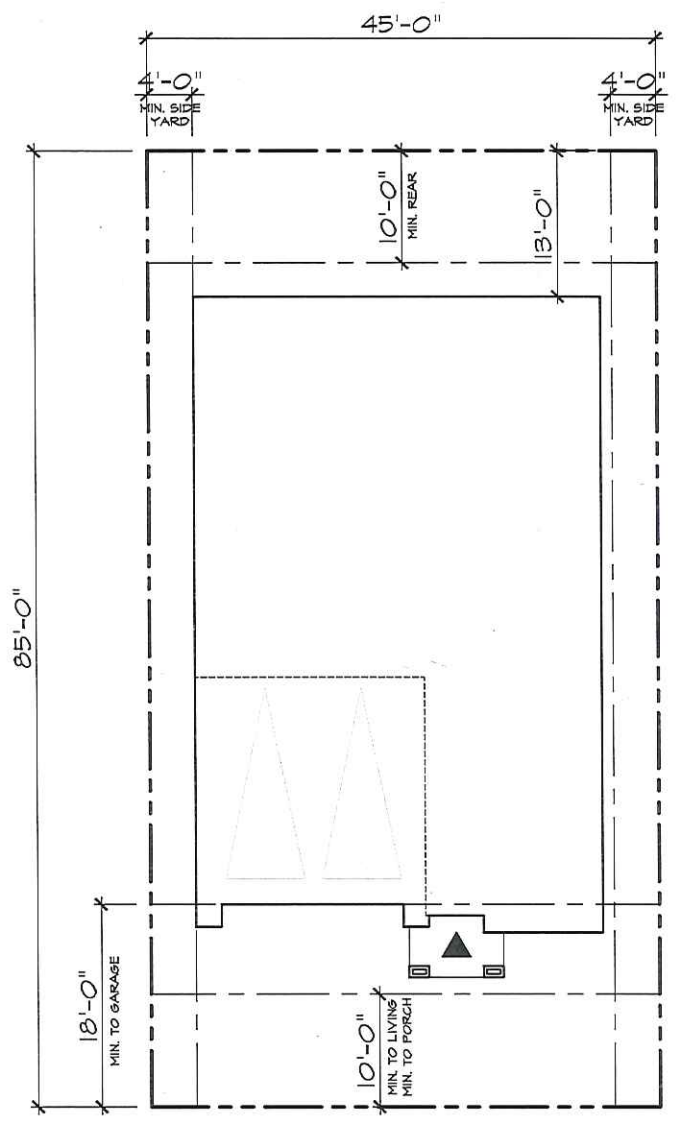
**OAKLEY KNOLLS**  
ANTIOCH, CA



Discovery Builders, Inc.  
Date 10/28/16

A17

F34



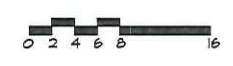
**City of Antioch**  
**P-D Zoning District**

FRONT SETBACK - TO LIVING 10' MIN.  
 FRONT SETBACK - TO GARAGE 18' MIN.  
 SIDE SETBACK 4' MIN.  
 REAR YARD SETBACK 10' MIN.  
 PORCH SETBACK 10' MIN.

**LOT COVERAGE**

APPROXIMATE LOT SIZE	FOOTPRINT	COVERAGE
45x85' (MIN.) = 3825 SF	1975 SF	52%

**Plan 4**  
**Site Plan**



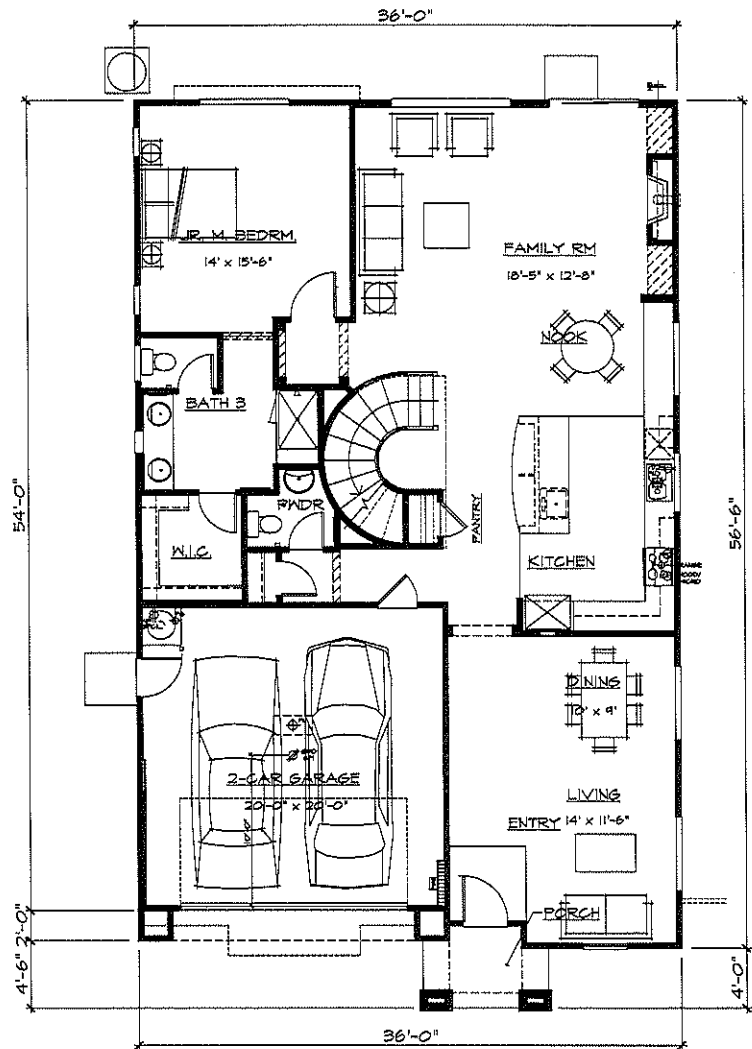
**OAKLEY KNOLLS**  
 ANTIOCH, CA



Discovery Builders, Inc.  
 Date 03/28/17

**A18**

F37



**Plan 4  
First Floor Plan**

SQUARE FOOTAGE	
FIRST FLOOR	1566 SF
SECOND FLOOR	1850 SF
TOTAL LIVING AREA	3416 SF
<hr/>	
GARAGE	409 SF



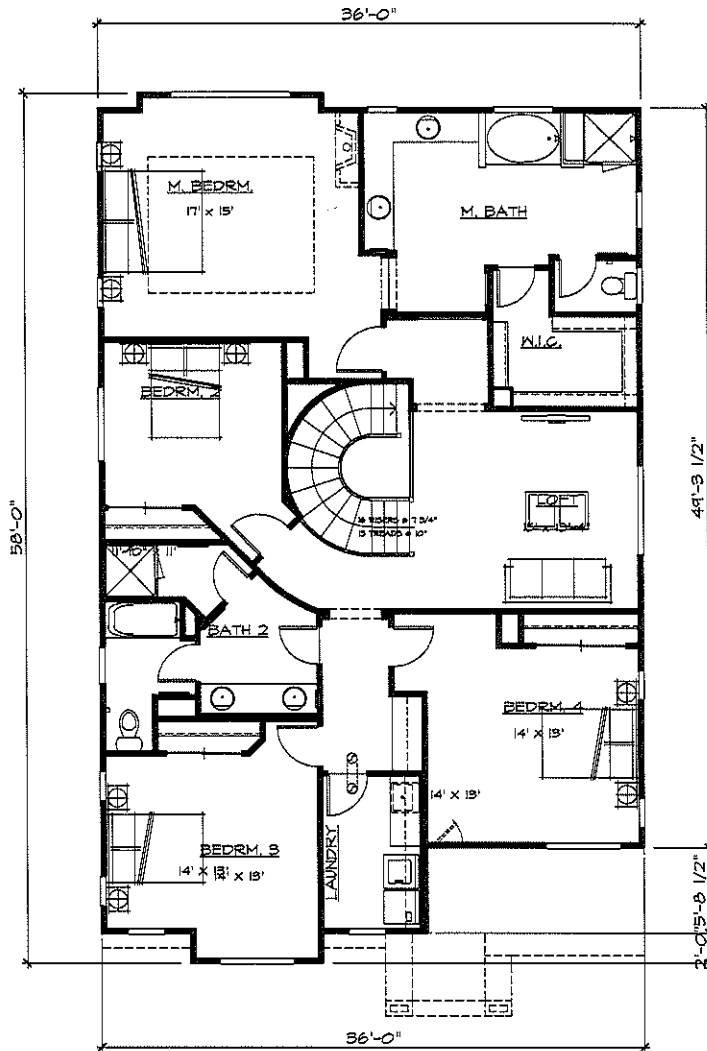
**OAKLEY KNOLLS**  
ANTIOCH, CA



Discovery Builders, Inc.  
Date 03/28/17

**A19**

F38



**Plan 4  
Second Floor Plan**

SQUARE FOOTAGE	
FIRST FLOOR	1566 SF
SECOND FLOOR	1850 SF
TOTAL LIVING AREA	3416 SF
GARAGE	409 SF



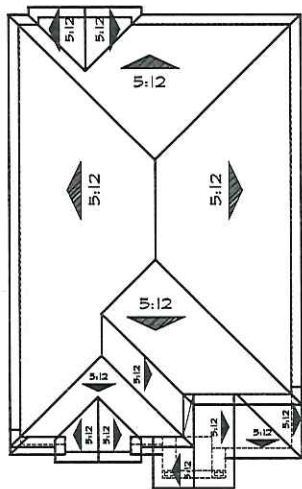
**OAKLEY KNOLLS**  
ANTIOCH, CA



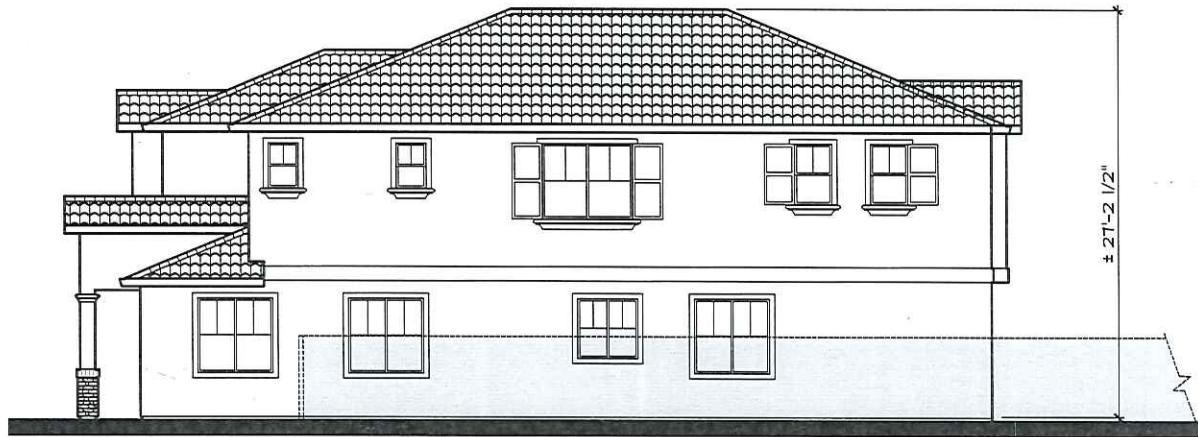
Discovery Builders, Inc.  
Date 03/28/17

**A20**

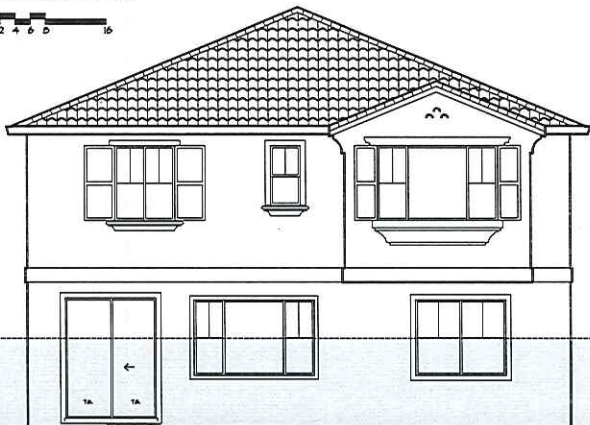
158



Roof Plan 'A'



Right  
Lot 29 Enhanced only



Rear  
Lots 15 & 29 Enhanced



Left

Plan 4 - Elevation 'A'  
Lots 15 & 29 Enhanced



□ DENOTES WINDOW GRIDS & SHUTTERS AT SIDE & REAR ELEVATIONS FACING STREETS.

**OAKLEY KNOLLS**  
ANTIOCH, CA

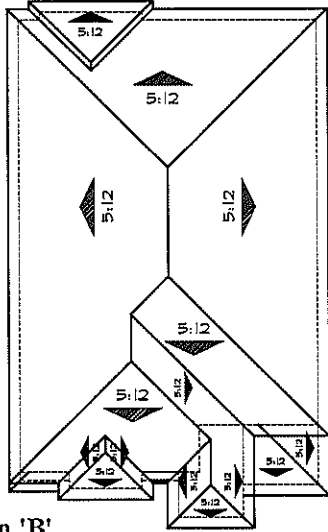


Discovery Builders, Inc.  
Date 03/28/17

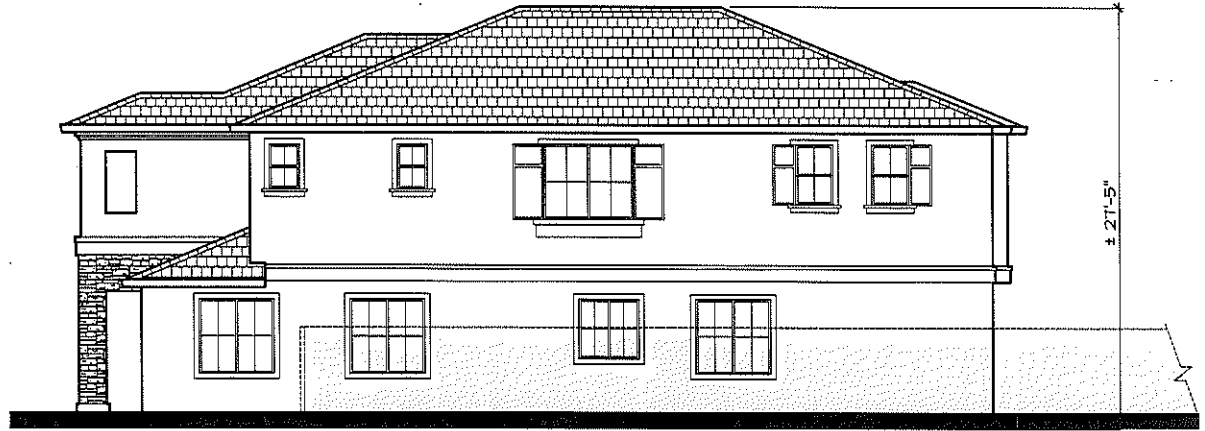
A21

C4D

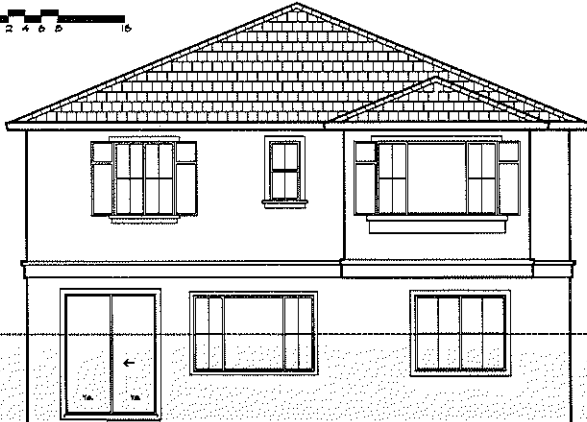




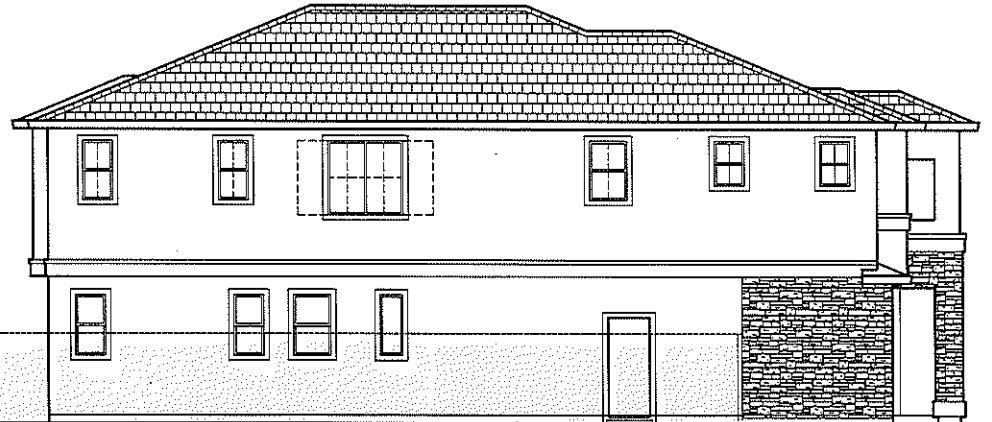
Roof Plan 'B'



Right



Rear



Left

Plan 4 - Elevations 'B'  
Lot 1 Enhanced



□ DENOTES WINDOW GRIDS & SHUTTERS AT SIDE & REAR ELEVATIONS FACING STREETS.

**OAKLEY KNOLLS**  
ANTIOCH, CA



Discovery Builders, Inc.  
Date 03/28/17



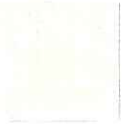













































A22

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**SUBDIVISION: OAKLEY KNOLLS**  
DISCOVERY BUILDERS, INC.

ANTIOCH, CA

**COLOR BOARD**

SCHEME	VILLA TILE	FLAT TILE	BODY 1	BODY 2	TRIM	ACCENT	STONE	BRICK
SCHEME 1 SPANISH	1VIC53233 Brown Blend 	1FACS1132 Charcoal Brown Blend 	KMW28-1 Clam 	KM5784-3 Creek Bay 	KM5792-3 Stacked Stone 	KM4582 Beaver Pelt 	Sevilla Dressed Fieldstone 	Sandy Creek 
SCHEME 2 SPANISH	1VIC56464 CA Mission Blend 	1FACS6464 CA Mission Blend 	KMW10-1 Pogo Sands 	KM4937-3 Paw Print 	KM5777 Cannery Park 	KM4897-5 Yin Mist 	Echo Ridge Dressed Fieldstone 	Coastal Bluff 
SCHEME 3 TUSCAN	1VIC57330 Verona Clay 	1FACS0024 - Desert Sage 	KM4634-2 Community 	KM4635-3 Tanglewood 	KM46 Acoustic White 	KMA56-5 Plynon Pine 	Tudor Old Country Fieldstone 	Moroccan Sand 
SCHEME 4 TUSCAN	1VIC56464 CA Mission Blend 	1FACS6464 CA Mission Blend 	KM232 Toscana 	KM412 Cargo 	KM4582 Beaver Pelt 	KMA68-5 Leather Satchel 	Red Rock Country LedgeStone 	High Desert 
SCHEME 5 CRAFTSMAN	1VIC57330 Verona Clay 	1FACS1430 Charcoal Blend 	KM4719 Harvest Dance 	KM4718-2 Wagon Wheel 	KM4575-5 Mud Room 	KMA76-5 Log Cabin 	Grand Mesa Country LedgeStone 	Marsh Pointe 
SCHEME 6 CRAFTSMAN	1VIC53233 Brown Blend 	1FBCF1132 Charcoal Brown Blend 	KM4942-2 Tin Man 	KM4937-3 Paw Print 	KM4939-5 Arrowhead 	KM417 Oxford Brown 	Umber Creek Country LedgeStone 	Tobacco Road 

ROOFING: Boral Concrete Tile or Equivalent  
STONE: Boral Cultured Stone/Cultured Brick or Equivalent  
PAINT: Kelly Moore or Equivalent

















































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# SUBDIVISION: OAKLEY KNOLLS

DISCOVERY BUILDERS, INC.

ANTIOCH, CA

# COLOR BOARD

SCHEME	VILLA TILE	FLAT TILE	BODY 1	BODY 2	TRIM	ACCENT	STONE	BRICK
SCHEME 7 ENGLISH COUNTRY	1VICS163 Camino Blend 	1FACS1132 Charcoal Brown Blend 	HL4201 Adobe White 	KM5705-3 Pioneer Village 	KM5800-5 Sausalito Ridge 	KMA82-5 Lamp Post 	Burnt Ochre Del Mare LedgeStone 	Coastal Bluff 
SCHEME 8 FRENCH	1VICS0024 Desert Sage 	1FACS1430 Charcoal Blend 	KM4899-1 Gray Spell 	KM4942-2 Tin Man 	KM4786-1 Fresh Linen 	KM407 Carbon 	Echo Ridge Old Country Fieldstone 	Alamo 
SCHEME 9 FRENCH	1VICS3233 Brown Blend 	1FBCF1430 Charcoal Blend 	KM305 Ironwood 	KM4938-3 Grouchy Badger 	KM216 Malibu Belge 	KM5804-5 Yacht Club 	Chardonnay Old Country Fieldstone 	Capers Island 
SCHEME 10 PRAIRIE	1VICS3233 Brown Blend 	1FACS1132 Charcoal Brown Blend 	KM4566-3 City Loft 	KM4559-3 Mink 	KM5800-5 Sausalito Ridge 	KMA66-5 Santana Soul 	Chardonnay Limestone 	Rustic Manor 
SCHEME 11 FARMHOUSE	1VICS7330 Verona Clay 	1FBCF1132 Charcoal Brown Blend 	KM49 Antique White 	KM5767-2 Greige 	KM14 Frost 	KM4818-5 Knit Cardigan 	Sevilla Country LedgeStone 	Old Guignard 
SCHEME 12 FARMHOUSE	1VICS0024 Desert Sage 	1FBCF1430 Charcoal Blend 	KM4908-1 Bashful Emu 	KM4896-3 Stone Hearth 	KM49 Antique White 	KMA82-5 Lamp Post 	Fog Southern LedgeStone 	Mt Rushmore 

ROOFING: Boral Concrete Tile or Equivalent  
 STONE: Boral Cultured Stone/Cultured Brick or Equivalent  
 PAINT: Kelly Moore or Equivalent

549

A24

APPROVED BY: \_\_\_\_\_ CREATED: 8/4/2016



# MEMO

**TO:** Louis Parsons, Discovery Builders

**FROM:** Doug Svensson, AICP

**DATE:** July 7, 2016

**SUBJECT:** Fiscal Analysis of Proposed Oakley Knolls Project in Antioch

## INTRODUCTION AND SUMMARY

This fiscal analysis has been prepared based on the project description provided in the Initial Study/Mitigated Negative Declaration prepared by Stantec, dated January 29, 2016. In addition, at your direction, we have reviewed the fiscal analysis for the Vineyards at Sand Creek project, prepared by Economic and Planning Systems, as a basic example of the City's expectations for this type of study. This study differs from the EPS study in that Oakley Knolls will have public, rather than private, streets.

The proposed project include 31 single family homes located in the north eastern portion of the City on Oakley Road near the junction of SR 4 and SR 160. The homes are anticipated to sell for \$500,000 on average and the subdivision is projected to house a population of 100 persons (3.22 persons per household) (Table 1).

**Table 1: Oakley Knolls Subdivision**

Item	Value
Units	31
Persons Per Household	3.22
Total Project Population	100
Average Home Sale Price	\$500,000
Total Property Value	\$15,500,000

Source: Discovery Builders, Inc., CA Department of Finance.

Table 2 summarizes the results of the fiscal analysis. The project would generate property tax and sales tax for Antioch as well as certain other revenues. It would also require services from the City, principally police protection, street maintenance, recreation and community development functions.



Fire protection would be provided by the Contra Costa County Fire Protection District, separate from the City of Antioch. The City has stipulated that the project would be subject to an additional fee, through a Community Facilities District, to support the cost of police services. This fee is proposed to be \$450 per unit and would generate \$13,950 per year at full buildout of the development.

**Table 2: Summary of Fiscal Impacts for Oakley Knolls Subdivision**

<b>REVENUES</b>	<b>Scenario 1 Baseline Analysis</b>	<b>Scenario 2 Conservative Sale Price</b>	<b>Scenario 3 Increased Baseline Costs</b>
Property Tax	\$17,686	\$15,917	\$17,686
Property Tax in lieu of VLF	\$11,278	\$10,150	\$11,278
Franchise Tax	\$2,361	\$2,361	\$2,361
Business License Tax			
Property Transfer Tax	\$682	\$682	\$682
Sales and Use Tax	\$3,382	\$3,044	\$3,382
Sales Tax Measure C	\$1,691	\$1,522	\$1,691
Motor Vehicle in-Lieu fees	\$34	\$34	\$34
Licenses & Permits	\$806	\$806	\$806
Fines and Forfeitures	\$35	\$35	\$35
Police Services Fee	\$13,950	\$13,950	\$13,950
Use of Money and Property	\$0	\$0	\$0
Revenue From Other Agencies	\$0	\$0	\$0
Service Charges	\$0	\$0	\$0
Other Revenue	\$0	\$0	\$0
Transfers in	\$0	\$0	\$0
Streets/Transit Funds	\$0	\$0	\$0
Other	\$0	\$0	\$0
<b>TOTAL REVENUES</b>	<b>\$51,905</b>	<b>\$48,501</b>	<b>\$51,905</b>
<b>EXPENDITURES</b>			
Legislative and Administrative	\$708	\$708	\$779
Public Works	\$6,122	\$6,122	\$6,778
Police Services	\$24,625	\$24,625	\$27,087
Police Services - Measure C	\$5,415	\$5,415	\$5,957
Police Services - Animal Support	\$428	\$428	\$471
Recreation/Community Services	\$826	\$826	\$908
Community Development	\$2,364	\$2,364	\$2,600
Code Enforcement-Measure C	\$137	\$137	\$150
<b>TOTAL EXPENDITURES</b>	<b>\$40,665</b>	<b>\$40,665</b>	<b>\$42,386</b>
<b>TOTAL BUDGET NET (DEFICIT)/SURPLUS</b>	<b>\$11,240</b>	<b>\$7,836</b>	<b>\$7,174</b>

Source: ADE, Inc.

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With the police services fee in place, the project would generate a positive fiscal balance for Antioch in excess of \$11,200 per year, based on the assumption that the City would experience average cost levels for services as reflected in the current Fiscal Year 2015-1016 budget. The analysis also addresses two other scenarios, in which either the homes sell for a lower amount of \$450,000 per unit, or the City experiences ten percent higher cost levels to serve the subdivision. Under both of these scenarios, the fiscal impact of the project remains positive, although at lower levels than the baseline scenario, at about \$7,800 per year and \$7,200 per year, respectively.

**DISCUSSION OF THE FISCAL ANALYSIS**

The fiscal analysis is based in part on estimates of average revenues and service expenditures for the City of Antioch. The most recent population estimate for Antioch shows about 108,300 residents and 20,630 jobs within the City. Typically, businesses exert about 50 percent of the demand for services on the City as do residents, measured on a population and per job basis. Therefore, the daytime service population for the City is estimated at 118, 613 (108,298 residents plus 20,630 jobs \* 50%), as shown in Table 3.

**Table 3: Antioch Assumptions, 2015**

<b>Item</b>	<b>Citywide Amount</b>	<b>Sources</b>
Housing Units	35,750	DOF 2015
Occupied Households	33,151	DOF 2015
Population	108,298	DOF 2015
Persons/Household	3.22	DOF 2015
Jobs (2015)	20,630	ABAG 2013
Daytime Population	118,613	DOF 2015 / ABAG

<sup>1</sup>Daytime population is calculated by adding total residential population and half of the total employment.

Sources: Association of Bay Area Governments, CA Department of Finance.

The average per capita revenues and costs are calculated using the current Fiscal Year 2015-2016 Operating Budget, as shown in Table 4. As discussed further below, the property tax and sales tax are calculated from separate factors, but other general revenues such as the Franchise Tax, Motor Vehicle In-Lieu Fees, Licenses and Permits and Fines and Forfeitures are estimated on a per capita basis using the factors in the right hand column of Table 4. Several of the revenues would not be directly affected by the proposed Oakley Knolls project, as indicated in the Table.

A similar approach is used to estimate City service expenditures. The City has certain fixed costs that are not directly affected by housing development or population growth, so the budget figures used to calculate the per capita costs factors are reduced accordingly. The percent of cost included in the analysis is indicated in the column labeled Percent Variable in Table 4. The Legislative and Administrative Departments, Finance and the Nondepartmental costs have been grouped together as

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"General Government" costs in Table 2. Other per capita cost factors by service department or function are shown in the right hand column of Table 4.

**Table 4: General Fund Budget Summary – FY 2015-16 Operating**

Item	Budget		Percent Variable [1]	Allocation Factor
<b>GENERAL REVENUES</b>				
Property Tax <sup>1</sup>	\$9,448,914		100%	
Property Tax in lieu of VLF	\$6,475,750		100%	
Franchise Tax	\$2,805,878		100%	\$23.66
Business License Tax	\$3,751,000	not affected		
Property Transfer Tax	\$330,000		100%	
Sales and Use Tax <sup>2</sup>	\$13,039,684		100%	
Sales Tax Measure C	\$4,646,890		100%	
Transient Occupancy Tax	\$80,000	not affected		
Motor Vehicle in-Lieu fees	\$40,000		100%	\$0.34
Licenses & Permits	\$957,500		100%	\$8.07
Fines and Forfeitures	\$42,000		100%	\$ .35
Use of Money and Property	\$503,410	not affected		
Revenue From Other Agencies	\$792,673	not affected		
Service Charges	\$2,194,744	not affected		
Other Revenue	\$802,540	not affected		
Transfers in	\$3,699,075	not affected		
<b>TOTAL REVENUES</b>	<b>\$49,610,058</b>			
<b>GENERAL FUND EXPENDITURES</b>				
Legislative and Administrative	\$727,984	Combined into General Government	50%	\$7.10
Finance	\$14,139			
Non-departmental	\$941,108			
Public Works	\$7,322,417		100%	\$61.73
Police Services	\$29,260,562		100%	\$246.69
Police Services - Measure C	\$6,434,518		100%	\$54.25
Police Services - Animal Support	\$508,521		100%	\$4.29
Recreation/Community Services	\$981,170		100%	\$8.27
Community Development	\$2,809,167		100%	\$23.68
Code Enforcement-Measure C	\$162,498		100%	\$1.37
Capital Improvement	\$0	not affected		
<b>TOTAL EXPENDITURES</b>	<b>\$49,162,084</b>			
<b>TOTAL NET</b>	<b>\$447,974</b>			

<sup>1</sup> Includes Property Tax – Secured, Property Tax – Unsecured, Property Tax – Other, Other In Lieu taxes, Unitary Tax.

<sup>2</sup> Includes Sales and Use Tax, Sales and Use In Lieu/Swap, Sales & Use Tax P.S. Allocation.

Source: City of Antioch FY 2015-17 Adopted Operating Budget

**PROPERTY BASED REVENUES**

The general property tax rate is one percent of the assessed value of each home, which is based on the initial market value of the units, estimated at \$500,000. The full property tax paid by the homeowner is shared among a number of taxing agencies and the City of Antioch receives only 11.4

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percent of the base property tax. However, the City also receives a share of property tax from the state in-lieu of vehicle license fees the state used to pay to cities prior to 2004. This portion of the property tax is based on the annual increase in total assessed value in the City. The proposed project would add \$15.5 million to Antioch's total assessed value, which would result in an increase of property tax in-lieu of vehicle license fees of about \$11,300 per year at full buildout of the project.

**Table 5: Project Property Tax Revenues**

Item	Assumption/Factor	Annual Total
Property Tax		
Net New Taxable Value Increase	\$500,00 Average Unit Value	\$15,500,000
Property Tax	1.0%	\$155,000
Antioch General Fund Share	11.4%	\$17,686
Property Tax in Lieu of VLF		
Existing Citywide Property Tax in Lieu of VLF		\$6,475,750
Citywide Assessed Value		\$8,899,889,890
Project Net Assessed Value Increase		0.2%
Net New Property Tax in Lieu of VLF		\$11,278

[1] Based on project TRA

[2] Reflects Antioch's secured roll as reported by the Contra Cost County Assessor.

[3] Calculated by dividing net value increase by citywide assessed value.

[4] Calculated by multiplying existing property tax in lieu of VLF by project net assessed value increase.

Source: ADE, Inc.

The Documentary Transfer Tax is paid when property is sold. While the City would receive a total of \$8,525 in transfer tax at the initial sale of the units, the estimate in Table 6 and Table 2 above reflects the ongoing resale of units. The assumption here is that the units would turnover every 12 years on average, or eight percent of the units per year.

**Table 6: Documentary Transfer Tax Estimate**

Item	Assumption/Factor	Annual Total
Net New Assessed Value Increase	\$500,000 Average Unit Value	\$15,500,000
Annual Turnover Rate	8% per year	\$1,240,000
Total Documentary Transfer Tax	\$.055 per \$1,000 in AV	\$682

Source: ADE, Inc.

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**SALES TAX**

The City receives one percent of the value of taxable goods and services purchased within the City limits in base sales tax. In addition, the voters have approved Measure C, which provides an additional one-half cent of sales tax and is used in part to fund police services and code enforcement.

The sales tax estimate is based on calculation of household incomes for project residents and their likely spending patterns in Antioch. As shown in Table 7, a home purchased for \$500,000 would typically require a household income of nearly \$86,000 based on current mortgage loan financing terms.

**Table 7: Project Average Income Calculation**

Item	Assumption/Factor	Value
Home Value		\$500,000
Down Payment	20.0%	\$100,000
Principal Loan Amount		\$400,000
Annual Interest Rate		5.0%
Monthly Payment		\$2,147
Monthly Income [1]	30.0%	\$7,158
Annual Income		\$85,891

[1] Assumes 30% of gross income is spent on mortgage costs. Excludes property taxes, utilities, and other housing costs.

Source: ADE, Inc.

Using a retail demand model, ADE estimates that the 31 household in the proposed project would spend about 30 percent of their income on retail goods, of which about 85 percent would be taxable (food and pharmaceuticals are not taxable, for example) (See Table 8). Not all of this spending would occur in Antioch, however. Given the location of the project on the eastern periphery of the City, it is possible some of the household spending could occur in Oakley or Brentwood. It is also likely that households would do some comparison shopping at the larger retail centers in Central County. Therefore, for this analysis, ADE has assumed that 50 percent of the taxable household spending would occur in Antioch, resulting in an estimate of \$3,400 per year in base sales tax and about \$1,700 per year in Measure C funds.

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**Table 8: Taxable Retail Sales Analysis**

Retail Group	Project Household Expenditures	Percent Taxable	Taxable Purchases
Total Project Household Expenditures	\$799,600	85%	\$676,400
Apparel Store Group	\$34,200	100%	\$34,200
Women's Apparel	\$9,100	100%	\$9,100
Men's Apparel	\$2,500	100%	\$2,500
Family Clothing	\$16,200	100%	\$16,200
Shoe Stores	\$6,400	100%	\$6,400
General Merchandise Group	\$129,400	83%	\$107,300
Department Stores/Other General Merch.	\$64,600	94%	\$60,700
Other General Merchandise	\$39,600	94%	\$37,200
Drug & Proprietary Stores	\$25,200	37%	\$9,400
Specialty Retail Group	\$50,200	100%	\$50,000
Gifts & Novelties	\$3,400	100%	\$3,400
Sporting Goods	\$4,900	100%	\$4,900
Florists	\$1,300	100%	\$1,300
Photographic Equipment	\$700	100%	\$700
Records & Music	\$3,300	100%	\$3,300
Books & Stationery	\$6,800	100%	\$6,800
Office Supplies/Computer Equipment	\$7,800	100%	\$7,800
Jewelry	\$4,200	100%	\$4,200
Misc. Specialty Retail	\$17,800	99%	\$17,600
Food, Eating and Drinking Group	\$242,100	61%	\$148,500
Grocery Stores	\$124,500	28%	\$34,500
Supermarkets	\$119,100	26%	\$31,400
Convenience Stores	\$5,400	57%	\$3,100
Specialty Food Stores	\$3,500	0%	\$0
Liquor Stores	\$5,900	98%	\$5,800
Eating Places	\$108,200	100%	\$108,200
Building Materials And			
Homefurnishings Group	\$79,400	100%	\$79,400
Furniture & Home Furnishings	\$20,900	100%	\$20,900
Household Appliances & Electronics	\$16,700	100%	\$16,700
Used Merchandise	\$1,700	100%	\$1,700
Nurseries & Garden Supply Stores	\$7,400	100%	\$7,400
Lumber & Other Building Materials	\$19,800	100%	\$19,800
Home Centers and Hardware Stores	\$11,800	100%	\$11,800
Paint & Wallpaper	\$1,100	100%	\$1,100
Automotive Group	\$264,300	97%	\$257,000
New Cars & RVs	\$142,800	100%	\$142,800
Used Car Dealers	\$10,500	100%	\$10,500
Gasoline Service Stations	\$96,500	92%	\$89,200
Auto Parts & Accessories	\$10,200	100%	\$10,200
Other Vehicles	\$4,300	100%	\$4,300

Source: ADE, Inc., based on Bureau of Labor Statistics Consumer Expenditure Surveys and the Census of Retail Trade.

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## STAFF REPORT TO THE CITY COUNCIL

**DATE:** Regular Meeting of April 10, 2018

**TO:** Honorable Mayor and Members of the City Council

**SUBMITTED BY:** Scott Buenting, Project Manager *SB*

**APPROVED BY:** Lynne B. Filson, Assistant City Engineer II *LB*

**SUBJECT:** Update of the Water and Sewer Rate Fee Study, (P.W. 362-8)

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### RECOMMENDED ACTION

It is recommended that the City Council provide direction to staff regarding the recommended water and sewer rates, fees and charges.

### STRATEGIC PURPOSE

This item supports Strategies K-2 and O-2 by ensuring adequate funding to design, build, operate and maintain the City's sewer and water assets and resources.

### FISCAL IMPACT

The proposed rates will maintain adequate funding to sustain the water and sewer enterprise funds.

### DISCUSSION

The City's current water and sewer rate study along with associated rates for the next five fiscal years was adopted in 2015. The rates, fees and charges adopted for this period were designed to provide adequate funding for the Water and Sewer Funds to develop and maintain the City's utility infrastructure. Since this study's adoption, the City has experienced fluctuations in water usage that have exceeded previous projections. In addition, river water quality varies from year to year. Water fund expenditures are negatively affected when the City is unable to utilize its river intake due to poor river water quality and must purchase more expensive water from the Contra Costa Water District.

The City was recently awarded a \$10 million state water quality grant for the development of a Brackish Water Desalination facility that will allow the City to utilize its pre-1914 water rights to a greater extent. A \$1 million low interest Drinking Water State Revolving Fund (DWSRF) loan from the State Water Resources Control Board has been obtained for planning, engineering and environmental certification related to this project. It is anticipated the City will apply for a \$53 million DWSRF loan for the construction of the facility. Debt service of these loans has been evaluated as part of this updated rate study.

On June, 27, 2017 the City Council approved an amendment to the Consultant Service Agreement with Municipal Financial Services (MFS) to evaluate and update the City's water and sewer rates, fees and charges.

City Staff, in conjunction with MFS, has analyzed the adequacy of revenues from current and adopted rates to meet projected expenditures of the Water and Sewer Enterprise Funds. This was done to determine whether revenues will be adequate to cover operating and maintenance costs, as well as needed capital costs while meeting target reserve levels and debt service coverage requirements. The study has determined that adopted water and sewer rate increases for July 1, 2018 could sustain the Water and Sewer Enterprise Funds.

Council has also asked that the study investigate the impacts of switching from tiered rates for residential customers to a uniform rate structure, which is also included in this study.

**ATTACHMENTS**

A: PowerPoint Presentation

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# Recommended Water and Sewer FY 2018-19 Rates and FY 2019-20 through FY 2022-23 Rate Plan

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ATTACHMENT "A"

April 10, 2018

**Municipal  
Financial  
Services**

# Why Is This Issue Important?

- Ensure the quality and safety of the City's local water supply
- Work closely with the sewer department to ensure the proper maintenance of their system

## Why Is This Issue Important ?

- Both of these things are essential to our community's health, safety and financial sustainability
- We must continue to prevent sewage spills that may present a health risk to the community, and place the City at risk for expensive fines and water pollution
- Some of our sewers are over 100 years old

# Background of the Current Five-Year Rate Plan

- Council adopted a water and sewer Five-Year Rate Plan for FY16 – FY20 for service and maintenance during May 2015
- Water bills for Single Family customers were projected to increase by approximately 8 percent per year
- Replaced a uniform water rate structure with a tiered rate structure for Single Family customers



# Background of the Current Five-Year Rate Plan

- Sewer bills for Single Family customers were projected to increase by approximately 5 percent per year
- There are two rate increases remaining: July 1, 2018 (FY19) and July 1, 2019 (FY20)
- Anticipates development of an updated Five-Year Rate Plan for FY20 – FY24 with Proposition 218 notification, hearing and ballot process

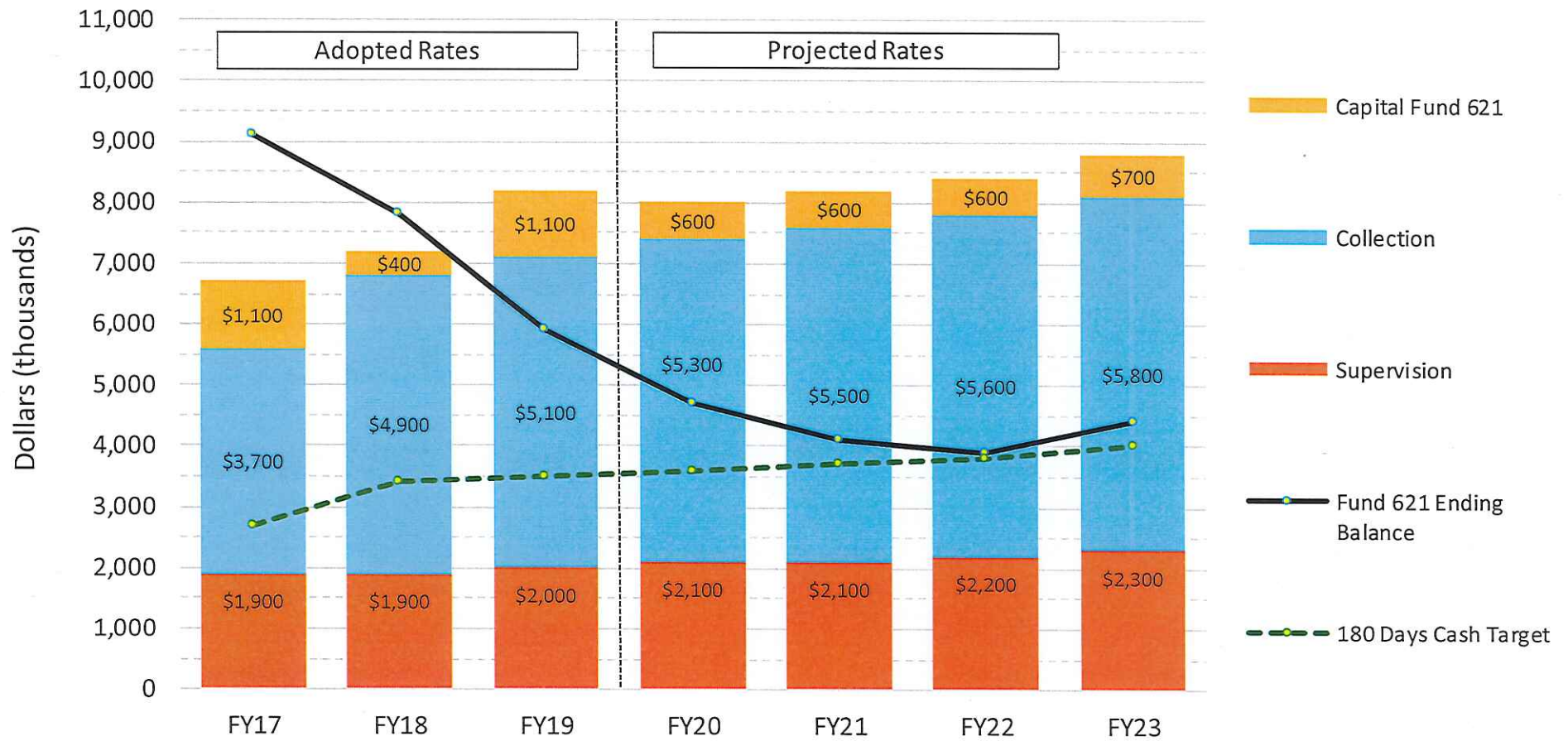
# Adopted FY19 and Projected FY20 – FY23 Sewer Rates

	Current FY18	Adopted FY19	Projected Cost of Service			
			FY20	FY21	FY22	FY23
<i>effective dates &gt;</i>	7/1/2017	7/1/2018	7/1/2019	7/1/2020	7/1/2021	7/1/2022
<i>Residential, \$/month per Dwelling Unit</i>						
Single Family	\$12.80	\$13.40	\$14.55	\$15.90	\$17.35	\$18.95
Multiple Family	\$11.40	\$12.00	\$12.90	\$14.10	\$15.40	\$16.75
Apartment/Mobile Home	\$10.00	\$10.60	\$11.65	\$12.85	\$14.15	\$15.55
<i>Nonresidential</i>						
Account Charge, \$/month	\$4.01	\$4.22	\$4.70	\$5.15	\$5.65	\$6.10
Volume Rate, \$/HCF *	\$1.07	\$1.13	\$1.25	\$1.37	\$1.52	\$1.69

\* 1 HCF = 748 Gallons

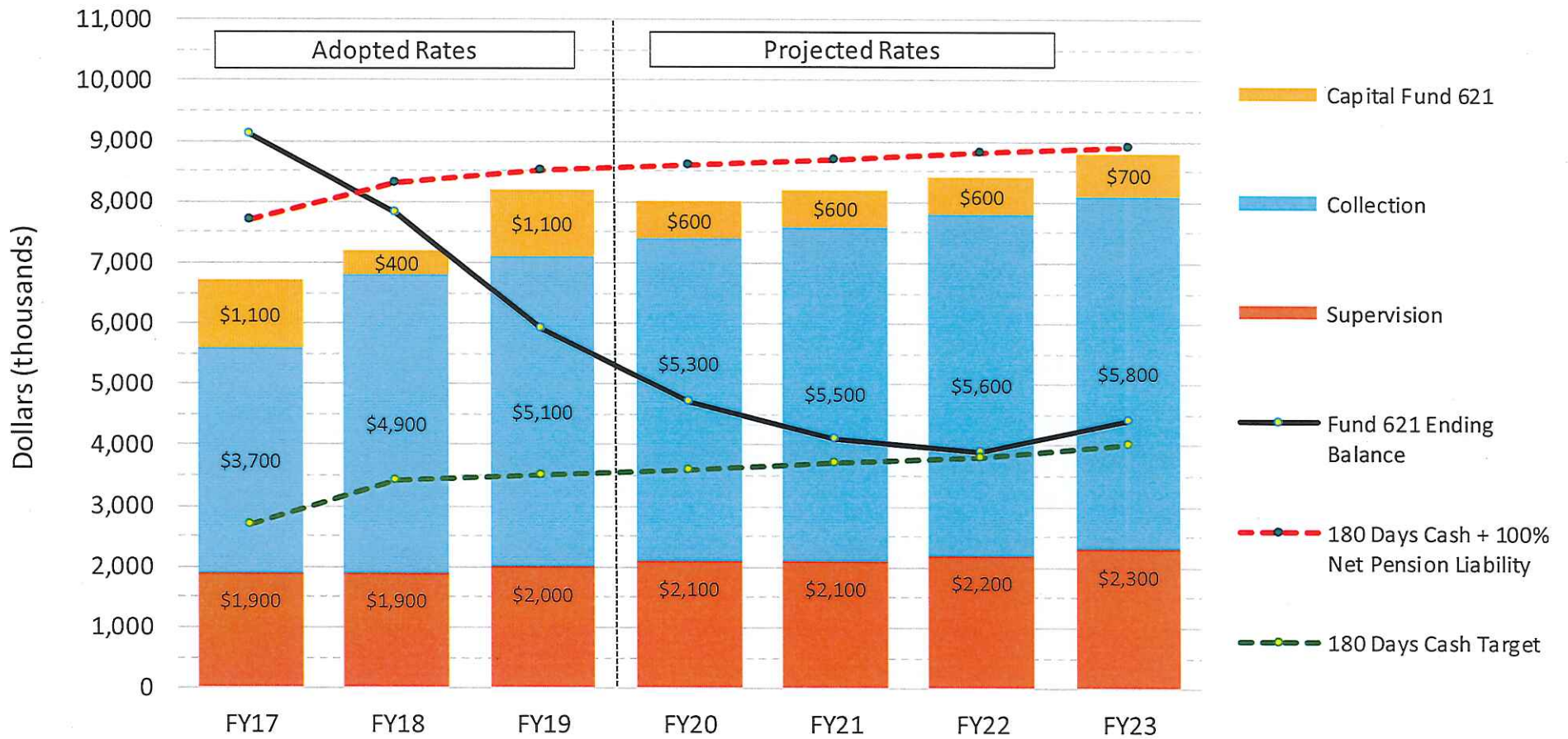
# Sewer Fund 621 Cash Flow

## Sewer Fund 621 Cash Flow and Single Family Bill Impacts



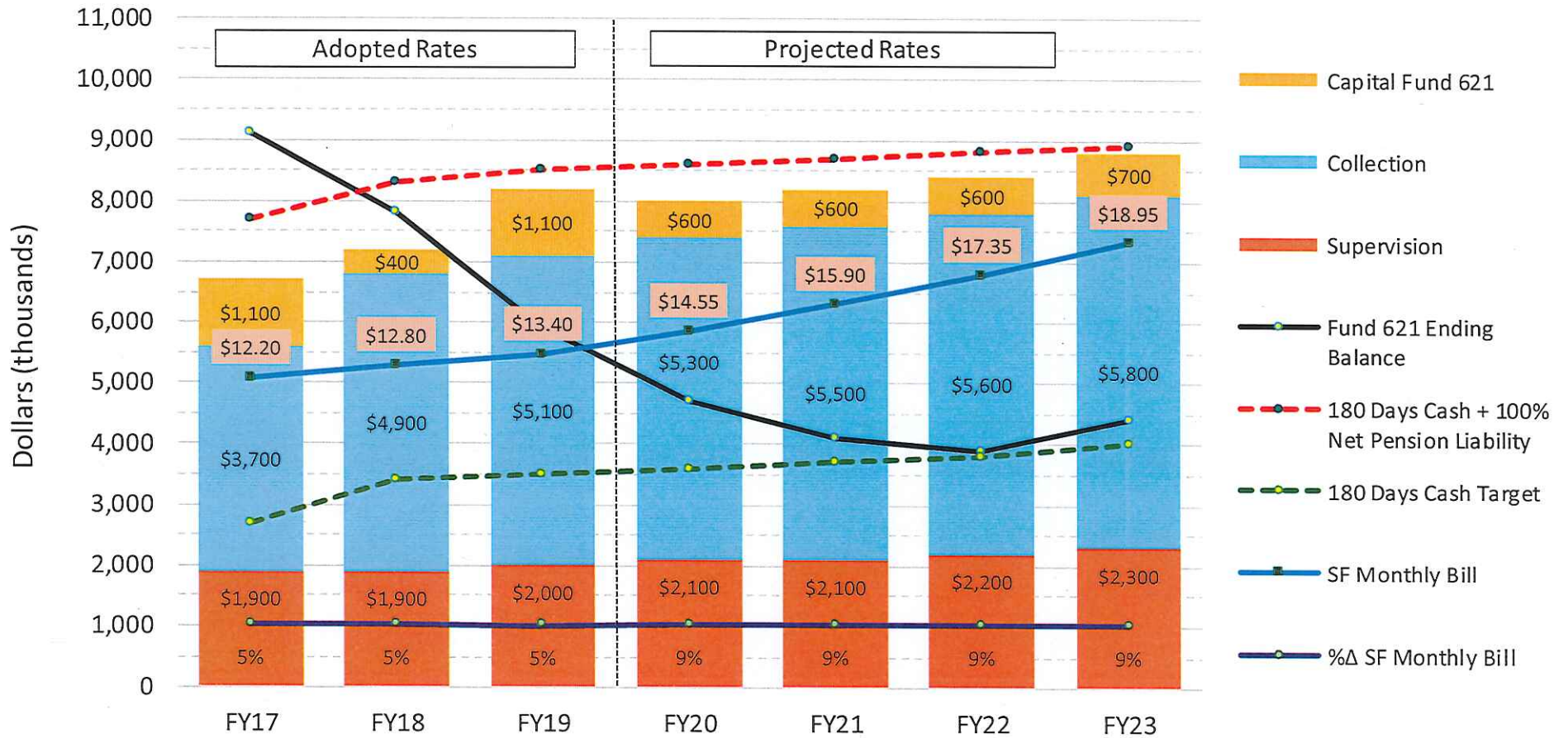
# Sewer Fund 621 Cash Flow

## Sewer Fund 621 Cash Flow and Single Family Bill Impacts



# Sewer Fund 621 Cash Flow

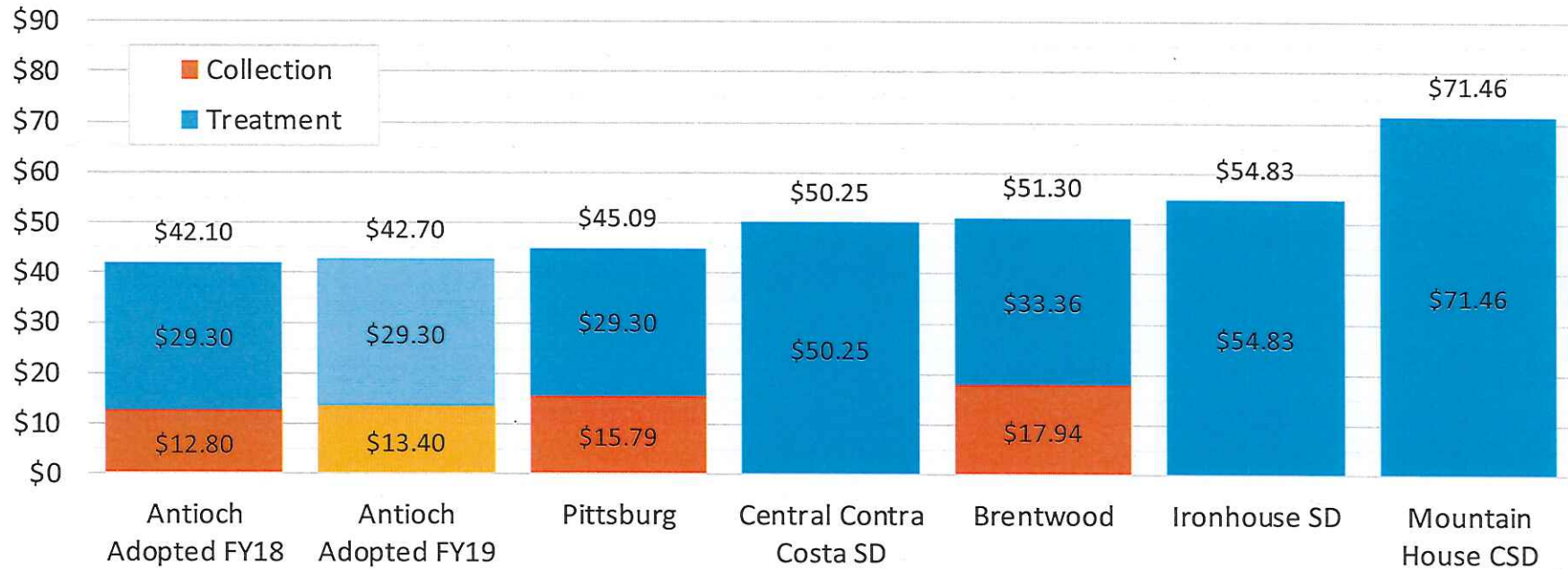
## Sewer Fund 621 Cash Flow and Single Family Bill Impacts



# Single Family Monthly Sewer Bills Survey

Note that comparison is with other municipalities' FY18 rates

Single Family Sewer Service Monthly Bills



Central Contra Costa CSD, Ironhouse SD and Mountain House CSD have flat charges which are shown as "Treatment" in the figure

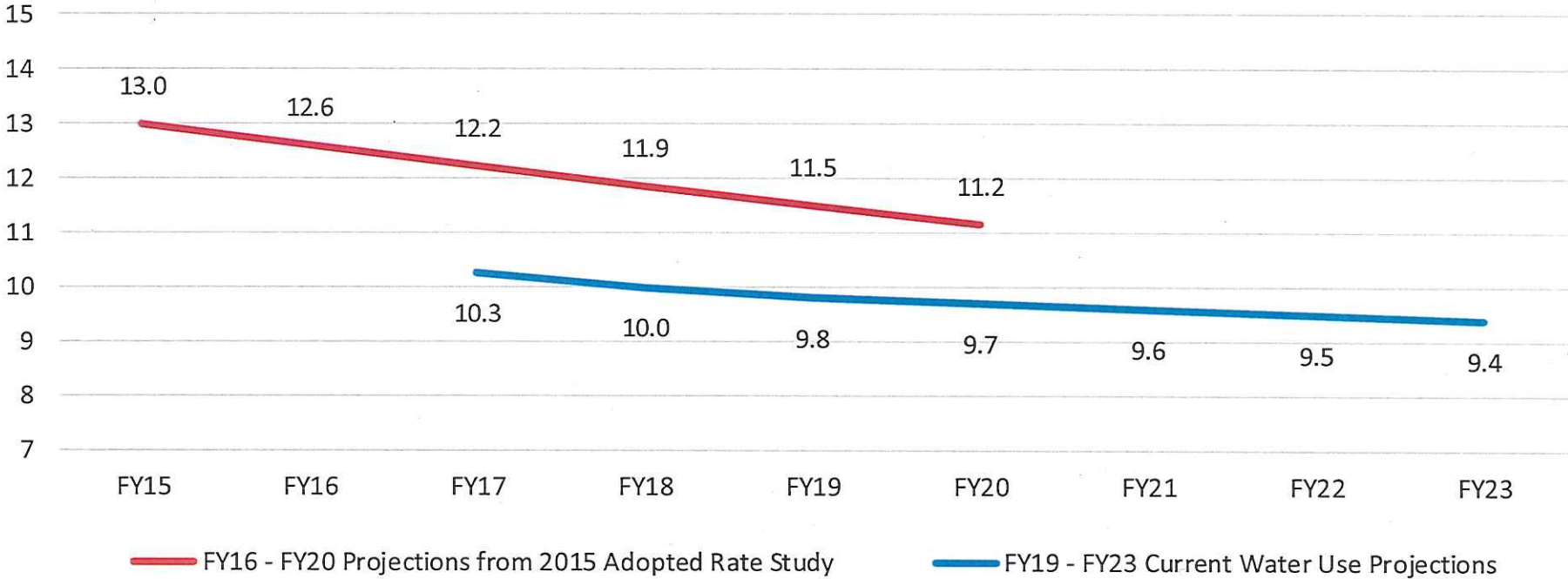
# Water Fund 611 Highlights

- Substantial decrease in water use since development of the 2015 Rate Plan – tier breaks for Single Family customers were adjusted from 13 HCF to 12 HCF in FY18
- Tier breaks should be reduced further to correspond with continued conservation
- Expenditures for water supply are down from projections in 2015 Rate Plan
- \$1 million State Revolving Fund (SRF) Loan in 2016
- \$53 million new SRF Loan planned for 2018 would add ~\$2.3 million per year of debt service

# Single Family Water Use

(HCF = Hundred Cubic Feet = ~748 gallons)

### Single Family Average Monthly Use (HCF)





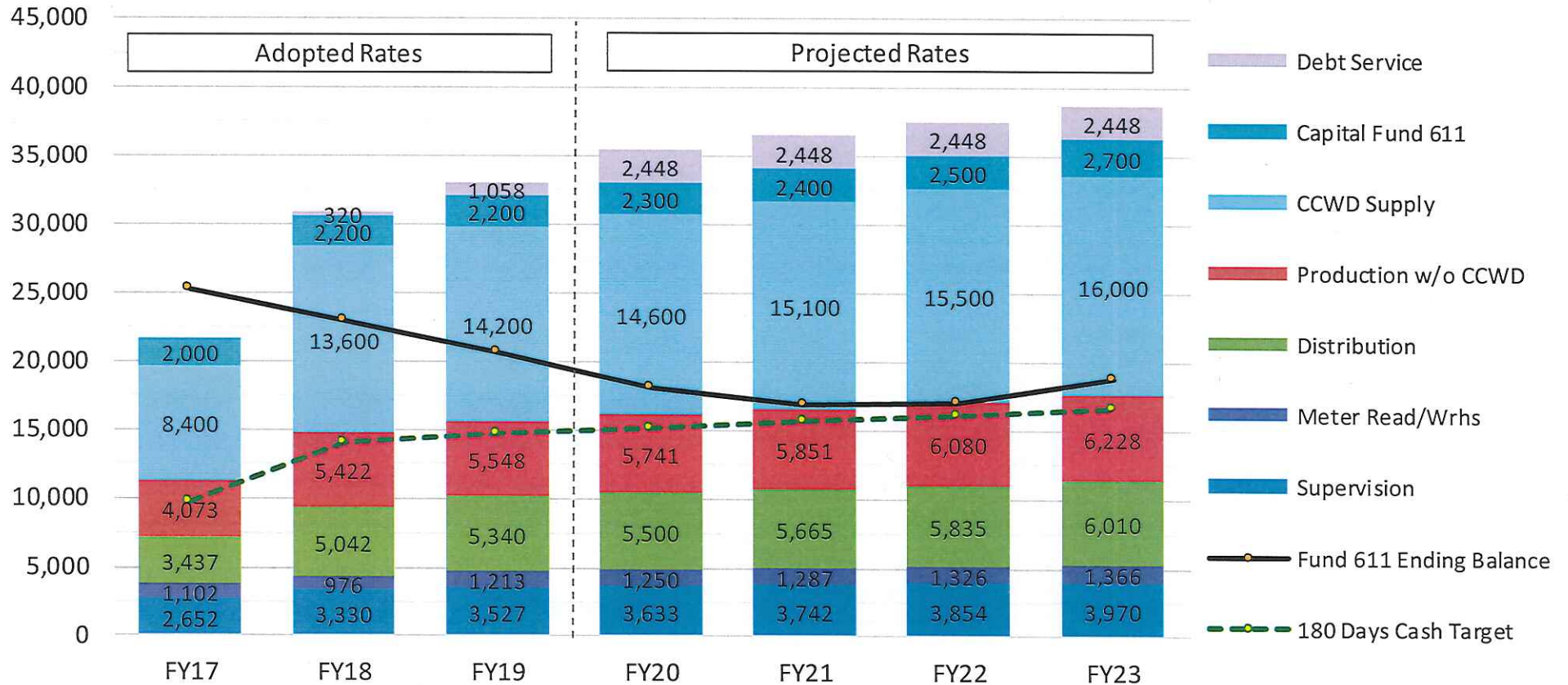
# Adopted FY19 and Projected FY20 – FY23 Water Rates

	Current FY18	Adopted FY19	Projected Cost of Service			
			FY20	FY21	FY22	FY23
Water Rates	<i>effective dates &gt;</i>					
	7/1/2017	7/1/2018	7/1/2019	7/1/2020	7/1/2021	7/1/2022
Quantity Rates, \$/HCF						
Non-Single Family			HCF = Hundred Cubic Feet (748 gallons)			
Zone I	\$3.73	\$4.05	\$4.34	\$4.67	\$5.03	\$5.41
Zone II	\$3.83	\$4.16	\$4.47	\$4.81	\$5.18	\$5.57
Zone III	\$3.92	\$4.25	\$4.61	\$4.96	\$5.34	\$5.74
Zone IV	\$4.10	\$4.45	\$4.88	\$5.25	\$5.65	\$6.08
Single Family & Senior			HCF = Hundred Cubic Feet (748 gallons)			
Tier 1	0 - 12 HCF	0 - 12 HCF	0 - 10 HCF	0 - 10 HCF	0 - 10 HCF	0 - 9 HCF
Zone I	\$3.17	\$3.45	\$3.59	\$3.86	\$4.15	\$4.47
Zone II	\$3.27	\$3.56	\$3.72	\$4.00	\$4.30	\$4.63
Zone III	\$3.36	\$3.65	\$3.86	\$4.15	\$4.46	\$4.80
Zone IV	\$3.54	\$3.85	\$4.13	\$4.44	\$4.77	\$5.14
Tier 2	> 12 HCF	> 12 HCF	> 10 HCF	> 10 HCF	> 10 HCF	> 9 HCF
Zone I	\$5.24	\$5.68	\$5.95	\$6.41	\$6.89	\$7.43
Zone II	\$5.34	\$5.79	\$6.08	\$6.55	\$7.04	\$7.59
Zone III	\$5.43	\$5.88	\$6.22	\$6.70	\$7.20	\$7.76
Zone IV	\$5.61	\$6.08	\$6.49	\$6.99	\$7.51	\$8.10
Meter Service, \$/meter-month						
¾ x ¾-inch Senior	\$21.20	\$22.90	\$23.90	\$25.50	\$27.10	\$28.90
¾ x ¾-inch	\$21.20	\$22.90	\$23.90	\$25.50	\$27.10	\$28.90
1-inch	\$47.70	\$52.00	\$55.10	\$58.60	\$62.40	\$66.40
1½-inch	\$90	\$98	\$106	\$112	\$120	\$127
2-inch	\$142	\$155	\$165	\$175	\$190	\$200
3-inch	\$264	\$287	\$310	\$330	\$350	\$370
4-inch	\$437	\$475	\$510	\$545	\$580	\$615
6-inch	\$870	\$946	\$1,030	\$1,090	\$1,160	\$1,230
8-inch	\$1,390	\$1,512	\$1,630	\$1,740	\$1,850	\$1,970
10-inch	\$1,997	\$2,171	\$2,350	\$2,500	\$2,650	\$2,820
12-inch	\$2,864	\$3,113	\$3,360	\$3,580	\$3,800	\$4,050

# Water Fund 611 Cash Flow

FY19 Bills Based on Adopted Rates @ 12 HCF Water Use; FY20 – FY22 Bills based on Projected Rates @ 10 HCF Water Use; FY23 Bills based on Projected Rates @ 9 HCF Water Use

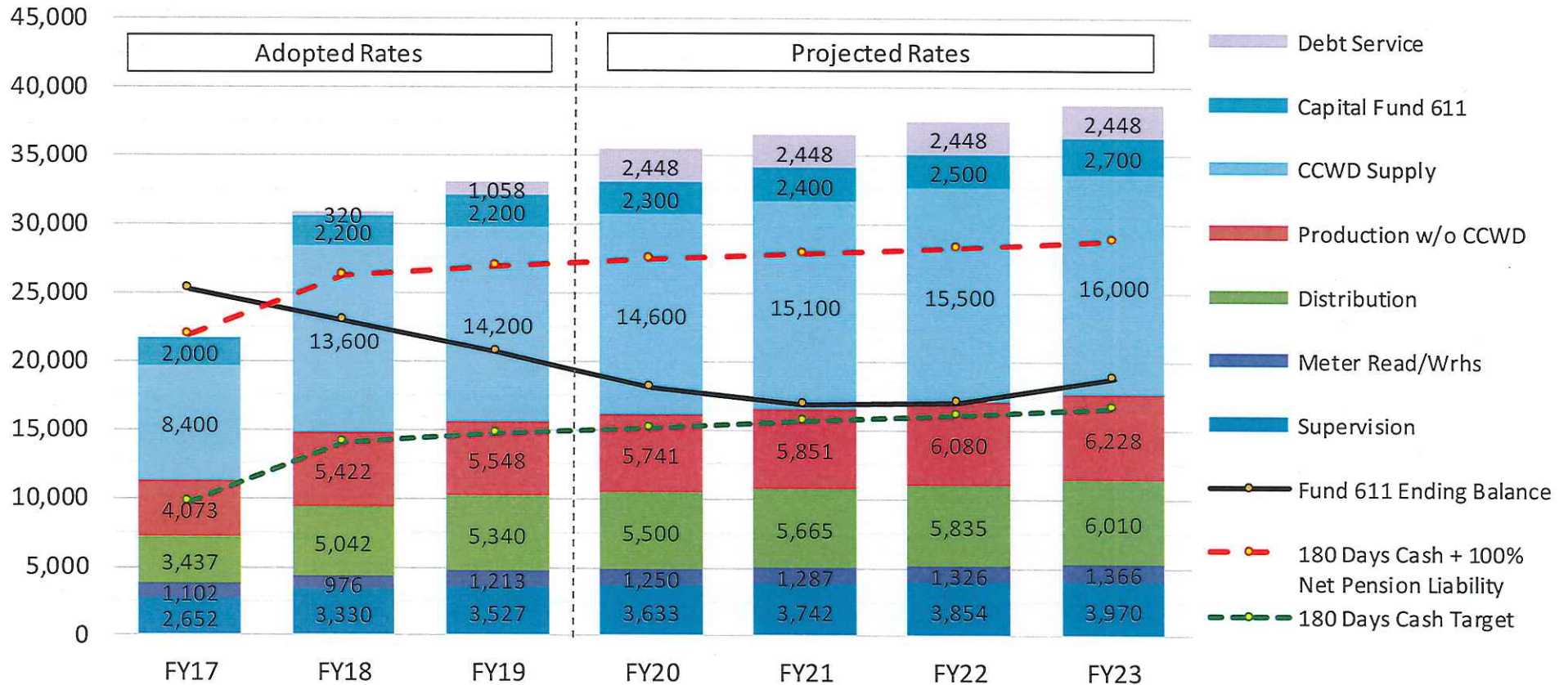
Water Fund 611 Cash Flow (\$ thousands)



# Water Fund 611 Cash Flow

FY19 Bills Based on Recommended Rates @ 12 HCF Water Use; FY20 – FY22 Bills based on Projected Rates @ 10 HCF Water Use; FY23 Bills based on Projected Rates @ 9 HCF Water Use

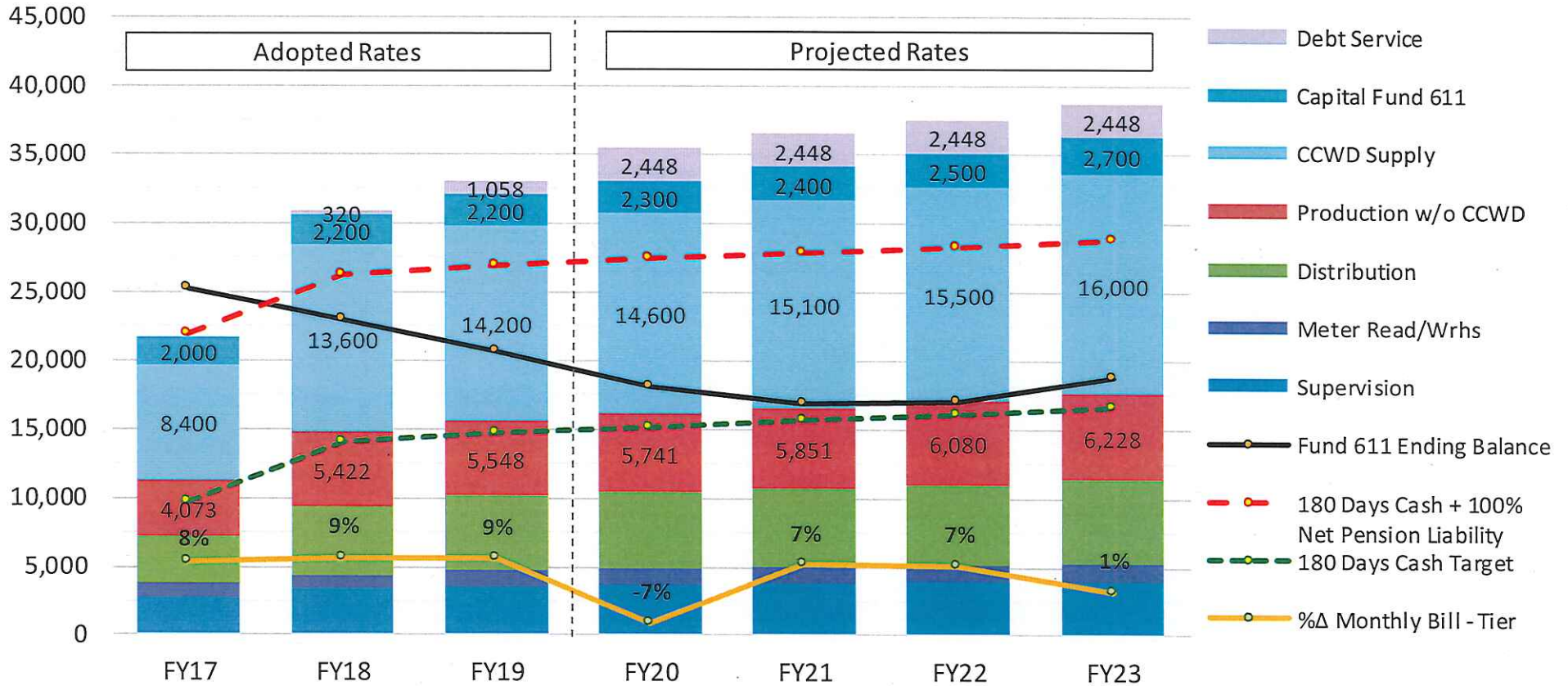
Water Fund 611 Cash Flow (\$ thousands)



# Water Fund 611 Cash Flow

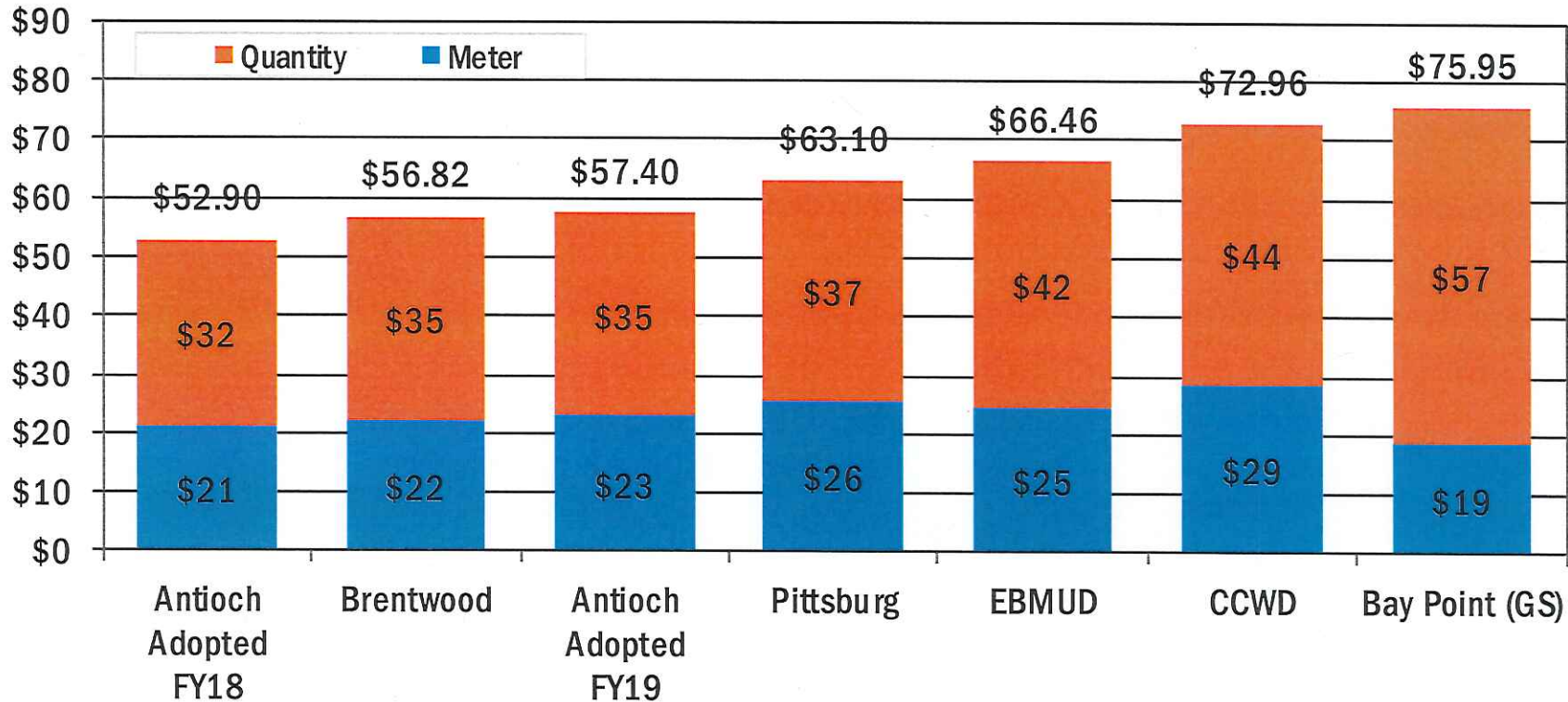
FY19 Bills Based on Recommended Rates @ 12 HCF Water Use; FY20 – FY22 Bills based on Projected Rates @ 10 HCF Water Use; FY23 Bills based on Projected Rates @ 9 HCF Water Use

Water Fund 611 Cash Flow (\$ thousands)



# Single Family Monthly Water Bills Survey

5/8-inch meter in Zone I; Note that comparison is with other municipalities' FY18 rates



Based on 10 HCF/month (246 gallons per day) water use

# Tiered v Uniform Rates for Single Family

FY18 Adopted v FY19 Adopted Tiered Rates (both 12 HCF Tier Break) and FY19 Using Uniform Rate

During **winter** months (Jan-Feb-Mar) **~85% of bills** have water use of **10 HCF** or less; these customers would see monthly bill *increases* of 8 – 20 percent with uniform rates versus 8 – 9 percent with tiered rates

Water Use		Adopted FY18 Bill	Tiered Rates		Uniform Rates	
HCF	gpd		Adopted FY19 Bill	Difference from FY18	FY19 Bill	Difference from FY18
0	0	\$21.20	\$22.90	\$1.70 8%	\$22.90	\$1.70 8%
10	246	\$52.90	\$57.40	\$4.50 9%	\$63.40	\$10.50 20%

# Tiered v Uniform Rates for Single Family

FY18 Adopted v FY19 Adopted Tiered Rates (both 12 HCF Tier Break) and FY19 Using Uniform Rate

During **summer** months (Jul-Aug-Sep) **~85% of bills** have water use of **20 HCF** or less – these customers would see monthly bill *increases* of 3 – 20 percent with uniform rates versus 8 – 9 percent with tiered rates

Water Use		Adopted FY18 Bill	Tiered Rates		Uniform Rates	
HCF	gpd		Adopted FY19 Bill	Difference from FY18	FY19 Bill	Difference from FY18
0	0	\$21.20	\$22.90	\$1.70 8%	\$22.90	\$1.70 8%
10	246	\$52.90	\$57.40	\$4.50 9%	\$63.40	\$10.50 20%
20	492	\$101.16	\$109.74	\$8.58 8%	\$103.90	\$2.74 3%

# Tiered v Uniform Rates for Single Family

FY18 Adopted v FY19 Adopted Tiered Rates (both 12 HCF Tier Break) and FY19 Using Uniform Rate

For all **12 months ~9% of bills** have water use **above** 20 HCF – these customers would see monthly bill *decreases* of up to 18 percent with uniform rates versus 8 – 9 percent increases with tiered rates

Water Use		Adopted FY18 Bill	Tiered Rates		Uniform Rates			
HCF	gpd		Adopted FY19 Bill	Difference from FY18	FY19 Bill	Difference from FY18		
0	0	\$21.20	\$22.90	\$1.70	8%	\$22.90	\$1.70	8%
10	246	\$52.90	\$57.40	\$4.50	9%	\$63.40	\$10.50	20%
20	492	\$101.16	\$109.74	\$8.58	8%	\$103.90	\$2.74	3%
30	738	\$153.56	\$166.54	\$12.98	8%	\$144.40	-\$9.16	-6%
40	984	\$205.96	\$223.34	\$17.38	8%	\$184.90	-\$21.06	-10%
50	1,230	\$258.36	\$280.14	\$21.78	8%	\$225.40	-\$32.96	-13%
100	2,460	\$520.36	\$564.14	\$43.78	8%	\$427.90	-\$92.46	-18%



# Community Benefits

- Many of our water pipes were built in the 1930s and 1940s—and some of our sewers are over 100 years old
- This comprehensive rate program is specifically designed to address these pressing needs
- By law, these rates can only be used to upgrade and maintain our aging water and sewer infrastructure—not for any other purposes
- Fiscal accountability is important to us—only the most essential projects necessary to ensure the safe storage and treatment of water and sewage are factored into these rate recommendations

# Sewer (left) and Water (right) Photos



**END OF PRESENTATION**

**QUESTIONS ???**



## STAFF REPORT TO THE CITY COUNCIL

**DATE:** Regular Meeting of April 10, 2018

**TO:** Honorable Mayor and Members of the City Council

**SUBMITTED BY:** Dawn Merchant, Finance Director *DM*

**REVIEWED BY:** Ron Bernal, City Manager

**SUBJECT:** Information on Section 115 Trust for Pensions

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### **RECOMMENDED ACTION**

It is recommended that the City Council discuss and direct staff regarding the establishment of a Section 115 trust for pension obligations.

### **STRATEGIC PURPOSE**

This action falls under Strategic Plan Long Term Goal O: Achieve and maintain financial stability and transparency.

### **FISCAL IMPACT**

Fiscal impacts are discussed and presented in the discussion following.

### **DISCUSSION**

During the discussion of the mid-year budget on March 13<sup>th</sup>, information was provided to Council on a Section 115 trust. Council requested information on potential earnings of a trust and the administrative fees associated to be brought back. The City contacted two firms that provide trust services: Public Agency Retirement Services (PARS) and Public Financial Management (PFM).

According to information received from PARS, they offer 5 investment strategies the City could choose from. The long-term investment returns range from 4.95% to 7.39% based on 30 year returns. Total fees range from .20% to .60% annually on a sliding scale based on the amount invested. If the City were to invest \$6.3M, our fees would be .50% annually (with no set up fees). If the City were to earn 4.95% in one year if market returns were favorable, potential earnings could be \$311,850 with fees of \$31,500 for a net return of \$280,350.

According to information received from PFM, they offer unlimited investment strategies based on what the City would want to invest in and how much risk we would want to take. PFM stated that most of their clients are not taking as much risk as CalPERS, and they also recommend that if the City would only be investing a lump sum amount on an annual basis for the unfunded liability portion of our CalPERS payment, to not invest in

a risky strategy (i.e. high stock percentage invested) as there is a lot of volatility in the market. In their opinion, a riskier investment strategy is only advisable if the money will be held for at least three years and not drawn. Average earnings have been 4.5% to 10% based on five year returns. However, looking forward to the future, PFM estimates this range will drop to between 3.5% and 7.5% due to recent stock market activity and the recent fed funds rate hike. Fees would be .45% (also on a sliding scale) with an additional \$6,000 custodial fee to Wells Fargo (with no set up fees). Total fees would then be approximately \$34,350, but the City would get an investment credit back annually that should absorb the majority, if not all, of the Wells Fargo fee. If 4.95% were assumed to match the PARS assumption, the potential earnings would be the same with fees potentially \$3,150 less if a credit on the Wells Fargo fee were realized.

In comparison, the City's portfolio has earned an annualized return of 3.49% since inception (over the last 23 years) as recently presented by our investment advisor to Council on February 13<sup>th</sup>. Earnings are then allocated monthly to each fund of the City based on cash balance so it is not targeted or earmarked for a specific pot of money.

Once established, the trust is irrevocable (no matter which firm the City selects). Funds can only be used to pay pension obligations and should the City decide to terminate the trust at any point in the future, the funds can only be transferred to another 115 trust or to CalPERS directly. There are no termination fees. Funds in a trust would not reduce the City's unfunded liabilities on the balance sheet of our financial statements; however, they would not be available for any other use and would reflect being obligated for pensions in the net position section of the financials.

In 2008, the City Council approved participation in the CalPERS CERBT trust for our OPEB liabilities and set aside \$7,516,505 in that trust. This amount has grown to just under \$12.1M as of December 31, 2017 due to some additional contributions and interest. However, the trust for OPEB differs slightly than establishing one for pensions as the amount set aside for OPEB directly offsets the OPEB liability (and is accounted for in the \$58,121,753 OPEB unfunded liability in the table on the next page).

Should the Council direct that they want a trust established, there are two options:

(1) Set aside an amount annually to cover the upcoming unfunded liability payment for the next fiscal year. Although the total unfunded liability payment is split evenly and paid over 26 pay-periods to CalPERS, we have confirmed with both firms we obtained information from that the City could pay this upfront outside of the trust and then request reimbursement at the end of the fiscal year to capture the most interest earnings as possible on the amount set aside verses drawing the balance down every two weeks and reducing interest earnings potential; or

(2) The Council could determine a lump sum amount to set aside and remain in the trust to earn maximum interest to help offset future pension increases in the pipeline from the effects of the shorter amortization period being implemented.

If a trust is established, this money then becomes committed to pension obligations and is a committed reserve of the General Fund. This means it reduces the amount

calculated for “unassigned” fund balance the City currently uses as a means to determine the fund balance level and percentage required under the City reserve policy. The table below demonstrates how the trust would affect our unassigned “available” fund balance under the current reserve policy:

	<b>2017-18 Budget</b>	<b>2017-18 Budget w/Trust</b>
<b>Ending Balance, June 30</b>	<b>\$14,066,643</b>	<b>\$14,066,643</b>
Committed-Pension Trust	0	6,300,000
Committed-Comp. Absences	112,147	115,000
Committed-Litigation Reserve	500,000	500,000
<b>Unassigned Fund Balance</b>	<b>\$13,454,496</b>	<b>\$7,151,643</b>
<b>Percentage of Revenue</b>	<b>24.31%</b>	<b>12.92%</b>

As you can see, under the current reserve policy, the establishment of the trust would drop General Fund “unassigned” reserves below 20% and would require \$3,916,679 from the Budget Stabilization Reserve fund established to bring the General Fund unassigned fund balance to exactly a 20% level. On March 13<sup>th</sup>, Council approved establishing the Budget Stabilization Reserve fund in the amount of \$14,872,454. This would be reduced to \$10,955,775 to supplement General Fund reserves in 2017-18. Alternatively, the Council could amend the current reserve policy to not calculate the Section 115 trust balance in the formula.

If directive is given to establish a trust, the City will need to send out a Request for Proposal and will then be able to get more concrete facts and numbers to evaluate in selecting a firm.

As previously provided, below is a historical snapshot of the City’s unfunded liabilities:

<b>Plan</b>	<b>6/30/13</b>	<b>6/30/14</b>	<b>6/30/15</b>	<b>6/30/16</b>	<b>6/30/17</b>
Miscellaneous	\$24,180,970	\$42,718,114	\$42,985,949	\$45,209,182	\$54,239,873
Safety	21,107,761	35,225,264	33,459,081	37,561,170	46,835,514
Police Supp.	1,693,000	1,959,000	2,001,333	1,065,673	652,945*
OPEB	30,978,000	37,669,000	37,669,000	58,121,753	58,121,753
	<b>\$77,959,731</b>	<b>\$117,571,378</b>	<b>\$116,115,363</b>	<b>\$141,957,778</b>	<b>\$159,850,085</b>


\*Police Supplementary Plan paid off in FY18



## STAFF REPORT TO THE CITY COUNCIL

**DATE:** Regular Meeting of April 10, 2018

**TO:** Honorable Mayor and Members of the City Council

**SUBMITTED BY:** Dawn Merchant, Finance Director 

**REVIEWED BY:** Ron Bernal, City Manager

**SUBJECT:** Consideration of Projects under the One-Time Revenue Policy

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### **RECOMMENDED ACTION**

It is recommended that the City Council discuss and allocate one-time revenues to projects.

### **STRATEGIC PURPOSE**

This action falls under Strategic Plan Long Term Goal O: Achieve and maintain financial stability and transparency.

### **FISCAL IMPACT**

Under the City's one-time revenue policy, \$537,725 is available for spending on one-time projects out of the General Fund. This amount was appropriated for during the mid-year budget review on March 13<sup>th</sup>; however, the Council now needs to allocate the amount to a specific project or projects.

### **DISCUSSION**

The City has a one-time revenue policy that outlines that a minimum 50% of one-time revenues received by the City, which will include non Police salary savings, be contributed to unfunded liabilities with the remainder to be used on one-time projects as directed by City Council. For fiscal year 2016-2017, the only one-time revenues under this policy were non Police salary savings totaling \$1,389,250; of which 50% was allocated to unfunded liabilities and on February 13<sup>th</sup>, Council allocated \$200,000 to Prewett concrete repairs leaving a remaining balance of \$494,625. In the current fiscal year, the City received one time revenues totaling \$86,200 for franchise agreements approved by Council in November 2017. As these are one-time payments, 50% of this was allocated to unfunded liabilities and the remaining 50% (\$43,100) may be used for one time projects. A total of \$537,725 is now available. Staff, with some additions from Councilmember Ogorchock, has compiled the following list of possible uses for the remaining funds which would be in addition to any other Council suggestions:

<b>Project</b>	<b>Estimated Cost</b>
Replace Senior Center kitchen counter linoleum	\$14,000
Replace NRCC Kitchen: counters, cabinets, appliances	\$18,000
Paint outside on NRCC and Senior Center	\$20,000
Replace ASC lobby carpeting with ADA material	\$25,000
Replace ASC toilets; upgrade plumbing	\$25,000
Water cooler/drink fountain NRCC/ASC	\$2,000
Floor maintenance and cleaning equipment for recreation	\$8,000
NRCC & ACS maintenance & Repair needed: rekey, upgrade door handles, replace ceiling tiles, upgrade lights	\$20,000
Update or replace Animal Services HVAC	\$125,000 to update; \$750,000 to replace
Welcome City signage at freeway exits	\$400,000-\$700,000 depending on scale
Utility box paint project	\$50,000
Additional string lights downtown	\$10,000-\$20,000
Paint downtown light poles black	\$30,000-\$60,000
Special District studies for downtown areas	\$25,000 each
Waldie Plaza upgrades	\$700,000
Amtrak station remodel matching funds	\$100,000
L Street improvements	\$700,000 + matching funds
ADA improvements at City Hall	\$100,000-\$200,000
Chichibu park play structure replacement	\$500,000
Hillcrest & Deer Valley landscape median improvements	\$49,000
Lone Tree Way south of HWY 4 median improvement	\$200,000
LED retrofit of all City light poles	\$1,900,000
General Plan Update – set aside for 2023 update	\$100,000
License Plate Readers (stand alone) and community cameras	\$140,000
License Plate Readers for two Police vehicles	\$40,000
Body cameras for Police	\$150,000 first year and then \$175,000/yr for 4 yrs (\$850,000 total)

Of course, the Council may also direct that all remaining funds be diverted to the City's unfunded liabilities as the policy states "a minimum" of 50% will be applied to unfunded liabilities.

Many of the listed projects far exceed the amount of funds available under the one-time revenue policy. General Fund reserves would need to be appropriated should the Council decide to spend additional funds beyond what has already been approved (\$537,725). A budget summary follows incorporating the amendments approved on March 13<sup>th</sup> (which does already include the \$537,725)



so that Council can review the current General Fund budget in conjunction with the consideration of projects.

### Budget Summary

	<b>2017-18 Budget</b>	<b>2018-19 Budget</b>
<b>Beginning Balance, July 1</b>	<b>\$31,015,218</b>	<b>\$14,066,643</b>
<b>Revenue Source:</b>		
Taxes	39,751,302	41,053,998
Taxes – Measure C	6,756,900	6,928,325
Licenses & Permits	1,210,941	1,210,000
Fines & Penalties	135,000	135,000
Investment Income & Rentals	725,000	735,000
Revenue from Other Agencies	691,063	836,708
Current Service Charges	1,697,606	1,672,942
Other Revenue	1,327,828	708,540
Transfers In	3,045,972	2,950,019
<b>Transfer from Budget Stabilization</b>	<b>0</b>	<b>2,423,838</b>
<b>Total Revenue</b>	<b>55,341,612</b>	<b>58,654,370</b>
<b>Expenditures:</b>		
<b>One-Time Projects</b>	<b>537,725</b>	<b>0</b>
<b>Transfer to Stabilization</b>	<b>14,872,454</b>	<b>0</b>
Legislative & Administrative	1,006,323	1,169,868
Finance	153,743	235,236
Nondepartmental	3,062,252	906,362
Public Works	8,031,665	8,065,021
Police Services	29,141,455	35,197,182
Police Services-Measure C	9,125,710	6,303,241
Police Services-Animal Support	732,753	1,004,528
Recreation/Community Svs.	1,133,817	1,240,968
Community Development	3,913,175	3,906,880
Code Enforce. – Measure C	579,115	625,084
<b>Total Expenditures</b>	<b>72,290,187</b>	<b>58,654,370</b>
Surplus/(Deficit)	(16,948,575)	0
<b>Ending Balance, June 30</b>	<b>\$14,066,643</b>	<b>\$14,066,643</b>
Committed-Comp. Absences	112,147	115,000
Committed-Litigation Reserve	500,000	500,000
<b>Unassigned Fund Balance</b>	<b>\$13,454,496</b>	<b>\$13,451,643</b>
<b>Percentage of Revenue</b>	<b>24.31%</b>	<b>22.93%</b>



## STAFF REPORT TO THE CITY COUNCIL

**DATE:** Regular Meeting of April 10, 2018

**TO:** Honorable Mayor and Members of the City Council

**SUBMITTED BY:** Nancy Kaiser, Parks and Recreation Director *Nancy Kaiser*

**SUBJECT:** **APPROVE A CIVIC ENHANCEMENT GRANT PROGRAM TO SUPPORT COMMUNITY EVENTS AND IMPROVEMENT PROJECTS**

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### **RECOMMENDED ACTION**

It is recommended that the City Council approve a Civic Enhancement Grant Program to support community events and improvement projects that originate with nonprofit organizations.

### **STRATEGIC PURPOSE**

**Strategy F-1:** Improve the City's Business Processes  
Improve customer services

**Strategy J-1:** Increase Use of City's facilities and programs  
Build awareness of programs, services and community events

Special events and grass-roots community projects remind us of Antioch's rich heritage. They strengthen civic pride and support the mission of many nonprofit businesses and organizations. It is the City's goal to assist nonprofit organizations by creating and implementing a grant program to fund civic events and enhancement projects in an objective and efficient manner.

### **FISCAL IMPACT**

During Mid-Year Budget Review on March 13, 2018 the City Council approved \$50,000 each year for Fiscal Year 17-18 and Fiscal Year 18-19 from the General Fund to support the grant program.

### **DISCUSSION**

Antioch's community nonprofit organizations play an important role in the vibrancy of the community. By design, nonprofits are dedicated to the common good and measure success according to quality of life and not quantity of profit. They embrace community as their ultimate objective. Nonprofits deliver services and bring citizens together when other entities are unable. A majority of nonprofit organizations have small operating budgets and with a little assistance, their impact is felt community-wide.

To streamline the process for requesting funds from the City of Antioch, the City Council requested that staff develop a grant program to support civic enhancements that would provide an open application for all nonprofits, an objective process for reviewing requests, and a timeline that was clear and easy to follow. Attachment “A” outlines the proposed grant program and procedures as follows:

- Description of how and what the funds can be used for;
- Applicant eligibility;
- Directions on how to apply;
- Instructions and forms for applying for funding;
- Description of where and when funds can be used.

Applicants must be a nonprofit entity that is recognized by the IRS, Letter of Determination. All events proposed for funding must be open to the public, take place within the over-arching boundaries of the Antioch City Limits and be committed during July 1 and June 30 of the Fiscal Year for which the grant is awarded. Projects and activities must be performed directly for the benefit and enjoyment of all Antioch residents and open to the public and all citizens. General city beautification within Antioch and improvements to, or operation of, arts and cultural facilities are encouraged.

Attachment “B” is a draft application form that requests applicant information, amount of funding requested, total project budget, and a detailed description of the event or activity.

Civic grants are typically administered in the late summer/fall each year to coincide with the calendar year to implement events and projects. Staff recommends that the City process a one-time accelerated grant program in May 2018 to utilize the Fiscal Year 17-18 approved budget. Then, in Fiscal Year 18-19 staff would launch the grant program to coincide with the late summer/fall schedule for ease of program management by staff and project/event implementation in 2019.

The City is utilizing the current Transient Occupancy Tax (TOT) funds to fund summer concerts at Waldie Plaza and beginning Fiscal Year 2020-22 may decide to incorporate TOT and General Fund revenues together towards funding civic enhancements, concerts and other community engagement activities.

## **ATTACHMENT**

- A. Civic Enhancement Grant Policy and Procedures
- B. Civic Enhancement Grant Application

# ATTACHMENT A

## CITY OF ANTIOCH CIVIC ENHANCEMENT GRANTS POLICY



## Introduction

The City of Antioch offers one-time grants to provide funding that support operations, marketing and promotions for Antioch special events, historic and cultural activities, and facilities that enhance civic pride and strengthens community engagement within the City. Grants are funded by revenues from City Transient Occupancy Taxes (TOT) and/or the General Fund and approved by the City Council. Applications will be reviewed by the City and the Antioch City Council makes the final grant award decisions.

Funds may only be used for:

- Activities performed directly for the benefit and enjoyment of all Antioch residents; open to the public and all citizens.
- Improvements to or operation of arts and cultural facilities
- General city beautification

Applicants and grant recipients must meet certain reporting requirements and deadlines. This may include reports of how grant funds from previous fiscal years and or grantors were used.

## Applicant eligibility

To be eligible for civic enhancement grants, organizations must be a non-profit corporation with tax-exempt status under section 501(c) (3), 501(c) (4), or 501(c) (6) of the Internal Revenue Code. Organizations must provide a copy of their current 501(c) (3), 501(c) (4), or 501(c) (6) IRS determination letter when submitting an application. Private individuals are not eligible to submit applications for programs, events or projects.

## How to apply

Applications for grants are only accepted during the submission period, which occurs once a year in the fall. City funds that are budgeted for grants are available on July 1<sup>st</sup> of the Fiscal Year and must be committed by June 30<sup>th</sup>, which is the end of the Fiscal Year.

- Organizations should attend a Grant Orientation meeting to obtain the application packet, ask questions about funding, meet City staff, and plan for utilizing the funds in the next fiscal year. The meeting is not mandatory, but may be helpful for new nonprofits or first time applicants.

The Grant Orientation meeting will typically be held in September or October of each year.

- Organizations must meet all the applicant requirements detailed in the current application packet. Read the instructions and all application materials very carefully.
- Complete and submit all of the application materials listed on the grant application checklist. Applications missing any of the required materials will not be considered for funding. Please note that official budget reports and fiscal statements from the nonprofit organization will be a required item.

## Application forms

Applications for Civic Enhancement Grants will be available after July 1<sup>st</sup> each year. The application may be down loaded from the City of Antioch website: [www.ci.antioch.ca.us](http://www.ci.antioch.ca.us) or picked up from the following locations:

- Antioch Community Center, 4703 Lone Tree Way, Antioch
- City Clerk counter, City Hall, 200 H Street, Antioch

## Types of grants

- Activities performed directly for the benefit and enjoyment of all Antioch residents; open to the public and all citizens.
- Improvements to or operation of arts and cultural facilities in Antioch
- General city beautification within Antioch

All events proposed for funding must be:

- Open to the public
- Take place within the over-arching boundaries of the **Antioch City Limits**
- Committed and/or scheduled between July 1 and June 30 of the fiscal year for which the grant is awarded

For more information about the City of Antioch Civic Enhancement Grants please call the Antioch Recreation Department at (925) 776-3050.

## ATTACHMENT B

CITY OF ANTIOCH  
CIVIC ENHANCEMENT GRANTS APPLICATION  
FISCAL YEAR ( )



### 1. Introduction

This application should be used by nonprofit organizations requesting funding from the City's Civic Enhancement Grant Program.

Funds may only be used for:

- Activities performed directly for the benefit and enjoyment of all Antioch residents; open to the public and all citizens.
- Improvements to or operation of arts and cultural facilities
- General city beautification

Applications are due (\_\_\_\_\_).

While pleased to contribute toward enhancement activities, the city is interested in investing where other funding entities also contribute to the cost of programs, events and projects. Please describe in detail the program, event or project that you would like the City to support; other funders and supporters, and the positive impact it will have on the community.

Funding disbursements will be made after the nonprofit has been notified from the City. The city reserves the right to adjust grant awards based upon budgetary circumstances following the adoption of the Fiscal Budget.

Submit **one (1) original** of the application packet and three (3) copies. Note: All attachments to the application must be included in the original and all copies. You may send your application electronically in PDF format.

The application package must include the following:

- (1) **Completed application form**
- (2) **IRS 501 (C) Tax Exemption Determination Letter**
- (3) **Current List of the Organization's Board of Directors**
- (4) **Organization's Most Recent Audit/Financial Statement**
- (5) **Evidence of Insurance** (Listing of policies by type and coverage amount, indicating policy end dates, or copies of certificates of insurance.)
- (6) **IRS Form 990**

# ATTACHMENT B

CITY OF ANTIOCH  
CIVIC ENHANCEMENT GRANTS APPLICATION  
FISCAL YEAR ( )



## 2. Application

**Name of Applicant/Organization:**

\_\_\_\_\_

**Applicant Contact Information:**

Project Manager: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Physical Address (if different than mailing address): \_\_\_\_\_

**Amount of City Funds Requested:** \$ \_\_\_\_\_

Total Project or Event Budget: \$ \_\_\_\_\_

**Description of Activity:** (attach up to one additional page total if necessary)

**Explain why financial assistance from the City is necessary to provide these services:**

## ATTACHMENT B

CITY OF ANTIOCH  
CIVIC ENHANCEMENT GRANTS APPLICATION  
FISCAL YEAR ( )



**List other funding sources that will be used or requested in order to support the program, event or project. What funding will you add to the City grant?**

**Explain the effect upon these services if the City does not fund your request or if the award is less than requested:**

**How does this program or project create a unique, positive and valuable impact in our community?**

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Signature: Applicant Authorized Representative

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Date

Applications must be received by the (department, public counter, etc. TBD)