

HILLCREST PROFESSIONAL CENTER



3428 – 3440 Hillcrest Avenue, Antioch, California

SIGN CRITERIA



DSIGNART

190 N. Wiget Lane, Suite 275
Walnut Creek, CA 94598
Tel. 925 - 933 - 9677
Fax 925 - 933 - 9784
E-mail: info@dsignart.com
Website: www.dsignart.com

RECEIVED

JUL 26 2005

CITY OF ANTIOCH
COMMUNITY DEVELOPMENT

General Criteria:

Purpose:

The Hillcrest Professional Center Signage Criteria has been established for the purpose of assuring a functional, coordinated graphics program that will provide center and Tenant identification, while encouraging creativity, compatibility, and enhancement of the professional center in the City of Antioch.

Design Intent:

The guidelines of this program are designed to complement architectural elements of the existing buildings and coordinate the type, placement, and physical dimensions of signs within the professional business center thereby appearing as an integral part of the center and not appearing as an after thought.

In cases not covered by Hillcrest Professional Center Signage Criteria, the prevailing criteria will follow the City of Antioch Sign Ordinance in force.

Approvals and Permit:

Each Tenant/Owner will be provided with a copy of the Signage Criteria as their first step in obtaining signs within the Hillcrest Professional Center. Compliance with this signage program will be strictly enforced. Any non-conforming or unapproved sign installed by Tenant/Owner must be brought into compliance at Tenant's/Owner's expense.

These criteria shall not imply that any governmental approval will be automatically granted. Tenant/Owner is solely responsible for obtaining any and all required approvals from governmental agencies and shall obtain all permits from the City of Antioch Planning Department and Building Department.

General Requirements:

- a) Each Tenant/Owner is required to submit to Hillcrest Owners Association for approval before fabrication, at least four (4) copies of detailed design drawings indicating the location, size, copy layout, colors, materials, finishes, and method of attachment.
- b) All permits for signs and their installation shall be obtained by Tenant/Owner, at Tenant's/Owner's sole expense prior to installation.
- c) All signs shall be constructed, installed and maintained at Tenant's/Owner's sole expense.
- d) All signs shall be designed consistent with the City of Antioch's adopted sign design guidelines for signs.
- e) Tenant/Owner shall be responsible for fulfillment of all governmental requirements and specifications, including those of the City of Antioch and Uniform Electric Code.

- f) All signs shall be reviewed for compliance with the above mentioned criteria, as well as processed through a secondary review concerning overall design quality. Approval or disapproval of sign submittals based on aesthetics of design shall remain the right of Hillcrest Owners Association and the City of Antioch.

Specific Design Criteria:

- a) All signs should meet or exceed all current applicable codes (i.e. electrical, mechanical, structural, etc)
- b) Signage should meet all requirements of the State of California and the City of Antioch.
- c) Sign content shall be limited to business identification signs only; products or service shall not be displayed on any permanent signage.
- d) The choice of copy font and colors shall be at discretion of the Tenant/Owner and shall be approved by Hillcrest Owners Association.
- e) All exterior signs shall be secured by stainless steel, nickel, or cadmium plated fasteners.
- f) All exposed fasteners to be painted to match the background surface.
- g) All exterior signs exposed to the weather shall be flush mounted, unless otherwise specified.
- h) All penetrations of the building structure by Tenant's/Owner's sign contractor required for sign installation shall be neatly sealed and watertight.
- i) All identification labels shall be concealed, except where required by code.
- j) Sign contractors shall repair any damage caused by their work. Damage to structure that is not repaired by the sign contractor shall become the Tenant's/Owner's responsibility to correct.
- k) Tenant/Owner shall be fully responsible for the operation of their sign contractor, and shall indemnify, defend and hold the Hillcrest Owners Association harmless from damages or liabilities on account thereof.
- l) Sign surfaces that are intended to be flat shall be without oil canning, or other visual deformities.
- m) The general location of wall signs shall be centered vertically and horizontally on fascias, unless otherwise specified. Signs shall not cover or interrupt major architectural features.

Administration:

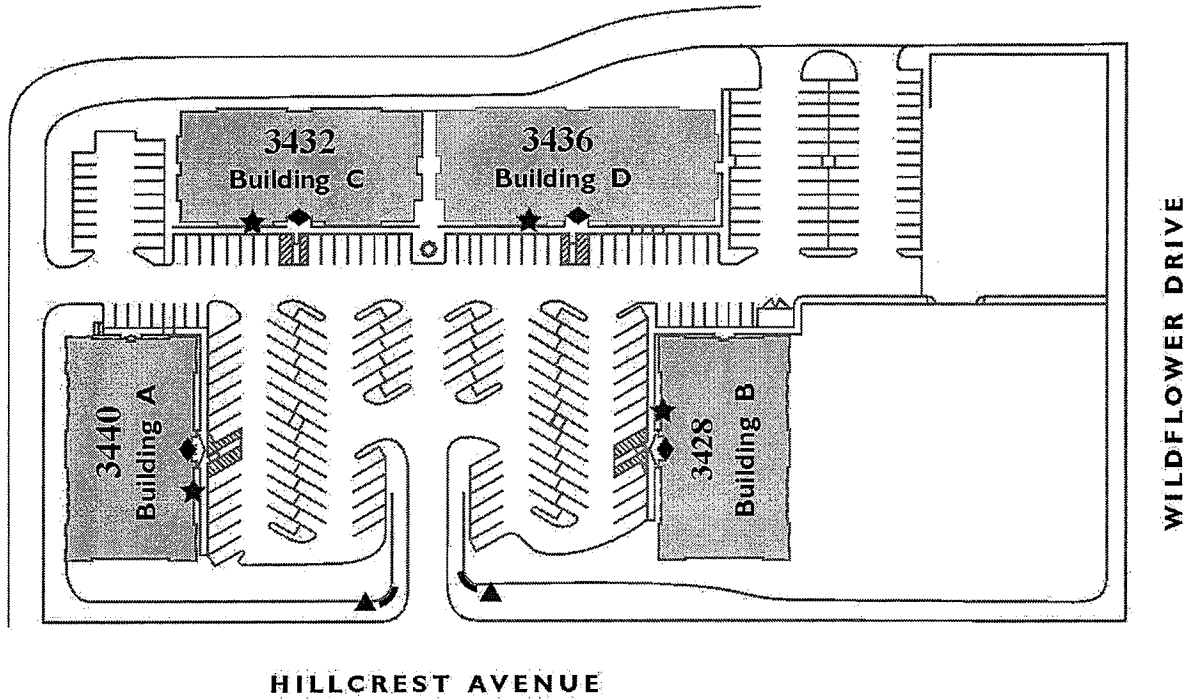
- a) Hillcrest Owners Association reserves the right to hire an independent sign consultant or engineer (at Tenant's/Owner's sole expense) to inspect the installation of all signs, and reserves the right to require that any discrepancies and/or code violations be corrected at Tenant's/Owner's expense.
- b) The sign contractor shall carry workman's compensation and public liability insurance against all damage suffered or performed against any and all persons or property while engaged in the construction or erection of signs in the amount of \$1,000,000 per occurrence.
- c) At the expiration, or early termination of Tenant's lease term, Tenant shall be required to remove their signs, patch the fascia and paint the entire fascia area to match the surrounding areas at Tenant's expense within seven (7) days.
- d) Sign contractors shall be advised (by Tenant/Owner) that no substitutes will be accepted whatsoever unless so indicated in specification and approved by Hillcrest Owners Association. Any deviation from these specifications may result in the rejection of the sign by Hillcrest Owners Association. In the event any conflict in the interpretation of these guidelines cannot be satisfactorily resolved, the Hillcrest Owners Association decision shall be final and binding upon the Tenant/Owner.

Prohibited Signs:

- a) No sign shall be installed, relocated or maintained so as to prevent entry or exit out of any door.
- b) No sign shall create a safety hazard by obstructing view of pedestrian and vehicular traffic.
- c) No sign shall be located within a required easement, unless an encroachment permit has been authorized by the affected utilities.
- d) No sign shall obstruct access to fire hydrants, fire department connections, or fire department access roads.
- e) Signs on/ or affixed to trucks, automobiles, trailers or other vehicles which advertise, identify, or provide direction to a use or activity not related to its lawful making of deliveries or sales of merchandise or rendering of services from such vehicles are prohibited when such vehicles are located on the center.
- f) Signs, which audibly advertise, identify or provide direction to a use or activity, are prohibited.
- g) It is unlawful for any Tenant/Owner to exhibit, post or display or cause to be exhibited, posted or displayed upon any sign, anything of an obscene, indecent, or of immoral nature or unlawful activity.
- h) Painted wall signs are prohibited.

- i) Permanent advertising devices such as attraction boards, posters, banners and flags are prohibited, except where approved by Hillcrest Owners Association and the City of Antioch.
- j) Window signs are prohibited, except where approved by Hillcrest Owners Association.

Signage Plan:

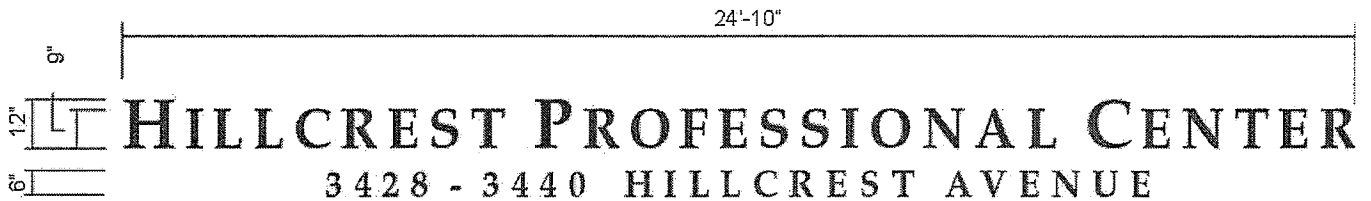


LEGEND	SIGN TYPE	QTY.
▲	MAIN IDENTIFICATION MONUMENT	2
◆	BUILDING ADDRESS NUMBERS	4
★	TENANT WALL SIGNS	4

HILLCREST PROFESSIONAL CENTER

Center Identification Monument:

- Description:** Two curved retaining walls at the entrance to the center
Content: Center identification / building address
Structure: Existing retaining walls, colors to match center's building colors
Letters: Individual dimensional bronze letters, stud-mounted 1/2" off the wall.



Elevation – Dimensional Letters mounted onto existing retaining walls



Elevation - Center Identification Monument

Building Identification:

Description: Freestanding individual numbers mounted above canopy

Content: Building address numbers

Size: 18" high numbers

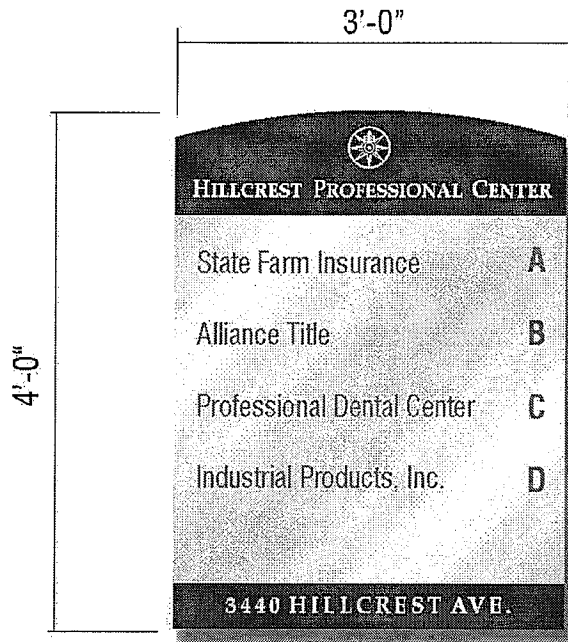
Numbers: Individual dimensional numbers with silver finish



Elevation- Building Identification

Wall Mounted Tenant Directory:

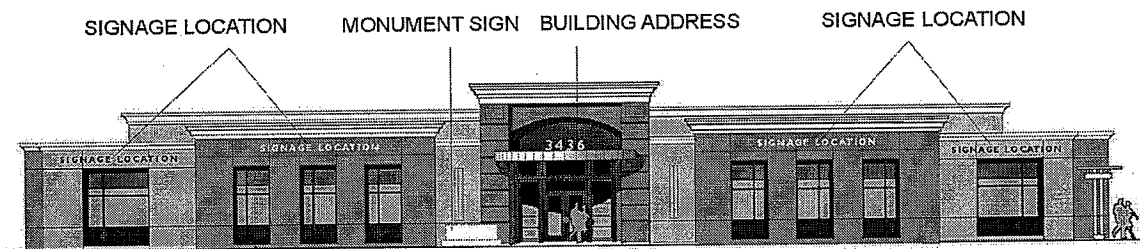
Description: Wall Mounted sign
Content: Tenant/Owner business names
Size: 4'-0" x 3'-0" overall size
Colors: Dark bronze and satin silver panels
Tenant/Owner ID: Dark grey vinyl copy



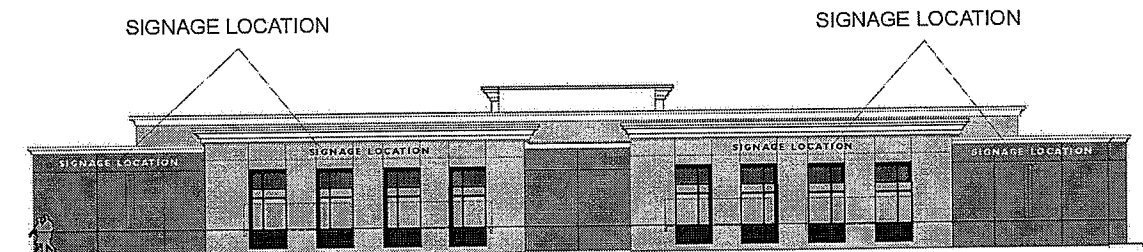
Wall Mounted Tenant/Owner Identification:

- Description:** Individual dimensional letters mounted on the wall.
Content: Tenant/Owner Business Name
Size: Max. 12" high letters, min. 4" high letters
Construction: 3/4" thick dimensional letters with bronze or silver finish
Length: Not to exceed sixteen feet 16'-0"
Area: Not to exceed sixteen square feet (16 sq. ft.)
Quantity: Up to two (2) signs per Tenant/Owner, based on one (1) sign on the front and one (1) sign on the rear elevation (No more than one sign per elevation)
Illumination: Illuminated letters are not allowed

Note: Tenants must occupy a minimum of 3000 sq. ft. in order to qualify for a wall mounted sign.



Building Front Elevation - Typical



Building Rear Elevation - Typical

**ANTIOCH CITY DESIGN REVIEW BOARD
RESOLUTION NO. 2005/33**

WHEREAS, the Design Review Board of the City of Antioch did receive a request from DSIGNART, requesting design review approval of a sign program for the Hillcrest Professional Center located at 3428-3440 Hillcrest Avenue (S-05-08); and

WHEREAS, the Design Review Board on August 24, 2005, duly held a hearing, received and considered evidence, both oral and documentary.

NOW THEREFORE BE IT RESOLVED that the Design Review Board of the City of Antioch does hereby APPROVE signage for the Hillcrest Professional Center (S-05-08) subject to the following conditions:

STANDARD CONDITIONS

1. That the City of Antioch Municipal Code be complied with.
2. That building permits shall be obtained prior to installation of signage.
3. That City staff inspect the site for compliance with conditions of approval prior to final inspection.
4. That conditions required by the Design Review Board, which call for a modification or any change to the site plan submitted, be corrected to show those conditions and all standards and requirements of the City of Antioch prior to any submittal for a building permit. No building permits will be issued unless the site plan meets the requirements stipulated by the Design Review Board and standards of the City.
5. That this approval expires with the Planned Development for the project.
6. That signs shall not encroach into the public right-of-way.
7. That the proposed signage and finish colors conform to the sign plans approved by the Board.
8. That the applicant shall defend, indemnify and hold harmless the City in any action brought by a third party to challenge the land use entitlement.

PROJECT SPECIFIC CONDITIONS

9. That this project complies with the conditions of approval of PD-04-04, UP-04-07, and AR-04-10.

10. That the placement of landscaping, retaining walls, and signage shall not interfere with sight distance requirements as approved by the City Engineer.

11. That the sign program shall be revised as noted below and that revisions be incorporated into a final copy prior to issuance of any sign permits.

- Specific Design Criteria (d) (p.2). : *The choice of copy font shall be at the discretion of the tenant/owner and shall be approved by the Hillcrest Owners Association and Planning Division Staff. Proof of Hillcrest Owners approval shall be required at issuance of sign permits. Logos and letters shall be bronze only.*
- *Wall mounted Tenant/Owner identification (p.9). **Construction:** ¼ thick dimensional letters with bronze finish. Eliminate graphic and reference to monument sign.*

12. That page 4 of 5 of the Hillcrest Professional Center Sign Criteria item j be revised to read: j) Window signs are prohibited, except where approved by Hillcrest Owners Association and do not exceed coverage allowed by the City of Antioch.

* * * * *

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Design Review Board of the City of Antioch, County of Contra Costa, State of California, at a regular meeting of said Design Review Board held on the 24th day of August , 2005, by the following vote:

AYES: **Golightly, Devine, Edwards and Miller**

NOES:

ABSTAIN:

ABSENT:

Erin Davenport, Secretary to the
Design Review Board