



45 x 80 STREETSCENE

# PROMENADE AT SAND CREEK

PHASE 4, 5, & 6  
 ANTIOCH, CALIFORNIA



50 x 90 STREETSCENE

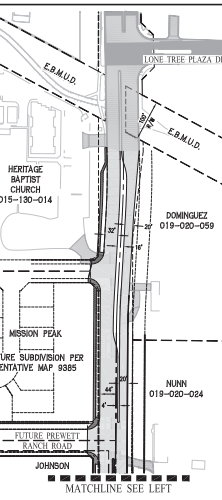
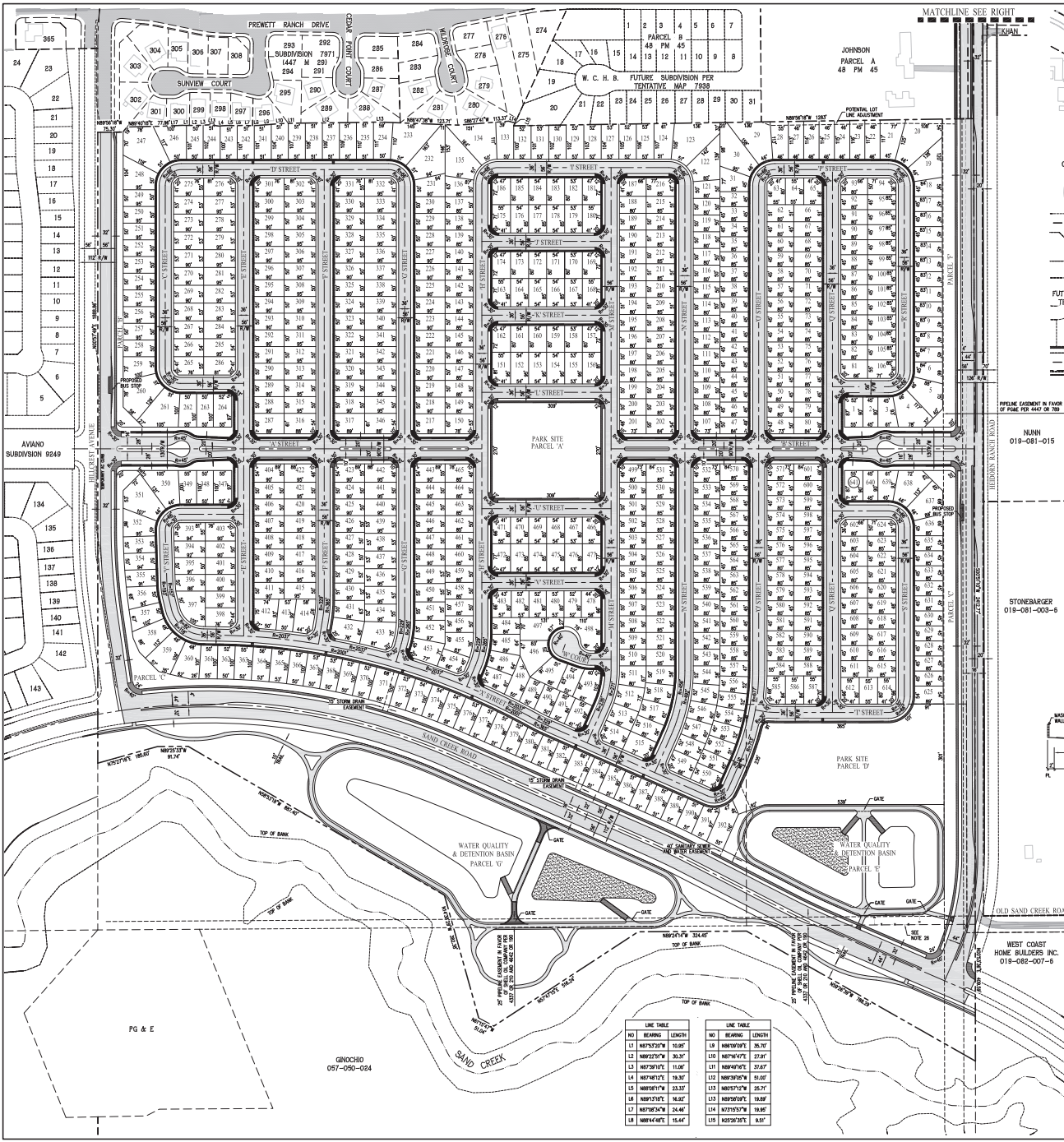
**DESIGN REVIEW SUBMITTAL**

7 PAGES CIVIL: CBG VTM AND DEVELOPMENT PLAN

10 PAGES LANDSCAPE: HMH PRELIMINARY LANDSCAPE PLANS

42 PAGES ARCHITECTURE : OAG PLANNING SUBMITTAL DATED 5/14/2021





**GENERAL NOTES**

- PROPERTY OWNERS: PETER ECKHOFF ET AL (097-00-007) SHELL WESTERN OIL, INC (097-00-000)
- APPLICANT/DEVELOPER: GRI PARTNERS, LLC 3800 BLACKHAWK ROAD DANVILLE, CA 94504
- ENGINEER: CARLSON, BARBER & OGBON, INC. 3802 CANTON PLACE, SUITE 200 SAN FRANCISCO, CA 94118 PHONE: (510) 946-4322
- SOILS ENGINEER: ENZEL, INC. 2000 CANTON PLACE, SUITE 200 SAN FRANCISCO, CA 94118 PHONE: (510) 946-4322
- USE: EXISTING - AGRICULTURAL; PROPOSED - SINGLE FAMILY DETACHED RESIDENTIAL
- GENERAL PLAN: EXISTING - SAND CREEK FOCUS AREA WITH SUBCATEGORIES OF "MEDIUM DENSITY RESIDENTIAL" AND "OPEN SPACE"; PROPOSED - SAND CREEK FOCUS AREA WITH SUBCATEGORIES OF "MEDIUM DENSITY RESIDENTIAL" AND "OPEN SPACE"
- ZONING: EXISTING - STUDY AREA; PROPOSED - PLANNED DEVELOPMENT (PD)
- LAND AREA SUMMARY:
 

RESIDENTIAL LOT AREA	AREA ACRES
PRIVATE OPEN SPACE	10.54 ACRES
PUBLIC STREET	287.4 ACRES
PRIVATE STREET	17.8 ACRES
TOTAL AREA	315.8 ACRES
- TOTAL NO. OF EX. LOTS: 2
- TOTAL NO. OF PR. LOTS: 641
- MIN. LOT SIZE: 1/4 ACRES; MAX. LOT SIZE: 4 ACRES
- TOTAL NO. OF PROPOSED PARCELS: 641
- DENSITY: 641 DWELLING UNITS/64.1 ACRES = 4.5 DWELLING UNITS/AC (PROV); 641 DWELLING UNITS/164.1 ACRES = 3.6 DWELLING UNITS/AC (NET)
- UTILITIES: CITY OF ANTIOSH (WATER, SEWER, GAS & ELECTRIC, TELEPHONE); CITY OF ANTIOSH (CABLE TV); SAND CREEK FOCUS AREA (GAS & ELECTRIC, TELEPHONE, CABLE TV); 097-00-001-001-001-007
- CONTOUR INTERVALS: EXISTING - 3 FOOT; PROPOSED - 2 FOOT
- PROPOSED BRIDGES AS SHOWN IS PRELIMINARY. FINAL DESIGN IS SUBJECT TO FINAL DESIGN.
- ALL GRADING WILL BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND CONDITIONS OF THE GEOTECHNICAL ENGINEER AND REPORT REGARDING THIS PROJECT.
- MASSING OUT ON THE SCALE OF 1:1.
- ALL TREES AND FENCES WITHIN DEVELOPED AREA TO BE REMOVED UNLESS OTHERWISE NOTED.
- ALL EXISTING STRUCTURES TO BE REMOVED UNLESS OTHERWISE NOTED.
- BOUNDARY IS PER FIELD SURVEY.
- PROPOSED PROPERTY IS NOT SUBJECT TO EASEMENTS.
- ALL INTERIOR STREETS ARE PERMITTED TO BE MAINTAINED BY HOA WITH UTILITY EASEMENTS DEEDING TO THE CITY OF ANTIOSH.
- ALLEIEST PARKING, SAND CREEK ROAD AND HEIDORN RANCH ROAD SHALL BE PUBLIC EASEMENTS DEEDING TO THE CITY OF ANTIOSH.
- MAINTENANCE PLAN, SAND CREEK ROAD AND HEIDORN RANCH ROAD SHALL BE PUBLIC EASEMENTS DEEDING TO THE CITY OF ANTIOSH.
- PROPOSED LOT LINE ADJUSTMENT BETWEEN PIONEER LOTS 20-29 AND ADJACENT PARCELS A (04 PM 45). SEE SHEET 3 AND 4 FOR MORE DETAIL.
- EXISTING FENCE ENCLOSURE ALONG CALAPE CANYON LOT 10.

**VICINITY MAP**  
NOT TO SCALE

**LEGEND**

**EXISTING**

- SUBDIVISION BOUNDARY
- LOT LINE
- RIGHT OF WAY
- PAVEMENT
- LOT NUMBER

**PROPOSED**

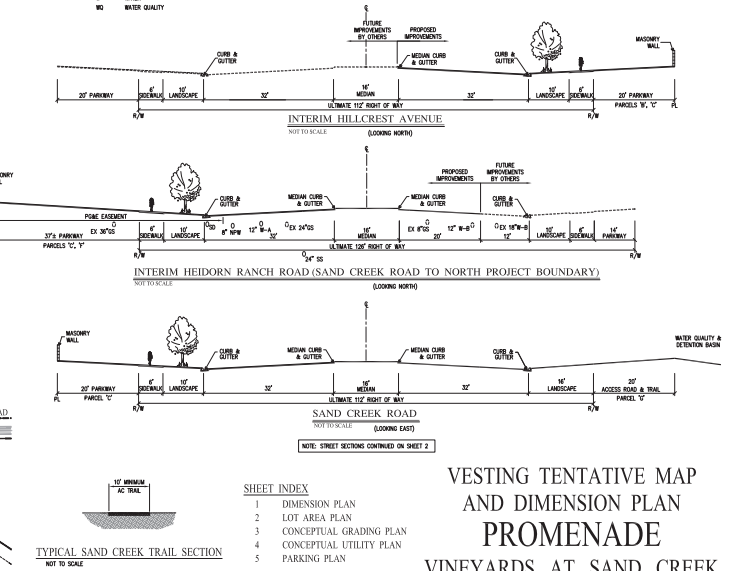
- LOT LINE
- RIGHT OF WAY
- EASEMENT
- CONTINGENT
- CURB
- PAVEMENT
- LOT NUMBER
- LOT BOUNDARY
- 400' X 400' FT
- 100' X 100' FT

**FUTURE**

- RIGHT OF WAY
- CURB
- PAVEMENT
- HOA-RETENTION AREA

**ABBREVIATIONS**

- AB AGGREGATE BASE
- AC ASPHALT CONCRETE
- CE CENTERLINE
- EX EXISTING
- MAX MAXIMUM
- MIN MINIMUM
- NON-FUNCTIONAL WATER
- PAV PAVED
- PFC PERFORATED ASPHALT EXPOSURE
- PL PROPERTY LINE
- PUE PUBLIC UTILITY EASEMENT
- R/W RIGHT OF WAY
- SD STONE DRAIN
- SW SWAYING SURFACE
- STD STANDARD
- TOP OF CURB
- TYP TYPICAL
- W WATER
- WD WATER QUALITY



**LINE TABLE**

NO.	BEARING	LENGTH	NO.	BEARING	LENGTH
L1	N87°00'00"E	16.00'	L9	N87°00'00"E	30.00'
L2	N87°25'00"W	30.00'	L10	N87°00'00"E	23.00'
L3	N87°30'00"E	11.00'	L11	N87°00'00"W	33.00'
L4	N87°00'00"E	19.00'	L12	N87°00'00"W	51.00'
L5	N87°00'00"W	23.00'	L13	N87°00'00"W	35.00'
L6	N87°00'00"E	16.00'	L14	N87°00'00"E	30.00'
L7	N87°00'00"W	24.00'	L15	N87°00'00"E	18.00'
L8	N87°00'00"E	15.44'	L16	N87°00'00"E	8.50'

**SHEET INDEX**

- DIMENSION PLAN
- LOT AREA PLAN
- CONCEPTUAL GRADING PLAN
- CONCEPTUAL UTILITY PLAN
- PARKING PLAN

**VESTING TENTATIVE MAP AND DIMENSION PLAN PROMENADE VINEYARDS AT SAND CREEK SUBDIVISION 9390**

CITY OF ANTIOSH CONTRA COSTA COUNTY CALIFORNIA

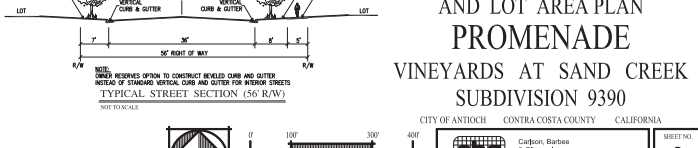
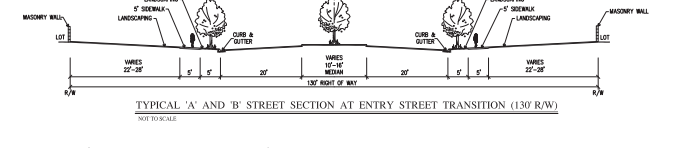
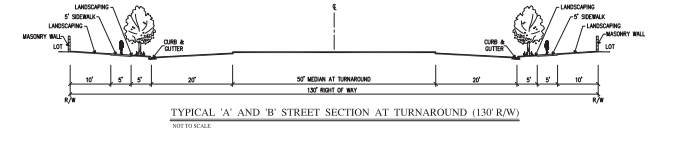
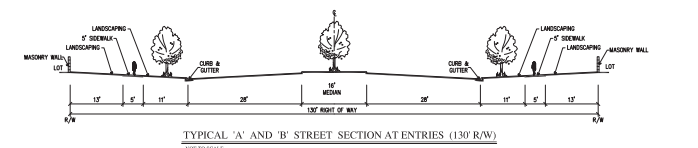
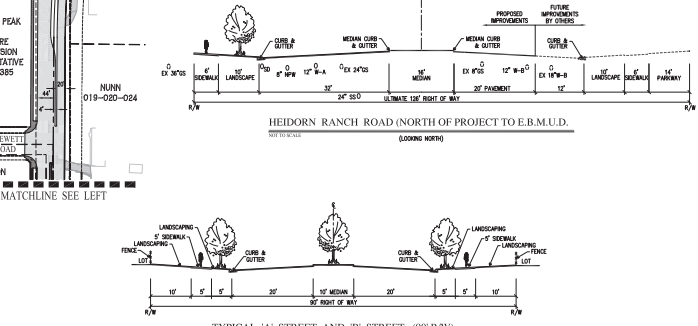
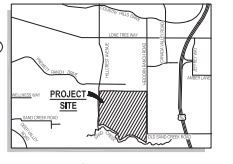
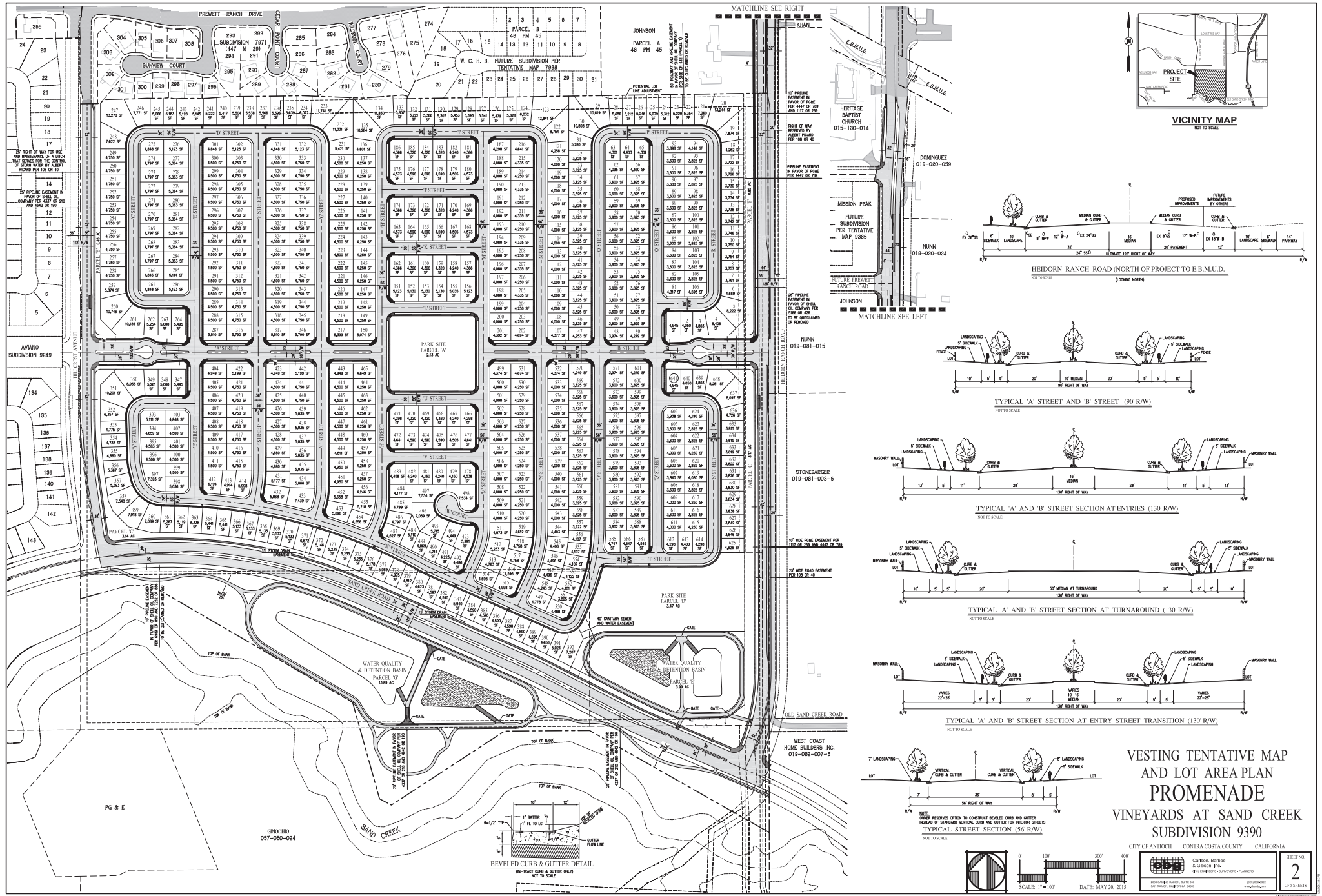
Carlson, Barber & Ogbon, Inc.  
1410 CALIFORNIA STREET, SUITE 200  
SAN FRANCISCO, CALIFORNIA 94118  
PHONE: (510) 946-4322

SCALE: 1" = 100'  
DATE: MAY 20, 2015

SHEET NO. 1 OF 15 SHEETS

PG & E

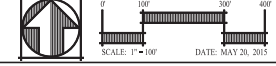
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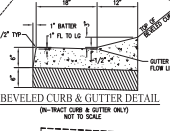
**VESTING TENTATIVE MAP  
AND LOT AREA PLAN  
PROMENADE  
VINEYARDS AT SAND CREEK  
SUBDIVISION 9390**

CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA

Carson, Bohne & Gibson, Inc.  
 14 EXPANDED STATE STREET, SUITE 200  
 ANTIOCH, CALIFORNIA 94509  
 TEL: (925) 436-1111 FAX: (925) 436-1112  
 WWW.CBGI.COM

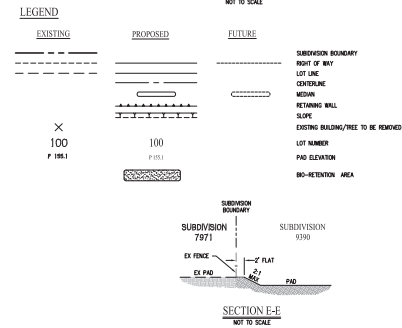
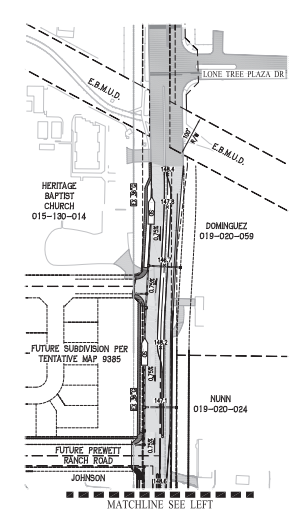
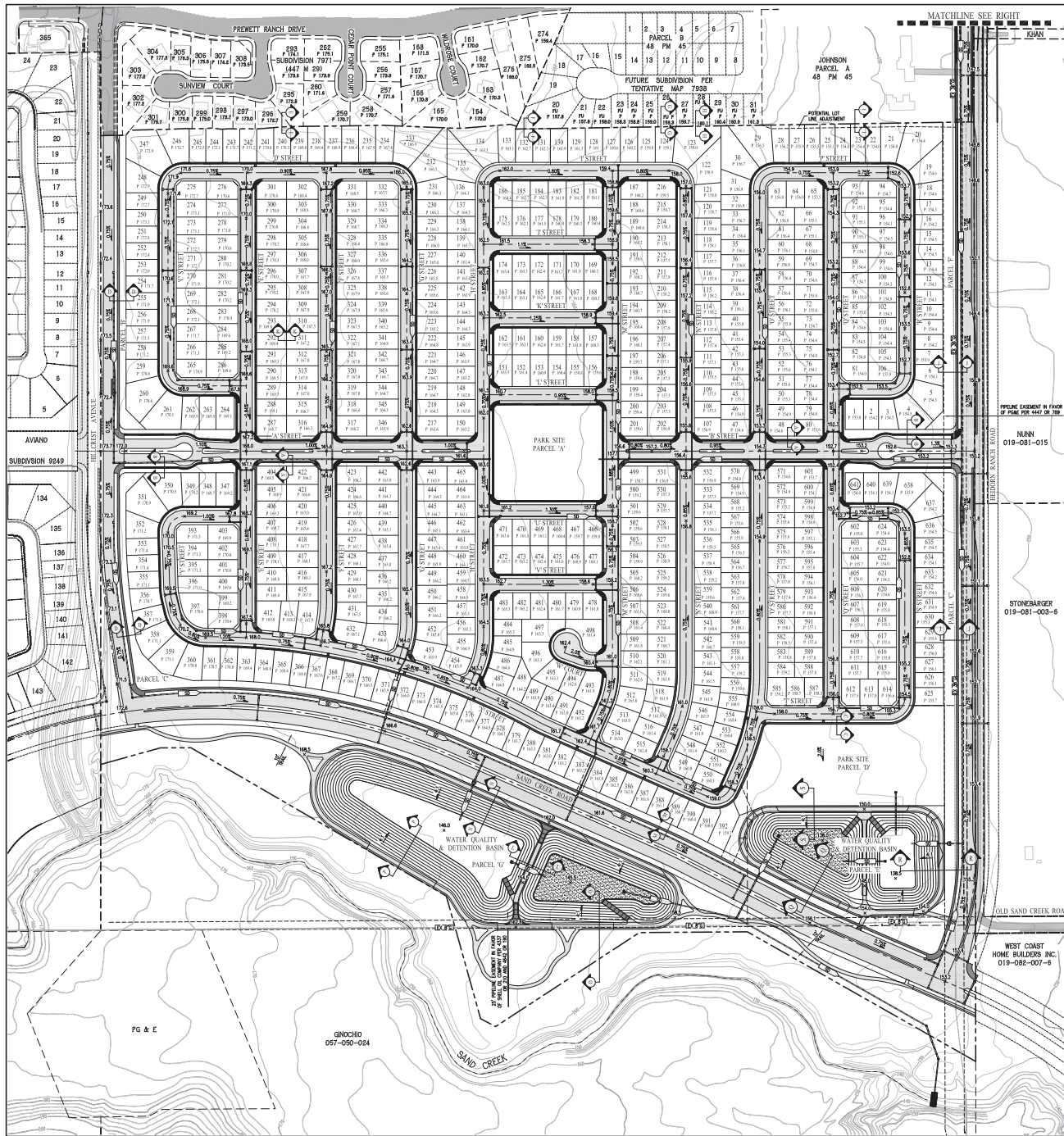


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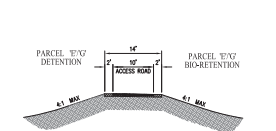
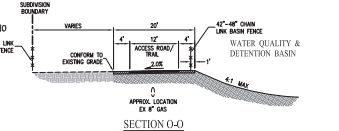
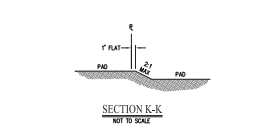
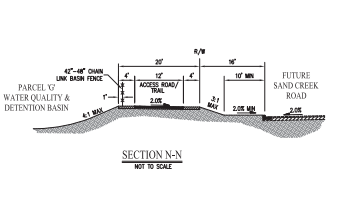
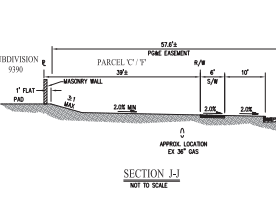
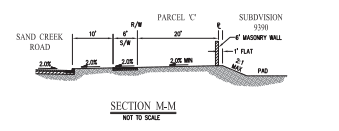
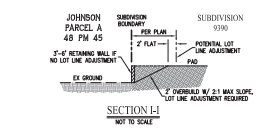
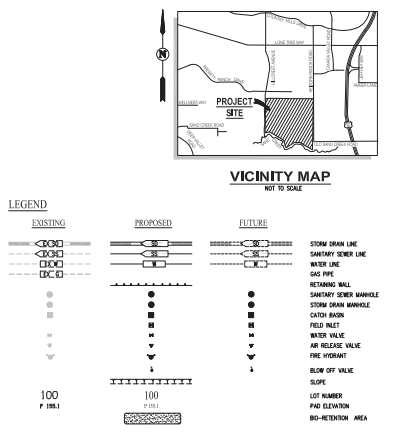
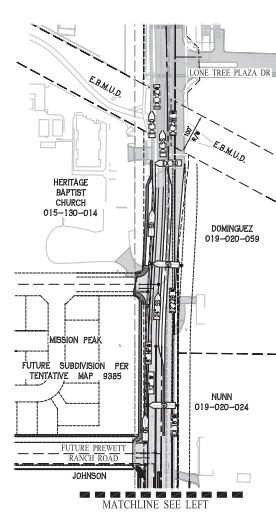
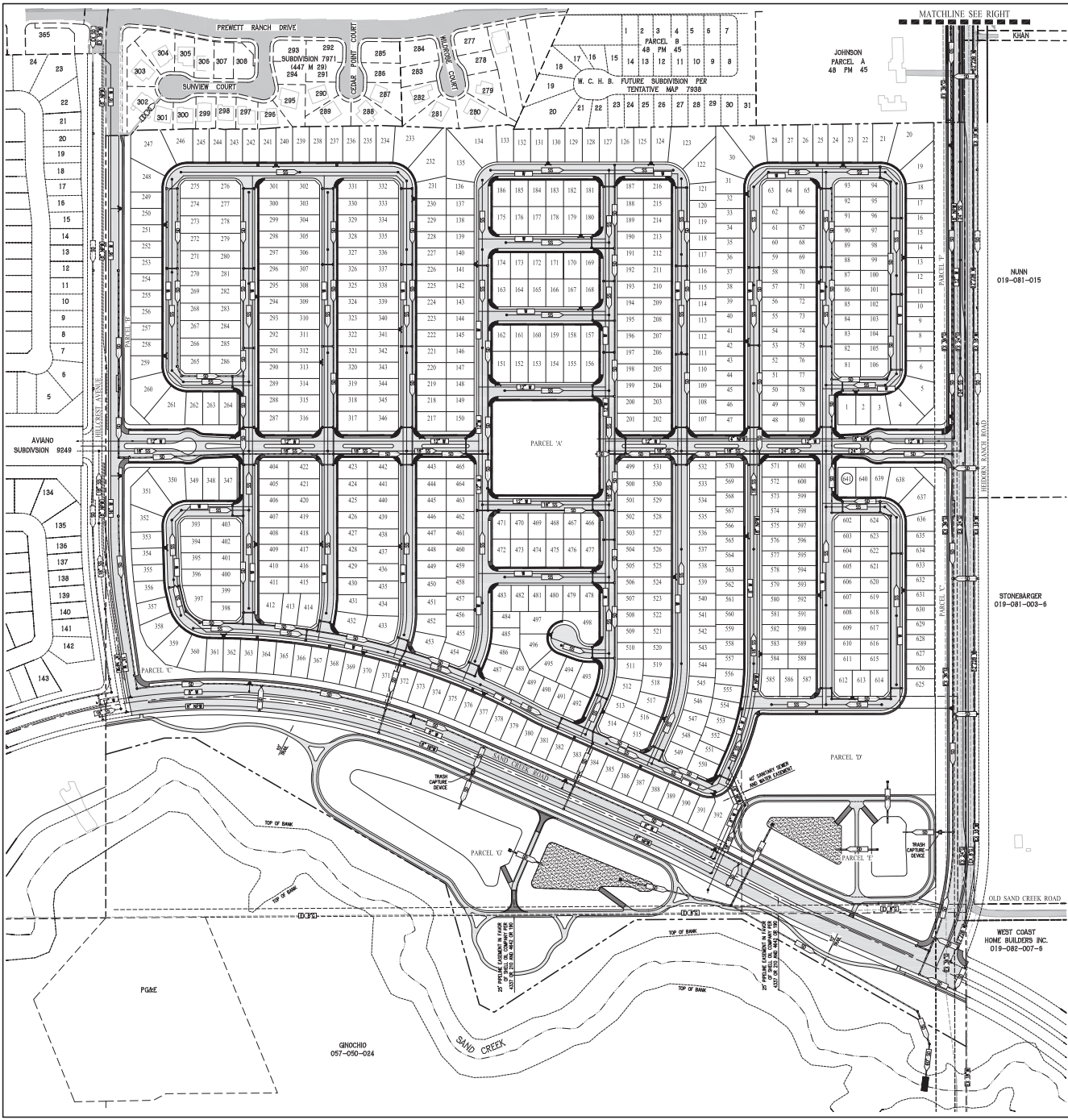


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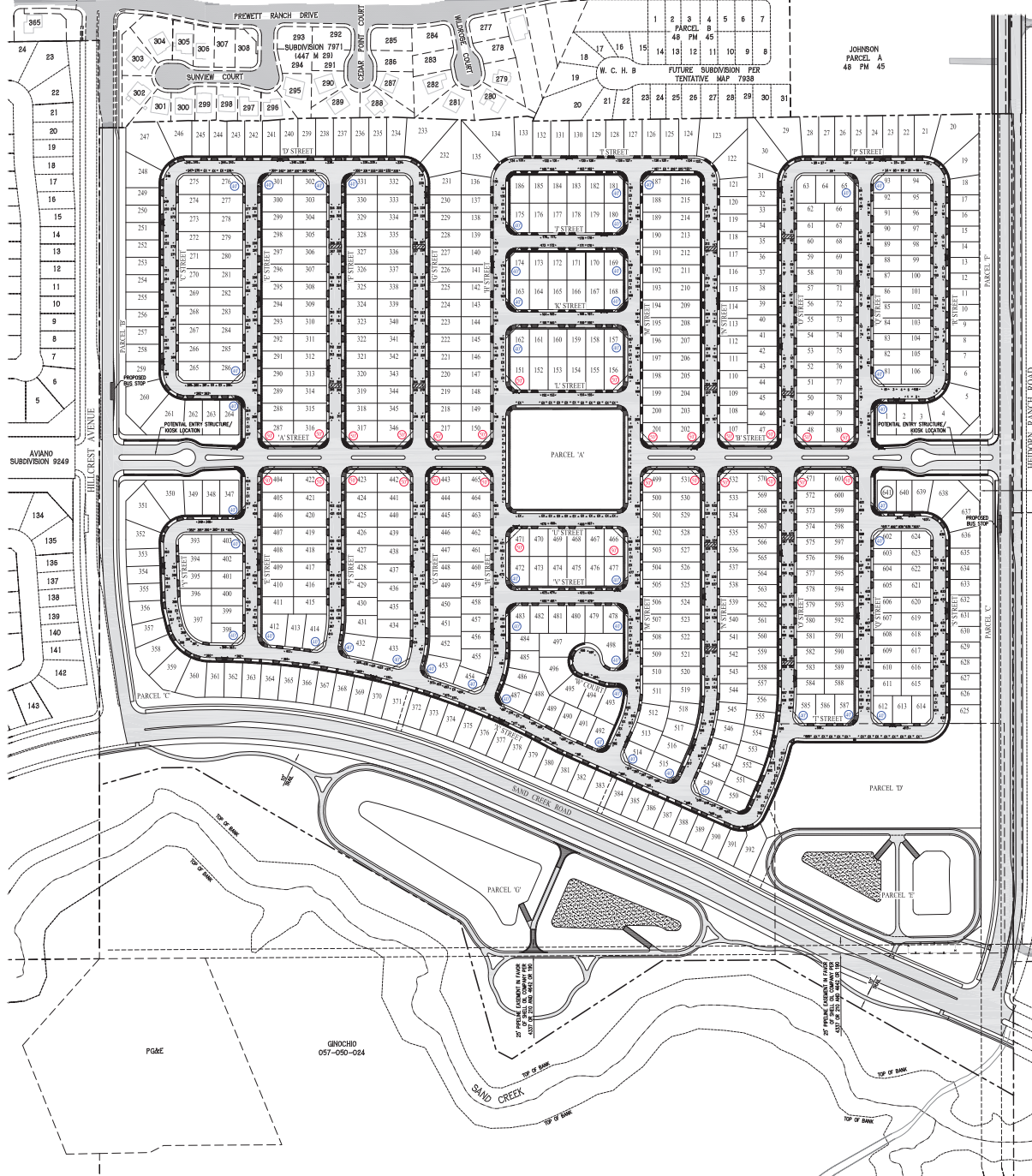
PG & E



**VESTING TENTATIVE MAP  
AND CONCEPTUAL GRADING PLAN  
PROMENADE  
VINEYARDS AT SAND CREEK  
SUBDIVISION 9390**



VESTING TENTATIVE MAP  
AND CONCEPTUAL UTILITY PLAN  
PROMENADE  
VINEYARDS AT SAND CREEK  
SUBDIVISION 9390

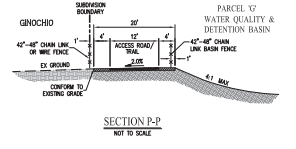
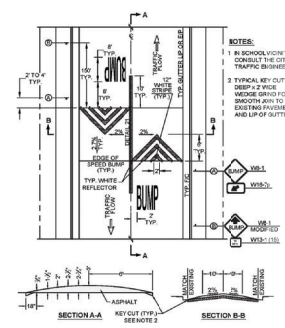


PARKING TYPE	PAVING REQUIRED	NUMBER OF SPACES	PAVING PROVIDED	NUMBER OF SPACES
GALE (CONCRETE)	2 SPACES/100	1,362 SPACES	2 SPACES/100	1,362 SPACES
QUEST PARKING (ON-STREET)	1 SPACE/100	641 SPACES	-	641 SPACES
ADDITIONAL ON-STREET PARKING	-	-	-	139 SPACES
TOTAL	-	1,021 SPACES	-	2,042 SPACES

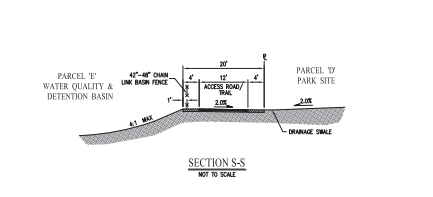
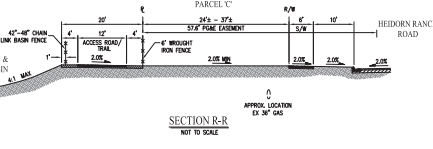
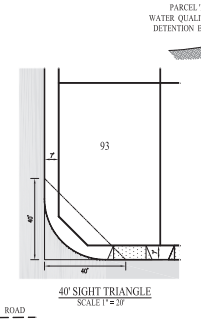
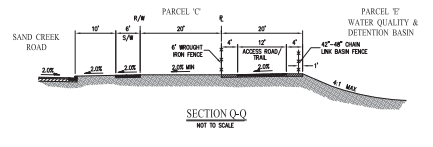
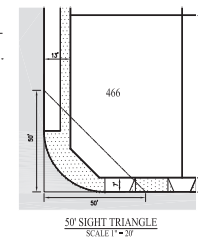
QUEST PARKING (PARALLEL SPACES) DIMENSIONS:  
 WIDTH: 8' 6" @ 10'  
 END OF ROW: 8' 6" @ 10'

**LEGEND**

- SUBDIVISION BOUNDARY
- RIGHT OF WAY
- LOT LINE
- TOP OF CURB
- SPEED BUMP
- DRIVEWAY
- THE VERGENT
- LOT NUMBER
- STAIL NUMBER
- EXTRA STAIL
- CONCRETE SIGHT TRIANGLE
- 40' SIGHT TRIANGLE
- 50' SIGHT TRIANGLE



**TYPICAL SPEED BUMP DETAIL**  
 NOT TO SCALE



**VESTING TENTATIVE MAP  
 AND PARKING PLAN  
 PROMENADE  
 VINEYARDS AT SAND CREEK  
 SUBDIVISION 9390**

CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA

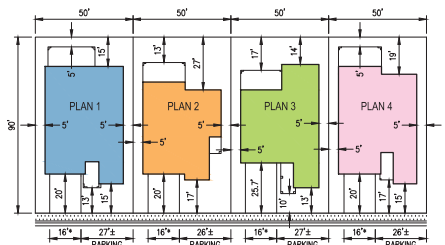


SCALE: 1" = 100'

DATE: MAY 20, 2015

**Calson, Barber & Gibson, Inc.**  
 1145 COLLEGE AVENUE, SUITE 100  
 SAN FRANCISCO, CALIFORNIA 94115  
 (415) 774-1100  
 WWW.CALSONBARBERGIBSON.COM

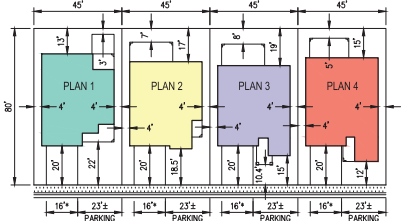
SHEET NO. **5**  
 OF 13 SHEETS



FOR 50' X 90' LOTS, THE DRIVEWAY WIDTH IS 32% OF THE LOT FRONTAGE.  
**50 X 90 TYPICAL SETBACKS**  
 NOT TO SCALE

PLAN	TYPICAL LOT COVERAGE	QUANTITY
PLAN 1	49.3%	21
PLAN 2	38.5%	41
PLAN 3	42.3%	35
PLAN 4	47.1%	42
TOTAL	-	139

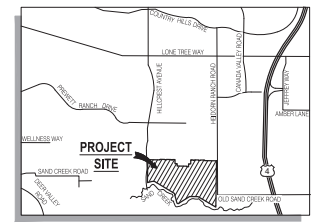
NOTE: PER THE PLANNED DEVELOPMENT DISTRICT STANDARDS, LOT COVERAGE CALCULATION DOES NOT INCLUDE COVERED PATIOS/PORCHES.



FOR 45' X 80' LOTS, THE DRIVEWAY WIDTH IS 30% OF THE LOT FRONTAGE.  
**45 X 80 TYPICAL SETBACKS**  
 NOT TO SCALE

PLAN	TYPICAL LOT COVERAGE	QUANTITY
PLAN 1	42.0%	32
PLAN 2	42.8%	38
PLAN 3	43.1%	43
PLAN 4	48.4%	44
TOTAL	-	157

NOTE: PER THE PLANNED DEVELOPMENT DISTRICT STANDARDS, LOT COVERAGE CALCULATION DOES NOT INCLUDE COVERED PATIOS/PORCHES.



**VICINITY MAP**  
 NOT TO SCALE

**PROJECT DATA**

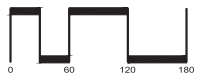
- GENERAL PLAN DESIGNATION: SAND CREEK FOCUS AREA MEDIUM LOW DENSITY RESIDENTIAL
- ZONING DESIGNATION: PLANNED DEVELOPMENT (PD-14-03)
- LAND AREA SUMMARY:
  - RESIDENTIAL LOT AREA: 31.9 ACRE
  - PRIVATE PARK SPACE: 3.7 ACRE
  - PRIVATE LANDSCAPING: 3.1 ACRE
  - PUBLIC STREET: 11.2 ACRE
  - PRIVATE STREET: 9.5 ACRE
  - PUBLIC PARK SPACE: 31.6 ACRE
  - TOTAL AREA: 91.0 ACRE
- PARKING REQUIREMENT: 1 ON-STREET PARKING SPACE PER UNIT

**LEGEND**

- 1 LOT NUMBER
- 1A PLAN TYPE AND ELEVATION
- \* ENHANCED ELEVATION

**PROMENADE PHASES 4-6  
 DEVELOPMENT PLAN  
 SUBDIVISIONS 9567, 9568 & 9569**

CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA  
 SCALE: 1" = 60' DATE: JUNE 16, 2021



SAN RAMON : (925) 966-0322  
 ROSEVILLE : (916) 788-4466  
 WWW.CBANDCO.COM

SHEET NO.  
**1**  
 OF 2 SHEETS

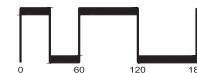
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PROMENADE PHASES 4-6  
 DEVELOPMENT PLAN  
 SUBDIVISIONS 9567, 9568 & 9569

CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA

SCALE: 1" = 60' DATE: JUNE 16, 2021



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 ROSEVILLE : (916) 788-4466  
 WWW.CBANDG.COM

CIVIL ENGINEERS SURVEYORS PLANNERS

SHEET NO.  
**2**  
 OF 2 SHEETS

1918145-9567-46-DEVELOPMENT PLAN.DWG



# LANDSCAPE ARCHITECTURAL DRAWINGS

## PROMENADE AT SAND CREEK - DESIGN REVIEW

### TRI POINTE HOMES

### CITY OF ANTIOCH, CALIFORNIA

**PLANS WERE DESIGNED BY REFERENCING:**

1. GEOTECHNICAL REPORTS PREPARED BY ENGEO DATED: 9/29/2020.

**NOTES**

SOIL MANAGEMENT REPORT SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AND SOIL AMENDMENTS SHALL BE FOLLOWED PER THE REPORT. PHYSICAL COPIES OF THE SOIL MANAGEMENT REPORT SHALL BE PROVIDED TO CLIENT, PROJECT LANDSCAPE ARCHITECT AND LOCAL AGENCY AS REQUIRED. SOIL MANAGEMENT REPORT SHALL CONFORM TO STATE AB1881 WATER EFFICIENT LANDSCAPE ORDINANCE OR AGENCY ADOPTED WELO AS FOLLOWS:

- (1) SUBMIT SOIL SAMPLES TO A LABORATORY FOR ANALYSIS AND RECOMMENDATIONS.
  - (A) SOIL SAMPLING SHALL BE CONDUCTED IN ACCORDANCE WITH LABORATORY PROTOCOL, INCLUDING PROTOCOLS REGARDING ADEQUATE SAMPLING DEPTH FOR THE INTENDED PLANTS.
  - (B) THE SOIL ANALYSIS MAY INCLUDE: SOIL TEXTURE, INFILTRATION RATE DETERMINED BY LABORATORY TEST OR SOIL TEXTURE INFILTRATION RATE TABLE, PH, TOTAL SOLUBLE SALTS, SODIUM, PERCENT ORGANIC MATTER, AND RECOMMENDATIONS.
- (2) THE PROJECT APPLICANT, OR HIS/HER DESIGNEE, SHALL COMPLY WITH ONE OF THE FOLLOWING:
  - (A) IF SIGNIFICANT MASS GRADING IS NOT PLANNED, THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE; OR
  - (B) IF SIGNIFICANT MASS GRADING IS PLANNED, THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE CERTIFICATE OF COMPLETION.
- (3) THE SOIL ANALYSIS REPORT SHALL BE MADE AVAILABLE, IN A TIMELY MANNER, TO THE PROFESSIONALS PREPARING THE LANDSCAPE DESIGN PLANS AND IRRIGATION DESIGN PLANS TO MAKE ANY NECESSARY ADJUSTMENTS TO THE DESIGN PLANS.
- (4) THE PROJECT APPLICANT, OR HIS/HER DESIGNEE, SHALL SUBMIT DOCUMENTATION VERIFYING IMPLEMENTATION OF SOIL ANALYSIS REPORT RECOMMENDATIONS TO THE LOCAL AGENCY WITH CERTIFICATE OF COMPLETION.

CONTRACTOR MUST PROVIDE AN IRRIGATION AUDIT IN ACCORDANCE WITH TITLE 23 BY THE STATE DEPARTMENT OF WATER RESOURCES SECTION 492.12, OR LOCAL AGENCY APPROVED ORDINANCE, IRRIGATION SURVEY, AND IRRIGATION WATER USE ANALYSIS PRIOR TO PROJECT ACCEPTANCE.

CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE WORK IS COMPLETE AND IN COMPLIANCE WITH THE MOST CURRENT CODES, ORDINANCES AND REQUIREMENTS OF THE GOVERNING AGENCY. HMM IS NOT RESPONSIBLE FOR CHANGES WHICH OCCUR TO THE CODES, ORDINANCES OR REQUIREMENTS AFTER THE GOVERNING AGENCY'S APPROVAL OR DURING INSTALLATION.

CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. HMM IS NOT RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION CONTRACT DOCUMENTS, NOR RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

AS REQUESTED BY THE OWNER, HMM WILL VISIT THE SITE AT INTERVALS APPROPRIATE TO THE STAGE OF CONSTRUCTION TO REVIEW THE PROGRESS AND QUALITY OF WORK AND TO DETERMINE IN GENERAL IF THE WORK IS BEING PERFORMED IN A MANNER INDICATING THAT THE WORK, WHEN COMPLETED, WILL BE IN SUBSTANTIAL CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. HOWEVER, HMM WILL NOT MAKE EXHAUSTIVE OR CONTINUOUS ON-SITE OBSERVATIONS TO CHECK QUALITY OF THE WORK.

THERE IS NO WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED BY HMM FOR THE COMPLETION OF THE WORK OR THE QUALITY OF PERFORMANCE OF THE CONSTRUCTION CONTRACTOR(S).

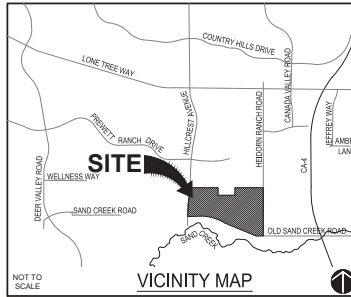
CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.

CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING PORTIONS OF THE WORK UNDER A CONTRACT WITH CONTRACTOR.

IN THE EVENT OWNER CONSENTS TO, ALLOWS, AUTHORIZES OR APPROVES OF CHANGES TO ANY PLANS, SPECIFICATIONS, OR OTHER CONSTRUCTION DOCUMENTS, AND THESE ALTERATIONS ARE NOT APPROVED IN WRITING BY HMM, OWNER RECOGNIZES THAT SUCH ALTERATION AND THE RESULTS THEREOF ARE NOT THE RESPONSIBILITY OF HMM. IN ADDITION, OWNER AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HMM HARMLESS FROM ANY DAMAGE, LIABILITY OR COST (INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS OF DEFENSE) ARISING FROM SUCH ALTERATIONS.

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES SHOWN ON THE PLANS WERE OBTAINED FROM AVAILABLE RECORDS AT THE TIME THE PLANS WERE DRAFTED AND DO NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF THE LOCATION OR THE EXISTENCE OR NONEXISTENCE OF SUCH UTILITIES. IN NORTHERN CALIFORNIA, CONTRACTOR SHALL CONTACT UNDERGROUND SERVICES ALERT AT 1-800-442-2444 PRIOR TO PERFORMING ANY CONSTRUCTION WORK. IN OTHER AREAS, CONTRACTOR SHALL CONTACT A SIMILAR AGENCY/ORGANIZATION.

CONTRACTOR SHALL PROVIDE PROPER PROJECT MAINTENANCE AFTER THE PROJECT IS COMPLETE, ANY LACK OF OR IMPROPER MAINTENANCE MAY RESULT IN DAMAGE TO PROPERTY OR PERSONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTS OF ANY LACK OF OR IMPROPER MAINTENANCE.



**INDEX OF DRAWINGS**

SHEET	TITLE
L1	COVER SHEET
L2	LANDSCAPE PLAN
L3 - L4	FRONT YARD ENLARGEMENTS
L5	STREET FRONTAGE AND MEDIAN, CORNER MONUMENT ENLARGEMENT
L6	OPEN SPACE AND PARK ENLARGEMENT
L7	PLANT PALETTE
L8	PLANTING DETAILS AND NOTES
L9	WALL AND FENCE PLAN
L10	SITE FURNISHINGS

**GOVERNING AGENCY**

CITY OF ANTIOCH

PLANNING DIVISION  
200 "F" STREET  
ANTIOCH, CA 94531  
(925) 779-6159

**CONSULTANTS**

**OWNER:**

TRI POINTE HOMES, INC.  
2700 CAMINO RAMON, SUITE 130  
SAN RAMON, CA 94583  
(925) 804-2224

**ARCHITECT:**

OAG ARCHITECTS  
940 TYLER STREET, #19  
BENICIA, CA 94510  
(707) 361-6208

**CIVIL ENGINEER:**

CARLSON, BARBEE & GIBSON  
2633 CAMION RAMON, SUITE 350  
SAN RAMON, CA 94583  
(925) 866-0322

**LANDSCAPE ARCHITECT:**

HMM  
1570 OAKLAND ROAD  
SAN JOSE, CA 95131  
(408) 487-2200

**STRUCTURAL AND MECHANICAL ENGINEERS:**

HARRIS & SLOAN  
2255 GATEWAY OAKS DRIVE, SUITE 200  
SACRAMENTO, CA 95833



Land Use Entitlements  
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Stormwater Compliance  
1570 Oakland Road (408) 487-2200  
San Jose, CA 95131 HMMca.com



**PROMENADE AT SAND CREEK - DESIGN REVIEW**  
TRI-POINTE HOMES  
ANTIOCH, CA

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▲		
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NO	DATE	DESCRIPTION

PROJECT NO:	5931.00
CAD DWG FILE:	593100GL_COVER.DWG
DESIGNED BY:	CM
DRAWN BY:	Jm
CHECKED BY:	CM
DATE:	MAY 14, 2021
SCALE:	AS NOTED
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**COVER SHEET**

**L1**

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FRONT YARD  
SEE ENLARGEMENTS ON  
SHEETS L3 AND L4.

CORNER MONUMENT.  
SEE ENLARGEMENT ON SHEET L5.

TYPICAL STREETSCAPE  
PLANTING. SEE ENLARGEMENT  
ON SHEET L5.

OPEN SPACE. SEE ENLARGEMENT  
ON SHEET L6.

PARK. SEE ENLARGEMENT ON  
SHEET L6.

GRAPHIC SCALE



(In Feet)  
1 inch = 100 feet



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**tri pointe**  
 HOMES

**PROMENADE AT  
 SAND CREEK - DESIGN REVIEW**  
 TRI-POINTE HOMES  
 ANTIOCH, CA

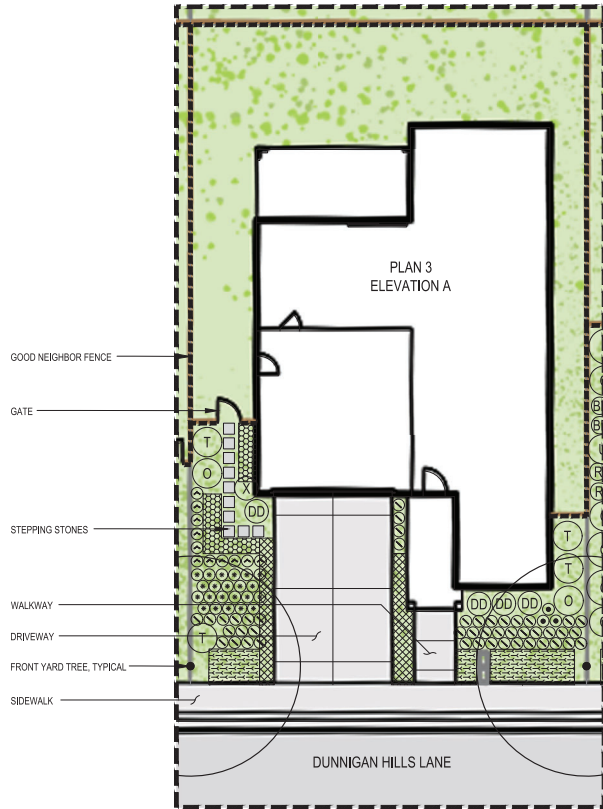
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CHECKED BY:	CM
DATE:	MAY 14, 2021
SCALE:	1" = 80'
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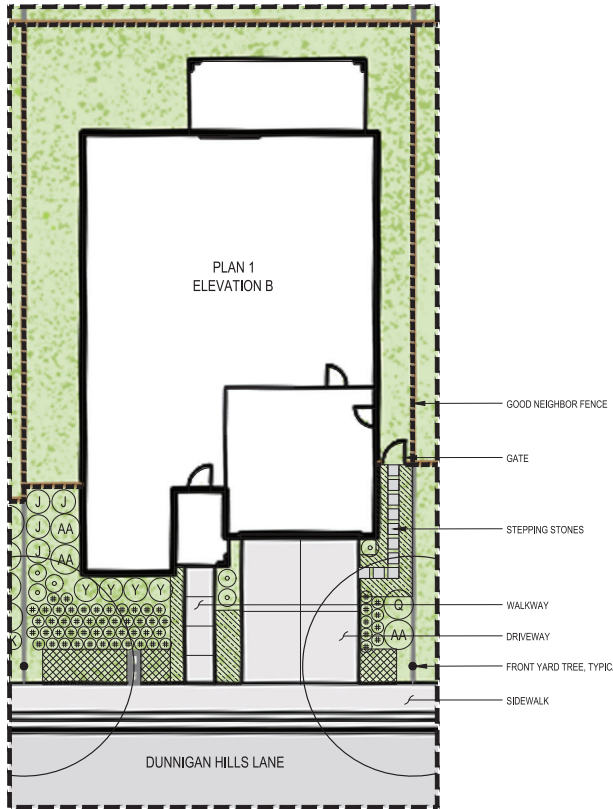
LANDSCAPE PLAN

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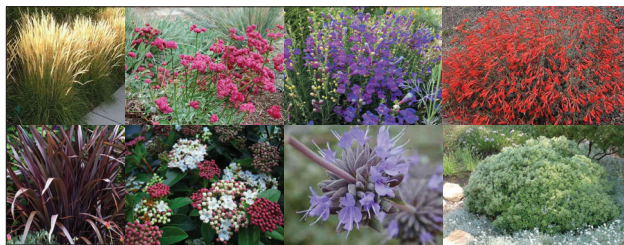
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ELEVATION A CALIFORNIA RANCH SYLE  
FRONT YARD ENLARGEMENT



ELEVATION B ARTISAN STYLE FRONT YARD  
ENLARGEMENT



CALIFORNIA RANCH STYLE PLANT PALETTE



ARTISAN STYLE PLANT PALETTE

**NOTES:**  
1. SEE SHEET L7 FOR PLANTING LEGEND AND NOTES.  
2. SEE SHEET L8 FOR PLANTING DETAILS AND SPECIFICATIONS.

TREE LEGEND	
BOTANICAL NAME	SYMBOL
GINKGO BILOBA	GIN BIL

SHRUB LEGEND	
BOTANICAL NAME	SYMBOL
ACACIA COGNATA 'COUSIN IT'	AA
CALAMAGROSIS X ACUTIFLORA KARL FOERSTER	⊙
CHONDROPETALUM TECTORIUM	⊙
GREVILLEA X 'NOELLII'	⊙
LIMONIUM PEREZII	⊙
LOROPETALUM CHINENSE 'PURPLE DIAMOND'	⊙
MUHLBERGIA CAPILLARIS	⊙
MYRTUS COMMUNIS	⊙
NEPETA X FAASSENII 'WALKER'S LOW'	⊙
PENSTEMON HETEROPHYLLUS 'MARGARITA BOP'	⊙
PHORMIUM X 'BLACK ADDER'	⊙
PITTIOSPORUM CRASSIFOLIUM 'NANA'	⊙
SALVIA X 'POZO BLUE'	⊙
SOLLYA HETEROPHYLLA	⊙
TEUCRIUM FRUTICOSUM 'COMPACTA'	⊙
VIBURNUM TINUS 'SPRING BOUQUET'	⊙

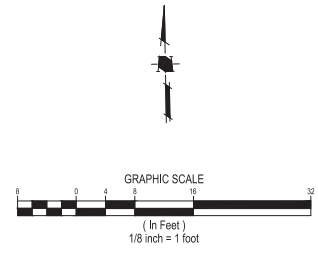
GROUND COVER LEGEND	
BOTANICAL NAME	SYMBOL
ACHILLEA MILLEFOLIUM	[Symbol]
ERIGERON GLAUJUS 'SEA BREEZE'	[Symbol]
ERIOGONUM GRANDE RUBESCENS	[Symbol]
ZAUSCHNERIA CALIFORNICA 'SCHIFFLIN'S CHOICE'	[Symbol]



**PROMENADE AT  
SAND CREEK - DESIGN REVIEW**  
TRI-POINTE HOMES  
ANTIOCH, CA

NO	DATE	DESCRIPTION

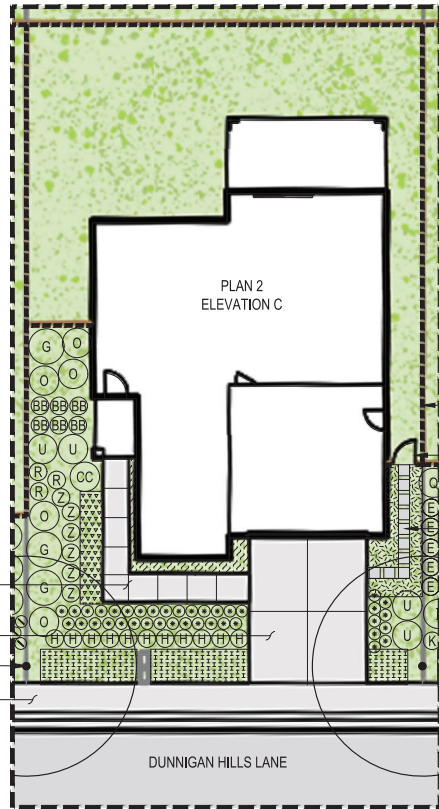
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DRAWN BY:	Jm
CHECKED BY:	CM
DATE:	MAY 14, 2021
SCALE:	1/8" = 1'



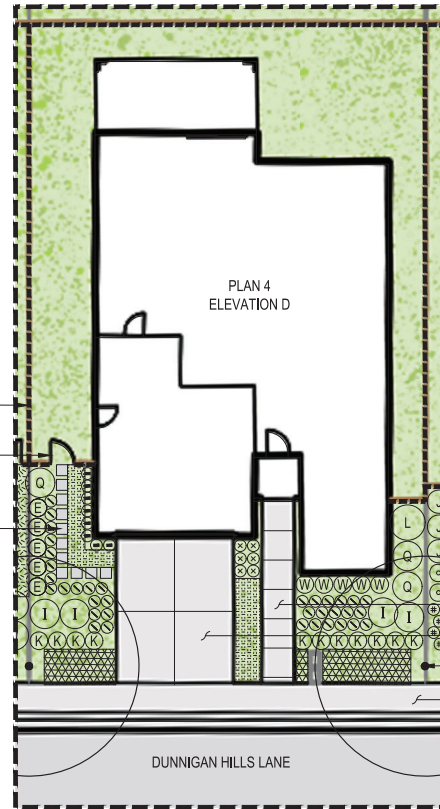
**FRONT YARD  
ENLARGEMENTS**

PLOTTED: 5/14/2021 3:13 PM

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ELEVATION C COTTAGE STYLE FRONT YARD ENLARGEMENT



ELEVATION D MODERN FARMHOUSE STYLE FRONT YARD ENLARGEMENT

**NOTES:**  
 1. SEE SHEET L7 FOR PLANTING LEGEND AND NOTES.  
 2. SEE SHEET L8 FOR PLANTING DETAILS AND SPECIFICATIONS.

TREE LEGEND	
BOTANICAL NAME	SYMBOL
GINKGO BILOBA	GIN BIL

SHRUB LEGEND	
BOTANICAL NAME	SYMBOL
BOUTELOUA GRACILIS 'BLONDE AMBITION'	BB
CALLISTEMON VIMINALIS 'LITTLE JOHN'	CC
CISTUS X 'VICTOR REITER'	E
DODONAEA VISCOSA 'PURPUREA'	G
FESTUCA MAIREI	H
GALVEZIA SPECIOSA 'FIRECRACKER'	I
HELICTOTRICHON SEMPERVIRENS	K
LAVATERA MARITIMA	L
LIMONIUM PEREZII	⊙
LOROPETALUM CHINENSE 'PURPLE DIAMOND'	O
MYRTUS COMMUNIS	Q
MYRTUS COMMUNIS 'COMPACTA'	⊙
NANDINA DOMESTICA 'FIREPOWER'	⊙
PENSTEMON HETEROPHYLLUS 'MARGARITA BOP'	⊙
PHORMIUM X 'BLACK ADDER'	R
PITTIOSPORUM TOBIRA 'VARIEGATA'	U
SALVIA LEUCANTHA 'SANTA BARBARA'	W
VERBENA LILACINA 'DE LA MINA'	Z

GROUND COVER LEGEND	
BOTANICAL NAME	SYMBOL
ERIGERON KARVINSKIANUS	[Symbol]
IRIS DOUGLASSIANA	[Symbol]
LIRIOPE SPICATA	[Symbol]
MIMULUS 'JELLY BEAN ORANGE'	[Symbol]
SALVIA MICROPHYLLA 'BERZERKELEY'	[Symbol]
SCAEVOLA 'MAUVE CLUSTERS'	[Symbol]



**PROMENADE AT SAND CREEK - DESIGN REVIEW**  
 TRI-POINTE HOMES  
 ANTIOCH, CA

NO	DATE	DESCRIPTION

PROJECT NO:	5931.00
CAD DWG FILE:	591100CL-LANDSCAPE PLAN.DWG
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DRAWN BY:	Jm
CHECKED BY:	CM
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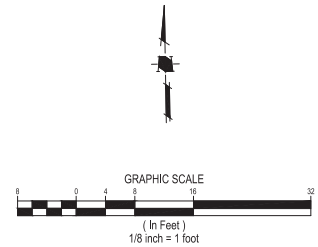
**FRONT YARD ENLARGEMENTS**



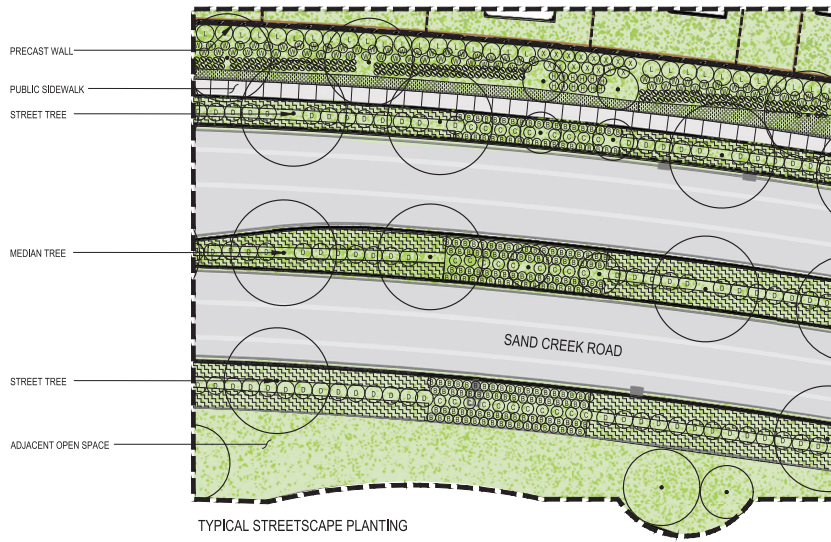
COTTAGE STYLE PLANT PALETTE



MODERN FARMHOUSE STYLE PLANT PALETTE



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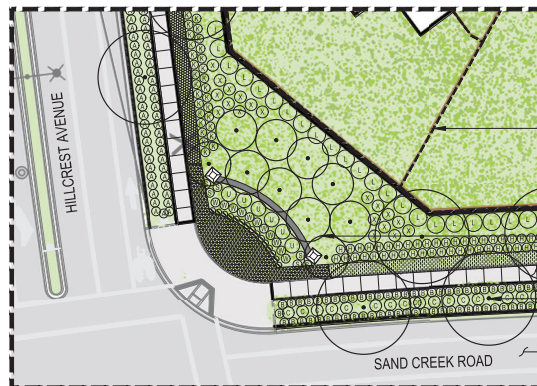


TYPICAL STREETScape PLANTING

PLANT PALETTE



PLANT PALETTE



CORNER MONUMENT ENLARGEMENT

- GOOD NEIGHBOR FENCE
- PRECAST WALL
- MONUMENT SIGN
- SIDEWALK
- STREET TREE
- STREET

NOTES:  
 1. SEE SHEET L7 FOR PLANTING LEGEND AND NOTES.  
 2. SEE SHEET L8 FOR PLANTING DETAILS AND SPECIFICATIONS.

TREE LEGEND

BOTANICAL NAME	SYMBOL
CUPRESSUS SEMPERVIRENS	CUP SEM
LAGERSTROEMIA INDICA	LAG IND
PLATANUS ACERIFOLIA 'COLUMBIA'	PLA ACE
QUERCUS COCCINEA	QUE COC

SHRUB LEGEND

BOTANICAL NAME	SYMBOL
FESTUCA MAIREI	⊙
HELICTOTRICHON SEMPERVIRENS	⊙
LAVATERA MARITIMA	⊙
LOMANDRA 'BREEZE'	⊙
MUHLENBERGIA CAPILLARIS	⊙
PENSTEMON HETEROPHYLLUS 'MARGARITA BOP'	⊙
PHORMIUM TENAX 'FIREBIRD'	⊙
PITTIOSPORUM TOBIRA 'VARIEGATA'	⊙
ROSA 'CAREFREE DELIGHT'	⊙
SALVIA CLEVELANDII	⊙
SALVIA LEUCANTHA 'SANTA BARBARA'	⊙
SALVIA X 'POZO BLUE'	⊙

GROUND COVER LEGEND

BOTANICAL NAME	SYMBOL
ARCTOSTAPHYLOS 'EMERALD CARPET'	[Pattern]
HELIANTHEMUM NUMMULARIUM 'HENFIELD BRILLIANT'	[Pattern]
ZAUSCHNERIA CALIFORNICA 'SCHIFFLIN'S CHOICE'	[Pattern]



Land Use Entitlements  
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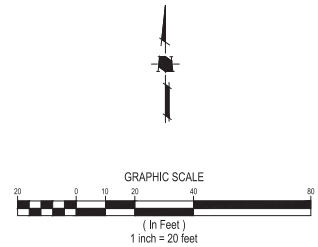


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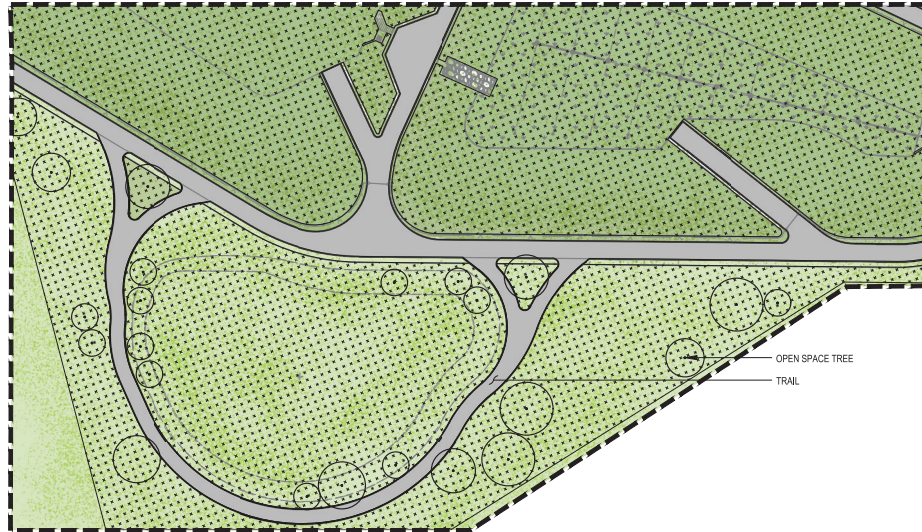
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STREET FRONTAGE  
 AND MEDIAN,  
 CORNER  
 MONUMENT  
 ENLARGEMENT



CONCEPT IMAGES



OPEN SPACE ENLARGEMENT

NOTES:  
1. SEE SHEET L7 FOR PLANTING LEGEND AND NOTES.  
2. SEE SHEET L8 FOR PLANTING DETAILS AND SPECIFICATIONS.

TREE LEGEND

BOTANICAL NAME	SYMBOL
ARBUTUS MARINA	ARB MAR
GINKGO BILOBA	GIN BIL
LAGERSTROEMIA INDICA	LAG IND
MAGNOLIA GRANDIFLORA 'RUSSET'	MAG GRA
PISTACIA CHINENSIS	PIS CHI
PLATANUS ACERIFOLIA 'COLUMBIA'	PLA ACE
PLA XXX	PLA HIS
PRUNUS CERASIFERA	PRU CER
PYRUS CALLERYANA	PYR CAL
QUERCUS AGRIFOLIA	QUE AGR
QUERCUS COCCINEA	QUE COC
QUERCUS LOBATA	QUE LOB

GROUND COVER LEGEND

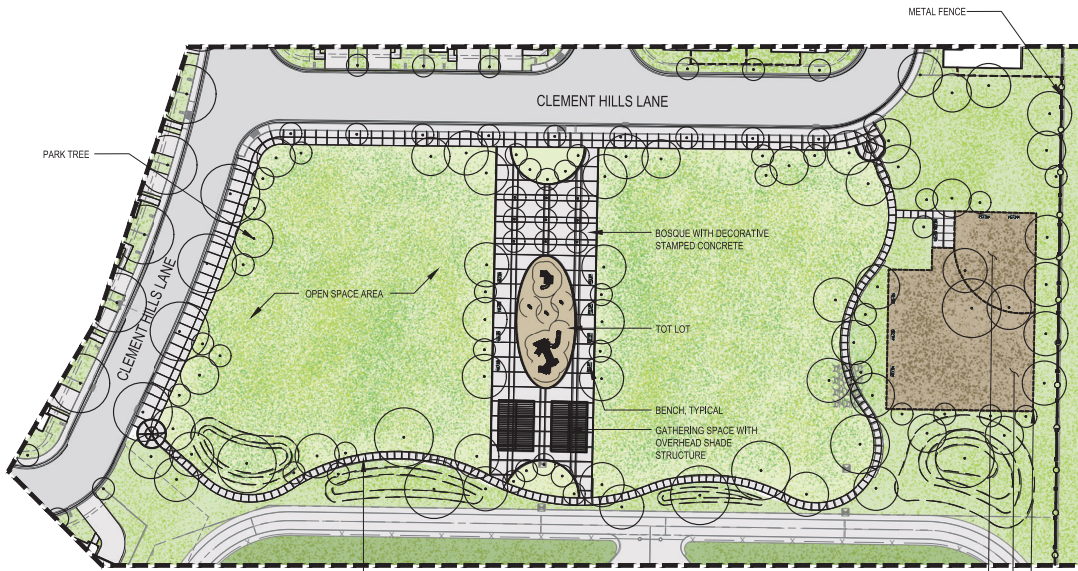
BOTANICAL NAME	SYMBOL
NATIVE GRASS SEED MIX	[Symbol]



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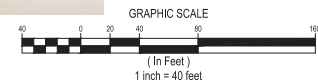


**PROMENADE AT  
SAND CREEK - DESIGN REVIEW**  
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PARK ENLARGEMENT

CONCEPT IMAGES



NO.	DATE	DESCRIPTION

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DRAWN BY:	Jm
CHECKED BY:	CM
DATE:	MAY 14, 2021
SCALE:	1" = 40'

**OPEN SPACE AND  
PARK  
ENLARGEMENT**

SHRUBS (CONTINUED)

(R)	PHORMIUM X 'BLACK ADDER'	NEW ZEALAND FLAX	5 GALLON	3' X 3'	L
(S)	PHORMIUM TENAX 'FIREBIRD'	NEW ZEALAND FLAX	5 GALLON	5' X 3'	L
(T)	PITTOSPORUM CRASSIFOLIUM 'NANA'	DWARF KARO	5 GALLON	2' X 5'	M
(U)	PITTOSPORUM TOBIRA 'VARIEGATA'	TOBIRA	5 GALLON	5' X 5'	M
(V)	RHAMNUS CALIFORNICA 'EVE CASE'	COFFEE BERRY	5 GALLON	6' X 6'	L
(C)	ROSA 'CAREFREE DELIGHT'	ROSE 'CAREFREE DELIGHT'	1 GALLON	5' X 5'	L
(W)	SALVIA LEUCANTHA 'SANTA BARBARA'	MEXICAN BUSH SAGE	1 GALLON	3' X 3'	L
(D)	SALVIA CLEVELANDII	CLEVELAND SAGE	1 GALLON	4' X 8'	L
(X)	SALVIA X 'POZO BLUE'	POZO BLUE SAGE	1 GALLON	4' X 4'	L
(Y)	SOLLIA HETEROPHYLLA	AUSTRALIAN BLUEBELL	1 GALLON	4' X 4'	L
(Z)	TEUCRIUM FRUTICANS 'COMPACTA'	BUSH GERMANDER	5 GALLON	2' X 2'	L
(DD)	VERBENA LILACINA 'DE LA MINA'	LILAC VERBENA	1 GALLON	3' X 3'	L
(EE)	VIBURNUM TINUS 'SPRING BOUQUET'	VIBURNUM	5 GALLON	4' X 4'	M
	WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 GALLON	4' X 6'	L

GROUNDCOVERS

	ACHILLEA MILLEFOLIUM 'TERRA COTTA'	COMMON YARROW	1 GALLON	18" X 2'	L
	ARCTOSTAPHYLOS 'EMERALD CARPET'	EMERALD CARPET MANZANITA	1 GALLON	1' X 5'	M
	EPILOBIUM CANUM 'SCHEFFELIN'S CHOICE'	CALIFORNIA FUCHSIA	1 GALLON	6" X 3'	L
	ERIGERON GLAUCUS 'SEA BREEZE'	SEASIDE DAISY	1 GALLON	6" X 18"	L
	ERIGERON KARVINSKIANUS	SANTA BARBARA DAISY	1 GALLON	6" X 4'	L
	ERIOGONUM GRANDE RUBESCENS	RED BUCKWHEAT	1 GALLON	1' X 3'	L
	HELIANTHEMUM NUMMULARIUM 'HENFIELD BRILLIANT'	HENFIELD BRILLIANT ROCK ROSE	1 GALLON	6" X 18"	M
	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GALLON	1' X 2'	L
	LIRIOPE SPICATA	CREEPING LILY TURF	1 GALLON	1' X 1'	M
	LOROPETALUM CHINENSE 'PURPLE PIXIE'	PURPLE PIXIE LOROPETALUM	5 GALLON	18" X 4'	M
	MIMULUS 'JELLY BEAN ORANGE'	ORANGE MONKEYFLOWER	1 GALLON	18" X 18"	L
	SALVIA MICROPHYLLA 'BERZERKELEY'	BERZERKELEY GRAHAM'S SAGE	1 GALLON	1' X 2'	L
	SCAEVOLA 'MAUVE CLUSTERS'	SCAEVOLA	1 GALLON	6" X 4'	L
	ZAUSCHNERIA CALIFORNICA 'SCHIFFLIN'S CHOICE'	CALIFORNIA FUCHSIA	1 GALLON	6" X 18"	L
	NATIVE EROSION CONTROL MIX AVAILABLE FROM PACIFIC COAST SEED (925) 373-4417	N/A	N/A	N/A	N/A
	BROMUS CARINATUS	CALIFORNIA BROME			
	ELYMUS GLAUCUS	BLUE WILDRYE			
	VULPIA MICROSTACHYS	THREE WEEKS FESCUE			
	TRIFOLIUM WILDENOVII	TOMCAT CLOVER			

PROPOSED PLANT PALETTE

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	HxW	WUCOLS
<b>TREES</b>						
ACE RUB		ACER RUBRUM 'REDPOINTE'	REDPOINTE RED MAPLE	24" BOX	45X30'	M
GIN BIL		GINKGO BILOBA 'SARATOGA'	SARATOGA MADDENHAIR TREE	24" BOX	50X30'	M
LAG IND		LAGERSTROEMIA INDICA 'TUSCARORA'	CRAPE MYRTLE	24" BOX	15X15'	L
OLE EUR		OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE	24" BOX	25X25'	VL
PIS CHI		PISTACIA CHINENSIS 'KEITH DAVEY'	KEITH DAVEY CHINESE PISTACHE	24" BOX	30X30'	L
PLA HIS		PLATANUS X HISPANICA 'COLUMBIA'	LONDON PLANE TREE	24" BOX	50X30'	M
PRU CER		PRUNUS CERASIFERA 'KRAUTER VESUVIUS'	PURPLE LEAF PLUM	24" BOX	20X15'	M
PYR OHA		PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	24" BOX	30X15'	M
QUE COC		QUERCUS COCCINEA	SCARLET OAK	24" BOX	50X40'	M
SCH MOL		SCHINUS MOLLE	CALIFORNIA PEPPER	24" BOX	30X30'	L

SHRUBS

(AA)	ACACIA COGNATA 'COUSIN ITT'	RIVER WATTLE	5 GALLON	2' X 5'	L
(O)	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GALLON	2' X 2'	L
(BB)	BOUTELLOUA GRACILIS 'BLONDE AMBITION'	BLUE GRAMA	1 GALLON	3' X 3'	L
(C)	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GALLON	2' X 2'	L
(CC)	CALLISTEMON VIMINALIS 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GALLON	3' X 5'	L
(O)	CHONDROPETALUM TECTORIUM	CAPE RUSH	5 GALLON	3' X 3'	L
(E)	CISTUS X 'VICTOR REITER'	CORAL ROCKROSE	5 GALLON	3' X 3'	L
(F)	DIETES VEGETA 'VARIEGATA'	VARIEGATED AFRICAN IRIS	1 GALLON	3' X 3'	L
(G)	DODONAEA VISCOSA 'PUPUREA'	HOPSEED BUSH	5 GALLON	12" X 6'	L
(H)	FESTUCA MAIREI	ATLAS FESCUE	1 GALLON	3' X 3'	L
(I)	GALVEZIA SPECIOSA 'FIRECRACKER'	ISLAND SNAPDRAGON	5 GALLON	3' X 5'	L
(J)	GREVILLEA X 'NOELLII'	GREVILLEA	5 GALLON	4' X 4'	L
(K)	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GALLON	3' X 3'	L
(O)	HESPERALOE PARVIFLORA 'BRAKELIGHTS'	BRAKELIGHTS RED YUCCA	1 GALLON	2' X 2'	L
(L)	LAVATERA MARTIMA	TREE MALLOW	5 GALLON	6' X 6'	L
(M)	LEONOTIS LEONURUS	LION'S TAIL	5 GALLON	6' X 5'	L
(N)	LEUCOPHYLLUM FRUTESCENS	TEXAS SAGE	1 GALLON	5' X 5'	L
(O)	LIMONIUM PEREZII	STATICE	1 GALLON	2' X 2'	M
(O)	LOMANDRA 'BREEZE'	DWARF MAT RUSH	1 GALLON	3' X 4'	L
(O)	LOROPETALUM CHINENSE 'PURPLE DIAMOND'	CHINESE FRINGE FLOWER	5 GALLON	5' X 5'	M
(P)	MIMULUS AURANTIACUS	BUSH MONKEY FLOWER	1 GALLON	5' X 5'	L
(O)	MUHLENBERGIA CAPILLARIS	PINK MUHLY	1 GALLON	2' X 2'	L
(Q)	MYRTUS COMMUNIS	MYRTLE	5 GALLON	5' X 5'	L
(O)	MYRTUS COMMUNIS 'COMPACTA'	DWARF MYRTLE	5 GALLON	2' X 2'	L
(O)	NANDINA DOMESTICA 'FIREPOWER'	FIREPOWER HEAVENLY BAMBOO	5 GALLON	2' X 2'	L
(O)	NEPETA X FAASSEMII 'WALKER'S LOW'	CATMINT	1 GALLON	2' X 2'	L
(S)	PENSTEMON HETEROPHYLLUS 'MARGARITA BOP'	PENSTEMON	1 GALLON	2' X 2'	L



**PROMENADE AT SAND CREEK - DESIGN REVIEW**  
**TRI-POINTE HOMES**  
**ANTIOCH, CA**

NO	DATE	DESCRIPTION

PROJECT NO.	5931.00
CAD DWG FILE	593100CL-PLANT PALETTE.DWG
DESIGNED BY:	CM
DRAWN BY:	JMC
CHECKED BY:	CM
DATE:	MAY 14, 2021
SCALE:	AS NOTED

**PLANT PALETTE**

**L7**

**PLANTING PLAN NOTES**

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL PLANT MATERIAL AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, STRUCTURAL IMPROVEMENTS AND HARDCAPE SHALL BE INSTALLED PRIOR TO PLANTING OPERATIONS.

PLANT LIST ON THE DRAWINGS SHALL BE USED AS A GUIDE ONLY. CONTRACTOR SHALL TAKEOFF AND VERIFY SIZES AND QUANTITIES BY PLAN CHECK.

A SOIL MANAGEMENT REPORT SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AND SOIL AMENDMENTS SHALL BE FOLLOWED PER THE REPORT. PHYSICAL COPIES OF THE SOIL MANAGEMENT REPORT SHALL BE PROVIDED TO THE CLIENT, PROJECT LANDSCAPE ARCHITECT AND LOCAL AGENCY AS REQUIRED. THE SOIL MANAGEMENT REPORT SHALL CONFORM TO STATE AB1881 WATER EFFICIENT LANDSCAPE ORDINANCE (WELO) OR LOCAL AGENCY ADOPTED WELO. CONTRACTOR SHALL OBTAIN A SOILS MANAGEMENT REPORT AFTER GRADING OPERATIONS AND PRIOR TO PLANT INSTALLATION.

SAMPLES OF FERTILIZERS, ORGANIC AMENDMENT, SOIL CONDITIONERS, AND SEED SHALL BE SUBMITTED PRIOR TO INCORPORATION. CONTRACTOR SHALL FURNISH TO THE OWNER'S AUTHORIZED REPRESENTATIVE A CERTIFICATE OF COMPLIANCE FOR SUCH FURNISHED MATERIALS.

ALL WORK ON THE IRRIGATION SYSTEM, INCLUDING HYDROSTATIC, COVERAGE, AND OPERATIONAL TESTS AND THE BACKFILLING AND COMPACTION OF TRENCHES SHALL BE PERFORMED PRIOR TO PLANTING OPERATIONS.

LOCATIONS OF PLANT MATERIAL SHALL BE REVIEWED ON SITE BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.

TREES SHALL BE PLANTED NO CLOSER THAN TEN FEET (10') FROM UTILITIES.

TREES PLANTED WITHIN FIVE FEET (5') OF HARDCAPE OR STRUCTURES SHALL BE INSTALLED WITH A ROOT BARRIER AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

CONTRACTOR MUST CONTACT THE CITY OF ANTIOCH ARBORIST TO VERIFY SPECIES (EVEN IF SHOWN ON THE PLANS), LOCATIONS, AND QUANTITIES OF ALL STREET TREES PRIOR TO ORDERING MATERIAL. IF STREET TREES ARE TO BE PLANTED IN TREE WELLS, FINAL LOCATION OF TREE WELLS SHALL BE DETERMINED BY THE ARBORIST PRIOR TO INSTALLATION OF SIDEWALK.

ALL PLANTING AREAS TO RECEIVE 3" THICK BARK MULCH LAYER. CONTRACTOR SHALL PROVIDE SAMPLE OF PROPOSED BARK MULCH FOR APPROVAL. BARK MULCH SHALL BE LYNOSO SMALL FIR BARK (3/4" TO 1-1/2") OR APPROVED EQUAL.

ALL PLANT MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1)

FOR STANDARD FORM TREES, CALIPER SIZE SHALL BE MEASURED 6" ABOVE THE SOIL LINE FOR CALIPERS EQUAL TO OR LESS THAN 4" FOR CALIPERS GREATER THAN 4", CALIPER SHALL BE MEASURES 12" ABOVE THE SOIL LINE. FOR MULTI-TRUNK TREES THE CALIPER SHALL BE ESTABLISHED BY TAKING THE AVERAGE OF THE CALIPER OF THE TWO LARGEST TRUNKS.

CALIPER IS MEASURED 6" ABOVE ORIGINATION POINT OF THE SECOND LARGEST TRUNK OR 6" ABOVE GROUND IF ALL TRUNKS ORIGINATE FROM THE SOIL.

**CALIPER SIZES STANDARDS:**

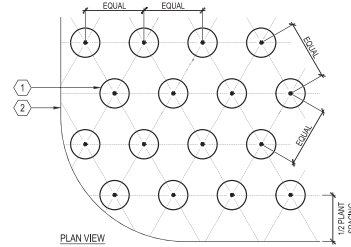
- 15 GALLON: 0.75-1.25"
- 24" BOX: 1.25-2"
- 36" BOX: 2-3.5"
- 48" BOX: 3.5-5"
- 60" BOX: 4-6"

**WATER NEEDS CATEGORY BASED ON WJCOLS IV (JANUARY 2014) LANDSCAPE COEFFICIENT METHOD:**

CATEGORY	PERCENTAGE OF E <sub>t</sub>
(H) HIGH	0.7-0.9
(M) MEDIUM	0.4-0.6
(L) LOW	0.1-0.3
(VL) VERY LOW	<0.1

**NOTES:**

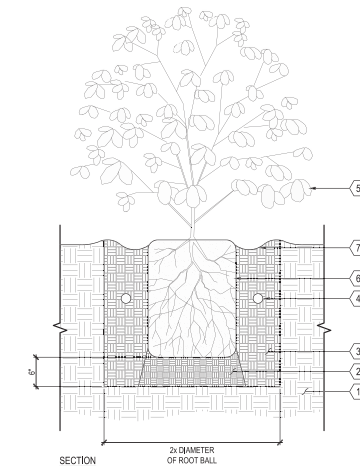
1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
2. SPACING SHALL BE TRIANGULATED UNLESS OTHERWISE NOTED.
3. INFILL PLANTS AS REQUIRED TO MAINTAIN SPACING AT IRREGULAR EDGES.



**C GROUNDCOVER**  
SCALE: 1" = 1'-0"

**NOTES:**

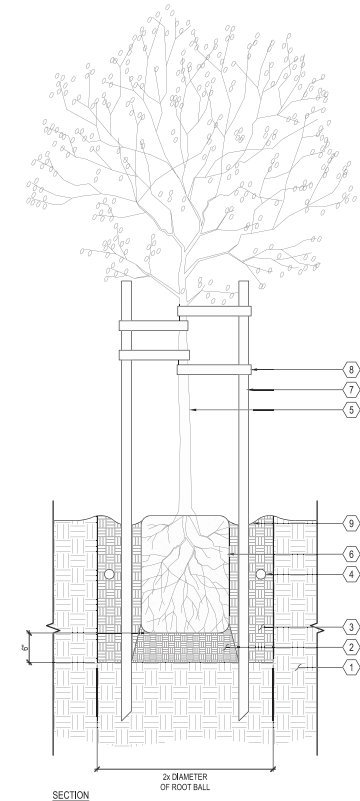
1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
2. ROOT BALL CROWN SHALL EXTEND 1" ABOVE FINISH GRADE.



**B SHRUB**  
SCALE: 1" = 1'-0"

**NOTES:**

1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
2. ROOT BALL CROWN SHALL EXTEND 1" ABOVE FINISH GRADE.
3. TREE INSTALLED IN TURF AREAS SHALL BE INSTALLED WITH 'ARBOR-GUARD' AT BASE OF TRUNK.



**A TREE**  
SCALE: 1" = 1'-0"

- 1 NATIVE GRADE
- 2 FOOT TAMP BASE
- 3 BACKFILL, PUDDLE AND SETTLE PRIOR TO PLANTING TREE
- 4 AGRIFORM PLANT TABLETS, 3 PER 15 GALLON, 6 PER 24" BOX, AND 8 FOR 36" BOX
- 5 TREE
- 6 ROOT BALL
- 7 PINE LODGE POLE STAKE, 2" DIAMETER, PLACED ON WINDWARD SIDES OF TREE AND OUTSIDE OF ROOT BALL
- 8 CINCH TIE
- 9 2" DEEP BASIN AROUND ROOT BALL. TREES PLANTED IN TURF SHALL NOT HAVE BASINS

**HMH**  
Land Use Entitlements  
Land Planning  
Landscape Architecture  
Civil Engineering  
Utility Design  
Land Surveying  
Stormwater Compliance  
1570 Oakland Road  
San Jose, CA 95131 (408) 487-2200  
hmmca.com

**tri pointe HOMES**

**PROMENADE AT SAND CREEK - DESIGN REVIEW**  
TRI-POINTE HOMES  
ANTIOCH, CA

NO	DATE	DESCRIPTION

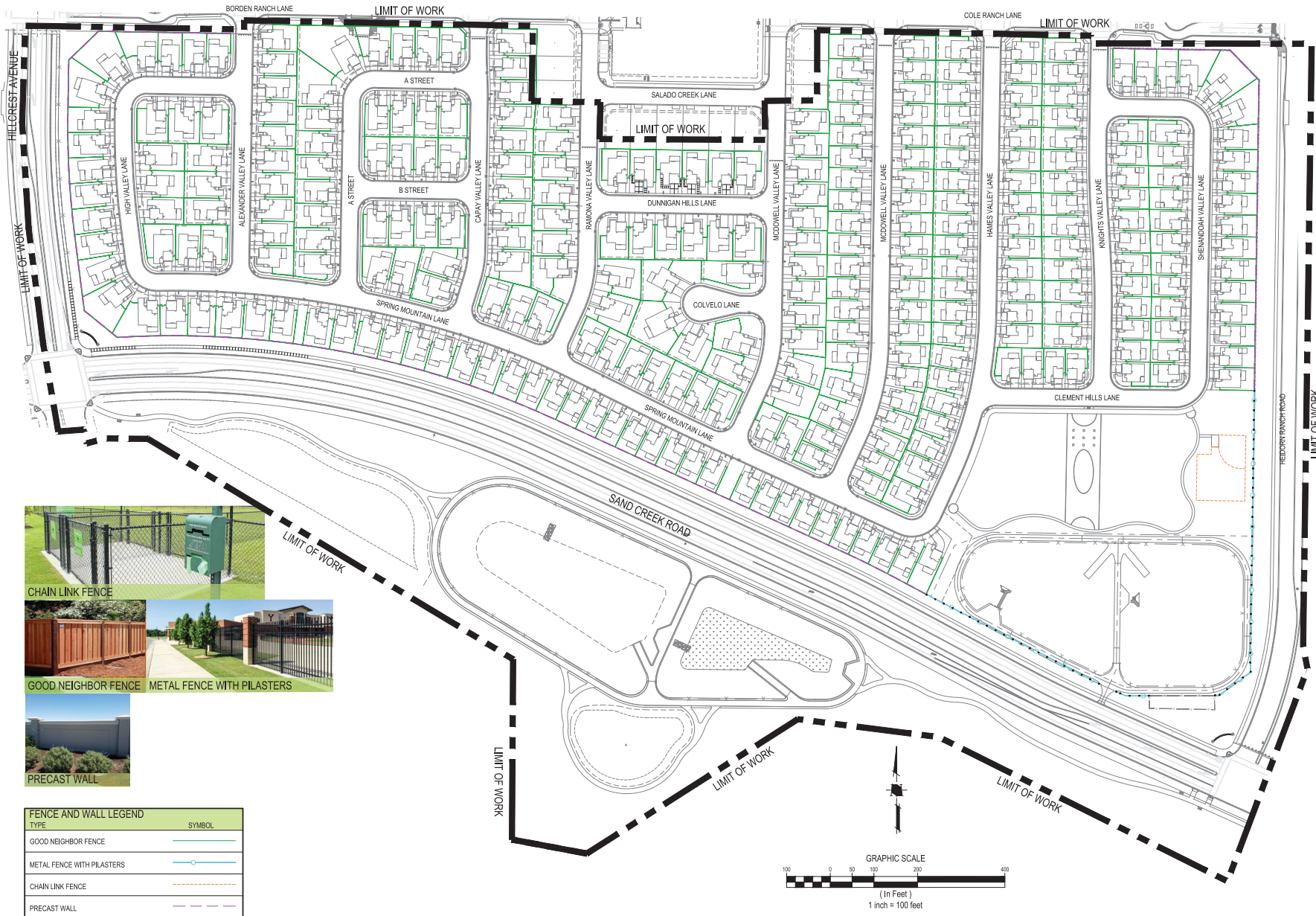
PROJECT NO.	5831.00
CAD DWG FILE	583100CL-PLANT PALETTE.DWG
DESIGNED BY:	CM
DRAWN BY:	JMC
CHECKED BY:	CM
DATE	MAY 14, 2021
SCALE	AS NOTED
© HMH	AS NOTED

**PLANTING DETAILS AND NOTES**

S:\PROJECTS\583100\CL\583100CL-PLANT PALETTE.DWG

PLOTTED: 11/20/2021 10:28 AM



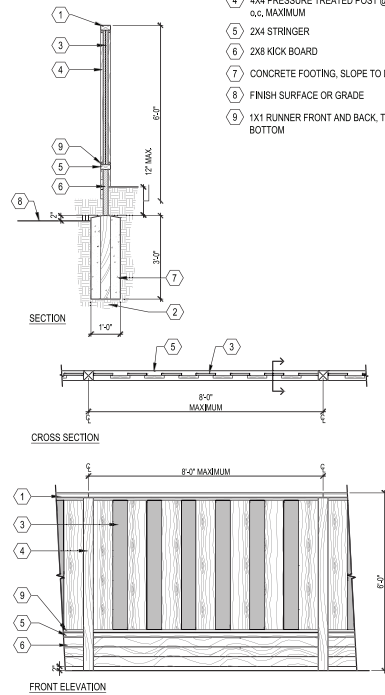


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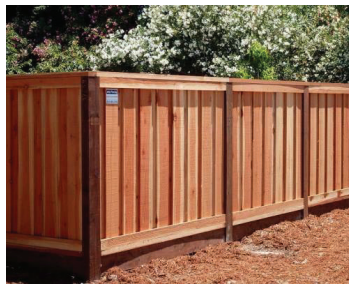
1. ALL WOOD SHALL BE CONSTRUCTION GRADE REDWOOD, EXCEPT AS NOTED OTHERWISE.

2. SEE MATERIALS LIST FOR COLOR TYPE AND FINISH.

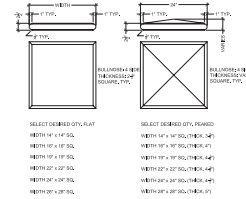
- ① 2X4 CAP
- ② NATIVE GRADE OR CERTIFIED COMPACTED SUBGRADE
- ③ 1X6 BOARDS WITH 1" OVERLAP
- ④ 4X4 PRESSURE TREATED POST @ 8'-0" O.C. MAXIMUM
- ⑤ 2X4 STRINGER
- ⑥ 2X8 KICK BOARD
- ⑦ CONCRETE FOOTING, SLOPE TO DRAIN
- ⑧ FINISH SURFACE OR GRADE
- ⑨ 1X1 RUNNER FRONT AND BACK, TOP AND BOTTOM



⑧ GOOD NEIGHBOR FENCE  
SCALE: 1/2"=1'-0"



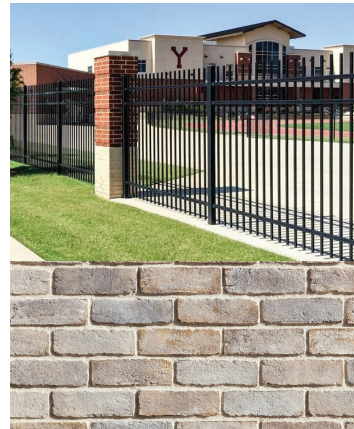
GOOD NEIGHBOR FENCE



SELECT COLORS ONLY  
HEIGHT OF 4' 0\"/>

CLASSIC PILASTER CAP SIZES, FLAT AND PEAKED  
SCALE: 1/2\"/>

PILASTER CAP:  
Stepstone Inc. Classic Pilaster Cap  
Color: Almond

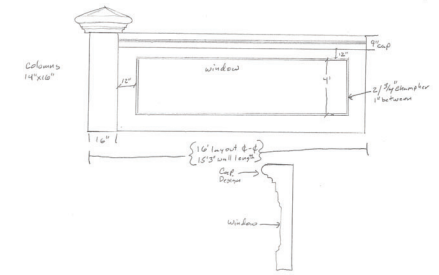


PILASTER:  
Veneer - Eldorado Stone Tundrabrick Latigo

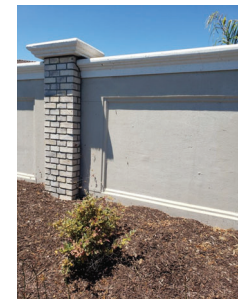


METAL FENCE: 6' tall Ameristar Montage Majestic fence in black

6' TALL METAL FENCE WITH PILASTERS



Wall elevation sketch provided by American Precast



6' TALL PRECAST WALL: American Precast shall match perimeter wall in Phase 1-3

6' TALL PRECAST WALL



CHAIN LINK FENCE - color black

CHAIN LINK FENCE



BENCH



MAILBOX CLUSTER



PEDESTRIAN POST LIGHT



TRASH RECEPTACLE



DOG PICK-UP STATION



PEDESTRIAN PATH LIGHT

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tri pointe  
 HOMES

**PROMENADE AT  
 SAND CREEK - DESIGN REVIEW**  
 TRI-POINTE HOMES  
 ANTIOCH, CA

△		
△		
△		
△		

NO	DATE	DESCRIPTION

PROJECT NO. 5831.00  
 CAD DWG FILE: 583100CL-PLANT PALETTE.DWG  
 DESIGNED BY: DM  
 DRAWN BY: JM  
 CHECKED BY: CM  
 DATE: MAY 14, 2021  
 SCALE: NONE  
 © HMH

**SITE FURNISHINGS**

# PROMENADE 45x80 LOTS

## ANTIOCH, CALIFORNIA



PLAN 1D - FARMHOUSE

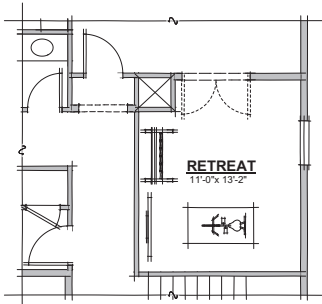
PLAN 2B - COTTAGE

PLAN 3C - CRAFTSMAN

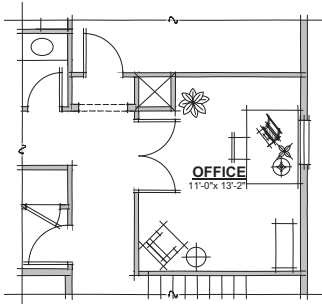
PLAN 4A - RANCH

### HANES VALLEY LANE

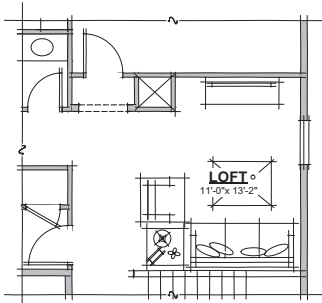
SHEET INDEX			
T-1	45 x 80 STREETSCENE W/ SHEET INDEX		
A-1	PLAN 1 - FLOOR PLAN	A-6	PLAN 2 - FLOOR PLAN
A-2	PLAN 1 - ELEVATION ALL FRONTS	A-7	PLAN 2 - ELEVATION ALL FRONTS
A-3	PLAN 1 - ELEVATION 'B' (COTTAGE)	A-8	PLAN 2 - ELEVATION 'A' (RANCH)
A-4	PLAN 1 - ELEVATION 'C' (CRAFTSMAN)	A-9	PLAN 2 - ELEVATION 'B' (COTTAGE)
A-5	PLAN 1 - ELEVATION 'D' (FARMHOUSE)	A-10	PLAN 2 - ELEVATION 'D' (FARMHOUSE)
A-11	PLAN 3 - FLOOR PLAN	A-16	PLAN 4 - FLOOR PLAN
A-12	PLAN 3 - ELEVATION ALL FRONTS	A-17	PLAN 4 - ELEVATION ALL FRONTS
A-13	PLAN 3 - ELEVATION 'A' (RANCH)	A-18	PLAN 4 - ELEVATION 'A' (RANCH)
A-14	PLAN 3 - ELEVATION 'C' (CRAFTSMAN)	A-19	PLAN 4 - ELEVATION 'B' (COTTAGE)
A-15	PLAN 3 - ELEVATION 'D' (FARMHOUSE)	A-20	PLAN 4 - ELEVATION 'D' (FARMHOUSE)
T-2	50 x 90 STREETSCENE W/ SHEET INDEX		
A-21	PLAN 1 - FLOOR PLAN	A-26	PLAN 2 - FLOOR PLAN
A-22	PLAN 1 - ELEVATION ALL FRONTS	A-27	PLAN 2 - ELEVATION ALL FRONTS
A-23	PLAN 1 - ELEVATION 'A' (RANCH)	A-28	PLAN 2 - ELEVATION 'A' (RANCH)
A-24	PLAN 1 - ELEVATION 'B' (COTTAGE)	A-29	PLAN 2 - ELEVATION 'B' (COTTAGE)
A-25	PLAN 1 - ELEVATION 'D' (FARMHOUSE)	A-30	PLAN 2 - ELEVATION 'C' (CRAFTSMAN)
A-31	PLAN 3 - FLOOR PLAN	A-36	PLAN 4 - FLOOR PLAN
A-32	PLAN 3 - ELEVATION ALL FRONTS	A-37	PLAN 4 - ELEVATION ALL FRONTS
A-33	PLAN 3 - ELEVATION 'A' (RANCH)	A-38	PLAN 4 - ELEVATION 'A' (RANCH)
A-34	PLAN 3 - ELEVATION 'B' (COTTAGE)	A-39	PLAN 4 - ELEVATION 'B' (COTTAGE)
A-35	PLAN 3 - ELEVATION 'C' (CRAFTSMAN)	A-40	PLAN 4 - ELEVATION 'D' (FARMHOUSE)



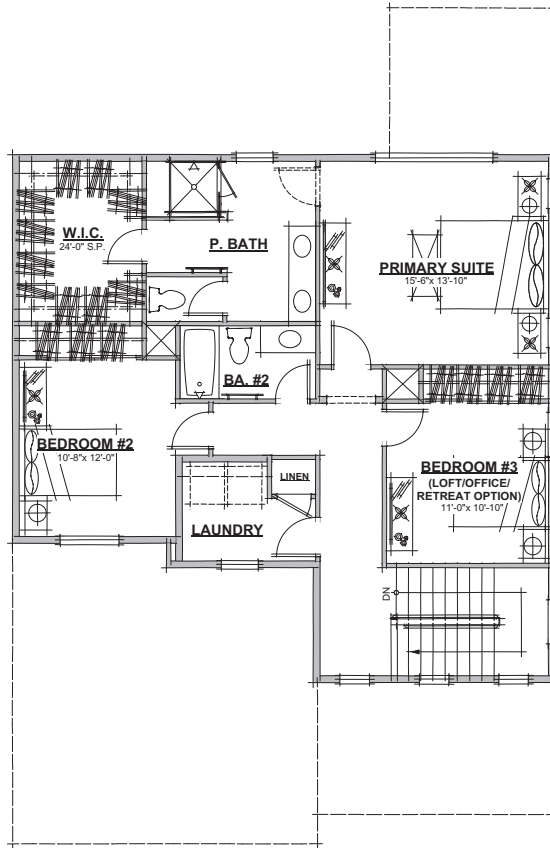
RETREAT OPTION



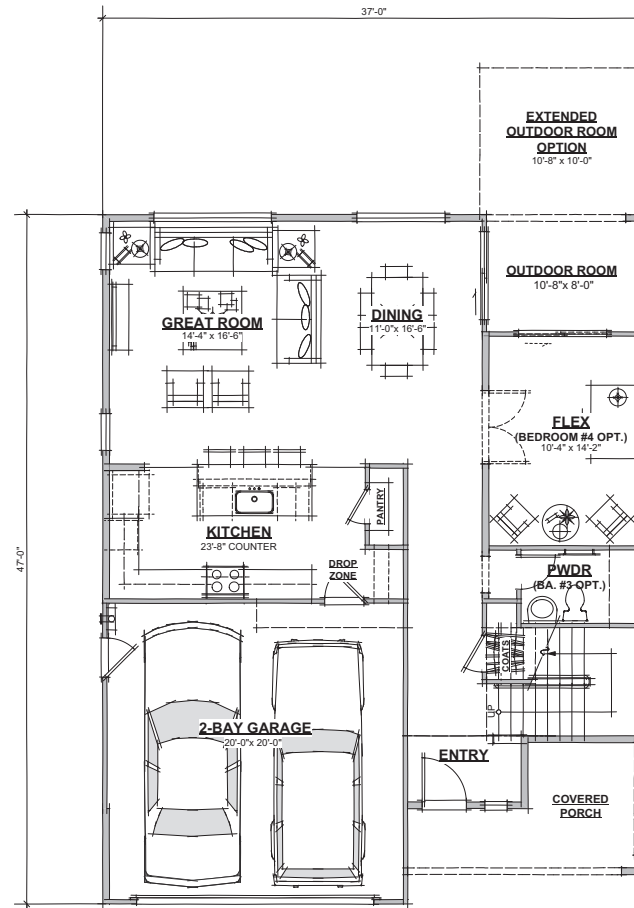
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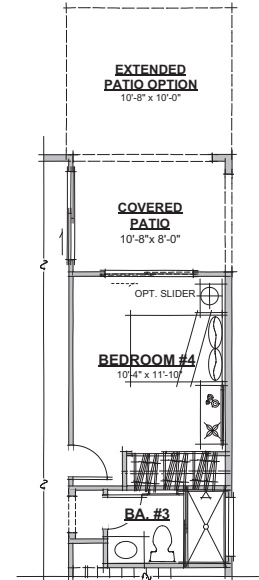
LOFT OPTION



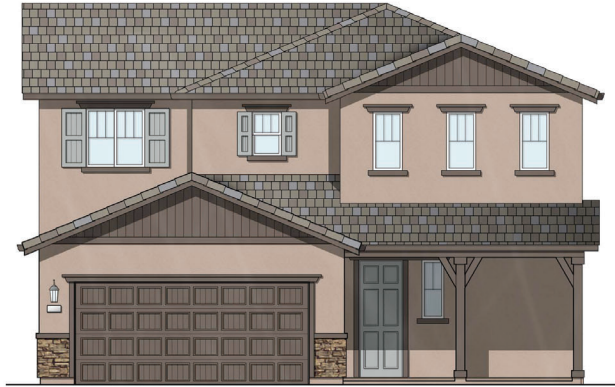
SECOND FLOOR PLAN (1065 S.F.)



FIRST FLOOR PLAN (1089 S.F.; 2154 TOTAL S.F.)



BEDROOM #4/  
BATH #3 OPTION



**FRONT ELEVATION "B"**  
**(COTTAGE)**

*SCHEME 6*



**FRONT ELEVATION "C"**  
**(CRAFTSMAN)**

*SCHEME 7*

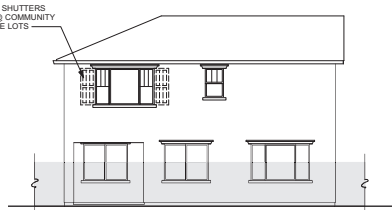


**FRONT ELEVATION "D"**  
**(FARMHOUSE)**

*SCHEME 12*



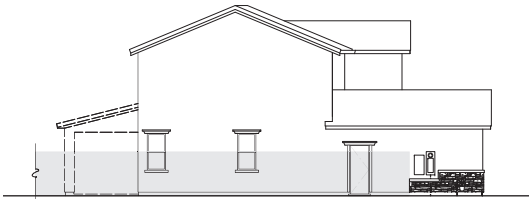
**RIGHT SIDE "B"**



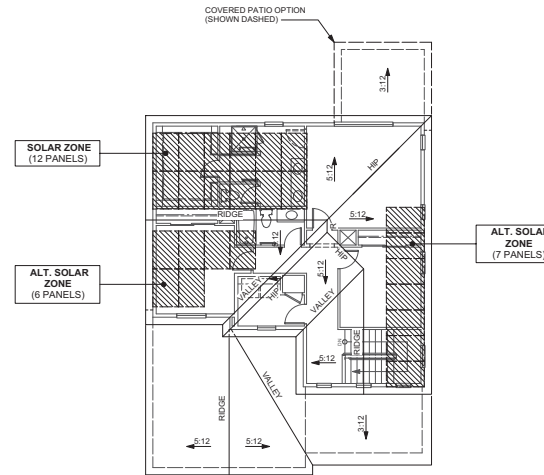
**REAR "B"**



**REAR "B"  
(COVERED PATIO OPTION)**



**LEFT SIDE "B"**



**ROOF PLAN "B"**

**COTTAGE THEMES**

**ROOF**

- GABLE & HIP ROOFS
- CONCRETE TILE "SLATE" PROFILE ROOFING
- OGEE GUTTERS
- 12" OVERHANGS, TYP. (U.O.N.)

**SIDING**

- STUCCO SIDING
- MANUFACTURED STONE VENEER (WHERE OCCURS)
- VERTICAL GROOVE PANEL SIDING @ GABLE ENDS (WHERE OCCURS)

**TRIM**

- STUCCO OVER FOAM TRIM

**ENHANCEMENTS**

- WINDOW GRIDS ON STREET FACADES & SECOND FLOOR WINDOWS
- DECORATIVE POSTS AT ENTRY (WHERE OCCURS)
- DECORATIVE RECESSED PANEL SHUTTERS

**ENHANCED ELEVATIONS**

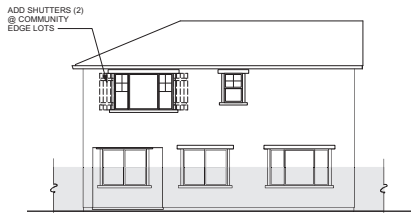
- REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED



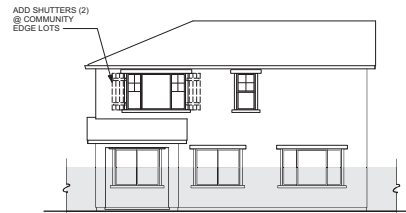
**FRONT ELEVATION "B"  
(COTTAGE)**



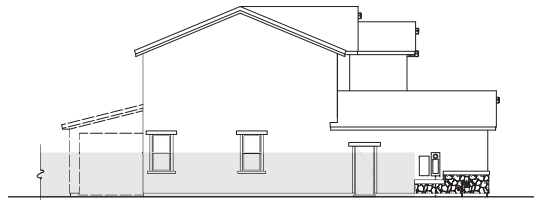
**RIGHT SIDE "C"**



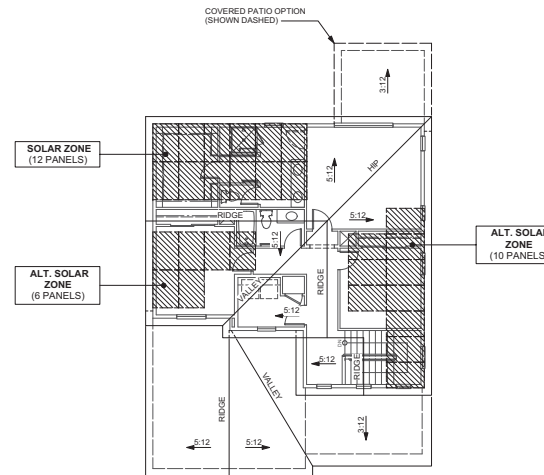
**REAR "C"**



**REAR "C"  
(COVERED PATIO OPTION)**



**LEFT SIDE "C"**



**ROOF PLAN "C"**

**CRAFTSMAN THEME**

**ROOF**

- GABLE ROOFS
- CONCRETE "SHAKE" ROOFING
- OGEE GUTTERS
- 12" OVERHANGS, TYP. (U.O.N.)

**SIDING**

- STUCCO SIDING
- SHINGLE SIDING (WHERE OCCURS)
- MANUFACTURED STONE VENEER (WHERE OCCURS)

**TRIM**

- STUCCO OVER FOAM TRIM

**ENHANCEMENTS**

- WINDOW GRID ON STREET FACADES
- BATTERED COLUMNS AT ENTRY (WHERE OCCURS)
- DECORATIVE PLANK & BATTEN SHUTTERS
- ENHANCED GABLE END SHINGLE SIDING
- OUTLOOKERS @ RAKES (WHERE OCCURS)
- ACCENT PAINTED FRONT DOORS
- THEME SPECIFIC GARAGE DOORS

**ENHANCED ELEVATIONS**

- REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED

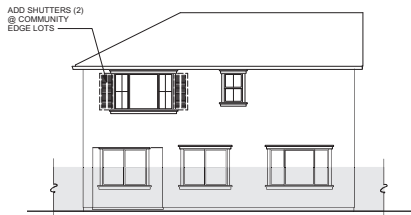


**FRONT ELEVATION "C"  
(CRAFTSMAN)**





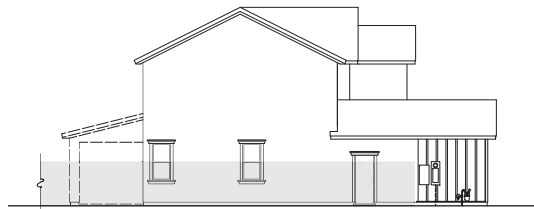
**RIGHT SIDE "D"**



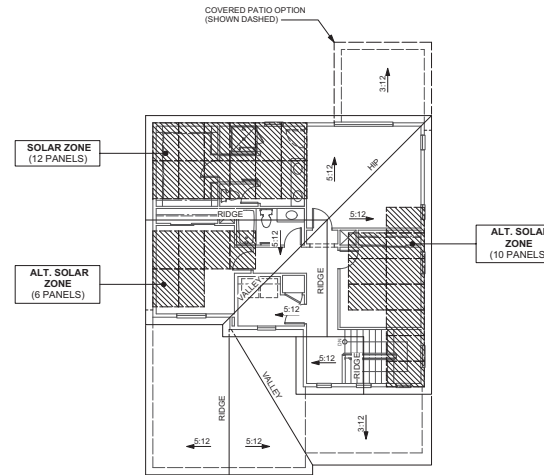
**REAR "D"**



**REAR "D"  
(COVERED PATIO OPTION)**



**LEFT SIDE "D"**



**ROOF PLAN "D"**

**FARMHOUSE THEMES**

**ROOF**

- GABLE & HIP ROOFS
- CONCRETE TILE "SLATE" PROFILE ROOFING
- OGEE GUTTERS
- 12" OVERHANGS, TYP. (U.O.N.)

**SIDING**

- STUCCO SIDING
- BOARD & BATT SIDING (WHERE OCCURS)

**TRIM**

- STUCCO OVER FOAM TRIM
- WOOD TRIM AT BOARD & BATT SIDING

**EXTERIOR MATERIALS**

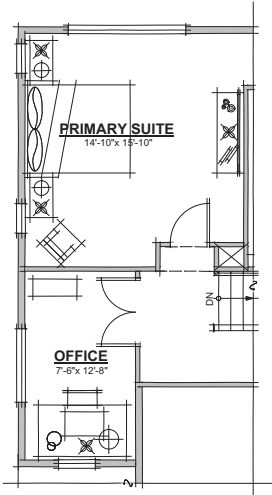
- WINDOW GRIDS ON STREET FACADES & SECOND FLOOR WINDOWS
- STUCCO WAINSCOT (WHERE OCCURS)
- DECORATIVE LOUVERED SHUTTERS
- ACCENT PAINTED FRONT DOORS
- THEME SPECIFIC GARAGE DOORS

**ENHANCED ELEVATIONS**

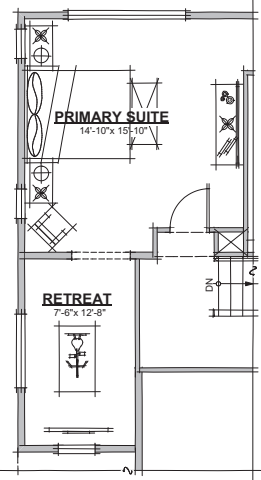
- REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED



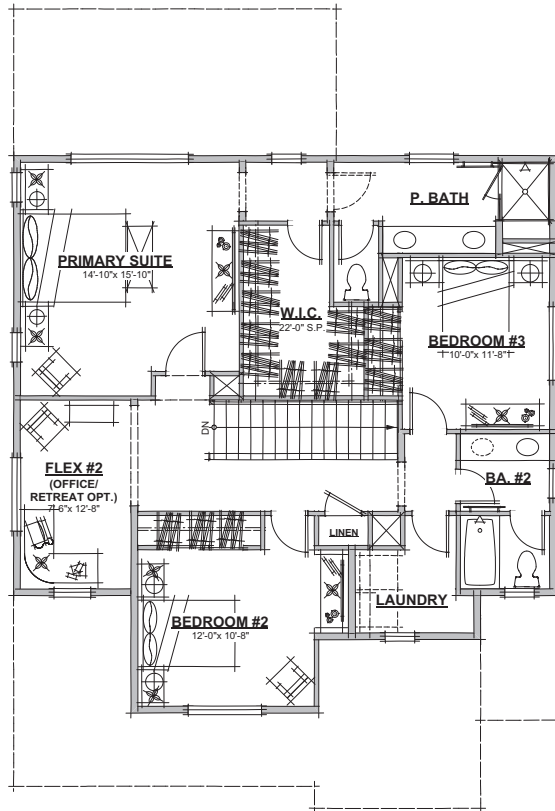
**FRONT ELEVATION "D"  
(FARMHOUSE)**



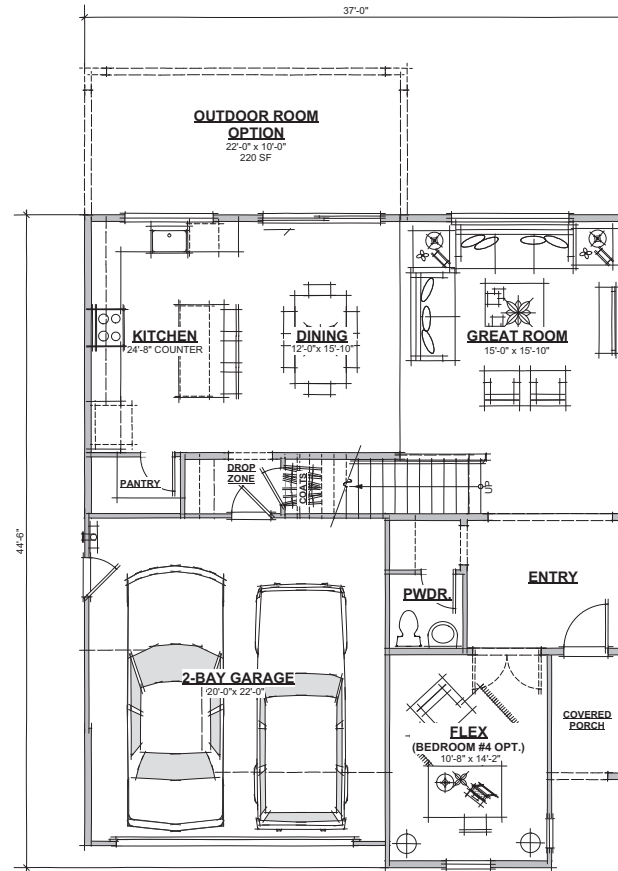
OFFICE OPTION



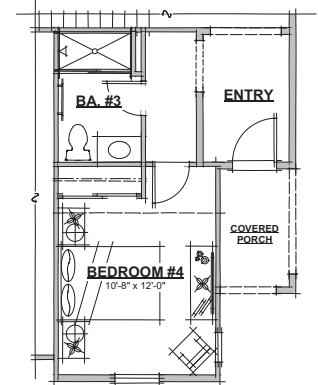
RETREAT OPTION



SECOND FLOOR PLAN (1199 S.F.)



FIRST FLOOR PLAN (1083 S.F.; 2282 TOTAL S.F.)



BEDROOM #4 / BA. 3 OPTION



**FRONT ELEVATION "A"**  
**(RANCH)**

*SCHEME 1*



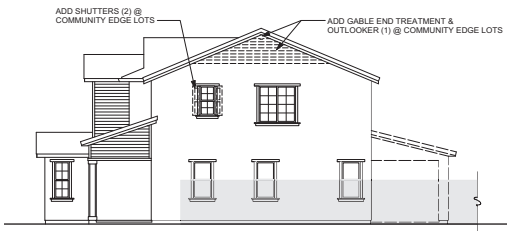
**FRONT ELEVATION "B"**  
**(COTTAGE)**

*SCHEME 5*



**FRONT ELEVATION "D"**  
**(FARMHOUSE)**

*SCHEME 11*



**RIGHT SIDE "A"**



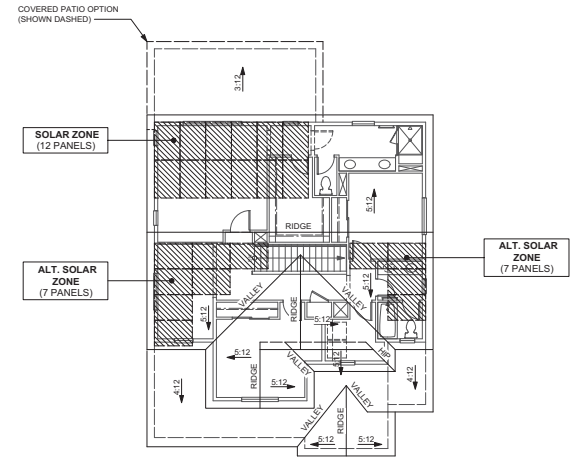
**REAR "A"**



**REAR "A"  
(COVERED PATIO OPTION)**

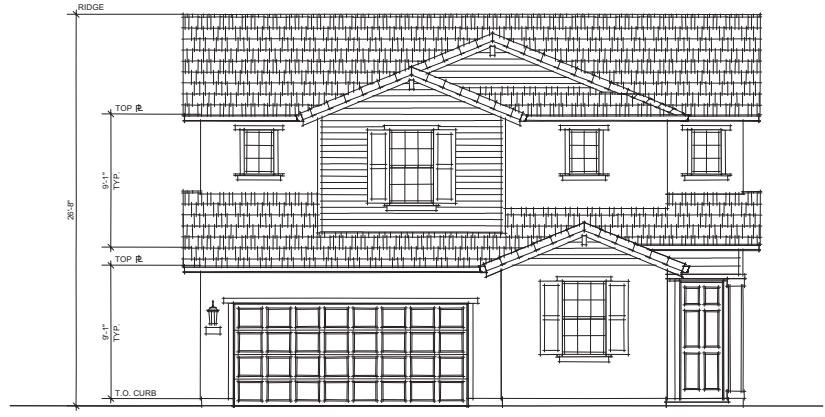


**LEFT SIDE "A"**

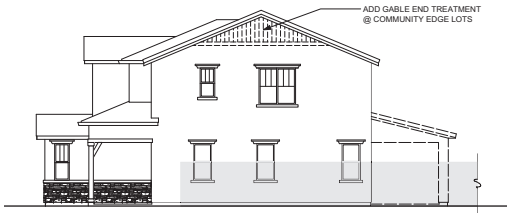


**ROOF PLAN "A"**

RANCH THEMES	
<b>ROOF</b>	<ul style="list-style-type: none"> <li>GABLE &amp; HIP ROOFS</li> <li>CONCRETE TILE "SHAKE" PROFILE ROOFING</li> <li>OGEE GUTTERS</li> <li>12" OVERHANGS, TYP. (U.O.N.)</li> </ul>
<b>SIDING</b>	<ul style="list-style-type: none"> <li>STUCCO SIDING</li> <li>HORIZONTAL LAP SIDING (WHERE OCCURS)</li> </ul>
<b>TRIM</b>	<ul style="list-style-type: none"> <li>STUCCO OVER FOAM TRIM</li> <li>WOOD TRIM AT LAP SIDING</li> </ul>
<b>FEATURES</b>	<ul style="list-style-type: none"> <li>WINDOW GRIDS ON STREET FACADES &amp; SECOND FLOOR WINDOWS</li> <li>DECORATIVE ENTRY POSTS (WHERE OCCURS)</li> <li>DECORATIVE RECESSED PANEL SHUTTERS</li> <li>OUTLOOKERS AT RAKES (WHERE OCCURS)</li> <li>ACCENT PAINTED FRONT DOORS</li> <li>THEME SPECIFIC GARAGE DOORS</li> </ul>
<b>ENHANCED ELEVATIONS</b>	<ul style="list-style-type: none"> <li>REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED</li> </ul>



**FRONT ELEVATION "A"  
(RANCH)**



**RIGHT SIDE "B"**



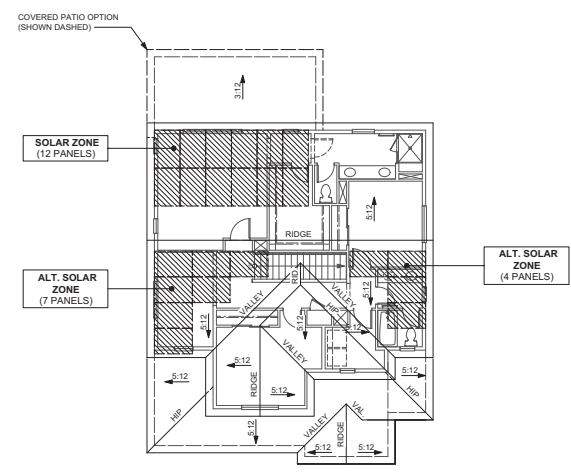
**REAR "B"**



**REAR "B"  
(COVERED PATIO OPTION)**



**LEFT SIDE "B"**

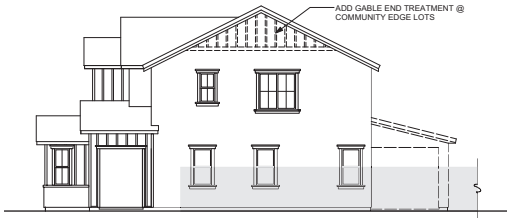


**ROOF PLAN "B"**

COTTAGE THEMES	
<b>ROOF</b>	<ul style="list-style-type: none"> <li>GABLE &amp; HIP ROOFS</li> <li>CONCRETE TILE "SLATE" PROFILE ROOFING</li> <li>OGEE GUTTERS</li> <li>12" OVERHANGS, TYP. (U.O.N.)</li> </ul>
<b>SIDING</b>	<ul style="list-style-type: none"> <li>STUCCO SIDING</li> <li>MANUFACTURED STONE VENEER (WHERE OCCURS)</li> <li>VERTICAL GROOVE PANEL SIDING @ GABLE ENDS (WHERE OCCURS)</li> </ul>
<b>TRIM</b>	<ul style="list-style-type: none"> <li>STUCCO OVER FOAM TRIM</li> </ul>
<b>ENHANCEMENTS</b>	<ul style="list-style-type: none"> <li>WINDOW GRIDS ON STREET FACADES &amp; SECOND FLOOR WINDOWS</li> <li>DECORATIVE POSTS AT ENTRY (WHERE OCCURS)</li> <li>DECORATIVE RECESSED PANEL SHUTTERS</li> </ul>
<b>ENHANCED ELEVATIONS</b>	<ul style="list-style-type: none"> <li>REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED</li> </ul>



**FRONT ELEVATION "B"  
(COTTAGE)**



**RIGHT SIDE "D"**



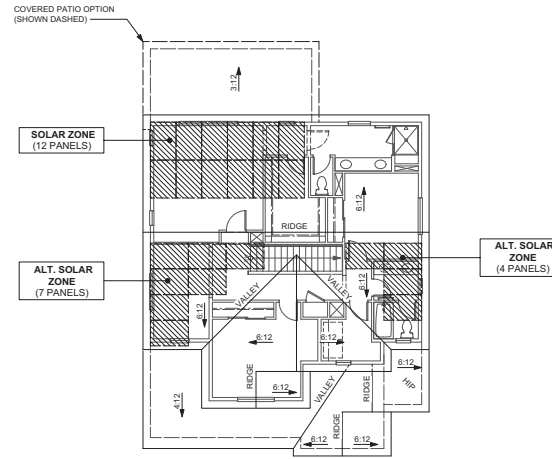
**REAR "D"**



**REAR "D"  
(COVERED PATIO OPTION)**



**LEFT SIDE "D"**



**ROOF PLAN "D"**

**FARMHOUSE THEMES**

**ROOF**

- GABLE & HIP ROOFS
- CONCRETE TILE "SLATE" PROFILE ROOFING
- OGEE GUTTERS
- 12" OVERHANGS, TYP. (U.O.N.)

**SIDING**

- STUCCO SIDING
- BOARD & BATT SIDING (WHERE OCCURS)

**TRIM**

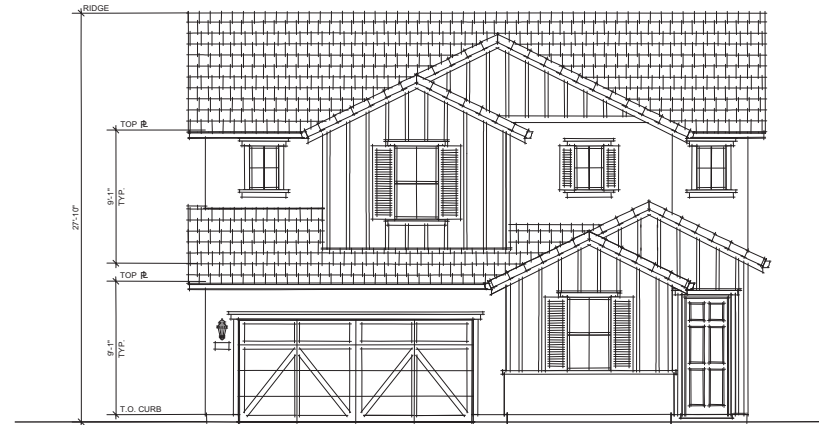
- STUCCO OVER FOAM TRIM
- WOOD TRIM AT BOARD & BATT SIDING

**EXTERIOR MATERIALS**

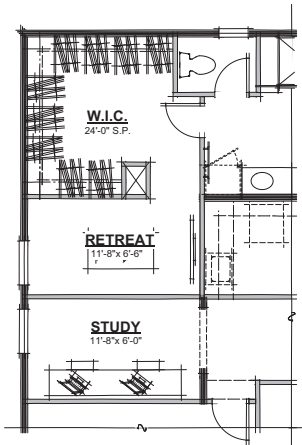
- WINDOW GRIDS ON STREET FACADES & SECOND FLOOR WINDOWS
- STUCCO WAINSCOT (WHERE OCCURS)
- DECORATIVE LOUVERED SHUTTERS
- ACCENT PAINTED FRONT DOORS
- THEME SPECIFIC GARAGE DOORS

**ENHANCED ELEVATIONS**

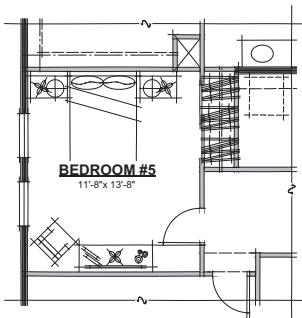
- REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED



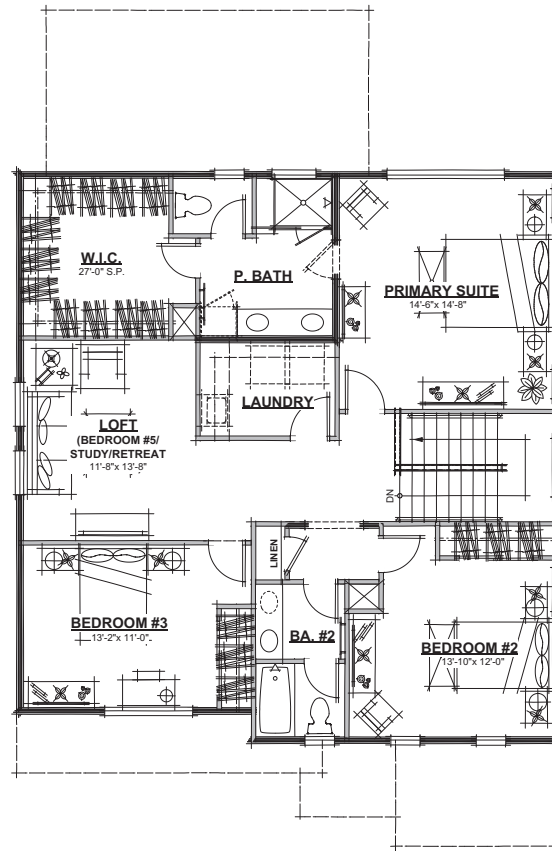
**FRONT ELEVATION "D"  
(FARMHOUSE)**



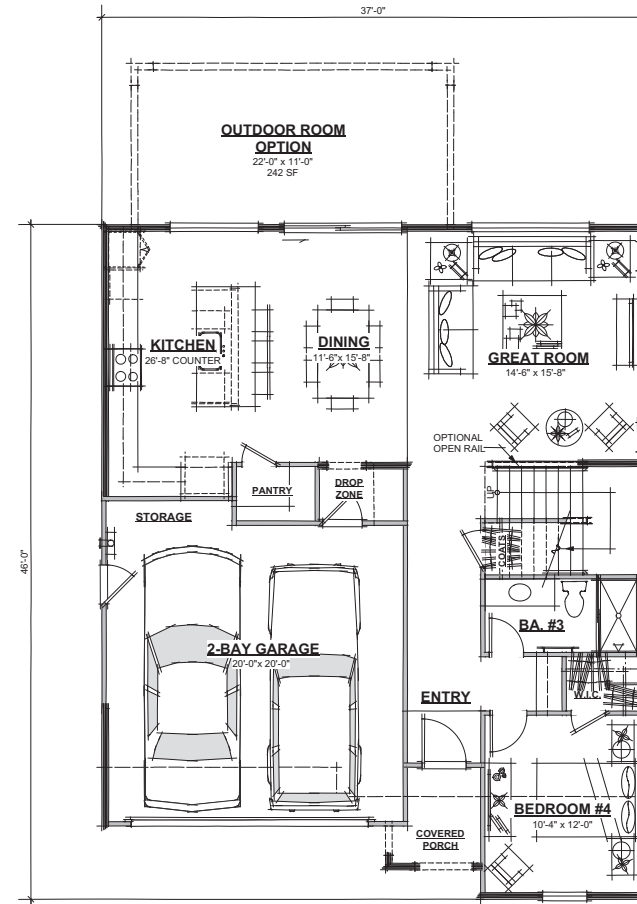
**RETREAT / STUDY OPTION**



**BEDROOM #5 OPTION**



**SECOND FLOOR PLAN (1330 S.F.)**

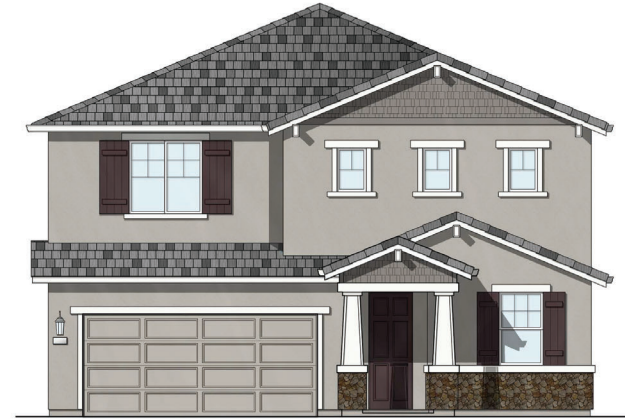


**FIRST FLOOR PLAN (1116 S.F.; 2446 TOTAL S.F.)**



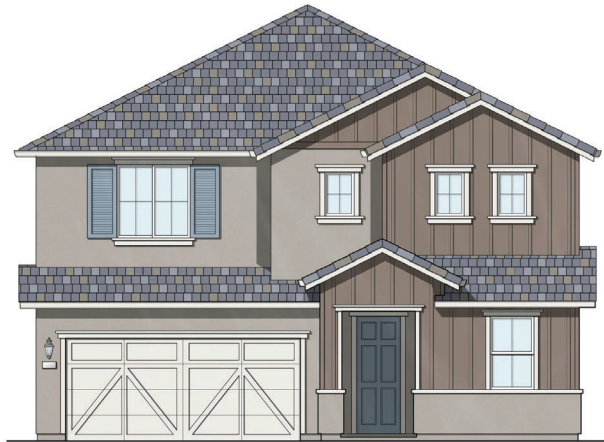
**FRONT ELEVATION "A"**  
**(RANCH)**

*SCHEME 3*



**FRONT ELEVATION "C"**  
**(CRAFTSMAN)**

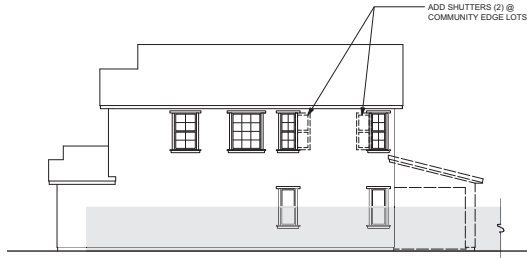
*SCHEME 9*



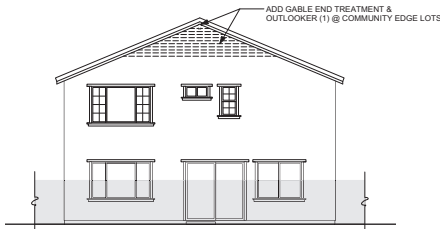
**FRONT ELEVATION "D"**  
**(FARMHOUSE)**

*SCHEME 10*

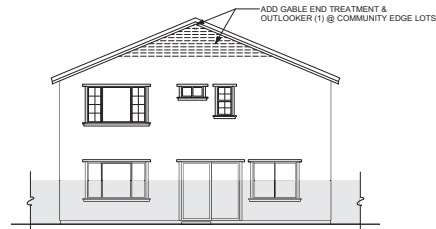




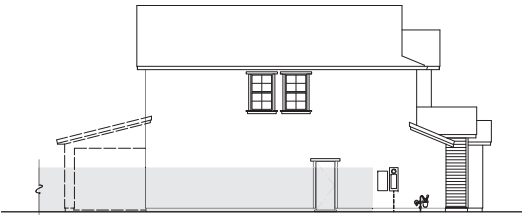
**RIGHT SIDE "A"**



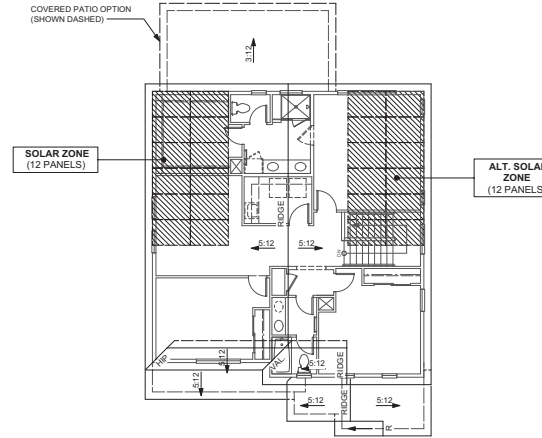
**REAR "A"**



**REAR "A"  
(COVERED PATIO OPTION)**



**LEFT SIDE "A"**



**ROOF PLAN "A"**

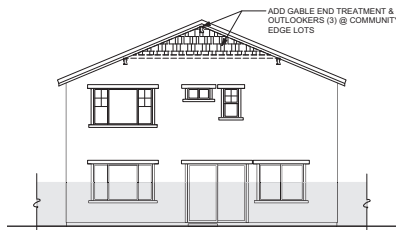
RANCH THEMES	
<b>ROOF</b>	<ul style="list-style-type: none"> <li>GABLE &amp; HIP ROOFS</li> <li>CONCRETE TILE "SHAKE" PROFILE ROOFING</li> <li>OGEE GUTTERS</li> <li>12" OVERHANGS, TYP. (U.O.N.)</li> </ul>
<b>SIDING</b>	<ul style="list-style-type: none"> <li>STUCCO SIDING</li> <li>HORIZONTAL LAP SIDING (WHERE OCCURS)</li> </ul>
<b>TRIM</b>	<ul style="list-style-type: none"> <li>STUCCO OVER FOAM TRIM</li> <li>WOOD TRIM AT LAP SIDING</li> </ul>
<b>FEATURES</b>	<ul style="list-style-type: none"> <li>WINDOW GRIDS ON STREET FACADES &amp; SECOND FLOOR WINDOWS</li> <li>DECORATIVE ENTRY POSTS (WHERE OCCURS)</li> <li>DECORATIVE RECESSED PANEL SHUTTERS</li> <li>OUTLOOKERS AT RAKES (WHERE OCCURS)</li> <li>ACCENT PAINTED FRONT DOORS</li> <li>THEME SPECIFIC GARAGE DOORS</li> </ul>
<b>ENHANCED ELEVATIONS</b>	<ul style="list-style-type: none"> <li>REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED</li> </ul>



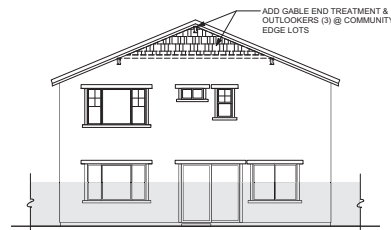
**FRONT ELEVATION "A"  
(RANCH)**



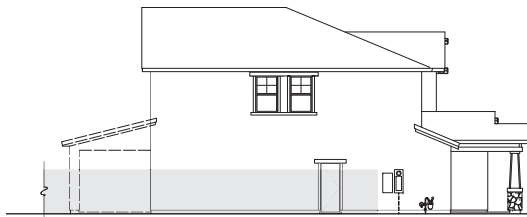
**RIGHT SIDE "C"**



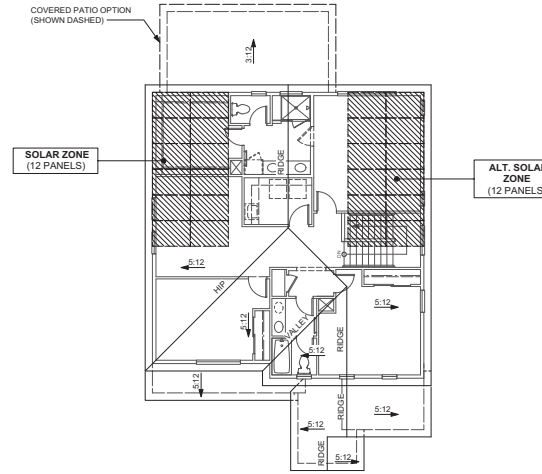
**REAR "C"**



**REAR "C"  
(COVERED PATIO OPTION)**

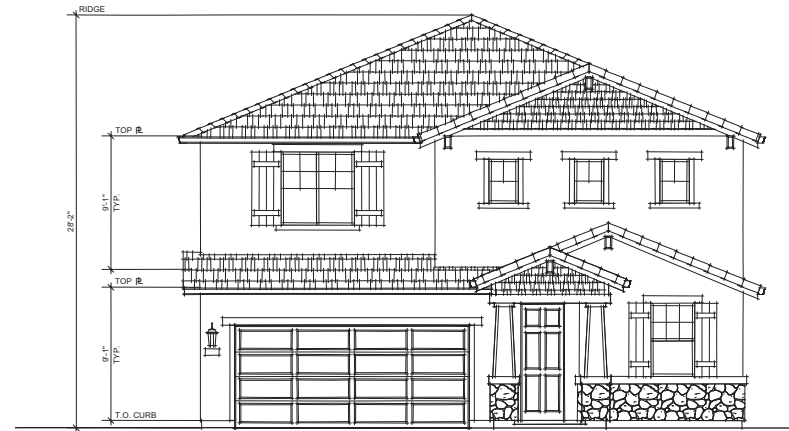


**LEFT SIDE "C"**

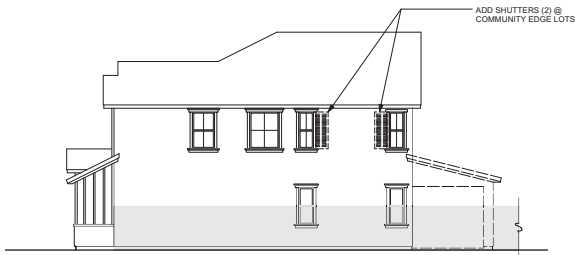


**ROOF PLAN "C"**

CRAFTSMAN THEME	
<b>ROOF</b>	<ul style="list-style-type: none"> <li>GABLE ROOFS</li> <li>CONCRETE "SHAKE" ROOFING</li> <li>OGEE GUTTERS</li> <li>12" OVERHANGS, TYP. (U.O.N.)</li> </ul>
<b>SIDING</b>	<ul style="list-style-type: none"> <li>STUCCO SIDING</li> <li>SHINGLE SIDING (WHERE OCCURS)</li> <li>MANUFACTURED STONE VENEER (WHERE OCCURS)</li> </ul>
<b>TRIM</b>	<ul style="list-style-type: none"> <li>STUCCO OVER FOAM TRIM</li> </ul>
<b>ENHANCEMENTS</b>	<ul style="list-style-type: none"> <li>WINDOW GRID ON STREET FACADES</li> <li>BATTERED COLUMNS AT ENTRY (WHERE OCCURS)</li> <li>DECORATIVE PLANK &amp; BATTEN SHUTTERS</li> <li>ENHANCED GABLE END SHINGLE SIDING</li> <li>OUTLOOKERS @ RAKES (WHERE OCCURS)</li> <li>ACCENT PAINTED FRONT DOORS</li> <li>THEME SPECIFIC GARAGE DOORS</li> </ul>
<b>ENHANCED ELEVATIONS</b>	<ul style="list-style-type: none"> <li>REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED</li> </ul>



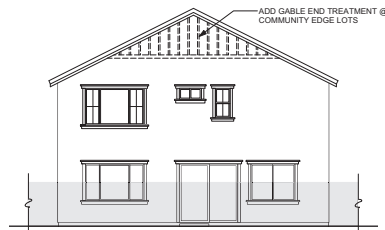
**FRONT ELEVATION "C"  
(CRAFTSMAN)**



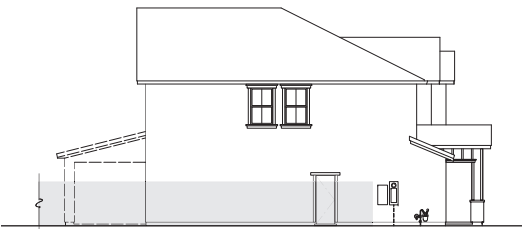
**RIGHT SIDE "D"**



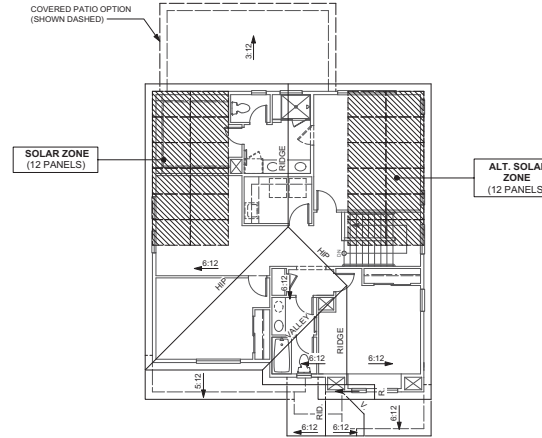
**REAR "D"**



**REAR "D"  
(COVERED PATIO OPTION)**



**LEFT SIDE "D"**



**ROOF PLAN "D"**

**FARMHOUSE THEMES**

**ROOF**

- GABLE & HIP ROOFS
- CONCRETE TILE "SLATE" PROFILE ROOFING
- OGEE GUTTERS
- 12" OVERHANGS, TYP. (U.O.N.)

**SIDING**

- STUCCO SIDING
- BOARD & BATT SIDING (WHERE OCCURS)

**TRIM**

- STUCCO OVER FOAM TRIM
- WOOD TRIM AT BOARD & BATT SIDING

**EXTERIOR MATERIALS**

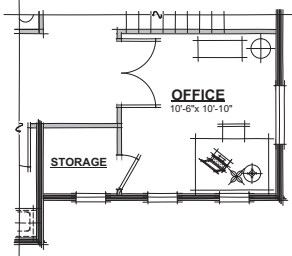
- WINDOW GRIDS ON STREET FACADES & SECOND FLOOR WINDOWS
- STUCCO WAINSCOT (WHERE OCCURS)
- DECORATIVE LOUVERED SHUTTERS
- ACCENT PAINTED FRONT DOORS
- THEME SPECIFIC GARAGE DOORS

**ENHANCED ELEVATIONS**

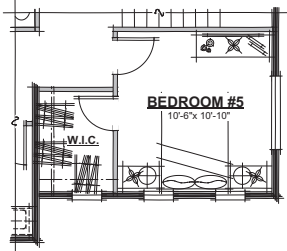
- REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED



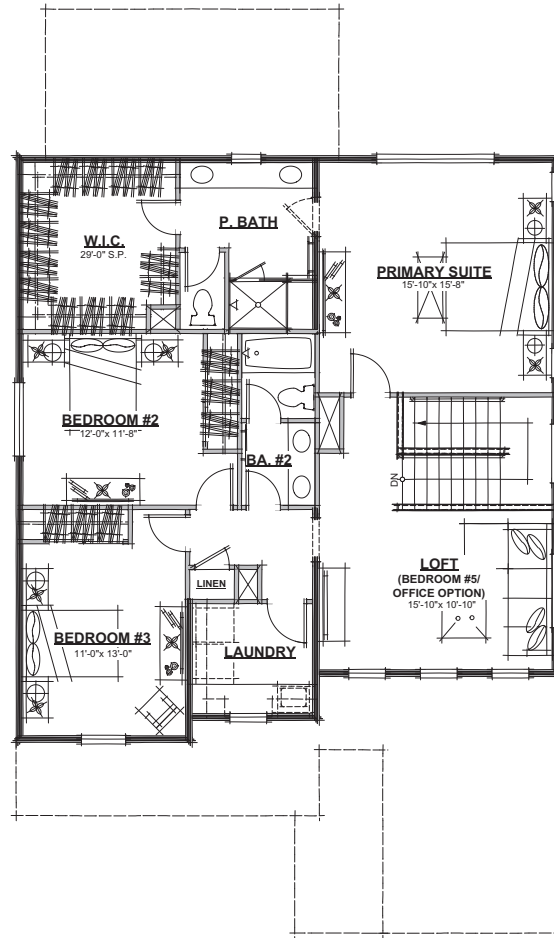
**FRONT ELEVATION "D"  
(FARMHOUSE)**



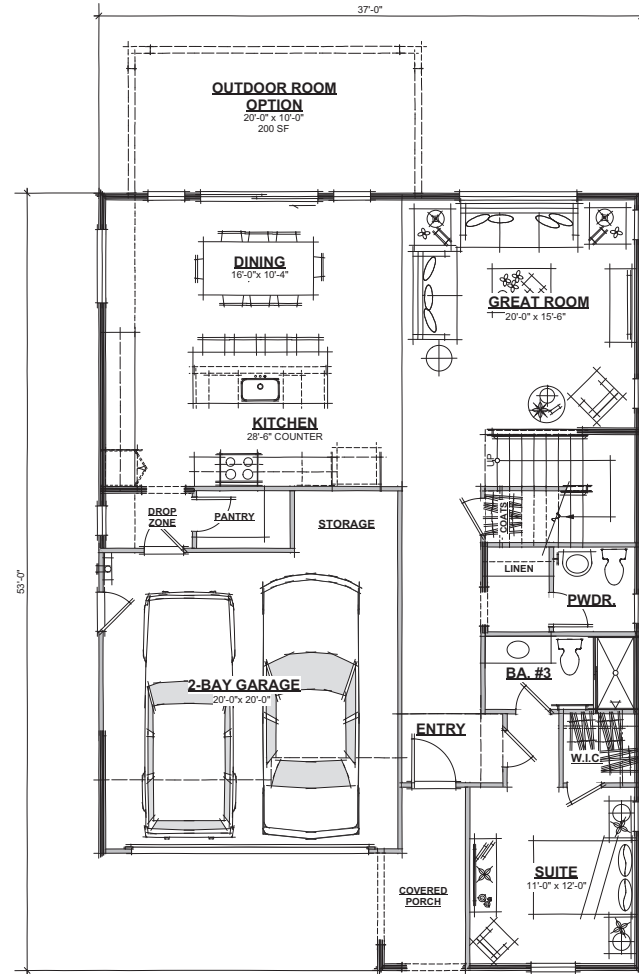
OFFICE OPTION



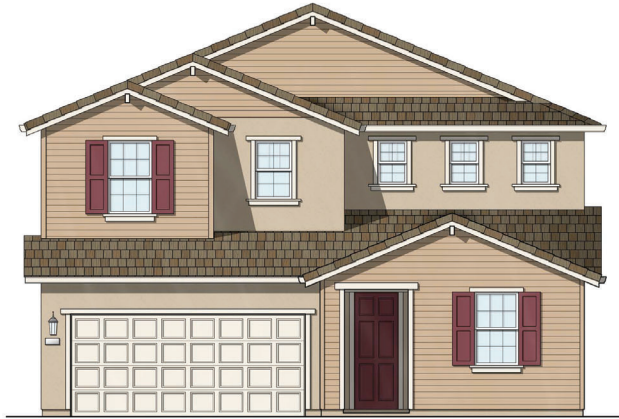
BEDROOM #5 OPTION



SECOND FLOOR PLAN (1314 S.F.)



FIRST FLOOR PLAN (1293 S.F.; 2607 TOTAL S.F.)



**FRONT ELEVATION "A"**  
**(RANCH)**

*SCHEME 2*



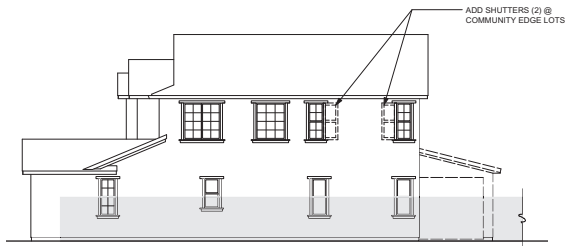
**FRONT ELEVATION "B"**  
**(COTTAGE)**

*SCHEME 4*

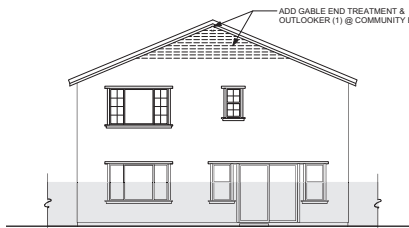


**FRONT ELEVATION "D"**  
**(FARMHOUSE)**

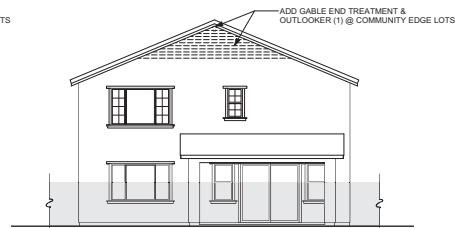
*SCHEME 11*



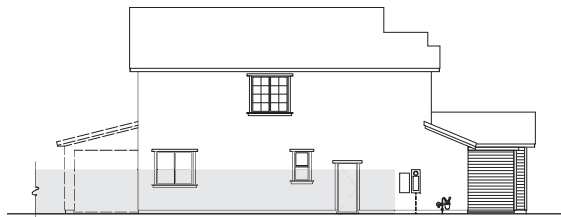
**RIGHT SIDE "A"**



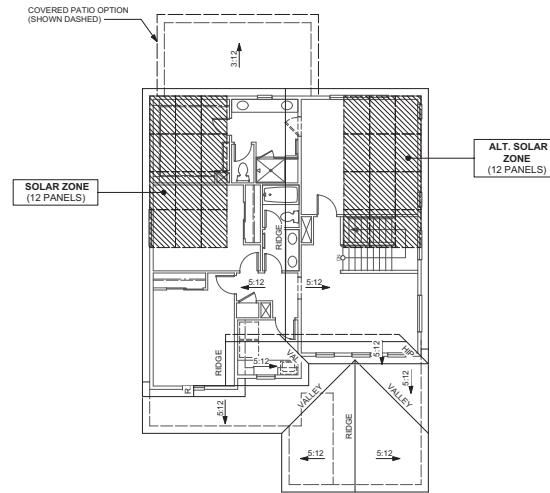
**REAR "A"**



**REAR "A"  
(COVERED PATIO OPTION)**



**LEFT SIDE "A"**



**ROOF PLAN "A"**

**RANCH THEMES**

**ROOF**

- GABLE & HIP ROOFS
- CONCRETE TILE "SHAKE" PROFILE ROOFING
- OGEE GUTTERS
- 12" OVERHANGS, TYP. (U.O.N.)

**SIDING**

- STUCCO SIDING
- HORIZONTAL LAP SIDING (WHERE OCCURS)

**TRIM**

- STUCCO OVER FOAM TRIM
- WOOD TRIM AT LAP SIDING

**FEATURES**

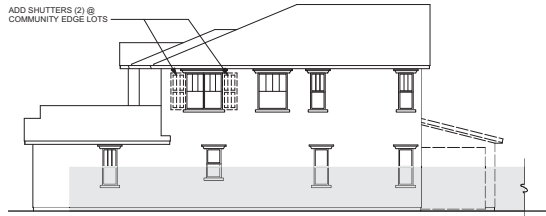
- WINDOW GRIDS ON STREET FACADES & SECOND FLOOR WINDOWS
- DECORATIVE ENTRY POSTS (WHERE OCCURS)
- DECORATIVE RECESSED PANEL SHUTTERS
- OUTLOOKERS AT RAKES (WHERE OCCURS)
- ACCENT PAINTED FRONT DOORS
- THEME SPECIFIC GARAGE DOORS

**ENHANCED ELEVATIONS**

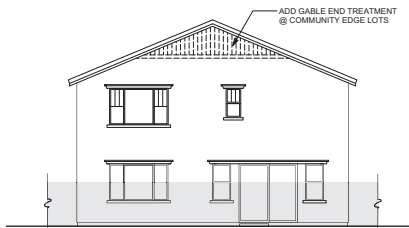
- REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED



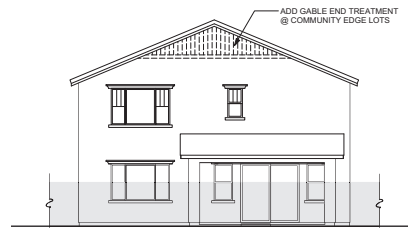
**FRONT ELEVATION "A"  
(RANCH)**



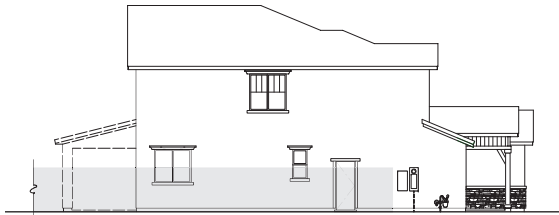
**RIGHT SIDE "B"**



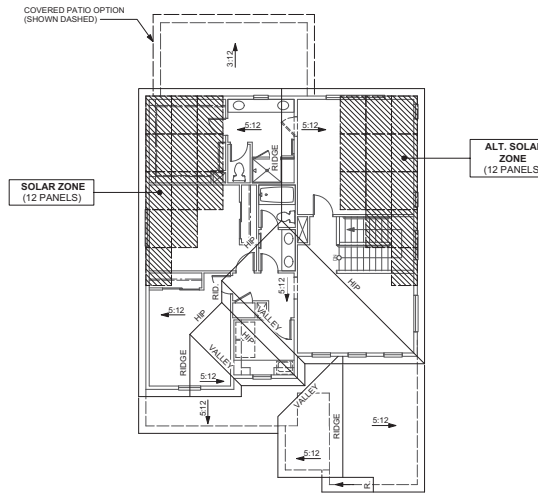
**REAR "B"**



**REAR "B"  
(COVERED PATIO OPTION)**



**LEFT SIDE "B"**



**ROOF PLAN "B"**

**COTTAGE THEMES**

**ROOF**

- GABLE & HIP ROOFS
- CONCRETE TILE "SLATE" PROFILE ROOFING
- OGEE GUTTERS
- 12" OVERHANGS, TYP. (U.O.N.)

**SIDING**

- STUCCO SIDING
- MANUFACTURED STONE VENEER (WHERE OCCURS)
- VERTICAL GROOVE PANEL SIDING @ GABLE ENDS (WHERE OCCURS)

**TRIM**

- STUCCO OVER FOAM TRIM

**ENHANCEMENTS**

- WINDOW GRIDS ON STREET FACADES & SECOND FLOOR WINDOWS
- DECORATIVE POSTS AT ENTRY (WHERE OCCURS)
- DECORATIVE RECESSED PANEL SHUTTERS

**ENHANCED ELEVATIONS**

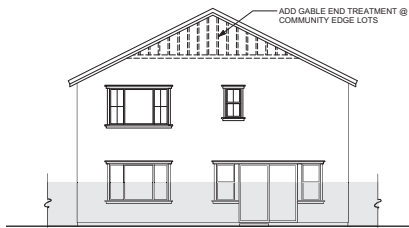
- REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED



**FRONT ELEVATION "B"  
(COTTAGE)**



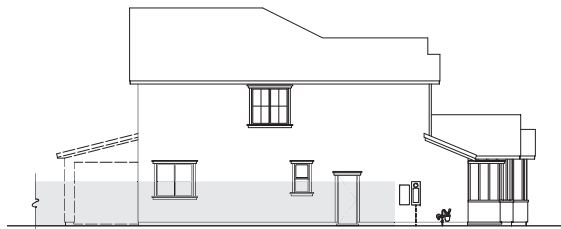
**RIGHT SIDE "D"**



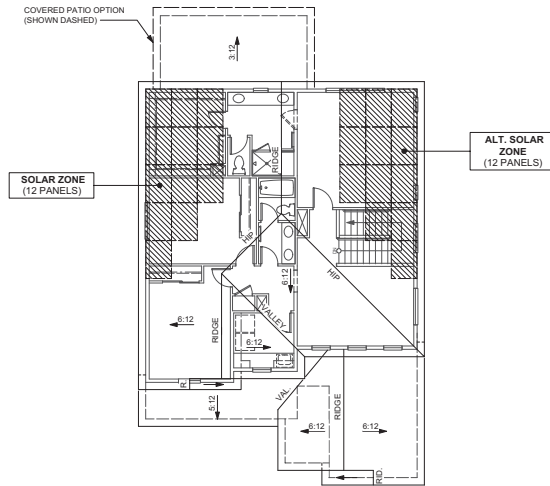
**REAR "D"**



**REAR "D"  
(COVERED PATIO OPTION)**



**LEFT SIDE "D"**



**ROOF PLAN "D"**

**FARMHOUSE THEMES**

**ROOF**

- GABLE & HIP ROOFS
- CONCRETE TILE "SLATE" PROFILE ROOFING
- OGEE GUTTERS
- 12" OVERHANGS, TYP. (U.O.N.)

**SIDING**

- STUCCO SIDING
- BOARD & BATT SIDING (WHERE OCCURS)

**TRIM**

- STUCCO OVER FOAM TRIM
- WOOD TRIM AT BOARD & BATT SIDING

**EXTERIOR MATERIALS**

- WINDOW GRIDS ON STREET FACADES & SECOND FLOOR WINDOWS
- STUCCO WAINSCOT (WHERE OCCURS)
- DECORATIVE LOUVERED SHUTTERS
- ACCENT PAINTED FRONT DOORS
- THEME SPECIFIC GARAGE DOORS

**ENHANCED ELEVATIONS**

- REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED



**FRONT ELEVATION "D"  
(FARMHOUSE)**



# PROMENADE 50x90 LOTS

## ANTIOCH, CALIFORNIA



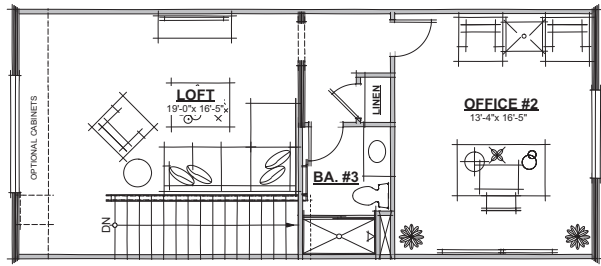
PLAN 4A - RANCH

PLAN 3B - COTTAGE

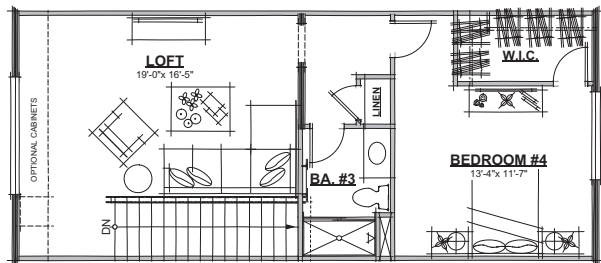
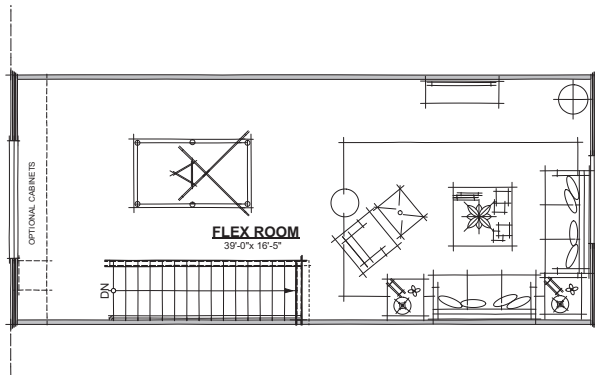
PLAN 2C - CRAFTSMAN

PLAN 1D - FARMHOUSE

### CENTRAL COAST LANE

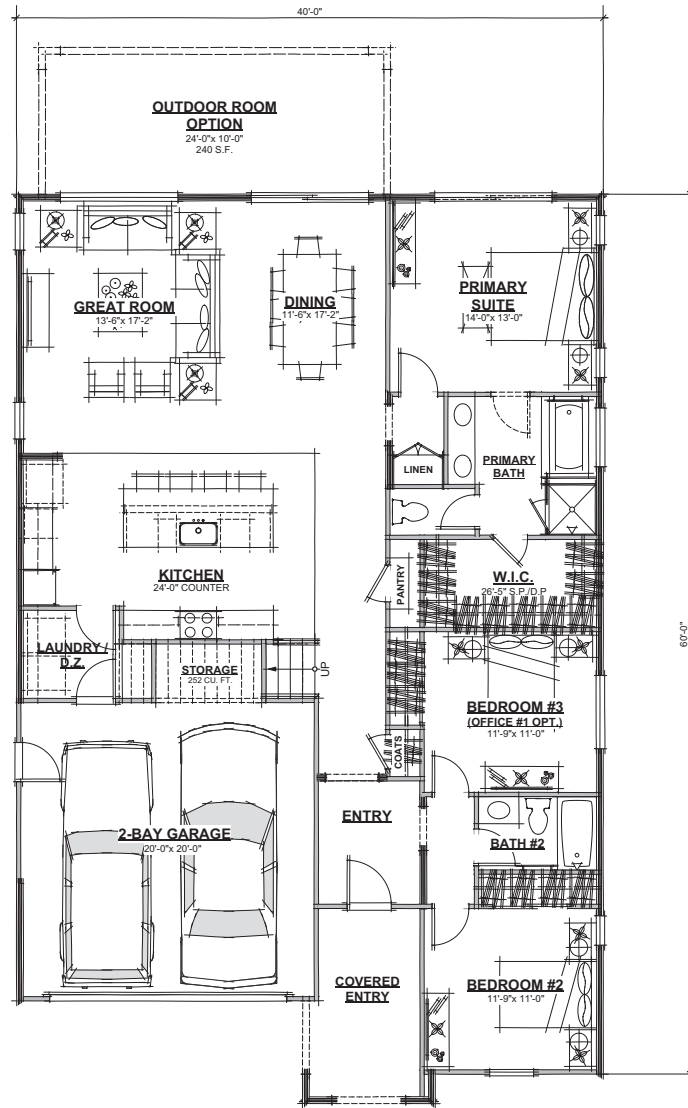


LOFT / OFFICE #2 / BATH #3 OPTION

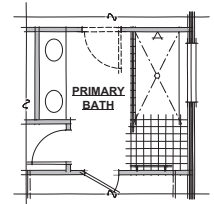


LOFT / BEDROOM #4 / BATH #3 OPTION

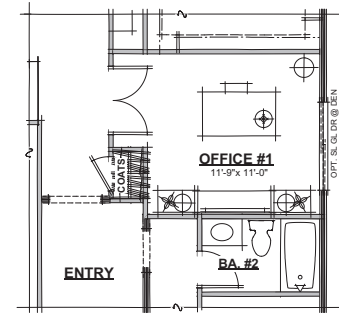
SECOND FLOOR PLAN (630 S.F.)



FIRST FLOOR PLAN (1776 S.F.; 2406 TOTAL S.F.)



SUPER SHOWER OPTION



OFFICE #1 OPTION



**FRONT ELEVATION "A"**  
(RANCH)

*SCHEME 2*



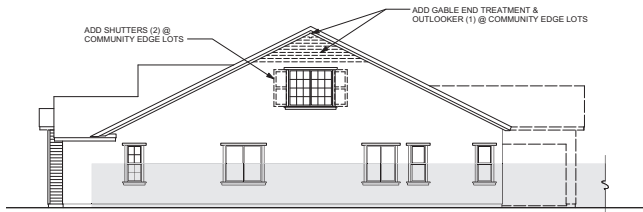
**FRONT ELEVATION "B"**  
(COTTAGE)

*SCHEME 6*

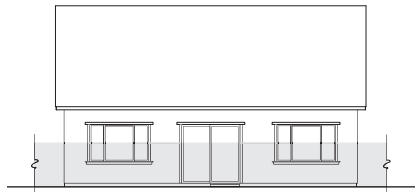


**FRONT ELEVATION "D"**  
(FARMHOUSE)

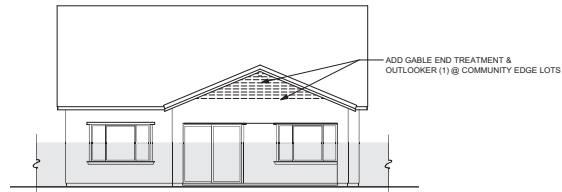
*SCHEME 10*



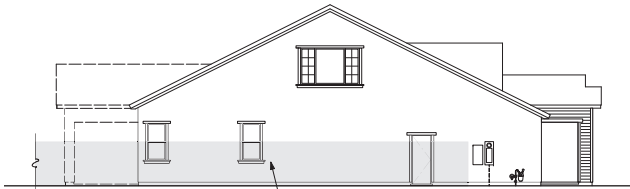
**RIGHT SIDE "A"**



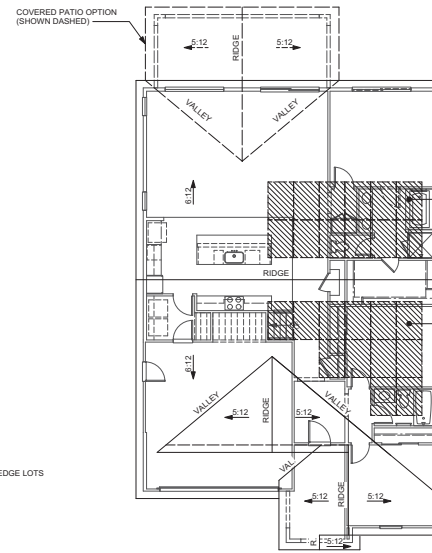
**REAR "A"**



**REAR "A"  
(COVERED PATIO)**

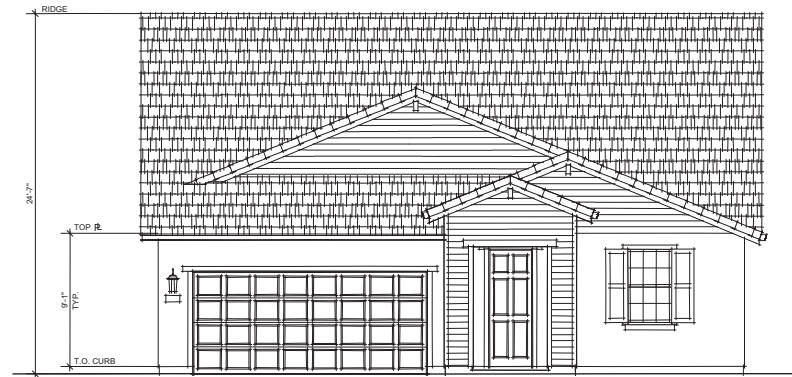


**LEFT SIDE "A"**

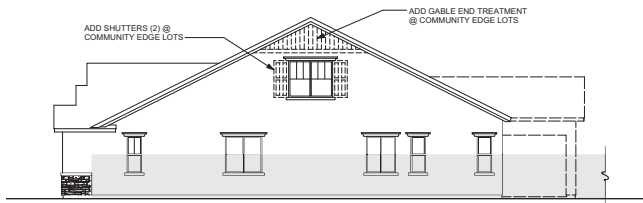


**ROOF PLAN "A"**

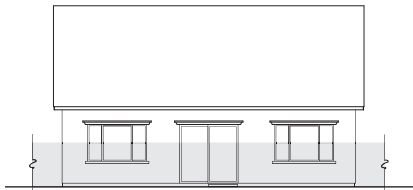
RANCH THEMES	
<b>ROOF</b>	<ul style="list-style-type: none"> <li>GABLE &amp; HIP ROOFS</li> <li>CONCRETE TILE "SHAKE" PROFILE ROOFING</li> <li>OGEE GUTTERS</li> <li>12" OVERHANGS, TYP. (U.O.N.)</li> </ul>
<b>SIDING</b>	<ul style="list-style-type: none"> <li>STUCCO SIDING</li> <li>HORIZONTAL LAP SIDING (WHERE OCCURS)</li> </ul>
<b>TRIM</b>	<ul style="list-style-type: none"> <li>STUCCO OVER FOAM TRIM</li> <li>WOOD TRIM AT LAP SIDING</li> </ul>
<b>FEATURES</b>	<ul style="list-style-type: none"> <li>WINDOW GRIDS ON STREET FACADES &amp; SECOND FLOOR WINDOWS</li> <li>DECORATIVE ENTRY POSTS (WHERE OCCURS)</li> <li>DECORATIVE RECESSED PANEL SHUTTERS</li> <li>OUTLOOKERS AT RAKES (WHERE OCCURS)</li> <li>ACCENT PAINTED FRONT DOORS</li> <li>THEME SPECIFIC GARAGE DOORS</li> </ul>
<b>ENHANCED ELEVATIONS</b>	<ul style="list-style-type: none"> <li>REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED</li> </ul>



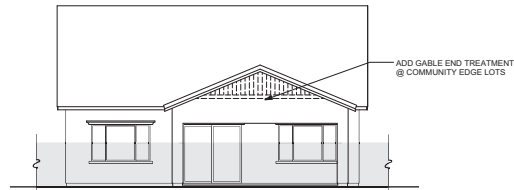
**FRONT ELEVATION "A"  
(RANCH)**



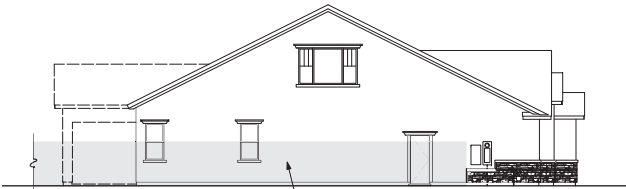
**RIGHT SIDE "B"**



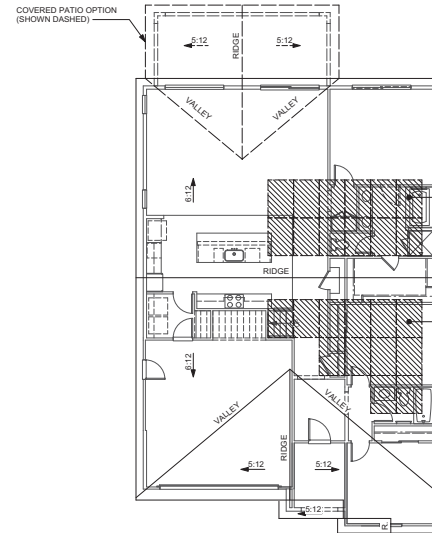
**REAR "B"**



**REAR "B"  
(COVERED PATIO)**

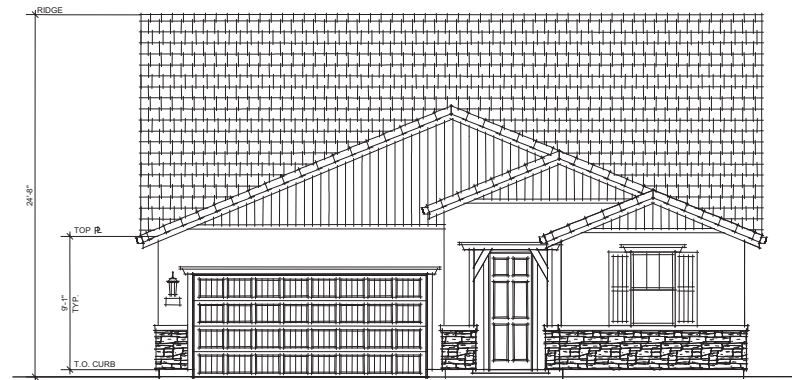


**LEFT SIDE "B"**

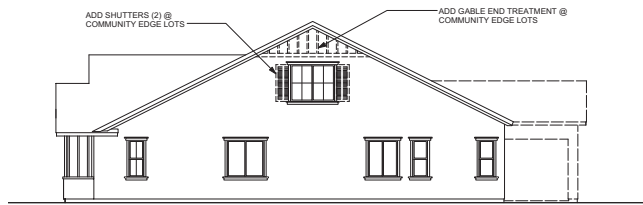


**ROOF PLAN "B"**

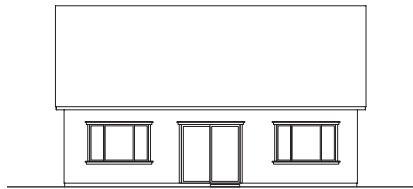
COTTAGE THEMES	
<b>ROOF</b>	<ul style="list-style-type: none"> <li>GABLE &amp; HIP ROOFS</li> <li>CONCRETE TILE "SLATE" PROFILE ROOFING</li> <li>OGEE GUTTERS</li> <li>12" OVERHANGS, TYP. (U.O.N.)</li> </ul>
<b>SIDING</b>	<ul style="list-style-type: none"> <li>STUCCO SIDING</li> <li>MANUFACTURED STONE VENEER (WHERE OCCURS)</li> <li>VERTICAL GROOVE PANEL SIDING @ GABLE ENDS (WHERE OCCURS)</li> </ul>
<b>TRIM</b>	<ul style="list-style-type: none"> <li>STUCCO OVER FOAM TRIM</li> </ul>
<b>ENHANCEMENTS</b>	<ul style="list-style-type: none"> <li>WINDOW GRIDS ON STREET FACADES &amp; SECOND FLOOR WINDOWS</li> <li>DECORATIVE POSTS AT ENTRY (WHERE OCCURS)</li> <li>DECORATIVE RECESSED PANEL SHUTTERS</li> </ul>
<b>ENHANCED ELEVATIONS</b>	<ul style="list-style-type: none"> <li>REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED</li> </ul>



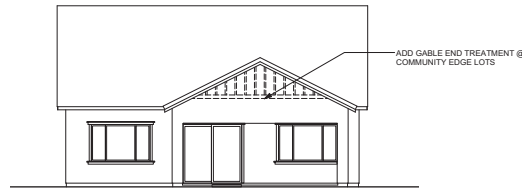
**FRONT ELEVATION "B"  
(COTTAGE)**



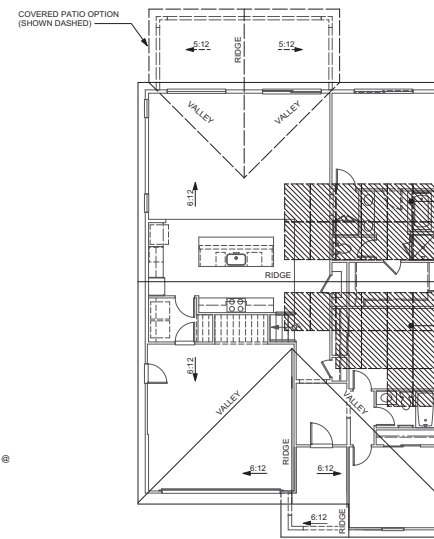
**RIGHT SIDE "D"**



**REAR "D"**

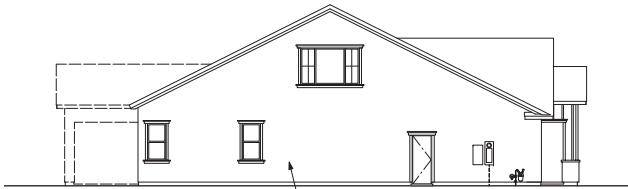


**REAR "D"  
(COVERED PATIO)**

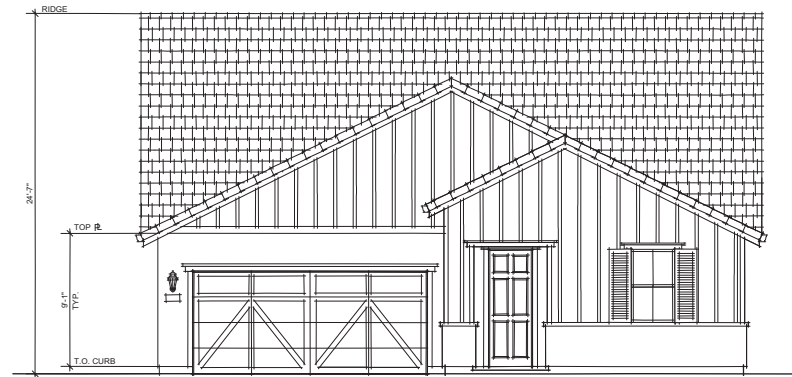


**ROOF PLAN "D"**

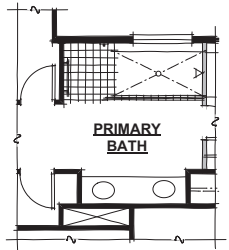
FARMHOUSE THEMES	
<b>ROOF</b>	<ul style="list-style-type: none"> <li>GABLE &amp; HIP ROOFS</li> <li>CONCRETE TILE "SLATE" PROFILE ROOFING</li> <li>OGEE GUTTERS</li> <li>12" OVERHANGS, TYP. (U.O.N.)</li> </ul>
<b>SIDING</b>	<ul style="list-style-type: none"> <li>STUCCO SIDING</li> <li>BOARD &amp; BATT SIDING (WHERE OCCURS)</li> </ul>
<b>TRIM</b>	<ul style="list-style-type: none"> <li>STUCCO OVER FOAM TRIM</li> <li>WOOD TRIM AT BOARD &amp; BATT SIDING</li> </ul>
<b>EXTERIOR MATERIALS</b>	<ul style="list-style-type: none"> <li>WINDOW GRIDS ON STREET FACADES &amp; SECOND FLOOR WINDOWS</li> <li>STUCCO WAINSCOT (WHERE OCCURS)</li> <li>DECORATIVE LOUVERED SHUTTERS</li> <li>ACCENT PAINTED FRONT DOORS</li> <li>THEME SPECIFIC GARAGE DOORS</li> </ul>
<b>ENHANCED ELEVATIONS</b>	<ul style="list-style-type: none"> <li>REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED</li> </ul>



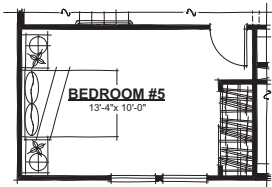
**LEFT SIDE "D"**



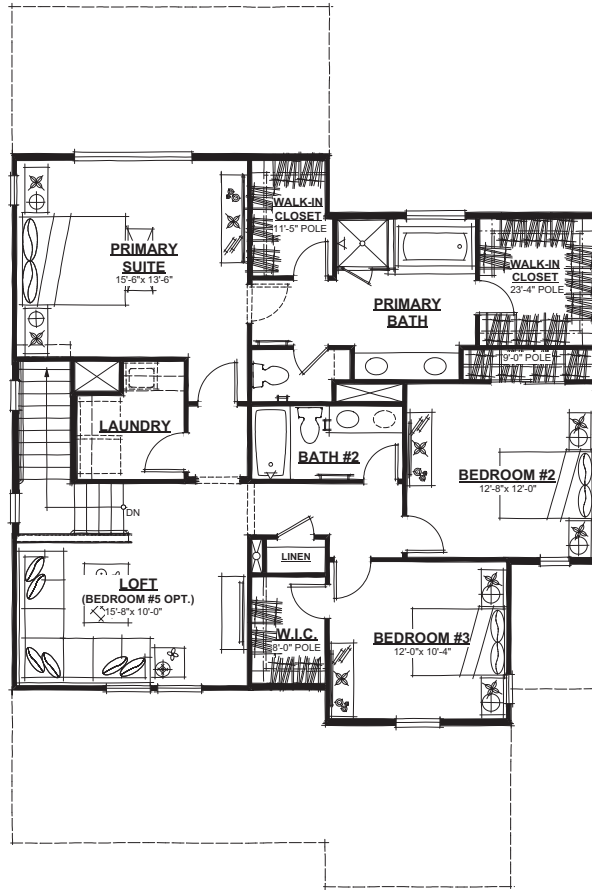
**FRONT ELEVATION "D"  
(FARMHOUSE)**



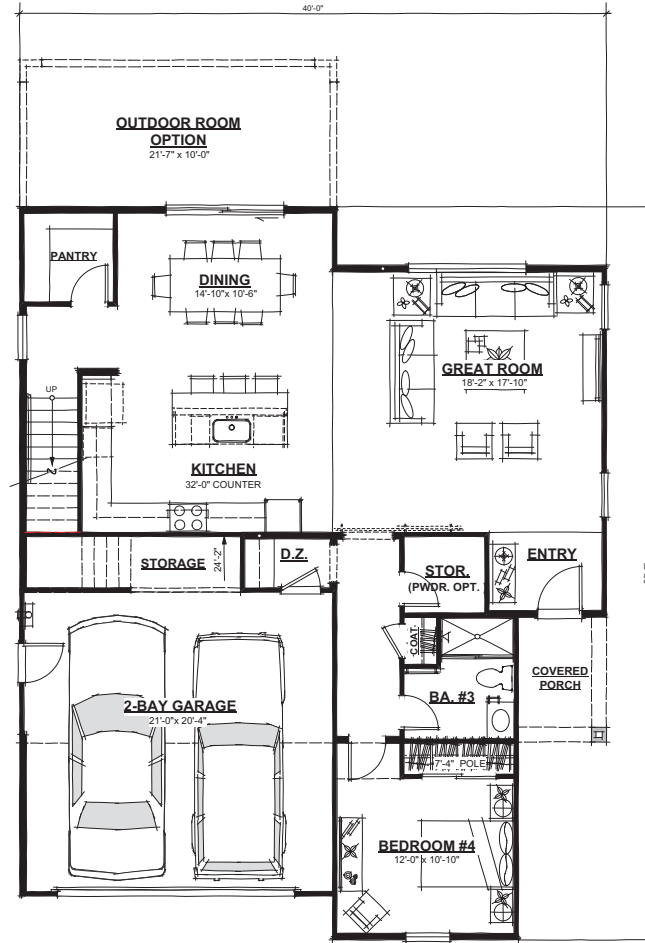
**SUPER SHOWER OPTION**



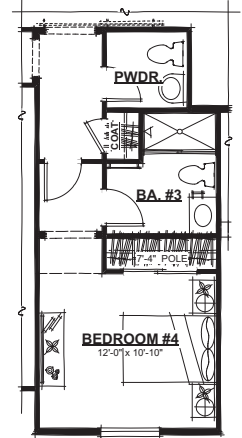
**BEDROOM #5 OPTION**



**SECOND FLOOR PLAN ( 1309 S.F.)**



**FIRST FLOOR PLAN (1232 SF, 2541 TOTAL S.F.)**



**SUITE OPTION**



**FRONT ELEVATION "A"**  
(TRADITIONAL)

*SCHEME 3*



**FRONT ELEVATION "B"**  
(COTTAGE)

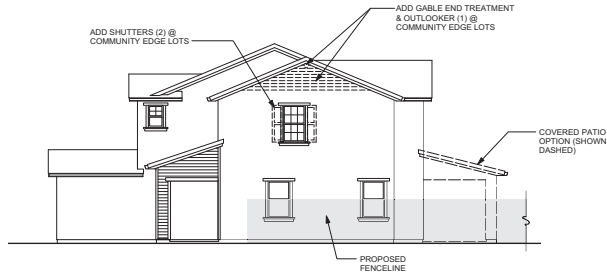
*SCHEME 5*



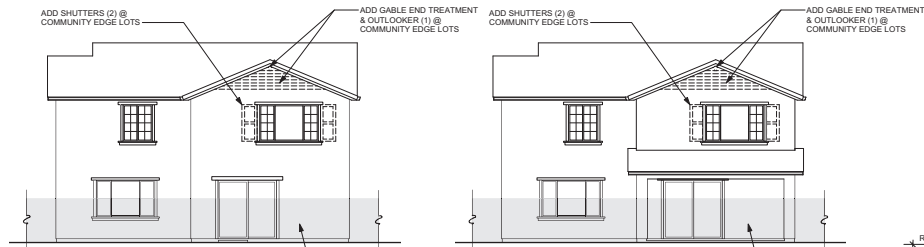
**FRONT ELEVATION "C"**  
(CRAFTSMAN)

*SCHEME 7*



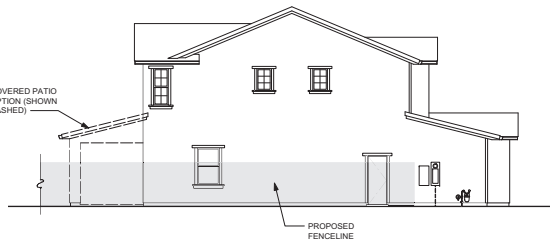


**RIGHT SIDE "A"**

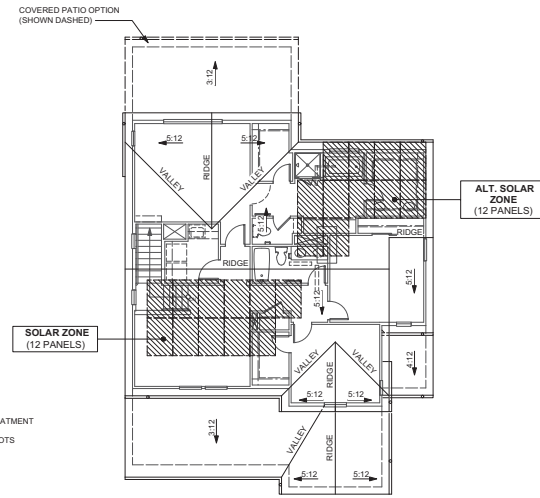


**REAR "A"**

**REAR "A"  
(COVERED PATIO)**

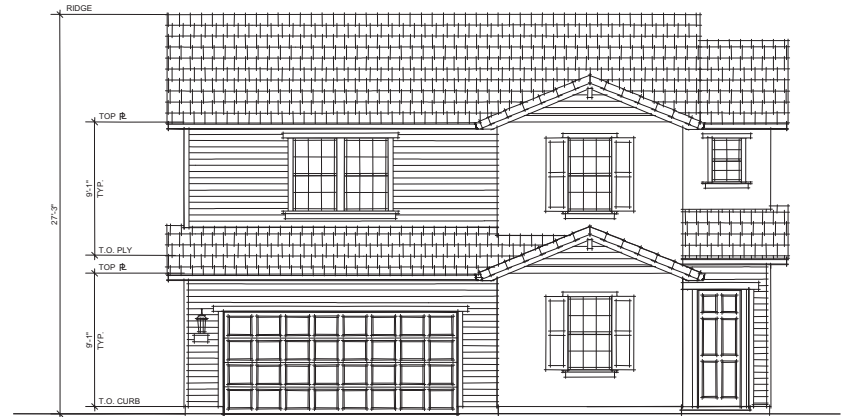


**LEFT SIDE "A"**

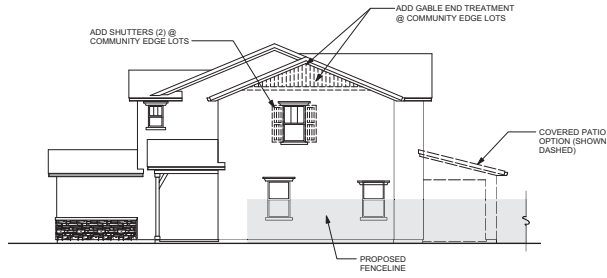


**ROOF PLAN "A"**

RANCH THEMES	
<b>ROOF</b>	<ul style="list-style-type: none"> <li>GABLE &amp; HIP ROOFS</li> <li>CONCRETE TILE "SHAKE" PROFILE ROOFING</li> <li>OGEE GUTTERS</li> <li>12" OVERHANGS, TYP. (U.O.N.)</li> </ul>
<b>SIDING</b>	<ul style="list-style-type: none"> <li>STUCCO SIDING</li> <li>HORIZONTAL LAP SIDING (WHERE OCCURS)</li> </ul>
<b>TRIM</b>	<ul style="list-style-type: none"> <li>STUCCO OVER FOAM TRIM</li> <li>WOOD TRIM AT LAP SIDING</li> </ul>
<b>FEATURES</b>	<ul style="list-style-type: none"> <li>WINDOW GRIDS ON STREET FACADES &amp; SECOND FLOOR WINDOWS</li> <li>DECORATIVE ENTRY POSTS (WHERE OCCURS)</li> <li>DECORATIVE RECESSED PANEL SHUTTERS</li> <li>OUTLOOKERS AT RAKES (WHERE OCCURS)</li> <li>ACCENT PAINTED FRONT DOORS</li> <li>THEME SPECIFIC GARAGE DOORS</li> </ul>
<b>ENHANCED ELEVATIONS</b>	<ul style="list-style-type: none"> <li>REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED</li> </ul>



**FRONT ELEVATION "A"  
(RANCH)**



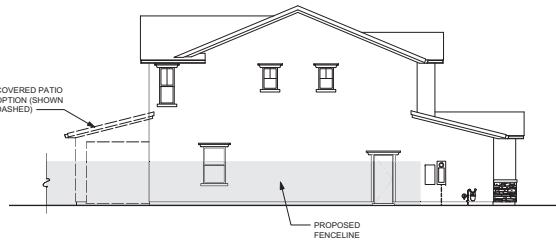
**RIGHT SIDE "B"**



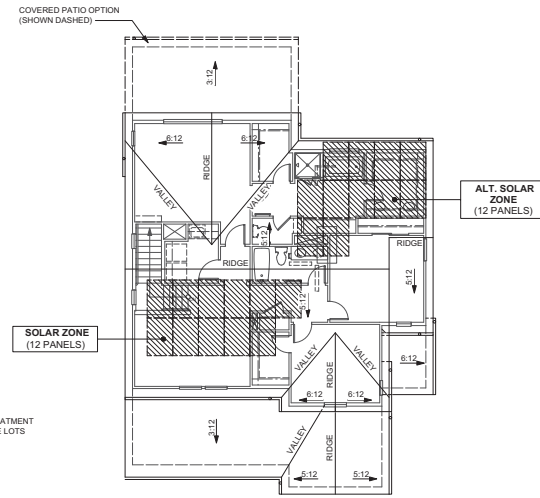
**REAR "B"**



**REAR "B"  
(COVERED PATIO)**



**LEFT SIDE "B"**

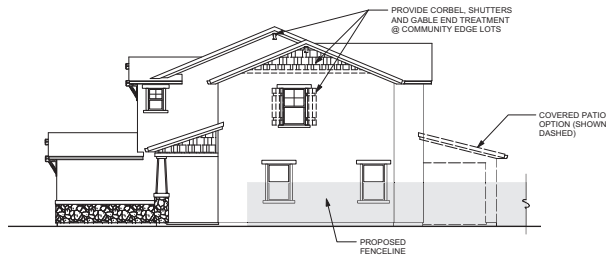


**ROOF PLAN "B"**

COTTAGE THEMES	
<b>ROOF</b>	<ul style="list-style-type: none"> <li>GABLE &amp; HIP ROOFS</li> <li>CONCRETE TILE "SLATE" PROFILE ROOFING</li> <li>OGEE GUTTERS</li> <li>12" OVERHANGS, TYP. (U.O.N.)</li> </ul>
<b>SIDING</b>	<ul style="list-style-type: none"> <li>STUCCO SIDING</li> <li>MANUFACTURED STONE VENEER (WHERE OCCURS)</li> <li>VERTICAL GROOVE PANEL SIDING @ GABLE ENDS (WHERE OCCURS)</li> </ul>
<b>TRIM</b>	<ul style="list-style-type: none"> <li>STUCCO OVER FOAM TRIM</li> </ul>
<b>ENHANCEMENTS</b>	<ul style="list-style-type: none"> <li>WINDOW GRIDS ON STREET FACADES &amp; SECOND FLOOR WINDOWS</li> <li>DECORATIVE POSTS AT ENTRY (WHERE OCCURS)</li> <li>DECORATIVE RECESSED PANEL SHUTTERS</li> </ul>
<b>ENHANCED ELEVATIONS</b>	<ul style="list-style-type: none"> <li>REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED</li> </ul>



**FRONT ELEVATION "B"  
(COTTAGE)**



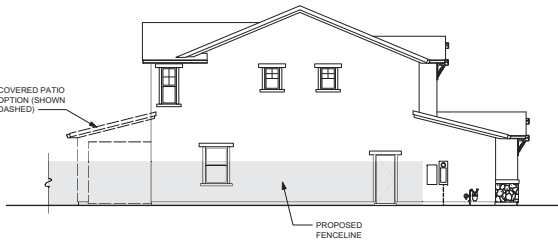
**RIGHT SIDE "C"**



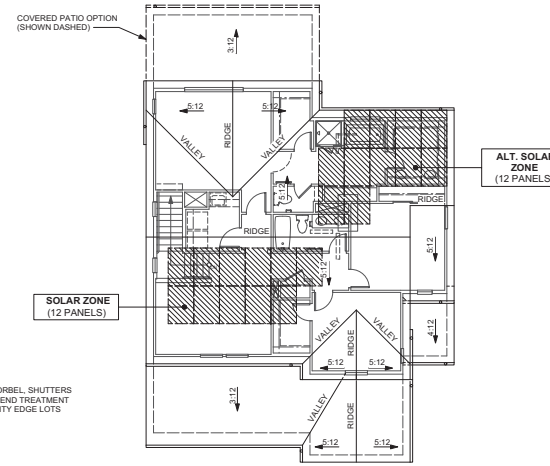
**REAR "C"**



**REAR "C"  
(COVERED PATIO)**

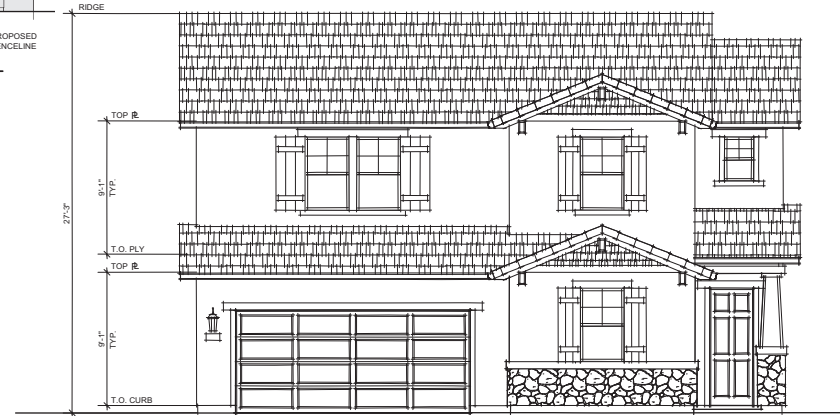


**LEFT SIDE "C"**

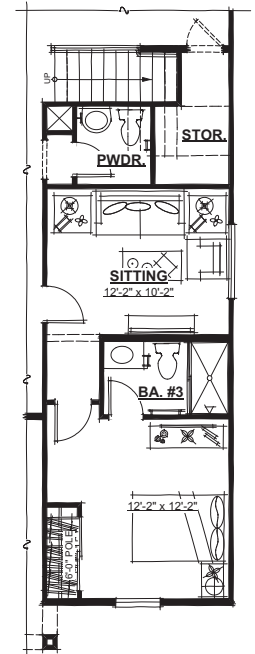
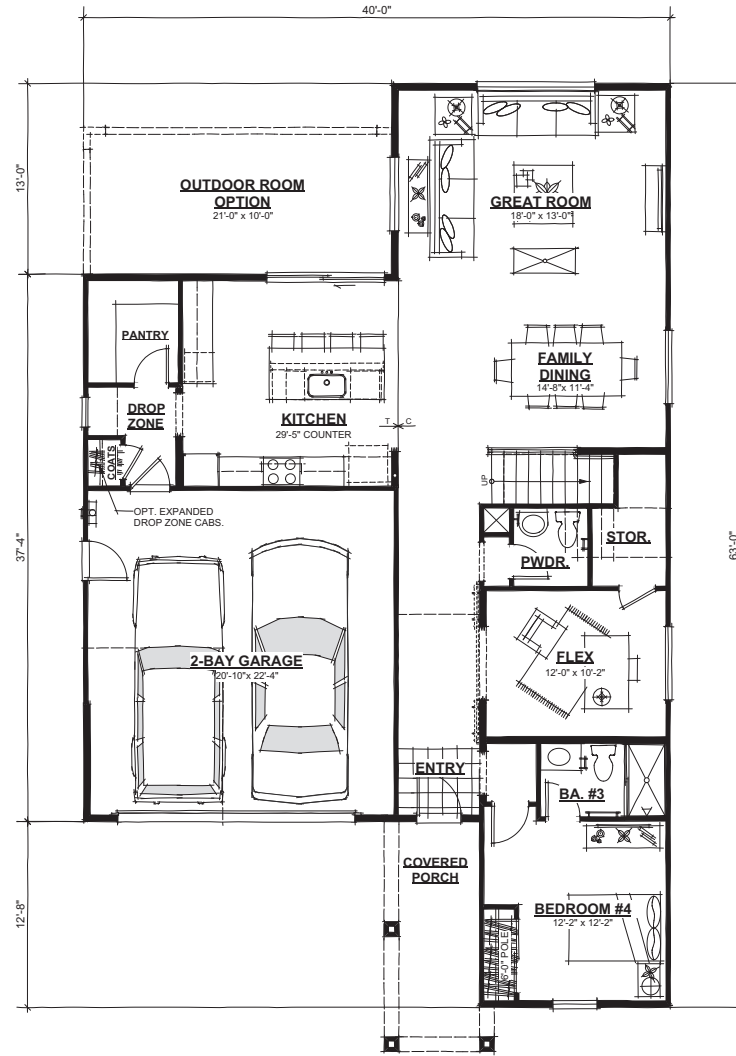
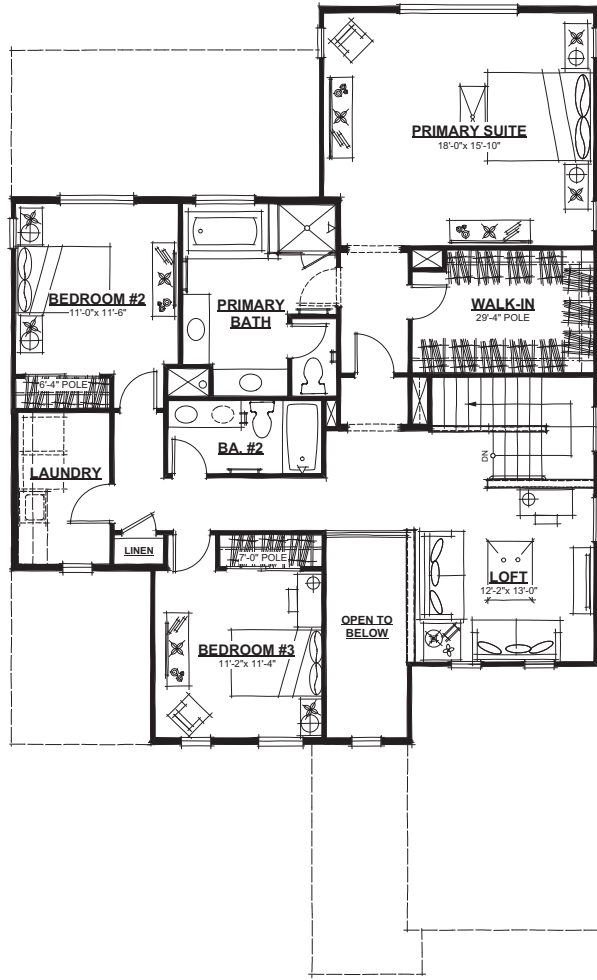
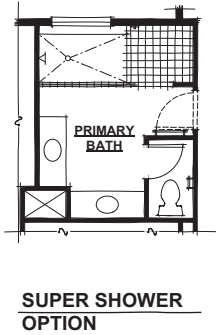


**ROOF PLAN "C"**

CRAFTSMAN THEME	
<b>ROOF</b>	<ul style="list-style-type: none"> <li>GABLE ROOFS</li> <li>CONCRETE "SHAKE" ROOFING</li> <li>OGEE GUTTERS</li> <li>12" OVERHANGS, TYP. (U.O.N.)</li> </ul>
<b>SIDING</b>	<ul style="list-style-type: none"> <li>STUCCO SIDING</li> <li>SHINGLE SIDING (WHERE OCCURS)</li> <li>MANUFACTURED STONE VENEER (WHERE OCCURS)</li> </ul>
<b>TRIM</b>	<ul style="list-style-type: none"> <li>STUCCO OVER FOAM TRIM</li> </ul>
<b>ENHANCEMENTS</b>	<ul style="list-style-type: none"> <li>WINDOW GRID ON STREET FACADES</li> <li>BATTERED COLUMNS AT ENTRY (WHERE OCCURS)</li> <li>DECORATIVE PLANK &amp; BATTEN SHUTTERS</li> <li>ENHANCED GABLE END SHINGLE SIDING</li> <li>OUTLOOKERS @ RAKES (WHERE OCCURS)</li> <li>ACCENT PAINTED FRONT DOORS</li> <li>THEME SPECIFIC GARAGE DOORS</li> </ul>
<b>ENHANCED ELEVATIONS</b>	<ul style="list-style-type: none"> <li>REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED</li> </ul>



**FRONT ELEVATION "C"  
(CRAFTSMAN)**





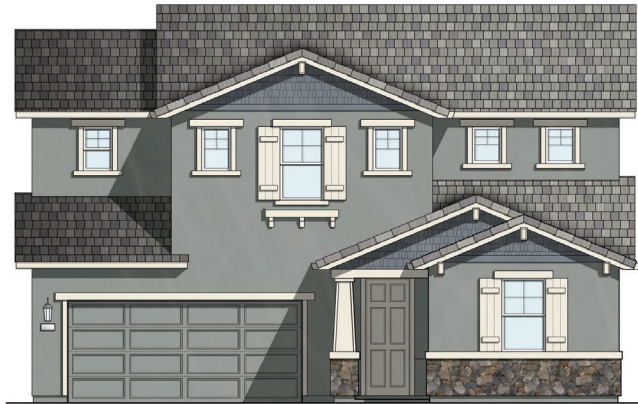
**FRONT ELEVATION "A"**  
**(RANCH)**

*SCHEME 2*



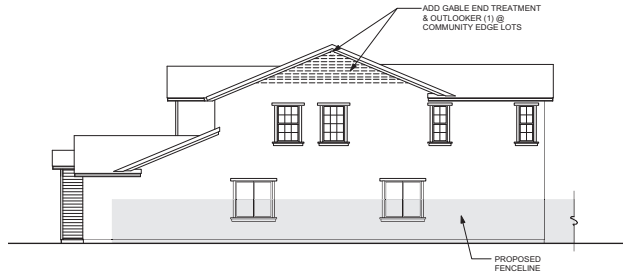
**FRONT ELEVATION "B"**  
**(COTTAGE)**

*SCHEME 4*

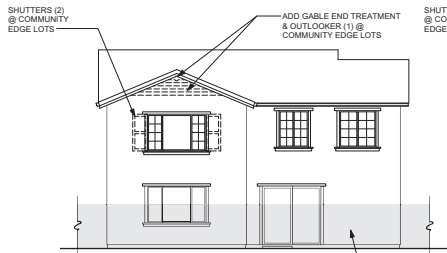


**FRONT ELEVATION "C"**  
**(CRAFTSMAN)**

*SCHEME 8*



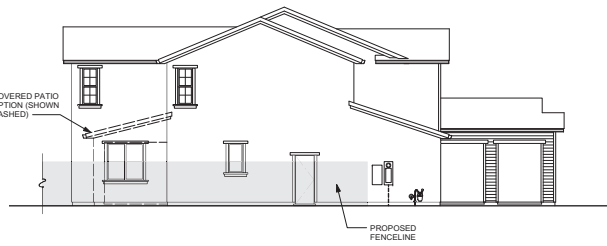
**RIGHT SIDE "A"**



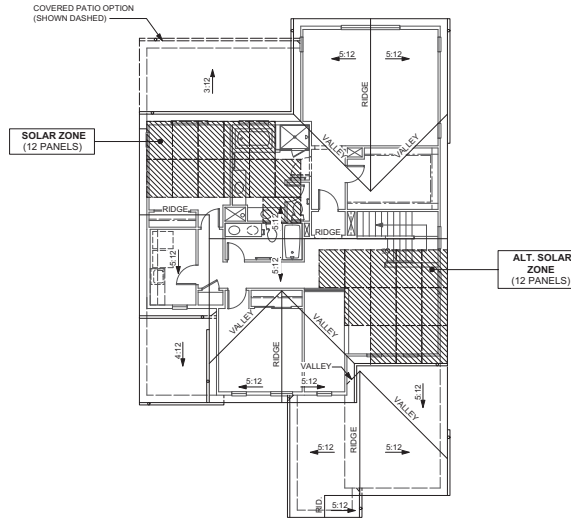
**REAR "A"**



**REAR "A"  
(COVERED PATIO)**



**LEFT SIDE "A"**



**ROOF PLAN "A"**

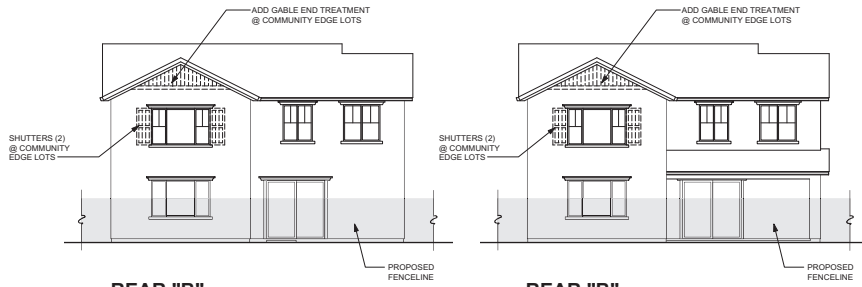
RANCH THEMES	
<b>ROOF</b>	<ul style="list-style-type: none"> <li>GABLE &amp; HIP ROOFS</li> <li>CONCRETE TILE "SHAKE" PROFILE ROOFING</li> <li>OGEE GUTTERS</li> <li>12" OVERHANGS, TYP. (U.O.N.)</li> </ul>
<b>SIDING</b>	<ul style="list-style-type: none"> <li>STUCCO SIDING</li> <li>HORIZONTAL LAP SIDING (WHERE OCCURS)</li> </ul>
<b>TRIM</b>	<ul style="list-style-type: none"> <li>STUCCO OVER FOAM TRIM</li> <li>WOOD TRIM AT LAP SIDING</li> </ul>
<b>FEATURES</b>	<ul style="list-style-type: none"> <li>WINDOW GRIDS ON STREET FACADES &amp; SECOND FLOOR WINDOWS</li> <li>DECORATIVE ENTRY POSTS (WHERE OCCURS)</li> <li>DECORATIVE RECESSED PANEL SHUTTERS</li> <li>OUTLOOKERS AT RAKES (WHERE OCCURS)</li> <li>ACCENT PAINTED FRONT DOORS</li> <li>THEME SPECIFIC GARAGE DOORS</li> </ul>
<b>ENHANCED ELEVATIONS</b>	<ul style="list-style-type: none"> <li>REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED</li> </ul>



**FRONT ELEVATION "A"  
(RANCH)**

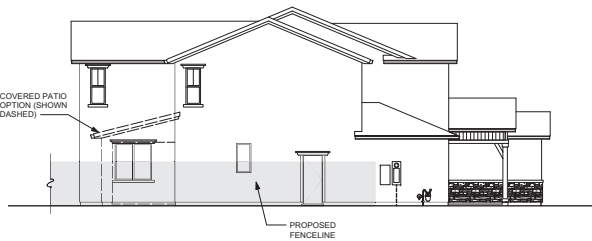


**RIGHT SIDE "B"**

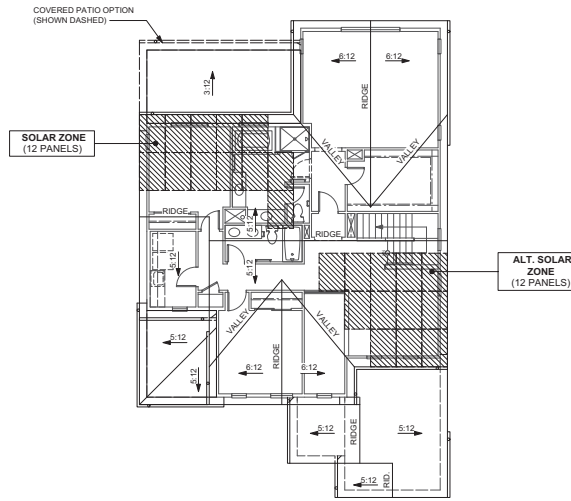


**REAR "B"**

**REAR "B"  
(COVERED PATIO)**



**LEFT SIDE "B"**



**ROOF PLAN "B"**



**FRONT ELEVATION "B"  
(COTTAGE)**

**COTTAGE THEMES**

**ROOF**

- GABLE & HIP ROOFS
- CONCRETE TILE "SLATE" PROFILE ROOFING
- OGEE GUTTERS
- 12" OVERHANGS, TYP. (U.O.N.)

**SIDING**

- STUCCO SIDING
- MANUFACTURED STONE VENEER (WHERE OCCURS)
- VERTICAL GROOVE PANEL SIDING @ GABLE ENDS (WHERE OCCURS)

**TRIM**

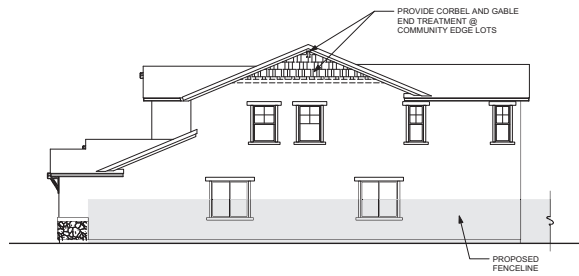
- STUCCO OVER FOAM TRIM

**ENHANCEMENTS**

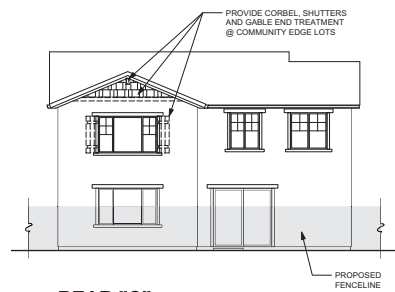
- WINDOW GRIDS ON STREET FACADES & SECOND FLOOR WINDOWS
- DECORATIVE POSTS AT ENTRY (WHERE OCCURS)
- DECORATIVE RECESSED PANEL SHUTTERS

**ENHANCED ELEVATIONS**

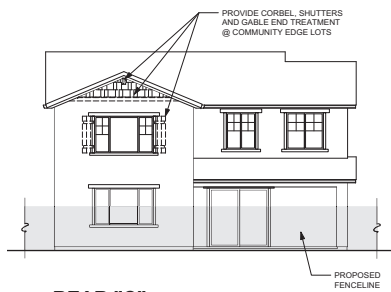
- REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED



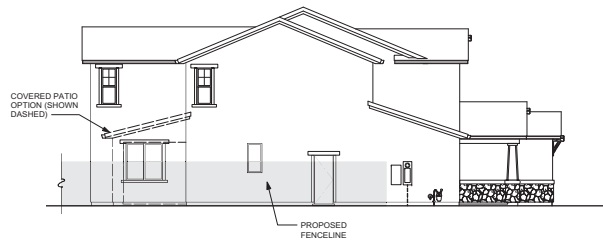
**RIGHT SIDE "C"**



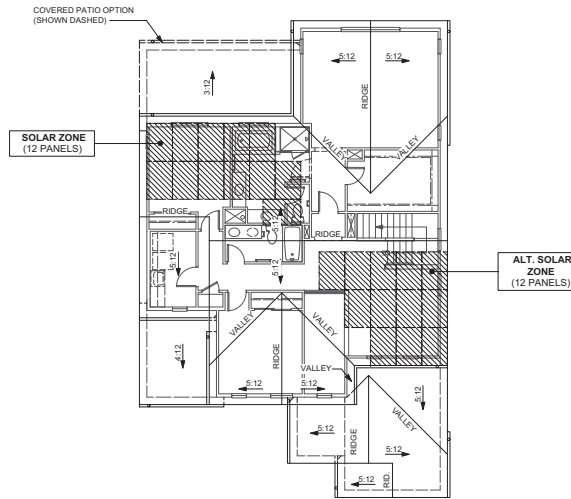
**REAR "C"**



**REAR "C"  
(COVERED PATIO)**



**LEFT SIDE "C"**



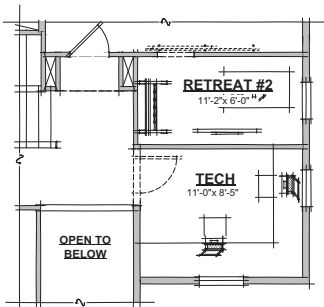
**ROOF PLAN "C"**



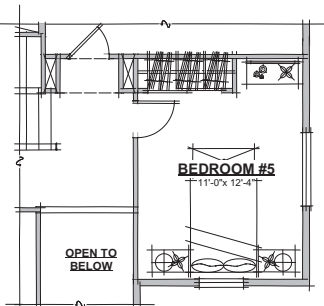
**FRONT ELEVATION "C"  
(CRAFTSMAN)**

CRAFTSMAN THEME	
<b>ROOF</b>	<ul style="list-style-type: none"> <li>GABLE ROOFS</li> <li>CONCRETE "SHAKE" ROOFING</li> <li>OGEE GUTTERS</li> <li>12" OVERHANGS, TYP. (U.O.N.)</li> </ul>
<b>SIDING</b>	<ul style="list-style-type: none"> <li>STUCCO SIDING</li> <li>SHINGLE SIDING (WHERE OCCURS)</li> <li>MANUFACTURED STONE VENEER (WHERE OCCURS)</li> </ul>
<b>TRIM</b>	<ul style="list-style-type: none"> <li>STUCCO OVER FOAM TRIM</li> </ul>
<b>ENHANCEMENTS</b>	<ul style="list-style-type: none"> <li>WINDOW GRID ON STREET FACADES</li> <li>BATTERED COLUMNS AT ENTRY (WHERE OCCURS)</li> <li>DECORATIVE PLANK &amp; BATTEN SHUTTERS</li> <li>ENHANCED GABLE END SHINGLE SIDING</li> <li>OUTLOOKERS @ RAKES (WHERE OCCURS)</li> <li>ACCENT PAINTED FRONT DOORS</li> <li>THEME SPECIFIC GARAGE DOORS</li> </ul>
<b>ENHANCED ELEVATIONS</b>	<ul style="list-style-type: none"> <li>REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED</li> </ul>

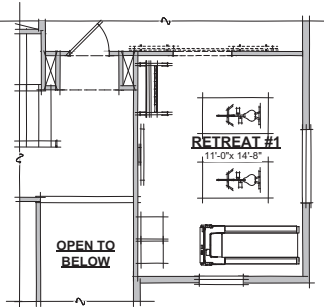




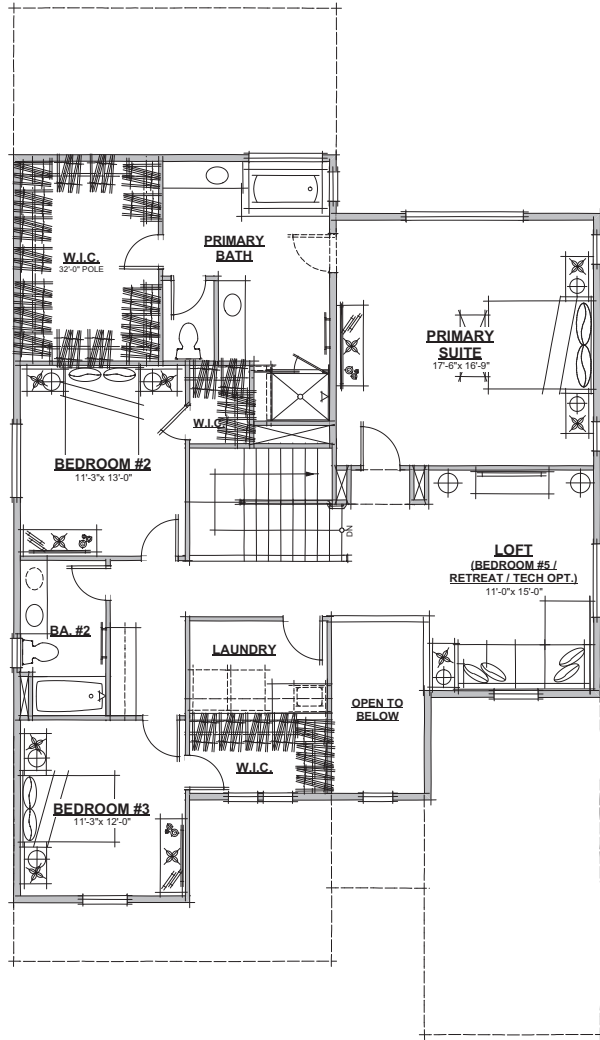
TECH / RETREAT #2 OPTION



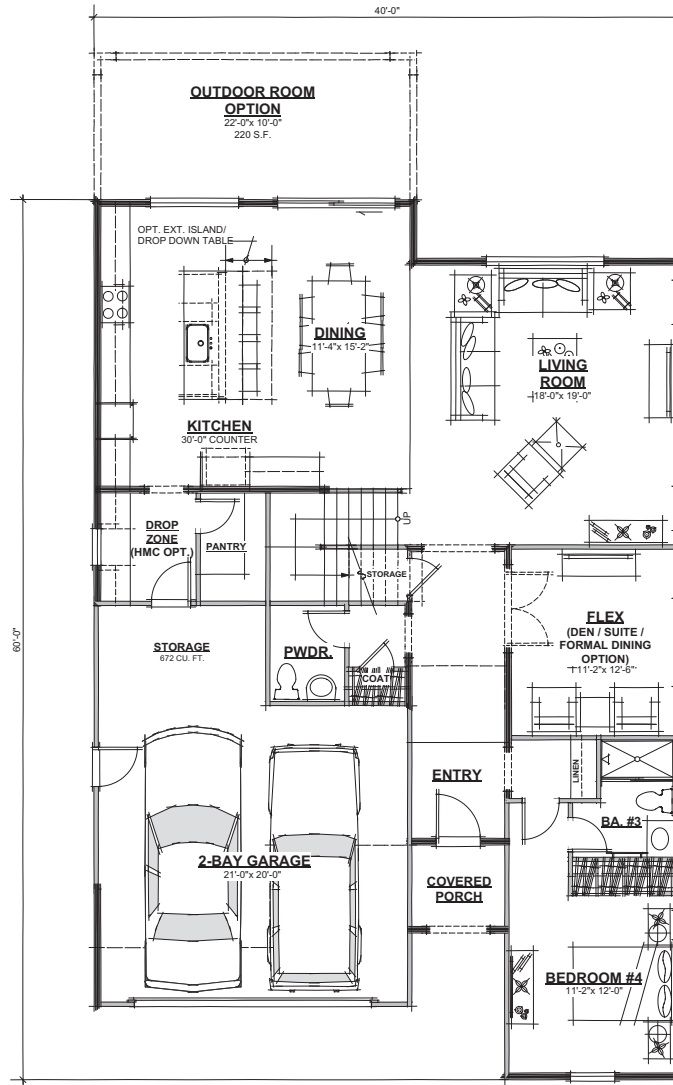
BEDROOM #5 OPTION



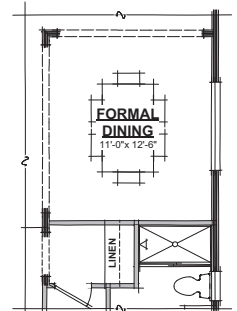
RETREAT #1 OPTION



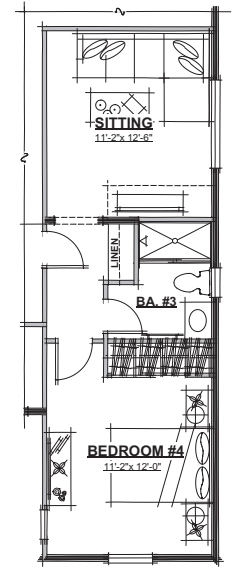
SECOND FLOOR PLAN (1538 S.F.)



FIRST FLOOR PLAN (1597 S.F.; 3135 TOTAL S.F.)



FORMAL DINING OPTION



SUITE OPTION



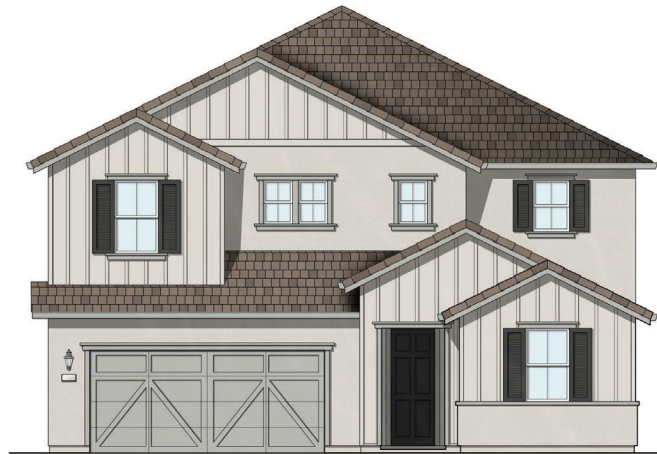
**FRONT ELEVATION "A"**  
**(RANCH)**

*SCHEME 1*



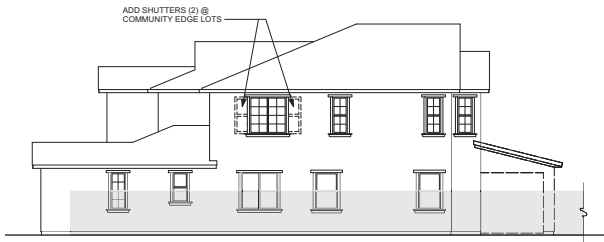
**FRONT ELEVATION "B"**  
**(COTTAGE)**

*SCHEME 5*

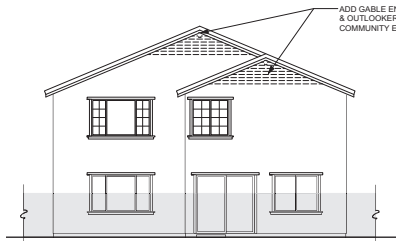


**FRONT ELEVATION "D"**  
**(FARMHOUSE)**

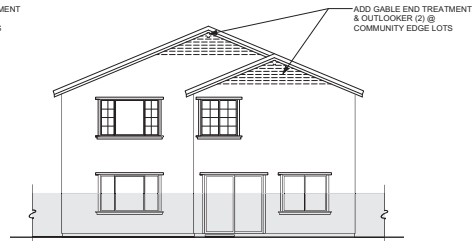
*SCHEME 12*



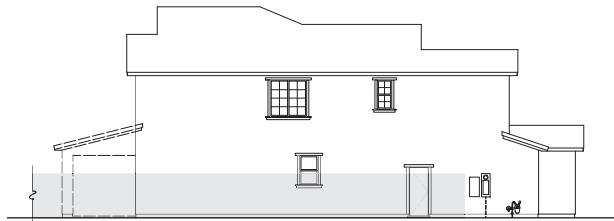
**RIGHT SIDE "A"**



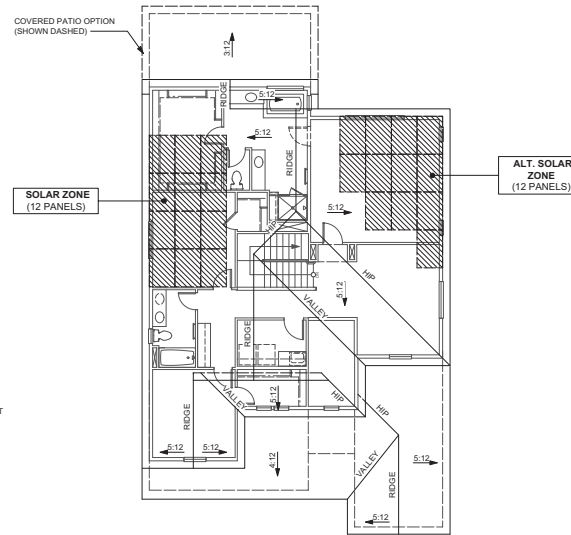
**REAR "A"**



**REAR "A"  
(COVERED PATIO OPTION)**



**LEFT SIDE "A"**

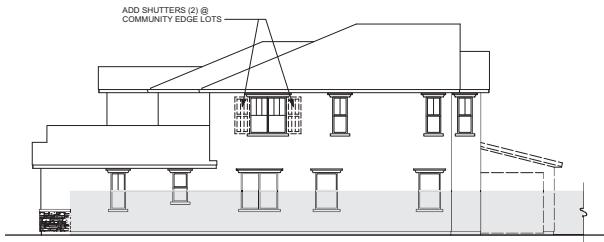


**ROOF PLAN "A"**

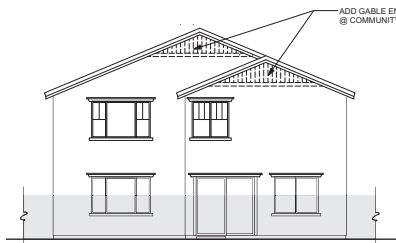
RANCH THEMES	
<b>ROOF</b>	<ul style="list-style-type: none"> <li>GABLE &amp; HIP ROOFS</li> <li>CONCRETE TILE "SHAKE" PROFILE ROOFING</li> <li>OGEE GUTTERS</li> <li>12" OVERHANGS, TYP. (U.O.N.)</li> </ul>
<b>SIDING</b>	<ul style="list-style-type: none"> <li>STUCCO SIDING</li> <li>HORIZONTAL LAP SIDING (WHERE OCCURS)</li> </ul>
<b>TRIM</b>	<ul style="list-style-type: none"> <li>STUCCO OVER FOAM TRIM</li> <li>WOOD TRIM AT LAP SIDING</li> </ul>
<b>FEATURES</b>	<ul style="list-style-type: none"> <li>WINDOW GRIDS ON STREET FACADES &amp; SECOND FLOOR WINDOWS</li> <li>DECORATIVE ENTRY POSTS (WHERE OCCURS)</li> <li>DECORATIVE RECESSED PANEL SHUTTERS</li> <li>OUTLOOKERS AT RAKES (WHERE OCCURS)</li> <li>ACCENT PAINTED FRONT DOORS</li> <li>THEME SPECIFIC GARAGE DOORS</li> </ul>
<b>ENHANCED ELEVATIONS</b>	<ul style="list-style-type: none"> <li>REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED</li> </ul>



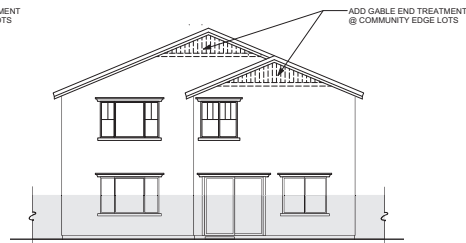
**FRONT ELEVATION "A"  
(RANCH)**



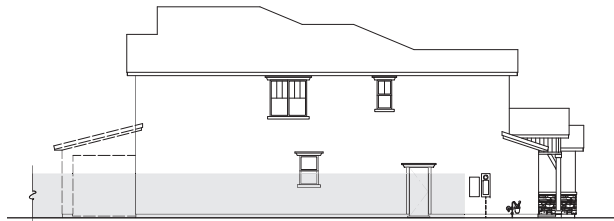
**RIGHT SIDE "B"**



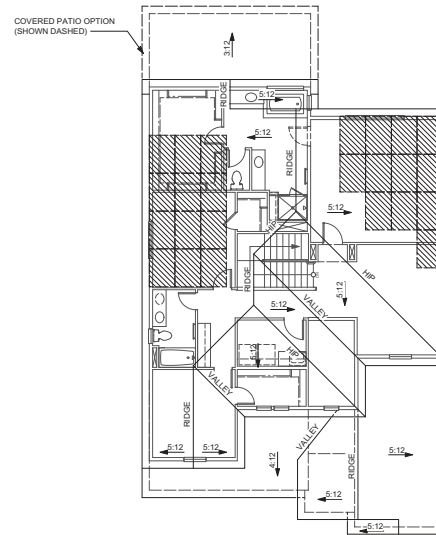
**REAR "B"**



**REAR "B"  
(COVERED PATIO OPTION)**



**LEFT SIDE "B"**



**ROOF PLAN "B"**

**RANCH THEMES**

**ROOF**

- GABLE & HIP ROOFS
- CONCRETE TILE "SHAKE" PROFILE ROOFING
- OGEE GUTTERS
- 12" OVERHANGS, TYP. (U.O.N.)

**SIDING**

- STUCCO SIDING
- HORIZONTAL LAP SIDING (WHERE OCCURS)

**TRIM**

- STUCCO OVER FOAM TRIM
- WOOD TRIM AT LAP SIDING

**FEATURES**

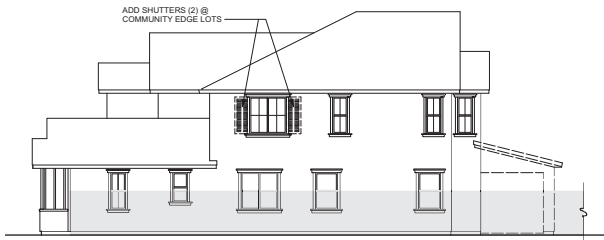
- WINDOW GRIDS ON STREET FACADES & SECOND FLOOR WINDOWS
- DECORATIVE ENTRY POSTS (WHERE OCCURS)
- DECORATIVE RECESSED PANEL SHUTTERS
- OUTLOOKERS AT RAKES (WHERE OCCURS)
- ACCENT PAINTED FRONT DOORS
- THEME SPECIFIC GARAGE DOORS

**ENHANCED ELEVATIONS**

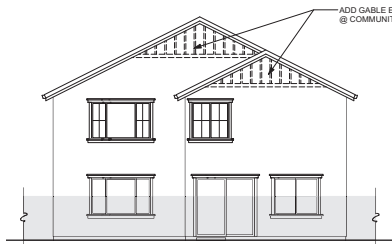
- REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED



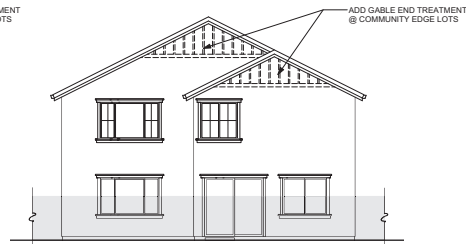
**FRONT ELEVATION "B"  
(COTTAGE)**



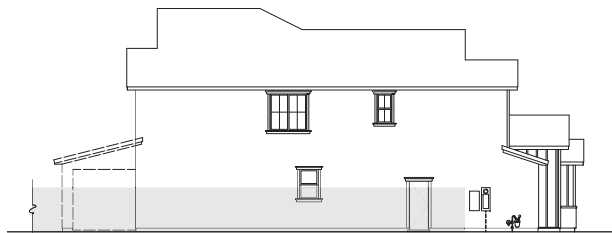
**RIGHT SIDE "D"**



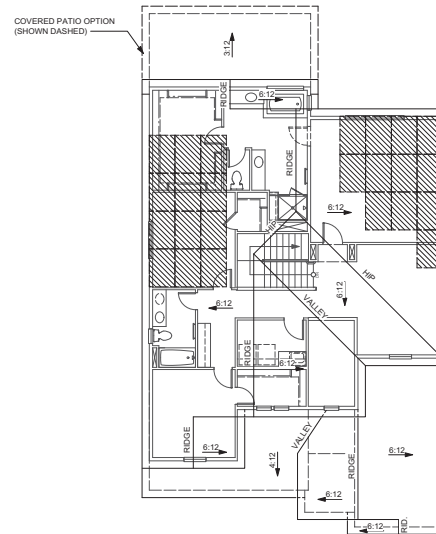
**REAR "D"**



**REAR "D"  
(COVERED PATIO OPTION)**



**LEFT SIDE "D"**



**ROOF PLAN "D"**

**FARMHOUSE THEMES**

**ROOF**

- GABLE & HIP ROOFS
- CONCRETE TILE "SLATE" PROFILE ROOFING
- OGEE GUTTERS
- 12" OVERHANGS, TYP. (U.O.N.)

**SIDING**

- STUCCO SIDING
- BOARD & BATT SIDING (WHERE OCCURS)

**TRIM**

- STUCCO OVER FOAM TRIM
- WOOD TRIM AT BOARD & BATT SIDING

**EXTERIOR MATERIALS**

- WINDOW GRIDS ON STREET FACADES & SECOND FLOOR WINDOWS
- STUCCO WAINSCOT (WHERE OCCURS)
- DECORATIVE LOUVERED SHUTTERS
- ACCENT PAINTED FRONT DOORS
- THEME SPECIFIC GARAGE DOORS

**ENHANCED ELEVATIONS**

- REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED



**FRONT ELEVATION "D"  
(FARMHOUSE)**