

JESSICA COURT MULTI-FAMILY DEVELOPMENT

ANTIOCH, CA

PLANNING SUBMITTAL

DECEMBER 14, 2023

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SHEET INDEX:

TS	COVER SHEET
AS1	CONCEPTUAL SITE PLAN
A0	PROJECT DATA
A00	PROJECT SITE PHOTOS
A1	UNIT 1 FLOOR PLAN
A2	UNIT 2 FLOOR PLAN
A3	UNIT 3 FLOOR PLAN
A4	COMMUNITY CENTER FLOOR PLAN
A5	BUILDING 1 TYPE 3s-24B - 24 UNIT BUILDING
A6	BUILDING 2 TYPE 3s-30E - 30 UNIT BUILDING
A7	BUILDING 3 TYPE 3s-28A - 30 UNIT BUILDING
A8	BUILDING 3 TYPE 3s-28A - 30 UNIT BUILDING
A9	TYPICAL ROOF PLAN
A10	BUILDING 1 TYPE 3s-24B EXTERIOR ELEVATIONS
A11	BUILDING 2 TYPE 3s-30E EXTERIOR ELEVATIONS
A12	BUILDING 3 TYPE 3s-28A EXTERIOR ELEVATIONS
A13	TYPICAL SECTION
A14	CONCEPTUAL SITE SECTION

PROJECT DESCRIPTION

THREE 3-STORY BUILDINGS WITH A TOTAL OF 82 CONDOMINIUMS AND 144 PARKING SPACES. THERE IS 264 S.F. OPEN SPACE PER DWELLING UNIT, AND 2,554 S.F. RESIDENTIAL COMMUNITY CENTER.

PROJECT DATA SUMMARY

ADDRESS: 3321 JESSICA COURT,
ANTIOCH, CA 94509

ZONING: R-35 - HIGH DENSITY RESIDENTIAL DISTRICT
GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL

APN: 051-390-006, 051-390-005, 051-390-004, 051-390-003
051-390-002, 051-390-001, 051-390-016, 051-390-011
051-390-010, 051-390-009

SITE AREA: 3.05 ACRES

MAX. HEIGHT ALLOWED: 45 FEET

TYPE OF CONSTRUCTION: TYPE V-B

PROPOSED USE: RESIDENTIAL CONDOMINIUMS

FOR ADDITIONAL INFORMATION, SEE SHEET AS1 & SHEET A0

A15	CONCEPTUAL SITE SECTION	L-1.0	PRELIMINARY LANDSCAPE PLAN
A16	CONCEPTUAL TRASH ENCLOSURE	L-1.1	PRELIMINARY COMMON SPACE PLAN
A17	CARPORT EXHIBIT	L-2.0	PROPOSED TREES LAYOUT
A18	TYPICAL EXTERIOR DETAILS	L-2.1	PROPOSED TREES LAYOUT
A19	TYPICAL EXTERIOR DETAILS	L-2.2	PRELIMINARY PLANTING PLAN
A20	COLOR SCHEME	L-2.3	PRELIMINARY PLANTING PLAN
		L-2.4	MASTER PLANTING LIST AND PLANTING DETAIL
TM 1	TITLE SHEET - NOTES, TYPICAL SECTIONS & SUBDIVISION PLAN	1 OF 1	SITE PHOTOMETRIC PLAN
TM 2	EXISTING CONDITION AND PRELIMINARY DEMOLITION PLAN		
TM 3	EXISTING CONDITION AND PRELIMINARY DEMOLITION PLAN		
TM 4	PRELIMINARY GRADING AND DRAINAGE PLAN		
TM 5	PRELIMINARY UTILITY PLAN		
TM 6	PRELIMINARY STORMWATER CONTROL PLAN		
TM 7	PRELIMINARY PROFILE - JESSICA DRIVE (PVT)		



VICINITY MAP
NO SCALE



PROJECT SITE

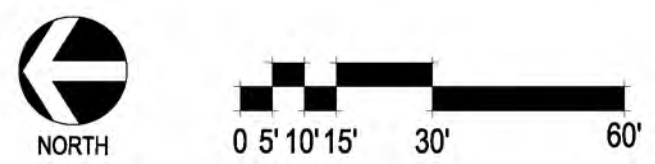
PROJECT DATA

Jurisdiction	Antioch, CA	
General Plan Designation	Medium Density Residential	
Existing Zoning	R-35 - High Density Residential District	
Gross Land Area	130,503 S.F.	3.00 ACRES
Net Land Area (Site Area within Setbacks)	103,426 S.F.	2.37 ACRES
Total Units Proposed	82	
Density Proposed per Gross Acre (DU/AC.)	27.37	
Density Proposed per Net Acre (DU/AC.)	34.54	

PARKING SUMMARY

Standard Stalls				140
Compact Stalls				0
Accessible Stalls	2%	2.88		4
Total Proposed				144
Total Required	1 Bedroom = 1.5 Space per unit	1.5	36	54
Zoning Ordinance	2 Bedroom = 1.5 Spaces per unit	1.5	36	54
9-5.1703.1	3 Bedroom = 2 Spaces per unit	2	10	20
	Guest = 1 per 5 units	5	82	16
				144
Covered Parking				82

NOTE: LANDSCAPE AS SHOWN IS CONCEPTUAL FOR REFERENCE ONLY. SEE LANDSCAPE PLAN BY OTHERS FOR MORE INFORMATION.



BUILDING TYPE SUMMARY							
BUILDING TYPE	UNIT TYPE	UNIT	UNITS PER FLOOR	BUILDING UNIT TOTALS	BUILDING TOTALS	SITE UNIT TOTALS	UNIT %
3s-24B 24 UNITS	1 BED	U1	4	12	1	12	50%
	2 BED	U2A	0	0		0	0%
		U2B	4	12		12	50%
	3 BED	U3	0	0		0	0%
		U3A	0	0		0	0%
TOTALS			8	24	24	100%	

3s-30E 30 UNITS	1 BED	U1	4	12	1	12	40%
	2 BED	U2A	2	6		6	20%
		U2B	2	6		6	20%
	3 BED	U3	2	6		6	20%
		U3A	0	0		0	0%
TOTALS			10	30	30	100%	

3s-28A 28 UNITS 1st FLOOR	1 BED	U1	4	4	1	4	50%
	2 BED	U2A	2	2		2	25%
		U2B	2	2		2	25%
	COMMUNITY CENTER	CC	1	1		1	13%
TOTALS			8	8	8	113%	

3s-28A 28 UNITS 2nd & 3rd FLOOR	1 BED	U1	4	8	1	8	40%
	2 BED	U2A	2	4		4	20%
		U2B	2	4		4	20%
	3 BED	U3	2	4		4	20%
		U3A	0	0		0	0%
TOTALS			10	20	20	100%	

PROJECT SUMMARY				
1BED	U1	600 S.F.	36	43.90%
2 BED	U2A	848 S.F.	12	43.90%
	U2B	860 S.F.	24	
3 BED	U3	1,118 S.F.	10	12.20%
	U3A	1,118 S.F.	0	
COMMUNITY CENTER	CC	2,554 S.F.	1	
TOTALS UNITS			82	100%

RENTABLE UNIT TOTAL				
1BED	U1	600 S.F.	36	44.44%
2 BED	U2A	848 S.F.	12	44.44%
	U2B	860 S.F.	24	
3 BED	U3	1,118 S.F.	9	11.11%
	U3A	1,118 S.F.	0	
TOTALS RENTAL UNITS			81	100%

MANAGERS UNIT				
3 BED	U3	1,118	1	1%
TOTALS MANAGER UNITS			1	1%

FLOOR AREA PROPOSED (Private Balcony area & Garages Excluded)						
	3s-24B 24 Units	3s-30E 30 Units	3s-28A 28 Units			Total
Level 1	5,840	8,052	8370			
Level 2	5,840	8,052	8052			
Level 3	5,840	8,052	8052			
Building Floor Area	17,520	24,156	24,474			
Total Floor Area (sf)	17,520	24,156	24,474			
Total Gross Floor Area Proposed						66,150 S.F.
Floor Area Ratio Proposed (With Easements)						0.51

PORCHES & DECKS				
	1st FLOOR	2nd FLOOR	3rd FLOOR	
U1	142 S.F.	142 S.F.	114 S.F.	
U2A	143 S.F.	143 S.F.	82 S.F.	
U2B	120 S.F.	120 S.F.	78 S.F.	
U3	160 S.F.	160 S.F.	146 S.F.	
U3A	160 S.F.	160 S.F.	128 S.F.	
				TOTAL
3s-24B	1,048 S.F.	1,048 S.F.	768 S.F.	2,864 S.F.
3s-30E	1,414 S.F.	1,414 S.F.	1,068 S.F.	3,896 S.F.
3s-28A	1,094 S.F.	1,414 S.F.	1,068 S.F.	3,576 S.F.
TOTAL	3,556 S.F.	3,876 S.F.	2,904 S.F.	10,336 S.F.

SITE DATA				
OPEN SPACE CALCULATIONS				
Open Space - S.F.			21,948 S.F.	
Private Useable Open Space (Porches & Decks, 5'-0" x 8'-0" min.)			10,336 S.F.	
Total open area - S.F.			32,284 S.F.	
Open area ratio proposed			31%	
Open space required = 200 s.f per unit	200 S.F.	82	16,400 S.F.	
SETBACKS AND HEIGHTS				
Zoning Setbacks	R-35 - High Density Residential District			
FRONT	15'-0" Setback - 80'-0" Easement			
SIDE	15'-0" Setback			
REAR	15'-0" setback - 36'-0"-43'-0" EASEMENT			
INTERIOR	15'-0" Setback			
Building Height Limit	45'-0"			
LOT COVERAGE				
BUILDING FOOTPRINT PROPOSED				
	3s-24B 24 Units	3s-30E 30 Units	3s-28A 28 Units	Total
Footprint (sf)	8,724	11,540	11,567	
Count	1	1	1	3
Total	8,724	11,540	11,567	31,831 S.F.
Lot Area				103,426 S.F.
Lot Coverage Proposed (With Easements)				31%



VIEW 5

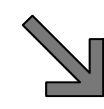


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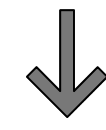


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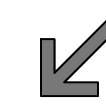
VIEW 5



VIEW 4



VIEW 3



FILBERT ST.

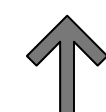


OAKLEY RD.

VIEW 6



VIEW 1



KEY MAP



VIEW 2



STREET VIEW 1



STREET VIEW 2



VIEW 6

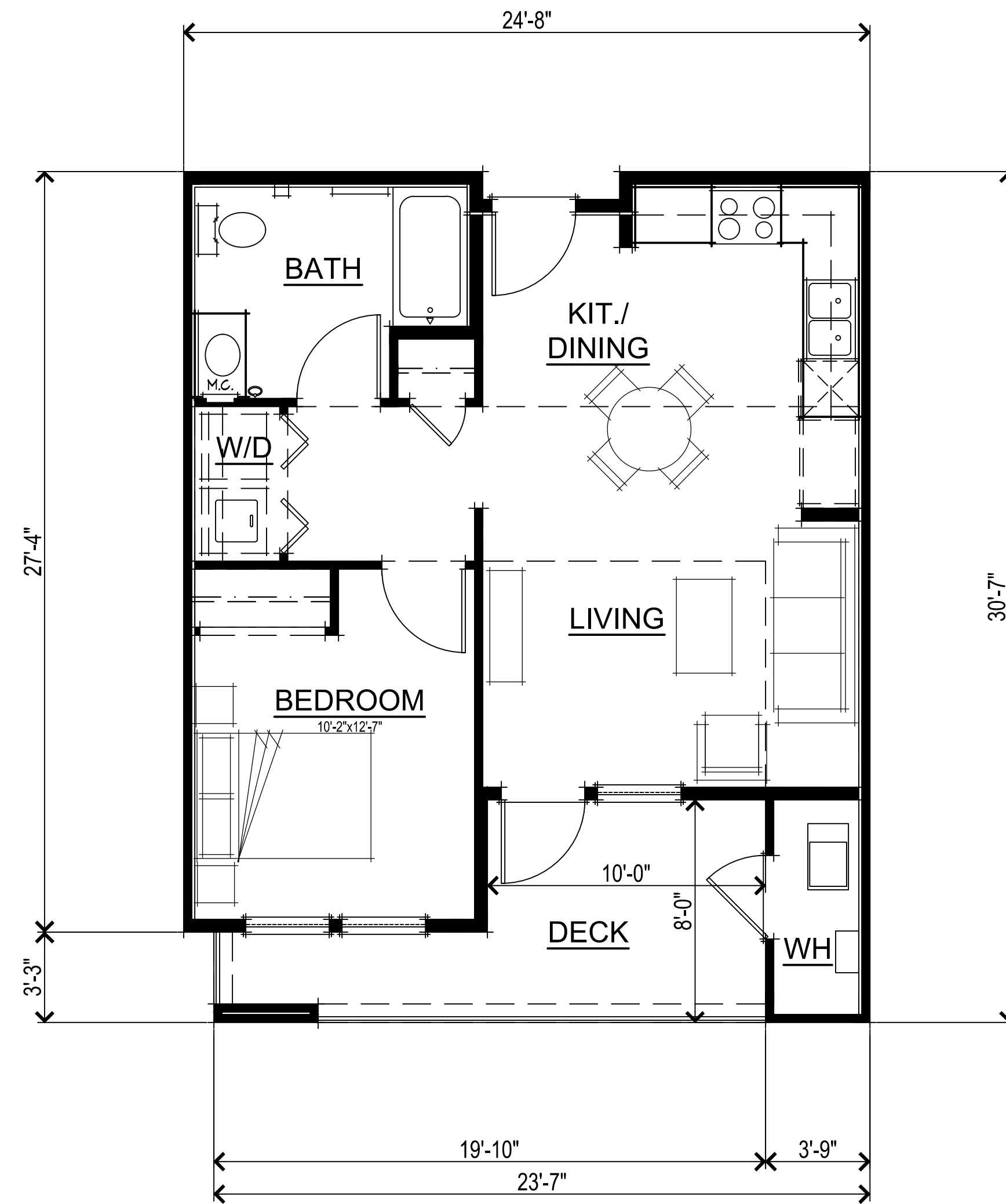


VIEW 1



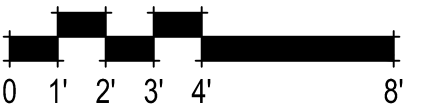
VIEW 2



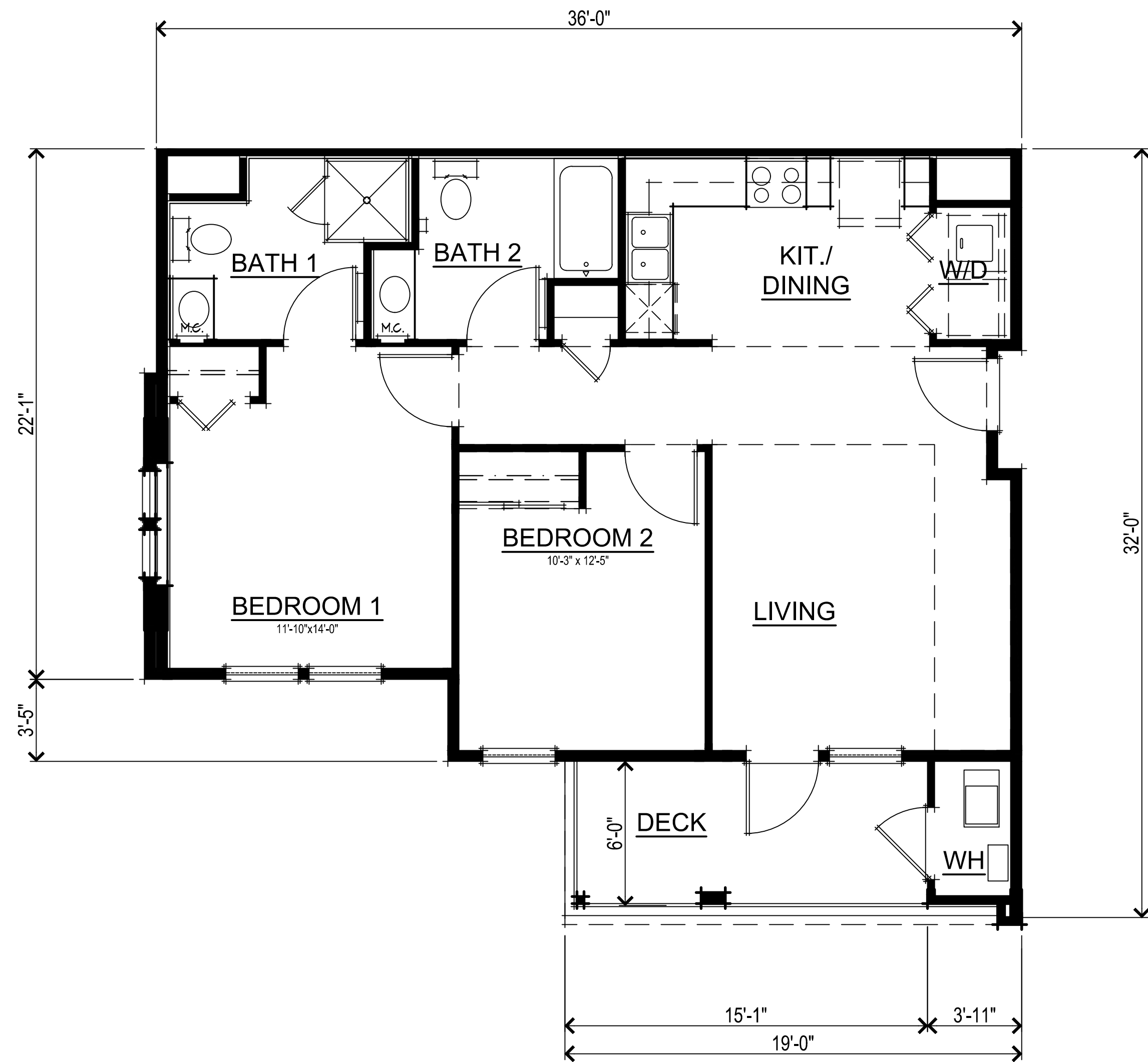


FLOOR PLAN - UNIT 1

UNIT 1 SQUARE FOOTAGE	
NET LIVING	564 SQ. FT.
GROSS LIVING	600 SQ. FT.
FIRST FLOOR DECK	142 SQ. FT.
SECOND FLOOR DECK	142 SQ. FT.
THIRD FLOOR DECK	114 SQ. FT.

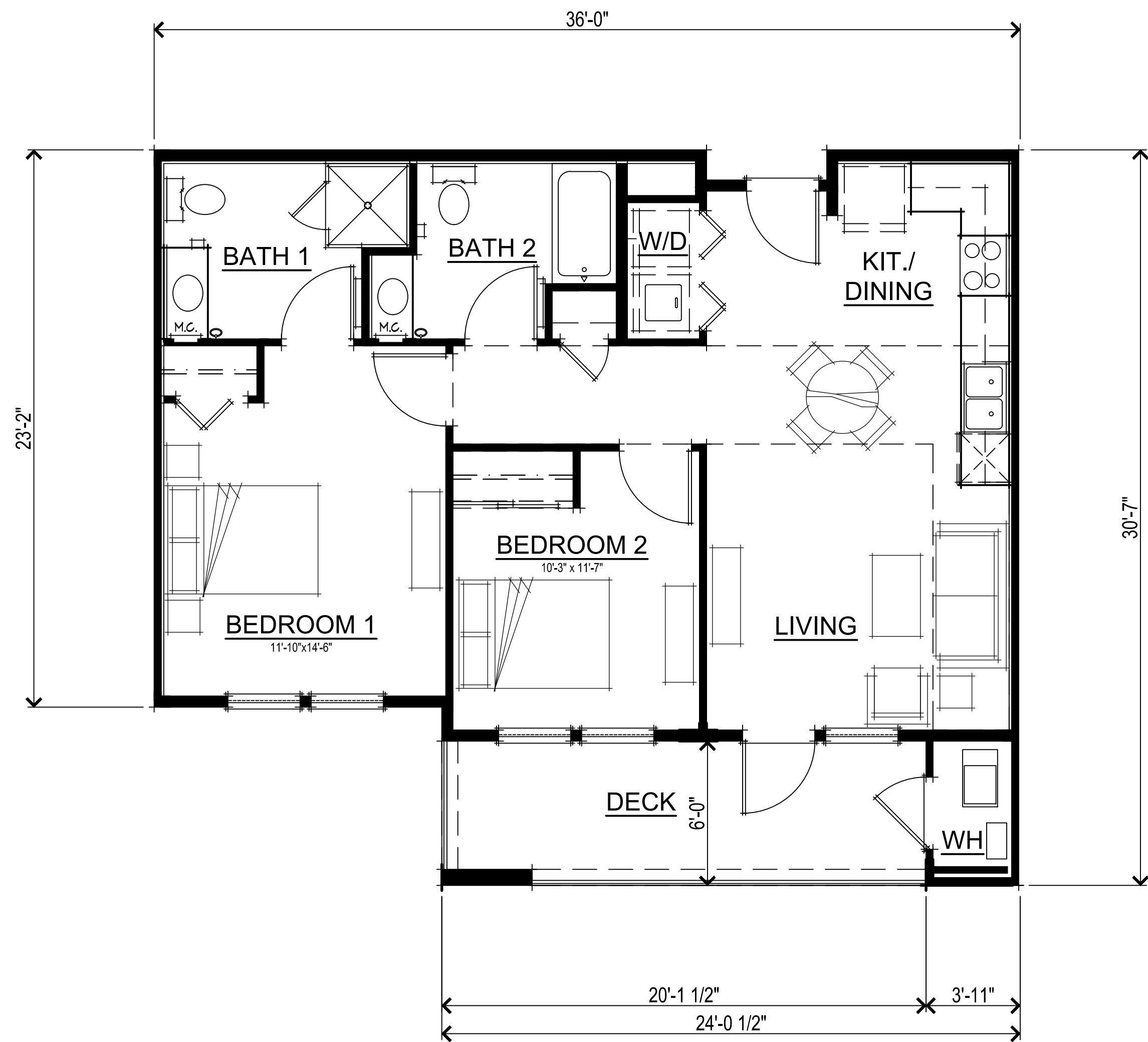


UNIT 1 FLOOR PLAN
A1



FLOOR PLAN - UNIT 2B

UNIT 2B SQUARE FOOTAGE	
NET LIVING	814 SQ. FT.
GROSS LIVING	860 SQ. FT.
FIRST FLOOR DECK	120 SQ. FT.
SECOND FLOOR DECK	120 SQ. FT.
THIRD FLOOR DECK	78 SQ. FT.



FLOOR PLAN - UNIT 2A

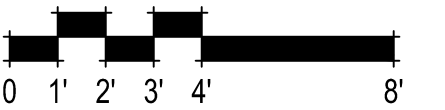
UNIT 2A SQUARE FOOTAGE	
NET LIVING	810 SQ. FT.
GROSS LIVING	848 SQ. FT.
FIRST FLOOR DECK	143 SQ. FT.
SECOND FLOOR DECK	143 SQ. FT.
THIRD FLOOR DECK	82 SQ. FT.

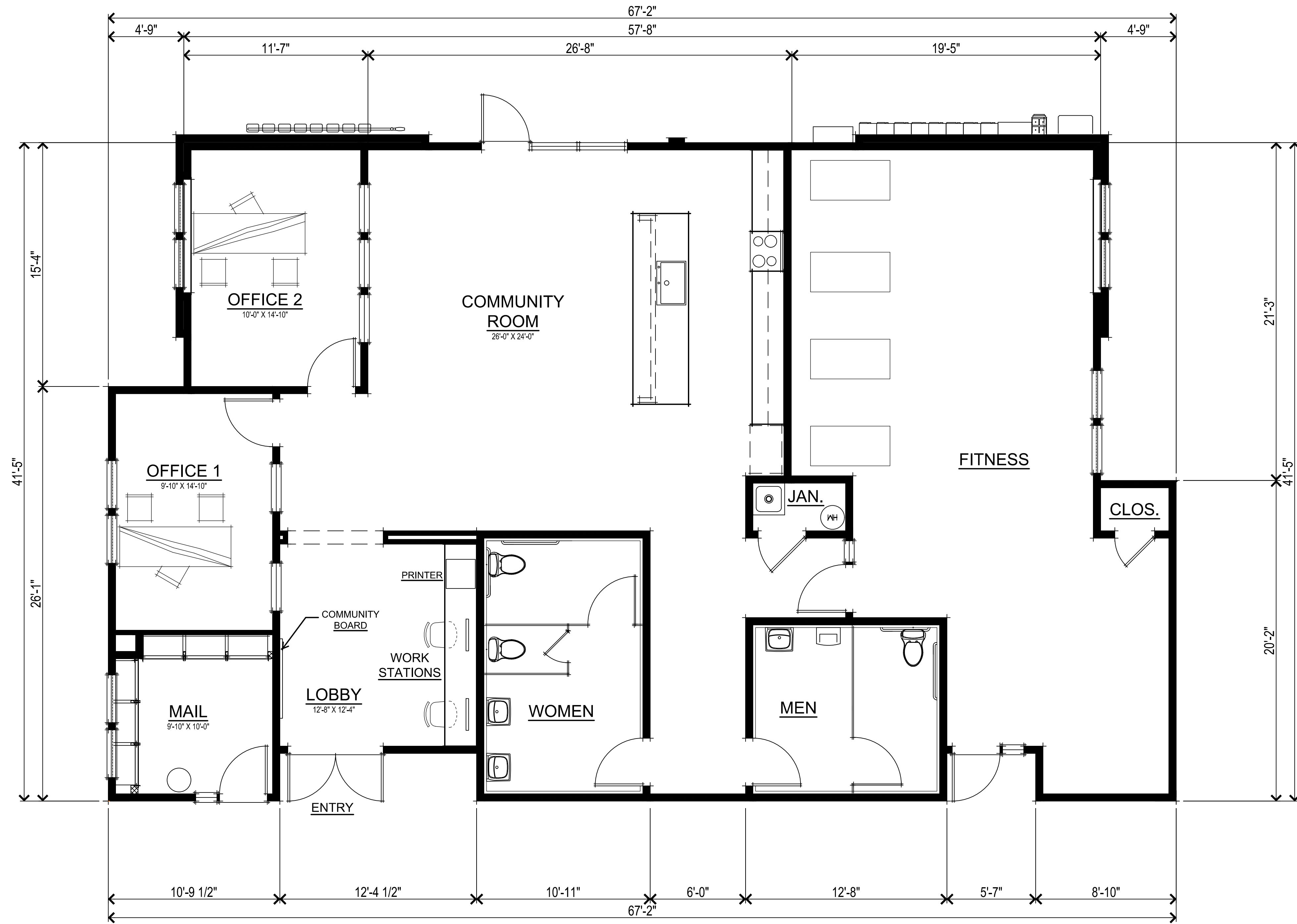




FLOOR PLAN - UNIT 3

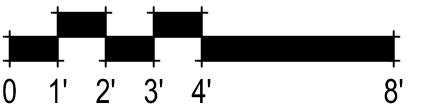
UNIT 3 SQUARE FOOTAGE	
NET LIVING	1065 SQ. FT.
GROSS LIVING	1118 SQ. FT.
FIRST FLOOR DECK	160 SQ. FT.
SECOND FLOOR DECK	160 SQ. FT.
THIRD FLOOR DECK	146 SQ. FT.

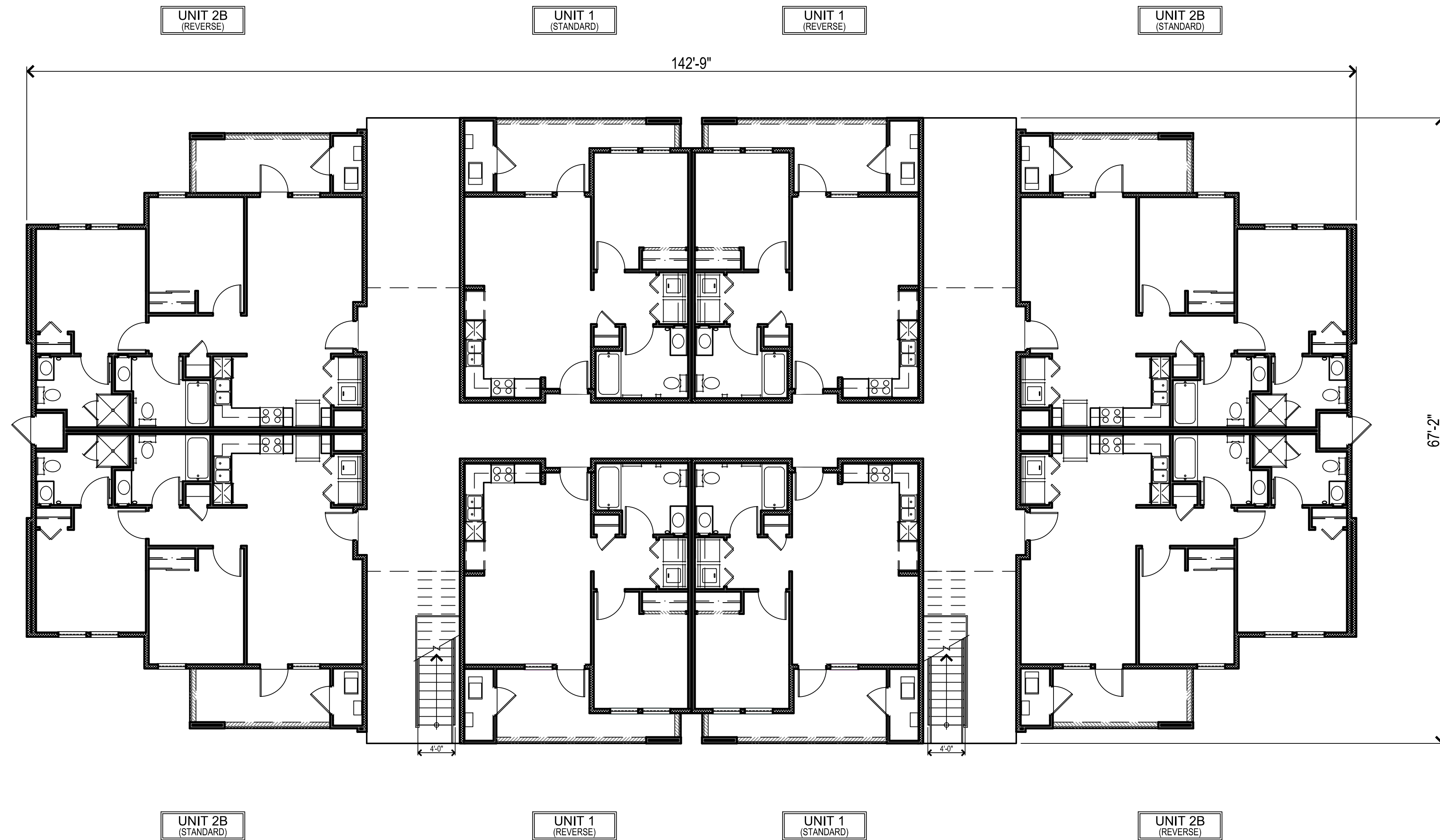




FLOOR PLAN - COMMUNITY CENTER

FLOOR AREA	
GROSS AREA	2554 SQ. FT.



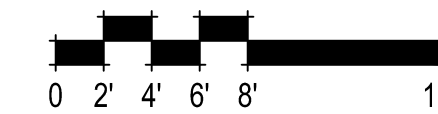


BUILDING 1
TYPICAL FLOOR PLAN



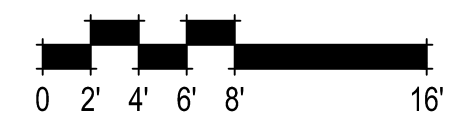


BUILDING 2
TYPICAL FLOOR PLAN



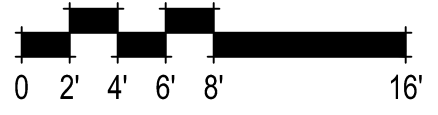


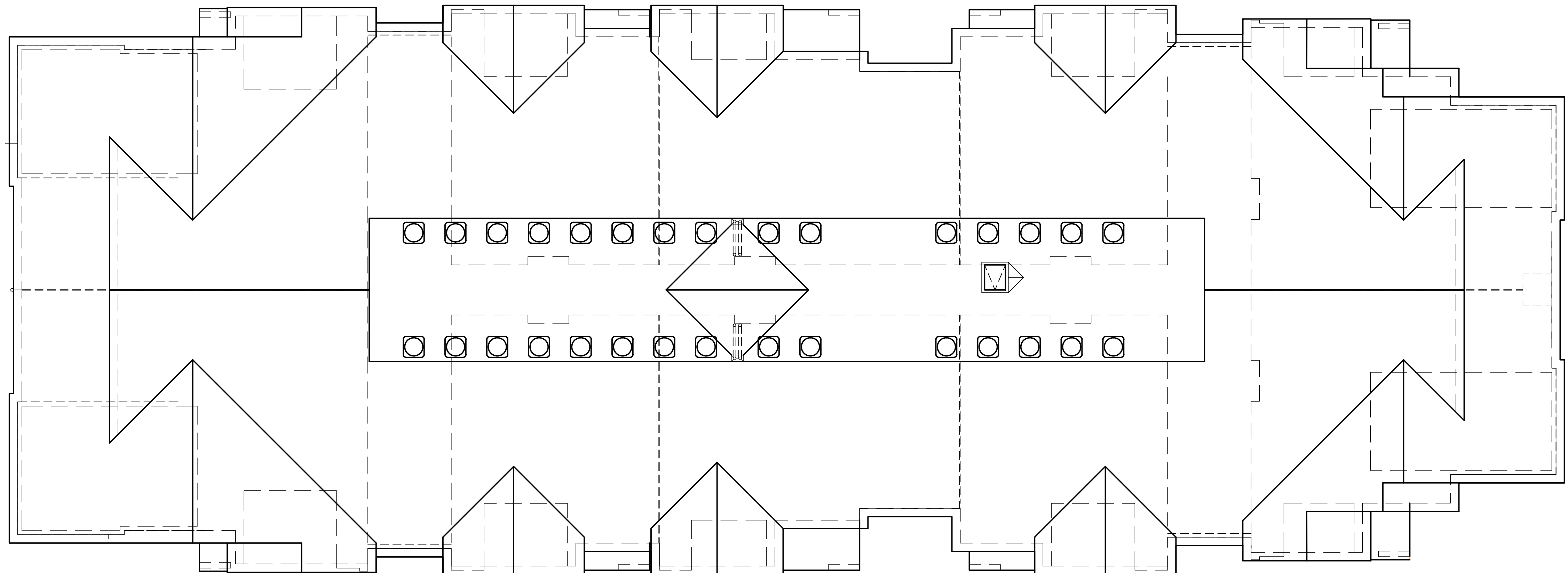
BUILDING 3
FIRST FLOOR PLAN



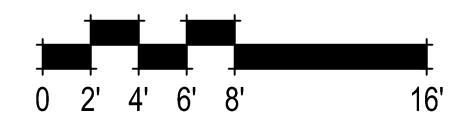


BUILDING 3
SECOND & THIRD FLOOR PLAN





TYPICAL ROOF PLAN



TYPICAL ROOF PLAN

A9

EXTERIOR COLOR KEY NOTES

- S1** BODY - STUCCO
COLOR: SHERWIN WILLIAMS - SW 7551 GREEK VILLA (254-C1)
 - V1** VERTICAL SIDING - FIBER CEMENT BOARD AND BATTENS WITH TRIM AT CORNERS
COLOR: SHERWIN WILLIAMS - SW 7697 SAFARI (296-C6)
 - F1** FASCIA / METAL RAILING
COLOR: SHERWIN WILLIAMS - SW 7645 THUNDER GRAY (278-C1)
 - A1** ENTRY DOORS / ACCENTS
COLOR: SHERWIN WILLIAMS - SW 7645 THUNDER GRAY (278-C1)
 - R1** ROOFING
GAF ROOFING
COLOR: TIMBERLINE SHINGLES - WEATHERED WOOD
- ALL COLORS TO HAVE OWNER APPROVAL BEFORE BEING APPLIED TO BUILDING SURFACES.



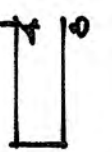
LEFT ELEVATION



RIGHT ELEVATION



FRONT/REAR ELEVATIONS



EXTERIOR COLOR KEY NOTES

- S1 BODY - STUCCO
COLOR: SHERWIN WILLIAMS - SW 7551 GREEK VILLA (254-C1)
 - V1 VERTICAL SIDING - FIBER CEMENT BOARD AND BATTENS WITH TRIM AT CORNERS
COLOR: SHERWIN WILLIAMS - SW 7697 SAFARI (296-C6)
 - F1 FASCIA / METAL RAILING
COLOR: SHERWIN WILLIAMS - SW 7645 THUNDER GRAY (278-C1)
 - A1 ENTRY DOORS / ACCENTS
COLOR: SHERWIN WILLIAMS - SW 7645 THUNDER GRAY (278-C1)
 - R1 ROOFING
GAF ROOFING
COLOR: TIMBERLINE SHINGLES - WEATHERED WOOD
- ALL COLORS TO HAVE OWNER APPROVAL BEFORE BEING APPLIED TO BUILDING SURFACES.



UNIT 3B

LEFT ELEVATION



UNIT 2B

RIGHT ELEVATION



UNIT 3B

UNIT 1B

UNIT 2B

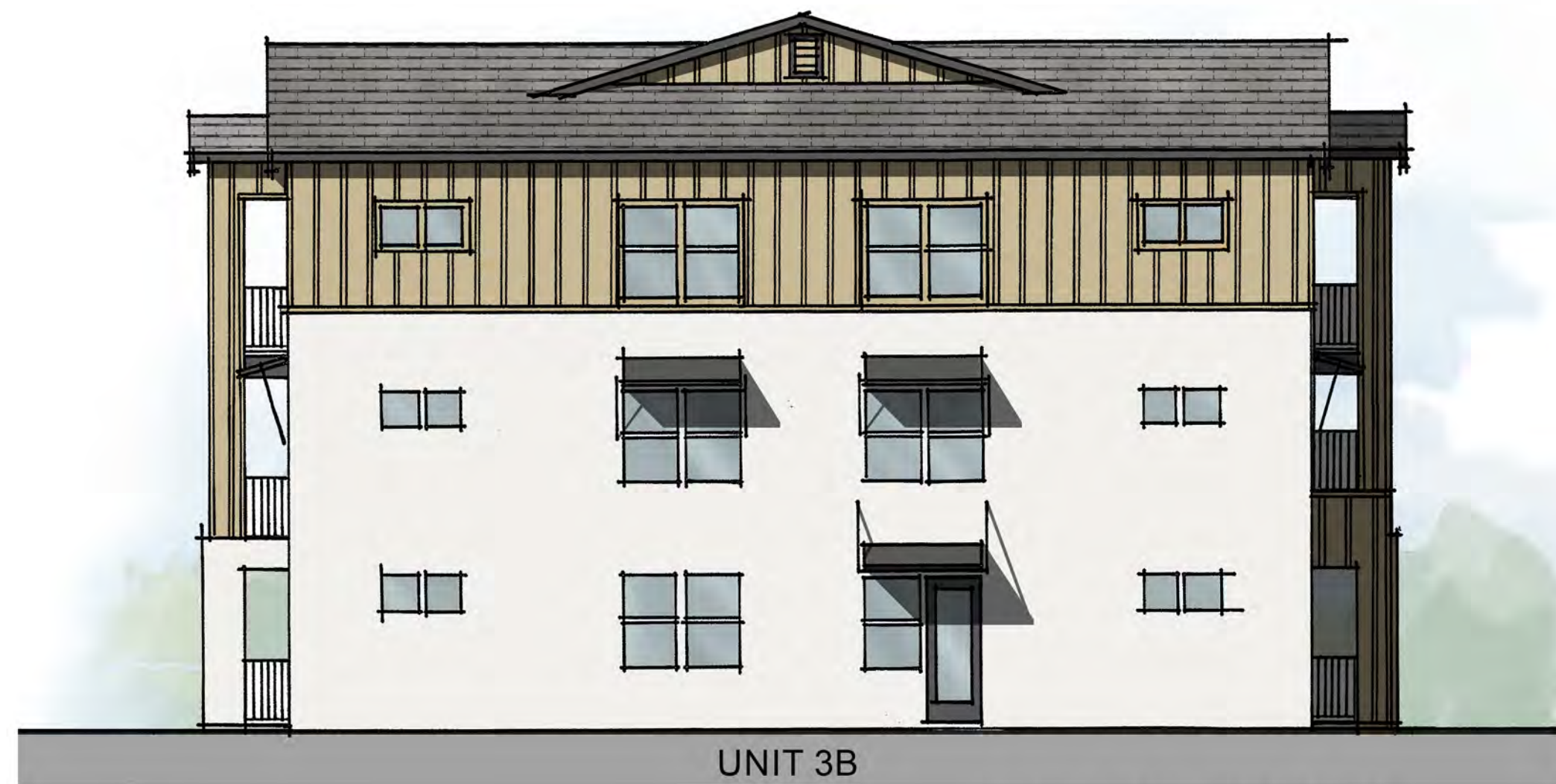
UNIT 1B

UNIT 2B

FRONT/REAR ELEVATIONS

EXTERIOR COLOR KEY NOTES

- S1** BODY - STUCCO
COLOR: SHERWIN WILLIAMS - SW 7551 GREEK VILLA (254-C1)
 - V1** VERTICAL SIDING - FIBER CEMENT BOARD AND BATTENS WITH TRIM AT CORNERS
COLOR: SHERWIN WILLIAMS - SW 7697 SAFARI (296-C6)
 - F1** FASCIA / METAL RAILING
COLOR: SHERWIN WILLIAMS - SW 7645 THUNDER GRAY (278-C1)
 - A1** ENTRY DOORS / ACCENTS
COLOR: SHERWIN WILLIAMS - SW 7645 THUNDER GRAY (278-C1)
 - R1** ROOFING
GAF ROOFING
COLOR: TIMBERLINE SHINGLES - WEATHERED WOOD
- ALL COLORS TO HAVE OWNER APPROVAL BEFORE BEING APPLIED TO BUILDING SURFACES.



UNIT 3B

LEFT ELEVATION



UNIT 2B

RIGHT ELEVATION



UNIT 3B

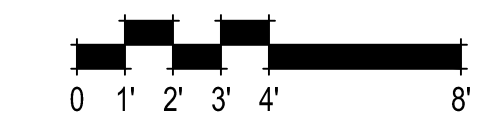
UNIT 1B

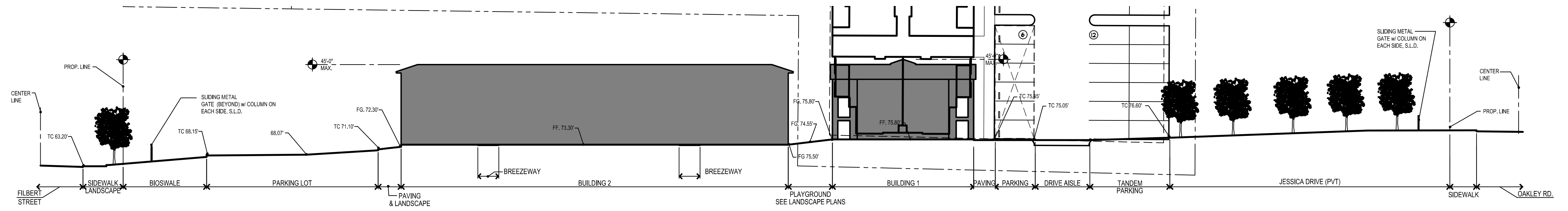
UNIT 2B

UNIT 1B

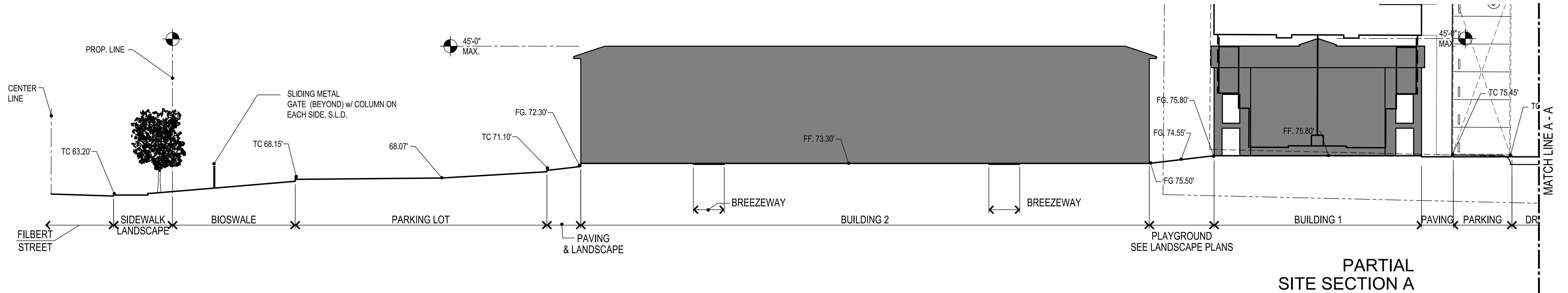
UNIT 2B

FRONT/REAR ELEVATIONS

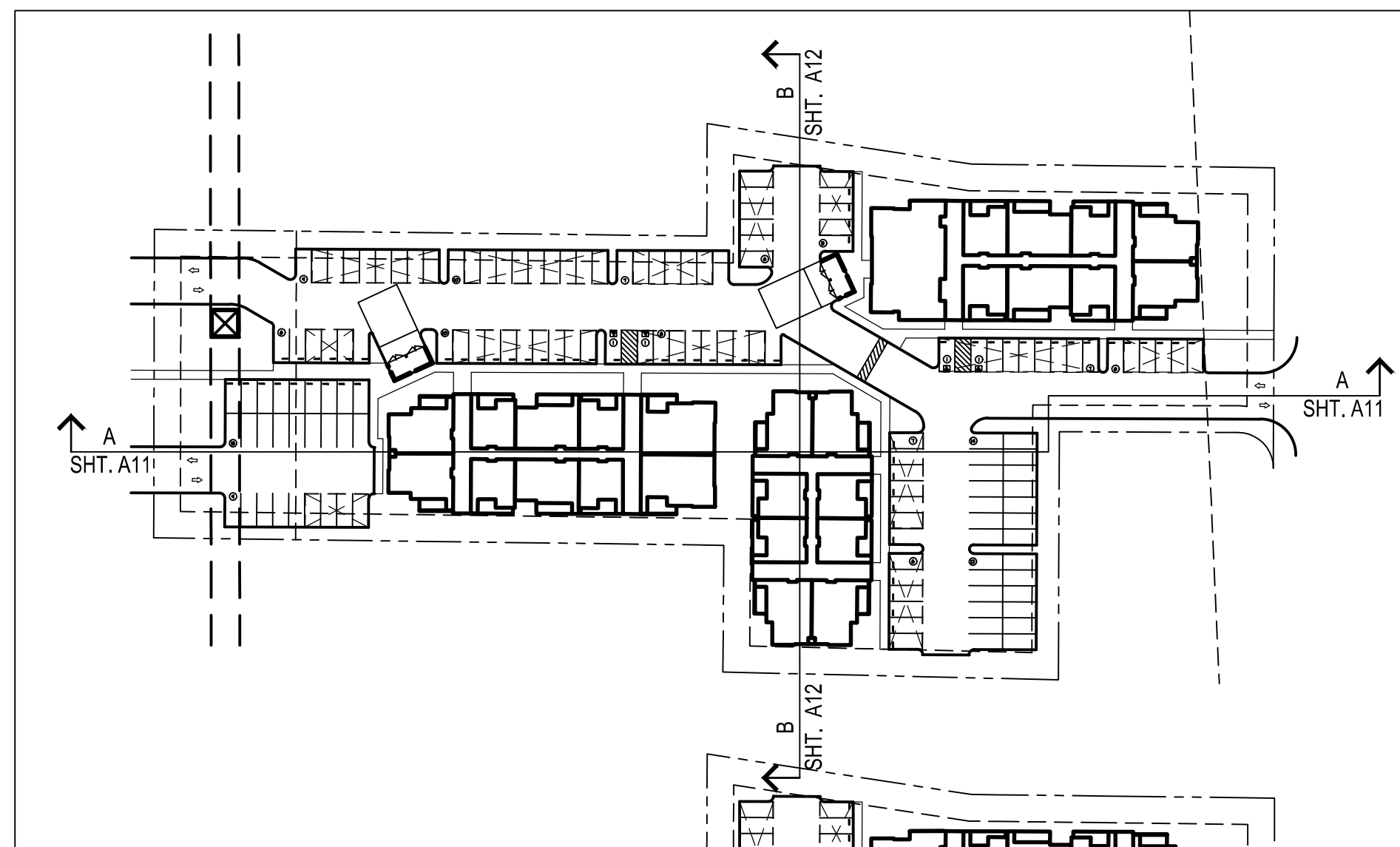




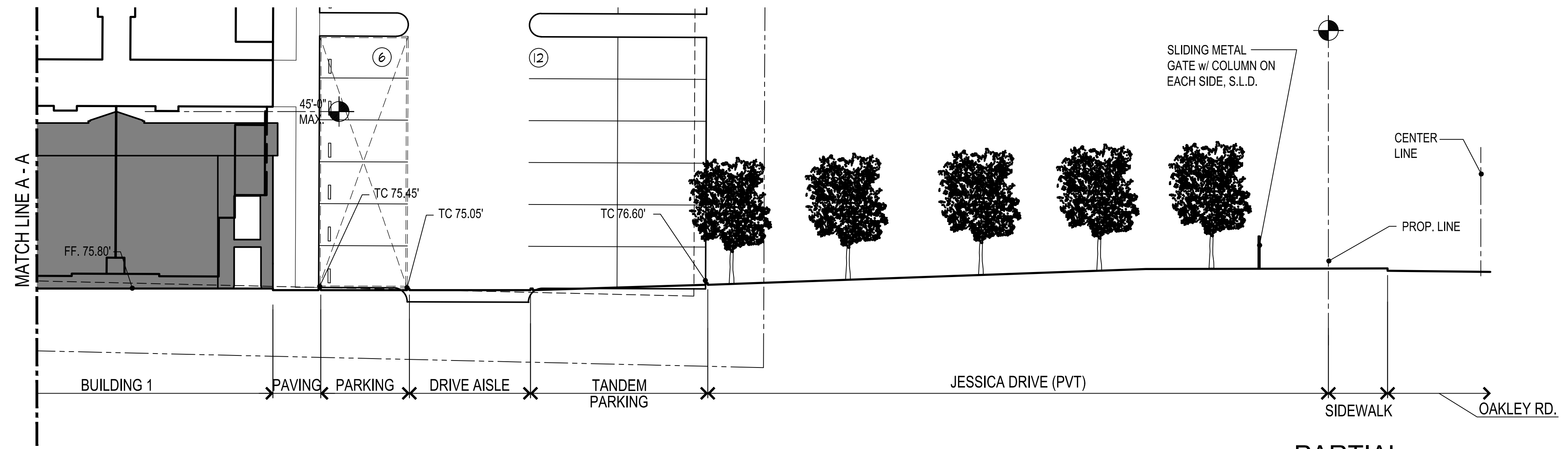
OVERALL
SITE SECTION A



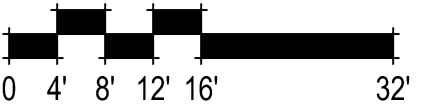
PARTIAL
SITE SECTION A

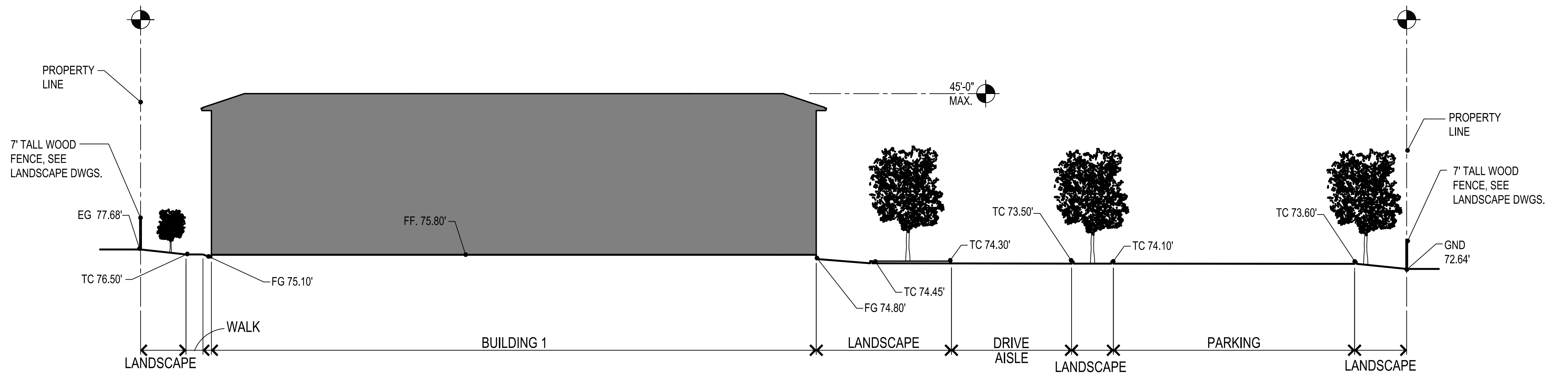


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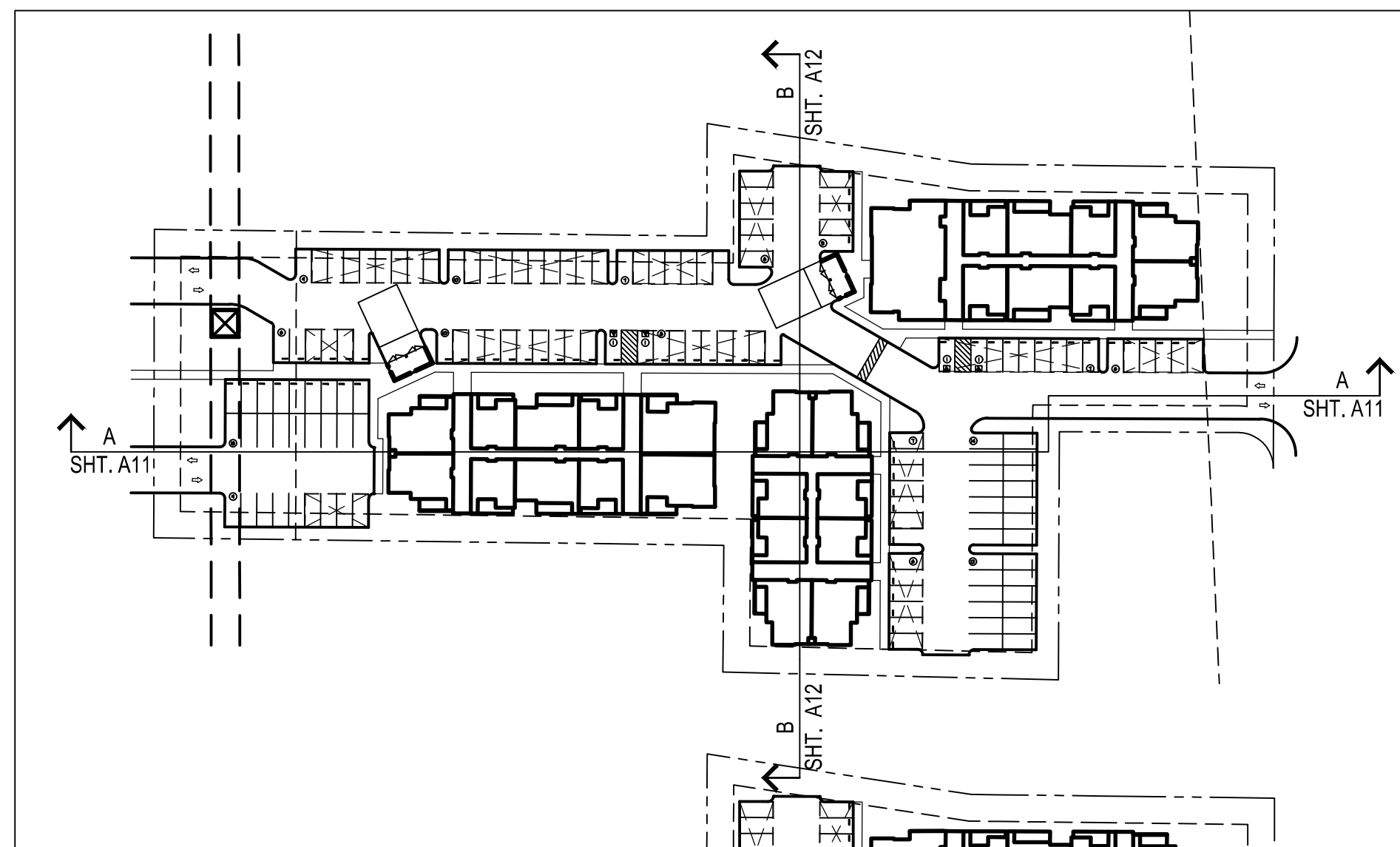


PARTIAL
SITE SECTION A

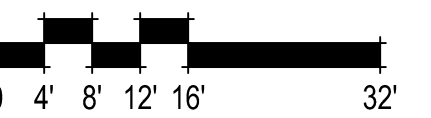


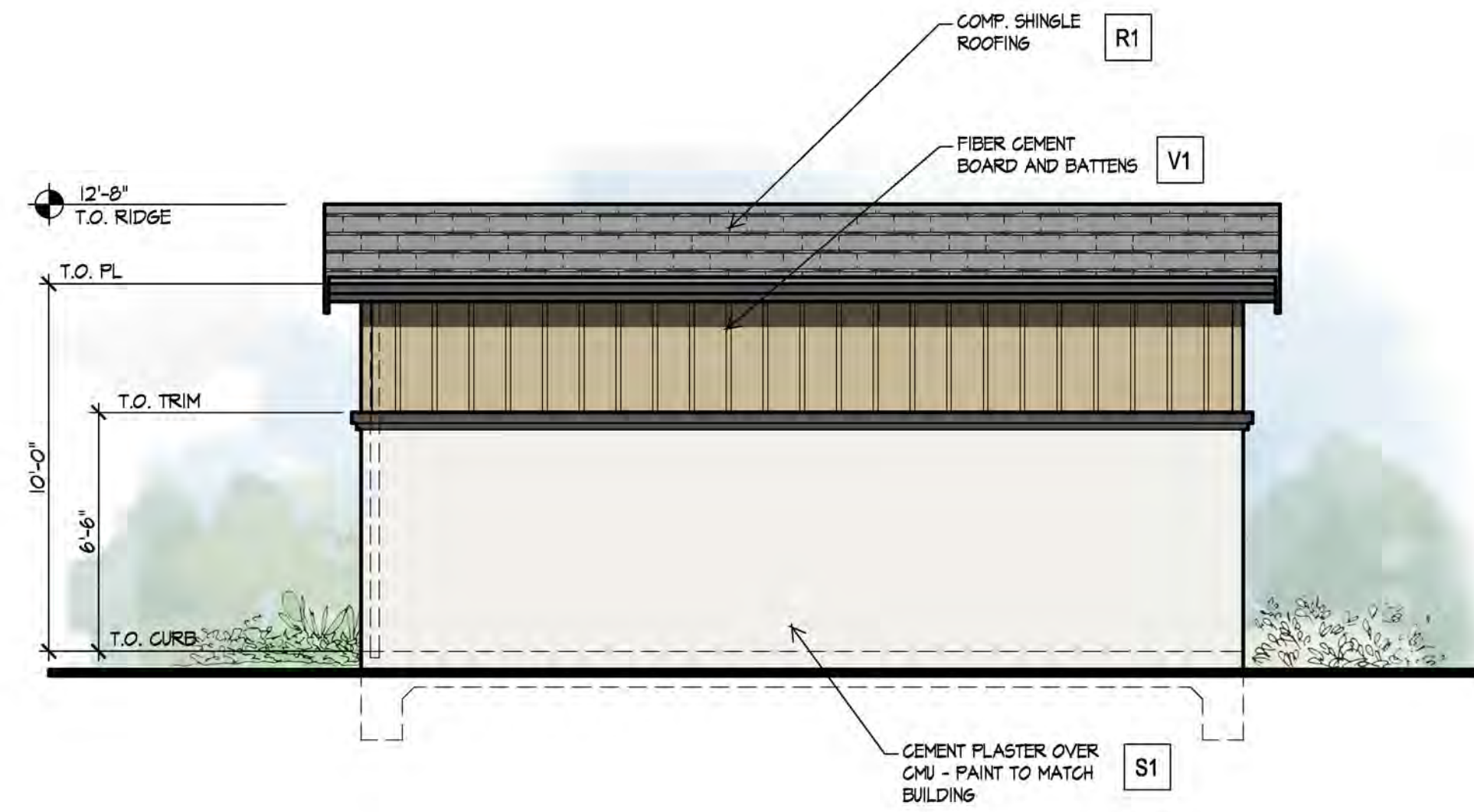


SITE SECTION B

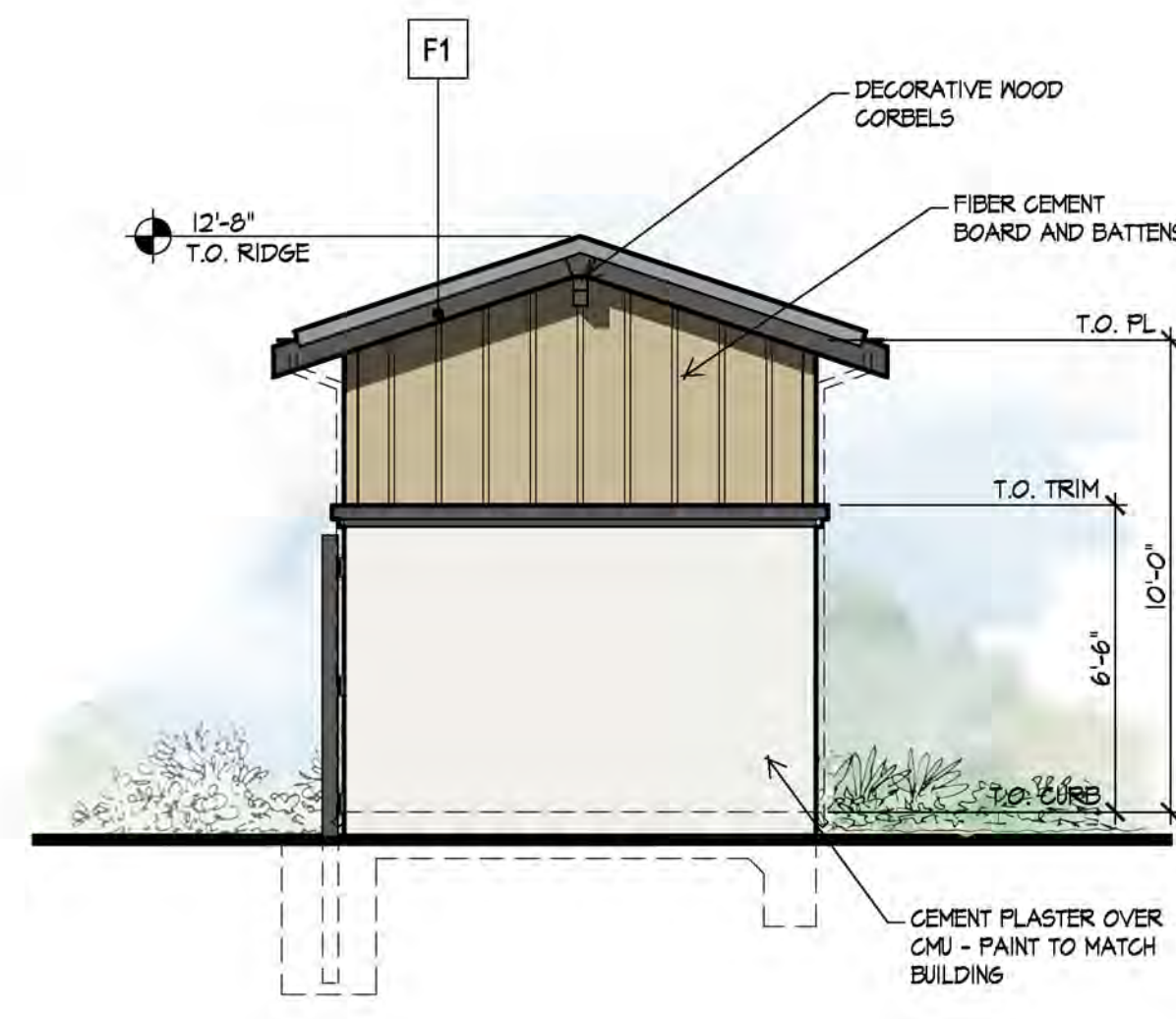


SITE KEY



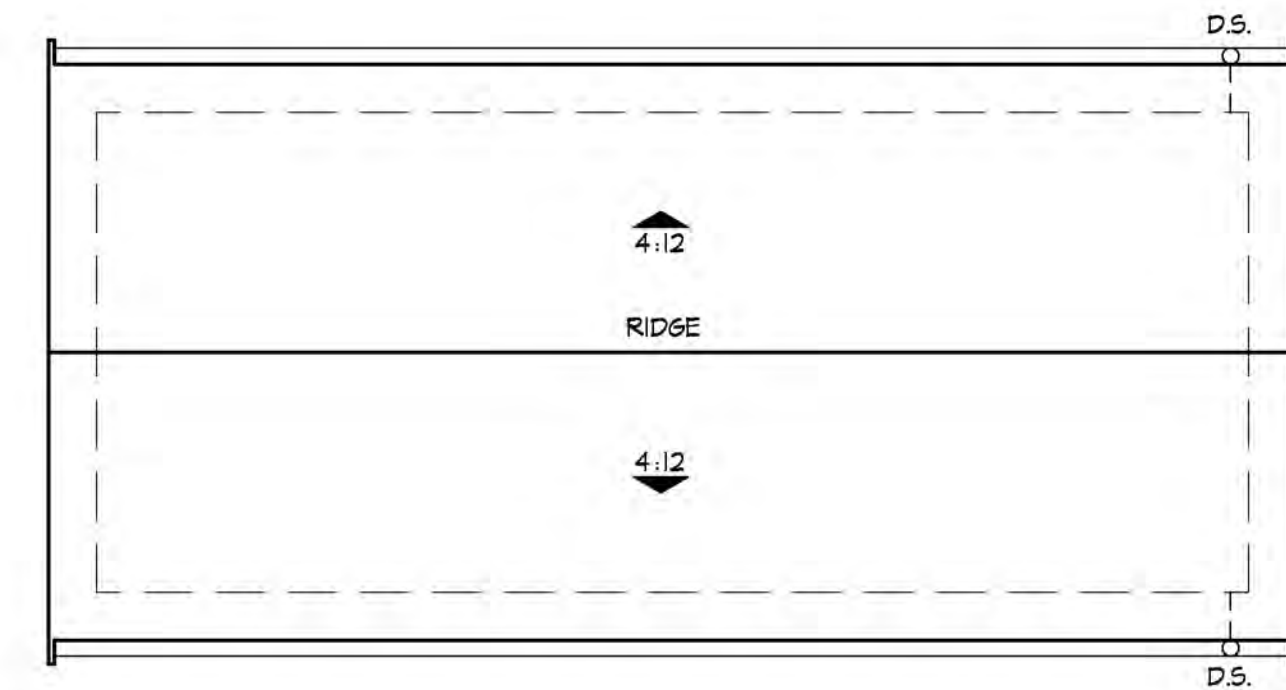


REAR ELEVATION

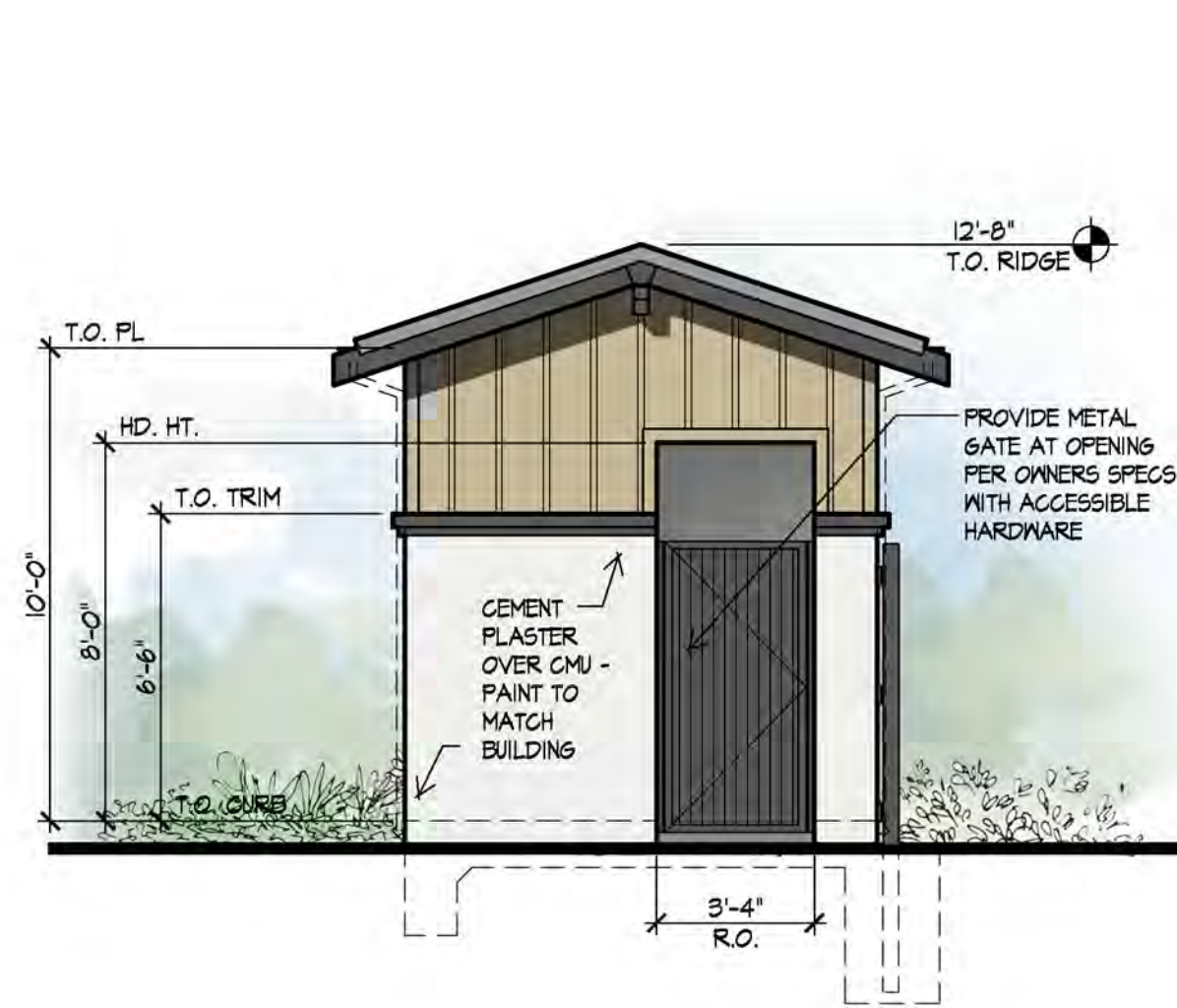


RIGHT ELEVATION

EXTERIOR COLOR KEY NOTES		EXTERIOR COLOR KEY NOTES	
A1	ENTRY DOORS / ACCENTS COLOR: SHERWIN WILLIAMS - SW 7645 THUNDER GRAY (278-C1)	S1	BODY - STUCCO COLOR: SHERWIN WILLIAMS - SW 7551 GREEK VILLA (254-C1)
R1	ROOFING GAF ROOFING COLOR: TIMBERLINE SHINGLES - WEATHERED WOOD	V1	VERTICAL SIDING - FIBER CEMENT BOARD AND BATTENS WITH TRIM AT CORNERS COLOR: SHERWIN WILLIAMS - SW 7697 SAFARI (296-C6)
ALL COLORS TO HAVE OWNER APPROVAL BEFORE BEING APPLIED TO BUILDING SURFACES.		F1	FASCIA / METAL RAILING COLOR: SHERWIN WILLIAMS - SW 7645 THUNDER GRAY (278-C1)



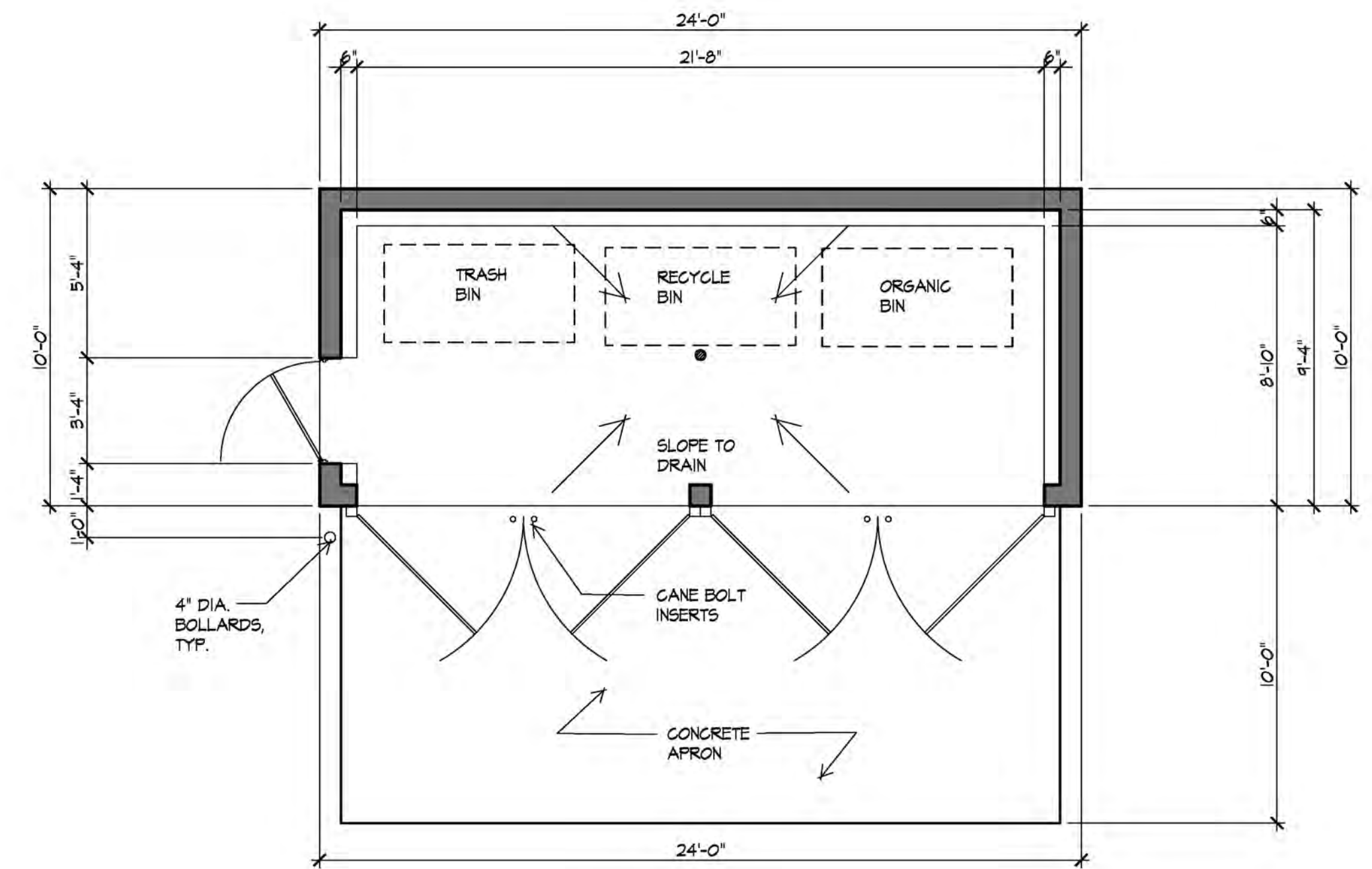
ROOF PLAN



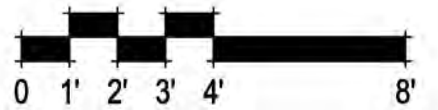
LEFT ELEVATION



FRONT ELEVATION

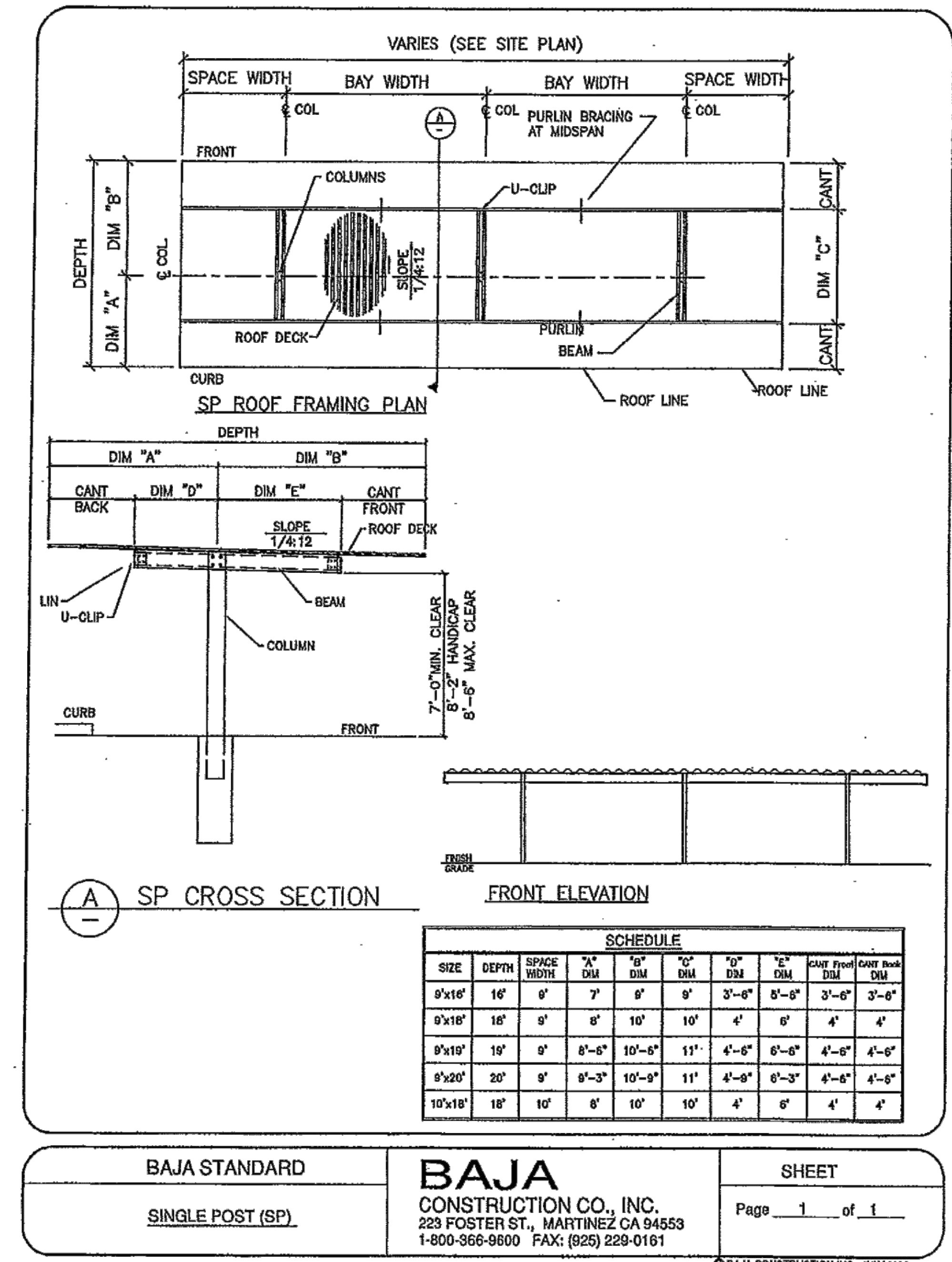


FLOOR PLAN

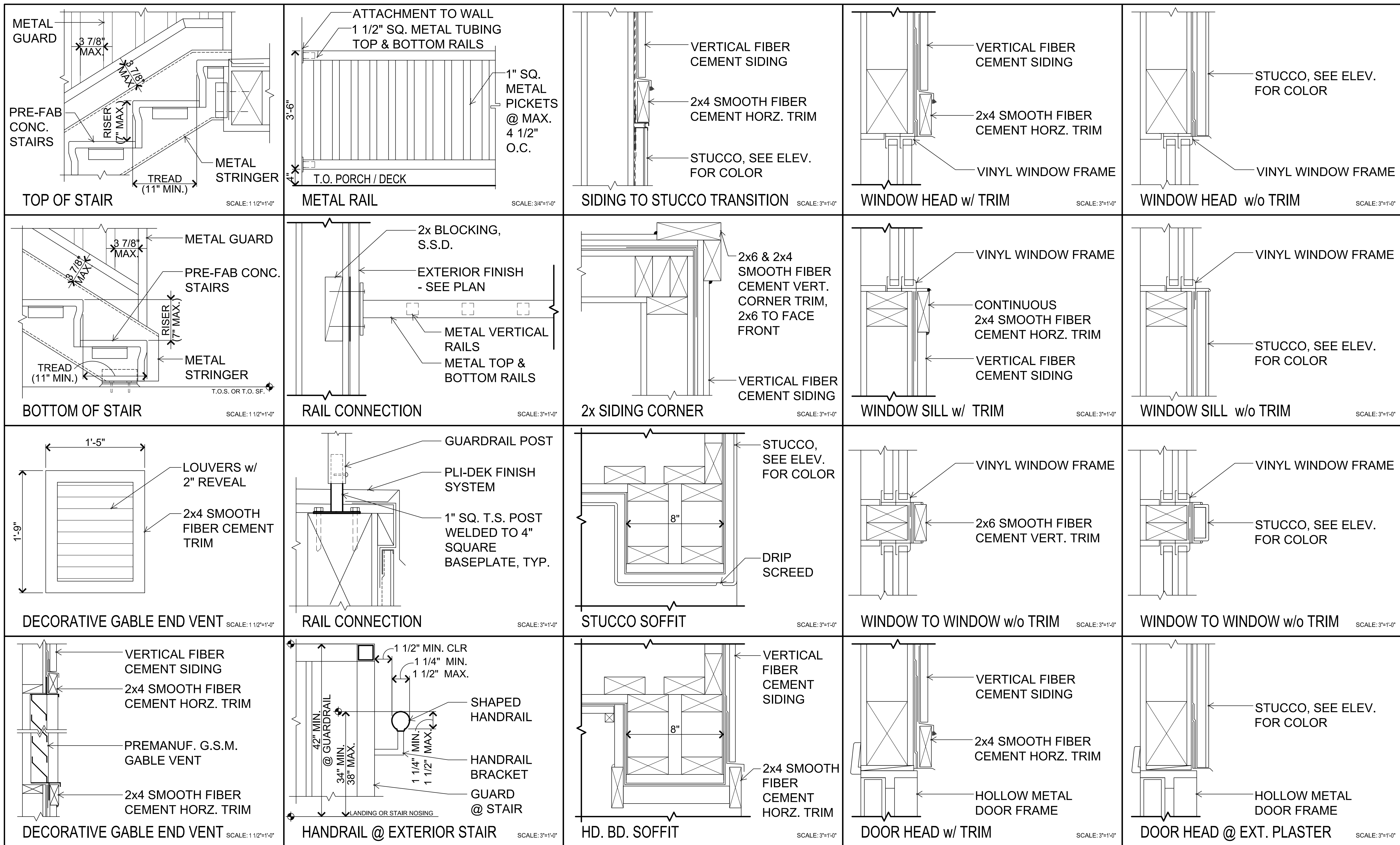


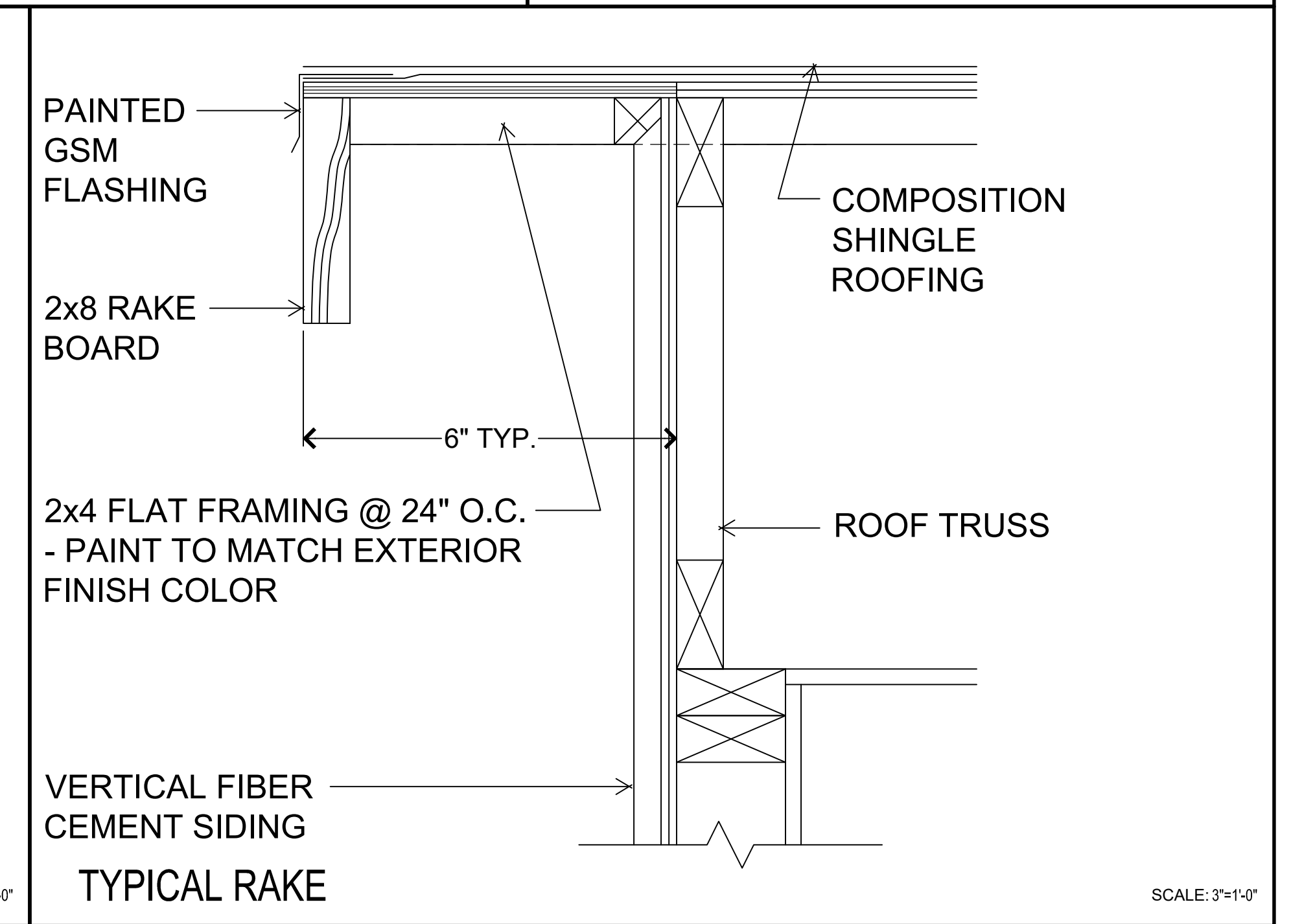
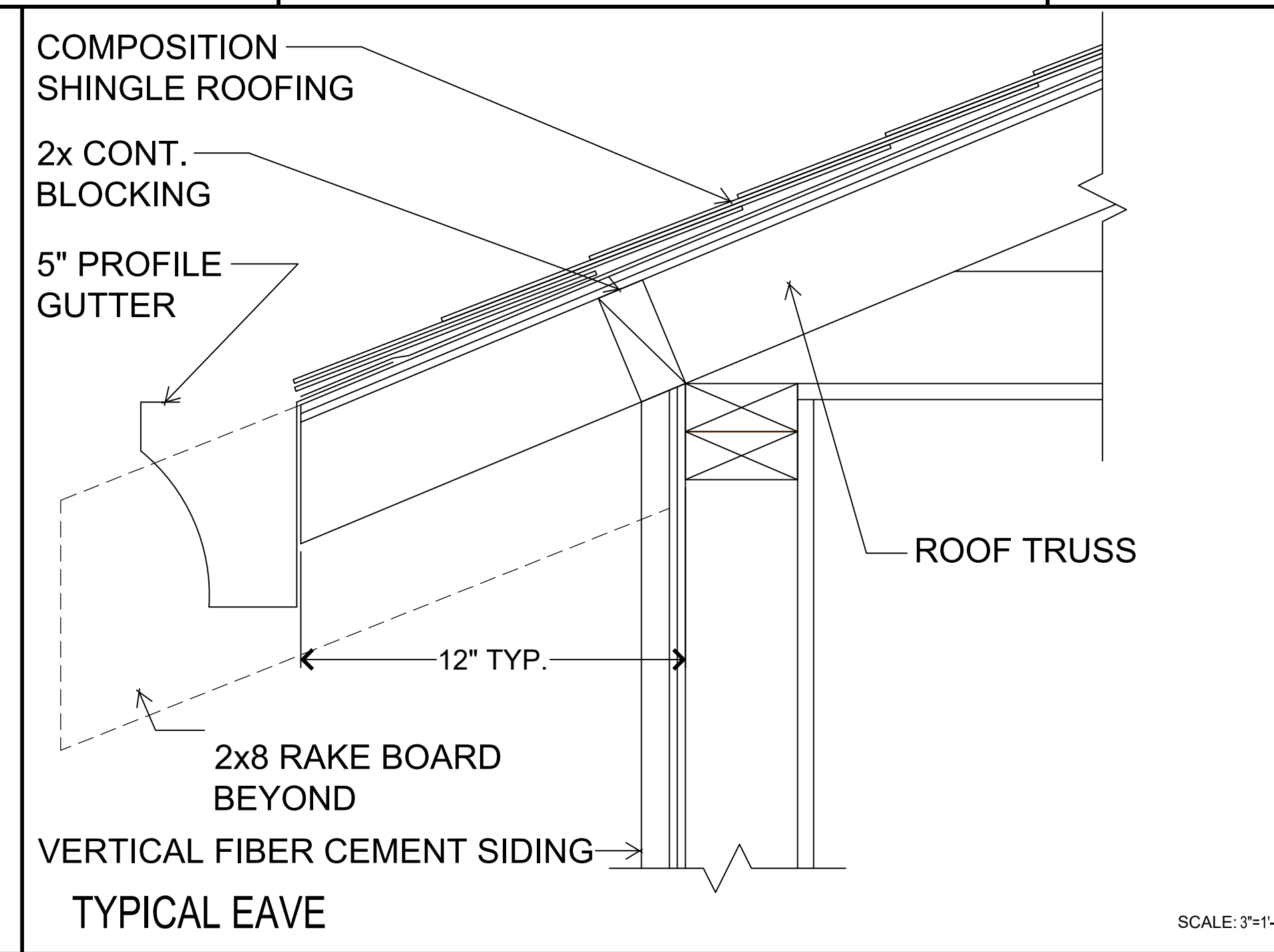
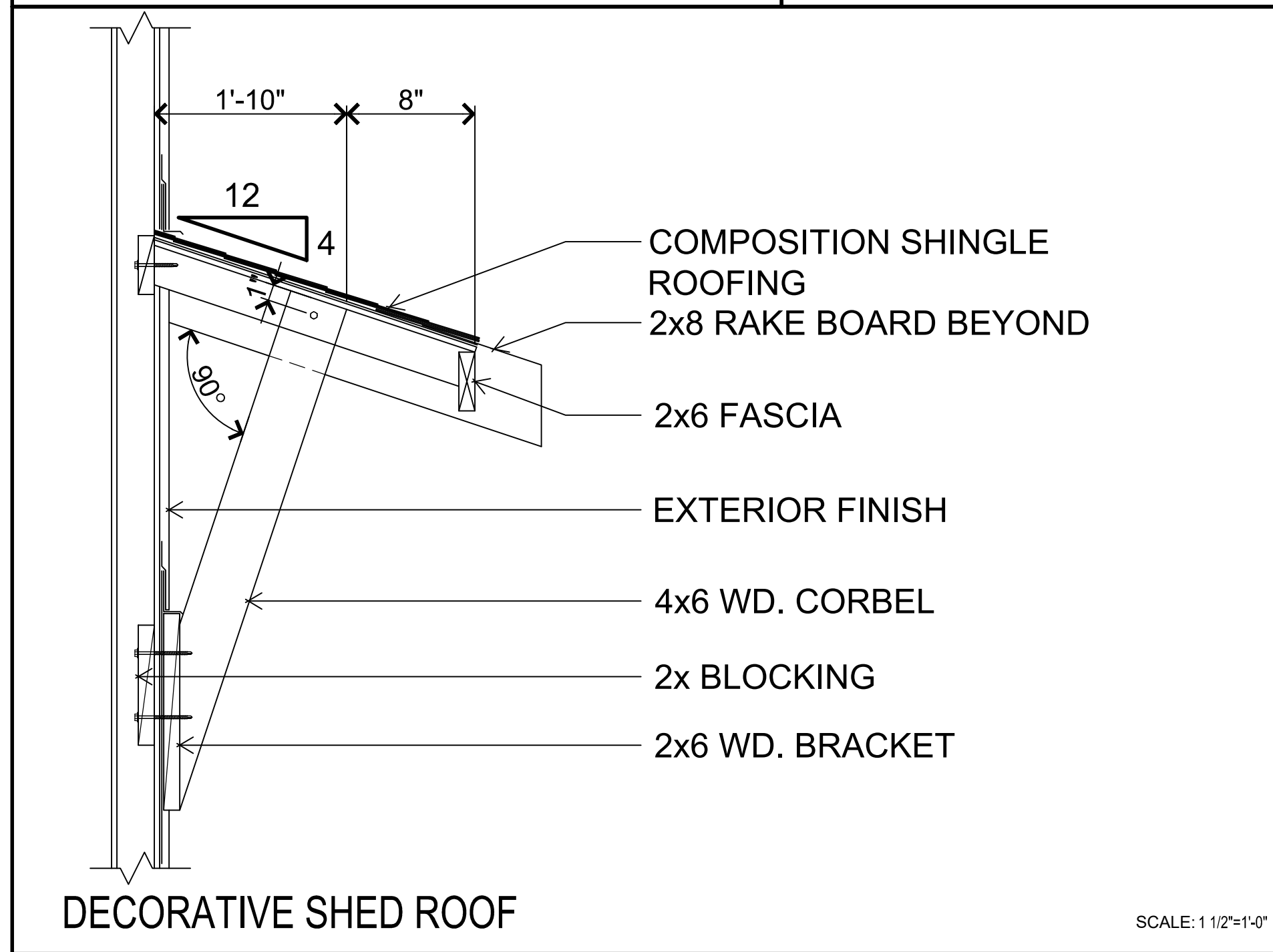
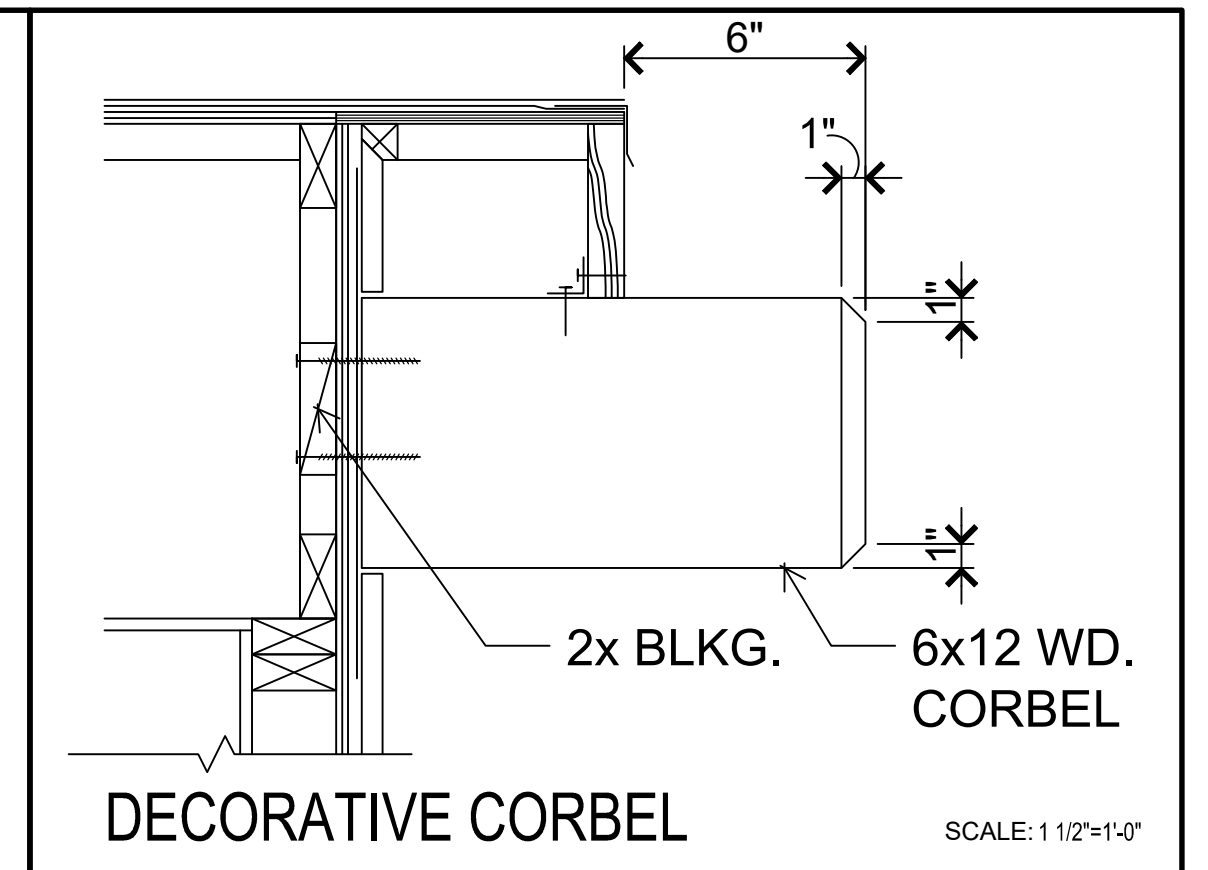
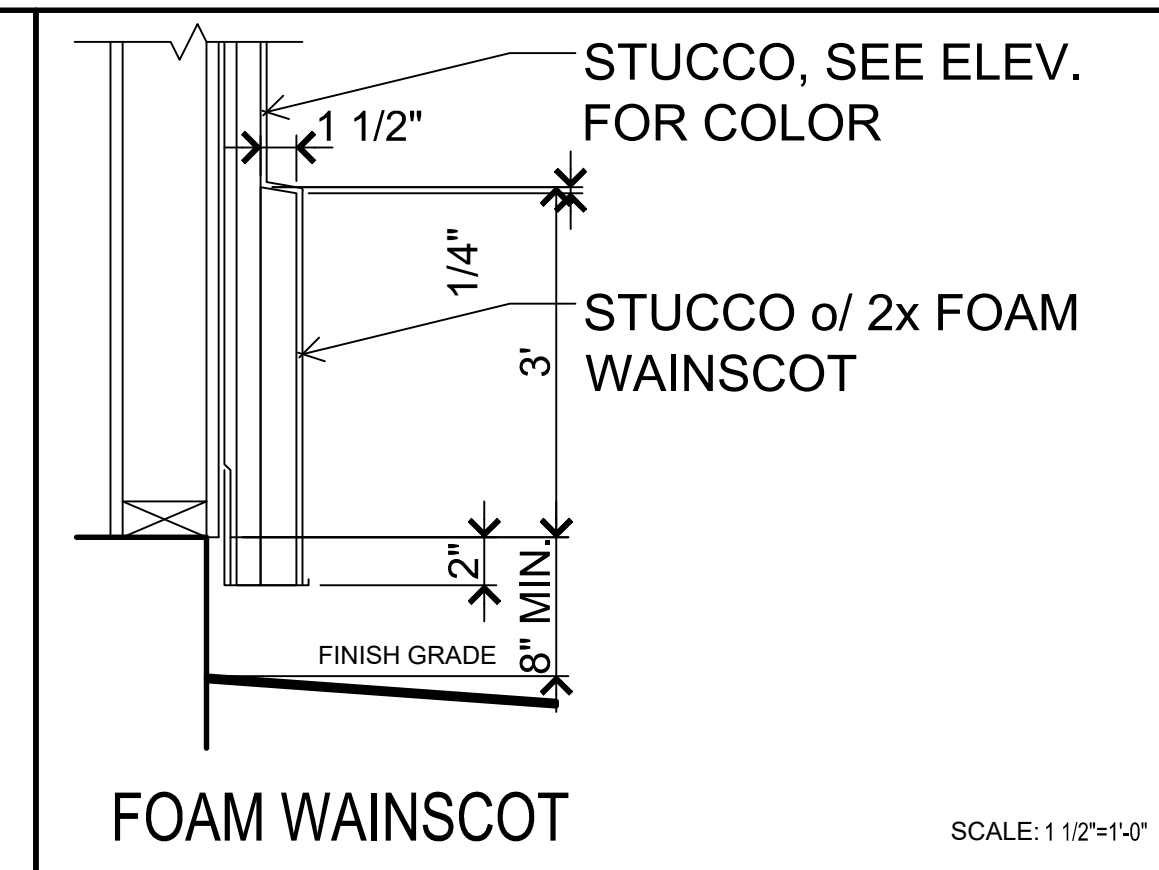
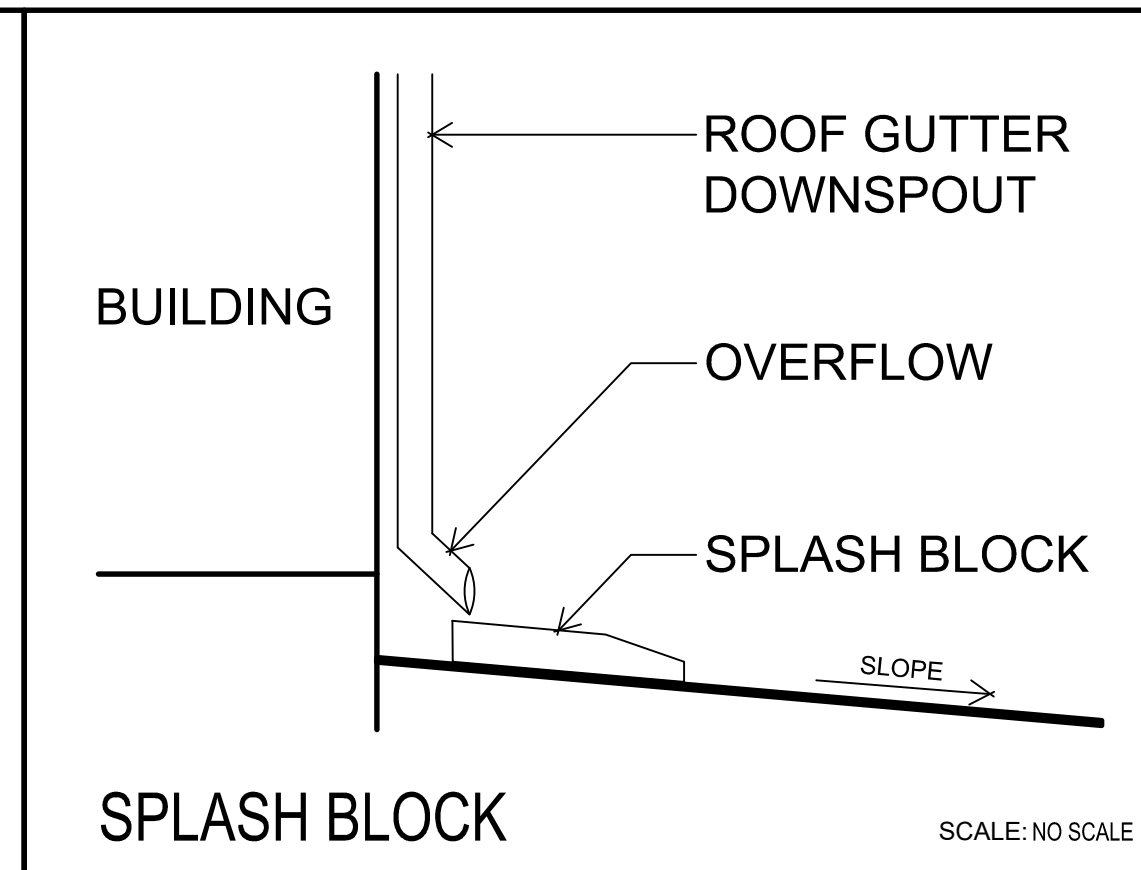
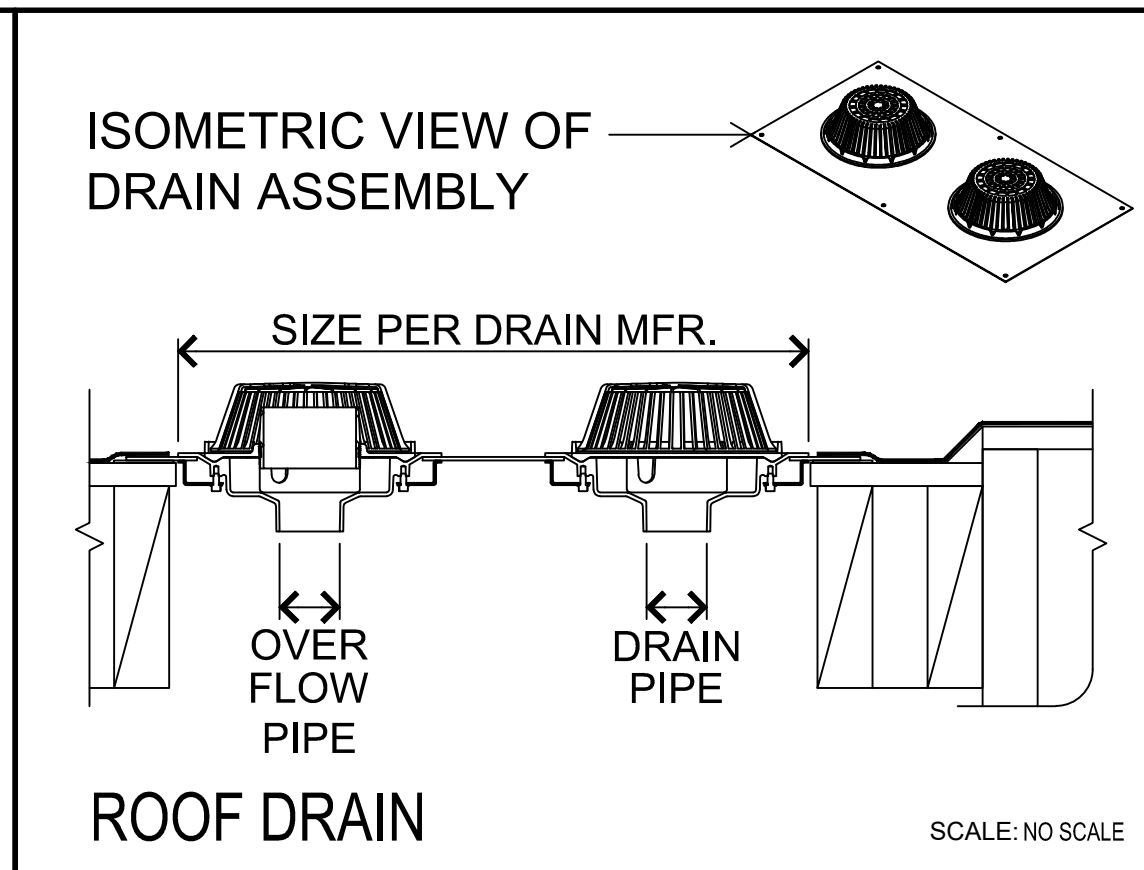
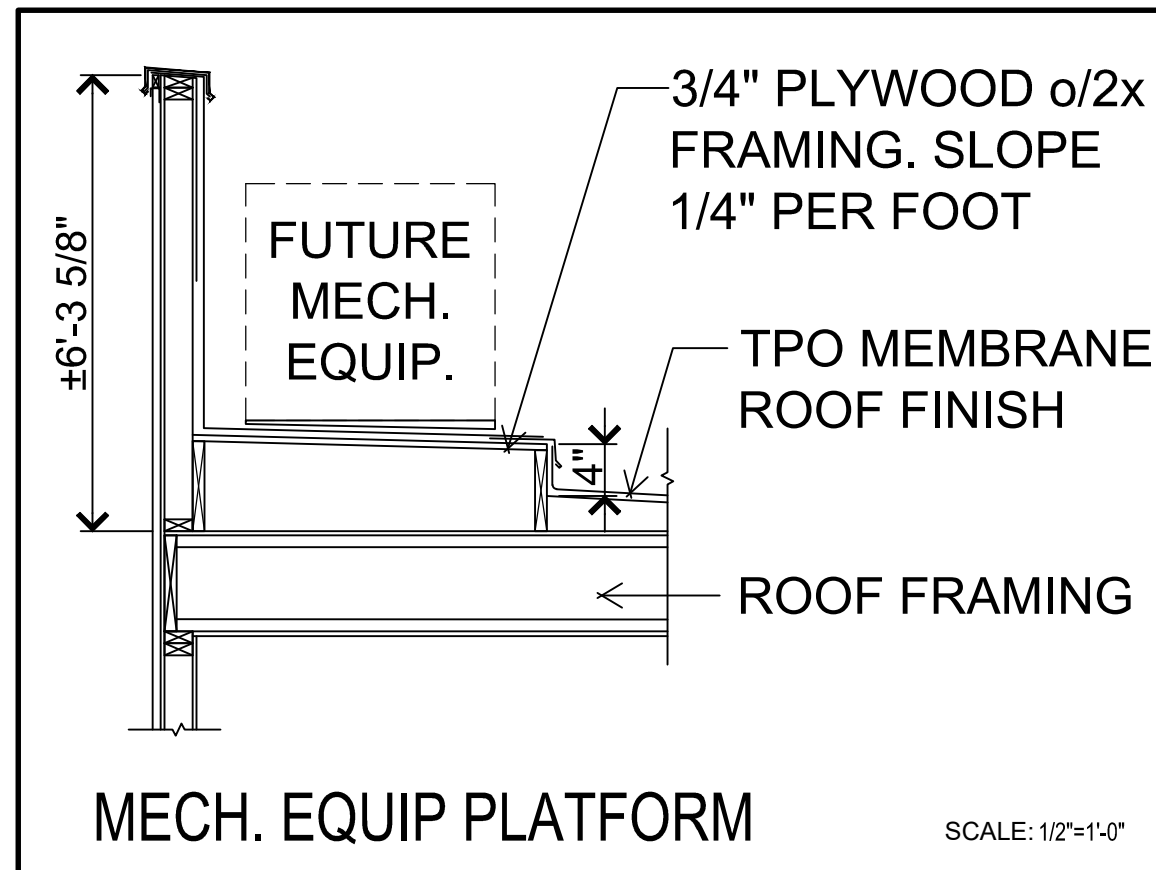


CARPORT EXAMPLE PHOTO



CARPORT TYPICAL DETAIL







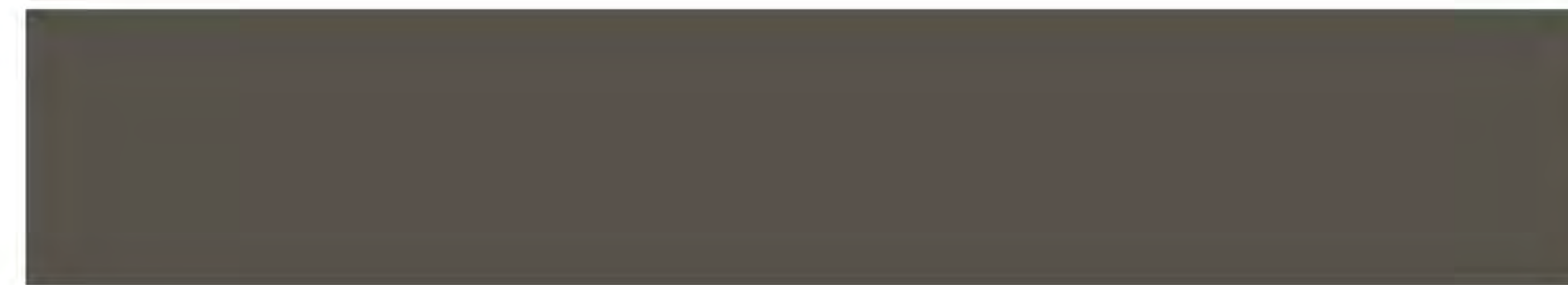
R1 GAF Roofing
Timberline Shingles - Weathered Wood



S1 Stucco
SW 7551 Greek Villa (254-C1)



V1 Vertical Siding
Board & Batten - Fiber Cement
SW 7697 Safari (296-C6)



F1 Fascia / Metal Railing
SW 7645 Thunder Gray (278-C1)

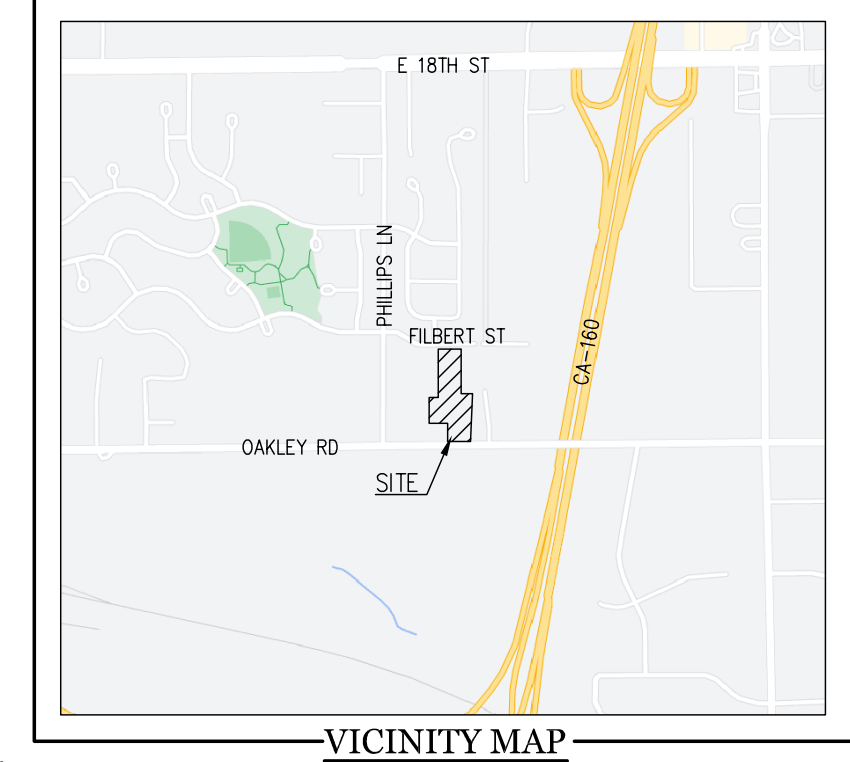


A1 Entry Doors / Accents
SW 7645 Thunder Gray (278-C1)

Note: All colors and textures are representative samples only, pending verification of actual material suppliers and manufacturers for this particular project.

TENTATIVE TRACT MAP 82 RESIDENTIAL CONDOMINIUMS 3321 JESSICA COURT

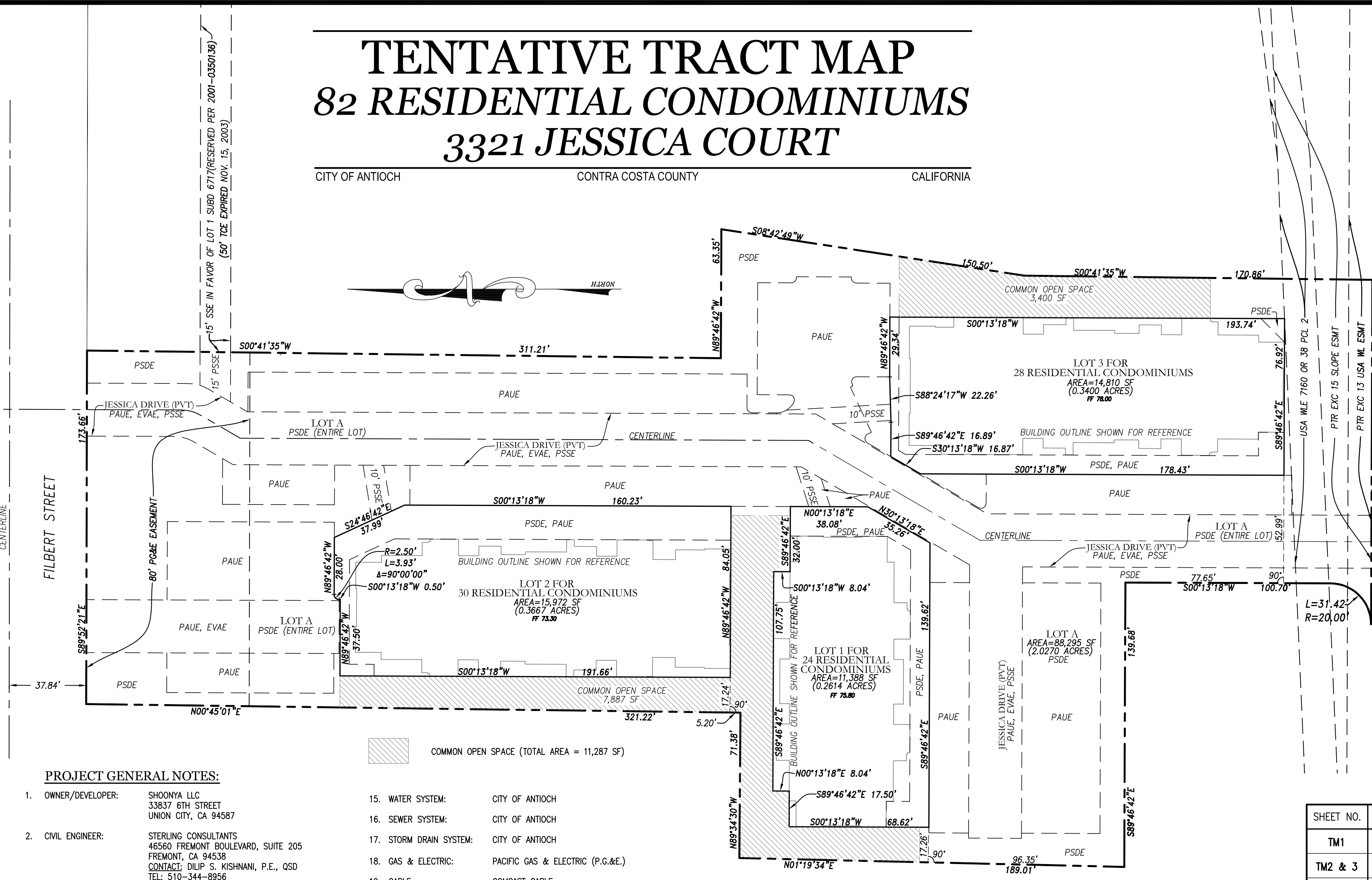
CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA



VICINITY MAP
NOT TO SCALE

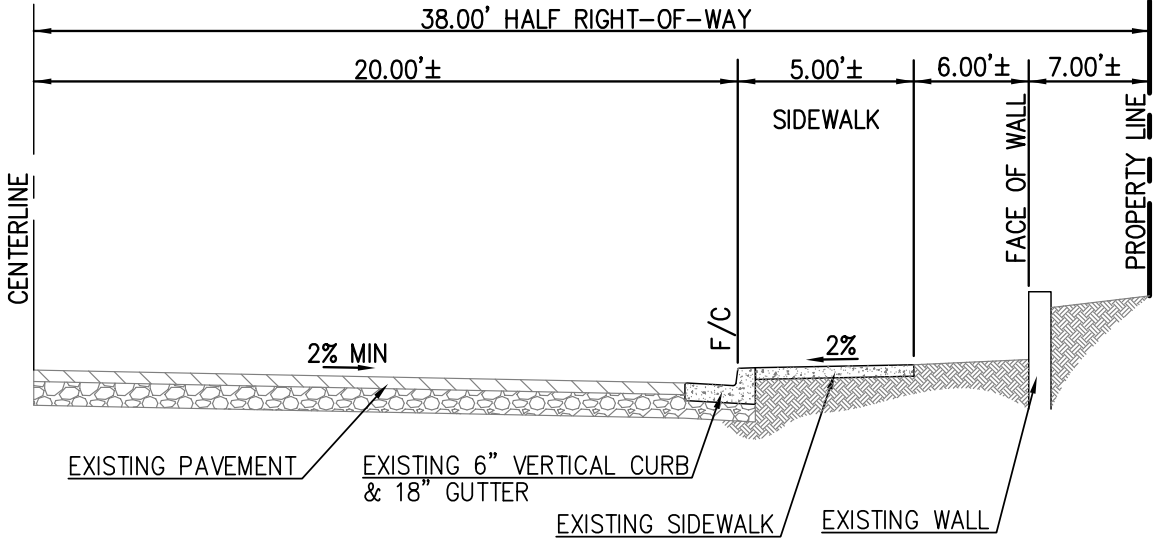
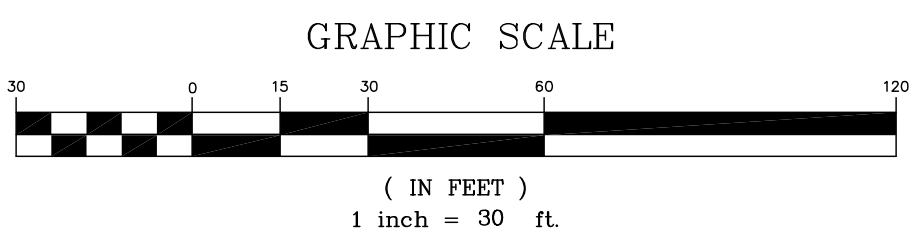
LEGEND		DESCRIPTION
EXISTING	PROPOSED	
		HINGE LINE/TOP/TOE
		CONCRETE V-DITCH
		GRADED SWALE
		CONTOUR LINES
		DAYLIGHT LINE/LIMIT OF GRADING
		PROPERTY LINE
		EASEMENT LINE
		CENTERLINE (E)
		FENCE (WOOD)
		DRIVEWAY
		CURB, GUTTER & SIDEWALK
		RETAINING WALL w/ SUB-DRAIN
		BUILDING EDGE
		EASEMENT AREA
		WATER LINE AND VALVE
		SANITARY SEWER LINE AND MANHOLE OR CLEANOUT
		STORM DRAIN LINE AND MANHOLE
		4" PERF/SOLID SUBDRAIN W/ CLEANOUT
		WATER LATERAL / METER
		SANITARY SEWER CLEANOUT (SSCO)
		FLAT DRAIN INLET AS SPECIFIED
		FIRE HYDRANT
		STREETLIGHT STANDARD WITH MAST ARM AND LUMINAIRE (ELECTROLIER)
		PULL BOX (AS NOTED)
		ELECTRICAL CONDUIT
		GAS MAIN
		TELEPHONE CONDUIT
		STREET MONUMENT
		BOLLARD
		JOINT POLE w/ GUY ANCHOR
		PERCENT GRADE
		VERTICAL GRADE BREAK (PROFILE)
		TREE

ABBREVIATIONS	
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
BC	BEGIN CURVE
BM	BENCHMARK
BMP	BEST MANAGEMENT PRACTICE
BOT	BOTTOM
BSW	BACK OF SIDEWALK
BVC	BEGIN VERTICAL CURVE
BW	BOTTOM OF WALL (EXPOSED)
CB	CATCH BASIN
CO	CLEAN OUT
CR	CURB RETURN
DI	DRAIN INLET
DS	ROOF DOWN SPOUT
EC	END CURVE
EL	ELEVATION
EP	EDGE OF PAVEMENT
EVC	END VERTICAL CURVE
EX	EXISTING
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FOGLN	FOG LINE (WHITE STRIPE)
GB	GRADE BREAK
GI	GREASE INTERCEPTOR
GM	GAS METER
GR	GRATE ELEVATION
HP	HIGH POINT
IRR	IRRIGATION
JT	JOINT TRENCH
LF	LINEAL FEET
LIP	LIP OF GUTTER
LP	LOW POINT
MAX	MAXIMUM
MH	MANHOLE
N/B	NORTH BOUND
P	PAD
PA	PLANTER AREA
PL, P/L	PROPERTY LINE
PCC	POINT OF COMPOUND CURVATURE
PERF.	PERFORATED
PIE	PRIVATE INGRESS & EGRESS EASEMENT
PRC	POINT OF REVERSE CURVATURE
PROJ.	PROJECTED
PSDE	PRIVATE STORM DRAIN EASEMENT
PUE	PUBLIC UTILITY EASEMENT
PV	PAVEMENT/ASPHALT GRADE
PVI	POINT OF VERTICAL INTERSECTION
R	RADIUS OF CURVE
△	INCLUDED ANGLE OF CURVE
L	ARC LENGTH OF CURVE
RCP	REINFORCED CONCRETE PIPE
RIM	RIM ELEVATION
R/W	RIGHT OF WAY
S	SLOPE
S/B	SOUTH BOUND
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SDE	STORM DRAIN EASEMENT
SDMH	STORM DRAIN MANHOLE
SE	SIDEWALK EASEMENT
SF	SQUARE FEET
S.O.	SIDE OPENING
SS	SANITARY SEWER
SSE	SANITARY SEWER EASEMENT
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
STD	STANDARD
TB	TOP OF BERM
TC	TOP OF CURB
TCM	TREATMENT CONTROL MEASURE
TW	TOP OF WALL
TYP	TYPICAL
VC	VERTICAL CURVE
W	WATER LINE
WM	WATER METER

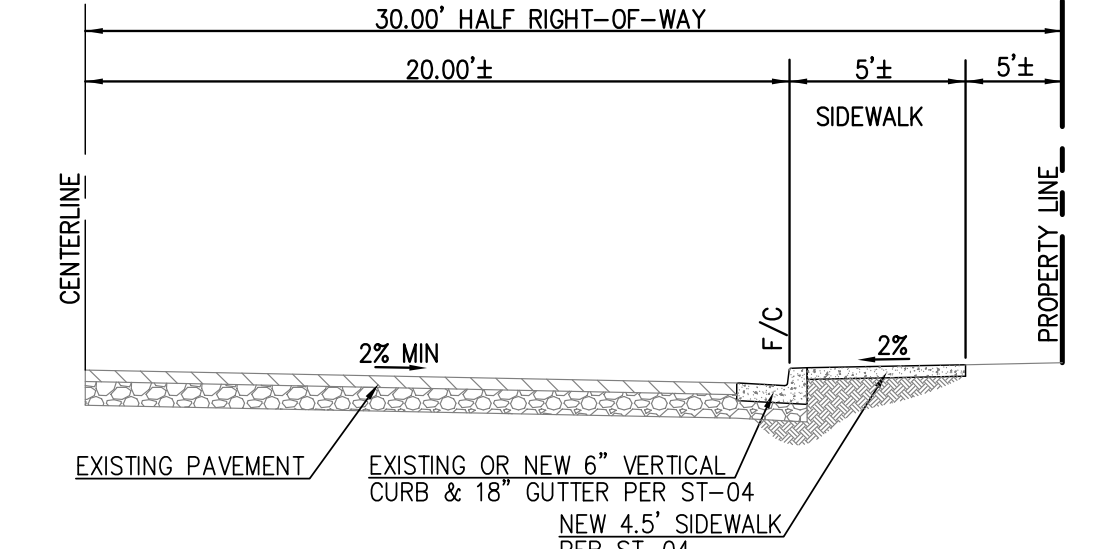


- PROJECT GENERAL NOTES:**
- OWNER/DEVELOPER: SHOONYA LLC, 33837 6TH STREET, UNION CITY, CA 94587
 - CIVIL ENGINEER: STERLING CONSULTANTS, 46500 FREMONT BOULEVARD, SUITE 205, FREMONT, CA 94538. CONTACT: DILIP S. KISHNANI, P.E., QSD, TEL: 510-344-8956
 - SOILS ENGINEER: TBD
 - APNs: MULTIPLE
 - EXISTING LAND USE: VACANT
 - PROPOSED LAND USE: RESIDENTIAL
 - SITE AREA: 130,503 SF (2.9959 ACRES)
 - NUMBER OF LOTS: 4 (3 CONDOMINIUM LOTS; 1 COMMON LOT) (82 TOTAL CONDOMINIUMS)
 - LOT SIZES: LOT 1 - 11,388 SF (24 CONDO UNITS); LOT 2 - 15,972 SF (30 CONDO UNITS); LOT 3 - 14,810 SF (28 CONDO UNITS); LOT A - 88,314 SF
 - GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL
 - EXISTING ZONING: HIGH DENSITY RESIDENTIAL (R-35)
 - PROPOSED ZONING: HIGH DENSITY RESIDENTIAL (R-35)
 - SETBACKS: FRONT: 15 FEET; REAR: 15 FEET; SIDE: 15 FEET
 - DENSITY: 27 DU/AC

- WATER SYSTEM: CITY OF ANTIOCH
- SEWER SYSTEM: CITY OF ANTIOCH
- STORM DRAIN SYSTEM: CITY OF ANTIOCH
- GAS & ELECTRIC: PACIFIC GAS & ELECTRIC (P.G.&E.)
- CABLE: COMCAST CABLE
- TOPOGRAPHY: EXISTING TOPOGRAPHY AS SHOWN IS PER FIELD SURVEY DONE BY STERLING CONSULTANTS IN JULY, 2023.
- BOUNDARY: BOUNDARY AS SHOWN IS BASED ON A FIELD SURVEY DONE BY STERLING CONSULTANTS IN JULY, 2023.
- STREETS: ALL LOTS WILL HAVE PRIVATE STREET ACCESS TO OAKLEY ROAD AND FILBERT STREET.
- FLOOD ZONE: ZONE-X; PANEL-0601300332F
- GRADING: GRADES SHOWN ARE PRELIMINARY AND SUBJECT TO CHANGE DURING FINAL DESIGN.
- DIMENSIONS: LOT DIMENSIONS (SHOWN TO NEAREST TENTH OF A FOOT) AND AREAS SHOWN HEREIN ARE APPROXIMATE AND SUBJECT TO MINOR CHANGES DURING FINAL DESIGN.
- UTILITIES: ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND. ALL STORM DRAINS, SANITARY SEWERS AND WATER MAINS SHALL ADHERE TO MINIMUM SIZES & SLOPES PER THE GOVERNING AGENCIES.
- C3 COMPLIANCE: TREATMENT AND HYDROMODIFICATION WILL BE ACHIEVED USING A BIORETENTION AND VAULT SYSTEM. SEE SHEET C4.



FILBERT STREET - TYPICAL 1/2 R/W
NOT TO SCALE

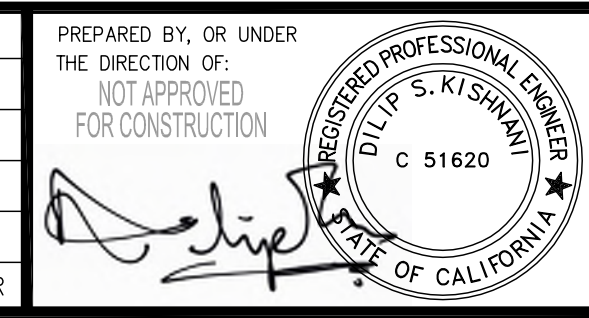


OAKLEY ROAD - TYPICAL 1/2 R/W
NOT TO SCALE

SHEET INDEX	
SHEET NO.	DESCRIPTION
TM1	TITLE SHEET - NOTES, TYPICAL SECTIONS & SUBDIVISION PLAN
TM2 & 3	EXISTING CONDITION MAP & PRELIMINARY DEMOLITION PLAN
TM4	PRELIMINARY GRADING & DRAINAGE PLAN
TM5	PRELIMINARY UTILITY PLAN
TM6	PRELIMINARY STORMWATER CONTROL PLAN
TM7	PRELIMINARY PROFILE - JESSICA DRIVE (PVT)

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DATE: OCTOBER 24, 2023			
SCALE: AS NOTED			
DRAWN: DSK			
DESIGNED: DSK			
ENGINEER: DSK			
MANAGER: DSK			
NO.	BY	DATE	REVISIONS



PREPARED BY:
STERLING CONSULTANTS
46500 FREMONT BOULEVARD, SUITE 205
FREMONT, CA 94538
1sterlingconsultants@gmail.com PHONE: 510.344.8955

PREPARED FOR:
SHOONYA LLC
33837 6TH STREET
UNION CITY, CA 94587

APN: MULTIPLE
3321 JESSICA COURT
CITY OF ANTIOCH COUNTY OF CONTRA COSTA CALIFORNIA
SHEET NO. 1 OF 7 SHEETS
JOB NO. 2022-238
TITLE SHEET - NOTES, TYPICAL SECTIONS & SUBDIVISION PLAN

DEMOLITION LEGEND

- PROPERTY LINE
- SAWCUT LINE
- 20" DBH 27' DAK + TAG 3 EX. TREE WITH GROUND ELEV., DBH, REMOVE EXISTING TREE

REMOVAL NOTES

- ① REMOVE EXISTING FENCE
- ② REMOVE EXISTING BRICK
- ③ REMOVE EXISTING BUILDING
- ④ REMOVE EXISTING UTILITY

PROTECTION NOTES

- Ⓐ PROTECT EXISTING UTILITY

DEMOLITION NOTES

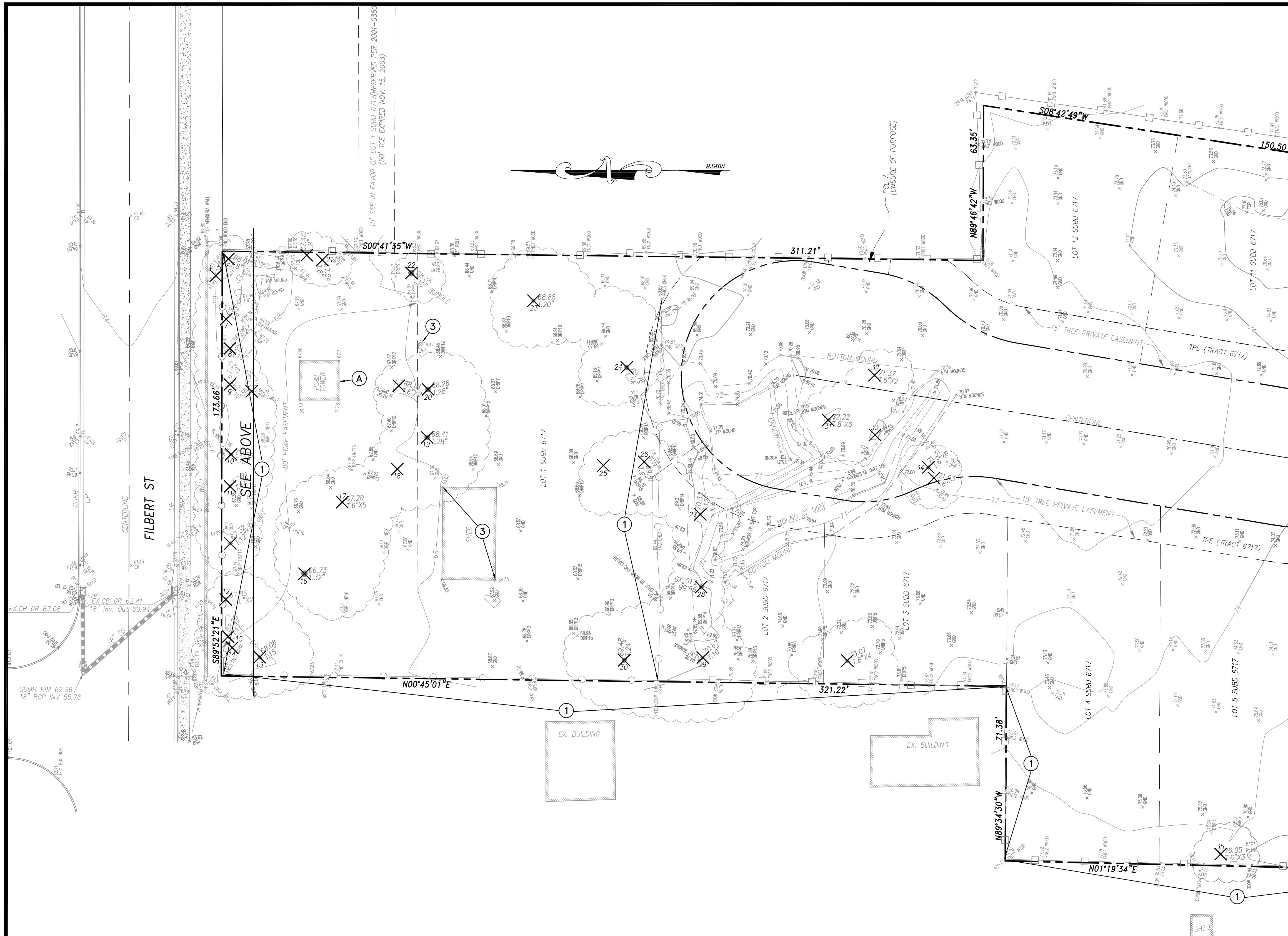
1. DEVELOPER'S CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT FROM CITY OF ANTIOCH'S BUILDING DEPARTMENT PRIOR TO START OF DEMOLITION.
2. THE PROPERTY LINE SHALL BE THE LIMITS OF DEMOLITION UNDER THE GRADING PERMIT.
3. CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTIONS WITH THE RESPECTIVE UTILITY AGENCIES PRIOR TO START OF DEMOLITION ON THE SITE.
4. UTILITIES TO BE ABANDONED WITHIN THE AREAS OF PROPOSED IMPROVEMENTS SHALL BE REMOVED IN THEIR ENTIRETY OR ABANDONED IN PLACE PER RECOMMENDATIONS OF THE PROJECT SOILS REPORT.

Re: 3321 Jessica Ct. March 27, 2023 Page 3 of 11

Tree Number	Botanical / Common Name	DBH	Condition	Mature or Heritage Tree	Disposition	Comments
1 to 5	Acer spp. (?)	2"	Good	No	Remove 3, Nos. 1, 4 and 5	Recently planted street trees. In proposed driveways.
6	Ligustrum lucidum / Glossy Privet	3 1/2 4"	Fair to Poor	No	Remove	
7	Tree (?)	6"	Dead	No	Remove	
8	Myoporum laetum / N.C.N.	6"	Poor	No	Remove	
9	Myoporum laetum / N.C.N.	6"	Poor	No	Remove	
10	Pinus pinia / Italian Stone Pine	12"	Fair	No	Remove	
11	Myoporum laetum / N.C.N.	15"	Poor	No	Remove	
12	Myoporum laetum / N.C.N.	8"	Poor	No	Remove	
13	Tree (?)	15", 12"	Dead	No	Remove	
14	Myoporum laetum / N.C.N.	10", 10"	Poor	No	Remove	
15	Myoporum laetum / N.C.N.	12"	Poor	No	Remove	
16	Pinus pinia / Italian Stone Pine	24"	Poor	No	Remove	Tree has fallen. Still alive but in poor condition due to structure.
17	Fraxinus uhdei / Evergreen Ash	Multi 6", 4", 4", 4"	Poor	No	Remove	Crowded by adjacent Pine.

Re: 3321 Jessica Court March 27, 2023 Page 4 of 11

18	Fraxinus spp. / Ash (?)	4" 2"	Poor	No	Remove	
19	Populus spp. / Poplar	16"	Fair to Poor	No	Remove	Undesirable weed species
20	Populus spp. / Poplar	12", 8", 6"	Poor	No	Remove	Undesirable weed species
21	Myoporum laetum / N.C.N.	8"	Poor	No	Remove	
22	Deciduous Tree (?)	4", 4", 4"	Poor	No	Remove	
23	Quercus agrifolia / Coast Live Oak	20"	Fair to Good	Yes	Remove	Full. Branches to ground. Might possibly be saved with some modification to the site plan.
24	Juglans spp. / Walnut (?)	Multi	Poor	No	Remove	
25	Fraxinus spp. / Ash (?)	8"	Poor	No	Remove	
26	Fraxinus spp. / Ash (?)	6"	Poor	No	Remove	
27	Deciduous Tree (?)	Multi	Poor	No	Remove	
28	Deciduous Tree (?)	Multi	Poor	No	Remove	
29	Deciduous Tree (?)	Multi	Poor	No	Remove	
30	Deciduous Tree (?)	Multi	Poor	No	Remove	
31	Eucalyptus polyanthemos / Silver Dollar Gum	6 @ 8"	Fair to Good	No	Remove	Generally undesirable species.
32	Acer spp. / Maple (?)	3 @ 6"	Poor	No	Remove	
33	Acer spp. / Maple (?)	4"	Poor	No	Remove	
34	Acer spp. / Maple (?)	6", 4", 4"	Poor	No	Remove	
35	Myoporum laetum - N.C.N.	3 @ 6"	Fair	No	Remove	
36	Myoporum laetum - N.C.N.	12"	Fair	No	Remove	
37	Several deciduous trees (?)	All less than 6"	Poor	No	Remove	

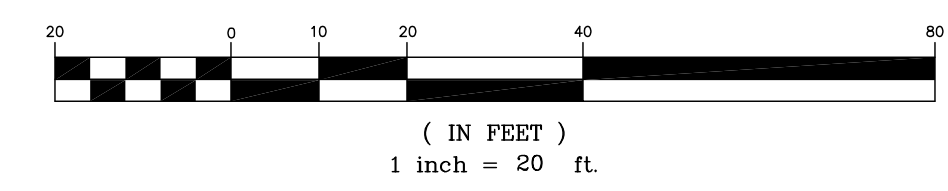


SEE TM3

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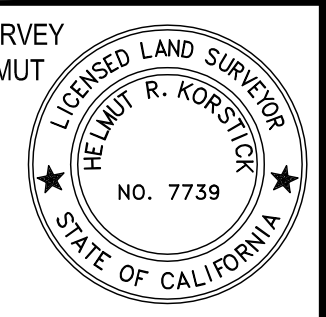


VERTICAL DATUM: HELD INVERT THROUGH ELEVATION OF 49.42' AT THE SSMH IN THE PARKING LOT OF THE GRACE BIBLE FELLOWSHIP CHURCH, SHOWN AS THE 8" VCP TIE IN FROM SUBD 6717 LOT 1 ON THE PRELIMINARY STREET PLAN AND PROFILE PLANS PREPARED BY WALLACE B. DUNCAN, RCE 27827, DATED 4-28-2004

BASIS OF BEARINGS: N 89°46'42" W ALONG THE OCCUPATIONAL CENTERLINE OF OAKLEY ROAD, BEARING AS SHOWN ON THE MAP OF TRACT 6717, 374 MAPS 2, CONTRA COSTA COUNTY RECORDS.

GROSS LOT AREA = 130,503.49 SQ. FT. (2.9869 ACRES)

BOUNDARY: BOUNDARY BASED UPON FIELD SURVEY PERFORMED BY OR UNDER DIRECTION OF HELMUT KORSTICK, PLS 7739.



DATE: OCTOBER 24, 2023				
SCALE: AS NOTED				
DRAWN: DSK				
DESIGNED: DSK				
ENGINEER: DSK				
MANAGER: DSK	NO.	BY	DATE	REVISIONS

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PREPARED BY:
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PREPARED FOR:
SHOONYA LLC
33837 6TH STREET
UNION CITY, CA 94587

APN: MULTIPLE
3321 JESSICA COURT
CITY OF ANTIOCH COUNTY OF CONTRA COSTA CALIFORNIA

EXISTING CONDITION & PRELIMINARY DEMOLITION PLAN

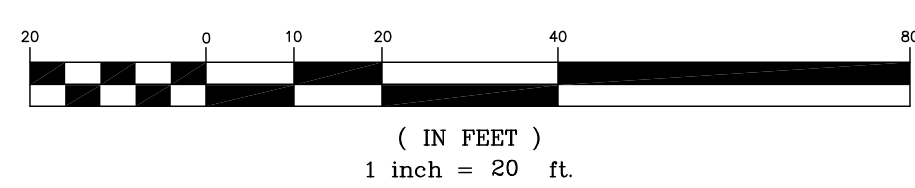
SHEET NO. **TM2** OF 7 SHEETS
JOB NO. 2022-238



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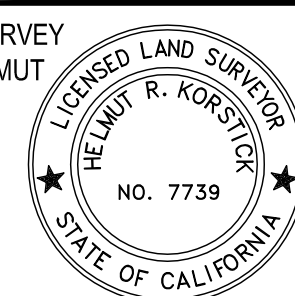


GROSS LOT AREA = 130,503.49 SQ. FT. (2.9959 ACRES)

VERTICAL DATUM: HELD INVERT THROUGH ELEVATION OF 49.42' AT THE SSMH IN THE PARKING LOT OF THE GRACE BIBLE FELLOWSHIP CHURCH, SHOWN AS THE 8" VCP TIE IN FROM SUBD 6717 LOT 1 ON THE PRELIMINARY STREET PLAN AND PROFILE PLANS PREPARED BY WALLACE B. DUNCAN, RCE 27827, DATED 4-28-2004

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BOUNDARY: BOUNDARY BASED UPON FIELD SURVEY PERFORMED BY OR UNDER DIRECTION OF HELMUT KORSTICK, PLS 7739.



DATE: OCTOBER 24, 2023					
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MANAGER: DSK					
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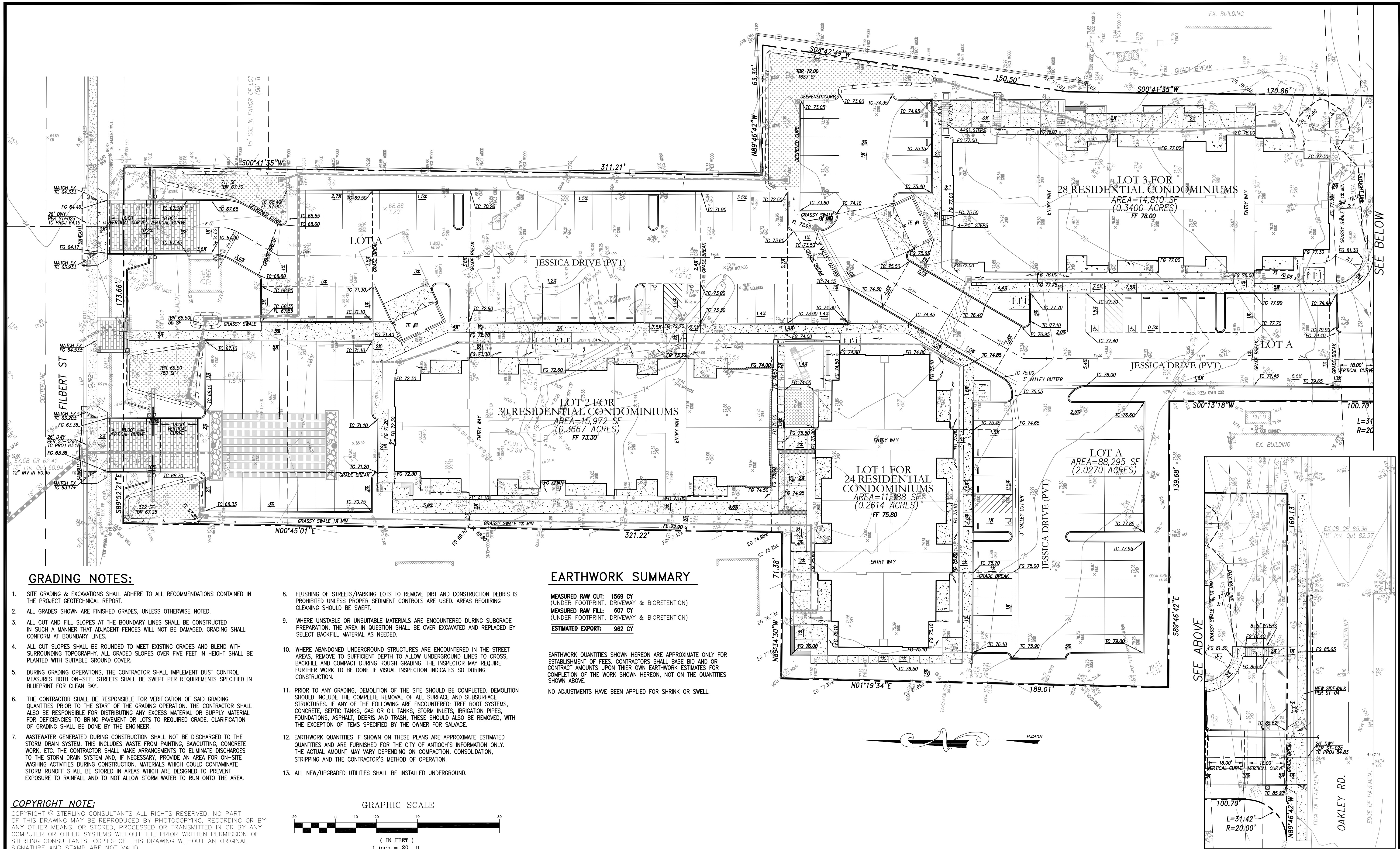
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SHOONYA LLC
33837 6TH STREET
UNION CITY, CA 94587

APN: MULTIPLE
3321 JESSICA COURT
SHEET NO. **TM3**
3 OF 7 SHEETS
JOB NO. 2022-238

EXISTING CONDITION & PRELIMINARY DEMOLITION PLAN

CITY OF ANTIOCH COUNTY OF CONTRA COSTA CALIFORNIA



GRADING NOTES:

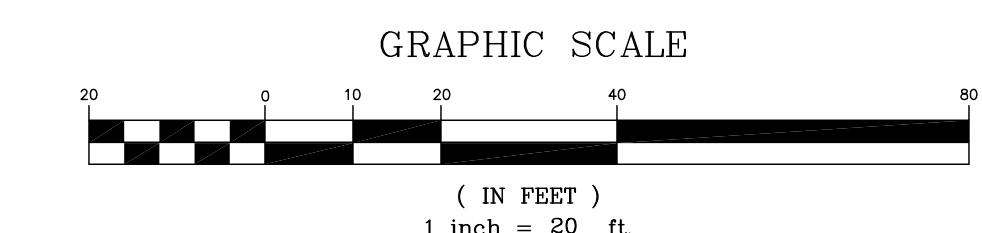
- SITE GRADING & EXCAVATIONS SHALL ADHERE TO ALL RECOMMENDATIONS CONTAINED IN THE PROJECT GEOTECHNICAL REPORT.
- ALL GRADES SHOWN ARE FINISHED GRADES, UNLESS OTHERWISE NOTED.
- ALL CUT AND FILL SLOPES AT THE BOUNDARY LINES SHALL BE CONSTRUCTED IN SUCH A MANNER THAT ADJACENT FENCES WILL NOT BE DAMAGED. GRADING SHALL CONFORM AT BOUNDARY LINES.
- ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES OVER FIVE FEET IN HEIGHT SHALL BE PLANTED WITH SUITABLE GROUND COVER.
- DURING GRADING OPERATIONS, THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES BOTH ON-SITE. STREETS SHALL BE SWEEPED PER REQUIREMENTS SPECIFIED IN BLUEPRINT FOR CLEAN BAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SAID GRADING QUANTITIES PRIOR TO THE START OF THE GRADING OPERATION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR DISTRIBUTING ANY EXCESS MATERIAL OR SUPPLY MATERIAL FOR DEFICIENCIES TO BRING PAVEMENT OR LOTS TO REQUIRED GRADE. CLARIFICATION OF GRADING SHALL BE DONE BY THE ENGINEER.
- WASTEWATER GENERATED DURING CONSTRUCTION SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM. THIS INCLUDES WASTE FROM PAINTING, SAWCUTTING, CONCRETE WORK, ETC. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO ELIMINATE DISCHARGES TO THE STORM DRAIN SYSTEM AND, IF NECESSARY, PROVIDE AN AREA FOR ON-SITE WASHING ACTIVITIES DURING CONSTRUCTION. MATERIALS WHICH COULD CONTAMINATE STORM RUNOFF SHALL BE STORED IN AREAS WHICH ARE DESIGNED TO PREVENT EXPOSURE TO RAINFALL AND TO NOT ALLOW STORM WATER TO RUN ONTO THE AREA.

EARTHWORK SUMMARY

MEASURED RAW CUT: 1569 CY
(UNDER FOOTPRINT, DRIVEWAY & BIORETENTION)
MEASURED RAW FILL: 607 CY
(UNDER FOOTPRINT, DRIVEWAY & BIORETENTION)
ESTIMATED EXPORT: 962 CY

EARTHWORK QUANTITIES SHOWN HEREON ARE APPROXIMATE ONLY FOR ESTABLISHMENT OF FEES. CONTRACTORS SHALL BASE BID AND OR CONTRACT AMOUNTS UPON THEIR OWN EARTHWORK ESTIMATES FOR COMPLETION OF THE WORK SHOWN HEREON, NOT ON THE QUANTITIES SHOWN ABOVE.

NO ADJUSTMENTS HAVE BEEN APPLIED FOR SHRINK OR SWELL.



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DATE: OCTOBER 24, 2023	NO.	BY	DATE	REVISIONS	CITY APPR
SCALE: AS NOTED					
DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK					

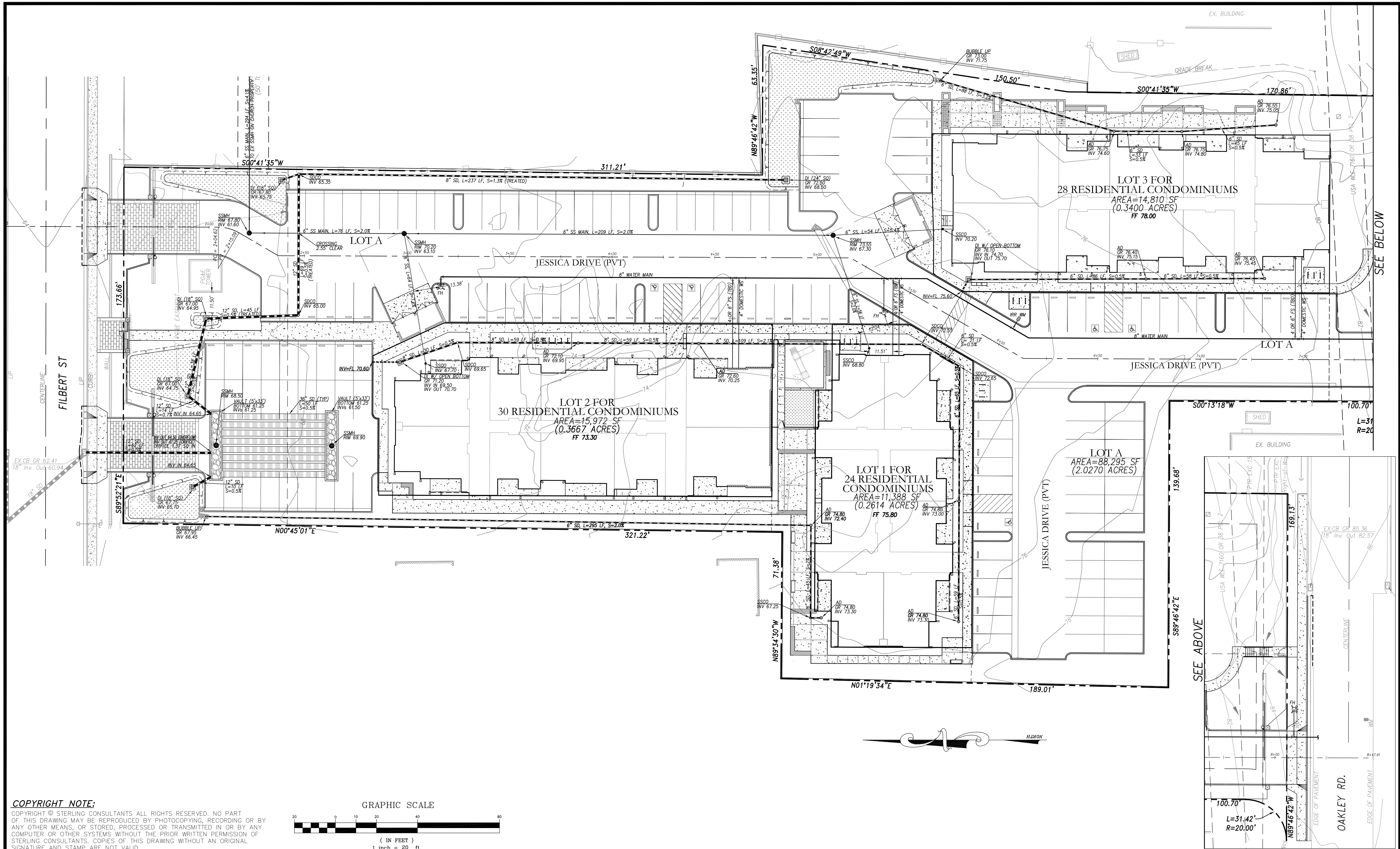
PREPARED BY:
THE DIRECTION OF:
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PREPARED BY:
STERLING CONSULTANTS
46500 FREMONT BOULEVARD, SUITE NO. 205
FREMONT, CA 94538
1sterlingconsultants@gmail.com PHONE: 510.344.8955

PREPARED FOR:
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33837 6TH STREET
UNION CITY, CA 94587

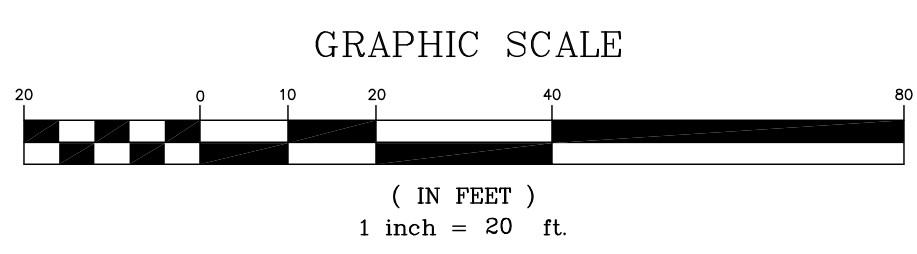
APN: MULTIPLE
PRELIMINARY GRADING & DRAINAGE PLAN
CITY OF ANTIOCH COUNTY OF CONTRA COSTA CALIFORNIA
3321 JESSICA COURT

SHEET NO.
TM4
4 OF 7 SHEETS
JOB NO.
2022-238



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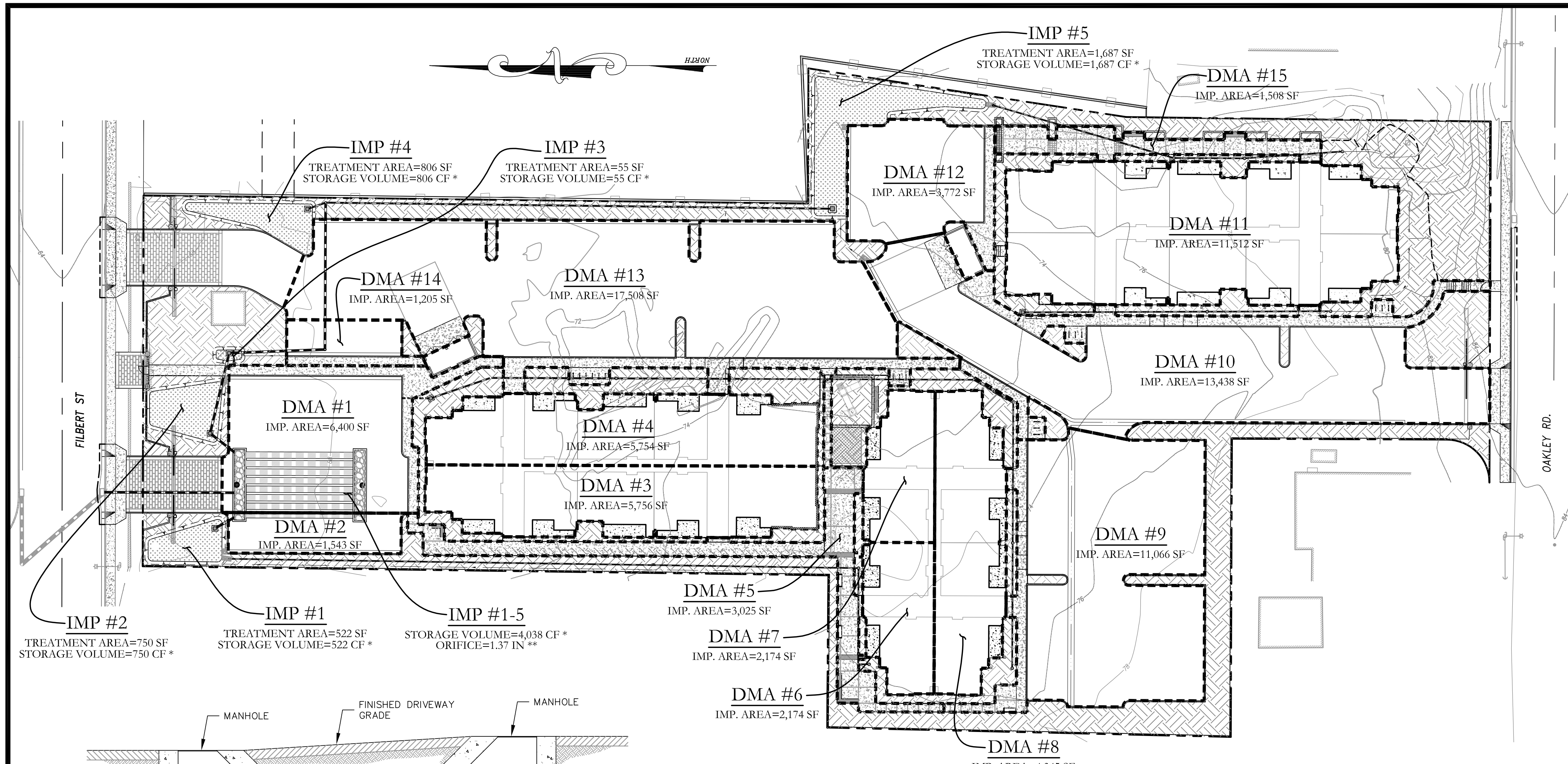
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PREPARED FOR:
SHOONYA LLC
33837 6TH STREET
UNION CITY, CA 94587

APN: MULTIPLE
3321 JESSICA COURT
CITY OF ANTIOCH COUNTY OF CONTRA COSTA CALIFORNIA

PRELIMINARY UTILITY PLAN

SHEET NO. **TM5**
5 OF 7 SHEETS
JOB NO. 2022-238



SURFACE LEGEND

- DRAINAGE MANAGEMENT AREA (DMA)
- BIORETENTION PLANTERS (BR #1) SEE TYPICAL DETAILS
- SELF-TREATING AREA (LANDSCAPING)

Project Name: 3321 Jessica
 Project Type: Treatment and Flow Control
 APN:
 Drainage Area: 130,503
 Mean Annual Precipitation: 13.0

Self-Treating DMAs

DMA Name	Area (sq ft)
DMA16	35,584.0

IV. Areas Draining to IMPs

IMP Name: IMP1
 IMP Type: Bioretention + Vault
 Soil Group: IMP1

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA2	1,543	Concrete or Asphalt	1.00	1,543				
DMA3	5,756	Conventional Roof	1.00	5,756				
DMA5	3,025	Concrete or Asphalt	1.00	3,025				
DMA6	2,174	Conventional Roof	1.00	2,174				
Total				12,498				
	Area Volume				0.040	1.000	900	522
					0.064	1.317	1,053	1,096
							Maximum Underdrain Flow (cfs)	0.01
							Orifice Diameter (in)	0.51

IMP Name: IMP2
 IMP Type: Bioretention + Vault
 Soil Group: IMP2

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA1	6,400	Concrete or Asphalt	1.00	6,400				
DMA4	5,754	Conventional Roof	1.00	5,754				
DMA7	2,174	Conventional Roof	1.00	2,174				
DMA8	4,349	Conventional Roof	1.00	4,349				
Total				18,677				
	Area Volume				0.040	1.000	747	750
					0.064	1.317	1,574	1,575
							Maximum Underdrain Flow (cfs)	0.02
							Orifice Diameter (in)	0.62

IMP Name: IMP3
 IMP Type: Bioretention + Vault
 Soil Group: IMP3

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA14	1,205	Concrete or Asphalt	1.00	1,205				
Total				1,205				
	Area Volume				0.040	1.000	48	55
					0.064	1.317	102	115
							Maximum Underdrain Flow (cfs)	0.00
							Orifice Diameter (in)	0.16

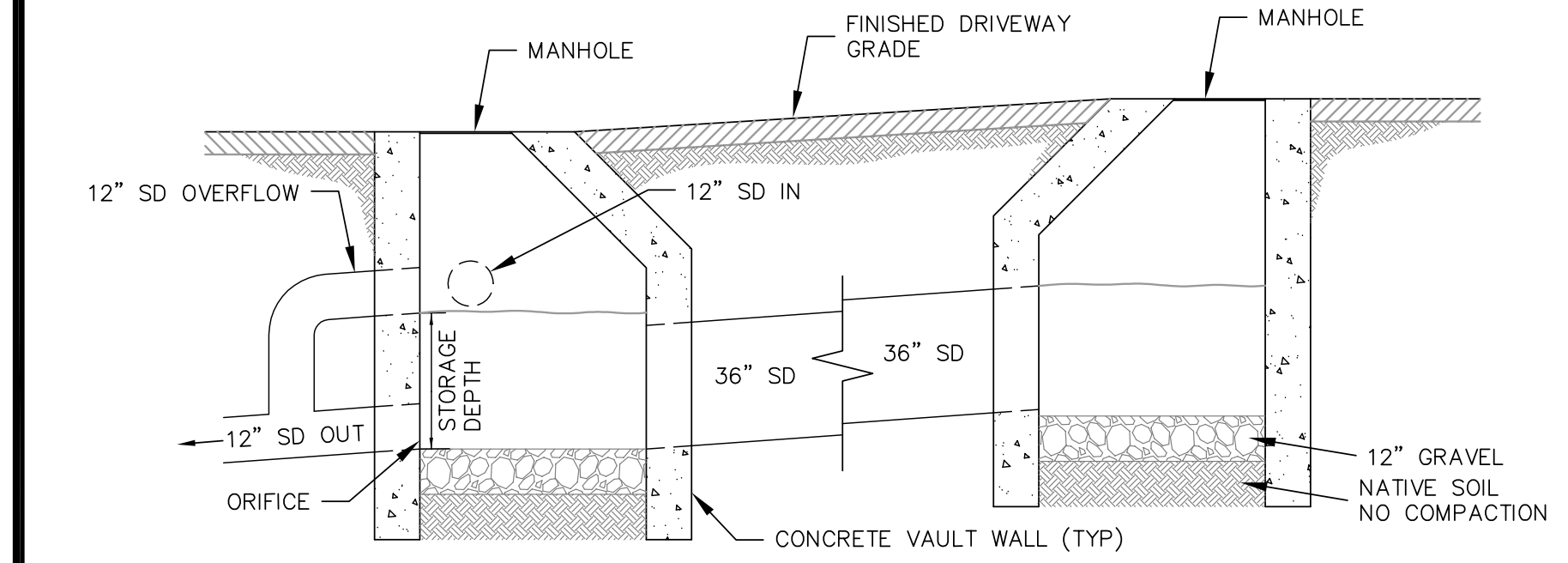
IMP Name: IMP5
 IMP Type: Bioretention + Vault
 Soil Group: IMP5

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA9	11,066	Concrete or Asphalt	1.00	11,066				
DMA10	13,438	Concrete or Asphalt	1.00	13,438				
DMA11	11,512	Conventional Roof	1.00	11,512				
DMA12	3,772	Concrete or Asphalt	1.00	3,772				
DMA15	1,508	Concrete or Asphalt	1.00	1,508				
Total				41,296				
	Area Volume				0.040	1.000	1,652	1,687
					0.064	1.317	3,480	3,542
							Maximum Underdrain Flow (cfs)	0.04
							Orifice Diameter (in)	0.92

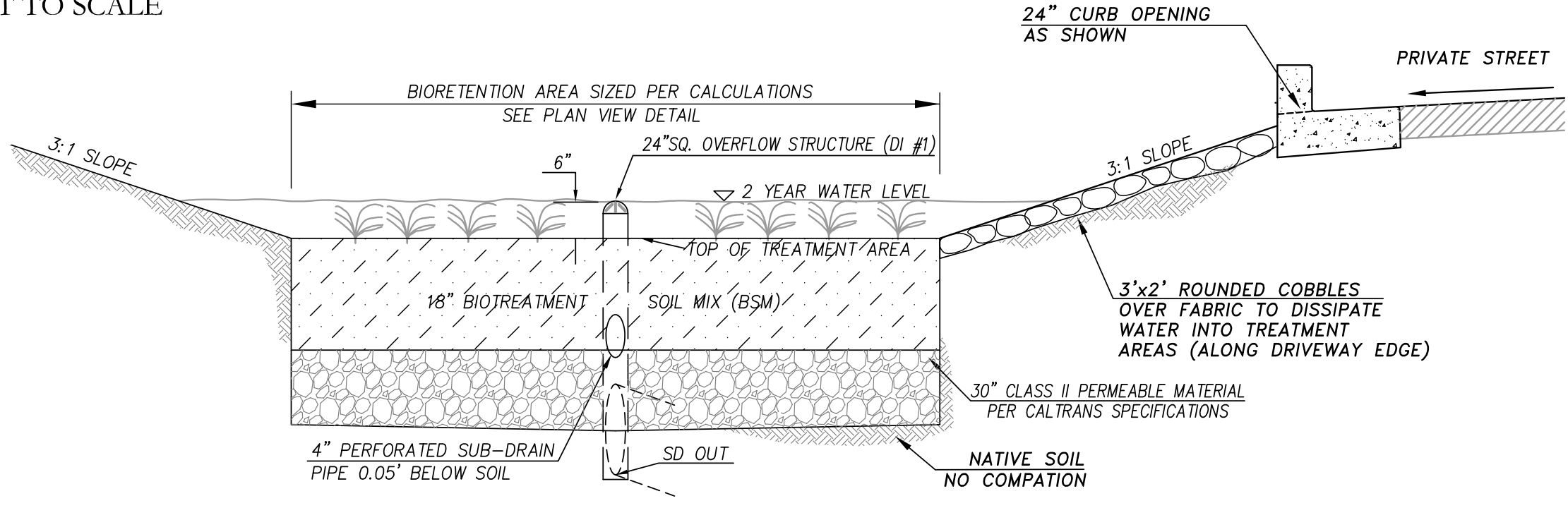
IMP Name: IMP4
 IMP Type: Bioretention + Vault
 Soil Group: IMP4

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA13	17,508	Concrete or Asphalt	1.00	17,508				
Total				17,508				
	Area Volume				0.040	1.000	700	711
					0.064	1.317	1,475	1,493
							Maximum Underdrain Flow (cfs)	0.02
							Orifice Diameter (in)	0.60

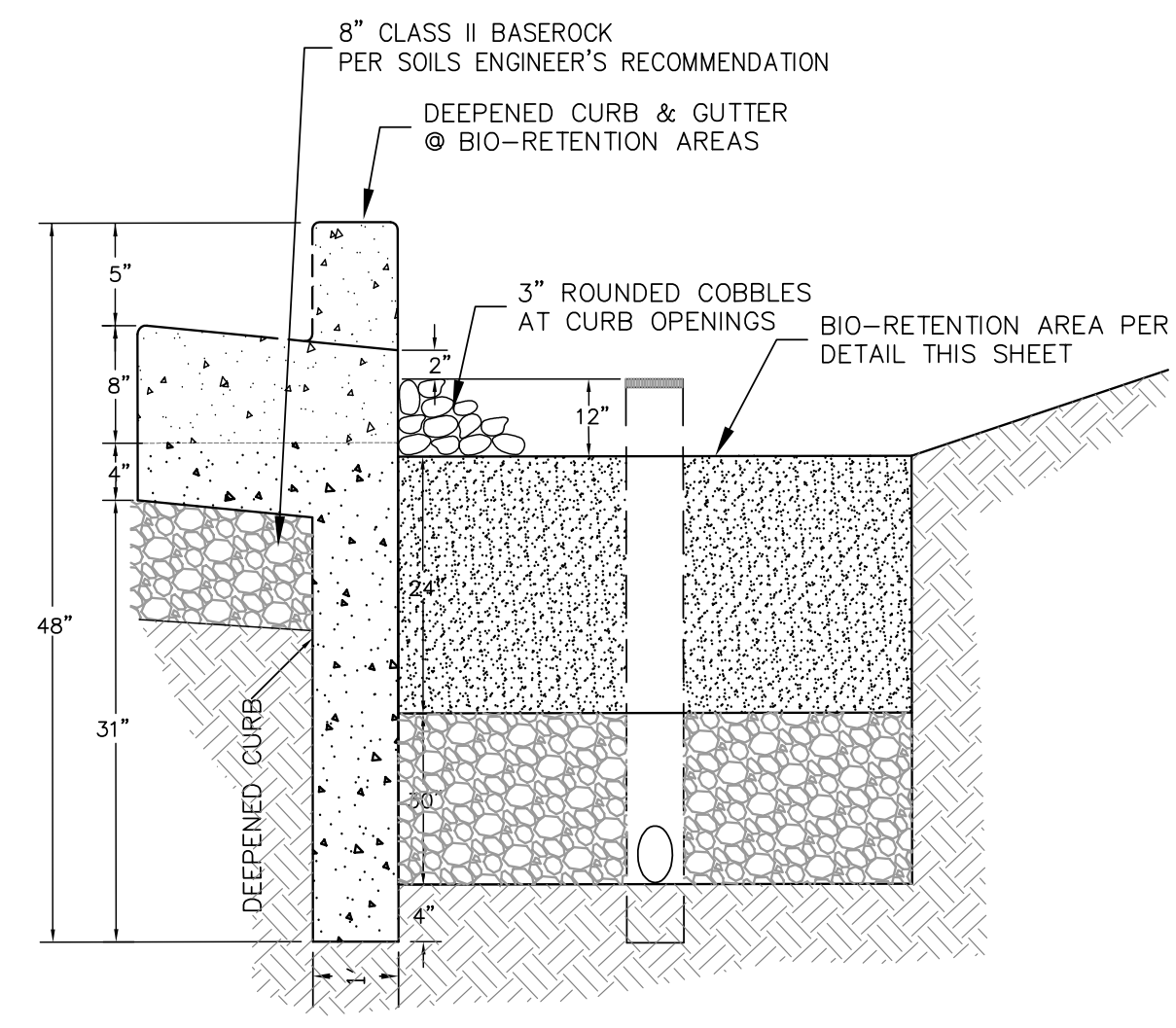
Report generated on 6/27/2023 12:00:00 AM by the Contra Costa Clean Water Program IMP Sizing Tool software (version 1.3.1.0).
 *NOTE: BIORETENTION STORAGE VOLUME (IN GRAVEL LAYER BELOW SUBDRAIN) = AREA * 30 in (GRAVEL DEPTH) * 0.4 (GRAVEL POROSITY)
 TOTAL STORAGE IN BIORETENTIONS = 3,647 CF; VAULT STORAGE = 4,038 CF
 **NOTE: ORIFICE SIZE CALCULATED USING CCWPP IMP TOOL WITH SINGULAR BASIN. SEE STORMWATER CONTROL PLAN REPORT.



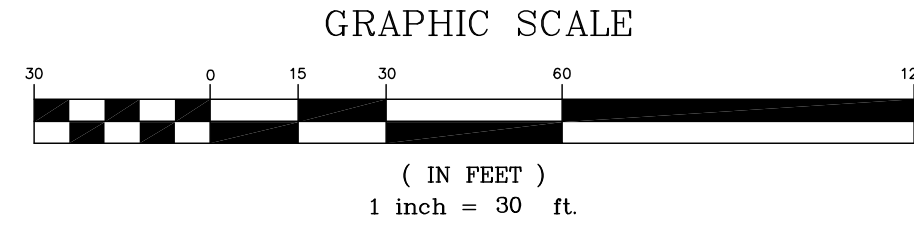
TYPICAL VAULT
 NOT TO SCALE



TYPICAL BIO-RETENTION PLANTER
 NOT TO SCALE



MODIFIED VERTICAL CURB & GUTTER (DEEPEMED) ADJACENT TO BIO-RETENTION AREAS
 NOT TO SCALE



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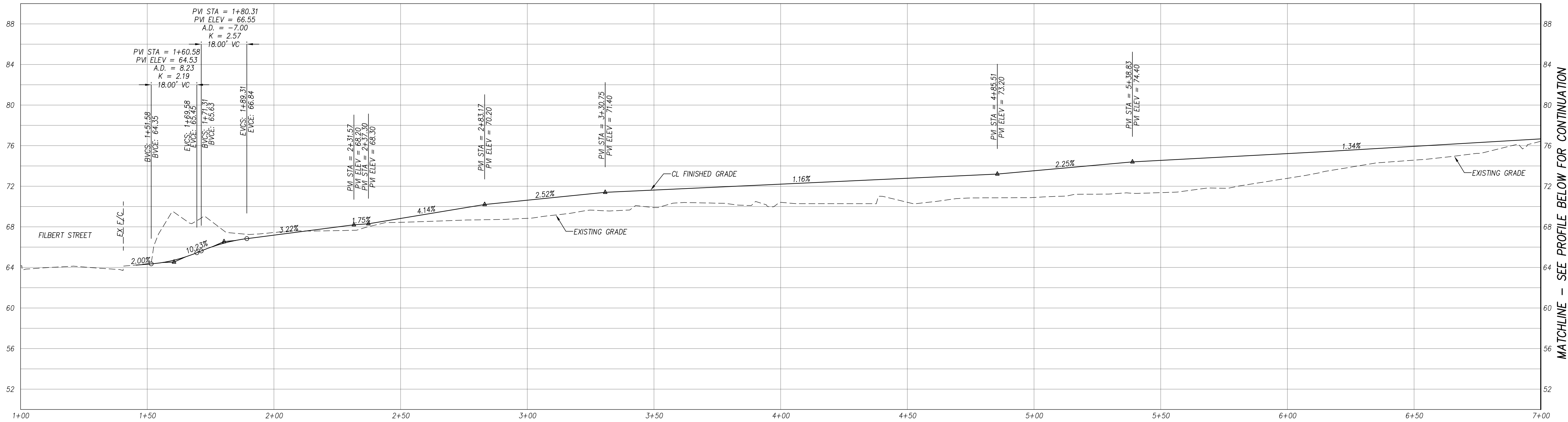
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 46500 FREMONT BOULEVARD, SUITE NO. 205
 FREMONT, CA 94538
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PREPARED FOR:
 SHOONYA LLC
 33837 6TH STREET
 UNION CITY, CA 94587

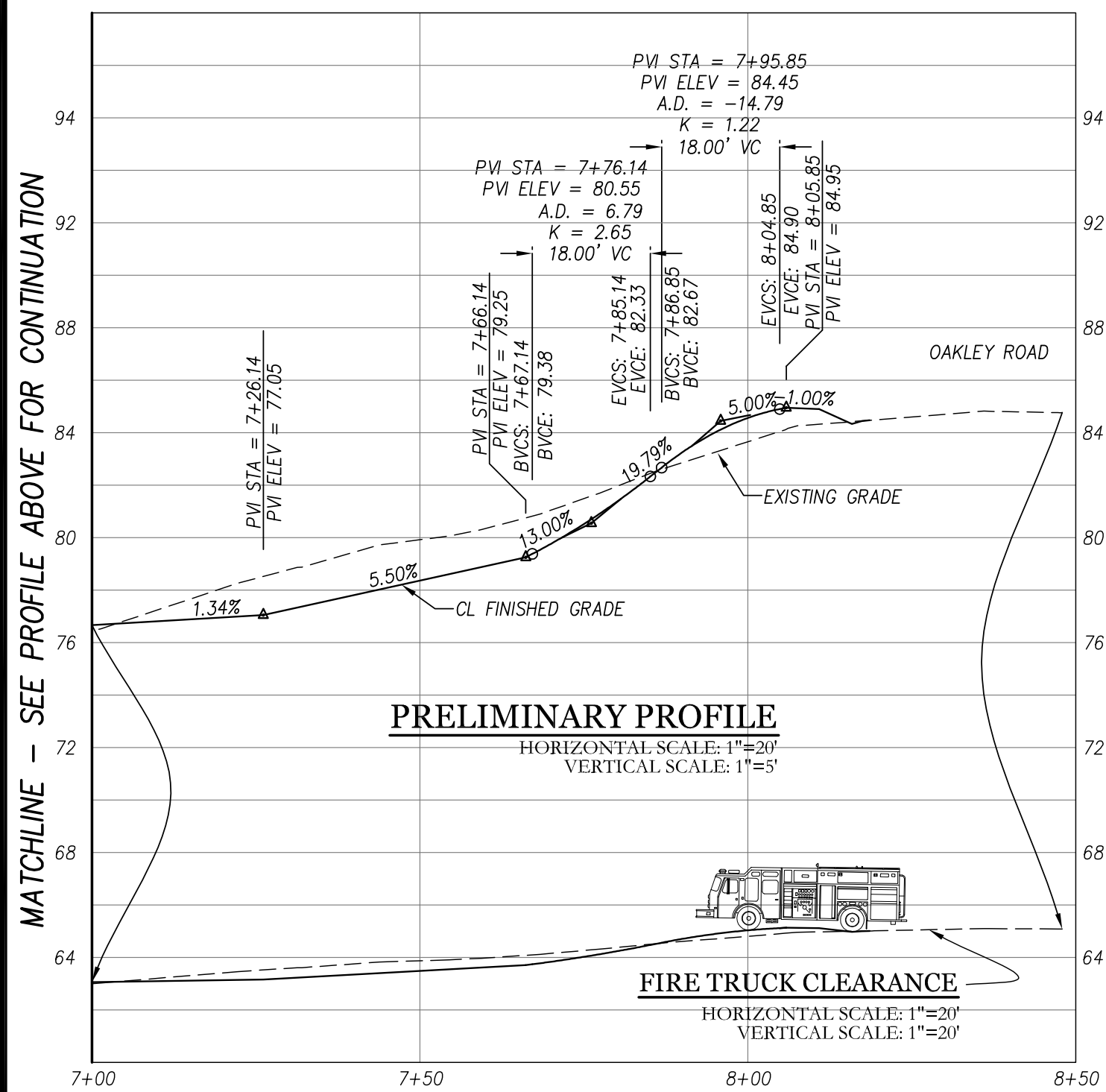
APN: MULTIPLE
PRELIMINARY STORMWATER CONTROL PLAN
 CITY OF ANTIOCH

3321 JESSICA COURT
 COUNTY OF CONTRA COSTA
 CALIFORNIA

SHEET NO.
TM6
 6 OF 7 SHEETS
 JOB NO.
 2022-238



PRELIMINARY PROFILE
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=5'



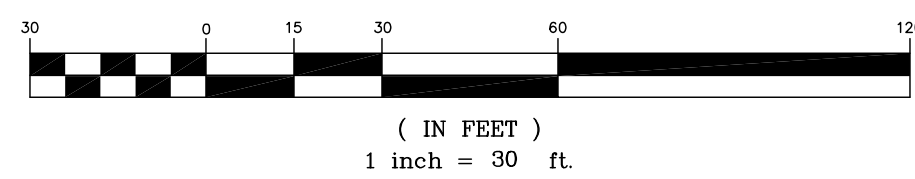
PRELIMINARY PROFILE
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=5'

FIRE TRUCK CLEARANCE
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=20'

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GRAPHIC SCALE



DATE: OCTOBER 24, 2023				
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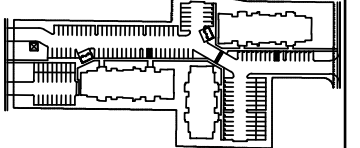
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PREPARED FOR:
 SHOONY LLC
 33837 6TH STREET
 UNION CITY, CA 94587

APN: MULTIPLE
 3321 JESSICA COURT
PRELIMINARY PROFILE - JESSICA DRIVE (PVT)
 CITY OF ANTIOCH COUNTY OF CONTRA COSTA CALIFORNIA

SHEET NO.
TM7
 7 OF 7 SHEETS
 JOB NO. 2022-238



SITE MAP

SHEET TITLE:
PRELIMINARY LANDSCAPE PLAN

PROJECT ADDRESS:
3321 JESSICA CT.
ANTIOCH, CA 94509

DATE:
6/30/2023

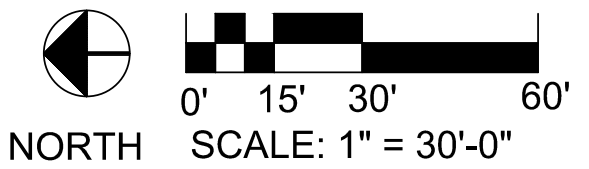
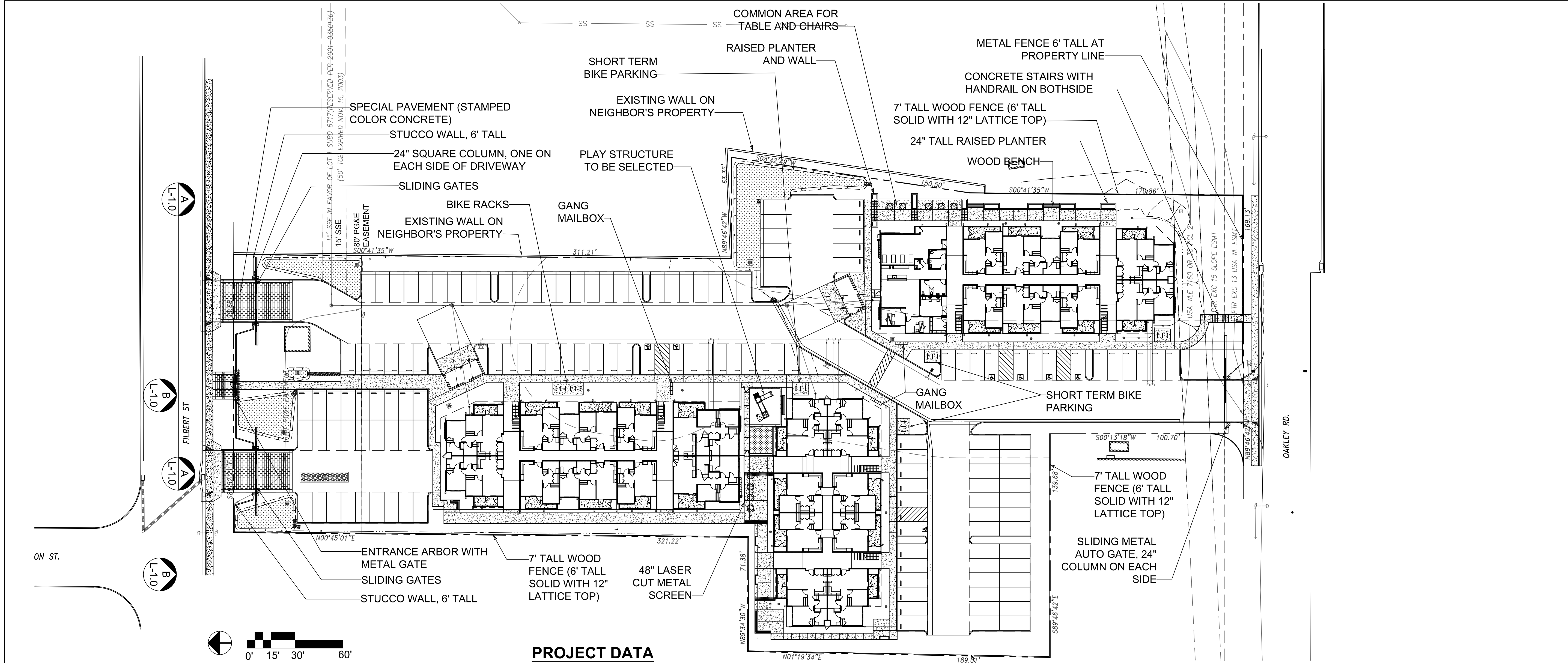
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1" = 30'-0"

DRAWN BY:
AH

PROJECT #
22036

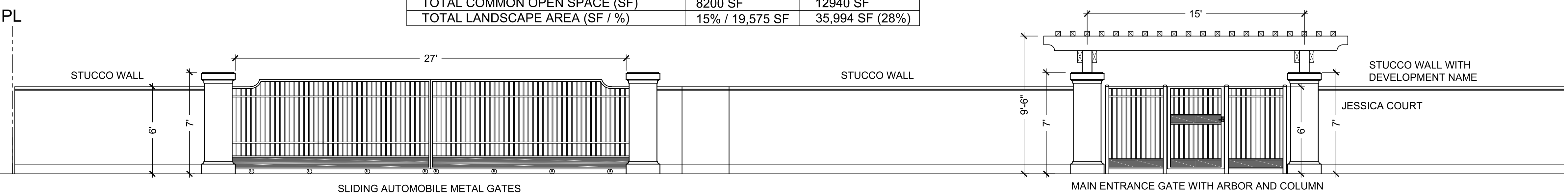
SHEET INDEX:
L-1.0 PRELIMINARY LANDSCAPE PLAN
L-1.1 PRELIMINARY COMMON OPEN SPACE
L-2.0 PROPOSED TREE LAYOUT
L-2.1 PROPOSED TREE LAYOUT
L-2.2 PRELIMINARY PLANTING PLAN
L-2.3 PRELIMINARY PLANTING PLAN
L-2.4 MASTER PLANTING LIST AND PLANTING DETAIL

L - 1.0
TOTAL SHEETS: 7

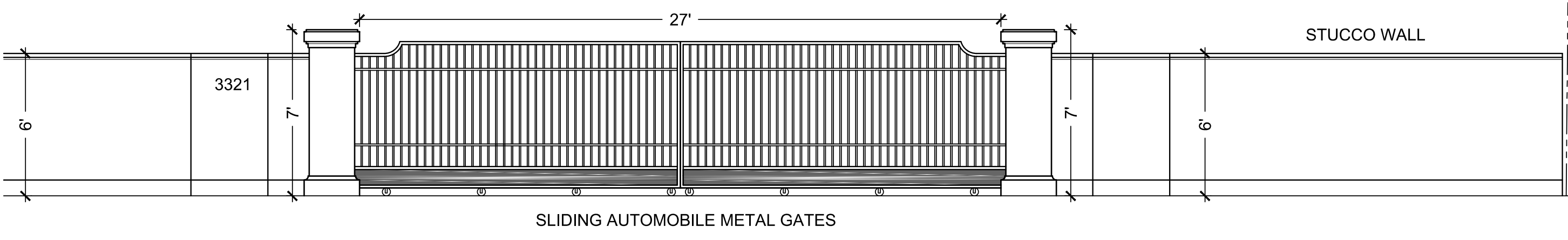


PROJECT DATA

DESCRIPTION	REQUIRED	PROVIDED
TOTAL SITE AREA (130,503 SF)		
TOTAL RESIDENTIAL UNITS		82
TOTAL SHORT TERM BIKE PARKING (EA)	-	36
TOTAL COMMON OPEN SPACE (SF)	8200 SF	12940 SF
TOTAL LANDSCAPE AREA (SF / %)	15% / 19,575 SF	35,994 SF (28%)



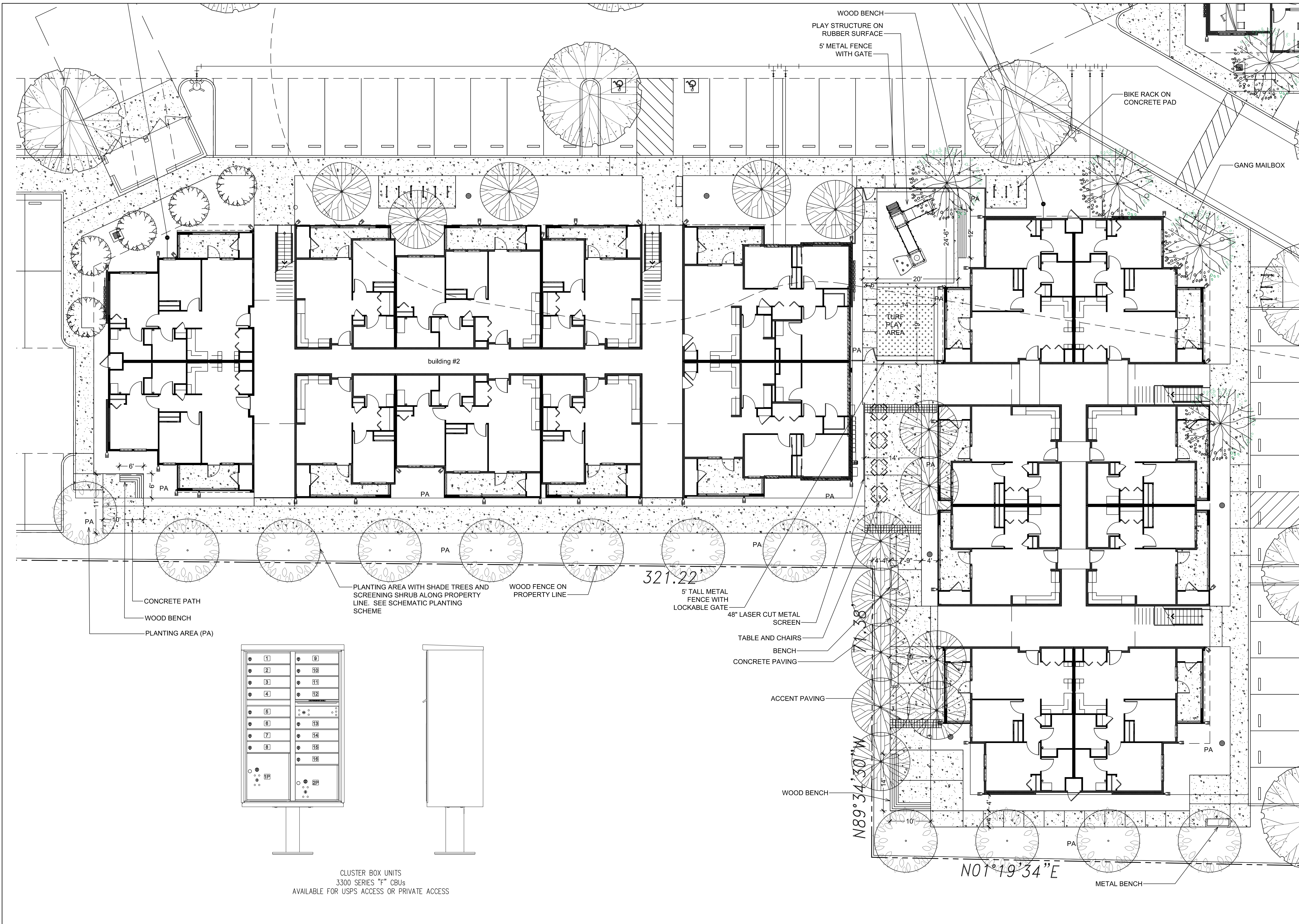
ELEVATION A-A
SCALE: 1/4" = 1'-0"



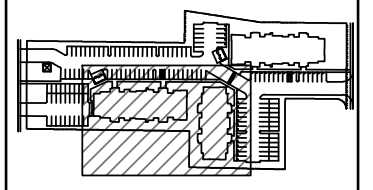
ELEVATION B-B
SCALE: 1/4" = 1'-0"

SHEET INDEX:

- L-1.0 PRELIMINARY LANDSCAPE PLAN
- L-1.1 PRELIMINARY COMMON OPEN SPACE
- L-2.0 PROPOSED TREE LAYOUT
- L-2.1 PROPOSED TREE LAYOUT
- L-2.2 PRELIMINARY PLANTING PLAN
- L-2.3 PRELIMINARY PLANTING PLAN
- L-2.4 MASTER PLANTING LIST AND PLANTING DETAIL



REVISION DATE	NO.



SITE MAP

SHEET TITLE:
PRELIMINARY COMMON OPEN SPACE

PROJECT ADDRESS:
3321 JESSICA CT.
ANTIOCH, CA 94509

DATE:
6/30/2023

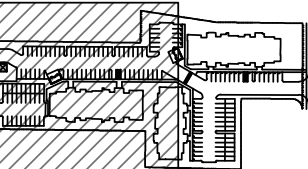
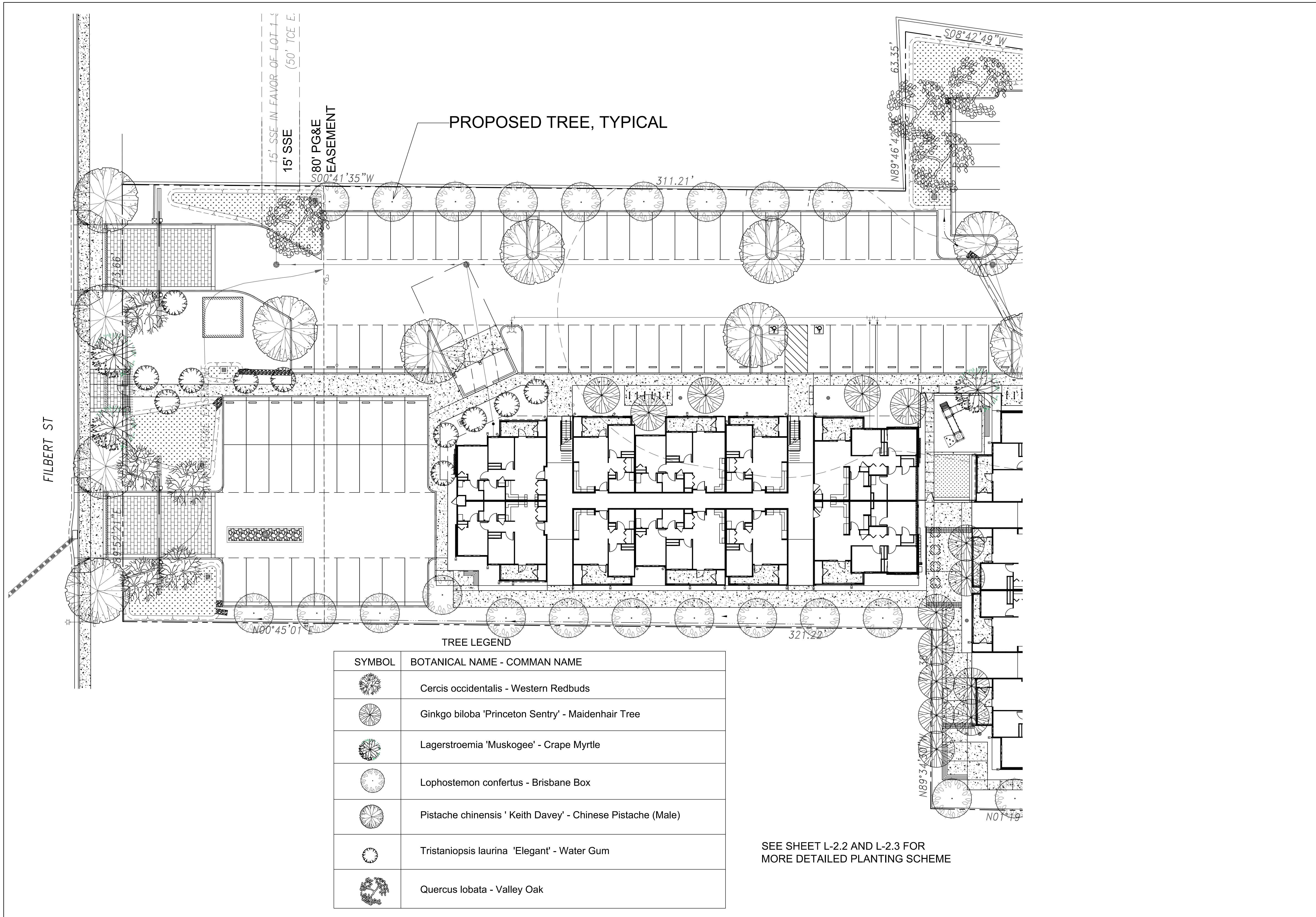
SCALE:
1" = 10'-0"

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AH

PROJECT #
22036

SHEET
L - 1.1

TOTAL SHEETS: 7



SITE MAP

SHEET TITLE:
PROPOSED TREES LAYOUT

PROJECT ADDRESS:
3321 JESSICA CT.
ANTIOCH, CA 94509

DATE:
6/30/2023

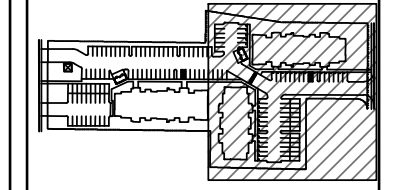
SCALE:
1/16" = 1'-0"

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PROJECT #
22036
SHEET

L - 2.0
TOTAL SHEETS: 7

REVISION DATE	NO.



SITE MAP

SHEET TITLE: **PROPOSED TREES LAYOUT**

SHEET TITLE:

PROJECT ADDRESS:
3321 JESSICA CT.
ANTIOCH, CA 94509

DATE:
6/30/2023

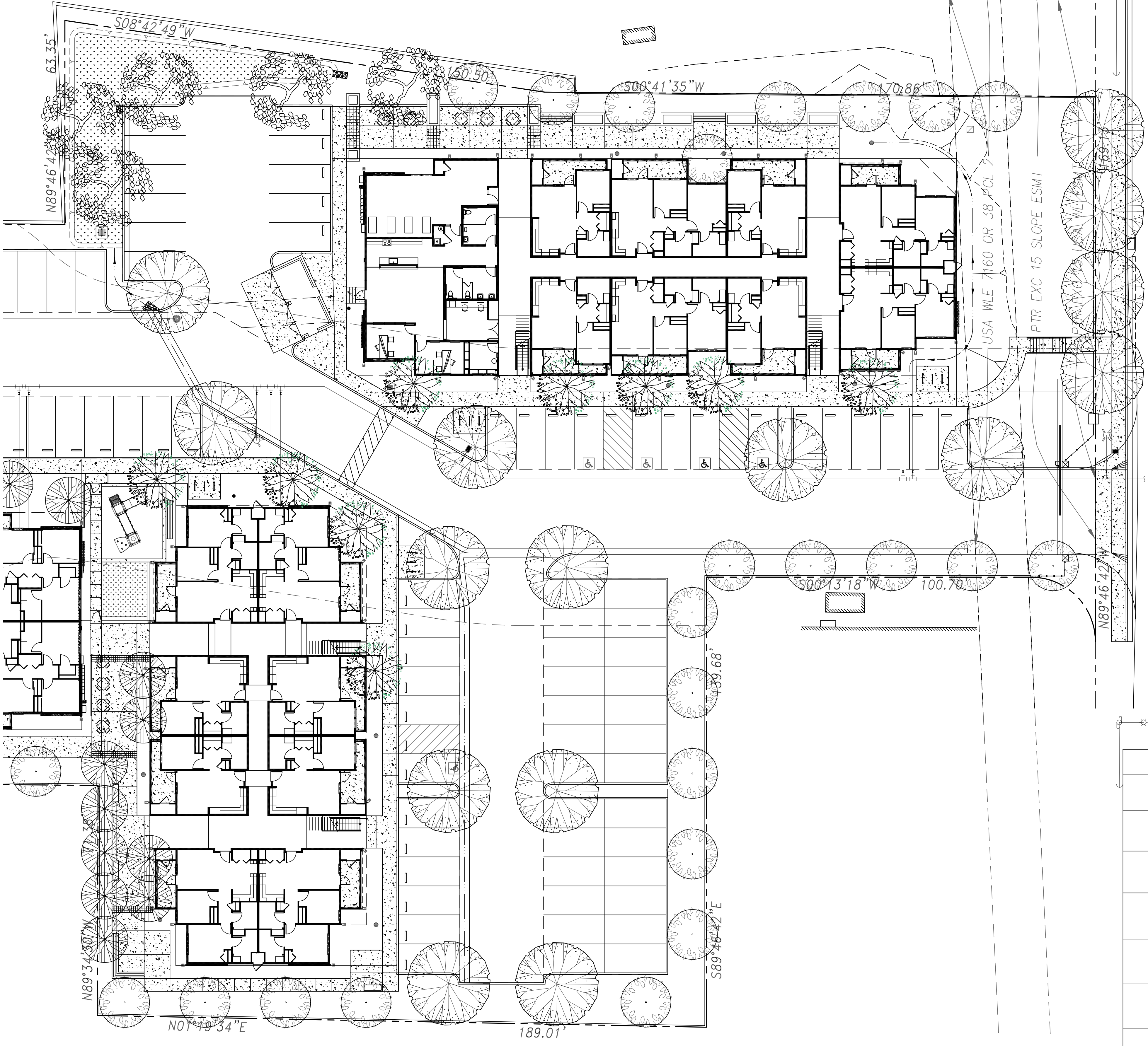
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PROJECT #
22036

SHEET
L - 2.1

TOTAL SHEETS: 7

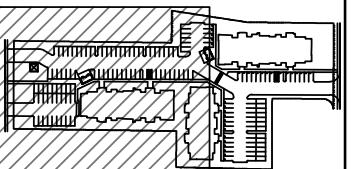


OAKLEY RD.

TREE LEGEND

SYMBOL	BOTANICAL NAME - COMMON NAME
	<i>Cercis occidentalis</i> - Western Redbuds
	<i>Ginkgo biloba</i> 'Princeton Sentry' - Maidenhair Tree
	<i>Lagerstroemia</i> 'Muskogee' - Crape Myrtle
	<i>Lophostemon confertus</i> - Brisbane Box
	<i>Pistache chinensis</i> 'Keith Davey' - Chinese Pistache (Male)
	<i>Tristaniopsis laurina</i> 'Elegant' - Water Gum
	<i>Quercus lobata</i> - Valley Oak

SEE SHEET L-2.2 AND L-2.3 FOR
MORE DETAILED PLANTING SCHEME



SITE MAP

SHEET TITLE:
PRELIMINARY PLANTING PLAN

PROJECT ADDRESS:
3321 JESSICA CT.
ANTIOCH, CA 94509

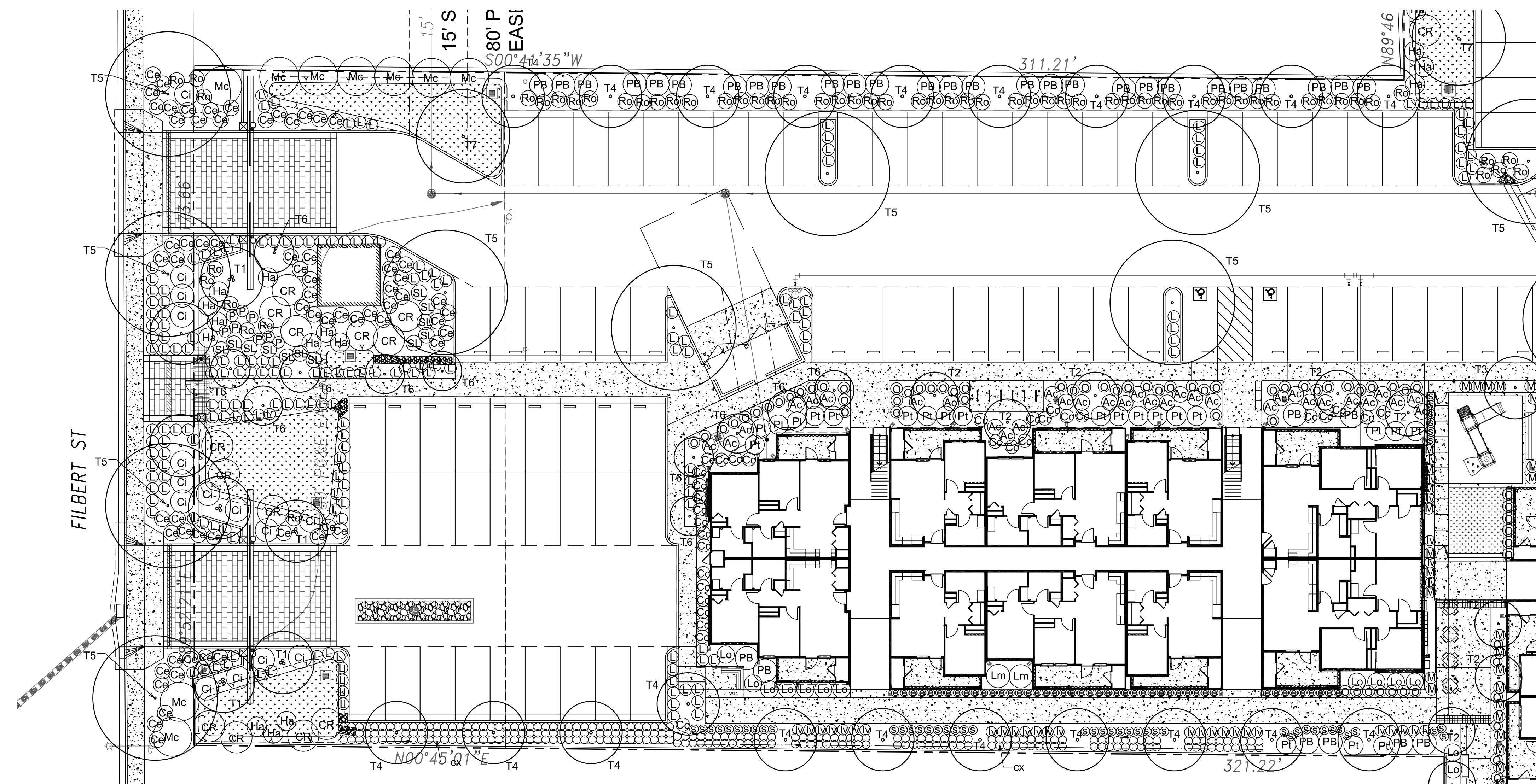
DATE:
6/30/2023

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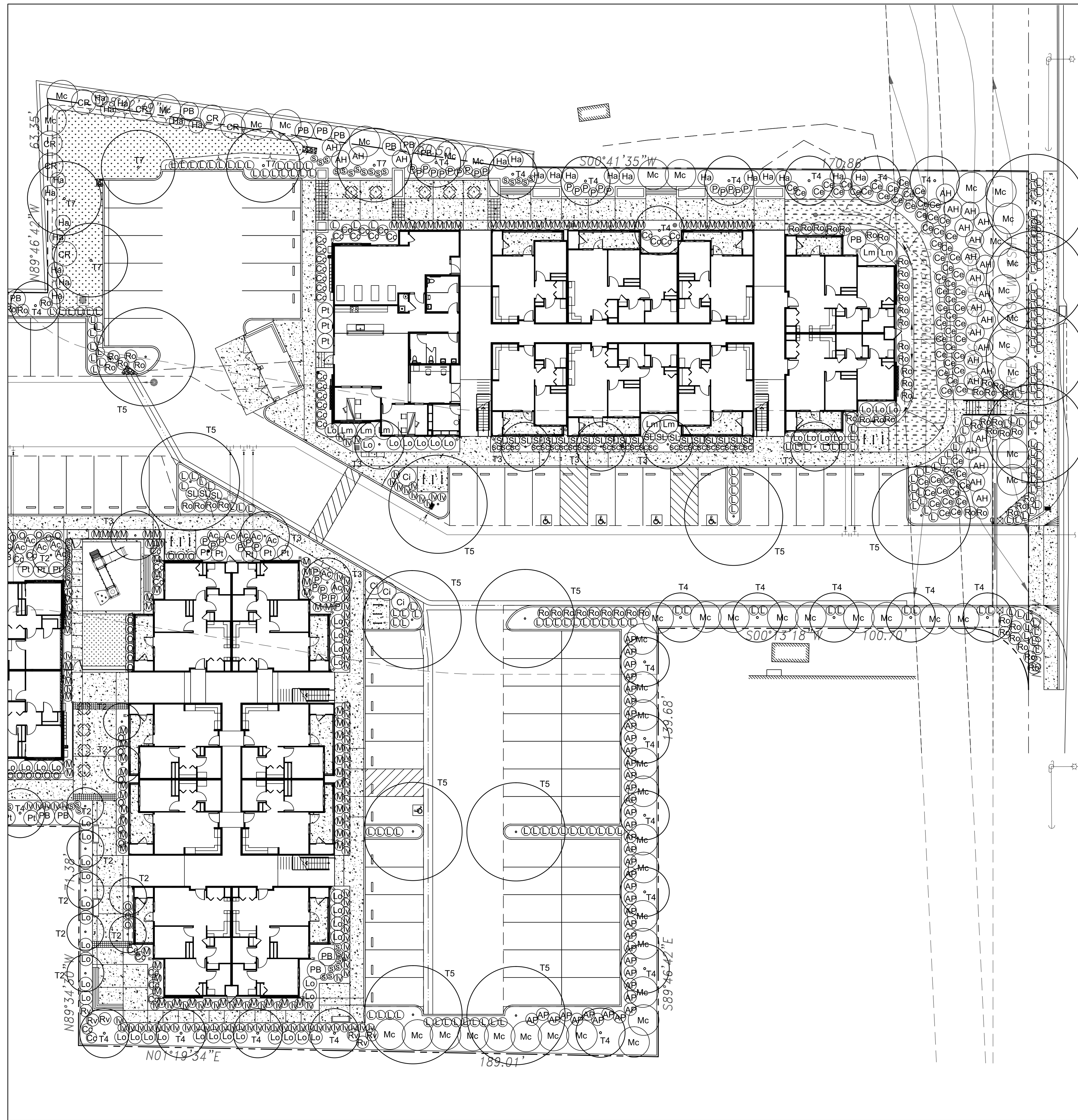
PROJECT #
22036

SHEET
L - 2.2
TOTAL SHEETS: 7



PLANTING LEGEND

SYMBOL	BOTANICAL NAME - COMMON NAME	SIZE	NOTES
Tree			
T1	Cercis occidentalis - Western Redbuds	24" box	multi
T2	Ginkgo biloba 'Princeton Sentry' - Maidenhair Tree	24" box	standard
T3	Lagerstroemia 'Muskogee' - Crape Myrtle	24" box	standard
T4	Lophostemon confertus - Brisbane Box	24" box	standard
T5	Pistache chinensis 'Keith Davey' - Chinese Pistache (Male)	24" box	standard
T6	Tristaniopsis laurina 'Elegant' - Water Gum	24" box	standard
Shrub			
Ac	Acacia cognata 'Cousin Itt' - Cousin Itt Dwarf River Wattle	5 gallon	
AH	Arctostaphylos d. 'Howard McMinn' - Vine Hill Manzanita	5 gallon	
AP	Arctostaphylos 'Pacific Mist' - Pacific Mist Manzanita	5 gallon	
Cc	Carpenteria californica - Bush Anemone	5 gallon	
CR	Ceanothus 'Ray Hartman' - Ray Hartman Ceanothus	15 gallon	
Ci	Cistus 'Sunset' - Sunset Rockrose	5 gallon	
e	Euonymus japonicus 'Green Spire' - Evergreen Euonymus	5 gallon	
Ha	Heteromeles arbutifolia - Toyon	15 gallon	
Lm	Lavatera maritima - Tree Mallow	5 gallon	
Iv	Lavendula X allardii 'Meerlo' - Variegated Lavender	5 gallon	
Lo	Loropetalum chinensis 'Razzleberry' - Razzleberry Fringe Flower	5 gallon	
Mc	Myrica californica - Pacific Wax Myrtle	15 gallon	
M	Myrtus communis 'Compacta Variegata' - Compact Variegated Myrtle	5 gallon	
o	Perovskia atriplicifolia 'Blue Mist' - Russian Sage	5 gallon	
Rv	Ribes viburnifolium - Evergreen Current	5 gallon	
Ro	Rosmarinus officinalis 'Tuscan Blue' - Rosemary	5 gallon	
P	Pittosporum tobira 'Turner's Variegated Dwarf' - Dwarf Tobira	5 gallon	
Pt	Pittosporum tobira 'Variegated' - Variegated Mock Orange	5 gallon	
PB	Prunus caroliniana 'Bright 'N Tight' - Bright 'N Tight Cherry Laurel	15 gallon	
s	Salvia microphylla 'Hot Lips' - Hot Lips Salvia	5 gallon	
SL	Salvia leucantha 'Santa Barbara' - Mexican Sage	5 gallon	
sc	Santolina chamaecyparissus - Lavender Cotton	5 gallon	
Groundcover			
Ce	Ceanothus 'Anchor Bay' - Wild Lilac	5 gallon	
Ornamental Grass			
cx	Carex tumulicola - Foothill Sedge	1 gallon	
L	Lomandra longifolia 'Lime Tuff' - Dwarf Mat Rush	1 gallon	
Sod			
	Biofiltration Sod - Delta Bluegrass Co.	—	
	Native Mow Free Sod - Delta Bluegrass Co.	—	

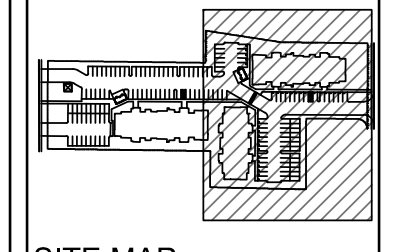


OAKLEY RD.

PLANTING LEGEND

SYMBOL	BOTANICAL NAME - COMMON NAME	SIZE	NOTES
Tree			
T1	Cercis occidentalis - Western Redbuds	24" box	multi standard
T2	Ginkgo biloba 'Princeton Sentry' - Maidenhair Tree	24" box	standard
T3	Lagerstroemia 'Muskogee' - Crape Myrtle	24" box	standard
T4	Lophostemon confertus - Brisbane Box	24" box	standard
T5	Pistache chinensis 'Keith Davey' - Chinese Pistache (Male)	24" box	standard
T6	Tristanopsis laurina 'Elegant' - Water Gum	24" box	standard
Shrub			
Ac	Acacia cognata 'Cousin Itt' - Cousin Itt Dwarf River Wattle	5 gallon	
AH	Arctostaphylos d. 'Howard McMinn' - Vine Hill Manzanita	5 gallon	
AP	Arctostaphylos 'Pacific Mist' - Pacific Mist Manzanita	5 gallon	
Cc	Carpenteria californica - Bush Anemone	5 gallon	
CR	Ceanothus 'Ray Hartman' - Ray Hartman Ceanothus	15 gallon	
Ci	Cistus 'Sunset' - Sunset Rockrose	5 gallon	
e	Euonymus japonicus 'Green Spire' - Evergreen Euonymus	5 gallon	
Ha	Heteromeles arbutifolia - Toyon	15 gallon	
Lm	Lavatera maritima - Tree Mallow	5 gallon	
Iv	Lavendula X allardii 'Meerto' - Variegated Lavender	5 gallon	
Lo	Loropetalum chinensis 'Razzeberri' - Razzeberri Fringe Flower	5 gallon	
Mc	Myrica californica - Pacific Wax Myrtle	15 gallon	
M	Myrtus communis 'Compacta Variegata' - Compact Variegated Myrtle	5 gallon	
o	Perovskia atriplicifolia 'Blue Mist' - Russian Sage	5 gallon	
Rv	Ribes viburnifolium - Evergreen Current	5 gallon	
Ro	Rosmarinus officinalis 'Tuscan Blue' - Rosemary	5 gallon	
P	Pittosporum tobira 'Turner's Variegated Dwarf' - Dwarf Tobira	5 gallon	
Pt	Pittosporum tobira 'Variegated' - Variegated Mock Orange	5 gallon	
PB	Prunus caroliniana 'Bright 'N Tight' - Bright 'N Tight Cherry Laurel	15 gallon	
s	Salvia microphylla 'Hot Lips' - Hot Lips Salvia	5 gallon	
SL	Salvia leucantha 'Santa Barbara' - Mexican Sage	5 gallon	
sc	Santolina chamaecyparissus - Lavender Cotton	5 gallon	
Groundcover			
Ce	Ceanothus 'Anchor Bay' - Wild Lilac	5 gallon	
Ornamental Grass			
cx	Carex tumulicola - Foothill Sedge	1 gallon	
L	Lomandra longifolia 'Lime Tuff' - Dwarf Mat Rush	1 gallon	
Sod			
	Biofiltration Sod - Delta Bluegrass Co.		
	Native Mow Free Sod - Delta Bluegrass Co.		

REVISION DATE	NO.



SHEET TITLE:
PRELIMINARY PLANTING PLAN

PROJECT ADDRESS:
3321 JESSICA CT.
ANTIOCH, CA 94509

DATE:
6/30/2023

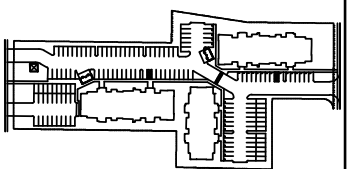
SCALE:
1/16" = 1'-0"

DRAWN BY:
AH

PROJECT #
22036

SHEET
L - 2.3
TOTAL SHEETS: 7

REVISION DATE	NO.



SITE MAP

PLANTING MASTER LIST

SYMBOL	BOTANICAL NAME - COMMON NAME	QTY	SIZE	WUCOLS *	NOTES	Mature Size (HxW)	SPACING	GROWTH RATE (**)
Tree								
T1	Cercis occidentalis - Western Redbuds	4	24" box	L	multi	20' x 20'	see plan	24"-36"
T2	Ginkgo biloba 'Princeton Sentry' - Maidenhair Tree	14	24" box	M	standard	65' x 20'	14"	24"-36"
T3	Lagerstroemia 'Muskogee' - Crape Myrtle	8	24" box	L	standard	25' x 25'	see plan	12"-24"
T4	Lophostemon confertus - Brisbane Box	44	24" box	L	standard	50' x 30'	25"	24"-36"
T5	Pistache chinensis 'Keith Davey' - Chinese Pistache (Male)	24	24" box	L	standard	35' x 35'	25'	24"
T6	Tristanopsis laurina 'Elegant' - Water Gum	11	24" box	L	standard	35' x 25'	see plan	12"
Shrub								
Ac	Acacia cognata 'Cousin Itt' - Cousin Itt Dwarf River Wattle	40	5 gallon	L		2' x 5'		
AH	Arctostaphylos d. 'Howard McMinn' - Vine Hill Manzanita	26	5 gallon	L		5' x 8'		
AP	Arctostaphylos 'Pacific Mist' - Pacific Mist Manzanita	40	5 gallon	L		7' x 7'		
Cc	Carpenteria californica - Bush Anemone	66	5 gallon	L		6' x 3'		
CR	Ceanothus 'Ray Hartman' - Ray Hartman Ceanothus	20	15 gallon	L		15' x 10'		
Ci	Cistus 'Sunset' - Sunset Rockrose	19	5 gallon	L		2' x 6'		
e	Euonymus japonicus 'Green Spire' - Evergreen Euonymus	46	5 gallon	L		6' x 2'		
Ha	Heteromeles arbutifolia - Toyon	36	15 gallon	L		10' x 8'		
Lm	Lavatera maritima -Tree Mallow	9	5 gallon	L		6' x 5'		
Iv	Lavendula X allardii 'Meerlo' - Variegated Lavender	127	5 gallon	L		2' x 3'		
Lo	Loropetalum chinensis 'Razzleberry' - Razzleberry Fringe Flower	54	5 gallon	L		6' x 5'		
Mc	Myrica californica - Pacific Wax Myrtle	59	15 gallon	L		20' x 10'		
M	Myrtus communis 'Compacta Variegata' - Compact Variegated Myrtle	98	5 gallon	L		3' x 3'		
o	Perovskia atriplicifolia 'Blue Mist' - Russian Sage	75	5 gallon	L		3' x 3'		
Rv	Ribes viburnifolium - Evergreen Currant	6	5 gallon	L		3' x 5'		
Ro	Rosmarinus officinalis 'Tuscan Blue' - Rosemary	118	5 gallon	L		5' x 3'		
P	Pittosporum tobira 'Turner's Variegated Dwarf' - Dwarf Tobira	42	5 gallon	L		2' x 3'		
Pt	Pittosporum tobira 'Variegated' - Variegated Mock Orange	30	5 gallon	L		6' x 5'		
PB	Prunus caroliniana 'Bright 'N Tight' - Bright 'N Tight Cherry Laurel	45	15 gallon	L		10' x 8'		
s	Salvia microphylla 'Hot Lips' - Hot Lips Salvia	72	5 gallon	L		2' x 4'		
SL	Salvia leucantha 'Santa Barbara' - Mexican Sage	36	5 gallon	L		3' x 4'		
sc	Santolina chamaecyparissus - Lavender Cotton	25	5 gallon	L		2' x 2'		
Groundcover								
Ce	Ceanothus 'Anchor Bay' - Wild Lilac	134	5 gallon	L		2' x 8'		
Ornamental Grass								
o cx	Carex tumulicola - Foothill Sedge	249	1 gallon	L		1' x 2'	2'	
L	Lomandra longifolia 'Lime Tuff' - Dwarf Mat Rush	411	1 gallon	L		2' x 3'	3'	
Sod								
	Biofiltration Sod - Delta Bluegrass Co.			L				
	Native Mow Free Sod - Delta Bluegrass Co.			L				

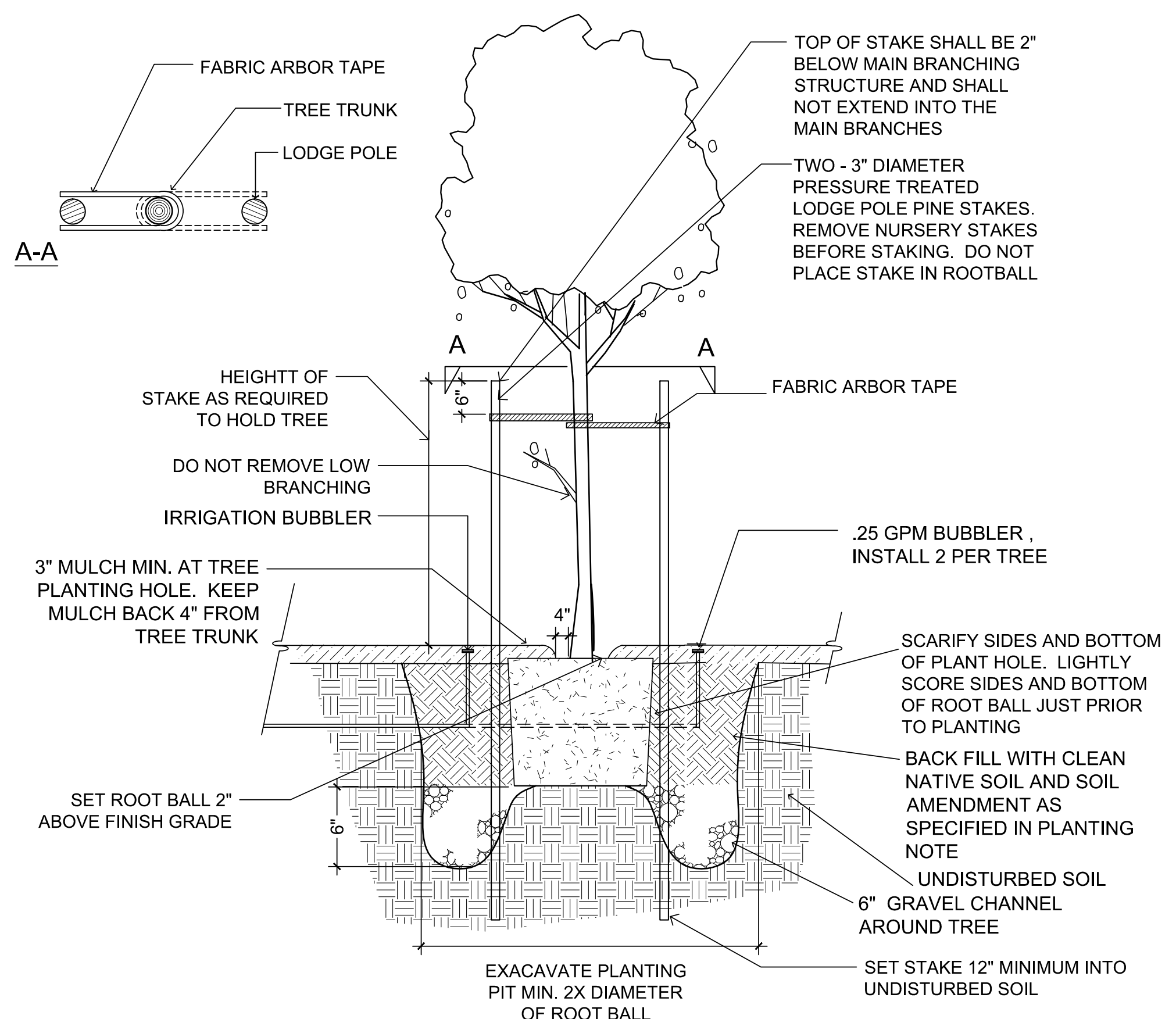
- Sod:
- Native Mow Free Sod from Delta Bluegrass Co. contains:
 - Festuca rubra - Molate Fescue,
 - Festuca idahoensis - Idaho Fescue,
 - Festuca occidentalis - Western Mokolunne Fescue.

- Biofiltration Sod from Delta Bluegrass Co. contains:
 - Nassella pulchra - Purple needlegrass
 - Festuca rubra - Molate Fescue
 - Hordeum californicum - California Barley
 - Hodreum brachyantherum - Meadow Barley

* WUCOLS CATEGORIES OF WATER NEEDS: VL = VERY LOW, L = LOW WATER USE, M = MODERATE WATER USE
 ** Average growth rate per year for screening trees and shrubs.

PLANTING NOTE:

- Before planting till the following materials into the top 6" of soil (for each 1,000 S.F.):
 - 6 cubic yards green waste compost
 - 10 LB fertilizer (N16/P6/K8) w/ 2% iron
 - 5 LB sulfate of ammonia
- Mulch all exposed soil surfaces of the planting areas, except within bioretention areas, with a 3" thick layer of medium recycled wood chips, color 'Dark Brown'. In bioretention areas mulch planting area with a 3" thick layer of non-floatable mulch such as organic bioretention mulch from Zanker Landscape Materials.
- For trees, nursery stakes shall be removed at the time of planting. Stake each tree using 2 lodge poles and rubber tree ties.
- The Landscape Architect and the Owner reserve the right to reject any or all plant material, if such material does not meet the American Standards for Nursery Stock (ANSI). Plant materials shall be guaranteed against latent defects, injuries, pests, diseases or death of plants due to improper planting. The Contractor shall promptly replace plants that have died or are not in a vigorous, healthy condition with plants of the same kind and size as originally specified at no expense to the Owner.
- Landscape Architect to approve plant locations prior to planting.
- The Contractor shall be responsible to continuously maintain grades, plant material, and irrigation through the maintenance period until final acceptance of the work by the Owner.
- The Contractor shall be responsible for the adequate protection of the improvements. Damaged areas, such as sprinkler heads or plant materials, shall be replaced or repaired at no additional expense to the Owner.



SHEET TITLE:
PLANTING MASTER LIST AND PLANTING DETAIL

PROJECT ADDRESS:
3321 JESSICA CT.
ANTIOCH, CA 94509

DATE:
6/30/2023

SCALE:

DRAWN BY:
AH

PROJECT #
22036

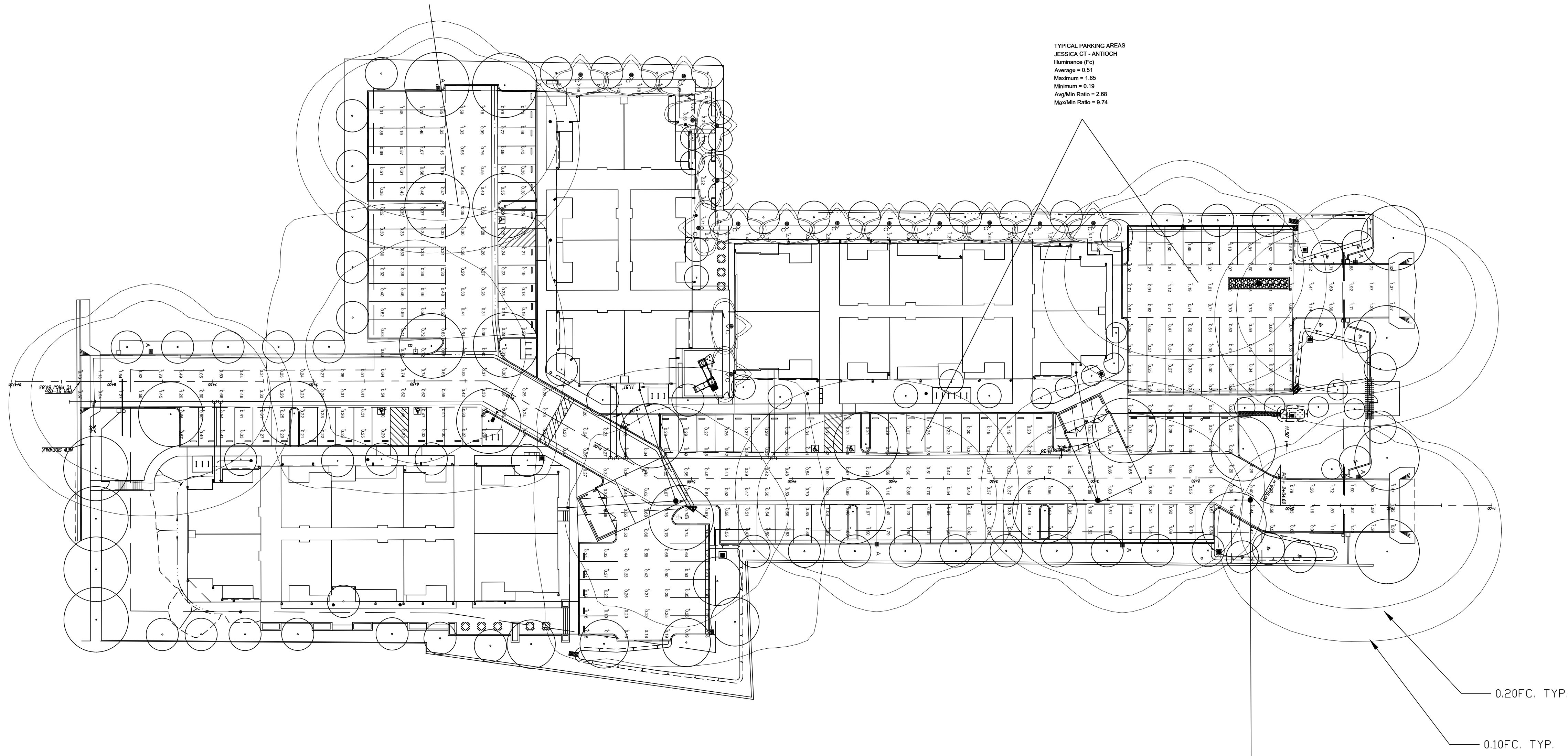
SHEET

L - 2.4

TOTAL SHEETS: 7

PARKING 2
 JESSICA CT - ANTIOCH
 Illuminance (Fc)
 Average = 0.55
 Maximum = 1.85
 Minimum = 0.19
 Avg/Min Ratio = 3.06
 Max/Min Ratio = 10.28

TYPICAL PARKING AREAS
 JESSICA CT - ANTIOCH
 Illuminance (Fc)
 Average = 0.51
 Maximum = 1.85
 Minimum = 0.19
 Avg/Min Ratio = 2.68
 Max/Min Ratio = 9.74



Luminaire Schedule - LED								
Project: JESSICA CT - ANTIOCH								
Symbol	Qty	Label	Arrangement	LLF	Luminaire Lumens	Luminaire Watts	Description	Filename
	7	A	Single	0.900	7431	41.88	GARDCO OPF-S-A01-740-T4M @ 25'	OPF-S-A01-740-T4M.ies
	2	B	Single	0.900	7322	41.88	GARDCO OPF-S-A01-740-T5W @ 25'	OPF-S-A01-740-T5W.ies
	17	C	Single	0.900	492	6.1	GARDCO PBL-42-14L-100-NW-G2-3-UNV	PBL-14L-100-NW-G2-3-UNV.ies

Calculation Summary							
Project: JESSICA CT - ANTIOCH							
Description	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PATHWAYS	Illuminance	Fc	1.49	3.55	0.10	14.90	35.50
MAIN DRIVE AISLE	Illuminance	Fc	0.65	1.90	0.20	3.25	9.50
TYPICAL PARKING AREAS	Illuminance	Fc	0.51	1.85	0.19	2.68	9.74
PARKING 2	Illuminance	Fc	0.55	1.85	0.18	3.06	10.28

ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE

PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP RATINGS. FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP, BALLAST, ELECTRICAL, AND SITE CHARACTERISTICS.

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

Associated Lighting Representatives, Inc.

ASSOCIATED LIGHTING REPRESENTATIVES, INC
 7777 PARDEE LANE
 P.O. BOX 2265
 OAKLAND, CA 94621
 PHONE: (510) 638-0158 - FAX (510) 638-2908

REPORT FOR: SDG ARCHITECTS
 BY: APPLICATIONS ENGINEERING: RAMON ZAPATA
 SALES REPRESENTATIVE: ALR: KRISTIAN REYES



AGI32 VERSION 20.1
 AGI (C) 2021 LIGHTING ANALYSTS, INC.
 10268 W. CENTENNIAL ROAD, SUITE 202
 LITTLETON, CO 80127

PROJECT DESCRIPTION

JESSICA COURT
 CITY OF OAKLEY

DRAWING NO. / INPUT FILE

22020REY.DWG / 22020REY.A32

SCALE
 1" = 30'

SHEET
 1 OF 1

DATE
 06.22.2023

REV
 X