

3100 CONTRA LOMA BLVD. ANTIOCH, CA

PROJECT DESCRIPTION:

NEW SHELL BUILDING AND SITE DEVELOPMENT FOR A 2,220 S.F. STARBUCKS.

PROPERTY OWNER:

PHILLIPS EDISON
3247 SANTA FE ROAD
PARK CITY, UT

ARCHITECT:

JAG ARCHITECTURE
15 HUBBLE # 200 IRVINE, CA

LANDSCAPE:

ROYAL OAK DESIGN

CIVIL:

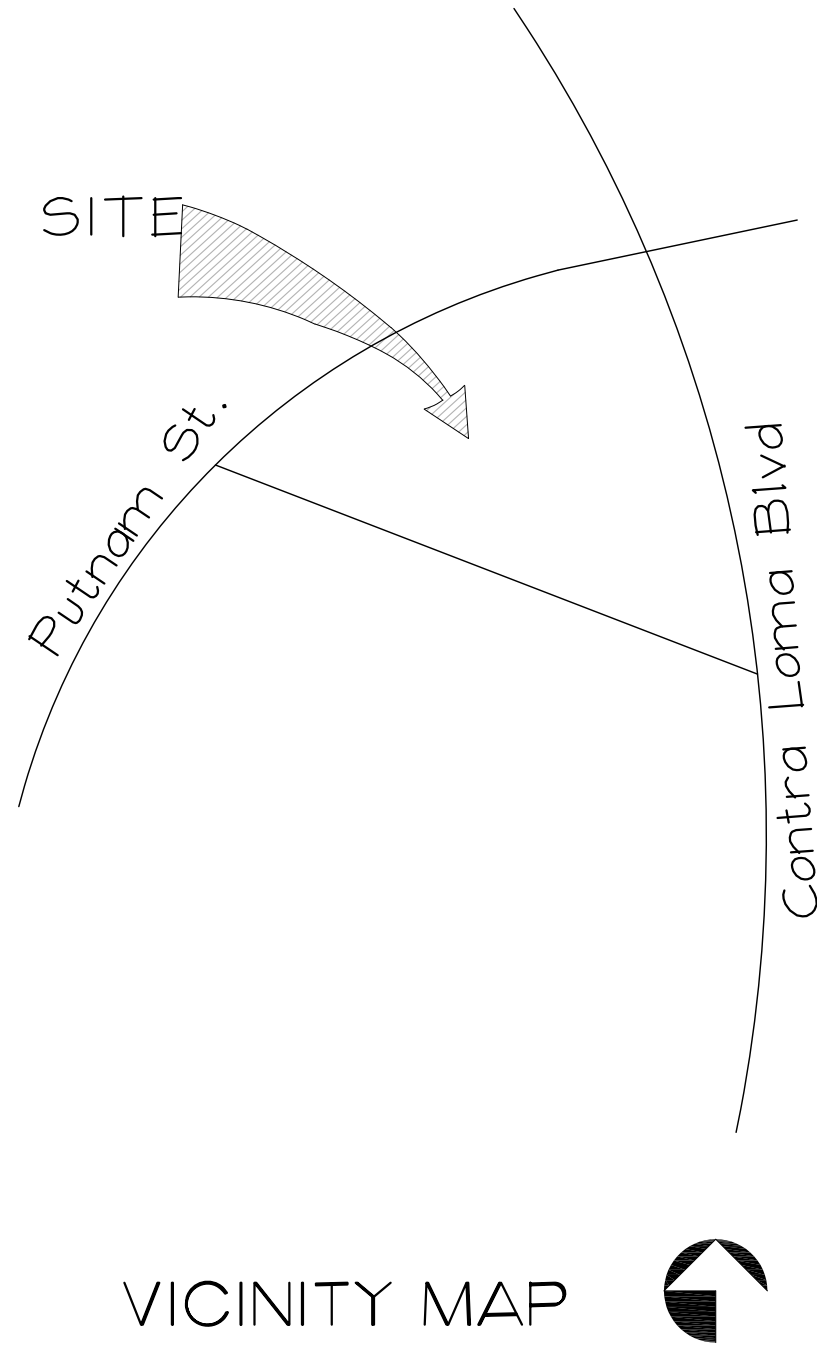
APEX CIVIL ENGINEERING
817 ARNOLD DRIVE, SUITE 50
MARTINEZ, CA

LIST OF DRAWINGS:

- ARCHITECTURAL:**
 T-0 COVER SHEET
 A-0 SITE PHOTOS
 A-1 OVERALL SITE PLAN
 A-2 PROPOSED SITE PLAN
 A-3 FLOOR PLAN
 A-4 EXTERIOR ELEVATIONS
 A-5 PHOTOMETRIC LAYOUT
 A-6 COLORED ELEVATIONS
 A-7 MATERIAL BOARD
 A-8 RENDERING
 A-9 RENDERING
- LANDSCAPE:**
 L-1 CONCEPTUAL LANDSCAPE PLAN
- CIVIL:**
 - SURVEY
 C1 TITLE SHEET
 C2 NOTES, SECTIONS AND DETAILS
 C3 PRELIMINARY GRADING, UTILITY PLAN
 C4 PRELIMINARY GRADING, UTILITY PLAN
 C5 PRELIMINARY STORM WATER CONTROL

SITE SUMMARY

<u>SITE AREA:</u>	39,455 S.F.	0.91 ACRES
<u>ZONING:</u>	C-2 (COMMERCIAL)	
<u>APN:</u>	076-550-002	
<u>BUILDING AREA:</u>	2,220 S.F.	
<u>BUILDING COVERAGE PERCENTAGE:</u> 5.6%		
<u>LANDSCAPE AREA:</u>	8,932 S.F. (22.6%)	
<u>BICYCLE SPACES</u>	3	
<u>PARKING:</u>		
<u>PARKING REQUIRED:</u>		
IN DOOR SEATING: 732 S.F. /50=	15 STALLS	
OUT DOOR SEATING: 16 SEATS	6 STALLS	
EMPLOYEE PARKING REQUIRED	4 STALLS	
<u>TOTAL PARKING REQUIRED:</u>	25 STALLS	
<u>PARKING PROVIDED:</u>		
11 STALLS IN FRONT OF BUILDING		33 STALLS NEXT TO BUILDING
<u>TOTAL PARKING PROVIDED:</u>	44 STALLS	
<u>PARKING RATIO:</u>	18/1000	





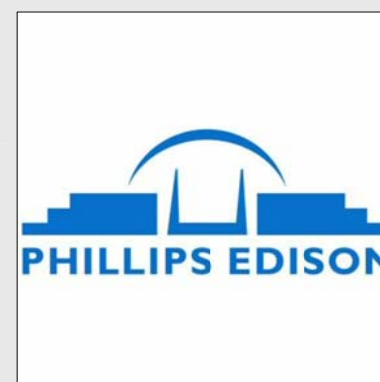
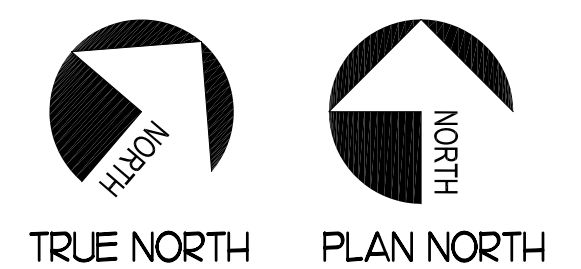
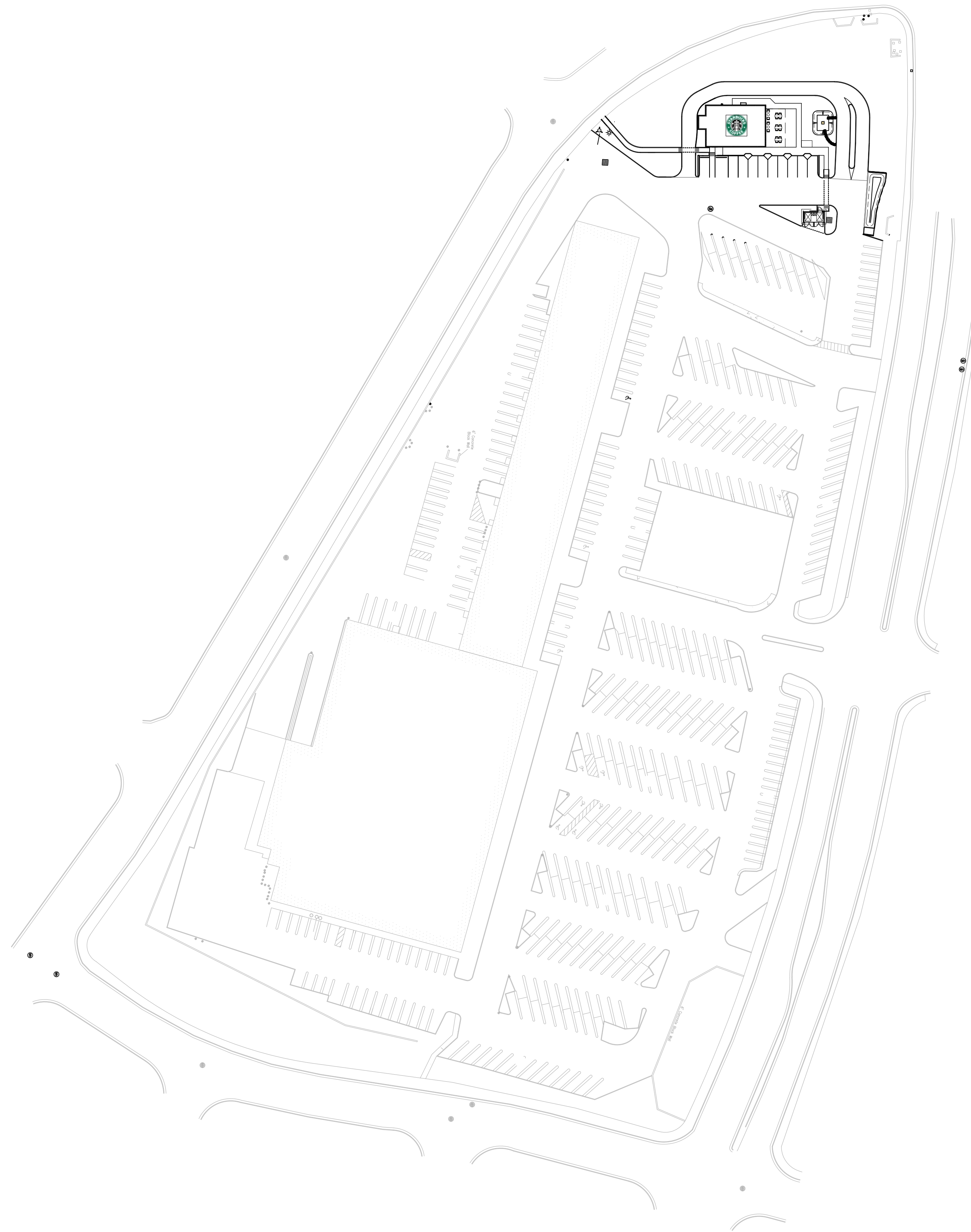
PUTNAM VIEW

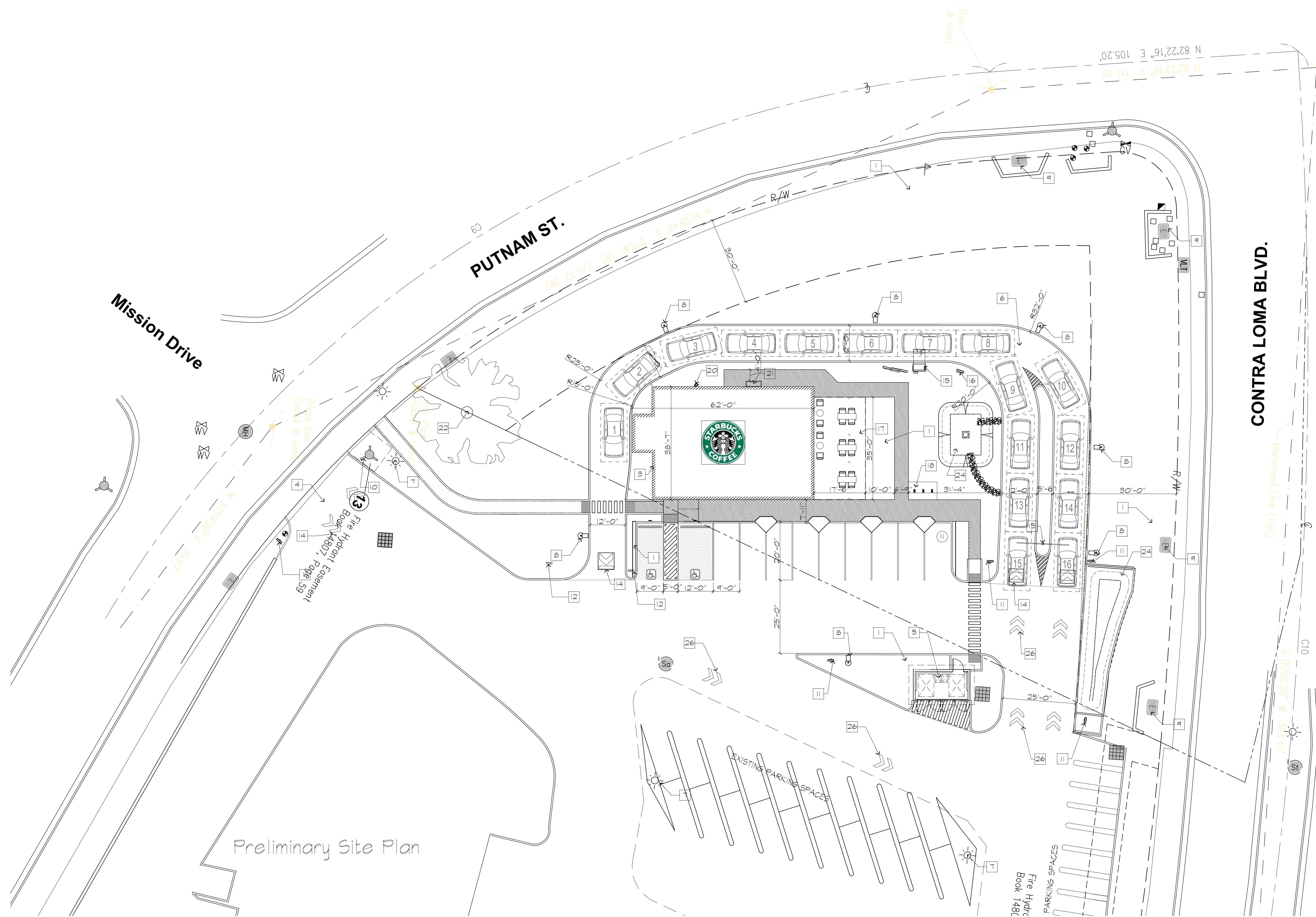


PUTNAM VIEW

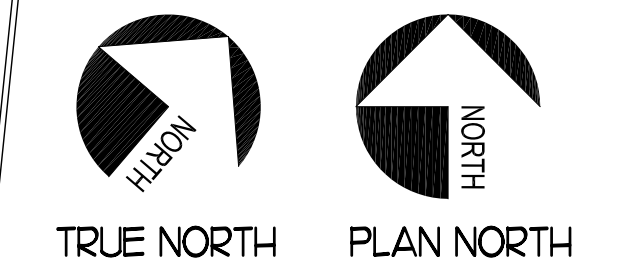


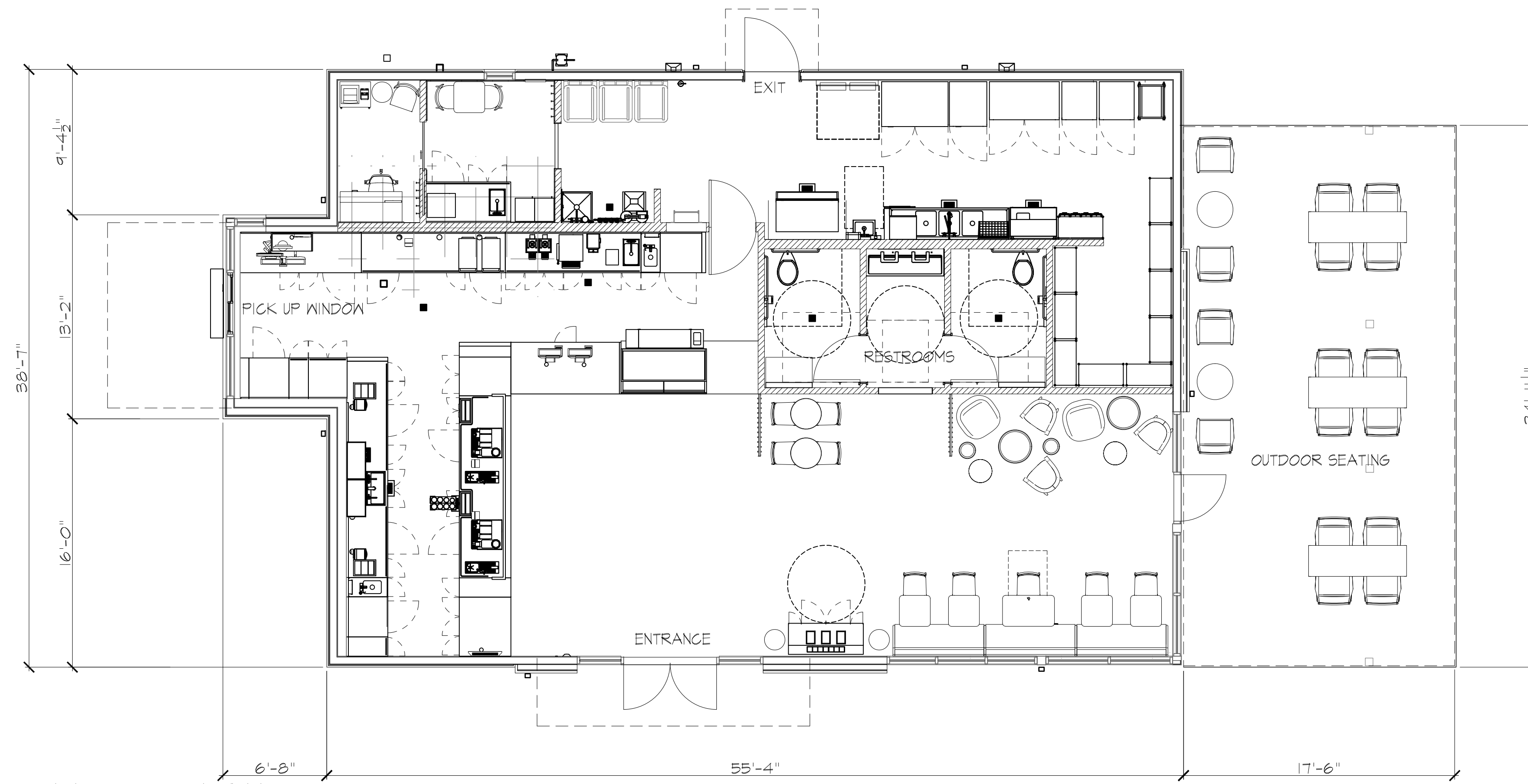
CONTRA LOMA VIEW



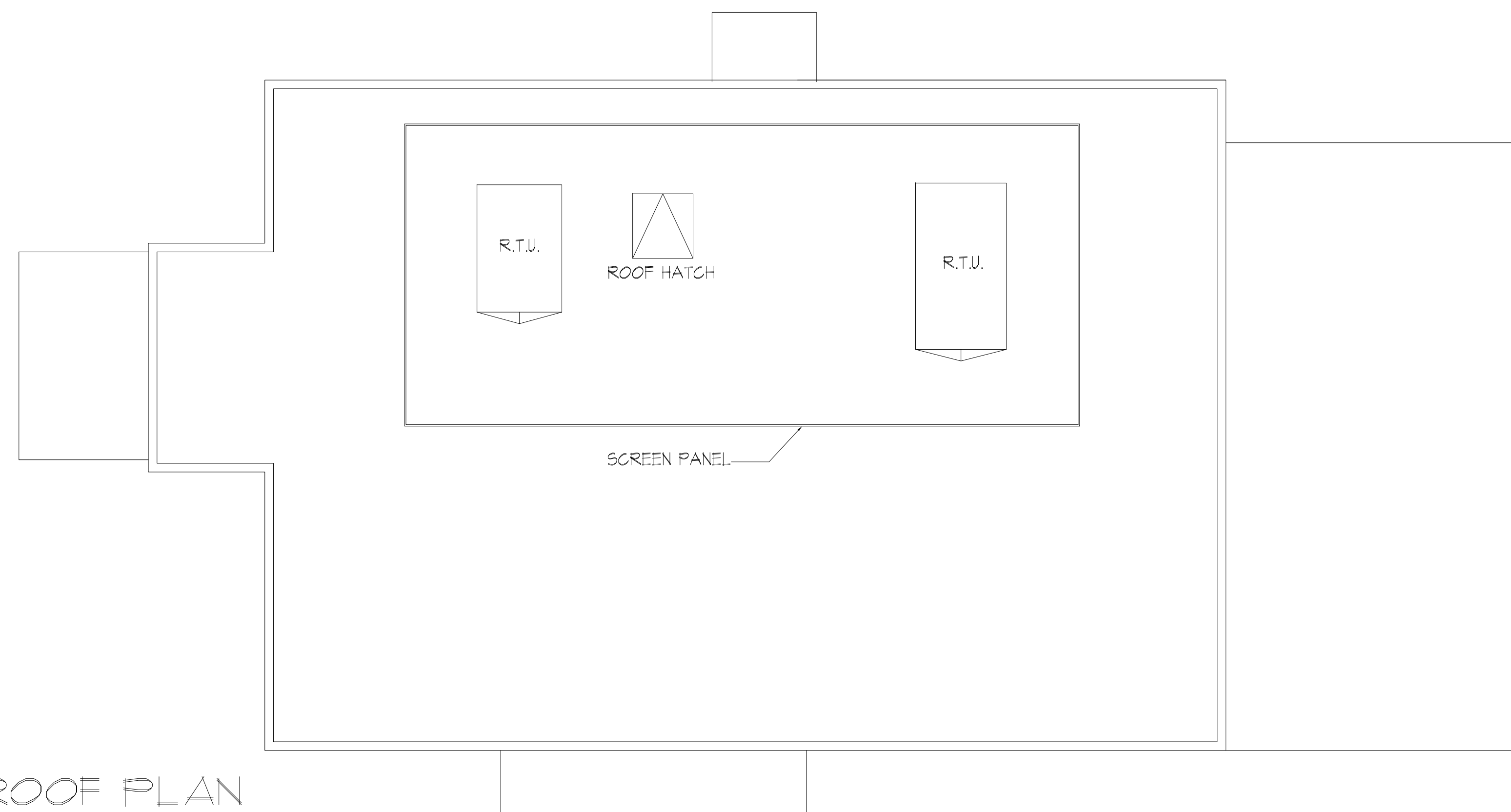


- KEY NOTES:**
- 1 LANDSCAPE AREA
 - 2 ACCESSIBLE PATH OF TRAVEL
 - 3 BUILDING FOOTPRINT
 - 4 EXISTING DRIVE WAY
 - 5 NEW TRASH ENCLOSURE
 - 6 DRIVE THRU LANE
 - 7 EXISTING SITE LIGHT POLE
 - 8 NEW SITE LIGHT POLE
 - 9 EXISTING ELECTRICAL VAULT
 - 10 EXISTING FIRE HYDRANT
 - 11 DRIVE THRU ILLUMINATED DIRECTIONAL SIGNAGE
 - 12 DRIVE THRU EXIT/THANK YOU SIGN
 - 13 "U" SHAPED CLEARANCE BAR
 - 14 WAY FINDING PAVEMENT GRAPHICS
 - 15 DIGITAL ORDER SCREEN WITH CANOPY
 - 16 DRIVE THRU PRE-MENU
 - 17 BROOM FINISH CONCRETE PATIO
 - 18 BIKE RACK
 - 19 CANOPY ABOVE
 - 20 GAS METER
 - 21 ELECTRICAL SWITCH GEAR
 - 22 EXISTING TREE TO REMAIN
 - 23 ELECTRICAL SWITCH GEAR
 - 24 C.B BIO RETENTION AREA
 - 25 PYLON SIGN
 - 26 DIRECTIONAL ARROWS - THERMOSTATIC APPLIED W/ HEAT TORCH

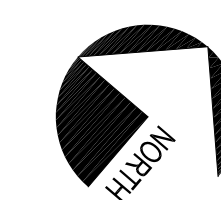




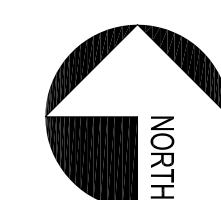
FLOOR PLAN



ROOF PLAN



TRUE NORTH

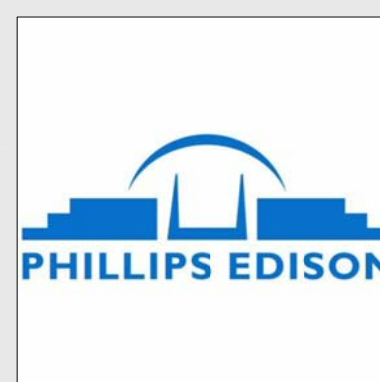


PLAN NORTH

jag architecture

corporate restaurant / retail design specialists

30 years



3100 Contra Loma Blvd
Antioch, CA

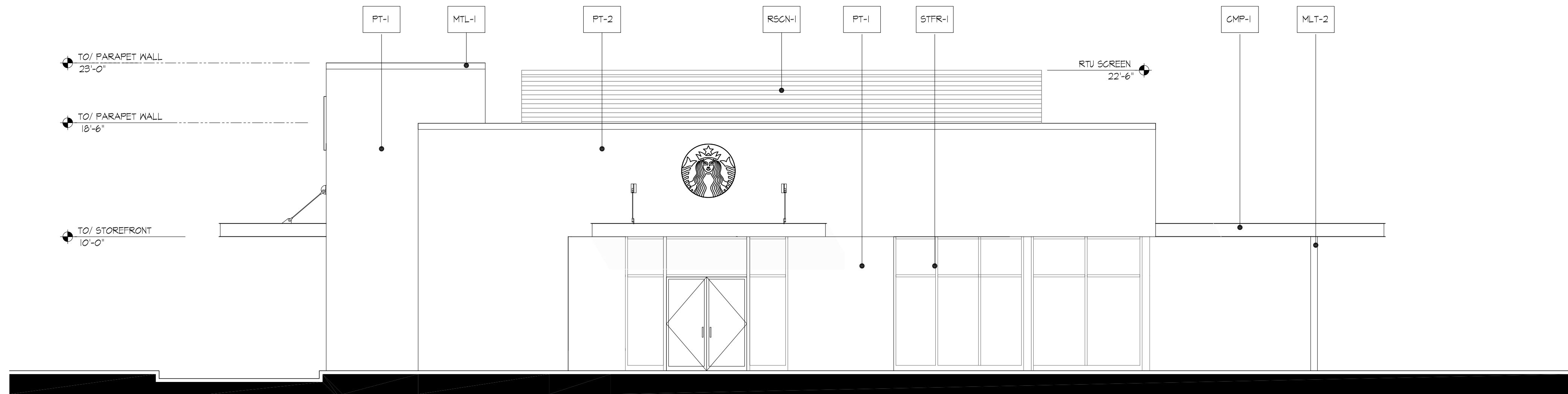
Floor and Roof Plan

A-3

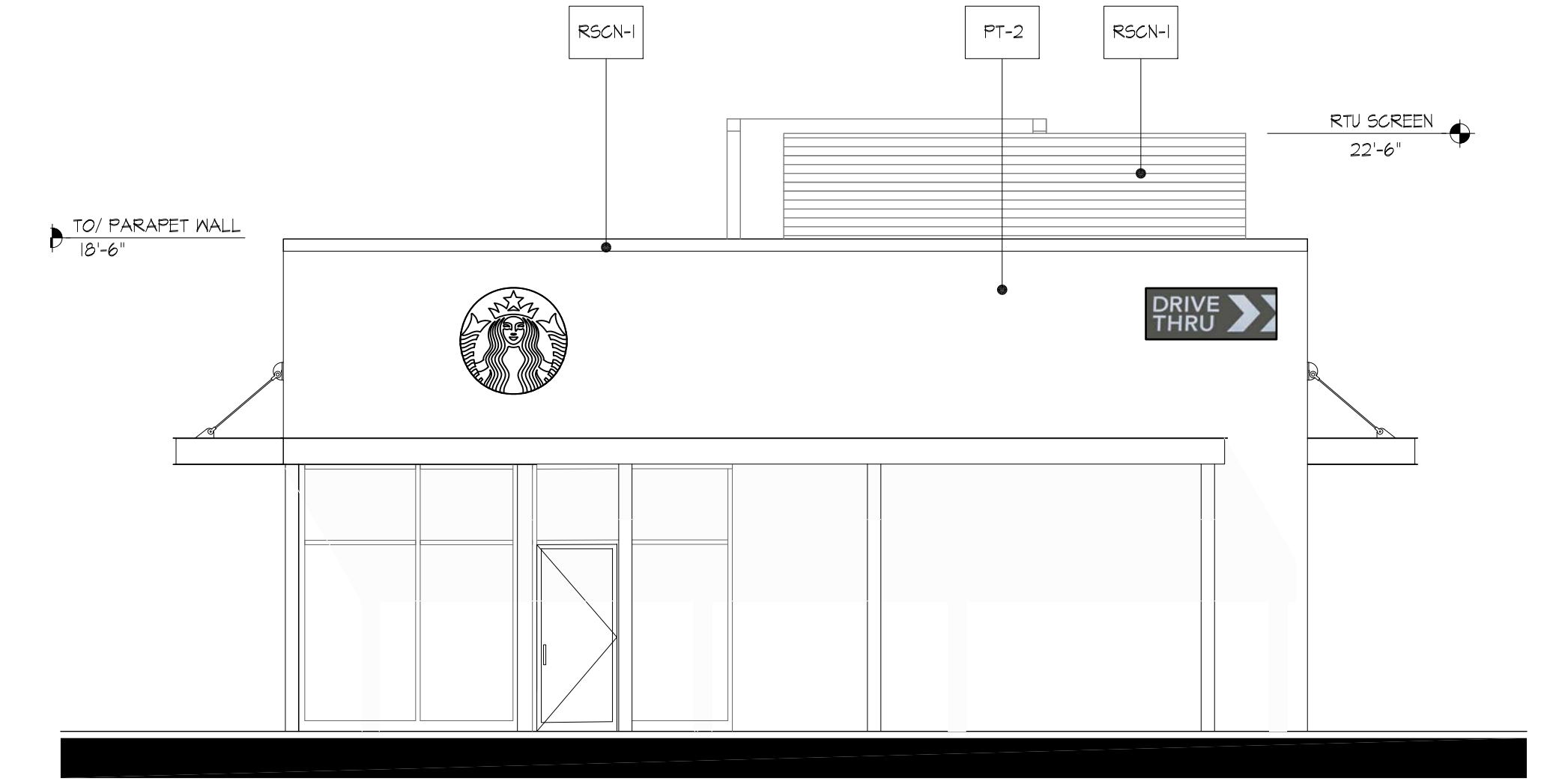
SCALE: 3/16"=1'-0"

DATE: 09/09, 2023

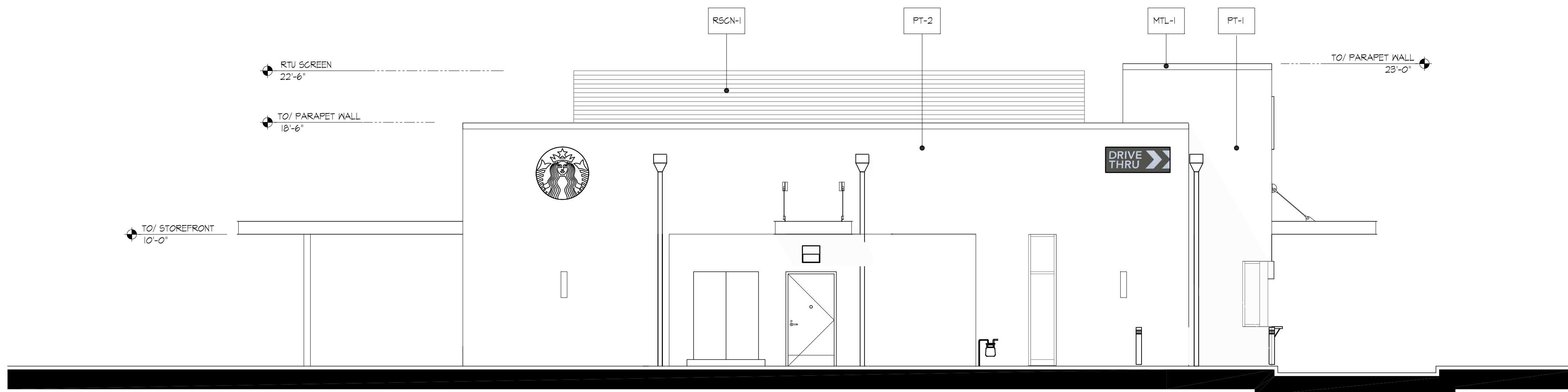
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF JAG ARCHITECTURE, INC.



South Elevation



East Elevation

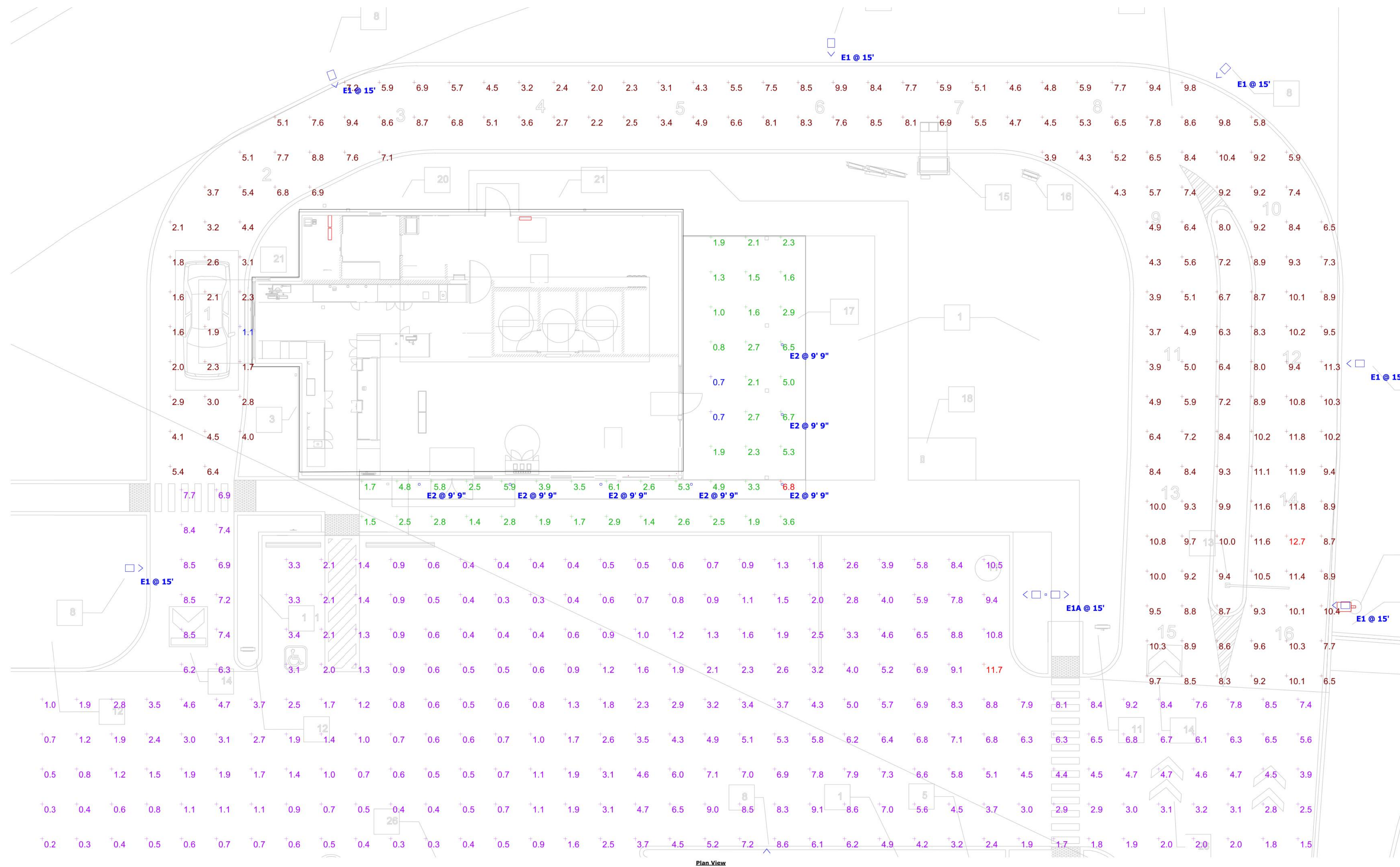


North Elevation



West Elevation

EXTERIOR FINISHES SCHEDULE	
CMP-1	COMPOSITE METAL PANEL - COLOR: BLACK
MLT-1	PREFINISHED COPING - COLOR: BLACK
MLT-2	METAL - PREFINISHED BRASS METAL - COLOR: BLACK
PT-1	EIFS OR STUCCO - BENJAMIN MOORE - COLOR: REVERE FEWTER - HC-112
PT-2	EIFS OR STUCCO - BENJAMIN MOORE - COLOR: WOODCLIFF LAKE - 980
RSCN	ROOF SCREEN PANEL- HORIZONTAL RIBBED PANEL BY ROOF SCREEN
STFR-1	PREFINISHED ALUMINUM STOREFRONT - COLOR: MATT BLACK



Plan View

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage
	E1	7	Lithonia Lighting	ESX1 LED P2 40K R3 MVOLT BLS DDBXD H2		LED	13917	0.85	97.59
	E1A	1	Lithonia Lighting	ESX1 LED P2 40K R3 MVOLT BLS DDBXD H2		LED	13917	0.85	195.18
	E2	7	Gotham Architectural Lighting	EVO4SH 40/10 DFR SOL MVOLT (driver) (options)		LED	621	0.85	8.8

Finish	Surface	Reflectance/Transmittance
Ground	Floor	20
Building Surfaces	Walls/Ceilings	30

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Drivethru 0'-0"	+	7.0 fc	12.7 fc	1.1 fc	11.5:1	6.4:1
Parking Lot 0'-0"	+	3.3 fc	11.7 fc	0.1 fc	117.0:1	33.0:1
Pathways 0'-0"	+	3.0 fc	6.8 fc	0.7 fc	9.7:1	4.3:1





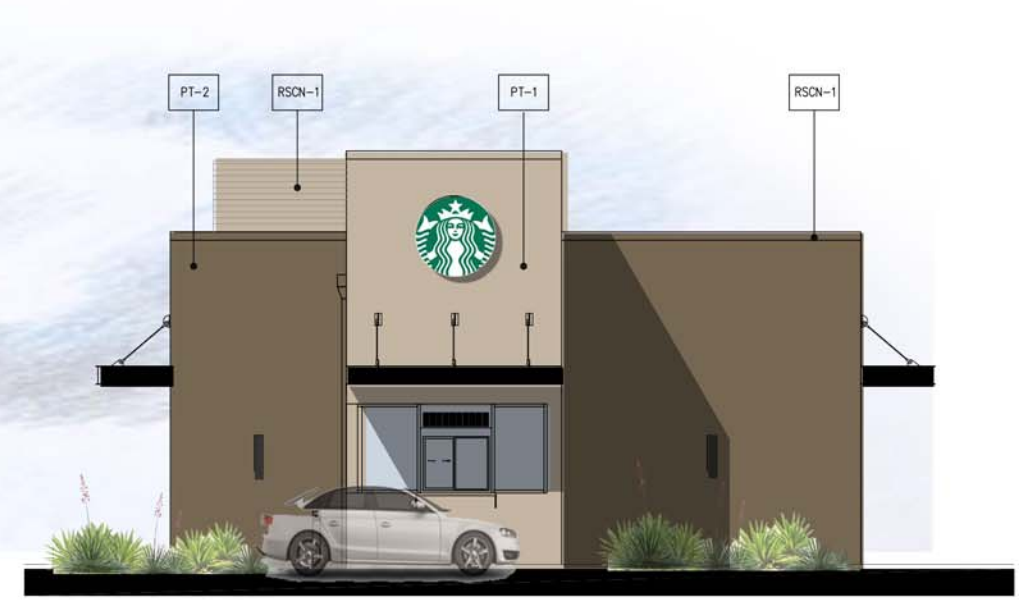
South Elevation



East Elevation



North Elevation



West Elevation



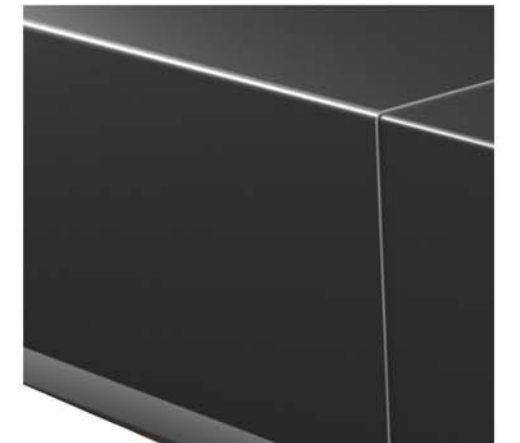
PT-1
Benjamin Moore -
Revere Pewter - HC 172



PT-2
Benjamin Moore -
Woodcliff Lake - 980



CMP-1
Composite Metal Panel



MLT-1
Pre Finished Metal Coping



MLT-2
Pre Finished Brake Metal -
Match storefront



STFR-1
Pre Finished Aluminum Store-
front
Color: Matt Black



RSCN-1
Roof Screen Panel
Horizontal Ribbed Panel
Color to Match PT-1



Exterior Wall Sconce
B-K lighting
Catskill series





WATER EFFICIENT LANDSCAPE WORKSHEET						
3100 Contra Loma Plaza, Antioch, CA						
Reference Evapotranspiration (ETo):		45.4				
Hydrozone #/Planting Description ^A	Plant Factor (PF)	Irrigation Method ^B	Irrigation Efficiency (IE) ^C	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area
REGULAR LANDSCAPE AREAS						
LW	0.30	DRIP	0.81	0.37	4140.00	1533.33
LWTR	0.30	ROTORS	0.78	0.38	18990.00	7303.85
LWTR	0.30	BUBBLERS	0.80	0.38	0.00	0.00
MWTR	0.40	BUBBLERS	0.80	0.50	190.00	95.00
TOTALS:					23320.00	8932.18
ETWU TOTAL						251422.99
Maximum Allowed Water Allowance (MAWA) ^E						295385.11
ETAF CALCULATIONS						
REGULAR LANDSCAPE AREAS						
TOTAL ETAF x AREA			8932.18			
TOTAL AREA			23320.00			
AVERAGE ETAF			0.38			

A Hydrozone # / Planting Description
 MW = Moderate Water use Plants
 LW = Low Water use Plants
 LWTR = Low Water use Trees
 MWTR = Moderate Water use Trees

B Irrigation Method
 R = Rotor
 B = Bubbler
 D = Drip

C Irrigation Efficiency
 0.75 for spray head
 0.80 for bubbler
 0.81 for drip
 0.78 Hunter MP Rotator

D ETWU (Annual Gallons Required)
 ETo x 0.62 x ETAF x Area

Where 0.62 is a conversion factor that converts acre - inches per acre per year to gallons per square foot per year.

E MAWA (Annual Gallons Allowed)
 (ETo)(0.62)(ETAF x LA)

Where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. ETAF is 0.55 for residential areas and 0.45 for non-residential areas.

CONCEPTUAL PLANT LEGEND

- SHADE TREE**
 Arbutus x 'Marina' / Marina Strawberry Tree
 Fraxinus oxycarpa 'Raywood' / Raywood Ash
 Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache
- FLOWERING ACCENT TREE**
 Cercis canadensis 'Forest Pansy' / Forest Pansy Eastern Redbud
 Lagerstroemia indica x fauriei 'Natchez' / Natchez Crape Myrtle
 Prunus cerasifera 'Krauter Vesuvius' / Krauter Vesuvius Purple-leaf Plum
- EXISTING TREE TO REMAIN**
- TALL BACKGROUND SHRUB**
 Berberis x 'Golden Abundance' / Golden Abundance Barberry
 Westringia fruticosa 'Wynabbie Gem' / Wynabbie Gem Coast Rosemary
 Xylosma congestum 'Compacta' / Compact Xylosma
- MEDIUM SHRUB**
 Callistemon viminalis 'Little John' / Little John Weeping Bottlebrush
 Grevillea x 'Noellii' / Noel Grevillea
 Leucophyllum candidum 'Thunder Cloud' TM / Thunder Cloud Texas Sage
 Nandina domestica 'Plum Passion' / Plum Passion Heavenly Bamboo
- ACCENT SHRUB**
 Aeonium x 'Sunburst' / Sunburst Aeonium
 Dietes bicolor / Fortnight Lily
 Helictotrichon sempervirens / Blue Oat Grass
 Rosa x 'Meigalpio' TM / Red Drift Groundcover Rose
 Russelia equisetiformis / Firecracker Plant
- LOW SHRUB**
 Cistus x pulverulentus 'Sunset' / Sunset Rockrose
 Correa x 'Dusky Bells' / Dusky Bells Australian Fuchsia
 Muhlenbergia rigens / Deer Grass
 Rosa x 'Meigalpio' TM / Red Drift Groundcover Rose
- VINE AT TRASH ENCLOSURE**
 Ficus repens / Creeping Fig
 Macfadyena unguis-cati / Cats Claw Creeper
- ACCENT SHRUB ON SLOPE**
 Arctostaphylos x 'John Dourley' / John Dourley Manzanita
 Ceanothus x 'Concha' / Concha Wild Lilac
 Echium fastuosum 'Select Blue' / Blue Pride of Madeira
- SPREADING SHRUBS**
 Arctostaphylos x 'Pacific Mist' / Pacific Mist Manzanita
 Correa x 'Ivory Bells' / Ivory Bells Australian Fuchsia
 Lantana montevidensis 'Spreading White' / White Trailing Lantana
- LOW GROUNDCOVER**
 Achillea millefolium / Common Yarrow
 Dymondia margaretae / Silver Carpet Dymondia
 Lippia nodiflora 'Kurapia S1' TM / Kurapia
 Senecio serpens / Blue Chalksticks
- SLOPE GROUND COVER**
 Baccharis pilularis 'Twin Peaks' / Twin Peaks Coyote Brush
 Myoporum parvifolium 'Prostratum' / Prostrate Trailing Myoporum
- RIVER ROCK**
- STABILIZED DECOMPOSED GRANITE**
- BIORETENTION BASIN**
 Achillea filipendulina / Fernleaf Yarrow
 Baccharis pilularis 'Twin Peaks' / Twin Peaks Coyote Brush
 Carex pansa / Sandstone Sedge
 Epilobium canum / California Fuchsia
 Muhlenbergia rigens / Deer Grass

DESIGN STATEMENT:
 The landscape for this proposed development is designed to:

- provide a water-conserving landscape
- shade parking and paved areas
- screen parking, trash enclosure, and drive-thru lanes from streets
- provide landscaping to complement the building

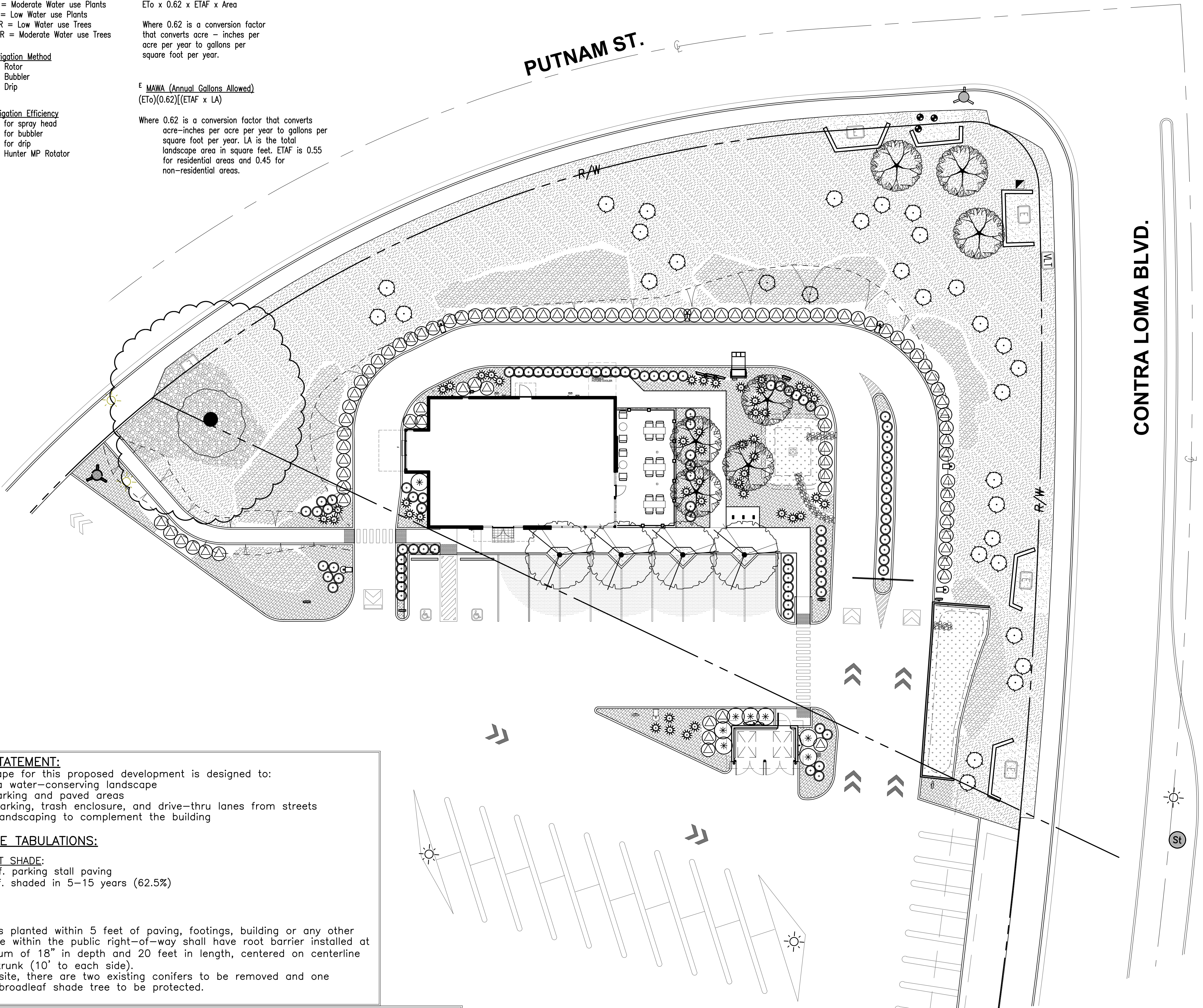
LANDSCAPE TABULATIONS:
PARKING LOT SHADE:
 2086 s.f. parking stall paving
 1303 s.f. shaded in 5-15 years (62.5%)

NOTES:

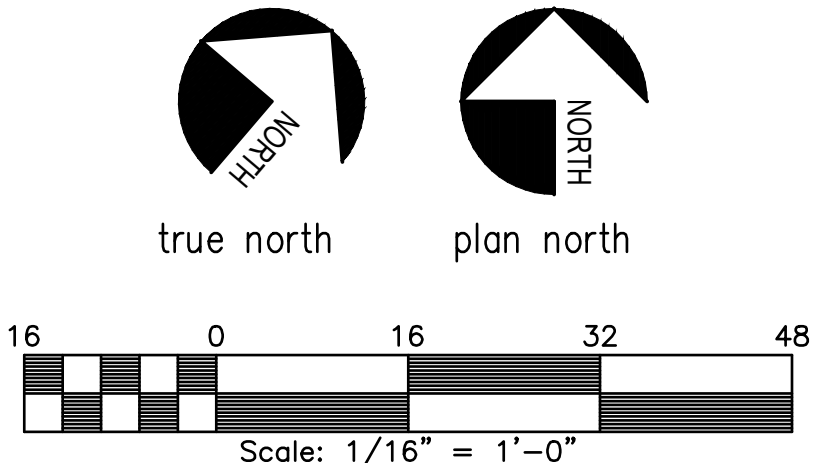
1. Any trees planted within 5 feet of paving, footings, building or any other hardscape within the public right-of-way shall have root barrier installed at a minimum of 18" in depth and 20 feet in length, centered on centerline of tree trunk (10' to each side).
2. On this site, there are two existing conifers to be removed and one existing broadleaf shade tree to be protected.

IRRIGATION NOTES:

- Automatic irrigation system to be installed that is water efficient, appropriate for the landscape hydrozones and provides 100% coverage.
- Landscape planting will meet MAWA water use requirements by using a low water efficient irrigation system and weather based smart controller.
- Landscape planting to be irrigated the following ways:
 - Trees: stream bubblers
 - Planting near building: drip irrigation
 - Planting on slopes: MP Rotators
- Irrigation plans shall provide separate systems for tree stream bubblers.
- Weather based smart controller such as Hunter X-Core, or Hunter PCC will be used.



CONCEPTUAL LANDSCAPE PLAN

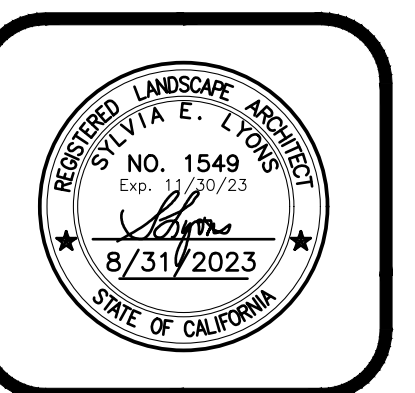


REVISIONS	BY

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF ROYAL OAK DESIGN AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ROYAL OAK DESIGN. ANY UNAUTHORIZED USE OF THESE DRAWINGS IS PROHIBITED AND SHALL BE BROUGHT TO THE ATTENTION OF ROYAL OAK DESIGN PRIOR TO COMMENCEMENT OF THE WORK.

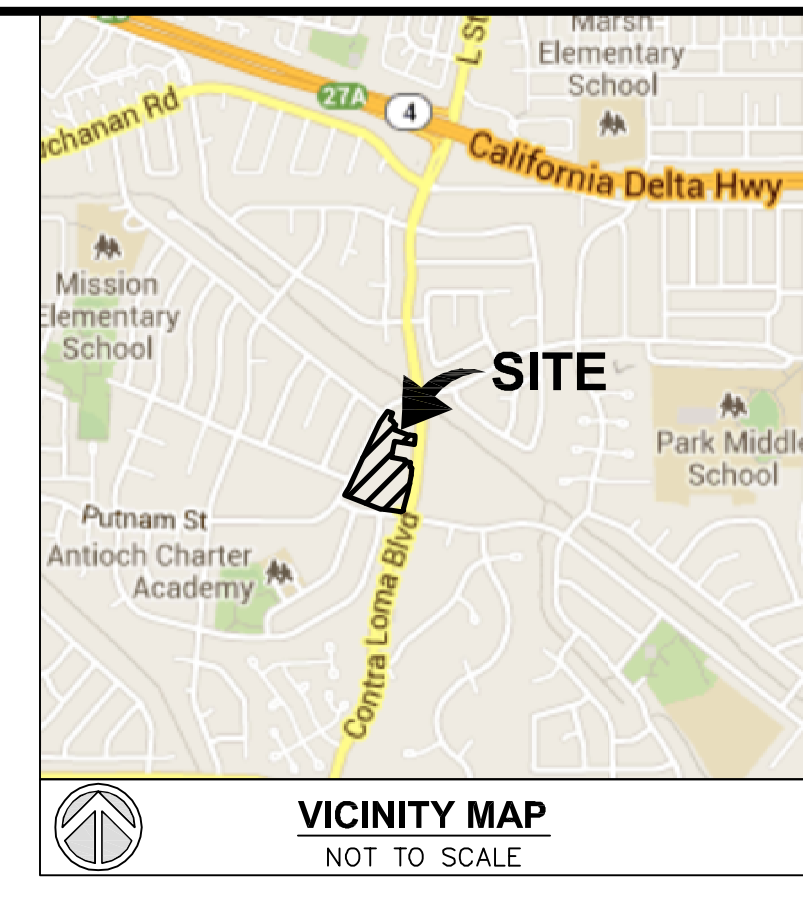
ROYAL OAK DESIGN
 Sylvia E. Lyons, Landscape Architect #1549
 10252 Golden Yarrow Lane
 Alta Loma, CA 91701
 Telephone: (909)244-9667
 Email: royaloakdesign@verizon.net

CONCEPTUAL LANDSCAPE PLAN
PROPOSED STARBUCKS
3100 Contra Loma Blvd., Antioch, CA



DRAWN	JS/S.L.
DATE	8/31/2023
SCALE	1/16" = 1'-0"
SHEET NO.	5452
SHEET	

L-1

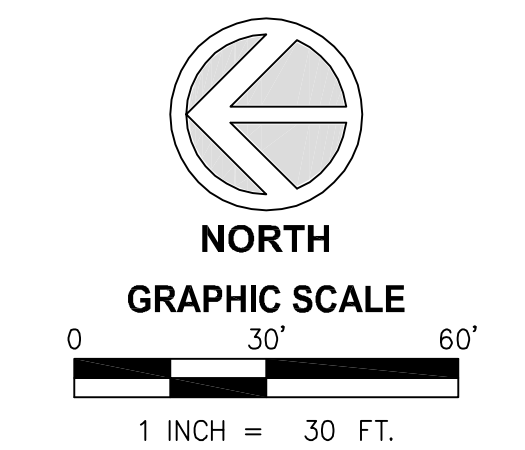


ALTA/ACSM LAND TITLE
SURVEY PREPARED FOR:

**Phillips Edison &
Company**
11501 Northlake Drive
Cincinnati, Ohio 45249

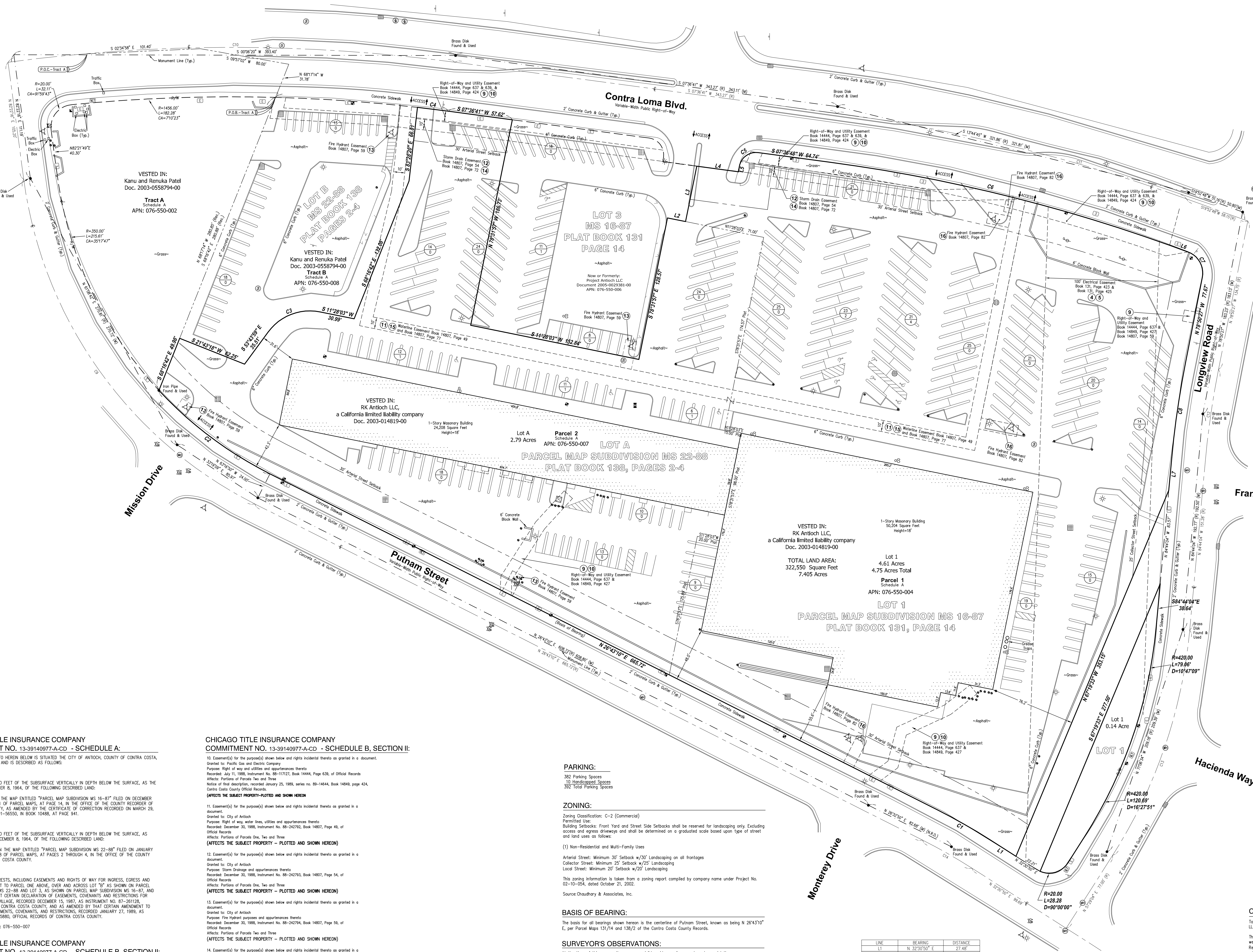
virtualsurveyor
for more information
visit <http://vimeo.com/25774136>

3100 Contra Loma Blvd
City of Antioch
County of Contra Costa
State of CA



Surveyor's Seal

Sheet No. **1** of **1**



SYMBOL LEGEND

- R/W - Right-of-Way
- C - Centerline
- S - Schedule B-Section II Item
- M - Measure
- R - Record (Book 131, pg 14 & Book 138, pg 2)
- N.R.D. - No Recorded Distance
- M - Monumentation Found as Noted
- N.P.S. - No of Regular Parking Spaces
- H.P.S. - No of Handicap Parking Spaces
- M - Manhole
- SM - Storm Manhole
- CS - Catch Basin
- CV - Curb Inlet Basin w/ Gate
- FI - Fire Hydrant
- WV - Water Valve
- GV - Gas Valve
- EV - Electric Vault
- TV - Telephone Pedestal
- UV - Utility Vault
- UM - Underground Utility Marker
- SP - Sign
- LP - Light Pole
- SL - Sanitary Sewer
- WL - Water Line
- CA - Concrete Area
- PA - No Parking Area
- BA - Building Area

CERTIFICATION:
To Phillips Edison & Company LLC, Contra Loma Station LLC, RK Antioch LLC, and Chicago Title Insurance Company.
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 2, 3, 4, 6(a), 7(a), 7(b), 8, 9, 10, 11(c), 13, 15, 16, 17 and 18 of Table A thereof. The field work was completed on May 24, 2013.
This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Professional Land Surveyors Act of the request of client name on May 9, 2013.

By:
James W. McNeely, PLS
Licensed Land Surveyor No. 5158
within the State of California
For and on behalf of Millman Surveying, Inc.

REVISION HISTORY

BY:	DATE:	COMMENT:
DD	6.16.13	CLIENT COMMENTS
WW	6.24.13	CLIENT COMMENTS
WW	7.9.13	CLIENT COMMENTS
FF	8.15.13	CLIENT COMMENTS

LINE

LINE	BEARING	DISTANCE
L1	N 32°30'50" E	27.48
L2	S 11°28'03" W	16.40
L3	S 7°50'13" E	56.28
L4	S 07°36'48" W	37.58
L5	S 87°21'39" E	4.81
L6	S 19°52'48" W	17.38
L7	N 84°44'04" E	29.07

MISCELLANEOUS NOTES:

- There is direct access to the subject property via Putnam Street and Contra Loma Boulevard and Putnam Street, both public right-of-ways.
- The locations of all utilities shown on the survey are from visible surface evidence only.
- The posted address on site is 3100 Contra Loma Blvd, Antioch, CA.
- At the time of this survey, there was no observable evidence of earth moving work, building construction or building additions within recent months.
- At the time of this survey, there was no observable evidence of any recent changes in street right-of-way lines other than what is shown on the survey.
- At the time of this survey, there was no observable evidence of any recent changes in street right-of-way lines other than what is shown on the survey.
- The Property surveyed and shown hereon is the same property described in Schedule A of Chicago Title Company Title Commitment No. 13-39140977-A-CD with an effective date of June 12, 2013.

**CHICAGO TITLE INSURANCE COMPANY
COMMITMENT NO. 13-39140977-A-CD - SCHEDULE A:**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED THE CITY OF ANTIPOCH, COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL ONE:
THE SURFACE AND 500 FEET OF THE SUBSURFACE VERTICALLY IN DEPTH BELOW THE SURFACE, AS THE SAME EXISTED DECEMBER 8, 1964, OF THE FOLLOWING DESCRIBED LAND:

LOT 1, AS SHOWN ON THE MAP ENTITLED "PARCEL MAP SUBDIVISION MS 16-87" FILED ON DECEMBER 12, 1989, IN BOOK 131 OF PARCEL MAPS, AT PAGE 14, IN THE OFFICE OF THE COUNTY RECORDER OF CONTRA COSTA COUNTY, AS AMENDED BY THE CERTIFICATE OF CORRECTION RECORDED ON MARCH 29, 1991 AS SERIES NO. 91-56550, IN BOOK 10488, AT PAGE 841.

PARCEL TWO:
THE SURFACE AND 500 FEET OF THE SUBSURFACE VERTICALLY IN DEPTH BELOW THE SURFACE, AS THE SAME EXISTED DECEMBER 8, 1964, OF THE FOLLOWING DESCRIBED LAND:

LOT "A" AS SHOWN ON THE MAP ENTITLED "PARCEL MAP SUBDIVISION MS 22-88" FILED ON JANUARY 12, 1989, IN BOOK 138 OF PARCEL MAPS, AT PAGE 2 THROUGH 4, IN THE OFFICE OF THE COUNTY RECORDER OF CONTRA COSTA COUNTY.

PARCEL THREE:
ALL RIGHTS AND INTERESTS, INCLUDING EASEMENTS AND RIGHTS OF WAY FOR INGRESS, EGRESS AND PARKING APPURTINANT TO PARCEL ONE ABOVE, OVER AND ACROSS LOT "B" AS SHOWN ON PARCEL MAP SUBDIVISION MS 22-88 AND LOT 3, AS SHOWN ON PARCEL MAP SUBDIVISION MS 16-87, AND AS SET FORTH IN THAT CERTAIN DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS FOR "PRY'S CONTRA LOMA VILLAGE," RECORDED DECEMBER 15, 1987, AS INSTRUMENT NO. 87-261126, OFFICIAL RECORDS OF CONTRA COSTA COUNTY, AND AS AMENDED BY THAT CERTAIN AMENDMENT TO DECLARATION OF EASEMENTS, COVENANTS, AND RESTRICTIONS, RECORDED JANUARY 27, 1989, AS INSTRUMENT NO. 89-18680, OFFICIAL RECORDS OF CONTRA COSTA COUNTY.
APN: 076-550-004 & 076-550-007

**CHICAGO TITLE INSURANCE COMPANY
COMMITMENT NO. 13-39140977-A-CD - SCHEDULE B, SECTION II:**

Numbers correspond with survey-related Schedule B exception items contained in the above referenced Title Commitment.

1. Easement(s) for the purpose(s) shown below and rights incidental thereto as granted in a document.
Granted to: Great Western Power Co.
Purpose: Utility poles, towers, lines and appurtenances thereto.
Recorded: December 10, 1907, Book 131, Page 423, deeds.
Affects: Southerly portions of Parcel One. (AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)
2. Easement(s) for the purpose(s) shown below and rights incidental thereto as granted in a document.
Granted to: Great Western Power Co.
Purpose: Utility poles, towers, lines and appurtenances thereto.
Recorded: December 10, 1907, Book 131, Page 423, deeds.
Affects: Southerly portions of Parcel One. (AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)
3. Easement(s) for the purpose(s) shown below and rights incidental thereto as granted in a document.
Granted to: Pacific Gas and Electric Company.
Purpose: Right of way and utilities and appurtenances thereto.
Recorded: July 11, 1988, Instrument No. 88-117126, Book 1444, Page 637, of Official Records.
Affects: Portions of Parcel One.
Notice of Final Description recorded January 25, 1989, as series no. 89-14645, at page 427, Contra Costa County Official Records. (AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

**CHICAGO TITLE INSURANCE COMPANY
COMMITMENT NO. 13-39140977-A-CD - SCHEDULE B, SECTION II:**

10. Easement(s) for the purpose(s) shown below and rights incidental thereto as granted in a document.
Granted to: Pacific Gas and Electric Company.
Purpose: Right of way and utilities and appurtenances thereto.
Recorded: July 11, 1988, Instrument No. 88-117127, Book 1444, Page 638, of Official Records.
Affects: Portions of Parcel One and Two.
Notice of Final Description, recorded January 25, 1989, as series no. 89-14644, Book 14849, page 424, Contra Costa County Official Records. (AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

11. Easement(s) for the purpose(s) shown below and rights incidental thereto as granted in a document.
Granted to: City of Antioch.
Purpose: Right of way, water lines, utilities and appurtenances thereto.
Recorded: December 30, 1988, Instrument No. 88-242762, Book 14807, Page 49, of Official Records.
Affects: Portions of Parcel One, Two and Three.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

12. Easement(s) for the purpose(s) shown below and rights incidental thereto as granted in a document.
Granted to: City of Antioch.
Purpose: Storm drainage and appurtenances thereto.
Recorded: December 30, 1988, Instrument No. 88-242763, Book 14807, Page 54, of Official Records.
Affects: Portions of Parcel One, Two and Three.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

13. Easement(s) for the purpose(s) shown below and rights incidental thereto as granted in a document.
Granted to: City of Antioch.
Purpose: Fire hydrant appurtenances thereto.
Recorded: December 30, 1988, Instrument No. 88-242764, Book 14807, Page 58, of Official Records.
Affects: Portions of Parcel One and Two.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

14. Easement(s) for the purpose(s) shown below and rights incidental thereto as granted in a document.
Granted to: City of Antioch.
Purpose: Meter lines.
Recorded: December 30, 1988, Instrument No. 88-242765, Book 14807, Page 77, of Official Records.
Affects: Portions of Parcel One and Two.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

15. Easement(s) for the purpose(s) shown below and rights incidental thereto as granted in a document.
Granted to: City of Antioch.
Purpose: Fire hydrant appurtenances thereto.
Recorded: December 30, 1988, Instrument No. 88-242766, Book 14807, Page 82, of Official Records.
Affects: Portions of Parcel One.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

16. Easement(s) for the purpose(s) shown below and rights incidental thereto as granted in a document.
Granted to: City of Antioch.
Purpose: Fire hydrant appurtenances thereto.
Recorded: December 30, 1988, Instrument No. 88-242767, Book 14807, Page 82, of Official Records.
Affects: Portions of Parcel One.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

PARKING:

382 Parking Spaces
12 Handicap Spaces
392 Total Parking Spaces

ZONING:

Zoning Classification: C-2 (Commercial)
Permitted Use:
Building Setbacks: Front Yard and Street Side Setbacks shall be reserved for landscaping only. Excluding access and egress driveways and shall be determined on a graduated scale based upon type of street and land uses as follows:
(1) Non-Residential and Multi-Family Uses
Arterial Street: Minimum 30' Setback w/30' Landscaping on all frontages
Collector Street: Minimum 25' Setback w/25' Landscaping
Local Street: Minimum 20' Setback w/20' Landscaping
This zoning information is taken from a zoning report compiled by company name under Project No. 02-10-054, dated October 21, 2002.
Source: Chouhary & Associates, Inc.

BASIS OF BEARING:

The basis for all bearings shown herein is the centerline of Putnam Street, known as being N 26°43'10" E, per Parcel Maps 131/14 and 138/2 of the Contra Costa County Records.

SURVEYOR'S OBSERVATIONS:

At the time of this survey, there was no visible evidence of encroachments or violations.

FLOOD ZONE:

By scaled map location and graphic plotting only, the subject property appears to be entirely in Zone X-Unshaded (Areas determined to be outside the 0.2% annual chance floodplain) according to the Flood Insurance Rate Map for the County of Contra Costa, Community Panel No. 060100327, Effective Date June 16, 2009.

MISCELLANEOUS NOTES:

- There is direct access to the subject property via Putnam Street and Contra Loma Boulevard and Putnam Street, both public right-of-ways.
- The locations of all utilities shown on the survey are from visible surface evidence only.
- The posted address on site is 3100 Contra Loma Blvd, Antioch, CA.
- At the time of this survey, there was no observable evidence of earth moving work, building construction or building additions within recent months.
- At the time of this survey, there was no observable evidence of any recent changes in street right-of-way lines other than what is shown on the survey.
- At the time of this survey, there was no observable evidence of any recent changes in street right-of-way lines other than what is shown on the survey.
- The Property surveyed and shown hereon is the same property described in Schedule A of Chicago Title Company Title Commitment No. 13-39140977-A-CD with an effective date of June 12, 2013.

PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN

CONTRA LOMA STARBUCKS

CONTRA LOMA PLAZA

CITY OF ANTIOCH
 COUNTY OF CONTRA COSTA
 STATE OF CALIFORNIA

ABBREVIATIONS

- AB - AGGREGATE BASE
- AC - ASPHALT CONCRETE
- BC - BEGINNING OF CURVE
- BGL - BOTTOM OF GRAVEL LAYER
- BR - BIO-RETENTION AREA
- BRW - BOTTOM OF RETAINING WALL
- BUAD - BUBBLE-UP AREA DRAIN
- BVCE - BEGIN VERTICAL CURVE ELEVATION
- BVCS - BEGIN VERTICAL CURVE STATION
- C&G - CURB & GUTTER
- CB - CATCH BASIN
- CC - CURB CUT
- CCCc - CONTRA COSTA COUNTY
- CL - CENTER LINE, CLASS
- CO - CLEANOUT
- COA - CITY OF ANTIOCH
- CONC - CONCRETE
- CR - CURB RETURN
- DET - DETAIL
- DI - DRAIN INLET
- DWY - DRIVEWAY
- DWG - DRAWING
- EC - END OF CURVE
- EG - EXISTING GROUND ELEVATION
- ELEV - ELEVATION
- EP - EDGE OF PAVEMENT
- ESMT - EASEMENT
- EVCE - END VERTICAL CURVE ELEVATION
- EVCS - END VERTICAL CURVE STATION
- EXIST/EX - EXISTING
- F - FIRE
- FC - FACE OF CURB
- FDC - FIRE DEPARTMENT CONNECTION
- FF - FINISH FLOOR ELEVATION
- FG - FINISH GRADE ELEVATION
- FH - FIRE HYDRANT
- FL - FLOWLINE
- FS - FIRE SERVICE
- G - GRATE ELEVATION
- GB - GRADE BREAK
- H - HIGH
- HORIZ - HORIZONTAL
- HP - HIGH POINT
- INV - INVERT
- JT - JOINT TRENCH
- LF - LINEAR FEET
- LT - LEFT
- MAX - MAXIMUM
- MH - MANHOLE
- MIN - MINIMUM
- MISC - MISCELLANEOUS
- MON - MONUMENT
- N - NORTH
- NTS - NOT TO SCALE
- OC - ON CENTER
- PAE - PRIVATE ACCESS EASEMENT
- PCC - PORTLAND CEMENT CONCRETE
- PI - POINT OF INTERSECTION
- R - PROPERTY LINE
- PRC - POINT OF REVERSE CURVE
- PSE - PUBLIC SERVICE EASEMENT
- PSDE - PRIVATE STORM DRAIN EASEMENT
- PSSE - PRIVATE SANITARY SEWER EASEMENT
- PUE - PUBLIC UTILITY EASEMENT
- PVAW - PRIVATE VEHICLE ACCESSWAY
- PVC - POLYVINYL CHLORIDE
- PVI - POINT OF VERTICAL INTERSECTION
- PVMT - PAVEMENT
- PWLE - PRIVATE WATER LINE EASEMENT
- RCP - REINFORCED CONCRETE PIPE
- RT - RIGHT
- R/W - RIGHT OF WAY
- S - SLOPE, SOUTH
- SD - STORM DRAIN
- SDWK - SIDEWALK
- SF - SQUARE FEET
- SO - SIDE OPENING
- SS - SANITARY SEWER
- SSCO - SANITARY SEWER CLEANOUT
- SSE - SANITARY SEWER EASEMENT
- SSMH - SANITARY SEWER MANHOLE
- SSRI - SANITARY SEWER RODDING INLET
- STA - STATION
- STD - STANDARD
- SXD - SIDEWALK CROSS DRAIN
- TB - TOP OF BANK
- TC - TOP OF CURB
- TEMP - TEMPORARY
- TGL - TOP OF GRAVEL LAYER
- TRW - TOP OF RETAINING WALL
- TSL - TOP OF SOIL LAYER
- TYP - TYPICAL
- VC - VERTICAL CURVE
- VERT - VERTICAL
- VG - VALLEY GUTTER
- WM - WATER METER
- WS - WATER SERVICE

OWNER/DEVELOPER

PHILLIP EDISON
 3247 SANTA FE ROAD
 PARK CITY, UT 84098
 (801) 415-4364

CIVIL ENGINEER

APEX CIVIL ENGINEERING & LAND SURVEYING
 817 ARNOLD DRIVE, SUITE 50
 MARTINEZ, CA 94553
 (925) 476-8499

ARCHITECT

JAG ARCHITECTURE
 15 HUBBLE, SUITE 200
 IRVINE, CA 92618
 (949) 752-9333

BENCHMARK

EBMUD BRASS DISK STAMPED
 P3349+75.04 EL=72.46. ELEVATION WAS
 ADJUSTED TO NAVD 88 USING CORPSCON
 CONVERSION OF +2.66' ELEVATION=75.12

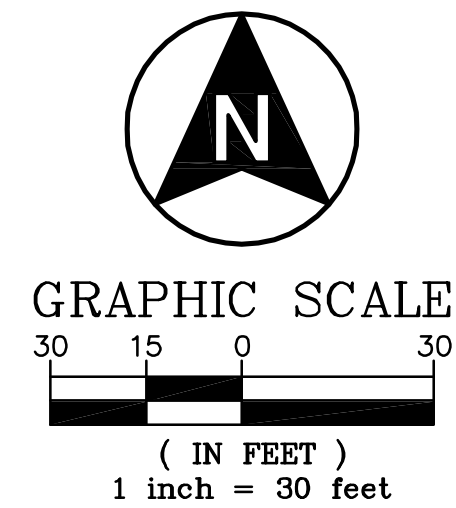
BASIS OF BEARINGS

BEARINGS ARE BASED ON THE MONUMENT
 LINE OF PUTNAM STREET AS SHOWN ON THE
 PARCEL MAP OF MS 16-87 (131 PM 14)
 TAKEN AS N 26°43'10" E BETWEEN FOUND
 MONUMENTS



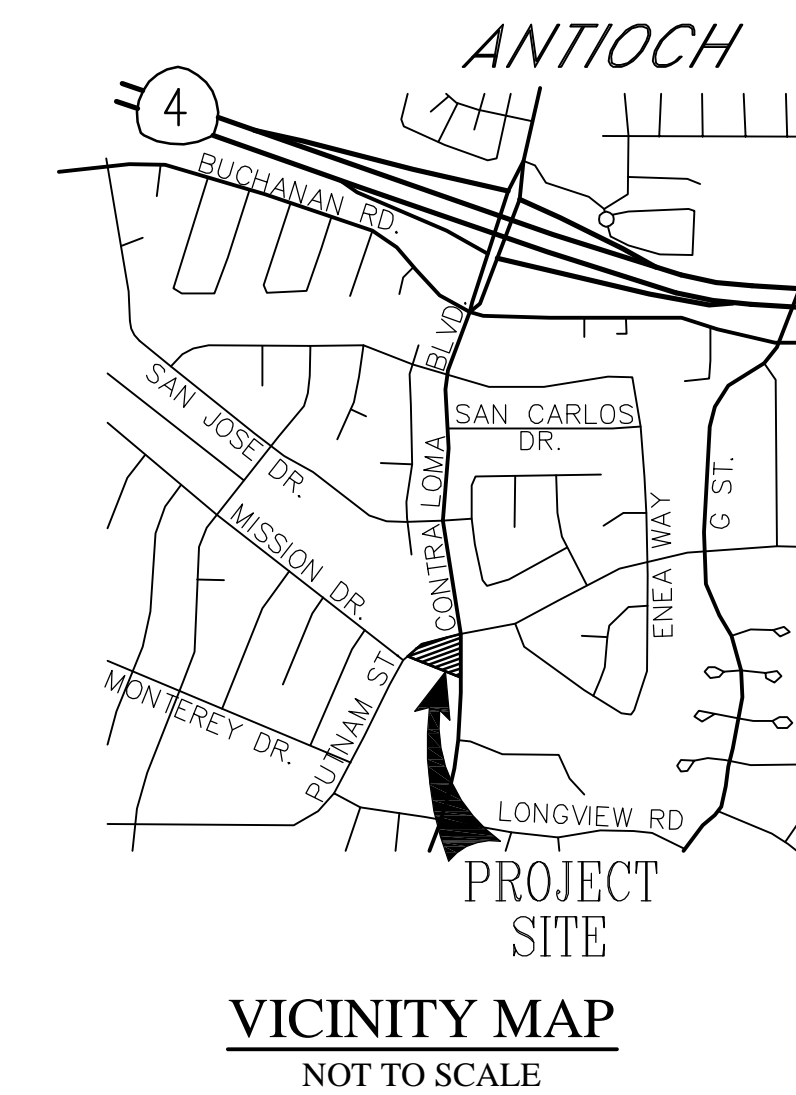
NOTE:

THE LOCATION OF ALL EXISTING
 UTILITIES SHOWN ON THE PLANS HAVE
 BEEN DETERMINED FROM THE BEST
 INFORMATION AVAILABLE. IT SHALL BE
 THE CONTRACTOR'S RESPONSIBILITY TO
 NOTIFY THE VARIOUS UTILITIES AND
 EXERCISE EXTREME CAUTION IN AREAS
 OF BURIED UTILITIES DURING
 CONSTRUCTION.



DEMOLITION KEY LEGEND

- ① EXISTING CONCRETE CURB TO BE REMOVED
- ② EXISTING ASPHALT TO BE REMOVED
- ③ EXISTING TREE TO BE REMOVED

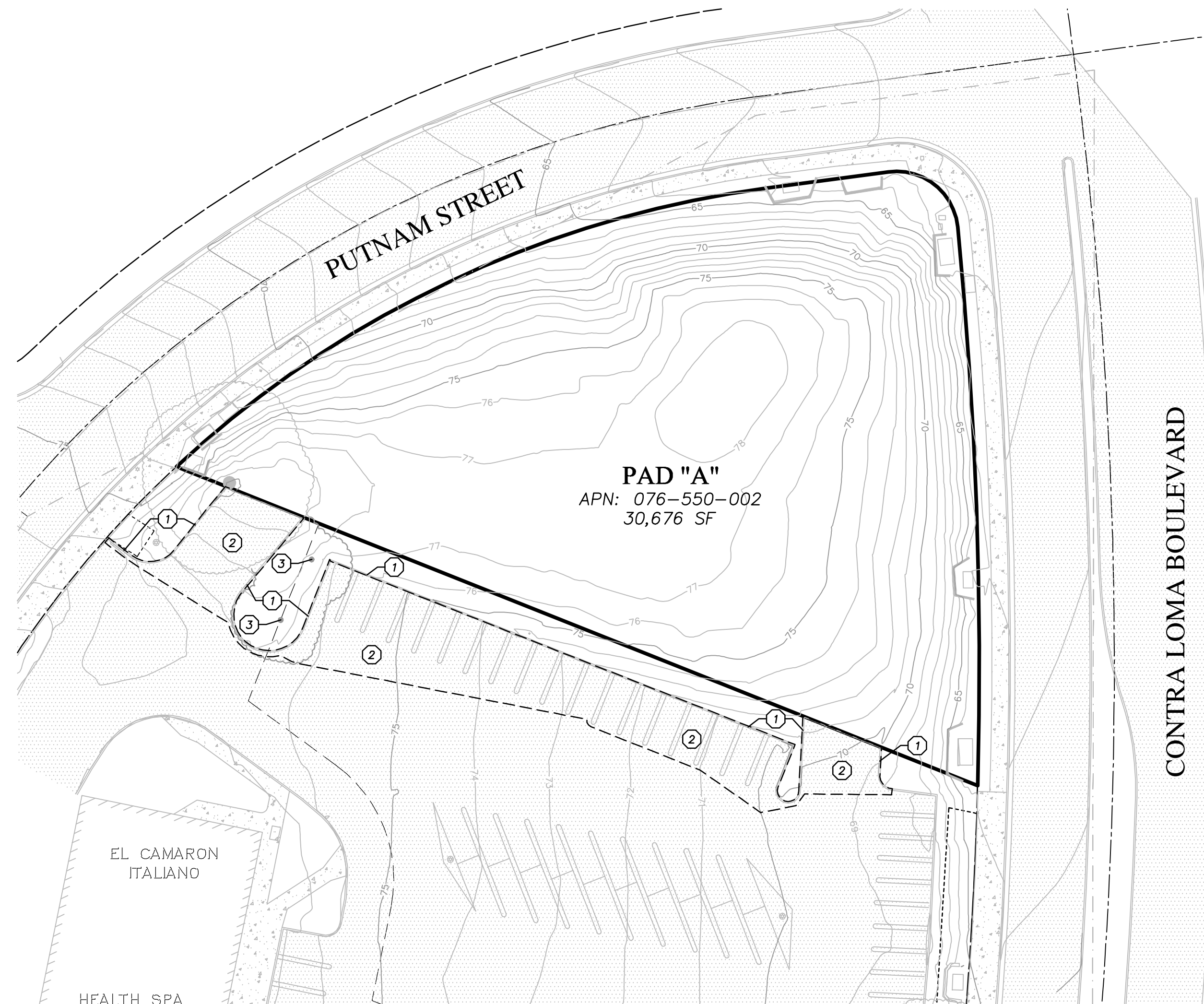


SHEET INDEX

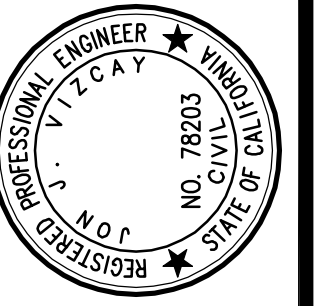
SHEET No.	DESCRIPTION
C1	TITLE SHEET
C2	GENERAL NOTES, SECTIONS & DETAILS
C3-C4	PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
C5	PRELIMINARY C.3 STORM WATER CONTROL PLAN

LEGEND

EXISTING	PROPOSED	ITEM
[Symbol]	[Symbol]	PAVEMENT
[Symbol]	[Symbol]	SIDEWALK
[Symbol]	[Symbol]	CURB & GUTTER
[Symbol]	[Symbol]	SANITARY SEWER MAIN
[Symbol]	[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	[Symbol]	STORM DRAIN LINE
[Symbol]	[Symbol]	STORM DRAIN MH
[Symbol]	[Symbol]	INLET OR CATCH BASIN
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	WATER LINE & VALVE
[Symbol]	[Symbol]	WATER METER
[Symbol]	[Symbol]	AIR RELEASE VALVE
[Symbol]	[Symbol]	SIGN
[Symbol]	[Symbol]	STREET LIGHT
[Symbol]	[Symbol]	UTILITY POLE
[Symbol]	[Symbol]	STREET MONUMENTS
[Symbol]	[Symbol]	CONTOURS
[Symbol]	[Symbol]	DIRECTION OF DRAINAGE FLOW
[Symbol]	[Symbol]	RETAINING WALL



SITE PLAN
 SCALE: 1"=60'



817 Arnold Drive, Ste. 50
 Martinez, CA 94553
 Ph: (925) 476-8499
 www.apexce.net



NO.	REVISIONS	BY	APP	DATE

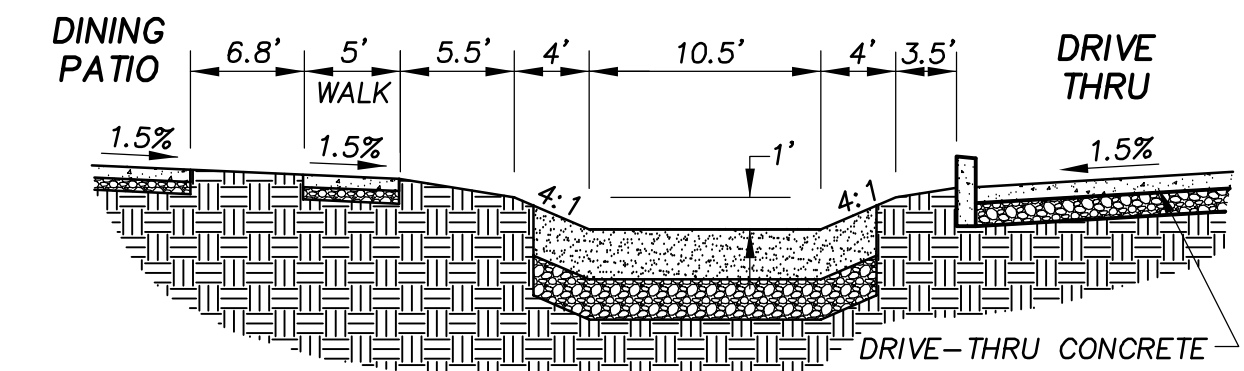
PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN
 TITLE SHEET
 CONTRA LOMA STARBUCKS
 CONTRA LOMA PLAZA, ANTIOCH, CA

SHEET	C1
DATE	09-07-2023
PROJECT #:	19022

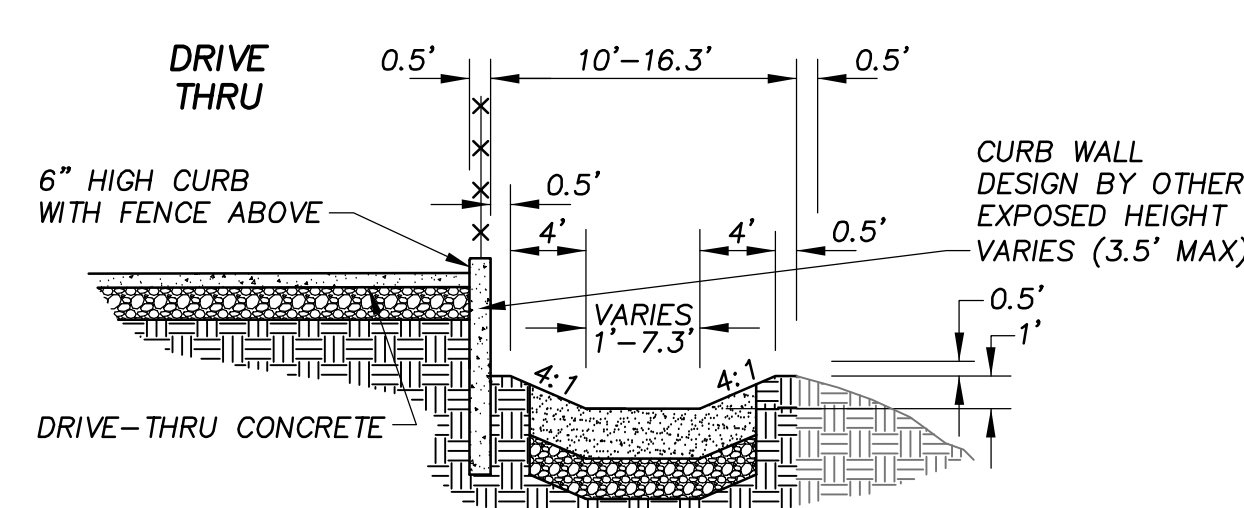
GENERAL NOTES

- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ANTIOCH STANDARD SPECIFICATIONS AND DETAILS SUBJECT TO THE INSPECTION AND APPROVAL OF THE ENGINEERING DIVISION OF THE PUBLIC WORKS DEPARTMENT. ALL REVISIONS MUST BE APPROVED BY THE CITY PRIOR TO CONSTRUCTION.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, A PRE-JOB CONFERENCE SHALL BE REQUESTED BY THE DEVELOPER THROUGH THE CITY ENGINEER, 925-779-7080.
- APPROVAL OF THESE PLANS BY THE CITY ENGINEER SHALL NOT RELIEVE THE DEVELOPER OR THE ENGINEER FROM THE RESPONSIBILITY FOR THE DESIGN OF THE IMPROVEMENTS AND FOR ANY DEFICIENCIES RESULTING FROM THE DESIGN THEREOF.
- THE DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS FROM OTHER REGULATORY AGENCIES FOR PROJECTS WITHIN SENSITIVE AREAS OR WHICH HAVE SIGNIFICANT STORM WATER POLLUTION POTENTIAL. OTHER REGULATORY AGENCIES INCLUDE, BUT ARE NOT LIMITED TO, THE REGIONAL WATER QUALITY CONTROL BOARD, DEPARTMENT OF FISH AND GAME AND ARMY CORPS OF ENGINEERS.
- A PERMIT SHALL BE REQUIRED FROM THE HEALTH SERVICES DEPARTMENT OF CONTRA COSTA COUNTY TO DRILL, REPAIR, OR ABANDON A WELL.
- IF THE CITY OF ANTIOCH STANDARD PLANS AND RECOMMENDATIONS BY THE DEVELOPER'S ENGINEER AND/OR SOILS ENGINEER DIFFER, THE CITY ENGINEER SHALL DETERMINE WHICH SHALL APPLY.
- ALL LANDSCAPING IS SUBJECT TO CITY INSPECTION. ANY CHANGE IN THE APPROVED LANDSCAPE PLAN MUST BE APPROVED BY THE CITY'S DESIGN REVIEW STAFF.
- CITY STANDARD PLANS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 SS-04 SEWER LATERAL CLEANOUT
 SS-05 SEWER LATERAL WYE
 ST-22a TYPICAL 90° PARKING STALL LAYOUT
 ST-26 MINIMUM PAVEMENT THICKNESS
 W-14 DOUBLE DETECTOR CHECK FIRE LINE BACKFLOW ASSEMBLY
- A TITLE REPORT DATED AT LEAST 6 MONTHS PRIOR TO DESIGN REVIEW APPROVAL DATE WILL BE REQUIRED AT THE TIME OF PROJECT APPROVAL.
- THE PROJECT IS REQUIRED TO PROVIDE FRONTAGE IMPROVEMENTS. THIS INCLUDES BRINGING ALL SIDEWALK, CURB, GUTTER AND PAVING TO CENTERLINE ALONG THE PROJECT FRONTAGE INTO COMPLIANCE WITH CITY STANDARDS AND REPAIRING OR REPLACING ANY EXISTING FRONTAGE IMPROVEMENTS DETERMINED BY THE CITY ENGINEER TO BE DAMAGED, DURING OR PRIOR TO PROJECT CONSTRUCTION. THESE IMPROVEMENTS SHALL BE SHOWN AS PROPOSED NEW OR REPLACED ON THE PROJECT PLANS. SHOULD THE CITY ENGINEER DETERMINE THAT EXISTING IMPROVEMENTS MEET CITY STANDARDS, AND ARE IN ACCEPTABLE CONDITION, THE APPLICANT'S RESPONSIBILITY TO INSTALL/REPAIR/REPLACE THE IMPROVEMENTS WILL BE CONSIDERED MET.
- AN ENCROACHMENT PERMIT IS REQUIRED FOR WORK ASSOCIATED WITH THE FRONTAGE IMPROVEMENTS AND FOR ANY WORK LOCATED IN THE PUBLIC RIGHT-OF-WAY. THE ENCROACHMENT PERMIT APPLICATION IS TYPICALLY MADE BY THE GENERAL CONTRACTOR AND THE ENCROACHMENT PERMIT MUST BE ISSUED PRIOR TO A SITE DEVELOPMENT OR BUILDING PERMIT.
- GRADING SHALL CONFORM TO THE GRADING ORDINANCE OF THE CITY OF ANTIOCH MUNICIPAL CODE. THE GRADING PLAN AND SITE IMPROVEMENT PLAN SHALL BE APPROVED BY THE CITY ENGINEER. ALL REVISIONS TO THE GRADING AND SITE IMPROVEMENT PLANS MUST BE APPROVED BY THE CITY'S ENGINEERING DEPARTMENT.
- EXTERIOR PROPERTY CORNERS SHALL BE MARKED AS REQUIRED BY THE CITY ENGINEER PRIOR TO COMMENCING ANY GRADING OPERATIONS, AND SHALL BE MAINTAINED THROUGHOUT THE GRADING OPERATIONS. ALL PROPERTY CORNERS OR OFFSET MARKERS SHALL BE VISIBLE AT THE TIME OF THE ROUGH AND FINAL INSPECTIONS.
- GRADING OR ANY OTHER OPERATION THAT CREATES DUST SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES AND A DUST PALLIATIVE MAY BE REQUIRED BY THE CITY ENGINEER.
- MUD TRACKED ONTO STREETS OR ADJACENT PROPERTIES SHALL BE REMOVED IMMEDIATELY. STREETS SHALL BE SWEEP AS DIRECTED BY THE CITY INSPECTOR.
- PROJECTS PROPOSED FOR CONSTRUCTION BETWEEN OCTOBER 1ST AND APRIL 15TH, MUST HAVE AN EROSION AND SEDIMENTATION CONTROL PROGRAM APPROVED, AND IMPLEMENTED TO THE MAXIMUM EXTENT POSSIBLE, PRIOR TO THE START OF ON-SITE EARTHWORK. EARTHWORK THAT IS NECESSARY TO INSTALL EROSION AND SEDIMENTATION CONTROL FACILITIES, SUCH AS DRAINAGE DITCHES AND SEDIMENTATION BASINS, MAY PROCEED CONCURRENT WITH THE INSTALLATION OF THE CONTROL FACILITIES. EROSION CONTROL PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL BY SEPTEMBER 1, AND IMPLEMENTATION COMPLETED BY OCTOBER 1. ALL SITE WORK EXCEPT IMPLEMENTATION OF THE EROSION CONTROL PLAN WILL BE SUBJECT TO SUSPENSION BY THE CITY IF THE REQUIREMENTS OF THIS GENERAL NOTE ARE NOT MET.
- PRIOR TO FOUNDATION INSPECTION, THE ENGINEER SHALL PROVIDE A REPORT STATING THAT LINES AND GRADES WERE SET IN THE FIELD IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND THAT THE PADS ARE GRADED TO WITHIN 0.2 FOOT (60MM) OF THE ELEVATIONS SHOWN ON THE APPROVED GRADING PLAN. ALSO, A GRADING REPORT PREPARED BY A SOILS ENGINEER, SHALL BE SUBMITTED WHICH INCLUDES THE LOCATIONS AND ELEVATIONS OF FIELD DENSITY TESTS, AND COMPARES TEST RESULTS WITH RECOMMENDED COMPACTION REQUIREMENTS AS SPECIFIED IN A SOILS REPORT OR STANDARD PLANS AND SPECIFICATIONS. IF TESTS SHOW THAT ACTUAL COMPACTION HAS NOT EQUALED OR SURPASSED THAT WHICH WAS RECOMMENDED, THE SOILS ENGINEER SHALL PROVIDE THE PROPOSED ACTION TO BE TAKEN. WITHOUT ADDITIONAL INFORMATION FROM A SOILS ENGINEER OR A SOILS REPORT, ALL PADS SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT.
- INSPECTION OF FINISH GRADING OF SWALES ADJACENT TO STRUCTURES SHALL BE PERFORMED BY THE ENGINEERING INSPECTOR PRIOR TO FINAL BUILDING INSPECTION.
- ALL UNDERGROUND UTILITIES WITHIN THE RIGHT-OF-WAY OR ACCESS EASEMENT, INCLUDING MAINS AND LATERALS, SHALL BE INSTALLED AND BACKFILL COMPLETED PRIOR TO THE START OF CURB, SIDEWALK AND PAVING CONSTRUCTION.
- ALL CONSTRUCTION STAKING SHALL INCLUDE, BUT NOT BE LIMITED TO, GRADING, CURBS, STREET IMPROVEMENTS AND STORM DRAINS, AND SHALL BE PERFORMED BY A REGISTERED CIVIL ENGINEER OR LICENSED SURVEYOR.
- ALL TRENCH BACKFILL SHALL BE COMPACTED AS SHOWN IN CITY'S STANDARD PLANS OR AS RECOMMENDED BY THE SOILS ENGINEER. IF TESTS SHOW THAT THE ACTUAL COMPACTION HAS NOT EQUALED OR SURPASSED THAT WHICH IS RECOMMENDED, THE SOILS ENGINEER SHALL PROVIDE THE PROPOSED ACTION TO BE TAKEN.
- ANY DAMAGED OR DISPLACED CURB, GUTTER, SIDEWALK, DRIVEWAY OR PAVEMENT SHALL BE REMOVED AND REPLACED EVEN IF DAMAGE OR DISPLACEMENT OCCURRED PRIOR TO CONSTRUCTION.
- ALL NEW STORM DRAIN INLETS SHALL BE STENCILED OR STAMPED WITH CITY'S CLEAN WATER PROGRAM STANDARD LOGO, "NO DUMPING - DRAINS TO RIVER," PRIOR TO THE ACCEPTANCE OF THE SUBDIVISION IMPROVEMENT OR THE FINAL BUILDING INSPECTION, WHICHEVER OCCURS FIRST.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY PUBLIC SAFETY DEVICES IN ACCORDANCE WITH CURRENT CALTRANS TRAFFIC CONTROL STANDARDS INCLUDING, BUT NOT LIMITED TO, LIGHTS, SIGNS, BARRICADES, AND FLAGPERSONS. IN ADDITION, TEMPORARY FENCING SHALL BE PROVIDED ALONG ALL PROPERTY LINES AS DIRECTED BY THE CITY.
- PRIOR TO ISSUANCE OF ANY PERMITS, THE DEVELOPER SHALL SUBMIT A WASTE MANAGEMENT PLAN DEMONSTRATING HOW THEY INTEND TO RECYCLE, REUSE OR SALVAGE BUILDING MATERIALS AND OTHER DEBRIS (INCLUDING DIRT) GENERATING FROM DEMOLITION OF EXISTING STRUCTURES AND FROM CONSTRUCTION OF THE PROJECT. PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT, THE DEVELOPER SHALL SUBMIT A COMPLETED WASTE MANAGEMENT SUMMARY REPORT DOCUMENTING ACTUAL DEBRIS RECOVERY EFFORTS, INCLUDING QUANTITIES OF RECOVERED AND LANDFILLED MATERIALS, THAT OCCURRED THROUGHOUT THE PROJECT'S DURATION.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY & ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER, OR THE CITY OF ANTIOCH PUBLIC WORKS.
- CONTRACTOR SHALL POST EMERGENCY PHONE NUMBERS FOR PUBLIC WORKS, AMBULANCE, POLICE AND FIRE DEPARTMENTS.
- CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY.
- DURING ROUGH GRADING OF THIS PROJECT, CONTRACTOR SHALL COMPENSATE FOR ANY FUTURE UNDERGROUND UTILITY TRENCH SPOILS BY SELECTIVELY UNDERCUTTING THE STREETS. CONTRACTOR IS RESPONSIBLE FOR HIS OWN GRADING CALCULATIONS. CONTRACTOR SHALL NOTIFY APEX CIVIL ENGINEERING & LAND SURVEYING, INC., AND THE SOILS ENGINEER IMMEDIATELY IF IN THE CONTRACTOR'S ESTIMATION A ROUGH DIRT BALANCE CAN NOT BE ACHIEVED AS PER THE DESIGN. APEX CIVIL ENGINEERING & LAND SURVEYING, INC. AND THE SOILS ENGINEER WILL PROVIDE RECOMMENDATIONS BASED ON THE CONTRACTOR'S ESTIMATE OF EXCESS OR SHORTAGE. ADDITIONAL IMPORT EXPORT, UNLESS DETAILED ON THE PLANS, WILL BE AT CONTRACTOR'S EXPENSE.

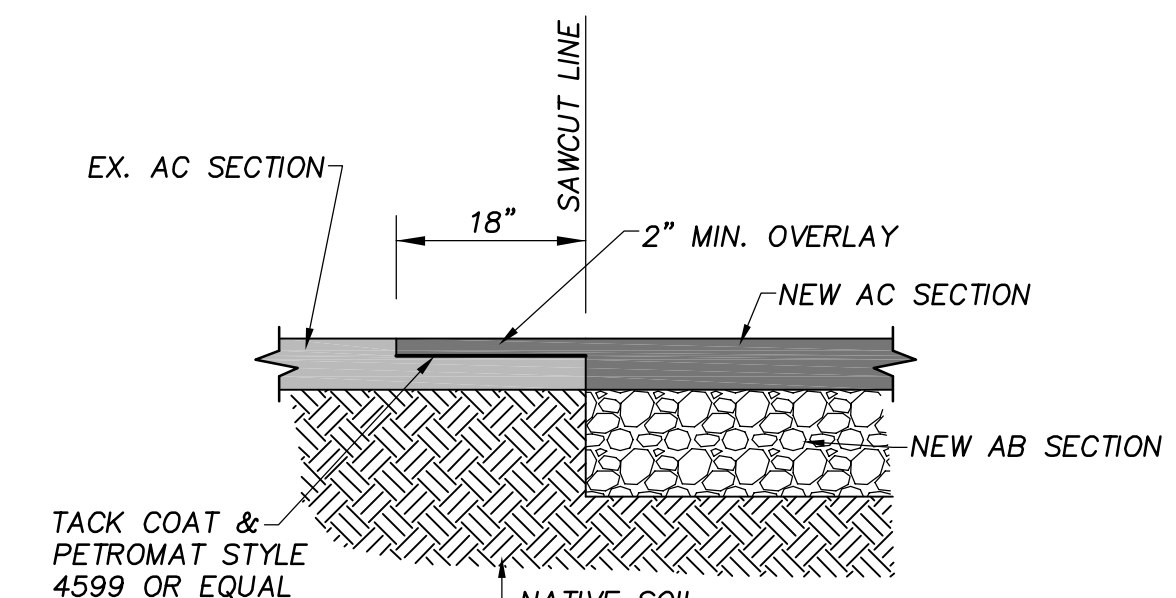
- DURING GRADING OPERATIONS, CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES & INTERIM SEDIMENTATION & EROSION CONTROL MEASURES ON SITE AND ON HAUL ROUTES.
- ALL STORM WATER RUNOFF SHALL BE CONTAINED WITHIN A SEDIMENTATION BASIN OR SEDIMENTATION TRAP PRIOR TO LEAVING THE PROJECT SITE OR ENTERING A PERMANENT STORM DRAIN SYSTEM. SEDIMENTATION BASINS AND TRAPS SHALL BE COMPLETED BY OCTOBER 15 AND MAINTAINED FROM OCTOBER 15 TO APRIL 15 EACH YEAR UNTIL ALL STREETS AND STORM DRAINAGE FACILITIES ARE COMPLETED WITHIN ITS DRAINAGE.
- ALL DEBRIS SHALL BE HAULED AND DISPOSED OF OFF-SITE BY CONTRACTOR AS RECOMMENDED BY THE SOILS ENGINEER.
- ALL GRADING, SITE PREPARATION AND PLACING & COMPACTING OF FILL SHALL BE DONE UNDER THE OBSERVATION OF THE SOILS ENGINEER. RECOMMENDATIONS OF THE SOILS REPORT SHALL BE STRICTLY ADHERED TO.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UNDERGROUND SERVICE ALERT (811) 48 HOURS PRIOR TO ANY EXCAVATION AND TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. OBSTRUCTIONS INDICATED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH WITH THE APPROPRIATE AGENCIES. NEITHER THE OWNER, CITY OF ANTIOCH NOR THE ENGINEER ASSUMES RESPONSIBILITY THAT THE OBSTRUCTIONS INDICATED WILL BE THE ONLY OBSTRUCTIONS ENCOUNTERED.
- THE OFFICE OF APEX CIVIL ENGINEERING & LAND SURVEYING, INC., SHALL BE NOTIFIED AT (925) 476-8499 48 HOURS PRIOR TO THE REQUIRING OF ANY GRADE STAKES.
- ANY EXTRA CONSTRUCTION STAKING NECESSITATED SOLELY BY THE CONTRACTOR'S NEGLIGENCE WILL BE CHARGED TO THE OWNER/DEVELOPER ON A TIME AND MATERIALS BASIS. THE CONTRACTOR WILL THEN BE BACK-CHARGED FOR SAID EXTRA WORK.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT APEX CIVIL ENGINEERING & LAND SURVEYING, INC. AT (925) 476-8499 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE SOILS ENGINEER 48 HOURS PRIOR TO STARTING EARTHWORK OPERATIONS.
- EXISTING GROUND TOPOGRAPHY IS FROM SURVEY DATA DATED APRIL 2019 PREPARED BY APEX CIVIL ENGINEERING & LAND SURVEYING, INC.
- NO WORK SHALL COMMENCE UNTIL A GRADING PERMIT IS OBTAINED FROM THE CITY OF ANTIOCH.
- ENCROACHMENT PERMITS REQUIRED FOR WORK WITHIN EXISTING PUBLIC RIGHT-OF-WAY SHALL BE OBTAINED BY THE CONTRACTOR.
- PRIOR TO ANY WORK ON ADJACENT PROPERTIES THE CONTRACTOR SHALL OBTAIN A COPY OF THE RIGHT OF ENTRY TO PERFORM THE WORK AND NOTIFY THE AFFECTED PROPERTY OWNER OR OCCUPANT 48 HOURS PRIOR TO START OF SAID WORK.
- FOR DETAILS NOT SHOWN ON THESE PLANS, REFER TO CITY OF ANTIOCH STANDARD DRAWINGS & SPECIFICATIONS ARE AVAILABLE FROM THE PUBLIC WORKS DEPARTMENT BY CALLING 925-779-7080.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE CITY ENGINEER OR APEX CIVIL ENGINEERING & LAND SURVEYING, INC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EARTHWORK GRADING QUANTITIES PRIOR TO THE START OF THE GRADING OPERATION.
- NO WORK SHALL BEGIN ON THIS PROJECT PRIOR TO A PRECONSTRUCTION CONFERENCE WITH CITY STAFF. CALL 925-779-7080 TO ARRANGE FOR THIS CONFERENCE.



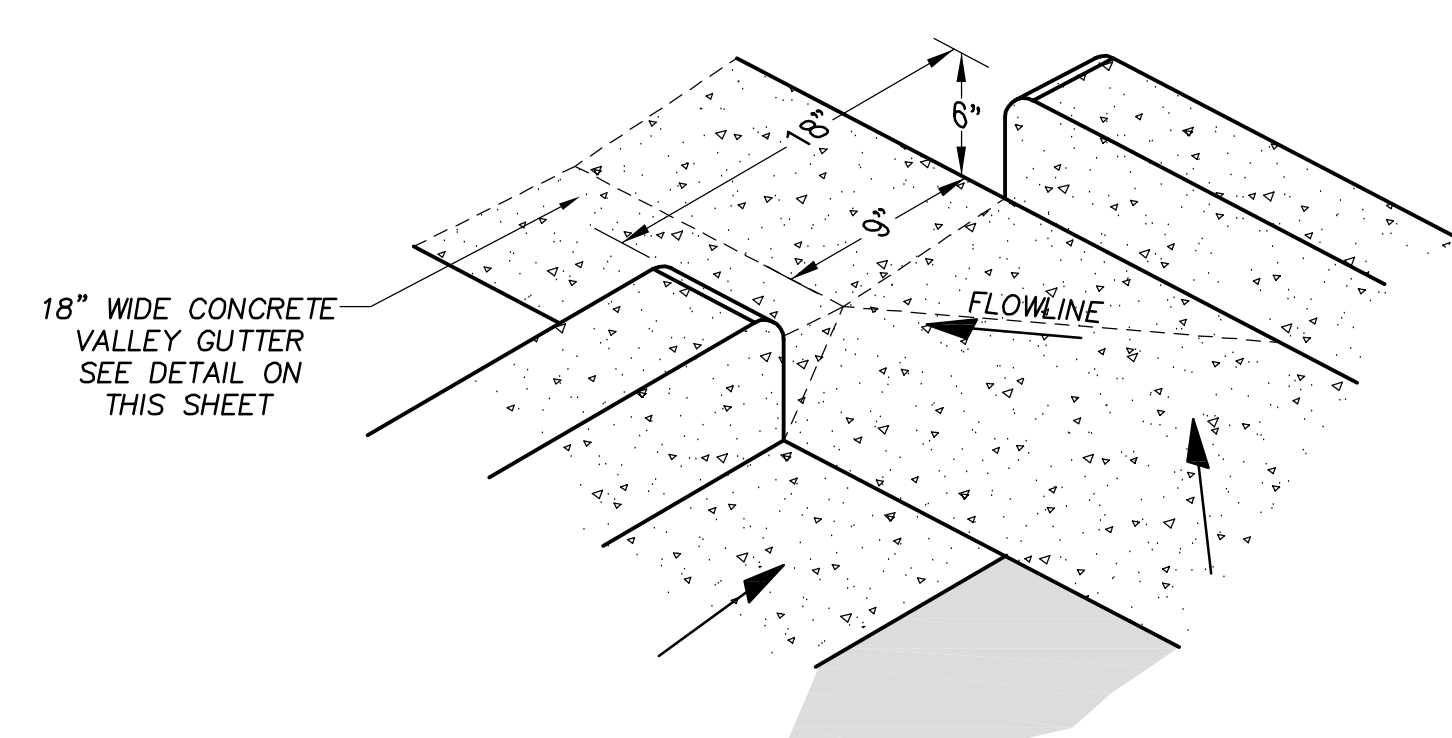
SECTION A-A
NOT TO SCALE



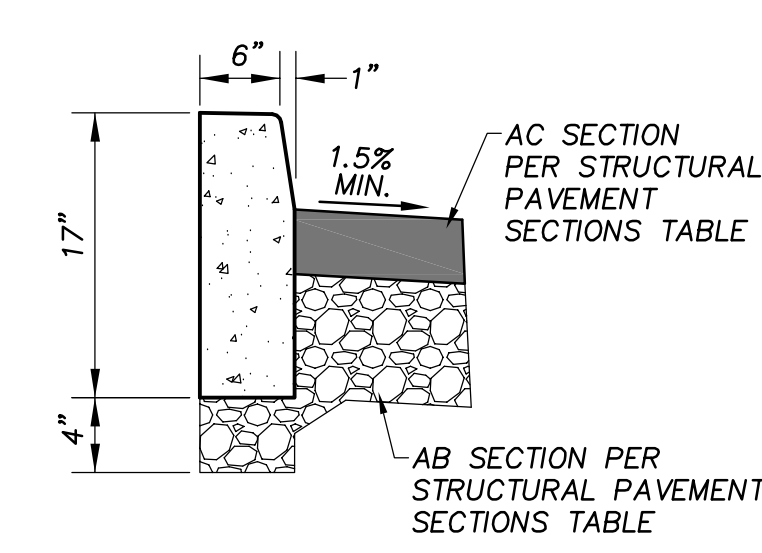
SECTION B-B
NOT TO SCALE



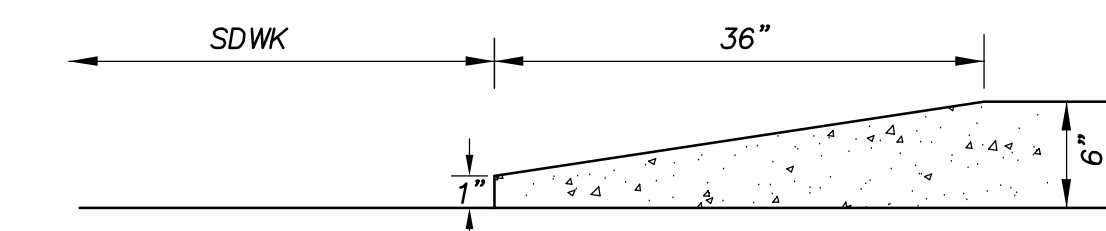
TRANSITION NEW ASPHALT TO EX. PAVEMENT
NOT TO SCALE



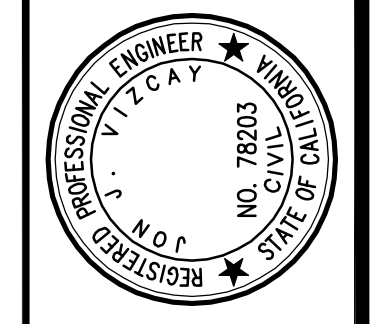
DETAIL #3
18" CURB CUT
NOT TO SCALE



DETAIL #2
VERTICAL CURB DETAIL
NOT TO SCALE



CURB TRANSITION DETAIL
NOT TO SCALE



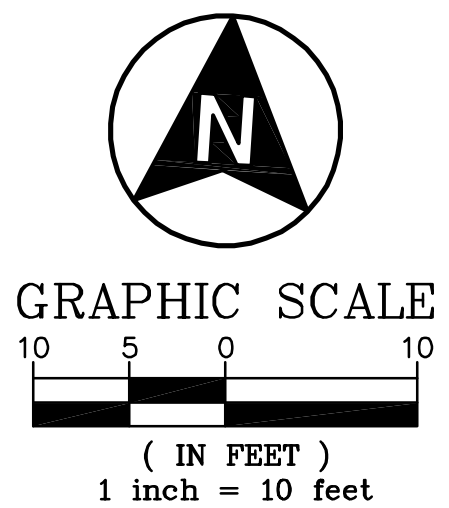
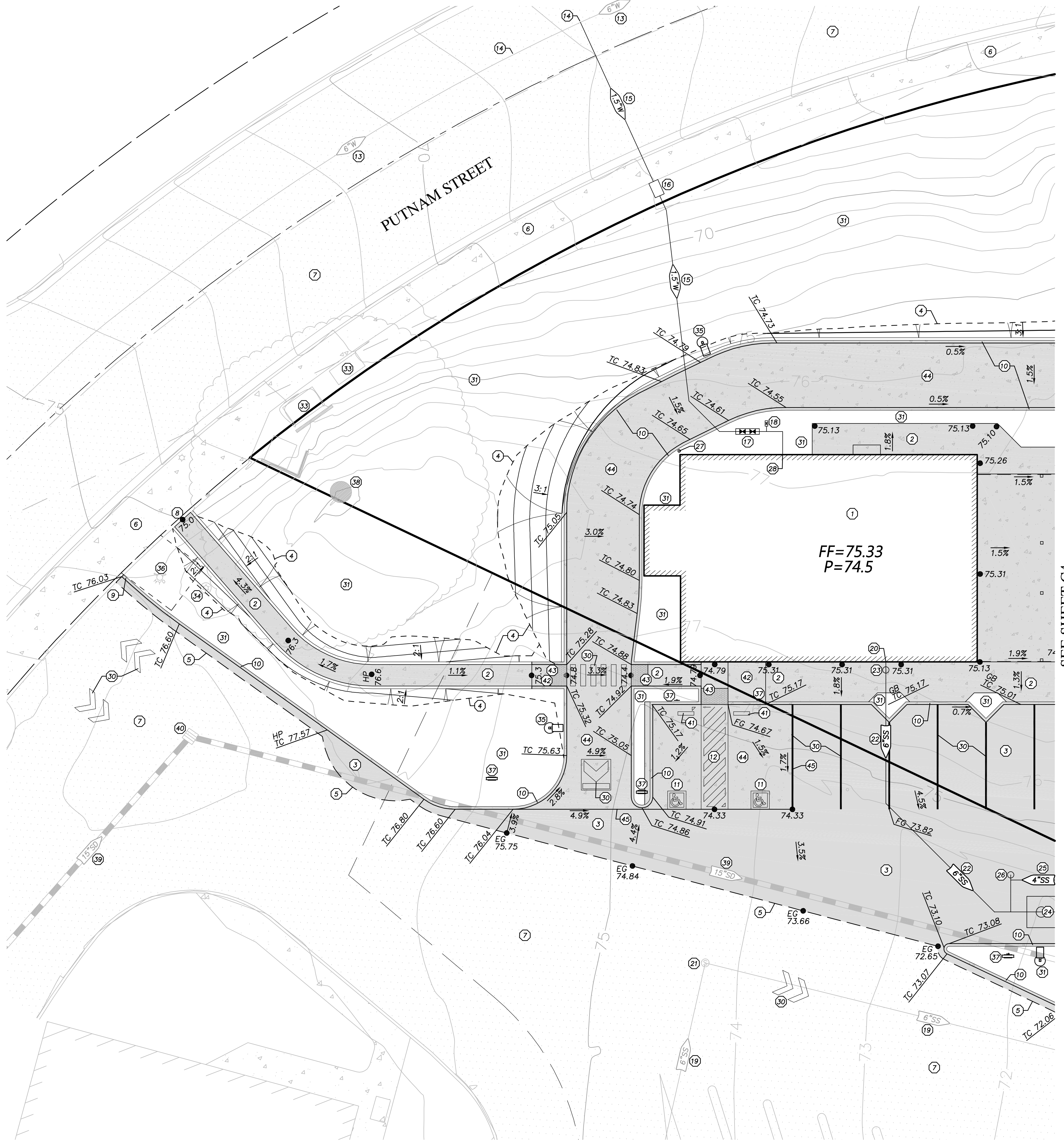
817 Arnold Drive, Ste. 50
Martinez, CA 94553
Ph: (925) 476-8499
www.apexce.net



NO.	REVISIONS	BY	APP	DATE

PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN
GENERAL NOTES, SECTIONS & DETAILS
CONTRA LOMA STARBUCKS
CONTRA LOMA PLAZA, ANTIOCH, CA

SHEET
C2
DATE
09-07-2023
PROJECT #: 19022



SECTIONS NOTE:
REFER TO SHEET C2
FOR ALL SECTIONS
& DETAILS

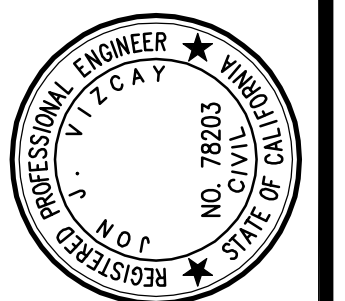
KEY LEGEND

- ① BUILDING. SEE ARCHITECTURAL PLANS
- ② CONCRETE FLATWORK - 4" CONC/4" AB (TYP)
- ③ PAVEMENT. SECTION PER SOILS ENGINEER'S RECOMMENDATION
- ④ DAYLIGHT LINE (TYP)
- ⑤ SAWCUT LINE/PAVEMENT MATCH LINE. SEE PAVEMENT TRANSITION DETAIL ON SHEET C2
- ⑥ EXISTING CONCRETE SIDEWALK TO REMAIN
- ⑦ EXISTING PAVEMENT TO REMAIN
- ⑧ MATCH EXISTING BACK OF SIDEWALK
- ⑨ CURB TRANSITION PER DETAIL ON SHEET C2
- ⑩ 6" VERTICAL CURB (TYP) PER DETAIL ON SHEET C2
- ⑪ ADA PARKING STALL
- ⑫ STRIPED ADA ACCESS AISLE
- ⑬ EXISTING 6" WATER MAIN TO REMAIN
- ⑭ CONNECT TO EXISTING 6" WATER MAIN
- ⑮ 1.5" WATER LATERAL
- ⑯ WATER METER
- ⑰ 2" REDUCED PRESSURE PRINCIPAL ASSEMBLY
- ⑱ IRRIGATION BACKFLOW/CONNECTION
- ⑲ EXISTING 6" SANITARY SEWER MAIN
- ⑳ SANITARY SEWER POINT OF CONNECTION
- ㉑ EXISTING SANITARY SEWER MANHOLE
- ㉒ 6" SANITARY SEWER LATERAL AT 2% MIN.
- ㉓ 6" SANITARY SEWER CLEANOUT
- ㉔ 1,500 GALLON GREASE INTERCEPTOR PER CCCSD STANDARDS
- ㉕ 4" SANITARY SEWER LATERAL AT 2% MIN.
- ㉖ 4" SANITARY SEWER CLEANOUT
- ㉗ BOLLARD
- ㉘ WATER POINT OF CONNECTION
- ㉙ STRIPING (TYP)
- ㉚ LANDSCAPE AREA (TYP)
- ㉛ EXISTING UTILITY BOXES/VAULTS TO REMAIN
- ㉜ EXISTING LIGHT POLE TO REMAIN
- ㉝ LIGHT POLE. SEE ARCHITECTURAL PLAN
- ㉞ EXISTING FIRE HYDRANT TO REMAIN
- ㉟ SIGN. SEE ARCHITECTURAL PLAN
- ㊱ EXISTING TREE TO REMAIN. TREE PROTECTION REQUIRED
- ㊲ EXISTING 15" STORM DRAIN TO REMAIN
- ㊳ EXISTING CATCH BASIN TO REMAIN
- ㊴ WHEELSTOP (TYP)
- ㊵ ADA CURB RAMP
- ㊶ TRUNCATED DOMES (TYP)
- ㊷ CONCRETE PAVEMENT. PAVEMENT SECTION PER SOILS ENGINEER'S RECOMMENDATIONS
- ㊸ EDGE/LIMIT OF CONCRETE PAVEMENT

NOTES

1. CONTRACTOR TO POTHOLE ALL EXISTING UTILITIES AND VERIFY LOCATION AND DEPTH PRIOR TO CONSTRUCTION TO ENSURE NO CONFLICTS EXIST.
2. WATER LATERALS AND METERS SHALL BE INSTALLED PER CITY OF ANTIOCH SPECIFICATIONS AND STANDARDS.
3. SANITARY SEWER LATERALS AND CLEANOUTS SHALL BE INSTALLED PER CITY OF ANTIOCH SPECIFICATIONS AND STANDARDS.
4. FINISHED FLOOR ELEVATION TO FINISHED GRADE ELEVATION AT THE EXTERIOR OF THE BUILDING FOOTPRINT SHALL BE A MINIMUM OF 8", OTHERWISE WATER PROOFING IS REQUIRED.
5. SEE ARCHITECTURAL PLANS FOR FINAL LOCATION, DESIGN ELEVATIONS AND SLOPES OF ALL FEATURES AND PIPES WITHIN THE LIMITS OF THE BUILDING FOUNDATION.
6. SEE LANDSCAPE PLANS FOR LOCATION, COLOR & FINISH OF ALL CONCRETE AND BANDING.
7. ALL DOWNSPOUTS SHALL BE DISCHARGED TO HARDSCAPE SURFACES. IF LOCATED IN LANDSCAPE AREAS, A SPLASH BLOCK SHALL BE ADDED TO DIRECT DRAINAGE AWAY FROM THE BUILDING.
8. ALL PROPOSED CURB SHALL BE 6" VERTICAL CONCRETE CURB PER DETAIL ON SHEET C2.
9. ALL INLETS SHALL BE FITTED WITH TRASH CAPTURE DEVICES.

SEE SHEET C4



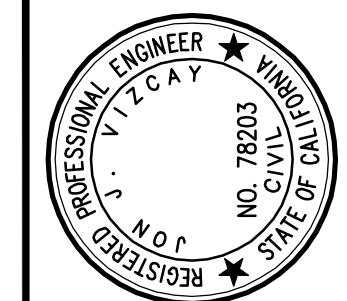
817 Arnold Drive, Ste. 50
Martinez, CA 94553
Ph: (925) 476-8499
www.apexce.net



NO.	REVISIONS	BY	APP	DATE

PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN
PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
CONTRA LOMA STARBUCKS
CONTRA LOMA PLAZA, ANTIOCH, CA

SHEET
C3
DATE
09-07-2023
PROJECT #: 19022



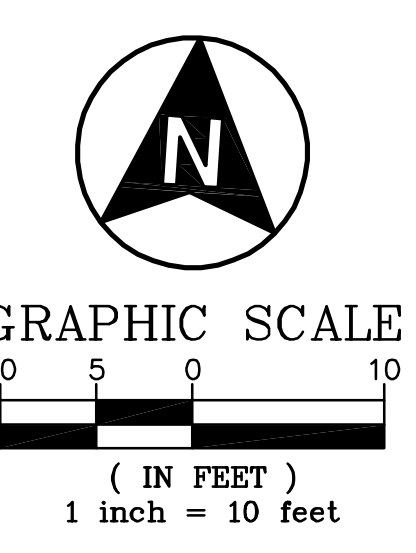
817 Arnold Drive, Ste. 50
 Martinez, CA 94553
 Ph: (925) 476-8499
 www.apexce.net



NO.	REVISIONS	BY	APP	DATE

PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN
 PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
 CONTRA LOMA STARBUCKS
 CONTRA LOMA PLAZA, ANTIOCH, CA

SHEET
 C4
 DATE
 09-07-2023
 PROJECT #: 19022



SECTIONS NOTE:
 REFER TO SHEET C2
 FOR ALL SECTIONS
 & DETAILS

KEY LEGEND

- ① BUILDING. SEE ARCHITECTURAL PLANS
- ② CONCRETE FLATWORK - 4" CONC/4" AB (TYP)
- ③ PAVEMENT. SECTION PER SOILS ENGINEER'S RECOMMENDATION
- ④ DAYLIGHT LINE (TYP)
- ⑤ SAWCUT LINE/PAVEMENT MATCH LINE. SEE PAVEMENT TRANSITION DETAIL ON SHEET C2
- ⑥ EXISTING CONCRETE SIDEWALK TO REMAIN
- ⑦ EXISTING PAVEMENT TO REMAIN
- ⑧ EXISTING RETAINING WALL TO REMAIN
- ⑨ MATCH EXISTING CURB
- ⑩ 6" VERTICAL CURB (TYP) PER DETAIL ON SHEET C2
- ⑪ 6" THICK CURB WALL. DESIGN BY OTHERS
- ⑫ BEGIN/END CURB WALL
- ⑬ 6" THICK RETAINING WALL. DESIGN BY OTHERS
- ⑭ END RETAINING WALL
- ⑮ C.3 BIO-RETENTION AREA
- ⑯ OUTDOOR DINING PATIO
- ⑰ TRASH ENCLOSURE
- ⑱ EXISTING 6" SANITARY SEWER MAIN
- ⑲ 6" SANITARY SEWER LATERAL AT 2% MIN.
- ⑳ 6" SANITARY SEWER CLEANOUT
- ㉑ STRIPING (TYP)
- ㉒ LANDSCAPE AREA (TYP)
- ㉓ EXISTING UTILITY BOXES/VAULTS TO REMAIN
- ㉔ LIGHT POLE. SEE ARCHITECTURAL PLAN
- ㉕ SIGN. SEE ARCHITECTURAL PLAN
- ㉖ ADA CURB RAMP
- ㉗ TRUNCATED DOMES (TYP)
- ㉘ EXISTING 15" STORM DRAIN TO REMAIN
- ㉙ EXISTING CATCH BASIN TO REMAIN
- ㉚ CONNECT TO EXISTING CATCH BASIN
- ㉛ CHRISTY V64 CATCH BASIN OR EQUAL
- ㉜ 12" HDPE STORM DRAIN PIPE @ S=0.3% MIN.
- ㉝ 6" TRENCH DRAIN. TRAFFIC RATED
- ㉞ 4" OUTFALL PIPE TO BIO-RETENTION AREA
- ㉟ 18" CURB CUT. SEE DETAIL ON SHEET C2
- ㊱ COBBLESTONES (TYP)
- ㊲ CONCRETE PAVEMENT. PAVEMENT SECTION PER SOILS ENGINEER'S RECOMMENDATIONS
- ㊳ EDGE/LIMIT OF CONCRETE PAVEMENT
- ㊴ CONNECT TO EXISTING 6" SEWER MAIN
- ㊵ 4" SANITARY SEWER LATERAL AT 2% MIN.
- ㊶ 4" SANITARY SEWER CLEANOUT
- ㊷ 1,500 GALLON GREASE INTERCEPTOR PER CCCSD STANDARDS
- ㊸ 4" AREA DRAIN WITH P-TRAP PER CCCSD STANDARDS
- ㊹ BOLLARD

NOTES

1. CONTRACTOR TO POTHOLE ALL EXISTING UTILITIES AND VERIFY LOCATION AND DEPTH PRIOR TO CONSTRUCTION TO ENSURE NO CONFLICTS EXIST.
2. WATER LATERALS AND METERS SHALL BE INSTALLED PER CITY OF ANTIOCH SPECIFICATIONS AND STANDARDS.
3. SANITARY SEWER LATERALS AND CLEANOUTS SHALL BE INSTALLED PER CITY OF ANTIOCH SPECIFICATIONS AND STANDARDS.
4. FINISHED FLOOR ELEVATION TO FINISHED GRADE ELEVATION AT THE EXTERIOR OF THE BUILDING FOOTPRINT SHALL BE A MINIMUM OF 8", OTHERWISE WATER PROOFING IS REQUIRED.
5. SEE ARCHITECTURAL PLANS FOR FINAL LOCATION, DESIGN ELEVATIONS AND SLOPES OF ALL FEATURES AND PIPES WITHIN THE LIMITS OF THE BUILDING FOUNDATION.
6. SEE LANDSCAPE PLANS FOR LOCATION, COLOR & FINISH OF ALL CONCRETE AND BANDING.
7. ALL DOWNSPOUTS SHALL BE DISCHARGED TO HARDSCAPE SURFACES. IF LOCATED IN LANDSCAPE AREAS, A SPLASH BLOCK SHALL BE ADDED TO DIRECT DRAINAGE AWAY FROM THE BUILDING.
8. ALL PROPOSED CURB SHALL BE 6" VERTICAL CONCRETE CURB PER DETAIL ON SHEET C2.
9. ALL INLETS SHALL BE FITTED WITH TRASH CAPTURE DEVICES.

SEE SHEET C3

FF=75.33
 P=74.5

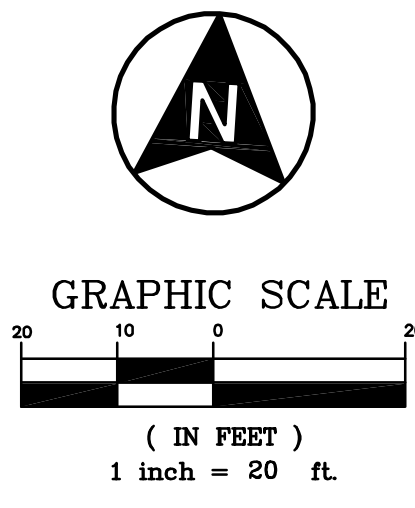
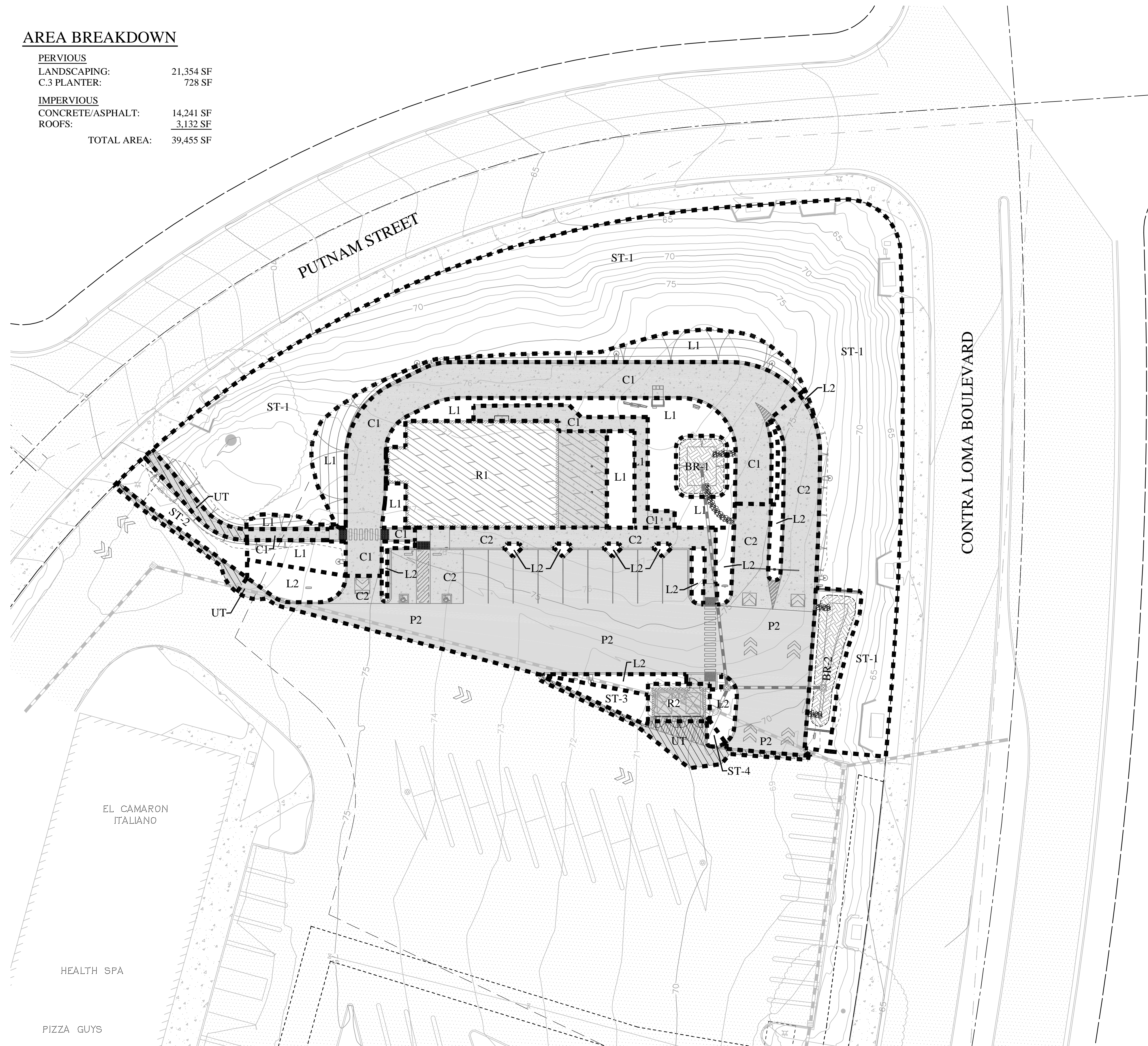
CONTRA LOMA BOULEVARD



PRELIMINARY C.3 STORM WATER CONTROL PLAN

AREA BREAKDOWN

PERVIOUS	
LANDSCAPING:	21,354 SF
C.3 PLANTER:	728 SF
IMPERVIOUS	
CONCRETE/ASPHALT:	14,241 SF
ROOFS:	3,132 SF
TOTAL AREA:	39,455 SF



C.3 STORM WATER CONTROL LEGEND

DRAINAGE MANAGEMENT AREAS (DMA):

LANDSCAPE AREA	L
SELF-RETAINING LANDSCAPE AREA	SR
NEW IMPERVIOUS AREA (PAVEMENT/CONCRETE)	P / C
NEW IMPERVIOUS AREA (ROOFTOP)	R
UNTREATED AREA	UT
C.3 BIO-RETENTION TREATMENT AREA	BR-1

BMP TRIBUTARY BOUNDARY:

PROJECT DATA FORM

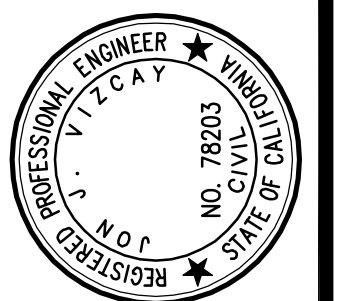
PROJECT NAME/NUMBER	CONTRA LOMA STARBUCKS
PROJECT LOCATION	3100 CONTRA LOMA BLVD. ANTIOCH, CA
NAME OF DEVELOPER	PHILLIP EDISON
PROJECT TYPE AND DESCRIPTION	1 COMMERCIAL BUILDING
PROJECT WATERSHED	WEST ANTIOCH CREEK WATERSHED
TOTAL PROJECT SITE AREA (ACRES)	0.91 ACRES (39,455 SF)
TOTAL NEW IMPERVIOUS SURFACE AREA (SQ. FT.)	13,634 SF
TOTAL REPLACED IMPERVIOUS SURFACE AREA	3,739 SF
TOTAL PRE-PROJECT IMPERVIOUS SURFACE AREA	5,544 SF
TOTAL POST-PROJECT IMPERVIOUS SURFACE AREA	17,373 SF
RUNOFF REDUCTION MEASURES SELECTED	<input checked="" type="checkbox"/> 1. DISPERSE RUNOFF TO VEGETATED AREA <input type="checkbox"/> 2. PERVIOUS PAVEMENT (PAVERS) <input type="checkbox"/> 3. CISTERNS OR RAIN BARRELS <input checked="" type="checkbox"/> 4. BIO-RETENTION FACILITY OR PLANTER

MEASURES WILL BE IMPLEMENTED TO REDUCE RUNOFF, WHERE POSSIBLE:
 -DOWNSPOUTS DISCHARGE TO SPLASH BLOCKS
 -ROOF RUNOFF IS DISPERSED TO PERVIOUS AREAS OR C.3 BIO-RETENTION AREAS

C.3 FLOW-THROUGH PLANTER TREATMENT AREA SUMMARY

IMP AREA NAME	DMA NAME	DMA AREA (SF)	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	IMP SIZING FACTOR	MINIMUM AREA (SF)	REQUIRED IMP AREA (SF)	PROPOSED IMP AREA (SF)
BR-1	C1/P1	4,133	1.0	4,133	0.04	165	293	307
	R1	2,830	1.0	2,830	0.04	113		
	L1	3,828	0.1	383	0.04	15		
BR-2	C2/P2	9,327	1.0	9,327	0.04	373	392	421
	R2	302	1.0	302	0.04	12		
	L2	1,745	0.1	175	0.04	7		

SELF-TREATING AREAS: ST-1 = 15,015 SF ST-2 = 504 SF ST-3 = 225 SF ST-4 = 37 SF
 UNTREATED AREA: 781 SF (2.0%)



817 Arnold Drive, Ste. 50
 Martinez, CA 94553
 Ph: (925) 476-8499
 www.apexce.net



NO.	REVISIONS	BY	APP	DATE

PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN
 PRELIMINARY C.3 STORM WATER CONTROL PLAN
 CONTRA LOMA STARBUCKS
 CONTRA LOMA PLAZA, ANTIOCH, CA

SHEET
 C5

DATE
 09-07-2023

PROJECT #: 19022