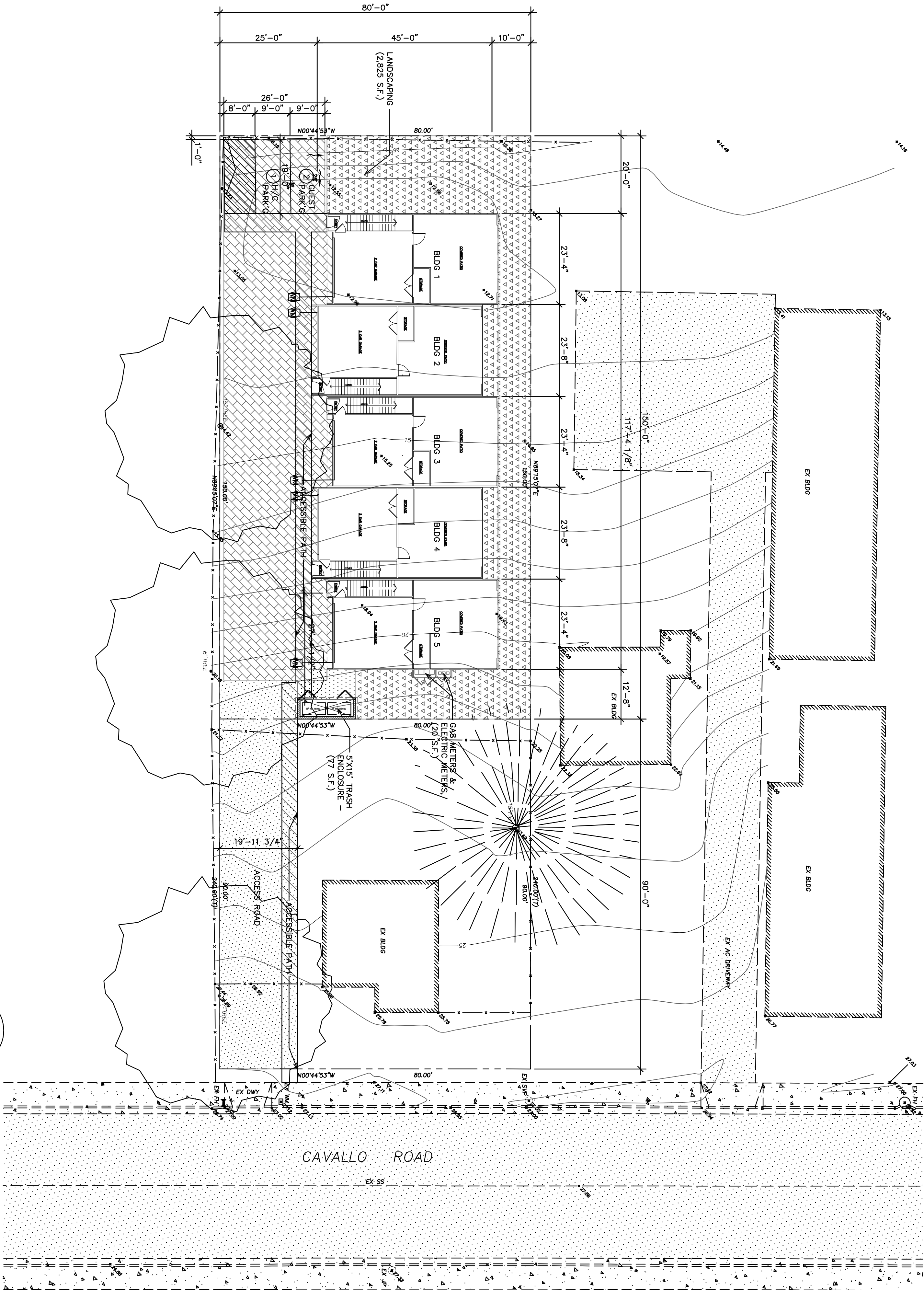


REGENCY GARDENS - 5 UNIT DEVELOPMENT
MULTIFAMILY
FOR NEVACAL, LLC
1928 CAVALLO ROAD
ANTIOCH, CALIFORNIA 94509



DRAWING INDEX

ARCHITECTURAL:

- SP-1 SITE PLAN & NOTES
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A.2 FIRST FLOOR BUILDING PLAN
A.3 SECOND FLOOR BUILDING PLAN
A.4 FRONT & RIGHT EXTERIOR ELEVATIONS
A.5 REAR & LEFT EXTERIOR ELEVATIONS
A.6 ROOF PLAN
A.7 RIGHT EXTERIOR ELEVATION WITH DAYLIGHT PLANE
A.8 TRASH ENCLOSURE

CIVIL:

- 1 COVER SHEET
2 PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
3 SITE SECTIONS
4 SITE SECTIONS
LANDSCAPE:
1 LANDSCAPE PLAN

CODE DATA

- BUILDING CODES: 2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA RESIDENTIAL CODE (CRC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA FIRE CODE (FC)
2022 CALIFORNIA ENERGY CODE (CEC)
2022 CALIFORNIA FIRE CODE (FC)
2022 GREEN BUILDING STANDARDS CODE
- CONSTRUCTION TYPE: V-B SPRINKLERS REQUIRED
OCCUPANCY: R-2/U MULTIFAMILY HOUSES
FIRE SPRINKLERS: MULTIFAMILY HOUSES
ZONING: R3
SITE AREA: 12,000 S.F. (0.28 ACRES)

AREA CALCULATIONS

- BUILDING AREAS -
BUILDINGS 5,028 S.F.
TRASH ENCLOSURE 77 S.F.
METERS 20 S.F.
TOTAL S.F. 5,123 S.F.
- LANDSCAPE -
COVER 42.7% > 40% ALLOWED (OVER)
PAVING 2,825 S.F. / 12,000 S.F. X 100 = 2.35%
PAVING 4,048 S.F. / 12,000 S.F. X 100 = 3.37%
OPEN SPACE REQUIRED AT 200 S.F. = 1,000 S.F.
OPEN SPACE PROVIDED 1,650 S.F. - 580 S.F. = 1,650 S.F.
1,650 S.F. > 1,000 S.F.

APPROVAL STAMPS

SCOPE OF WORK

1. DEVELOPE VACANT LOT FOR THE CONSTRUCTION OF MULTI-FAMILY PROJECT
2. THE PROJECT WILL CONSIST OF 5 - 2 STORY ATTACHED BUILDINGS INCLUDING ATTACHED 2 CAR GARAGES
3. ALL UNITS SHALL BE CONSTRUCTED TO BE ADA ADAPTABLE
4. BUILDING #1 SHALL BE CONSTRUCTED TO FOR ADA COMPLIANT
5. SITE SHALL HAVE ACCESSIBLE PATH FROM STREET

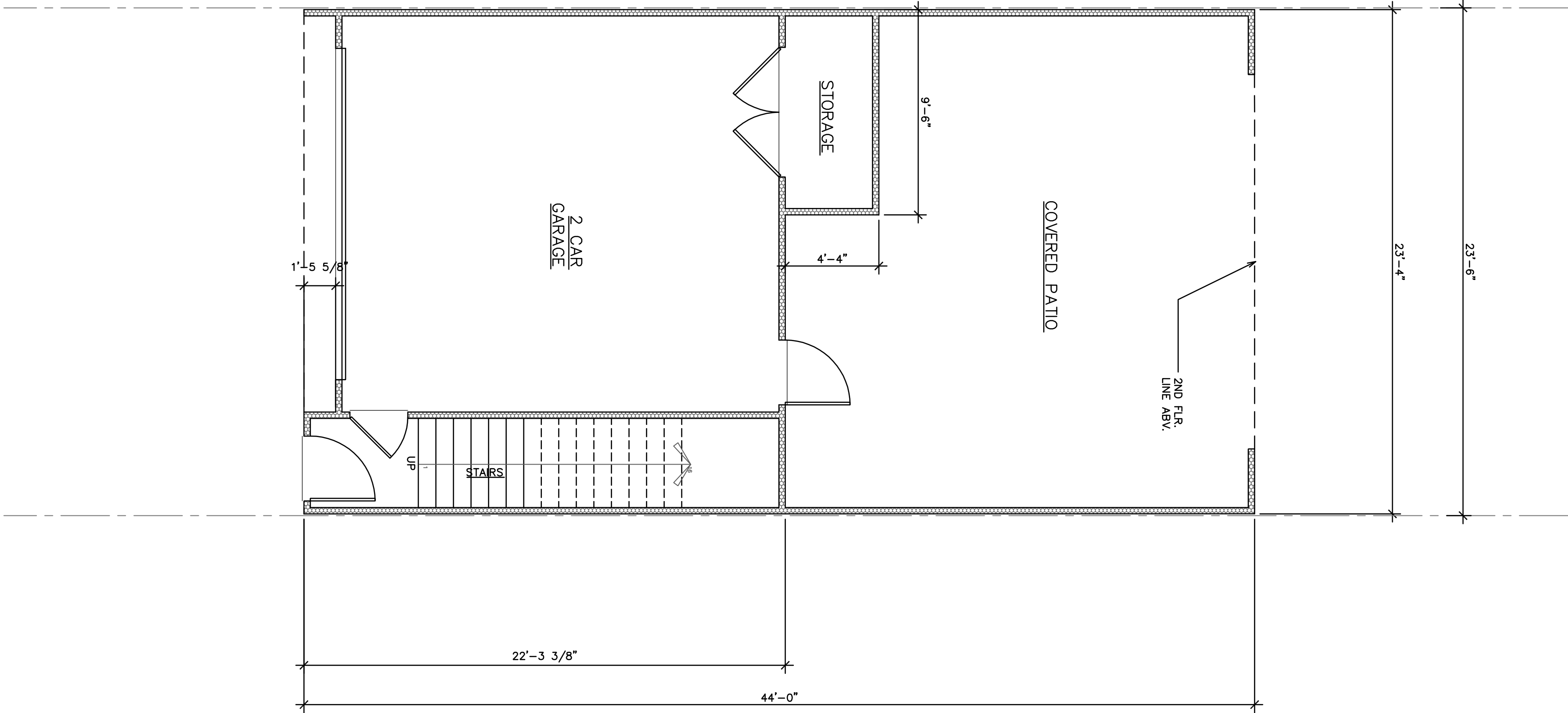
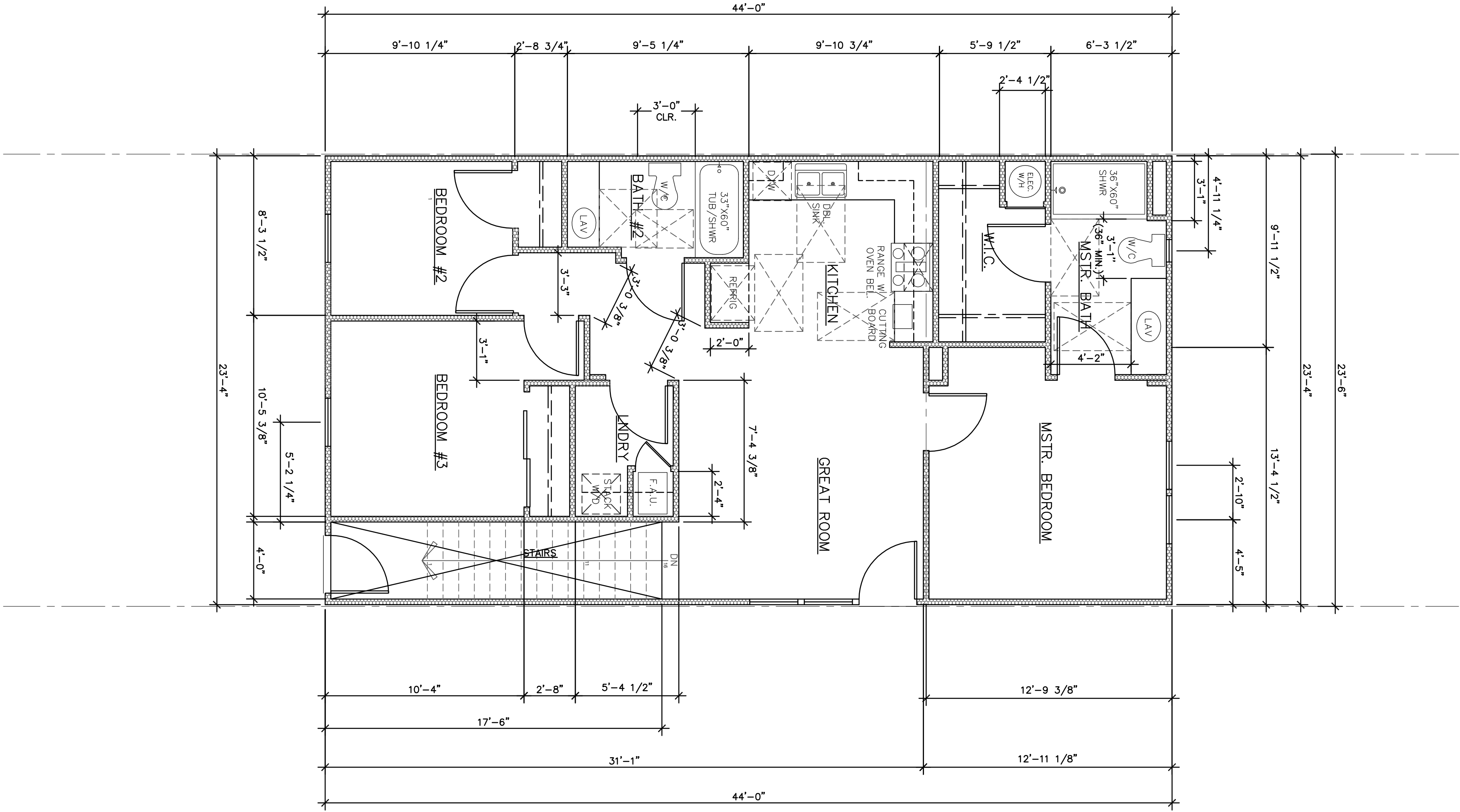
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SITE PLAN

REGENCY GARDENS - 5 UNIT DEVELOPMENT
FOR NEVACAL, LLC
1928 CAVALLO ROAD
ANTIOCH, CALIFORNIA 94509

Date 4/25/25
Scale AS NOTED
Drawn LFD
Job NEVACAL06
Sheet No. SP.1
1 OF 11 SHEETS



SECOND FLOOR UNIT PLAN

FIRST FLOOR UNIT PLAN

SQUARE FOOTAGES:	
1ST FLOOR GARAGE	548 S.F.
2ND FLOOR	964 S.F.

REVISIONS	BY

LFD

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SECOND FLOOR
UNIT PLAN

REGENCY GARDENS – 5 UNIT DEVELOPMENT
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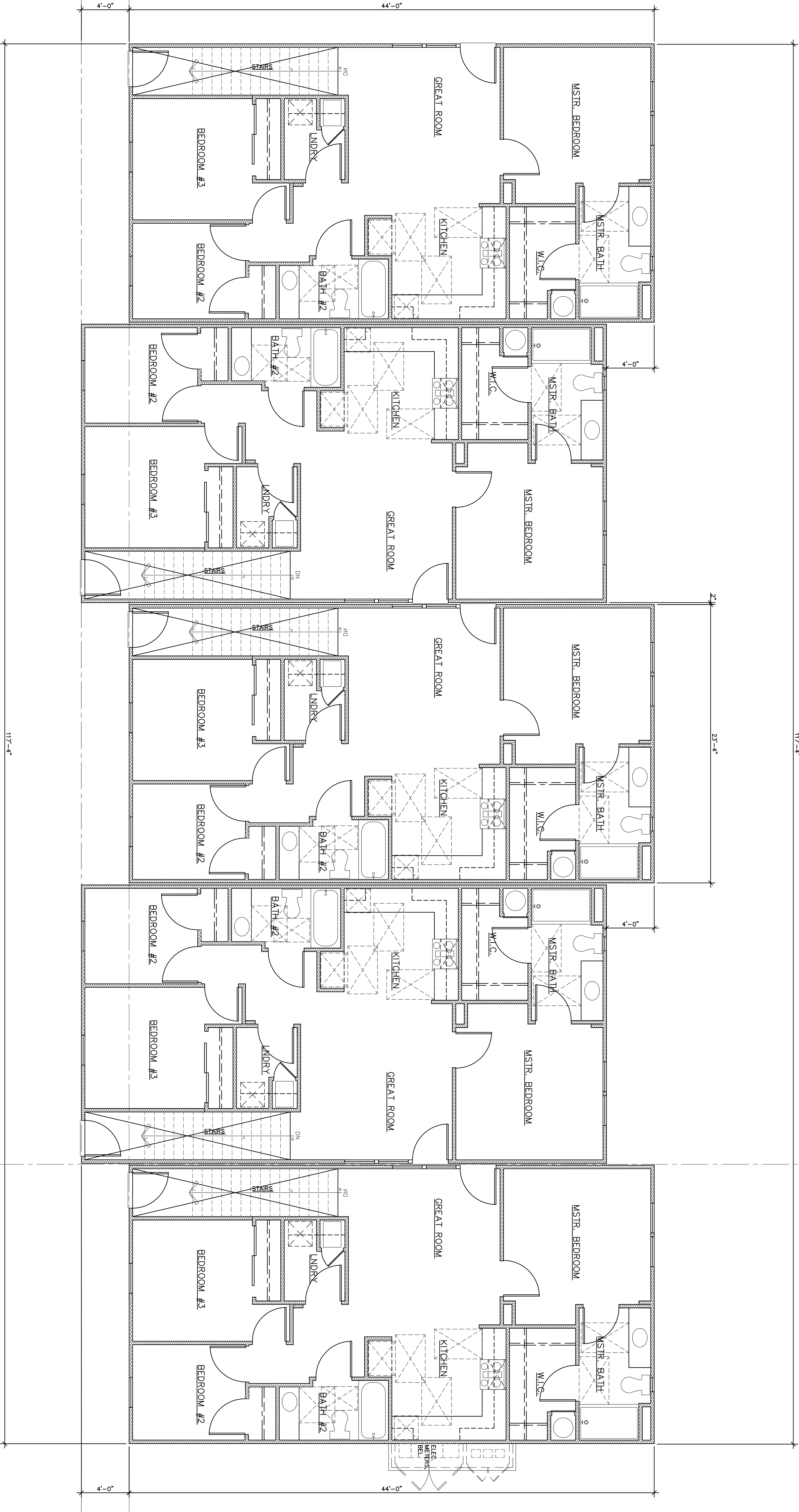

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RESIDENTIAL DEVELOPMENT
NEVACAL, LLC
1928 CAVALLO ROAD
ANTIOCH, CALIFORNIA 94509

Date	4/25/25
Scale	$1/4" = 1' - 0"$
Drawn	LFD
Job	NEVACAL06
Sheet No.	A.2

3 OF 11 SHEETS



SECOND FLOOR BUILDING PLAN

1/4"=1'-0"

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SECOND FLOOR
BUILDING PLAN

RESIDENTIAL DEVELOPMENT
NEVACAL, LLC
1928 CAVALLO ROAD
ANTIOCH, CALIFORNIA 94509

Date 4/25/25

Scale 1/4"=1'-0"

Drawn LFD

Job NEVACAL06

Sheet No.

A.3
4 of 11 SHEETS

SHEET NOTES

- 1

COMPOSITION SHINGLE ROOF O/ 1/2" ROOF SHING, MATCH EXISTING
- 2

GSM FASCIA GUTTER & DOWNSPOUT, MATCH EXISTING
- 3

LP SHARTSIDE 3/8 SERIES CEDAR TEXTURE, 8 IN. O.C., ENGR'D TREATED WOOD O/ TYXEC BLDG WRAP O/ 1/2" OSB SHIT'G
- 4

1X3 TRIM O/ 2X8 BARGE
- 5

1X4 CORNER TRIM
- 6

GSM Z FLASHING
- 7

3'-8"W X 3'-0"Dp. CONC. STOOP
- 8

FINISH GRADE

ROOF NOTES

- 1.) ROOF COVERING MATERIAL SHALL BE COMPOSITION SHINGLES, SHALL BE LISTED AS A CLASS A, FIRE RETARDENT MATERIAL, MATCH EXISTING ROOFING, O/ 30# FELT O/ ROOF SHEATHING, NAIL W/ 6d HOT DIPED GALVD @ 6/12
- 2.) PROVIDE ROOF FLASHING @ ALL ROOF TO WALL CONDITIONS.
- 3.) GUTTERS & DOWNSPOUT

COLOR/MATERIAL NOTES

- A GAF LAMINATED COMPOSITION ROOF - OYSTER GREY
- B LP SHARTSIDE 3/8 SERIES - SHERWIN WILLIAMS - SW 7066 GRAY MATTERS
- C GSM FASCIA GUTTER - SHERWIN WILLIAMS - SW 7757 HIGH REFLECTIVE WHITE
- D GREY SPLIT-FACED CONCRETE BLOCK, 8" X 8" X 16"
- E 2X4 WINDOW & CORNER TRIM - SW 7757 HIGH REFLECTIVE WHITE

REVISIONS

BY		



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FRONT & RIGHT
SIDE ELEVATIONS

REGENCY GARDENS - 5 UNIT DEVELOPMENT
FOR NEVACAL, LLC

1928 CAVALLO ROAD
ANTIOCH, CALIFORNIA 94509

Date 4/25/25

Scale AS NOTED

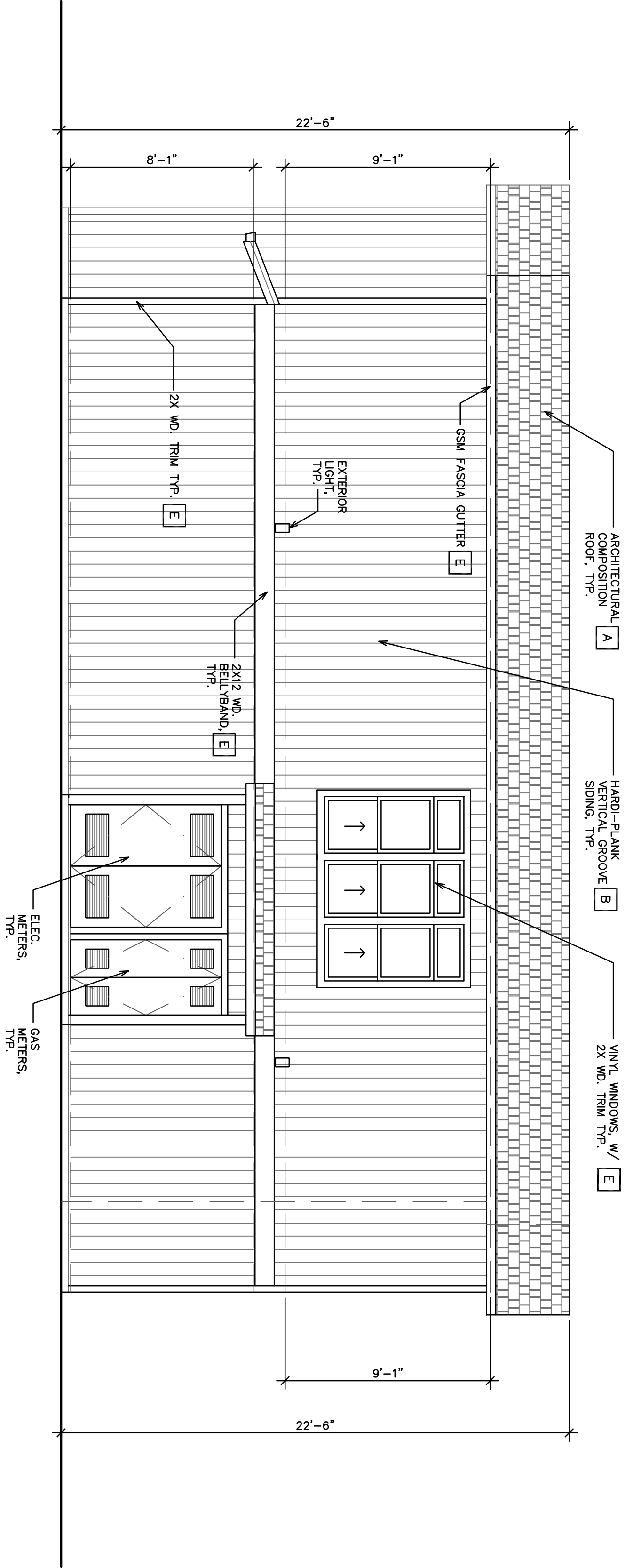
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Job NEVACAL06

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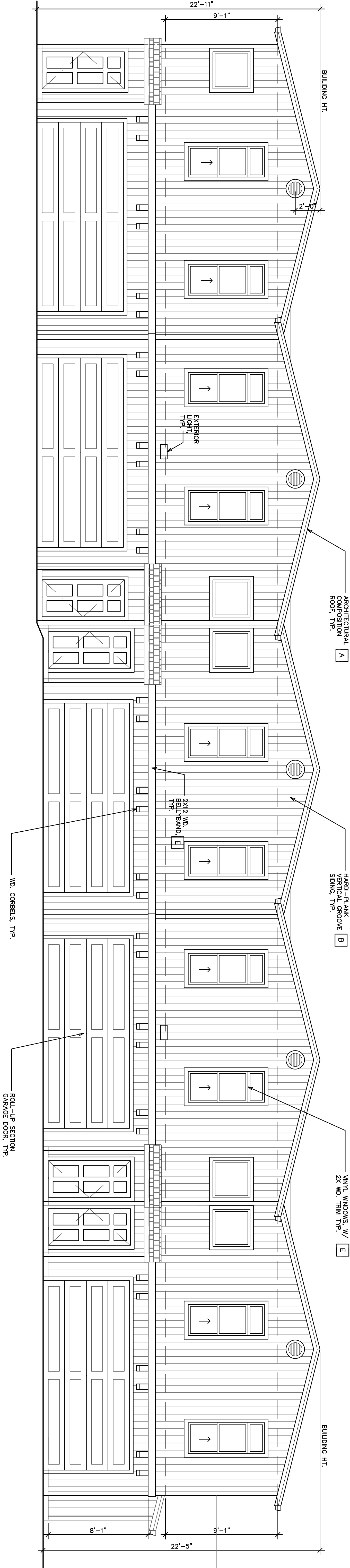
A.4

5 of 11 SHEETS



RIGHT SIDE ELEVATION (LEFT SIDE SIM.)

1/4"=1'-0"



FRONT ELEVATION

1/4"=1'-0"

SHEET NOTES

- 1

COMPOSITION SHINGLE ROOF O/ 1/2" ROOF SHING, MATCH EXISTING
- 2

GSM FACIA GUTTER & DOWNSPOUT, MATCH EXISTING
- 3

LP SHARTSIDE 38 SERIES CEDAR TEXTURE, MATCH EXISTING
- 4

WOOD O/ TYREX BLDG WRAP O/ 1/2" OSB SHING
- 5

1X3 TRIM O/ 2X8 BARGE
- 6

GSM 2 FLASHING
- 7

3'-8"W X 3'-0"DP, CONC. STOOP
- 8

FINISH GRADE

ROOF NOTES

- 1.) ROOF COVERING MATERIAL SHALL BE COMPOSITION SHINGLES, SHALL BE LISTED AS A CLASS "A" FIRE RETARDENT MATERIAL, MATCH EXISTING ROOFING, O/ 30# FELT O/ ROOF SHEATHING, NAIL W/ 6d HOT DIPPED GALV'D @ 6" / 12"
- 2.) PROVIDE ROOF FLASHING @ ALL ROOF TO WALL CONDITIONS.
- 3.) GUTTERS & DOWNSPOUT

COLOR/MATERIAL NOTES

- A

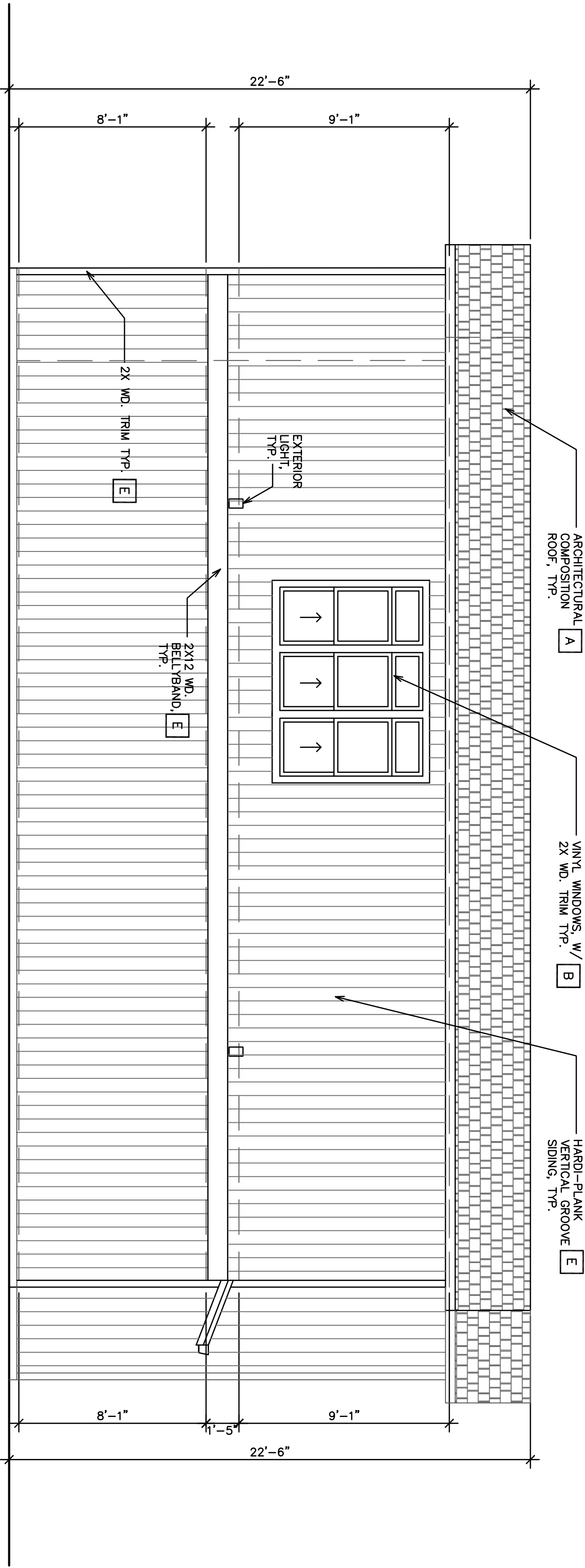
64F LAMINATED COMPOSITION ROOF - OYSTER GREY
- B

LP SHARTSIDE 38 SERIES - SHERWIN WILLIAMS - SW 7066 GRAY MATTERS
- C

GSM FACIA GUTTER - SHERWIN WILLIAMS - SW 7757 HIGH REFLECTIVE WHITE
- D

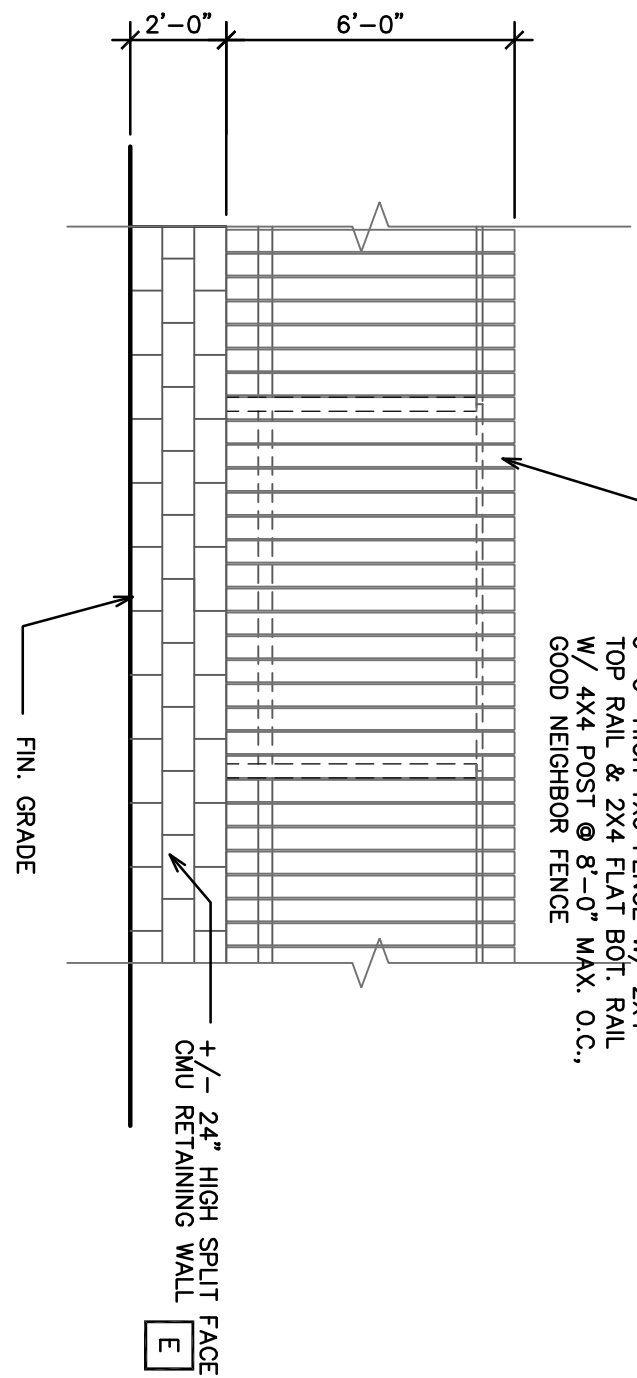
GREY SPILT-FACED CONCRETE BLOCK, 8" X 8" X 16"
- E

2X4 WINDOW & CORNER TRIM - SW 7757 HIGH REFLECTIVE WHITE



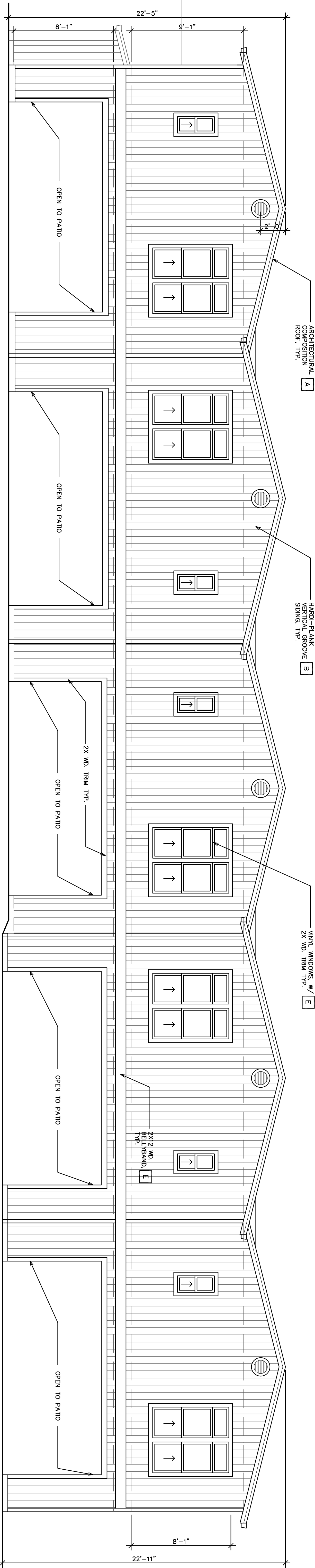
CMU RET. WALL & FENCE

1/4"=1'-0"



LEFT SIDE ELEVATION

1/4"=1'-0"



REAR ELEVATION

1/4"=1'-0"

REVISIONS	BY



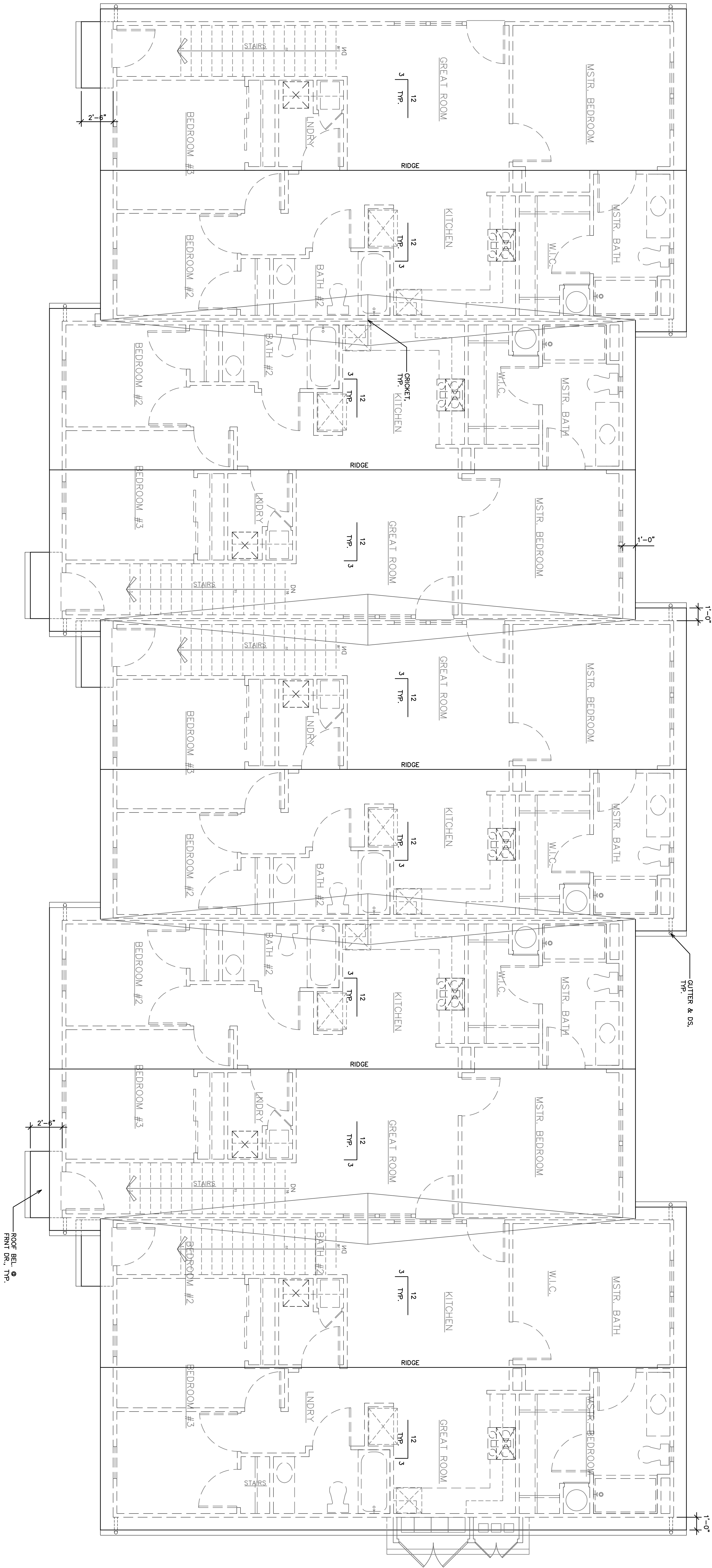
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REAR, LEFT, CMU &
FENCE ELEVATIONS

REGENCY GARDENS - 5 UNIT DEVELOPMENT
FOR NEVACAL, LLC
1928 CAVALLO ROAD
ANTIOCH, CALIFORNIA 94509

Date	4/25/25
Scale	AS NOTED
Drawn	LFD
Job	NEVACAL06
Sheet No.	

A.5



ROOF PLAN - BUILDING

1/4"=1'-0"

REVISIONS	BY



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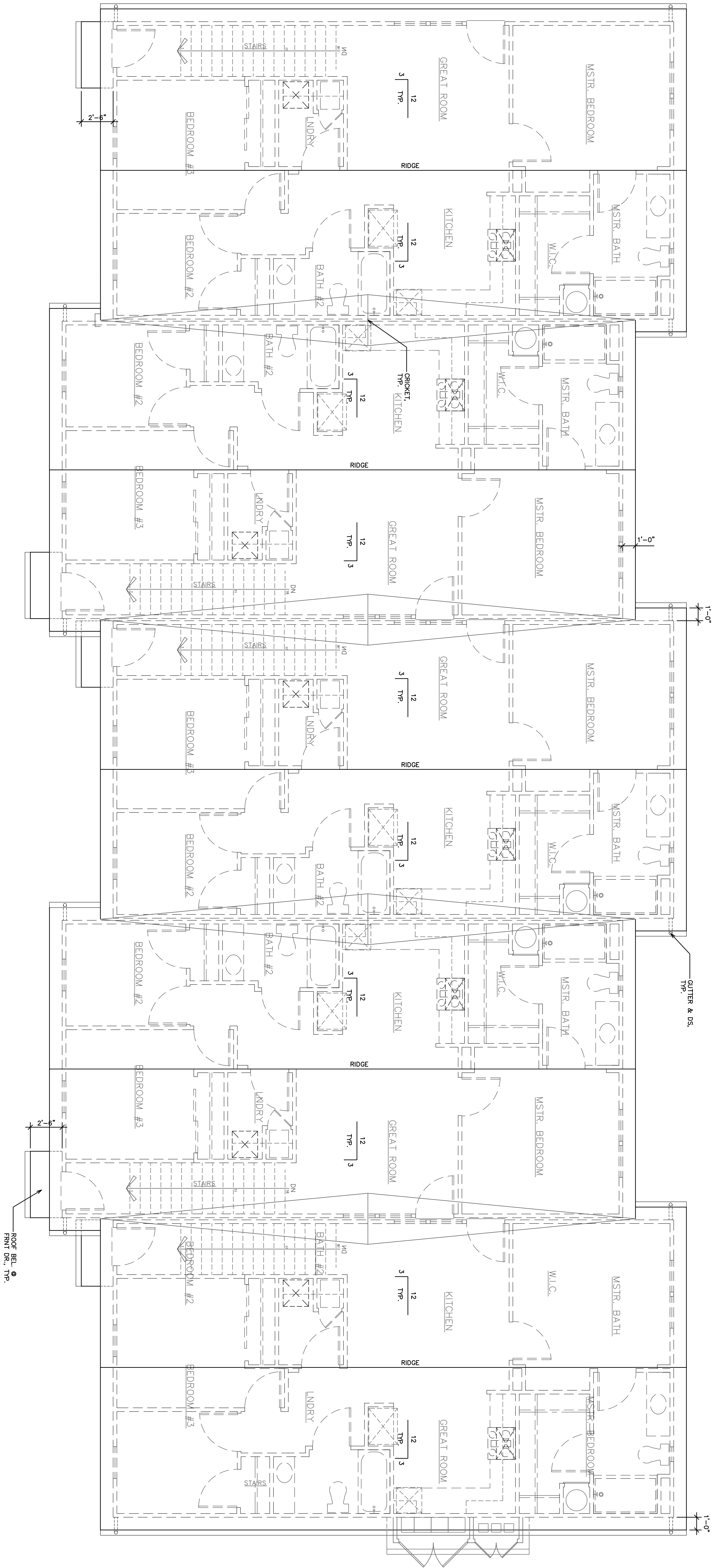
Tel: 707.483.4394 Fax: 707.747.1015

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ROOF PLAN – BUILDING

REGENCY GARDENS – 5 UNIT DEVELOPMENT
FOR NEVACAL, LLC
1928 CAVALLO ROAD
ANTIOCH, CALIFORNIA 94509

Date	4/25/25
Scale	AS NOTED
Drawn	LFD
Job	NEVACAL06
Sheet No.	



ROOF PLAN - BUILDING

1/4"=1'-0"

REVISIONS	BY



LUIS F. DELGADO

ARCHITECT

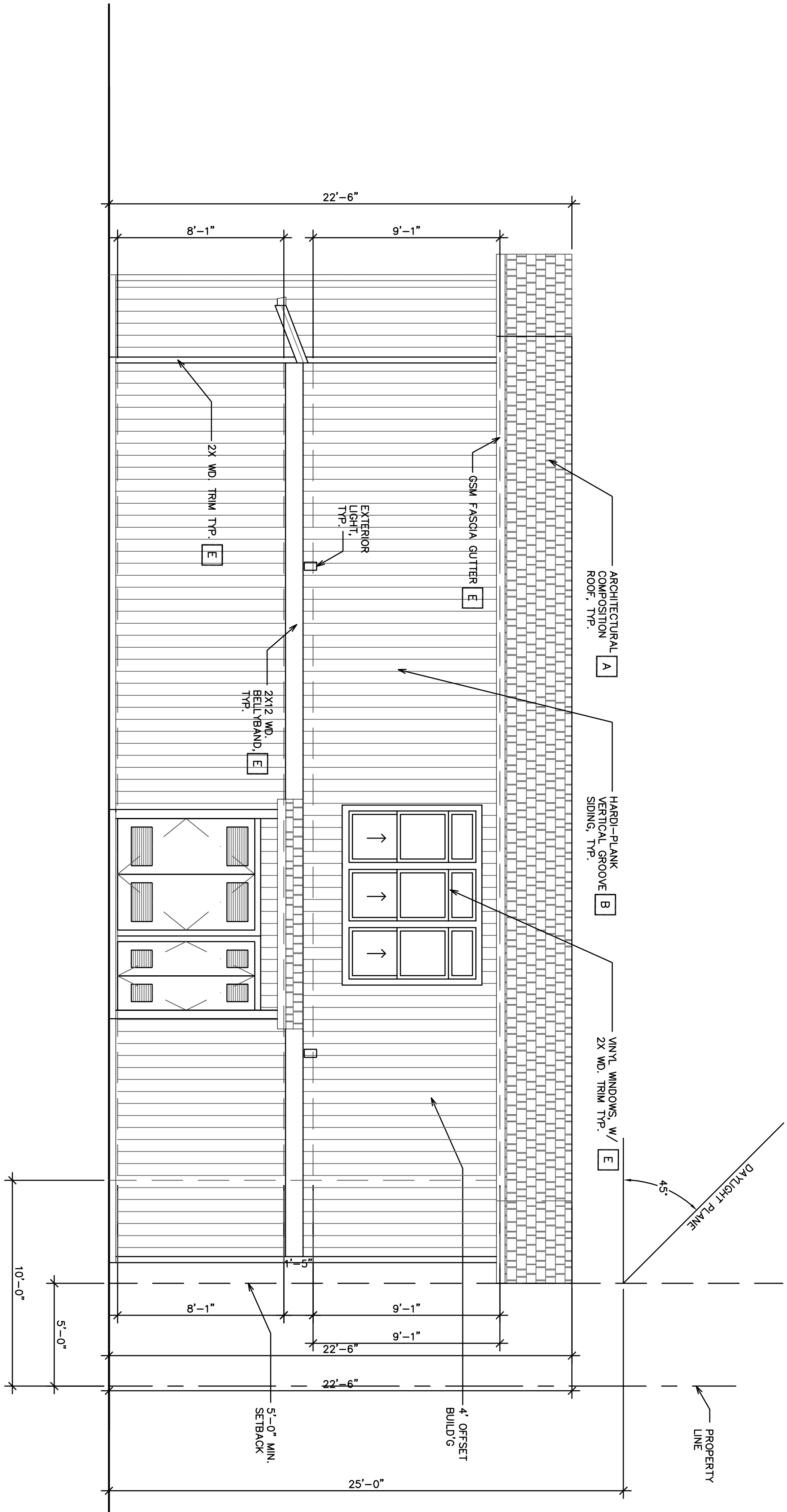
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ROOF PLAN – BUILDING

REGENCY GARDENS – 5 UNIT DEVELOPMENT
FOR NEVACAL, LLC
1928 CAVALLO ROAD
ANTIOCH, CALIFORNIA 94509



RIGHT SIDE ELEVATION W/ DAYLIGHT PLANE
1/4"=1'-0"

REVISIONS	BY



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RIGHT SIDE ELEV.
W/ DAYLIGHT PLANE

RESIDENTIAL DEVELOPMENT
NEVACAL, LLC
1928 CAVALLO ROAD
ANTIOCH, CALIFORNIA 94509

Date	4/25/25
Scale	1/4"=1'-0"
Drawn	LFD
Job	NEVACAL06
Sheet No.	

ROOF NOTES

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- 2) PROVIDE ROOF FLASHING @ ALL ROOF TO WALL CONDITIONS.
- 3) GUTTERS & DOWNSPOUT

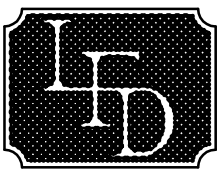
COLOR/MATERIAL NOTES

- A GAF LAMINATED COMPOSITION ROOF – OYSTER GREY
- B LP SMARTSIDE 38 SERIES – SHERWIN WILLIAMS – SW 7066 GRAY MATTERS
- C GSM FACIA GUTTER – SHERWIN WILLIAMS – SW 7757 HIGH REFLECTIVE WHITE
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REVISIONS

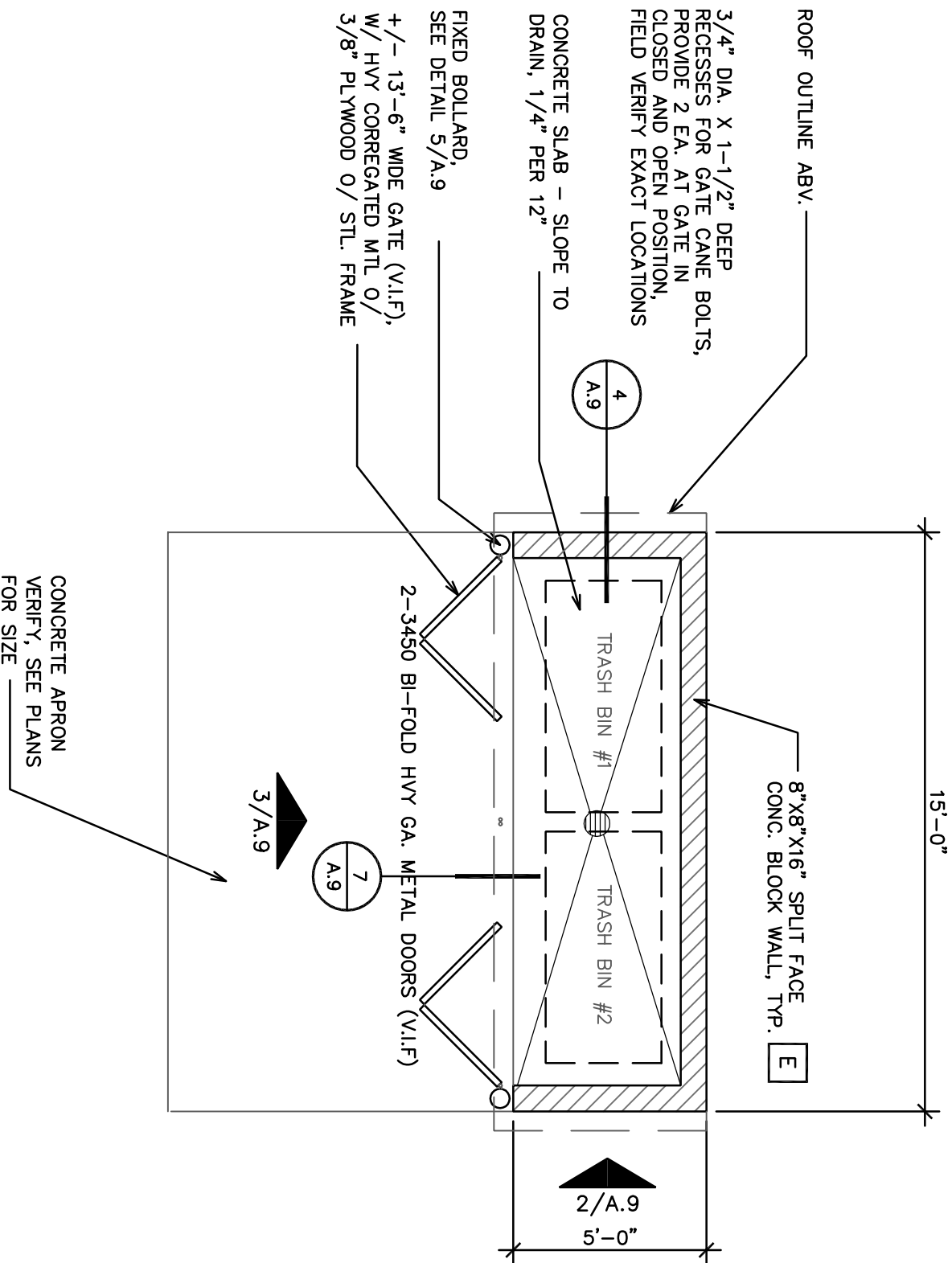
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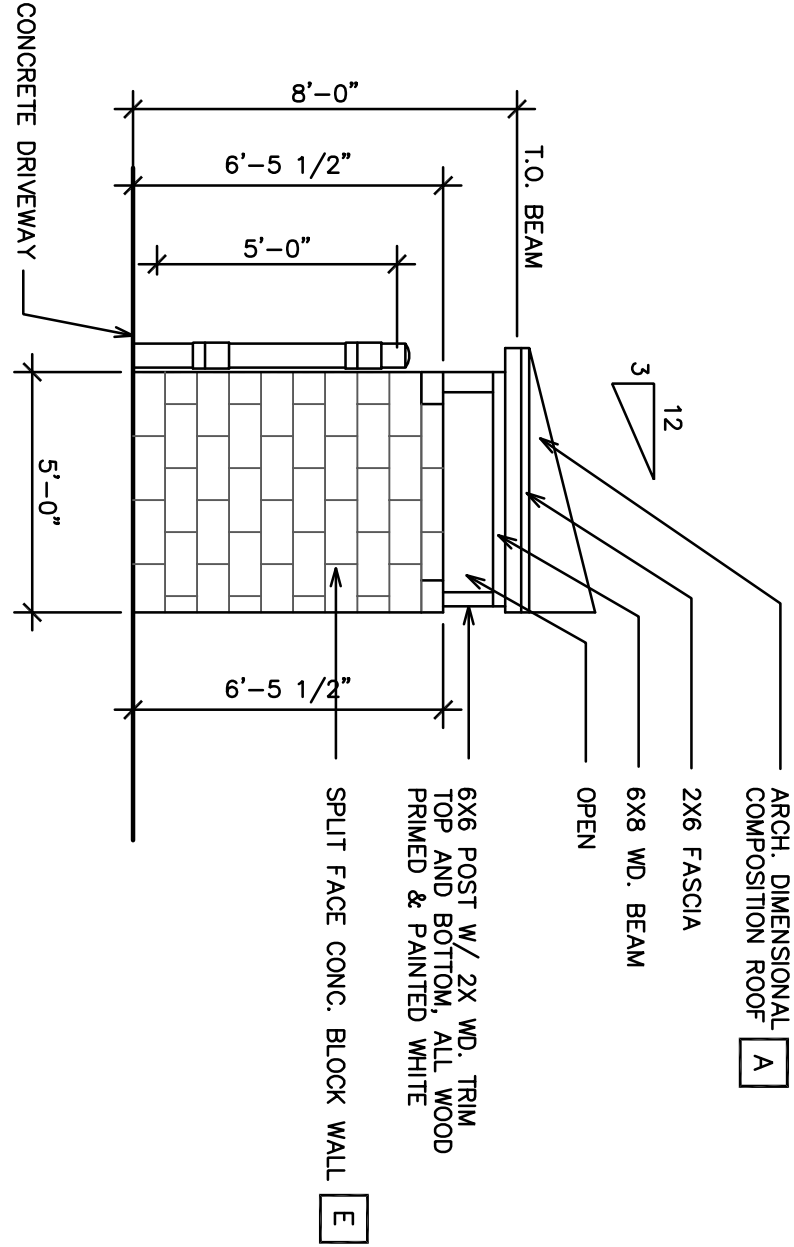


TRASH ENCLOSURE
PLANS

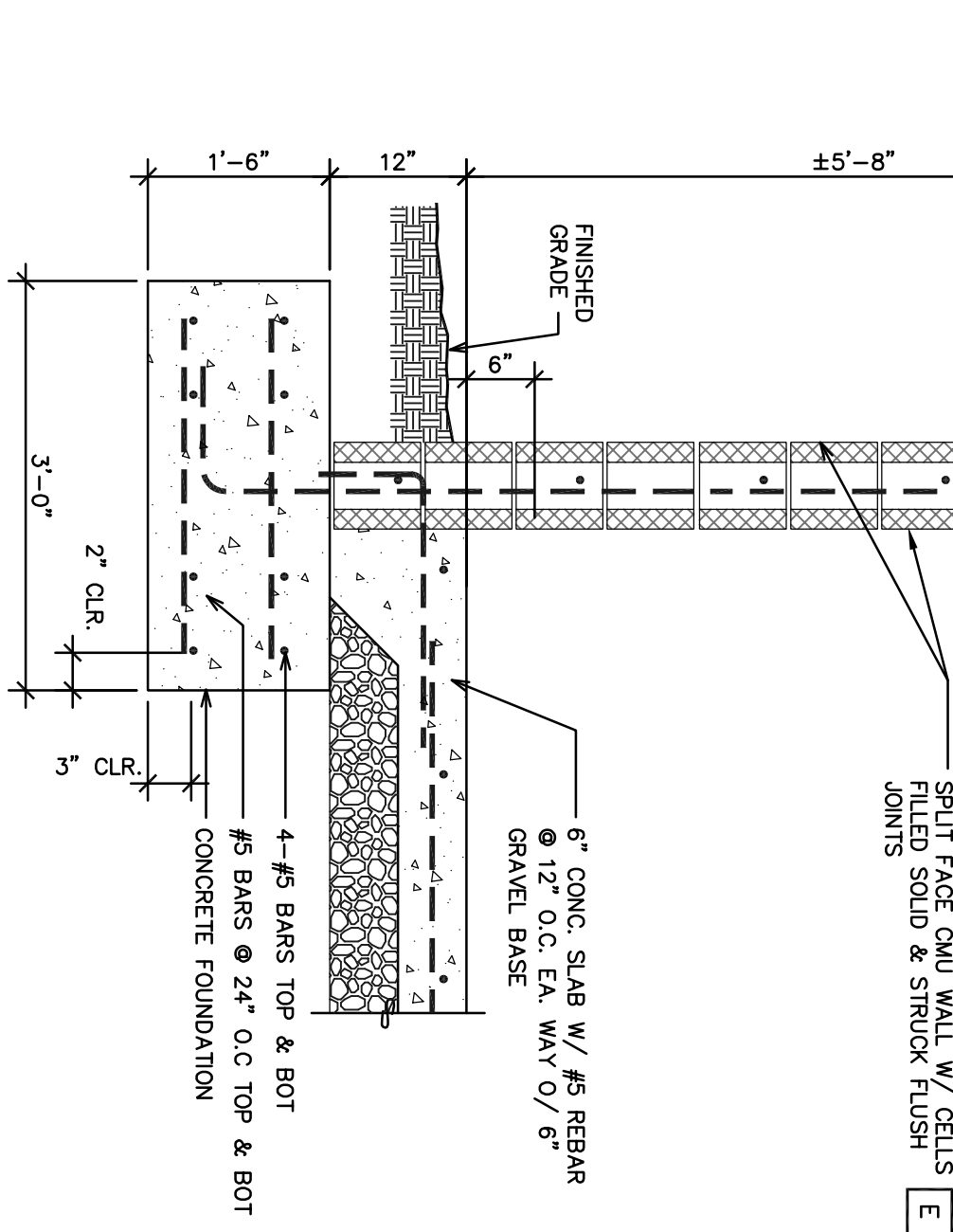
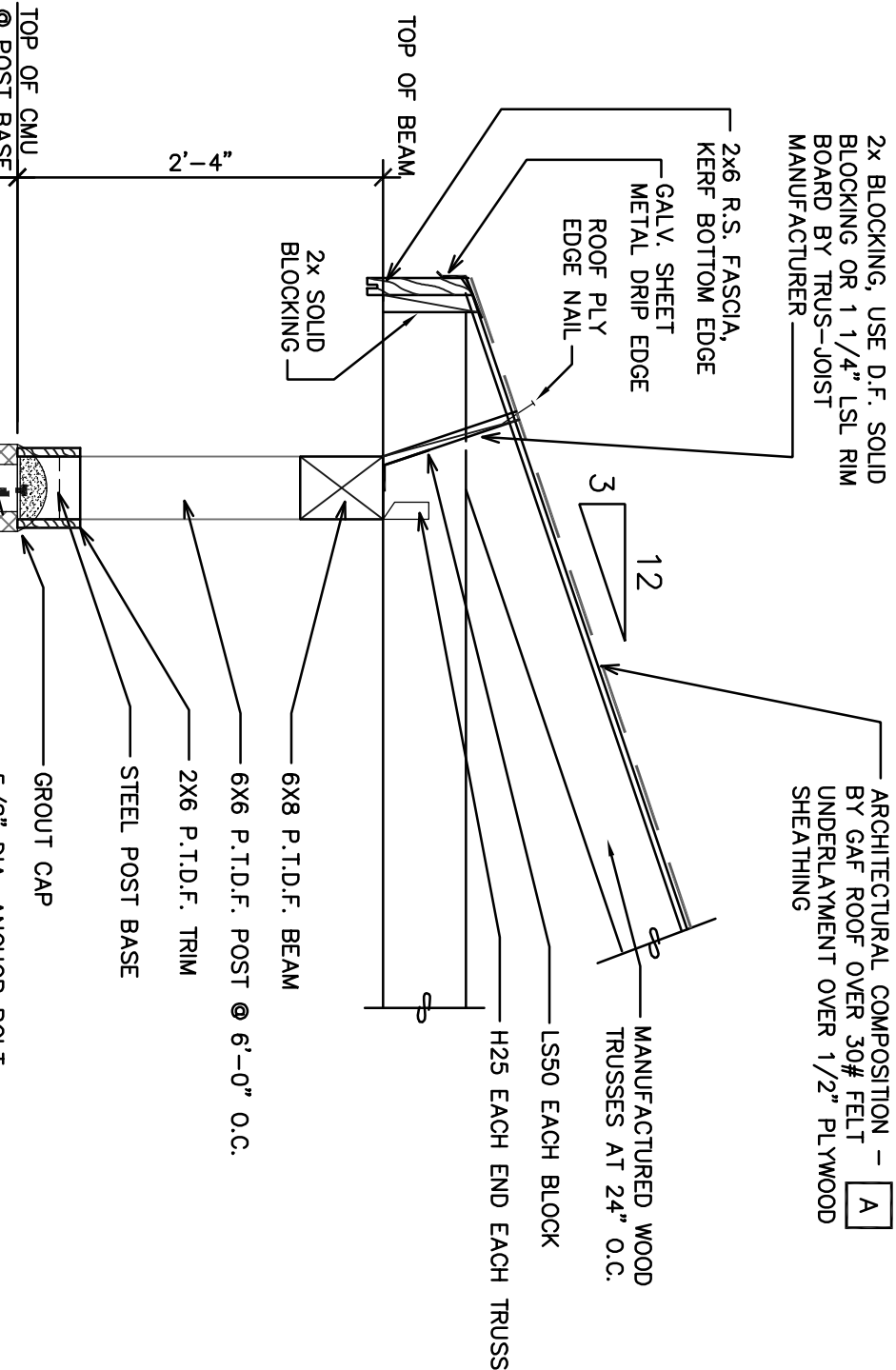
REGENCY GARDENS – 5 UNIT DEVELOPMENT
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1928 CAVALLO ROAD
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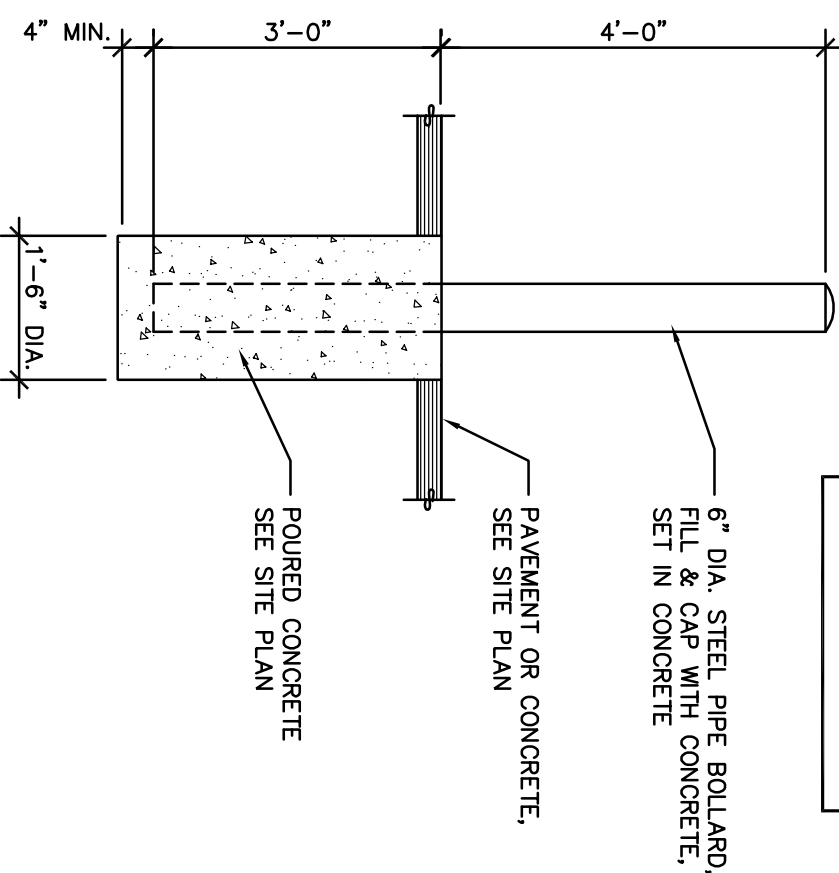
1 TRASH ENCLOSURE FLOOR PLAN
SCALE: 1/4" = 1'-0"



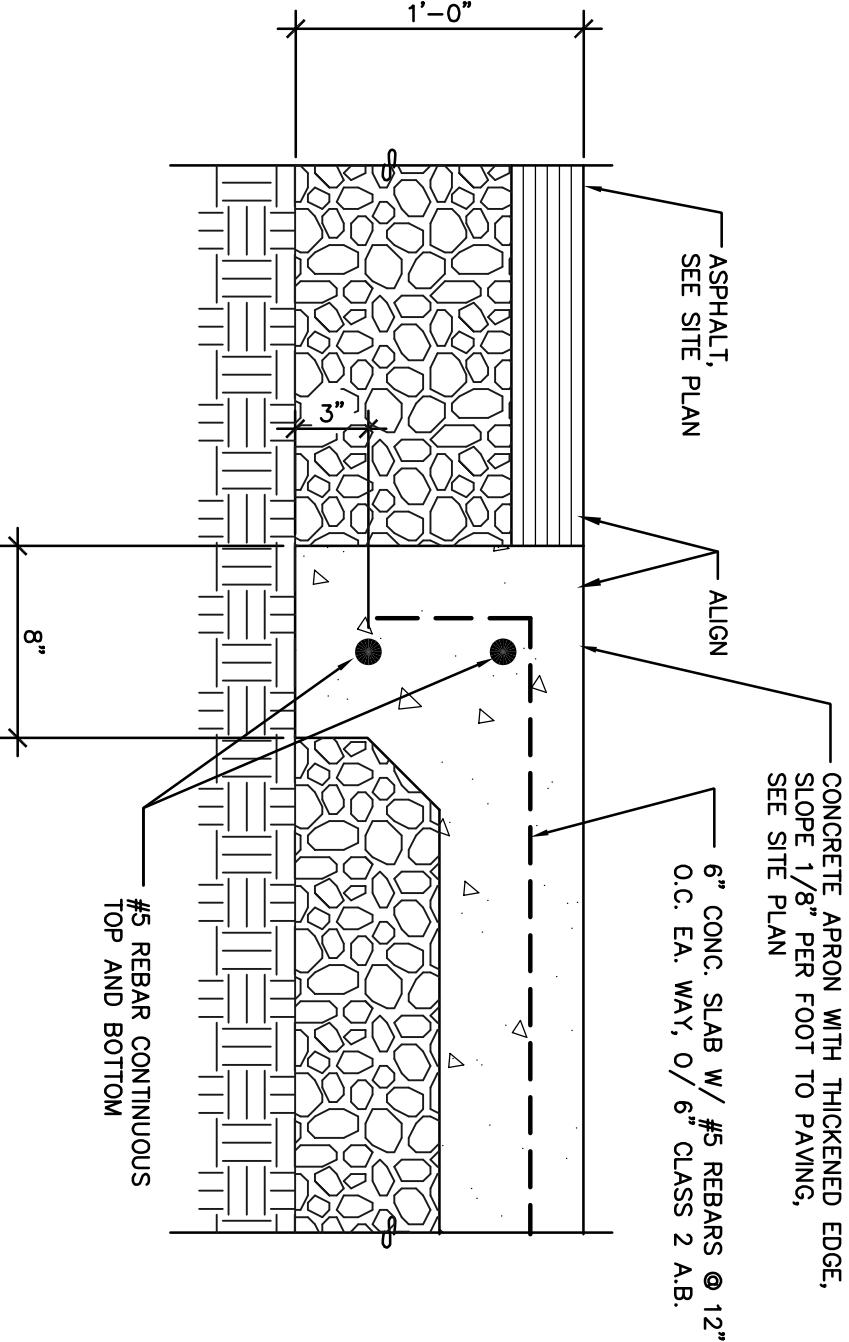
2 TRASH ENCLOSURE LEFT ELEVATION
SCALE: 1/4" = 1'-0"



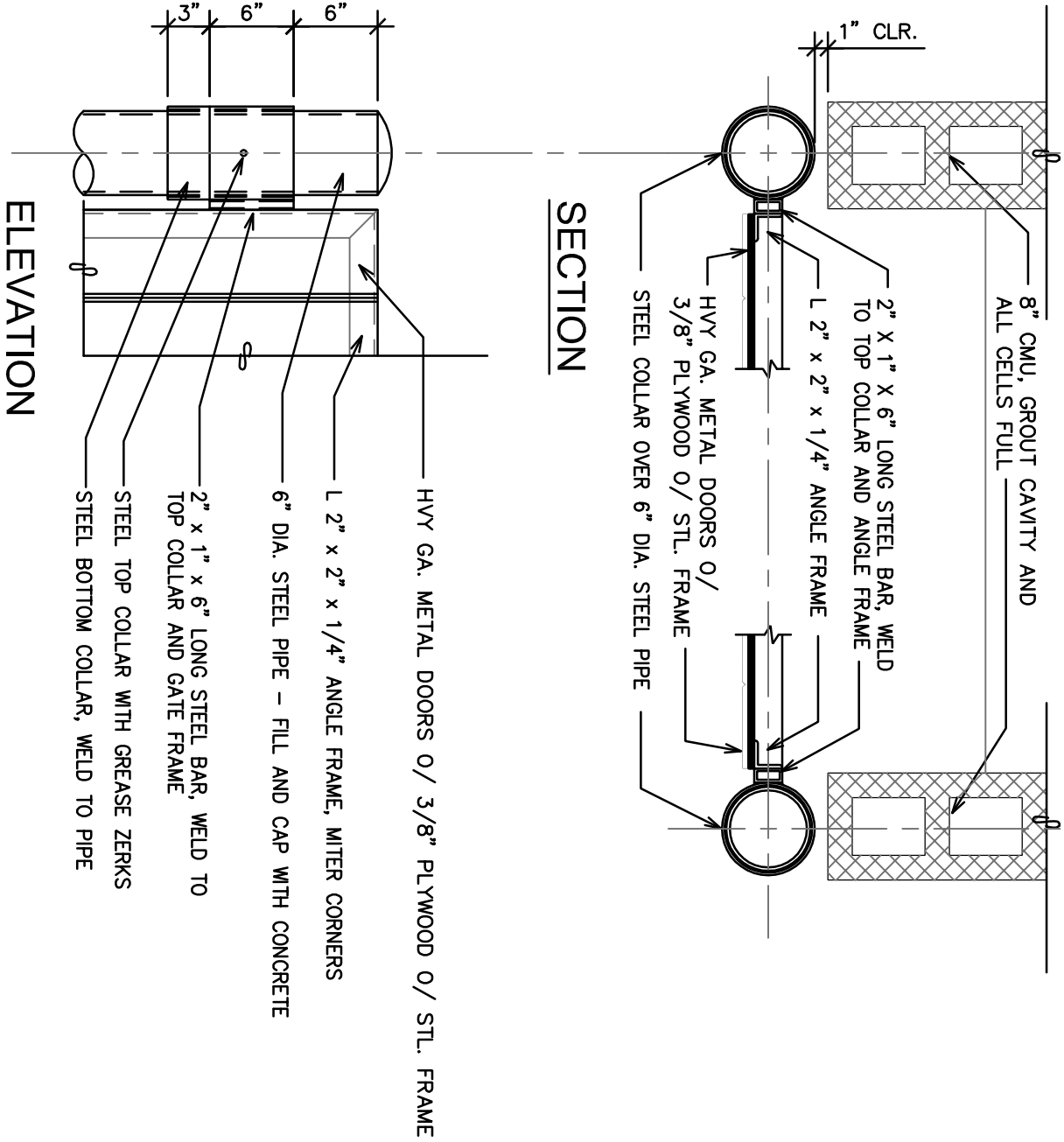
4 TRASH ENCLOSURE SECTION
SCALE: 3/4" = 1'-0"



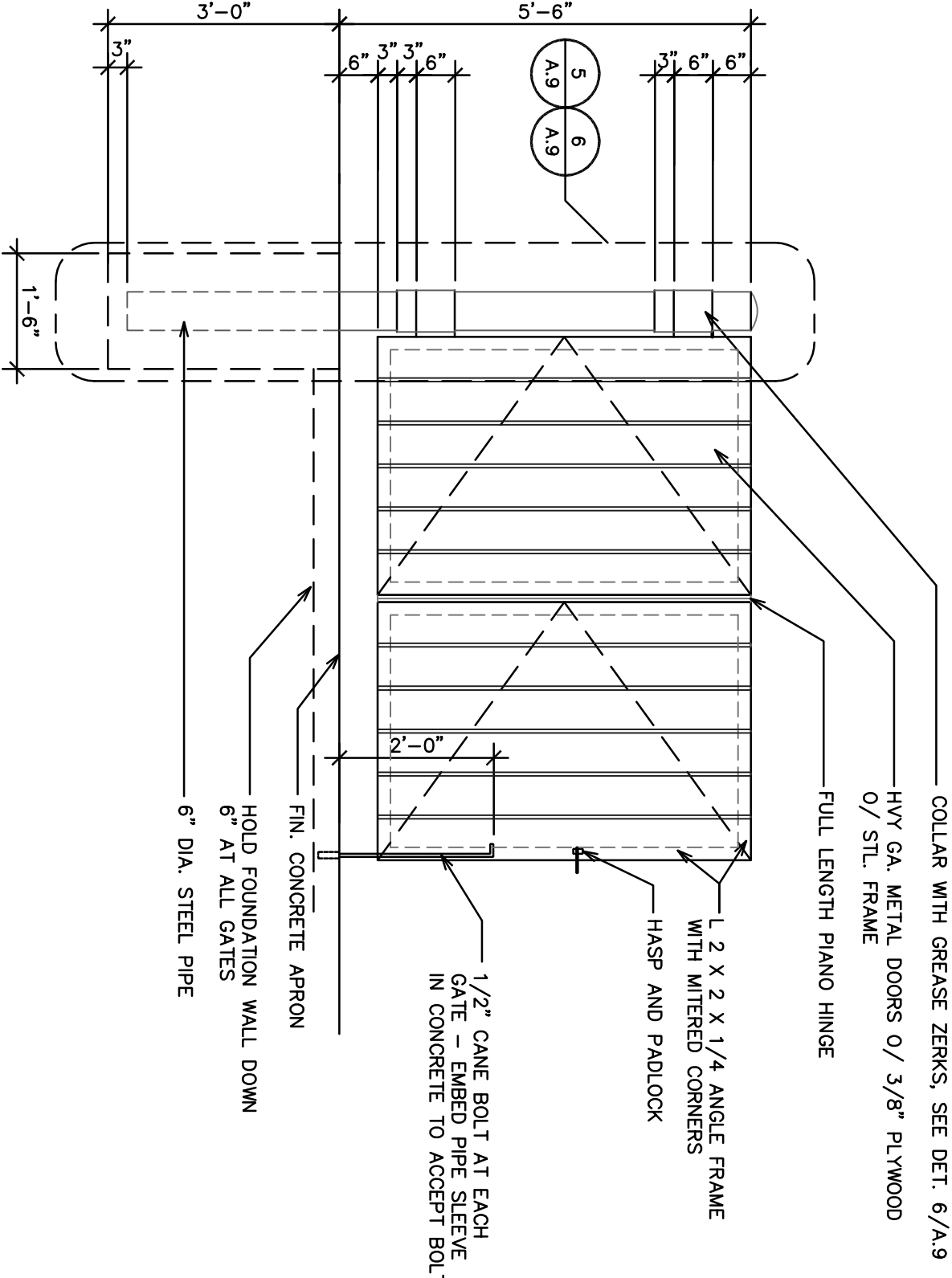
8 FIXED BOLLARD
SCALE: 1/2" = 1'-0"



7 CONCRETE APRON EDGE
SCALE: 1 1/2" = 1'-0"



6 TRASH ENCL. GATE JAMB DETAILS
SCALE: 1" = 1'-0"



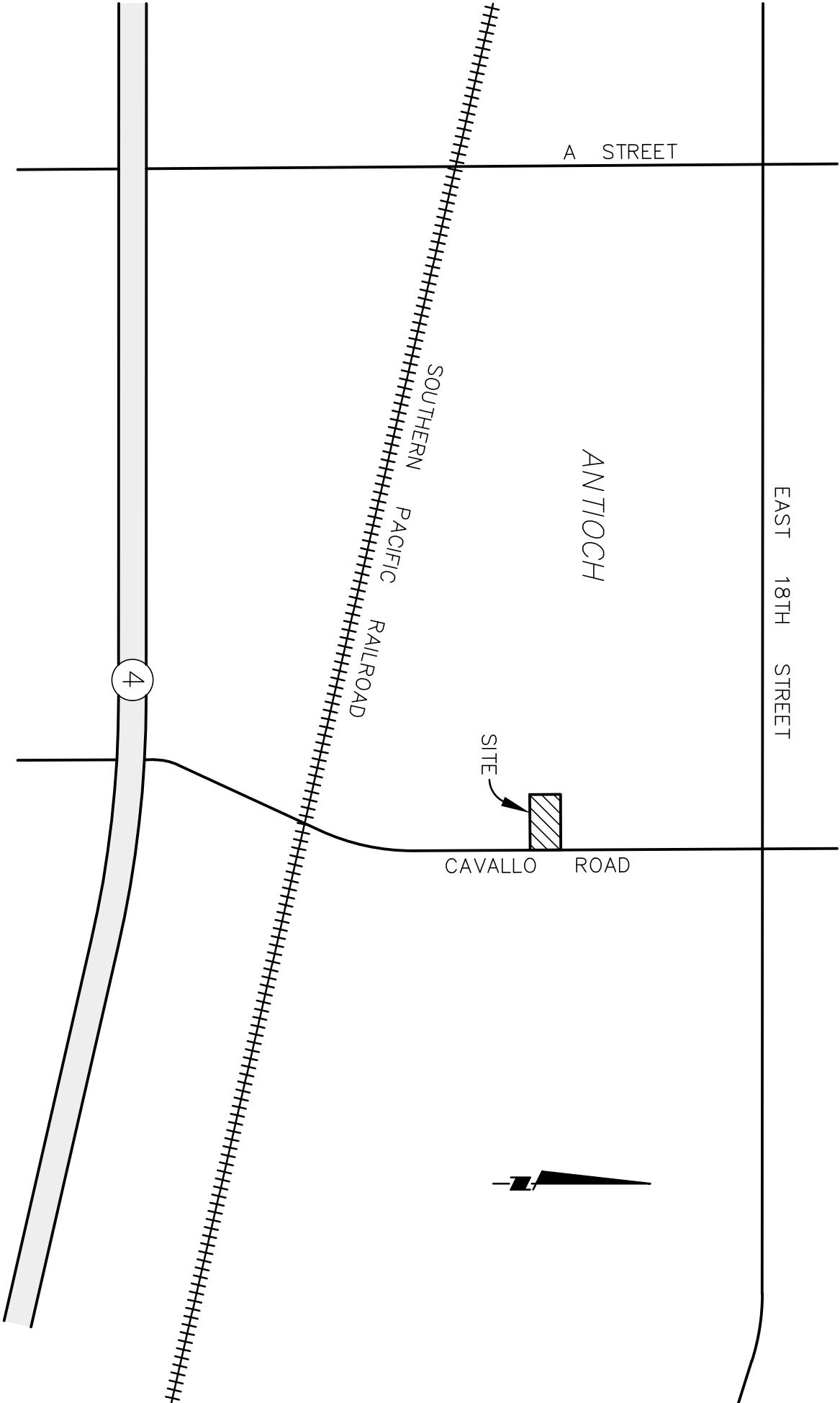
5 TRASH ENCLOSURE GATE ELEVATION
SCALE: 1/2" = 1'-0"

GENERAL NOTES

1. THE ENGINEER ASSUMES NO RESPONSIBILITY BEYOND THE ACCURACY OF HIS DESIGN CONTAINED HEREIN.
2. ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVEDD PLANS STAMPED AND DISTRIBUTED BY THE ENGINEERING SERVICES DIVISION PRIOR TO ACCEPTANCE OF THE WORK AS COMPLETE.
3. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALENT, (800) 642-2444, 48 HOURS PRIOR TO ANY EXCAVATION. THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.
4. ALL UTILITY DISTRIBUTION FACILITIES SHALL BE INSTALLED UNDERGROUND.
5. SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT TERRA FIRMA ENGINEERS AT (929) 437-3700 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
6. IF PAVING AND STORM DRAIN IMPROVEMENTS ARE NOT COMPLETED BY OCTOBER 1ST, TEMPORARY SILT AND DRAINAGE CONTROL FACILITIES SHALL BE INSTALLED TO CONTROL AND CONTAIN EROSION-CAUSED SILT DEPOSITS AND TO PROVIDE FOR THE SAFE DISCHARGE OF STORM WATERS INTO EXISTING STORM WATER FACILITIES. DESIGN OF THESE FACILITIES MUST BE APPROVED BY THE BUILDING INSPECTION DEPARTMENT.
7. CONTRACTOR IS RESPONSIBLE FOR TESTING (IN PRIVATE STREET) AND PROVIDING RESULTS TO COUNTY GRADING INSPECTOR.
8. THE CONTRACTOR SHALL COMPLY WITH ALL RULES, REGULATIONS AND PROCEDURES OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) FOR MUNICIPAL CONSTRUCTION AND INDUSTRIAL ACTIVITIES AS PROMULGATED BY THE CALIFORNIA STATE WATER RESOURCE CONTROL BOARD OR ANY OF ITS REGIONAL WATER QUALITY CONTROL BOARDS.
9. MINIMUM RELATIVE COMPACTION REQUIRED UNDER DRIVEWAYS SHALL BE 95%.
10. GRADING ADJACENT TO NEIGHBORING PROPERTY SHALL BE DONE SUCH THAT EXISTING DRAINAGE PATTERN FROM THESE LOTS SHALL NOT BE DISTURBED. ANY CONFLICT SHALL BE REPORTED TO THE ENGINEER.
11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS REPORT.
12. ALL GRADES SHOWN ARE FOR FINISHED SURFACES. CONTRACTOR TO MAKE APPROPRIATE ALLOWANCES FOR ROUGH GRADES.
13. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING HIS WORK TO AVOID CONFLICTS BETWEEN SEWER LATERALS, STORM DRAINS AND WATER MAINS.
14. THE CONTRACTOR SHALL COOPERATE AND COORDINATE HIS WORK WITH ALL OTHER UTILITY COMPANIES.
15. THE CONTRACTOR IS RESPONSIBLE FOR PRESERVATION AND/OR PERPETUATION OF ALL EXISTING MONUMENTS WHICH CONTROL SUBDIVISIONS, TRACTS, STREETS, OR HIGHWAYS, OR PROVIDE SURVEY CONTROL WHICH WILL BE DISTURBED OR REMOVED DUE TO CONTRACTORS' WORK. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 10 WORKING DAYS NOTICE TO PROJECT ENGINEER/SURVEYOR PRIOR TO DISTURBANCE OR REMOVAL OF EXISTING MONUMENTS. PROJECT ENGINEER/SURVEYOR SHALL COORDINATE WITH THE CONTRACTOR TO RESET MONUMENTS OR PROVIDE PERMANENT WITNESS MONUMENTS AND FILE THE REQUIRED DOCUMENTATION WITH THE COUNTY SURVEYOR PER BUSINESS AND PROFESSIONS CODE SECTION 8771.
16. NO TREES SHALL BE REMOVED UNLESS THEY ARE SHOWN AND NOTED TO BE REMOVED ON THE IMPROVEMENT PLANS. IF ANY TREES ARE TO BE REMOVED, THE IMPROVEMENT PLANS MUST BE REVIEWED AND ACKNOWLEDGED BY THE COMMUNITY DEVELOPMENT DEPARTMENT. ALL TREES CONFLICTING WITH GRADING, UTILITIES, OR OTHER IMPROVEMENTS, OR OVERHANGING THE SIDEWALK OR PAVEMENT SO AS TO FORM A NUISANCE OR HAZARD, SHALL BE TRIMMED PROPERLY, TREATED AND SEALED.
17. NOISE GENERATING CONSTRUCTION ACTIVITIES, INCLUDING SUCH THINGS AS POWER GENERATORS, SHALL BE LIMITED TO THE HOURS OF 7:30 A.M. TO 5:00 P.M., MONDAY THROUGH FRIDAY, AND SHALL BE PROHIBITED ON STATE OR FEDERAL HOLIDAYS. THE RESTRICTIONS ON ALLOWED WORKING DAYS MAY BE MODIFIED ON PRIOR WRITTEN APPROVAL BY ZONING ADMINISTRATOR.
18. THE CONTRACTOR AND HIS SUBCONTRACTORS ARE REQUIRED TO FIT ALL INTERNAL COMBUSTION ENGINES WITH MUFFLERS WHICH ARE IN A GOOD CONDITION AND SHALL LOCATE STATIONARY NOISE GENERATING EQUIPMENT SUCH AS AIR COMPRESSORS AND CONCRETE PUMPS AS FAR AWAY FROM EXISTING RESIDENCES AS POSSIBLE.
19. A DUST AND LITTER CONTROL PROGRAM SHALL BE SUBMITTED FOR THE REVIEW AND APPROVAL OF OF THE ZONING ADMINISTRATOR. ANY VIOLATION OF THE APPROVED PROGRAM OR APPLICABLE ORDINANCE SHALL REQUIRE AN IMMEDIATE WORK STOPPAGE. CONSTRUCTION WORK SHALL NOT BE ALLOWED TO RESUME UNTIL, IF NECESSARY, AN APPROPRIATE CONSTRUCTION BOND HAS BEEN POSTED.

GRADING NOTES

1. ALL GRADING, SITE PREPARATION, PLACING AND COMPACTION OF FILL TO BE DONE IN ACCORDANCE WITH ANTIOCH MUNICIPAL CODES AND CONTRA COSTA COUNTY GRADING ORDINANCE NO. 99-46; ALSO UNDER THE DIRECT SUPERVISION OF THE SOIL ENGINEER. SUBSEQUENT TO COMPLETION OF THE WORK, THE SOIL ENGINEER SHALL SUBMIT TO THE COUNTY BUILDING INSPECTION DEPARTMENT A REPORT STATING THAT ALL WORK HAS BEEN DONE TO ITS SATISFACTION.
2. CONTRACTOR TO NOTIFY CONTRA COSTA COUNTY GRADING SECTION 48--HOURS PRIOR TO START OF WORK. OWNER/CONTRACTOR NEEDS TO SET UP AN INSPECTION (CODE 600) OFF THE PERMIT CARD.
3. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER.
4. ANY DEVIATION FROM APPROVED PLAN REQUIRES APPROVAL FROM THE CITY OF ANTIOCH AND THE CONTRA COSTA COUNTY SENIOR GRADING INSPECTOR.
5. ALL SLIDE REPAIR WORK, KEYWAYS, SUBDRAIN INSTALLATION, AND LINED DITCH WORK SHALL BE INSPECTED BY THE GRADING SECTION. REPORT FROM THE SOIL ENGINEER SHALL BE SUBMITTED TO THE GRADING SECTION REGARDING THE SLIDE REPAIR AND/OR SUBDRAIN INSTALLATION.
6. DURING GRADING OPERATIONS, CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES ON SITE AND HAUL ROUTES.
7. A FINAL REPORT BY THE CIVIL ENGINEER CERTIFYING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED AND THE SLOPE PLANNING INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS, SHALL BE SUBMITTED TO THE COUNTY PRIOR TO ISSUANCE OF BUILDING PERMITS.
8. SILT AND EROSION CONTROL PLANS REQUIRED FOR WORK DURING RAINY SEASON. (OCTOBER 15 THROUGH APRIL 15) EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED BY OCT. 1.
9. IF THERE ARE ANY EXISTING WATER WELLS ON THIS PROPERTY, YOU SHALL CONTACT THE COUNTY DEPARTMENT OF HEALTH SERVICES, ENVIRONMENTAL HEALTH DIVISION, PRIOR TO ANY GRADING IN THE IMMEDIATE VICINITY OF THESE WELLS.
10. GRADING WORK HOURS ARE 7:30 A.M. TO 5:30 P.M., MONDAY THRU FRIDAY. NO GRADING WORK WILL BE PERFORMED ON OBSERVED NATIONAL HOLIDAYS.



VICINITY MAP
NOT TO SCALE

- SHEET INDEX**
1. COVER SHEET
 2. PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
 3. SECTIONS
 4. SECTIONS

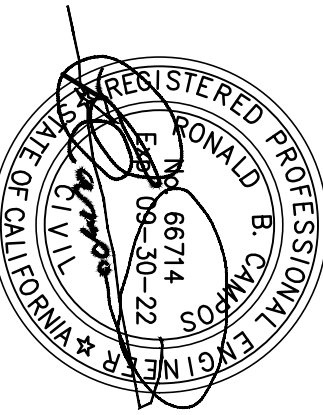
DATE: 12/13/24

SCALE: AS SHOWN

DESIGNED BY: RAM

DRAWN BY: RF

CHECKED BY: RBC



NO.	DATE	APPROV	REVISION

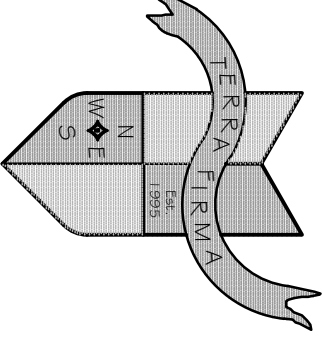
TERRA FIRMA

ENGINEERING-SURVEYING-LAND PLANNING

GOLF COURSE DESIGN

3710 LONE TREE WAY #113, ANTIOCH, CA. 94509

PH: 925.437.3700



ANTIOCH

COVER SHEET

1926 CAVALLLO ROAD

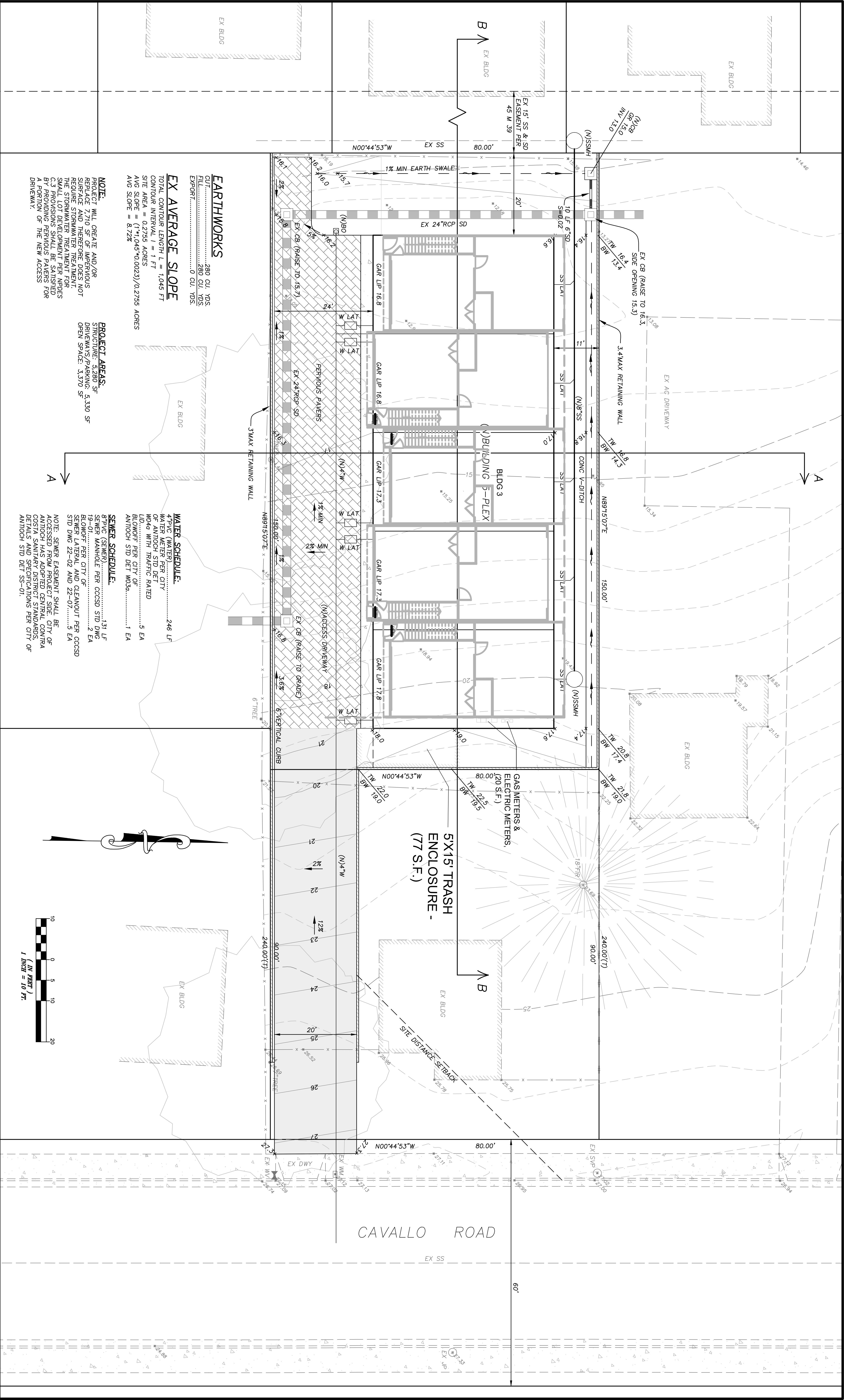
CONTRA COSTA COUNTY

CALIFORNIA

SHEET 1

OF 4 SHEETS

PROJECT NO. 1797



DATE: 12/13/2024

SCALE: AS SHOWN

DESIGNED BY: RAM

DRAWN BY: RF

CHECKED BY: RBC

REGISTERED PROFESSIONAL ENGINEER

ANTONIO B. CAMACHO

66714

06-30-22

ANTIOCH, CA

REGISTERED

PROJECT NO.

1797

NO. DATE

4/10/25

REVISION

TERRA FIRMA

ENGINEERING-SURVEYING-LAND PLANNING

GOLF COURSE DESIGN

3710 LOVE TREE WAY #113, ANTIPOCH, CA 94509

PH: 925.437.3700

ANTIOCH

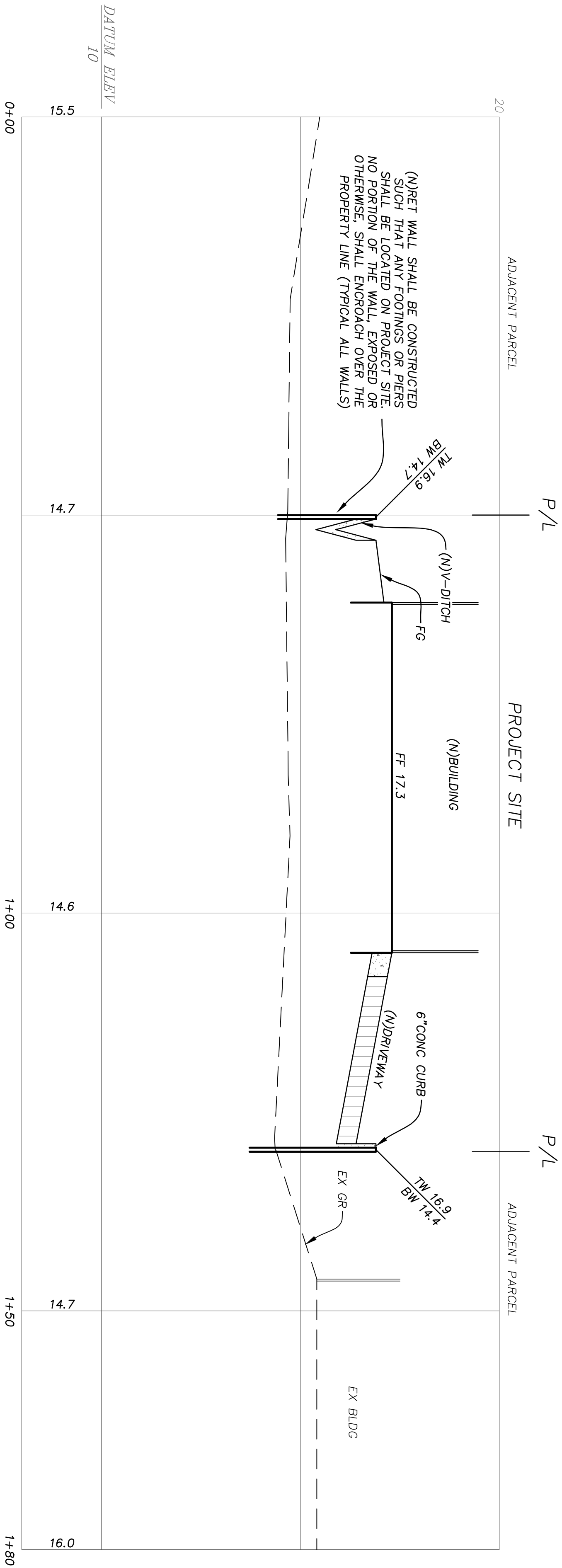
CONTRA COSTA COUNTY

CALIFORNIA

SHEET 2

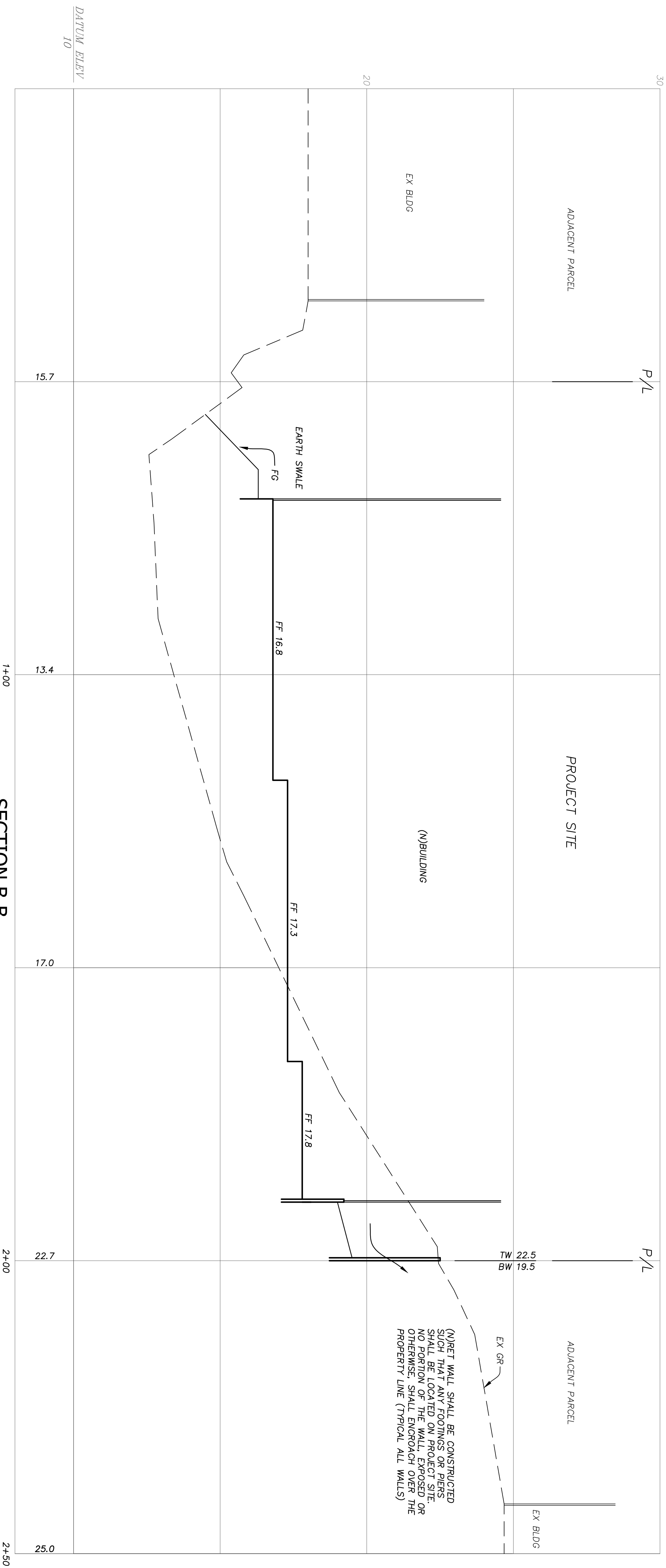
OF 4 SHEETS

PROJECT NO. 1797



SECTION A-A

SCALE: 1"=10' HORIZ.
1"=2' VERT.



SECTION B-B

SCALE: 1"=10' HORIZ.
1"=2' VERT.

DATE: 12/13/2024

SCALE: AS SHOWN

DESIGNED BY: RAM

DRAWN BY: RF

CHECKED BY: RBC

REGISTERED PROFESSIONAL ENGINEER
B. CAMERO
66714
08-30-22
CIVIL
STATE OF CALIFORNIA

NO.	DATE	REVISION

TERRA FIRMA

ENGINEERING-SURVEYING-LAND PLANNING

GOLF COURSE DESIGN

3710 LONE TREE WAY #113, ANTIOCH, CA 94509

PH: 925.437.3700

ANTIOCH

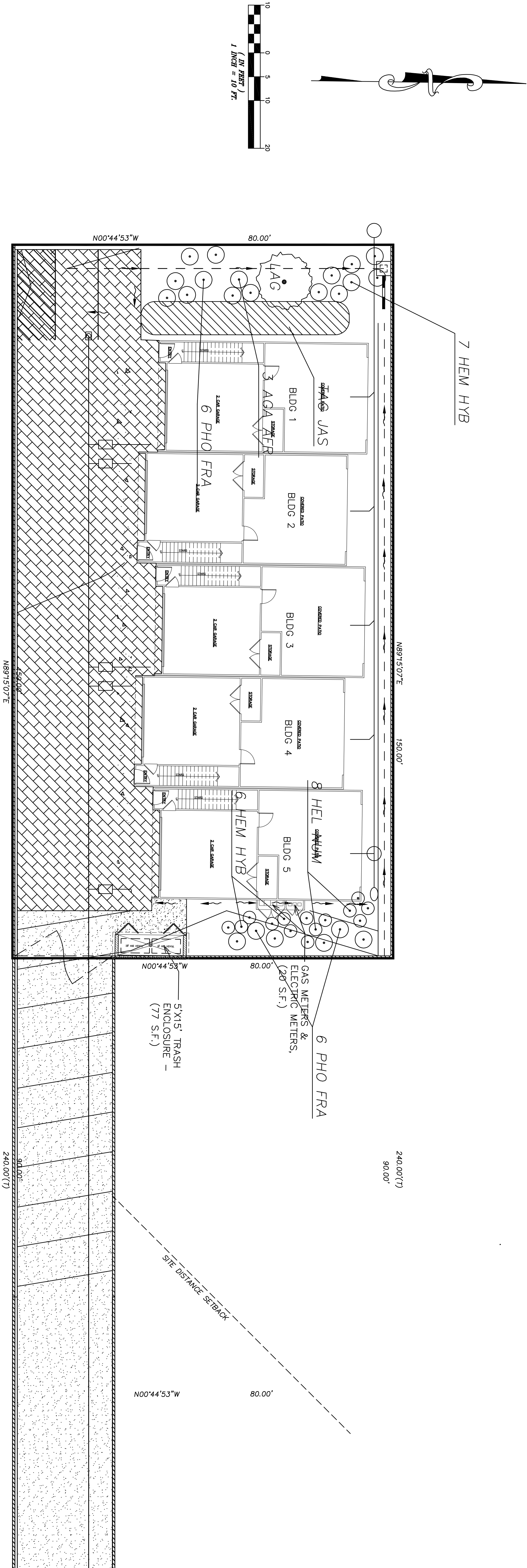
1926 CAVALLLO ROAD

CONTRA COSTA COUNTY

CALIFORNIA

SHEET
4
OF 4 SHEETS

PROJECT NO.
1797



NOTES

1. PROPOSED PLANT MATERIALS TO BE CALIFORNIA NATIVES OR MEDITERRANEAN PLANT MATERIALS, RECOMMENDED BY EAST BAY MUNICIPAL UTILITY DISTRICT PUBLICATION ENTITLED 'WATER – CONSERVING PLANTS & LANDSCAPES FOR THE BAY AREA', AND CCC WATER PROGRAM STORMWATER C.3 GUIDEBOOK.
2. ALL PLANTING AREAS SHALL BE IRRIGATED WITH AUTOMATIC WATER CONSERVING IRRIGATION SYSTEM.

PLANT LIST

KEY	TYPE	GENUS	COMMON NAME	SIZE
LAG	TREE	LAGERSTOEMIA	CREPE MYRTLE	15 GAL
AGA AFR	SHRUB	AGAPANTHA AFRICANUS	LILY OF THE NILE	5 GAL
HEL NUM	SHRUB	HELIANTHAMUM NUMMILUM	SUNROSE	5 GAL
HEM HYB	SHRUB	HEMEROCALLIS HYBRID	EVERGREEN DAY LILY	5 GAL
LAV Q	SHRUB	LAVENDULA S. 'OTTO QUAST'	SPANISH LAVENDER	5 GAL
PHO FRA	SHRUB	PHOTINIA FRASERI	RED LEAF PHOTINA	5 GAL
TAC JAS	GROUND COVER	TACHELOSPERMUM JASMINOIDES	STAR JASMINE	1 GAL @ 24"OC



10643 W. Airport Blvd.
Building B, Suite 400
Stafford, TX 77477
Call (713) 389-5680

Drawing Number:

No. O2499

Job Name

1926 Cavallo

Drawn By: Jadon. Ori

Date:7/24/2023

Version Number:

Version 2

The Lighting Analysis, Energy Analysis and/or Visual Simulation represents an prediction of lighting system performance based on parameters supplied by others.The measurement may vary from the actual field conditions. SLG recommends that measurement parameters and other information be verified for variation reduction.

Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	Tilt
1	W	210.718	147.728	10	268.754	0
2	W	257.598	147.728	10	268.754	0
3	LCH	176.827	161.052	10	179.681	0
4	LCH	293.005	162.11	10	0.282	0
5	LCH	176.827	182.327	10	179.681	0
6	LCH	293.005	182.327	10	0.282	0
7	A	158.014	127.748	15	0.314	0
8	A	344.246	123.077	15	90	0