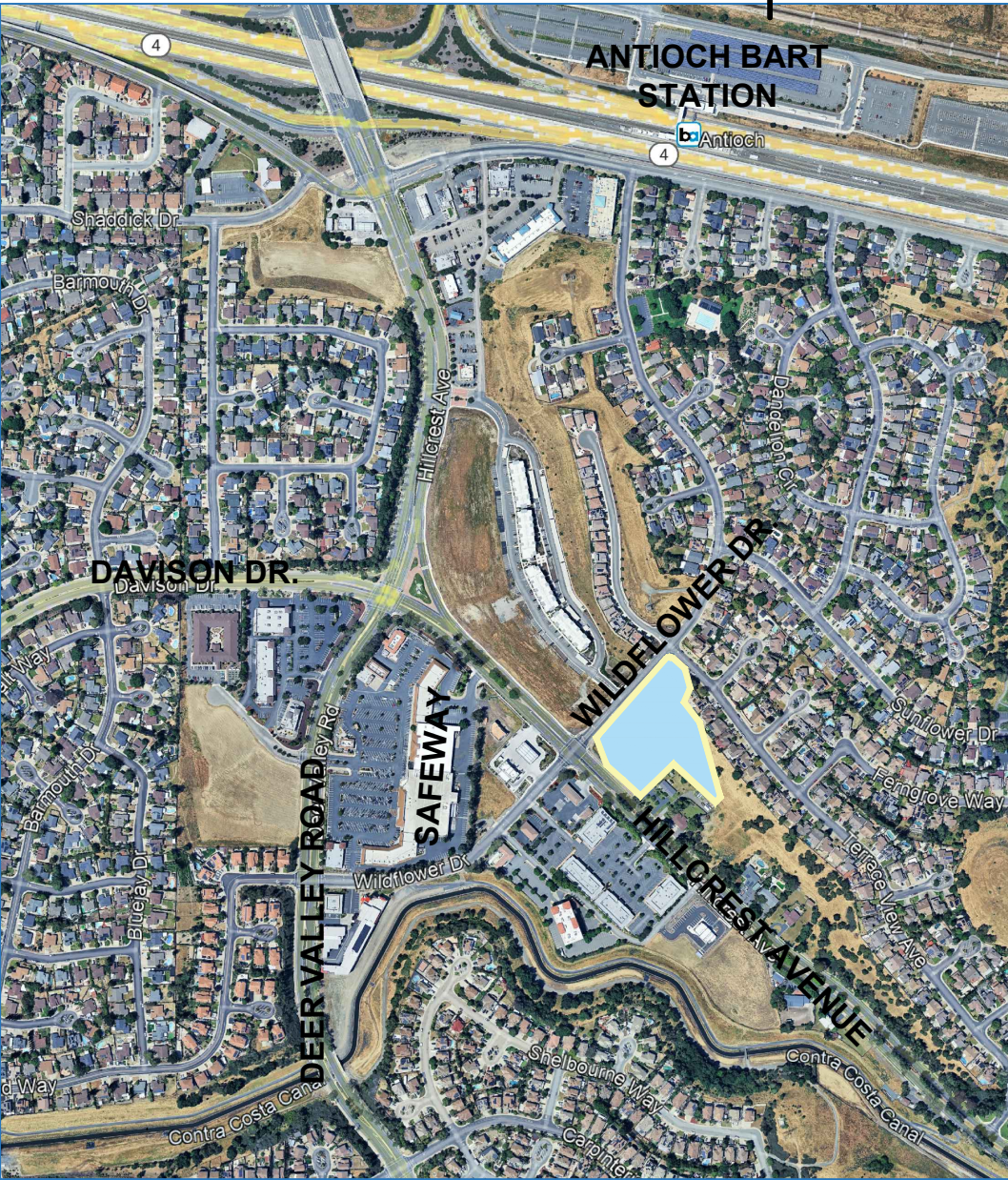


WILDFLOWER SENIOR APARTMENTS

ANTIOCH, CALIFORNIA



VICINITY MAP



PROJECT DATA

A.P.N.:	052-342-010
HOUSING ELEMENT SITE:	SITE 112
ZONING:	R-35
GROSS SITE AREA:	3.77 ACRES±
BASE DENSITY (GROSS):	131.95 DU±
DENSITY BONUS:	±36.4% (48.05 UNITS)

PROPOSED RESIDENTIAL UNITS		
ONE BEDROOM UNITS (559 SF±):	102 UNITS	(56.7%)
TWO BEDROOM UNITS (771 SF±):	78 UNITS	(43.3%)

TOTAL UNITS PROPOSED:	180 UNITS
-----------------------	-----------

100% AFFORDABLE PROJECT WITHIN 1/2 MILE OF MAJOR TRANSIT STOP
ELIGIBLE FOR THE FOLLOWING:
-DENSITY BONUS OF +80 PERCENT OF THE NUMBER OF UNITS FOR LOWER INCOME HOUSEHOLDS
-FIVE INCENTIVES OR CONCESSIONS
-HEIGHT INCREASE OF UP TO THREE ADDITIONAL STORIES, OR 33 FEET
-NO VEHICULAR PARKING STANDARD

GROSS BUILDING AREA:	
FIRST FLOOR:	36,429 SF±
SECOND FLOOR:	36,257 SF±
THIRD FLOOR:	36,257 SF±
FOURTH FLOOR:	36,257 SF±

TOTAL GROSS BUILDING AREA:	145,200 SF±
----------------------------	-------------

LOT COVERAGE:	22.2%
---------------	-------

COMMON OPEN SPACE:	9,611 SF±
INCLUDING GYM AND COMMON ROOM	

PARKING REQUIRED
DENSITY BONUS STANDARD: NO VEHICULAR
PARKING STANDARDS FOR
100% AFFORDABLE PROJECT WITHIN ONE-HALF
MILE OF A MAJOR TRANSIT STOP

PARKING PROVIDED
136 STALLS
0.77 STALLS PER UNIT±

SHEET INDEX

G0.1	COVER SHEET
G0.2	AERIAL CONTEXT PLAN
G0.3	OBJECTIVE DESIGN STANDARD CHECKLIST

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2/2	ALTA/NSPS LAND TITLE SURVEY

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A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	THIRD FLOOR PLAN
A1.4	FOURTH FLOOR PLAN
A1.5	ROOF PLAN
A2.1	EXTERIOR ELEVATIONS
A2.2	COLOR & MATERIALS
A3.1	SECTIONS
A4.1	UNIT PLANS
A5.1	DETAILS

C2.0	CONCEPTUAL GRADING AND DRAINAGE PLAN
C3.0	PRELIMINARY UTILITY PLAN
C4.0	CROSS SECTIONS
C5.0	CONCEPTUAL STORMWATER CONTROL PLAN

L-1.0	LANDSCAPE COVER SHEET
L-2.0	LANDSCAPE SITE PLAN
L-2.1	ENLARGED COURTYARD PLAN
L-3.0	ENLARGED PLANTING PLAN
L-3.1	ENLARGED PLANTING PLAN
L-4.0	PLATING LIST & IMAGES
L-5.0	DETAILS

PROJECT TEAM

APPLICANT
CYPRESS EQUITY INVESTMENTS
12121 WILSHIRE BOULEVARD, SUITE 801
LOS ANGELES, CA 90025
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2520 CAMINO DIABLO.
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(510) 272-1090

WILDFLOWER SITE
DESIGN REVIEW SUBMITTAL
CYPRESS EQUITY INVESTMENTS
ANTIOCH, CALIFORNIA

LCA ARCHITECTS
RESTRICTED ARCHITECTURAL DRAWINGS
THE INFORMATION, PLANS, DESIGNS, NOTES AND
ARRANGEMENTS SHOWN ON THIS DRAWING ARE
CONFIDENTIAL AND MAY NOT BE REPRODUCED
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DRAWINGS NOTED AS PRELIMINARY, SCHEMATIC,
AND/OR CONCEPT CONTAIN INFORMATION THAT
IS CONCEPTUAL AND SUBJECT TO VERIFICATION,
AND/OR CHANGE. THE ARCHITECT MAKES NO CLAIM
FOR ACCURACY OF CONCEPTUAL INFORMATION
OR OF INFORMATION SUPPLIED BY OTHERS.

COVER SHEET

SCALE:
DATE: 06/04/25
REVISIONS:

PROJECT NO. 25001

G0.1
SHEET OF



ANTIOCH
BART STATION

Antioch

1/2 MILE RADIUS

HILLCREST AVENUE

WILDFLOWER DRIVE

ARCO
GAS

SAFeway

EXTRAMILE
GAS

JOHN MUIR
PRIMARY CARE

Wildflower Dr

Hillcrest Ave

Ferngrove Way

Sunflower Dr

Terrace View Ave

Bellflower Dr

Larkspur Dr

Dandelion Cir

Davison Dr

Barmouth Dr

Shaddick Dr

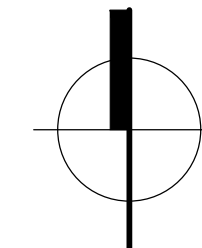
Basalt Way

Barmouth Dr

Bluejay Dr

Serpentine Dr

80' 0' 80' 160'
SCALE: 1" = 80'-0"



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OR OF INFORMATION SUPPLIED BY OTHERS.

AERIAL CONTEXT
PLAN

SCALE:
DATE: 06/04/25
REVISIONS:

PROJECT NO. 25001
G0.2
SHEET OF

PROPOSED DENSITY BONUS CONCESSIONS
100% AFFORDABLE PROJECT IS ELIGIBLE FOR (5) FIVE INCENTIVES OR CONCESSIONS

1) STANDARD 2.2.1.A: MASSING BREAKS
LARGE BUILDING MASSING SHALL BE ARTICULATED TO REDUCE APPARENT BULK AND SIZE. ALL STREET-FACING FACADES MUST INCLUDE AT LEAST ONE CHANGE IN PLANE (PROJECTION OR AT LEAST FOUR FEET IN DEPTH, OR TWO CHANGES IN PLANE AT LEAST TWO FEET IN DEPTH, FOR EVERY 50 LINEAR FEET OF WALL. SUCH FEATURES SHALL EXTEND THE FULL HEIGHT OF THE RESPECTIVE FACADE OF SINGLE-STORY BUILDINGS, AT LEAST HALF OF THE HEIGHT OF TWO-STORY BUILDINGS, AND AT LEAST TWO-THIRDS OF THE HEIGHT OF BUILDINGS THAT ARE THREE OR MORE STORIES IN HEIGHT.
STRICT COMPLIANCE WITH THIS STANDARD WOULD REQUIRE MORE FREQUENT BREAKS IN WALL PLANES, RESULTING IN AN INCREASE IN DESIGN AND CONSTRUCTION COSTS WHICH WOULD INCREASE THE OVERALL COST OF THE DENSITY BONUS PROJECT, POTENTIALLY RENDERING THE DEVELOPMENT FINANCIALLY INFEASIBLE.

2) STANDARD 2.2.1.C: ARCHITECTURAL DETAIL
BUILDING WALLS ALONG THE STREET FRONTAGE SHALL HAVE ARCHITECTURAL DETAIL (E.G., BRACKETS, RAFTER TAILS, OR DENTILS) AT THE CORNER OR ROOF EAVE.
STRICT COMPLIANCE WITH THIS STANDARD WOULD REQUIRE ADDITIONAL ARCHITECTURAL FEATURES RESULTING IN ADDITIONAL DESIGN AND CONSTRUCTION COSTS TO PROVIDE ENHANCED ARCHITECTURAL DETAIL FOR THE DENSITY BONUS PROJECT, POTENTIALLY RENDERING THE DEVELOPMENT FINANCIALLY INFEASIBLE.

3) STANDARD 2.2.1.D: ARCHITECTURAL DESIGN FEATURES
ARCHITECTURAL DESIGN FEATURES SUCH AS WINDOW TREATMENTS, AWNINGS, MOLDINGS, PROJECTING EAVES, DORMERS, AND BALCONIES, SHALL BE CONTINUED OR REPEATED UPON ALL ELEVATIONS OF A BUILDING FACING A PRIMARY OR SECONDARY STREET, OR A COMMON OPEN SPACE.
STRICT COMPLIANCE WITH THIS STANDARD WOULD REQUIRE ADDITIONAL ARCHITECTURAL FEATURES RESULTING IN ADDITIONAL DESIGN AND CONSTRUCTION COSTS TO PROVIDE ENHANCED ARCHITECTURAL DETAIL FOR THE DENSITY BONUS PROJECT, POTENTIALLY RENDERING THE DEVELOPMENT FINANCIALLY INFEASIBLE.

4) STANDARD 2.2.1.H: WINDOW SHADE FEATURES
AT LEAST 20% OF ALL WINDOWS ON EACH BUILDING SHALL HAVE EXTERIOR SUN SHADES, SUCH AS ROOF OVERHANGS (EAVES), AWNINGS, OR LOUVERED SUNSHADES.
STRICT COMPLIANCE WITH THIS STANDARD WOULD REQUIRE INCREASED ARTICULATION AND ADDITIONAL ARCHITECTURAL FEATURES RESULTING IN ADDITIONAL DESIGN AND CONSTRUCTION COSTS TO PROVIDE SUNSHADES FOR THE DENSITY BONUS PROJECT, POTENTIALLY RENDERING THE DEVELOPMENT FINANCIALLY INFEASIBLE.

5) FRONTAGE IMPROVEMENTS:
THE PROJECT PROPOSES TO LIMIT REQUIRED FRONTAGE IMPROVEMENTS TO THE RESTORATION AND REPAIR OF THE EXISTING SIDEWALK, CURB, AND GUTTER. STRICT COMPLIANCE WITH THE FRONTAGE STANDARDS WOULD REQUIRE ADDITIONAL DESIGN AND CONSTRUCTION COSTS TO PROVIDE MORE FRONTAGE IMPROVEMENTS BEYOND THOSE PROPOSED WHICH WOULD SIGNIFICANTLY INCREASE DEVELOPMENT COSTS OF THE DENSITY BONUS PROJECT, POTENTIALLY RENDERING THE PROJECT FINANCIALLY INFEASIBLE.

PROPOSED DENSITY BONUS WAIVERS OF OBJECTIVE DESIGN STANDARDS

1) STANDARD 2.1.3.F: SURFACE PARKING LOCATED TO THE SIDE OF BUILDING
FOR SURFACE PARKING LOCATED TO THE SIDE OF BUILDINGS IN RELATION TO THE STREET, PARKING MUST BE SET BACK AT LEAST 30 FEET FROM ANY ADJACENT STREET OR NO CLOSER TO THE STREET THAN THE FRONT FACADE OF THE RESIDENTIAL BUILDING. WHICHEVER IS GREATER, AN EXCEPTION MAY BE MADE FOR ACCESSIBLE PARKING AND VISITOR PARKING. THE SETBACK AREA SHALL BE LANDSCAPED ACCORDING TO THE STANDARDS OF SECTION 9-5.1716, PARKING LOT LANDSCAPING; DESIGN STANDARDS. PARKING SHALL BE SCREENED FROM STREET VIEW WITH A MINIMUM 5-FOOT WIDE LANDSCAPED BUFFER.
STRICT COMPLIANCE WITH THIS STANDARD WOULD PHYSICALLY PRECLUDE THE DENSITY BONUS PROJECT AS THE DEVELOPABLE AREA IS LIMITED BY STEEP SLOPE AND A POSE EASEMENT, WHICH CONSTRAINS THE AREA AVAILABLE FOR ON-SITE PARKING. THESE PHYSICAL CONSTRAINTS REQUIRE PARKING WITHIN 30' OF WILDFLOWER DRIVE TO REACH THE DESIRED PARKING STANDARD OF 0.75 SPACES PER UNIT, THE CITY OF ANTIOCH STANDARD FOR ELDERLY RESIDENTIAL.

2) STANDARD 2.1.4.A: WINDOWS
WINDOWS FACING RESIDENCES WITHIN 15 FEET OF THE PROPERTY LINE, SHALL BE ARRANGED, OR DESIGNED TO NOT CREATE VIEWS INTO ADJACENT RESIDENCES. EXAMPLES OF PRIVACY OPTIONS INCLUDE USING TRANSLUCENT OR LOUVERED WINDOWS, CREATING OFFSET WINDOW PATTERNS, AND LOCATING WINDOWS 5 FEET ABOVE THE FLOOR LEVEL. ALTERNATIVELY, VIEWS INTO ADJACENT RESIDENTIAL SHALL BE SCREENED WITH DENSE LANDSCAPING BETWEEN THE NEW DEVELOPMENT AND EXISTING RESIDENTIAL PROPERTY (I.E., CALLISTEMON CITRINUS (LEMON BOTTLEBRUSH), RHAMNUS ALATERNUS (ITALIAN BUCKTHORN), OR PITTOSPORUM TENUIFOLIUM (KOHUJU), OR ANOTHER SIMILAR SPECIES APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR) AT A MINIMUM MATURE HEIGHT OF 8 FEET.
IN ORDER TO ACHIEVE THE DENSITY ALLOWED UNDER STATE DENSITY BONUS LAW, THE PROJECT INCLUDES UNITS WITHIN 15 FEET OF THE SINGLE FAMILY RESIDENTIAL DEVELOPMENT TO THE SOUTHEAST. THESE UNITS WILL REQUIRE WINDOWS FOR LIGHT, AIR, AND FIRE RESCUE ACCESS THAT FACE THE SINGLE FAMILY DEVELOPMENT. THERE ARE SCREENING PLANTINGS PROPOSED AT THIS PROPERTY LINE BUT THEY WILL NOT PROVIDE SCREENING FOR THE UPPER LEVEL WINDOWS THAT FACE THE SINGLE FAMILY RESIDENTIAL DEVELOPMENT.

3) STANDARD 2.1.4.B: DAYLIGHT PLANE
NO PORTION OF THE BUILDING VOLUME SHALL ENCROACH INTO A DAYLIGHT PLANE STARTING AT A POINT THAT IS 25 FEET ABOVE THE PROPERTY LINE ADJUTING ANY ADJACENT LOT WITH AN EXISTING SINGLE-FAMILY OR MULTI-FAMILY RESIDENTIAL DWELLING OF TWO STORIES OR LESS AND SLOPING UPWARD AT A 45-DEGREE ANGLE TOWARD THE INTERIOR OF THE LOT.
STRICT COMPLIANCE WITH THIS STANDARD WOULD PHYSICALLY PRECLUDE THE DENSITY BONUS PROJECT AS THE MASSING OF THE PROPOSED DEVELOPMENT INCLUDES UNITS WITHIN THE REQUIRED DAYLIGHT PLANE AT THE UPPER LEVELS.

4) STANDARD 2.1.5.B: LANDSCAPE BUFFER
WALKWAYS SHALL NOT BE SITED DIRECTLY AGAINST A BUILDING FACADE BUT BUFFERED WITH A LANDSCAPED PLANTING AREA OF A MINIMUM OF FOUR FEET TO PROVIDE PRIVACY OF NEARBY RESIDENCES OR PRIVATE OPEN SPACE.
STRICT COMPLIANCE WITH THIS STANDARD WOULD PHYSICALLY PRECLUDE THE DENSITY BONUS PROJECT AS THE MASSING OF THE PROPOSED DEVELOPMENT INCLUDES UNITS CLOSER THAN FOUR FEET TO WALKWAYS. THE PROJECT PROPOSES A MINIMUM THREE FOOT WIDE, REDUCED LANDSCAPE PLANTING AREA TO PROVIDE PRIVACY ADJACENT TO RESIDENTIAL UNITS.

5) STANDARD 2.1.6.A: PROVISION OF STORAGE SPACE
EACH UNIT IN A MULTI-FAMILY DWELLING SHALL BE PROVIDED WITH A SEPARATE, ENCLOSED, LOCKABLE STORAGE SPACE RESERVED FOR THE OCCUPANTS OF THE DWELLING UNIT. SUCH STORAGE SPACE SHALL BE LOCATED IN A GARAGE, STORAGE BUILDING, OR ENCLOSED INDIVIDUAL STORAGE SPACE. EACH STORAGE SPACE SHALL BE AT LEAST 250 CUBIC FEET IN VOLUME AND SHALL HAVE NO INTERIOR DIMENSION LESS THAN FOUR FEET.
STRICT COMPLIANCE WITH THIS STANDARD WOULD PHYSICALLY PRECLUDE THE DENSITY BONUS PROJECT AS INCLUSION OF THE STORAGE SPACE WOULD RESULT IN A REDUCTION IN THE UNIT COUNT AND PHYSICALLY PRECLUDE THE CONSTRUCTION OF THE DEVELOPMENT AT THE DENSITIES PERMITTED UNDER DENSITY BONUS LAW.

6) STANDARD 2.1.7.A: MINIMUM REQUIRED USABLE OPEN SPACE
ALL MULTI-FAMILY RESIDENTIAL DEVELOPMENTS SHALL PROVIDE A TOTAL OF 200 SQUARE FEET OF USABLE OPEN SPACE PER UNIT WITH A MINIMUM OF 50% AS COMMON OPEN SPACE AND THE REMAINING 50% AS EITHER PRIVATE OR COMMON OPEN SPACE. OFF-STREET PARKING AND LOADING AREAS, DRIVEWAYS, AND SERVICE AREAS SHALL NOT BE COUNTED AS USABLE OPEN SPACE. EVERY DEVELOPMENT THAT INCLUDES FIVE OR MORE RESIDENTIAL UNITS SHALL PROVIDE AT LEAST ONE COMMON OPEN SPACE AREA, OFF-STREET PARKING AND LOADING AREAS, DRIVEWAYS, SERVICE AREAS, UTILITY EQUIPMENT, AIR CONDITIONER PADS, AND STORAGE STRUCTURES SHALL NOT BE COUNTED AS USABLE OPEN SPACE.
STRICT COMPLIANCE WITH THIS STANDARD WOULD PHYSICALLY PRECLUDE THE DENSITY BONUS PROJECT AS THE PROVISION OF THE REQUIRED 36,000 SF OF USABLE OPEN SPACE WOULD REQUIRE A REDUCTION IN THE BUILDING FOOTPRINT AND A LOSS IN UNIT COUNT.

7) STANDARD 2.2.1.B: HORIZONTAL STEPBACK
BUILDINGS OVER THREE STORIES TALL SHALL BE DESIGNED WITH A HORIZONTAL STEPBACK, AT A MINIMUM OF 6 FEET DEEP, FROM THE FRONT FACADE ABOVE THE THIRD FLOOR. THE STEPBACK AREA MAY BE USED FOR RESIDENTIAL TERRACES, TOWERS OR OTHER SIMILAR VERTICAL ARCHITECTURAL FEATURES DO NOT REQUIRE A STEPBACK BUT SHALL NOT OCCUPY MORE THAN 20% OF THE FRONT FACADE.
STRICT COMPLIANCE WITH THIS STANDARD WOULD PHYSICALLY PRECLUDE THE DENSITY BONUS PROJECT AS THE MASSING OF THE PROPOSED DEVELOPMENT AT ITS ALLOWABLE DENSITY UNDER STATE DENSITY BONUS LAW INCLUDES UNITS WITHIN THE REQUIRE HORIZONTAL STEPBACK AT THE FOURTH FLOOR.

City of AntiochMulti-family Residential
Objective Design Standards Checklist

Name of Applicant: _____
Date: **May 30, 2025**
Project Address: **Wildflower and Hillcrest**
Project Application # (City staff to fill out): _____
Development Type (check all that apply):
☒ Residential Surface-parked ☐ Horizontal Mixed Use
☐ Townhouses ☐ Vertical Mixed Use
☒ Multi-family Complex ☐ Residential Podium
Project Site Context (check all that apply):
☒ Situated adjacent to existing residential development
☐ Situated adjacent to commercial development

Objective Design Standards Checklist Items	Applicant Evaluation			Staff Evaluation By:			Drawing Reference	
	Yes	No	N/A	Yes	No	N/A		
2.1 Site Design Standards								
2.1.1 Residential-Only Project Site Entries (fill in all entry drive types that apply)								
Main Entry Drive								
A: Curb and Gutter	X						C2.0	
B: Sidewalk	X						C2.0	
C: Street Lighting	X						L-2.0	
D: Landscaping and Street Trees	X						L-3.0 & L-3.1	
E: Gates	X						L-2.0	
F: Curb Ramps	X						C2.0	
G: Bicycle Facilities			X					
Secondary Entry Drives								
H: Gates			X				EVA Only	
Residential Podium Entry Drive								
I: ADA Compliance			X					
J: Driveway Widths and Clearances Compliance			X					
K: Pedestrian Entries			X					

Objective Design Standards Checklist Items			Applicant Evaluation		Staff Evaluation By: _____		Drawing Reference
Yes	No	N/A	Yes	No	N/A		
Design of Trash and Storage Facilities							
E: Screening			X				
F: Gates	X					A2.1	
G: Sizing	X					A1.1	
H: Roof	X					A1.5	
I: Drainage			X				
2.1.7 Open Space Areas							
General							
A: Minimum Required Usable Open Space			X			Density Bonus Waiver	
B: Sitting	X					A0.1, L-2.0, & L-2.1	
C: Usability	X					L-2.0 & L-2.1	
D: Safety Railings			X				
Common Open Space							
E: Minimum Dimensions	X					A0.1, L-2.0, & L-2.1	
F: Visibility	X					A0.1, L-2.0, & L-2.1	
G: Pedestrian Walkways	X					A0.1, L-2.0, & L-2.1	
H: Seating	X					L-1.0, L-2.0, & L-2.1	
I: Amenity Features	X					L-1.0, L-2.0, & L-2.1	
J: Play Areas			X				
K: Openness and Buildings	X					L-2.0 & L-2.1	
L: Rooftops			X				
M: Buildings	X					A1.1	
Private Open Space							
N: Accessibility			X				
O: Minimum Dimensions			X				
P: Openness			X				
Q: Enclosure			X				
2.2 Building Design Standards							
2.2.1 Building Massing and Articulation							
General Standards							
A: Massing Breaks	X					Density Bonus Concession	
B: Horizontal Stepback	X					Density Bonus Waiver	
C: Architectural Detail	X					Density Bonus Concession	

Objective Design Standards Checklist Items	Applicant Evaluation			Staff Evaluation By: _____			Drawing Reference
	Yes	No	N/A	Yes	No	N/A	
2.3.2 Wall and Fences							
A: Inappropriate Fencing	X						L-2.0
B: High Activity Areas and Street Frontages	X						L-2.0
C: Material Durability			X				
D: Visual Interest			X				
E: Screening and Noise Mitigation			X				
2.4 Lighting Standards							
2.4.1 Pedestrian Lighting							
A: Pedestrian Safety	X						L-2.0
B: Height	X						L-2.0
C: Inappropriate Lighting	X						L-2.0
D: Illumination Level							Pending
E: Street Lighting	X						Pending
F: Glare	X						Pending
G: Concealment	X						Pending
2.4.2 Parking Lot Lighting							
A: Height	X						L-2.0
B: Illumination Level							Pending
C: Energy Efficiency	X						Pending
D: Glare	X						Pending
2.5 Signage Standards							
2.5.1 General							
A: Appropriate Residential Signage	X						L-2.0
B: Appropriate Mixed Use Signage			X				
2.5.2 Monument Signs							
A: Location	X						L-2.0
B: Sight Obstructions at Intersections	X						L-2.0
C: Frequency	X						Pending
D: Base	X						Pending

Objective Design Standards Checklist Items	Applicant Evaluation			Staff Evaluation By: _____			Drawing Reference	
	Yes	No	N/A	Yes	No	N/A		
2.1.2 Mixed-use Project Site Entries								
New Shared Entry Drive								
A: Independent Roadway			<input checked="" type="checkbox"/>					
B: Curb and Gutter			<input checked="" type="checkbox"/>					
C: Sidewalk			<input checked="" type="checkbox"/>					
D: Street Lighting			<input checked="" type="checkbox"/>					
E: Landscaping and Street Trees			<input checked="" type="checkbox"/>					
F: Signage			<input checked="" type="checkbox"/>					
Enhanced Shared Entry Drive								
G: Sidewalk			<input checked="" type="checkbox"/>					
H: Street Lighting			<input checked="" type="checkbox"/>					
I: Landscaping and Street Trees			<input checked="" type="checkbox"/>					
Separate Entry Drive								
J: Main Entry Drive Compliance			<input checked="" type="checkbox"/>					
K: Driveway Widths and Clearances Compliance			<input checked="" type="checkbox"/>					
L: Signage and Landscaping			<input checked="" type="checkbox"/>					
Vertical Mixed Use Entry Drive								
M: ADA Compliance			<input checked="" type="checkbox"/>					
N: Driveway Widths and Clearances Compliance			<input checked="" type="checkbox"/>					
O: Pedestrian Entries			<input checked="" type="checkbox"/>					
2.1.3 Street Frontage and Parking								
Parking Site Design								
A: Parking Siting	<input checked="" type="checkbox"/>						A0.1	
B: Maximum Width	<input checked="" type="checkbox"/>						A0.1	
C: Detached Garage			<input checked="" type="checkbox"/>					
D: Attached Garage			<input checked="" type="checkbox"/>					
E: Surface Parking or Carpools Located to the Rear of Building			<input checked="" type="checkbox"/>					
F: Surface Parking Located to the Side of Building		<input checked="" type="checkbox"/>					Density Bonus Waiver	
G: Parking Siting at Secondary Frontage			<input checked="" type="checkbox"/>					
H: Tuck-under Parking			<input checked="" type="checkbox"/>					
I: Visitor Parking			<input checked="" type="checkbox"/>					
J: Parking Courts	<input checked="" type="checkbox"/>						A0.1	
K: Driveways Number and Width	<input checked="" type="checkbox"/>						A0.1	

Objective Design Standards Checklist Items	Applicant Evaluation			Staff Evaluation By: _____			Drawing Reference
	Yes	No	N/A	Yes	No	N/A	
D: Architectural Design Features			X				Density Bonus Concession
E: Façade Articulation	X						A2.1
F: Rooftops	X						A2.1
G: Window Design	X						A2.1
H: Window Shade Features			X				Density Bonus Concession
Townhouses							
I: Attached Units Limit			X				
J: Roof Form			X				
Vertical Mixed Use							
K: Ground Floor Height			X				
L: Pedestrian-Oriented Features			X				
2.2.2 Entrways							
General							
A: Primary Building Entry Orientation	X						A1.1, A2.1
B: Primary Building Entry Enhancement	X						A2.1
C: Building Entry Style	X						A1.1
Townhouses							
D: Entry Details			X				
E: Entry Connections			X				
Vertical or Horizontal Mixed Use							
F: Ground Floor Elevation			X				
G: Entry Design			X				
2.2.3 Building Materials and Finishes							
A: Appropriate Building Materials	X						A2.2
B: Brick and Stone Veneer				X			
C: Inappropriate Building Materials	X						A2.2
2.2.4 Windows/Glazing							
A: Street Frontage							A2.1
B: Orientation and Proportion	X						
C: Recess	X						A2.1, A5.1
D: Glazing	X						A5.1
E: Subdivision and Mullions				X			

LEGAL DESCRIPTION

CHICAGO TITLE INSURANCE COMPANY, ORDER NO. FBSC2403286, DATED OCTOBER 10, 2024.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF ANTIOCH, COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL E AS SHOWN ON THE MAP OF SUBDIVISION 7222, FILED MARCH 22, 1990, IN MAP BOOK 343, PAGE 13, OFFICIAL RECORDS OF CONTRA COSTA COUNTY.

EXCEPTING THEREFROM:

ONE-HALF (1/2) OIL, MINERAL, GAS AND OTHER HYDROCARBON SUBSTANCES BELOW A DEPTH OF 500 FEET UNDER THE LAND AS DESCRIBED IN PARCELS ONE, TWO, THREE AND FOUR, WITHOUT RIGHT OF SURFACE ENTRY, AS RESERVED IN THE DEED FROM ANTOINETTE J. TURNER, AS EXECUTOR OF THE WILL OF ELVIRA A. NOIA, DECEASED, RECORDED AUGUST 31, 1976 IN BOOK 7998, PAGE 342, OF OFFICIAL RECORDS.

APN: 052-342-010-7

SURVEYORS CERTIFICATE

TO CEI ACQUISITIONS LLC AND CYPRESS EQUITY INVESTMENTS LLC AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS AND CHICAGO TITLE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 2, 3, 4, 5, 6(j)(b), 8, 13, AND 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED IN NOVEMBER AND DECEMBER OF 2024.

CSW/STUBER-STROEH ENGINEERING GROUP, INC.

DATE OF MAP: 12/13/2024

BY: JOSH L. WOELBING, PLS 9387



FEMA FLOOD ZONE CLASSIFICATION

FEMA FLOOD ZONE DEIGNATION: ZONE X

ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOOD PLAIN.

FEMA INFORMATION TAKEN FROM FEMA FLOOD INSURANCE RATE MAP PANEL 0332F (332 OF 602), MAP NUMBER 06013C0332F, EFFECTIVE DATE JUNE 16, 2009.

PARCEL AREA

PARCEL E: 3.77± AC.

NOTES

- DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
- BASIS OF BEARINGS IS NORTH 43°20'15" EAST, A DISTANCE OF 683.03' BETWEEN A FOUND 2.5" BRASS DISK WITH PUNCH IN STREET MONUMENT WELL AS SHOWN ON THAT CERTAIN MAP ENTITLED "SUBDIVISION 7222" RECORDED IN BOOK 343 OF MAPS AT PAGE 13-23, AND A FOUND 2.5" BRASS DISK WITH PUNCH IN STREET MONUMENT WELL PER THAT RECORD OF SURVEY ENTITLED "RIGHT OF WAY RECORD MAP HILLCREST AVENUE" RECORDED IN BOOK 92 OF LICENSED SURVEYORS' MAPS AT PAGE 3-31.
- VERTICAL DATUM IS NORTH AMERICAN DATUM OF 1988 (NAVD88) PER 2010.00(2011), ZONE 3, PER OPUS, USING STATIC GPS EQUIPMENT.
- TOPOGRAPHY SHOWN WAS PERFORMED BY FIELD SURVEY IN NOVEMBER AND DECEMBER OF 2024.

TITLE REPORT

CHICAGO TITLE INSURANCE COMPANY, PRELIMINARY REPORT NO. FBSC2403286, EFFECTIVE DATE OCTOBER 10, 2024 AT 7:30 AM.

EXCEPTIONS

- PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES ARE AS FOLLOWS:
CODE AREA: 01002
TAX IDENTIFICATION NO.: 052-342-010-7
FISCAL YEAR: 2024-2025
1ST INSTALLMENT: \$138.87 OPEN
2ND INSTALLMENT: \$138.87 OPEN
LAND: \$23,888.00
BILL NO.: 050124
- PRIOR TO CLOSE OF ESCROW, PLEASE CONTACT THE TAX COLLECTOR'S OFFICE TO CONFIRM ALL AMOUNTS OWING, INCLUDING CURRENT FISCAL YEAR TAXES, SUPPLEMENTAL TAXES, ESCAPED ASSESSMENTS AND ANY DELINQUENCIES.
- ANY LIENS OR OTHER ASSESSMENTS, BONDS, OR SPECIAL DISTRICT LIENS INCLUDING WITHOUT LIMITATION, COMMUNITY FACILITY DISTRICTS, THAT ARISE BY REASON OF ANY LOCAL, CITY, MUNICIPAL OR COUNTY PROJECT OR SPECIAL DISTRICT.
- THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR PART 2, CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING PRIOR TO DATE OF POLICY.
- THE HEREIN DESCRIBED PROPERTY LIES WITHIN THE BOUNDARIES OF A MELLO-ROOS COMMUNITY FACILITIES DISTRICT (CFD) AS FOLLOWS:
CFD NO: COMMUNITY FACILITIES DISTRICT NO. A/C-3
FOR: EAST BAY REGIONAL PARK DISTRICT
DISCLOSED BY: NOTICE OF SPECIAL TAX LIEN
RECORDING DATE: JANUARY 22, 2019
RECORDING NO.: 2019-0008600, OFFICIAL RECORDS
THIS PROPERTY, ALONG WITH ALL OTHER PARCELS IN THE CFD, IS LIABLE FOR AN ANNUAL SPECIAL TAX. THIS SPECIAL TAX IS INCLUDED WITH AND PAYABLE WITH THE GENERAL PROPERTY TAXES OF THE CITY OF ANTIOCH, COUNTY OF CONTRA COSTA. THE TAX MAY NOT BE PREPAID.
FURTHER INFORMATION MAY BE OBTAINED BY CONTACTING:
EAST BAY REGIONAL PARK DISTRICT
2950 PERALTA OAKS COURT
OAKLAND, CA 94605
ATTENTION: CHIEF FINANCIAL OFFICER
- EASEMENTS AND RIGHTS OF WAY FOR PUBLIC OR PRIVATE ROADS OR HIGHWAYS ALONG THE BOUNDARIES OF SAID LAND AS THE SAME NOW EXIST AND ARE IN USE.
- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: PACIFIC GAS AND ELECTRIC COMPANY, A CORPORATION
PURPOSE: ELECTRICAL TOWER LINE
RECORDING DATE: SEPTEMBER 30, 1925
RECORDING NO.: BOOK 5, PAGE 333, OF OFFICIAL RECORDS
AFFECTS: AN EASTERLY PORTION OF THE LAND
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: PACIFIC GAS AND ELECTRIC COMPANY, A CORPORATION
PURPOSE: ELECTRICAL TOWER LINE
RECORDING DATE: OCTOBER 14, 1925
RECORDING NO.: BOOK 7, PAGE 349, OF OFFICIAL RECORDS
AFFECTS: AN EASTERLY PORTION OF THE LAND
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.
- THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET, HIGHWAY, OR FREEWAY ABUTTING SAID LAND, SUCH RIGHTS HAVING BEEN RELINQUISHED BY SAID MAP/PLAT.
AFFECTS: HILLCREST AVENUE
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS DELINEATED OR AS OFFERED FOR DEDICATION, ON THE MAP OF SAID TRACT/PLAT;
PURPOSE: STORMDRAIN
AFFECTS: NORTHEASTERLY 10 FEET
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS DELINEATED OR AS OFFERED FOR DEDICATION, ON THE MAP OF SAID TRACT/PLAT;
PURPOSE: LANDSCAPE MAINTENANCE
AFFECTS: A 30 FOOT STRIP TRAVERSING A NORTHERLY AND NORTHEASTERLY PORTION OF THE LAND
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: PACIFIC GAS AND ELECTRIC COMPANY, A CALIFORNIA CORPORATION
PURPOSE: PUBLIC UTILITIES
RECORDING DATE: JULY 31, 1990
RECORDING NO.: 90-155152, BOOK 1602006, PAGE 56, OF OFFICIAL RECORDS
AFFECTS: PORTION OF THE LAND
AFFECTS: THE HEREIN DESCRIBED LAND AND OTHER LAND.
- MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: ADVISORY FIRE COMMISSION CONTRA COSTA COUNTY FIRE PROTECTION DISTRICT DATED: OCTOBER 10, 2023
EXECUTED BY: CONTRA COSTA COUNTY FIRE PROTECTION DISTRICT
RECORDING DATE: OCTOBER 11, 2023
RECORDING NO.: 2023-0099487, OF OFFICIAL RECORDS
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.
AFFECTS: THE HEREIN DESCRIBED LAND AND OTHER LAND.

EXCEPTIONS

- ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS.
THE COMPANY WILL REQUIRE, FOR REVIEW, A FULL AND COMPLETE COPY OF ANY UNRECORDED AGREEMENT, CONTRACT, LICENSE AND/OR LEASE, TOGETHER WITH ALL SUPPLEMENTS, ASSIGNMENTS AND AMENDMENTS THERETO, BEFORE ISSUING ANY POLICY OF TITLE INSURANCE WITHOUT EXCEPTING THIS ITEM FROM COVERAGE.
THE COMPANY RESERVES THE RIGHT TO EXCEPT ADDITIONAL ITEMS AND/OR MAKE ADDITIONAL REQUIREMENTS AFTER REVIEWING SAID DOCUMENTS.
- MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/NSPS LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THE COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF.
- ANY EASEMENTS NOT DISCLOSED BY THE PUBLIC RECORDS AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY, WHETHER OR NOT SAID EASEMENTS ARE VISIBLE AND APPARENT.
- THE TRANSACTION CONTEMPLATED IN CONNECTION WITH THIS REPORT IS SUBJECT TO THE REVIEW AND APPROVAL OF THE COMPANY'S CORPORATE UNDERWRITING DEPARTMENT. THE COMPANY RESERVES THE RIGHT TO ADD ADDITIONAL ITEMS OR MAKE FURTHER REQUIREMENTS AFTER SUCH REVIEW.

NOTES REGARDING TABLE 'A' ITEMS:

- ITEM 2: WILDFLOWER DRIVE, ANTIOCH, CA 94531
- ITEM 3: SEE FEMA FLOOD ZONE CLASSIFICATION NOTE ON THIS SHEET.
- ITEM 4: GROSS LAND AREA IS 3.77± AC
- ITEM 5: SEE MAP FOR VERTICAL RELIEF WITH THE SOURCE OF INFORMATION, CONTOUR INTERVAL AND DATUM.
- ITEM 6(A)(B): NO ZONING REPORT HAS BEEN PROVIDED.
- ITEM 8: SEE MAP FOR SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
- ITEM 13: SEE MAP FOR ADJOINER NAMES AND DOCUMENTS.
- ITEM 16: NO EVIDENCE OF EARTH WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WERE OBSERVED IN THE COURSE OF THIS SURVEY.

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	GV	GAS VALVE
BFP	BACK FLOW PREVENTER	HV	HIGH VOLTAGE
C	CONIFEROUS	HYD	HYDRANT
CL	CENTER LINE	IRR	IRRIGATION
CONC	CONCRETE	L	LIGHTING CONDUIT
D	DECIDUOUS	MH	MANHOLE
DEP	DEPRESSED	RR	RAILROAD
E	ELECTRIC	SDMH	STORM DRAIN MANHOLE
EOC	EDGE OF CONCRETE	SL	STREET LIGHT
EP	EDGE OF PAVEMENT	SSMH	SANITARY SEWER MANHOLE
ELEC	ELECTRICAL	TC	TOP OF CURB
FDC	FIRE DEPARTMENT CONNECTION	TELE	TELEPHONE
FH	FIRE HYDRANT	TYP	TYPICAL
FL	FLOW LINE	TW	TOP OF WALL
G	GAS	W	WATER
		WV	WATER VALVE

LEGEND

	BUILDING
	CONTOUR MAJOR (5' INTERVAL)
	CONTOUR MINOR (1' INTERVAL)
	FENCE
	BOUNDARY
	BOUNDARY OFFSITE
	BOUNDARY TIE
	CENTERLINE
	EASEMENT AS NOTED
	NON-VEHICULAR ACCESS
	TOE OF BANK
	TOP OF BANK
	RETAINING WALL
	EXCEPTION AS NOTED
	MONUMENT TO MONUMENT
	FOUND STREET MONUMENT AS NOTED
	FOUND MONUMENT AS NOTED

Rev	Date	Description	Designed	Drawn	Checked
-	12/13/24	SUBMITTED TO CLIENT		JT	JLW

CSW/Stuber-Stroeh Engineering Group, Inc.

Civil & Structural Engineers | Surveying & Mapping | Environmental Planning
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City	Antioch
County	Contra Costa
State	California

WILDFLOWER DEVELOPMENT

ALTA/NSPS LAND TITLE SURVEY

VICTOR M. PARACHINI JR. AND ANNE PARACHINI, TRUSTEES
OF THE VICTOR AND ANNE PARACHINI FAMILY TRUST OF 1998

Prepared Under the Direction of:

Sheet

1/2

Scale: 1" = 40'

Date: 12/05/24

Project Number: 2400242.50

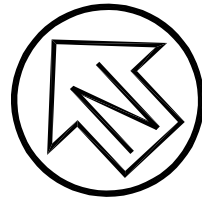
Plan File: -

ABBREVIATIONS

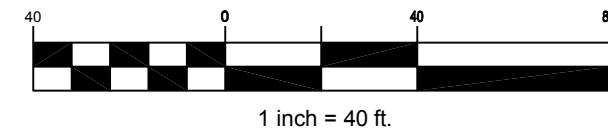
AC	ASPHALTIC CONCRETE	GV	GAS VALVE
BFP	BACK FLOW PREVENTER	HV	HIGH VOLTAGE
C	CONIFEROUS	HYD	HYDRANT
CL	CENTER LINE	IRR	IRRIGATION
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D	DECIDUOUS	MH	MANHOLE
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E	ELECTRIC	SDMH	STORM DRAIN MANHOLE
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FL	FLOW LINE	TW	TOP OF WALL
G	GAS	W	WATER
		WV	WATER VALVE

LEGEND

	BUILDING
	CONTOUR MAJOR (5' INTERVAL)
	CONTOUR MINOR (1' INTERVAL)
	FENCE
	BOUNDARY
	BOUNDARY OFFSITE
	BOUNDARY TIE
	CENTERLINE
	EASEMENT AS NOTED
	NON-VEHICULAR ACCESS
	TOE OF BANK
	TOP OF BANK
	RETAINING WALL
	EXCEPTION AS NOTED
	MONUMENT TO MONUMENT
	FOUND STREET MONUMENT AS NOTED
	FOUND MONUMENT AS NOTED



Graphic Scale (in feet)

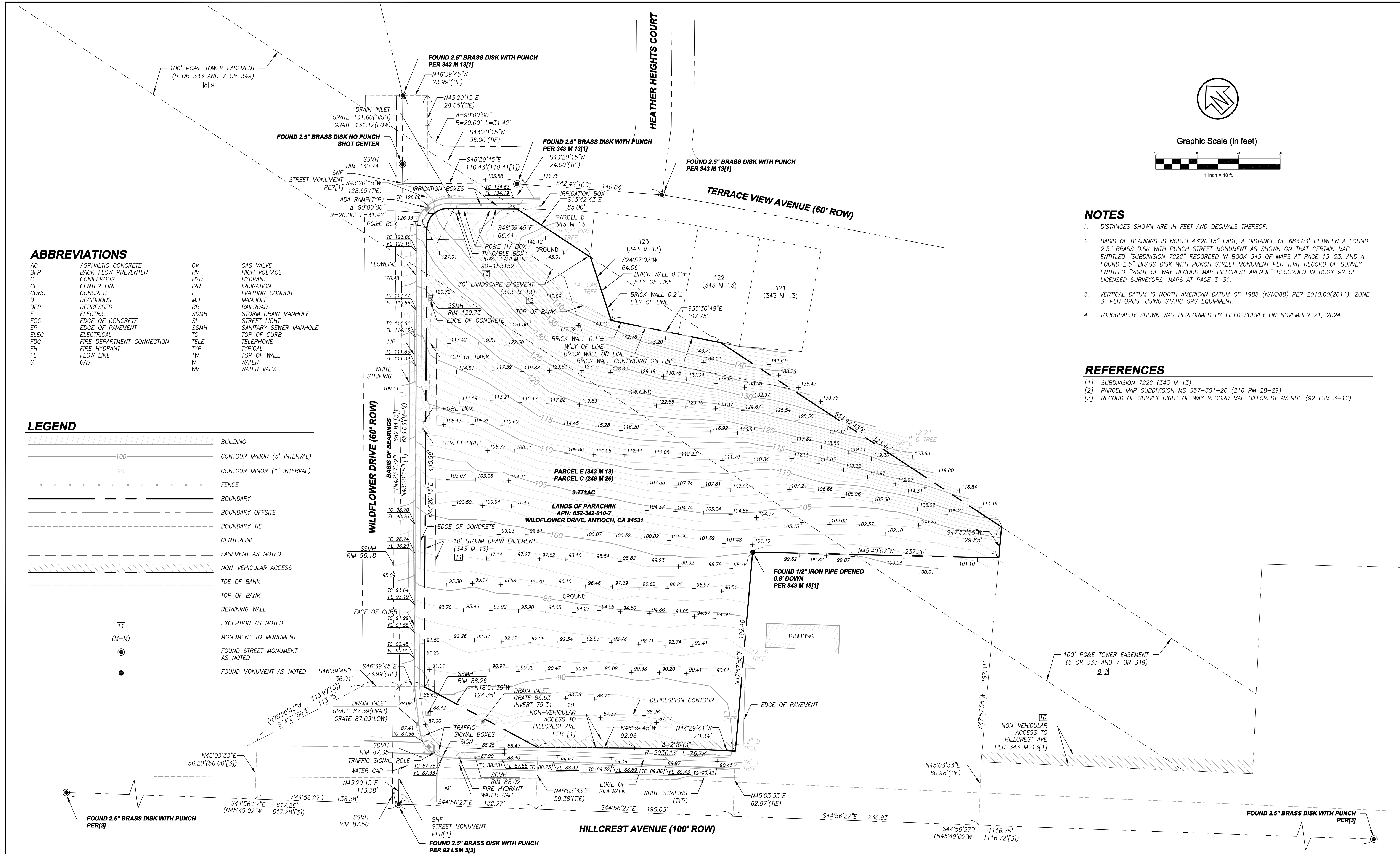


NOTES

- DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
- BASIS OF BEARINGS IS NORTH 43°20'15" EAST, A DISTANCE OF 683.03' BETWEEN A FOUND 2.5" BRASS DISK WITH PUNCH STREET MONUMENT AS SHOWN ON THAT CERTAIN MAP ENTITLED "SUBDIVISION 7222" RECORDED IN BOOK 343 OF MAPS AT PAGE 13-23, AND A FOUND 2.5" BRASS DISK WITH PUNCH STREET MONUMENT PER THAT RECORD OF SURVEY ENTITLED "RIGHT OF WAY RECORD MAP HILLCREST AVENUE" RECORDED IN BOOK 92 OF LICENSED SURVEYORS' MAPS AT PAGE 3-31.
- VERTICAL DATUM IS NORTH AMERICAN DATUM OF 1988 (NAVD88) PER 2010.00(2011), ZONE 3, PER OPUS, USING STATIC GPS EQUIPMENT.
- TOPOGRAPHY SHOWN WAS PERFORMED BY FIELD SURVEY ON NOVEMBER 21, 2024.

REFERENCES

- SUBDIVISION 7222 (343 M 13)
- PARCEL MAP SUBDIVISION MS 357-301-20 (216 PM 28-29)
- RECORD OF SURVEY RIGHT OF WAY RECORD MAP HILLCREST AVENUE (92 LSM 3-12)



Rev	Date	Description	Designed	Drawn	Checked
-	12/13/24	SUBMITTED TO CLIENT		JT	JLW

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City	Antioch
County	Contra Costa
State	California

WILDFLOWER DEVELOPMENT
ALTA/NSPS LAND TITLE SURVEY
VICTOR M. PARACHINI JR. AND ANNE PARACHINI, TRUSTEES
OF THE VICTOR AND ANNE PARACHINI FAMILY TRUST OF 1998

Prepared Under the Direction of:



Sheet

2/2

Scale:	1" = 40'
Date:	12/05/24
Project Number:	2400242.50
Plan File:	-

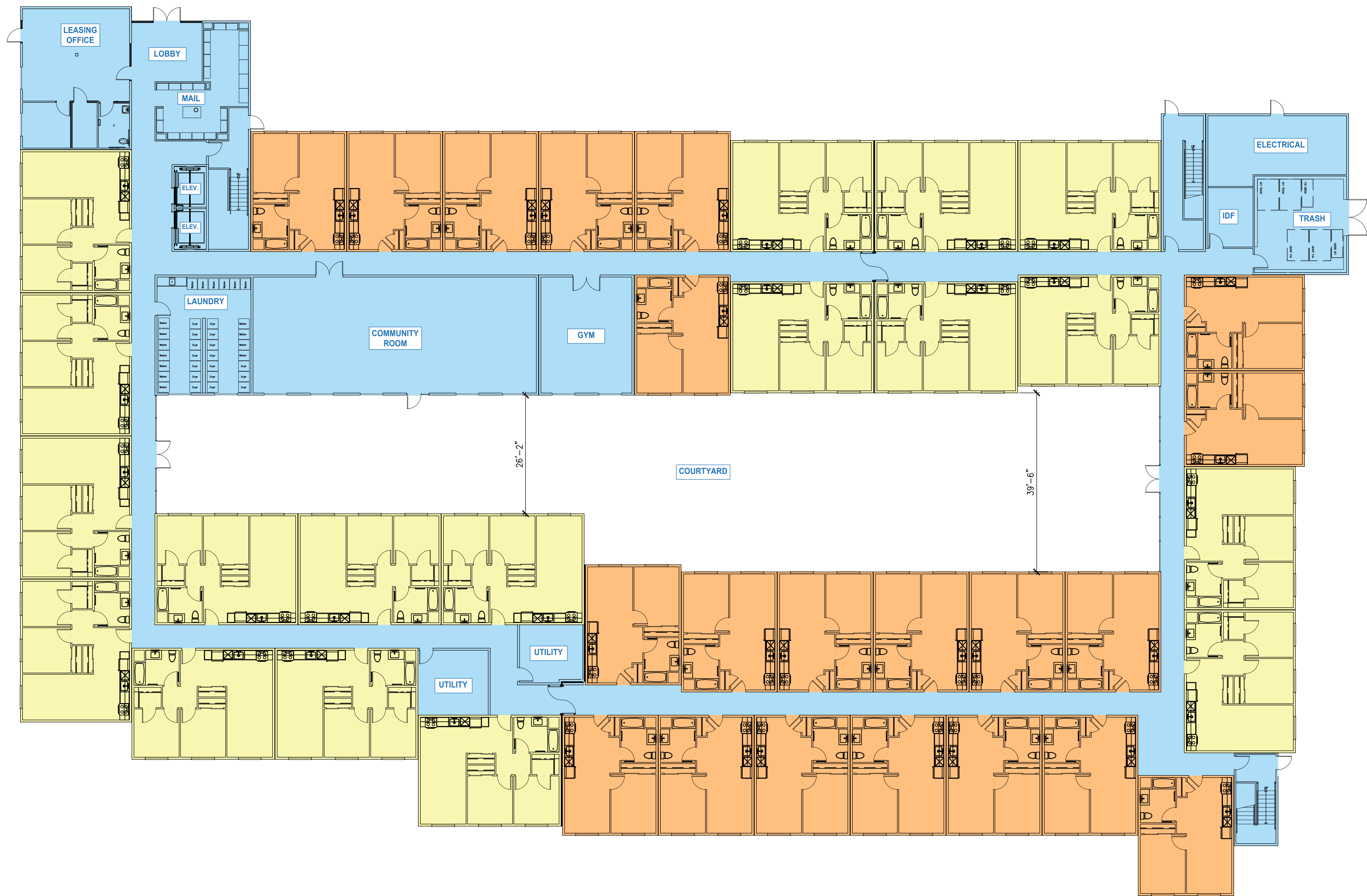


WILDFLOWER SITE
DESIGN REVIEW SUBMITTAL
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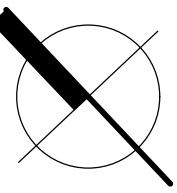
SITE PLAN

SCALE: 1" = 20'-0"
DATE: 06/04/25
REVISIONS:



FIRST FLOOR		
UNIT TYPE		NO. UNITS
UNIT A (1 BEDROOM)		21
UNIT B (2 BEDROOM)		18
GROSS SQUARE FOOTAGE		
FIRST FLOOR		36,429
ELEVATORS & SHAFTS		0
TOTAL		36,429

10' 0' 10' 20'
SCALE: 3/32" = 1'-0"



FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"
DATE: 06/04/25

REVISIONS:

PROJECT NO. 25001

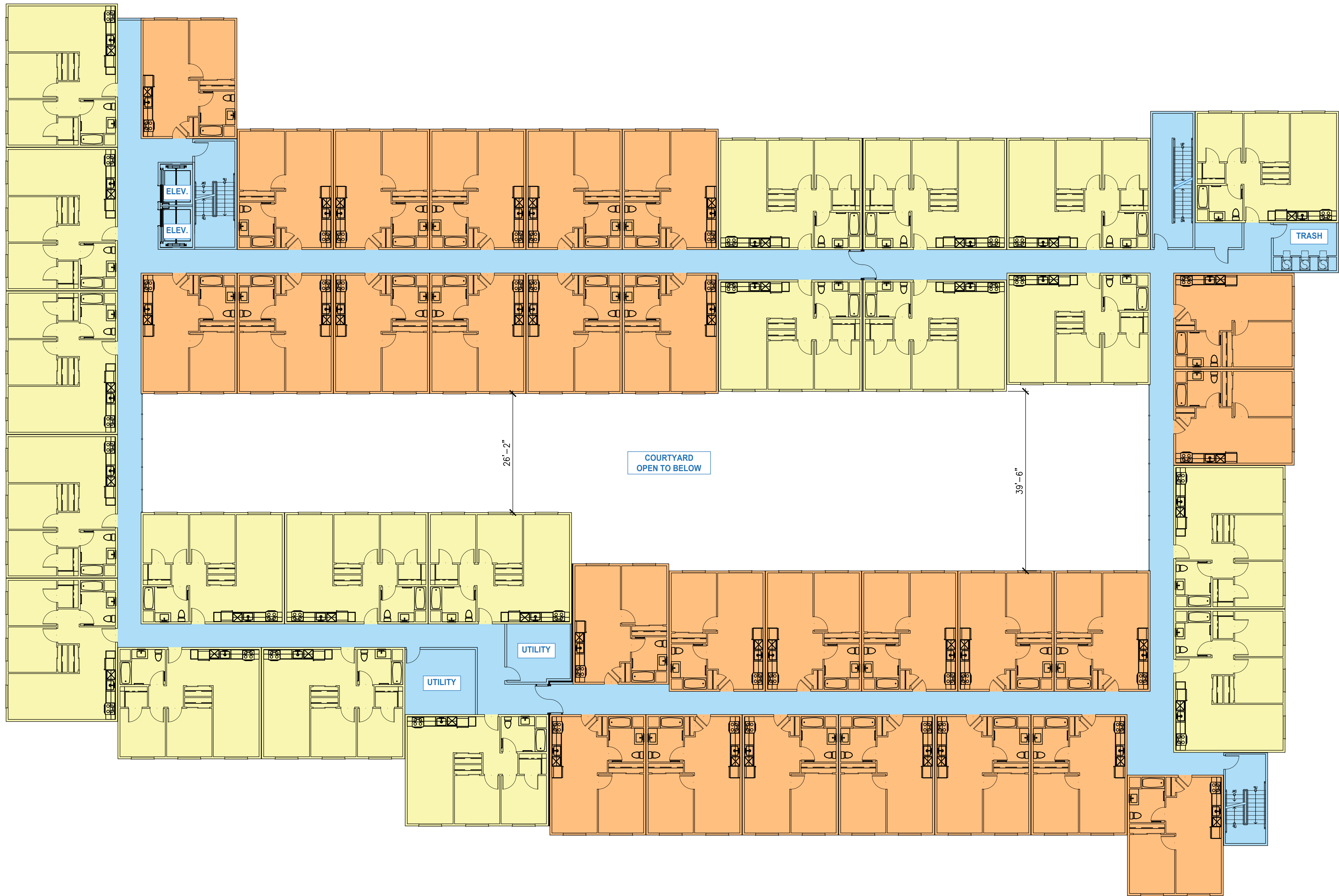
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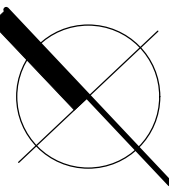
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SECOND FLOOR	
UNIT TYPE	NO. UNITS
UNIT A (1 BEDROOM)	27
UNIT B (2 BEDROOM)	20
GROSS SQUARE FOOTAGE	
FOURTH FLOOR	36,429
ELEVATORS & SHAFTS	172
TOTAL	36,257

10' 0' 10' 20'
SCALE: 3/32" = 1'-0"



SECOND FLOOR
PLAN

SCALE: 3/32" = 1'-0"
DATE: 06/04/25

REVISIONS:

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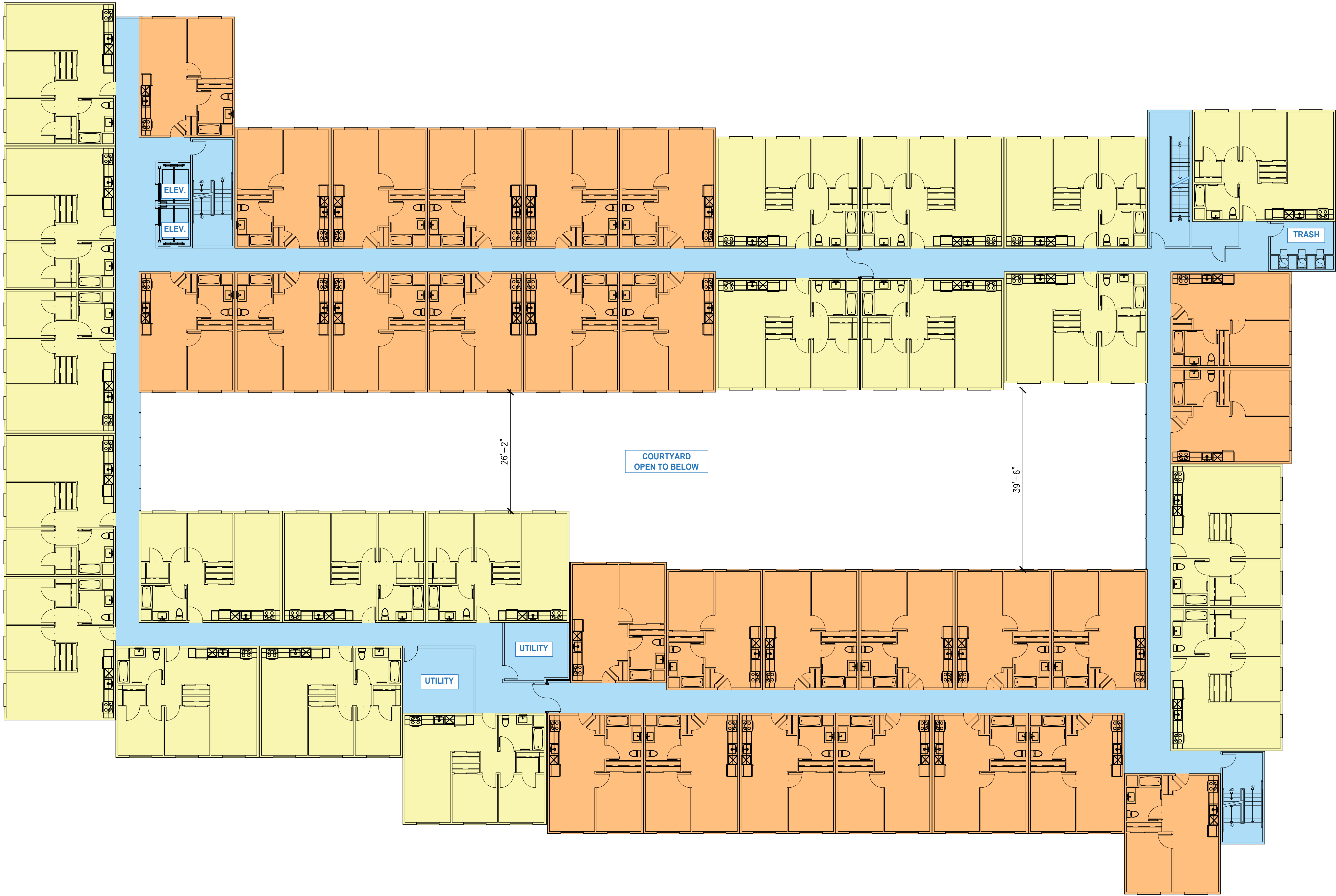
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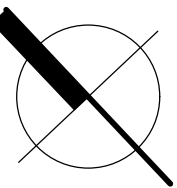
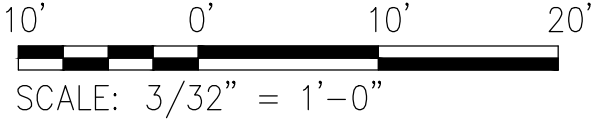
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THIRD FLOOR	
UNIT TYPE	NO. UNITS
UNIT A (1 BEDROOM)	27
UNIT B (2 BEDROOM)	20
GROSS SQUARE FOOTAGE	
FOURTH FLOOR	36,429
ELEVATORS & SHAFTS	172
TOTAL	36,257



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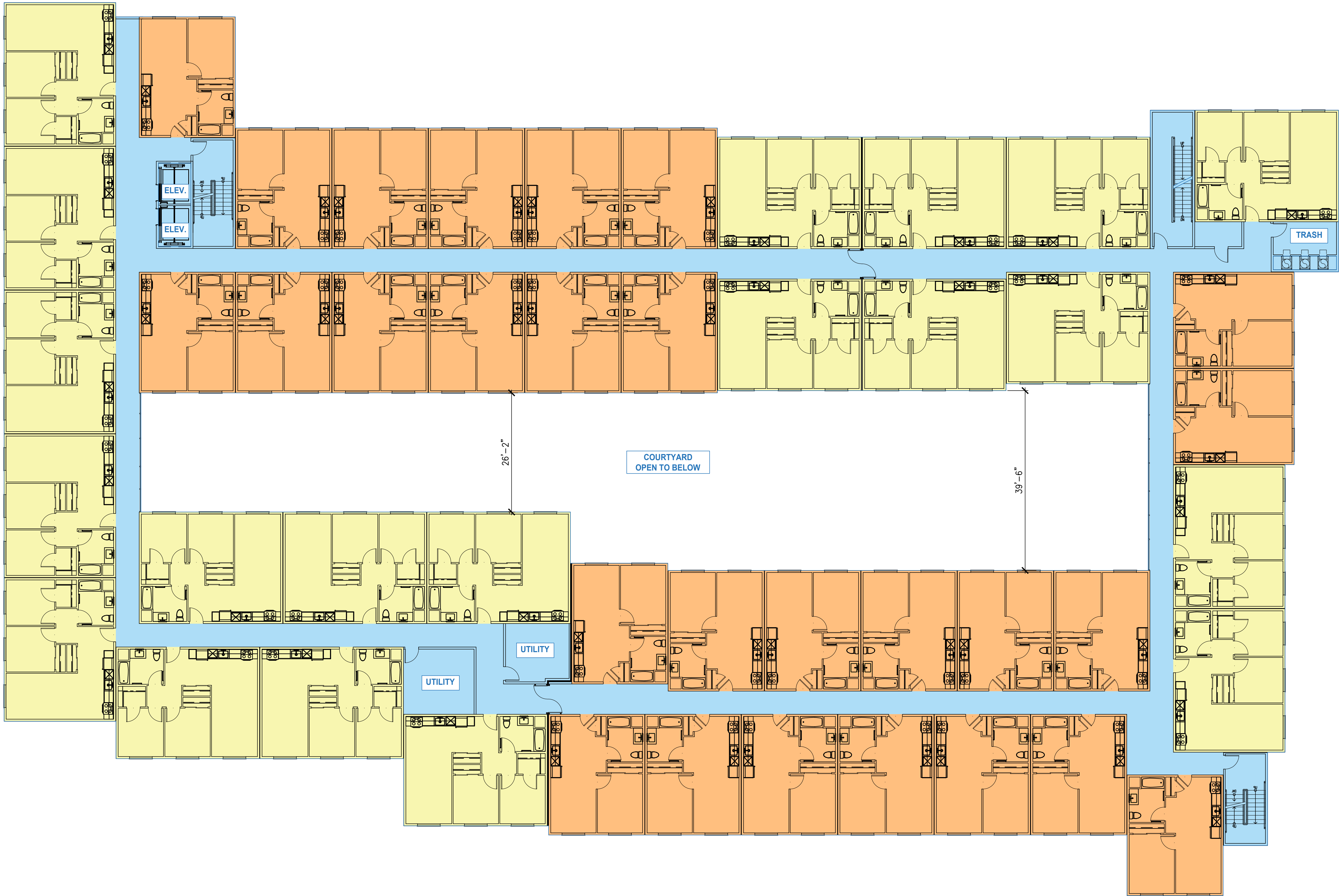
THIRD FLOOR
PLAN

SCALE: 3/32" = 1'-0"
DATE: 06/04/25

REVISIONS:

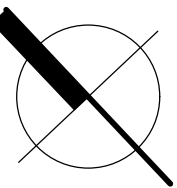
PROJECT NO. 25001

A1.3
SHEET OF



FOURTH FLOOR		
UNIT TYPE		NO. UNITS
UNIT A (1 BEDROOM)		27
UNIT B (2 BEDROOM)		20
GROSS SQUARE FOOTAGE		
FOURTH FLOOR		36,429
ELEVATORS & SHAFTS		172
TOTAL		36,257

10' 0' 10' 20'
SCALE: 3/32" = 1'-0"



FOURTH FLOOR
PLAN

SCALE: 3/32" = 1'-0"
DATE: 06/04/25

REVISIONS:

PROJECT NO. 25001

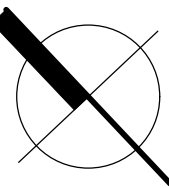
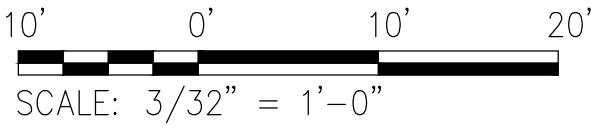
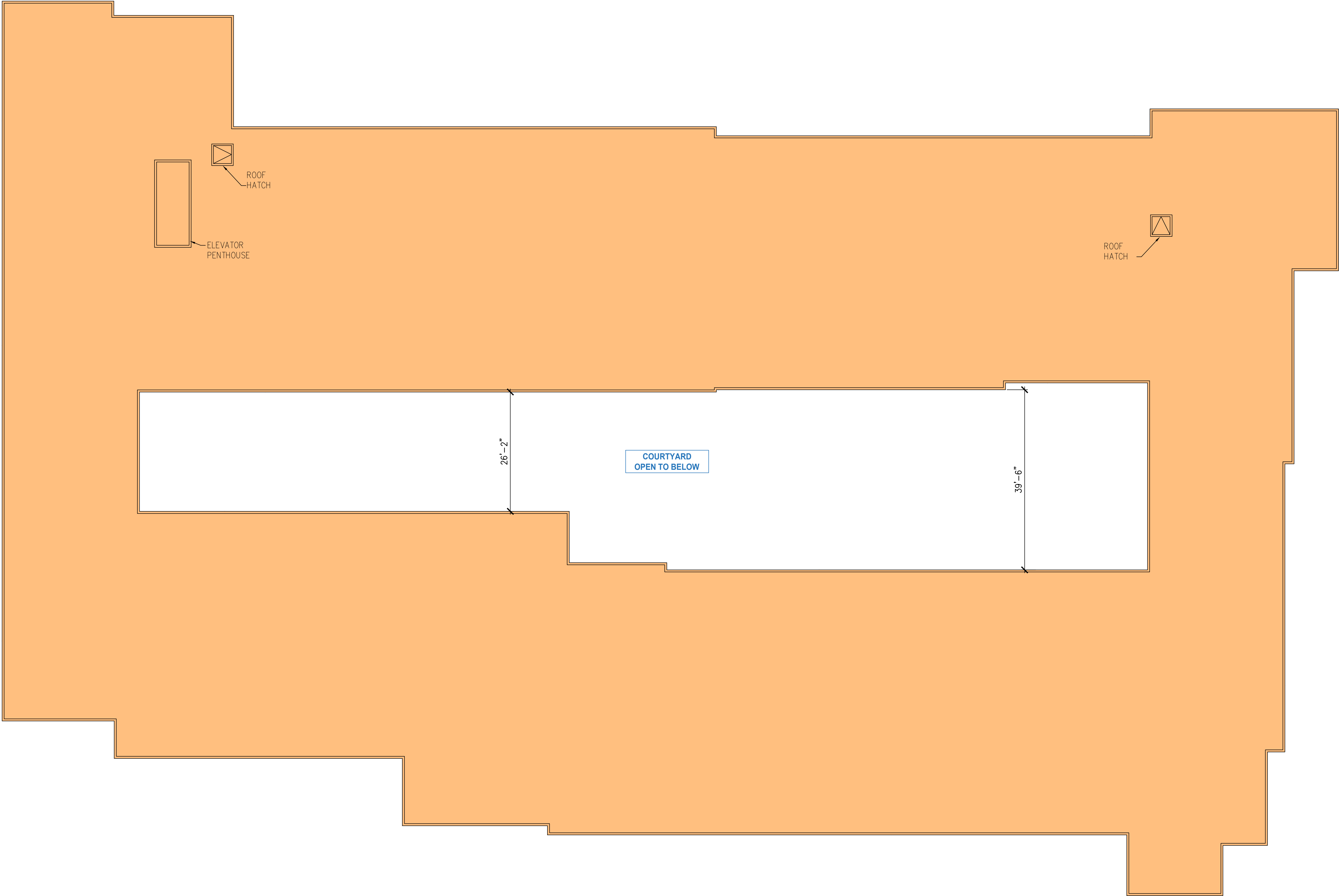
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WILDFLOWER SITE
DESIGN REVIEW SUBMITTAL
CYPRESS EQUITY INVESTMENTS
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ROOF PLAN

SCALE: 3/32" = 1'-0"
DATE: 06/04/25

REVISIONS:

PROJECT NO. 25001

A1.5
SHEET OF



1 **NORTHEAST ELEVATION**



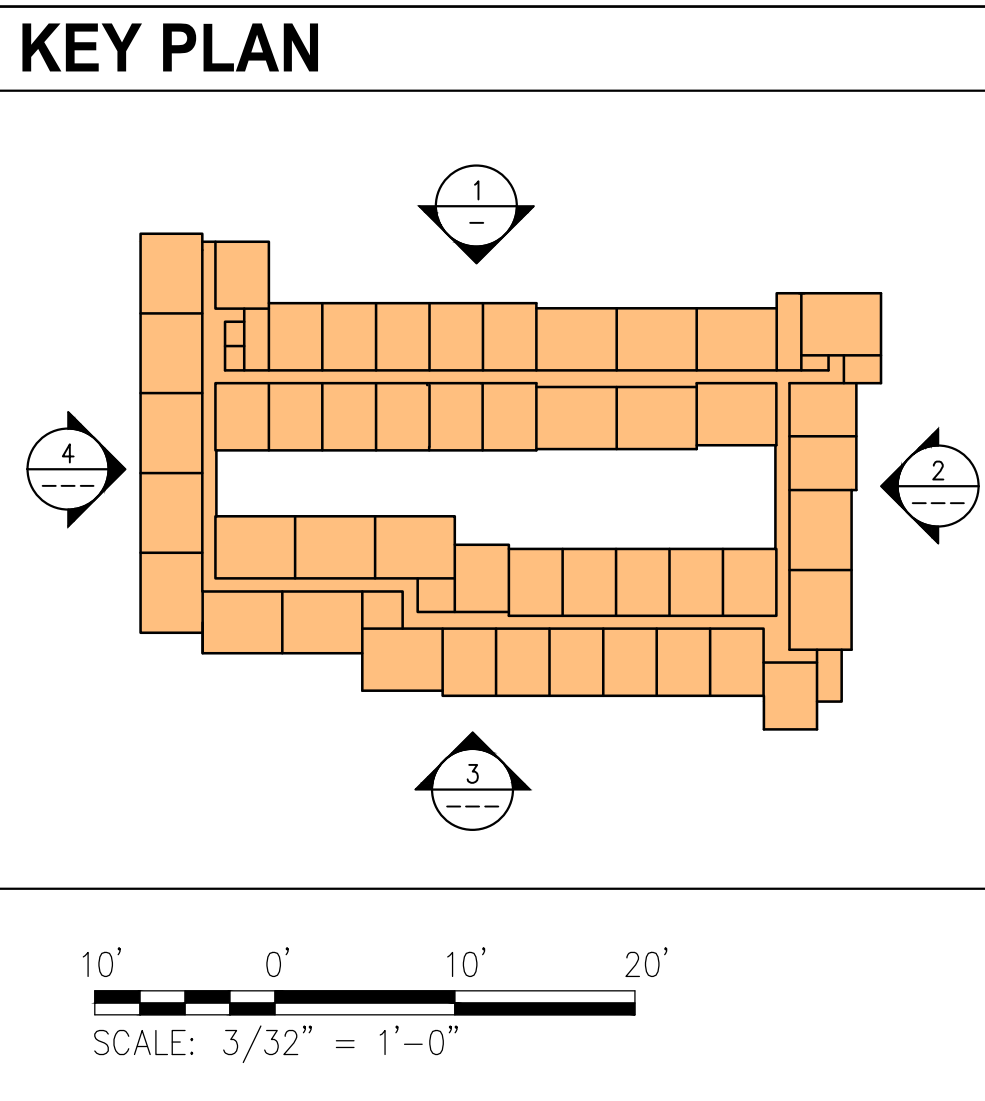
2 **SOUTHEAST ELEVATION**

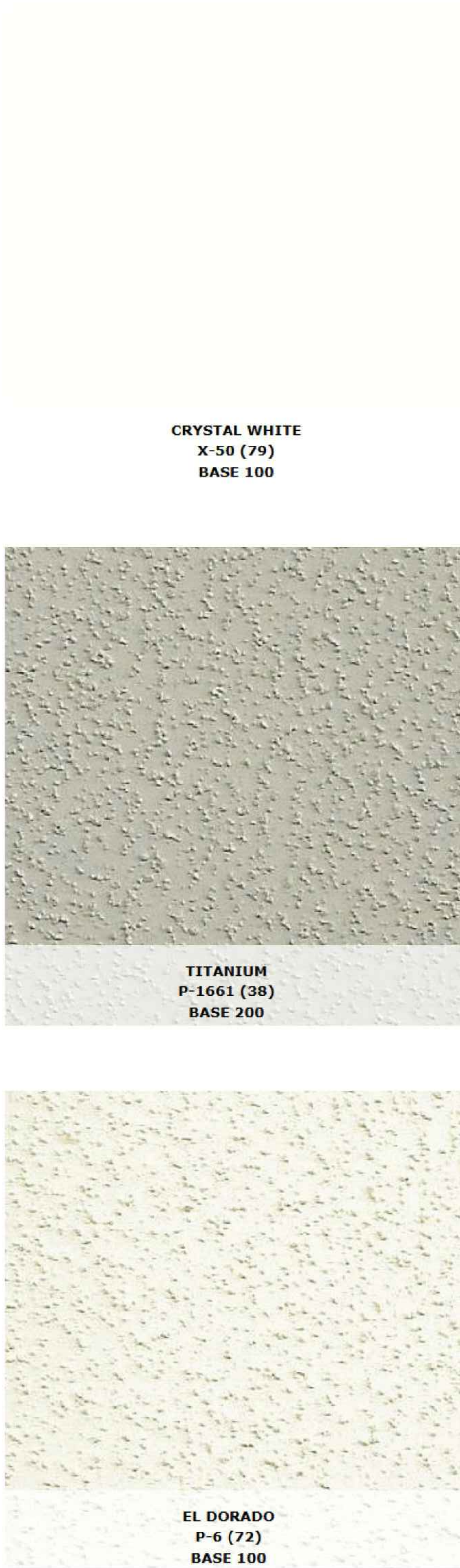


3 **SOUTHWEST ELEVATION**
HILLCREST AVENUE

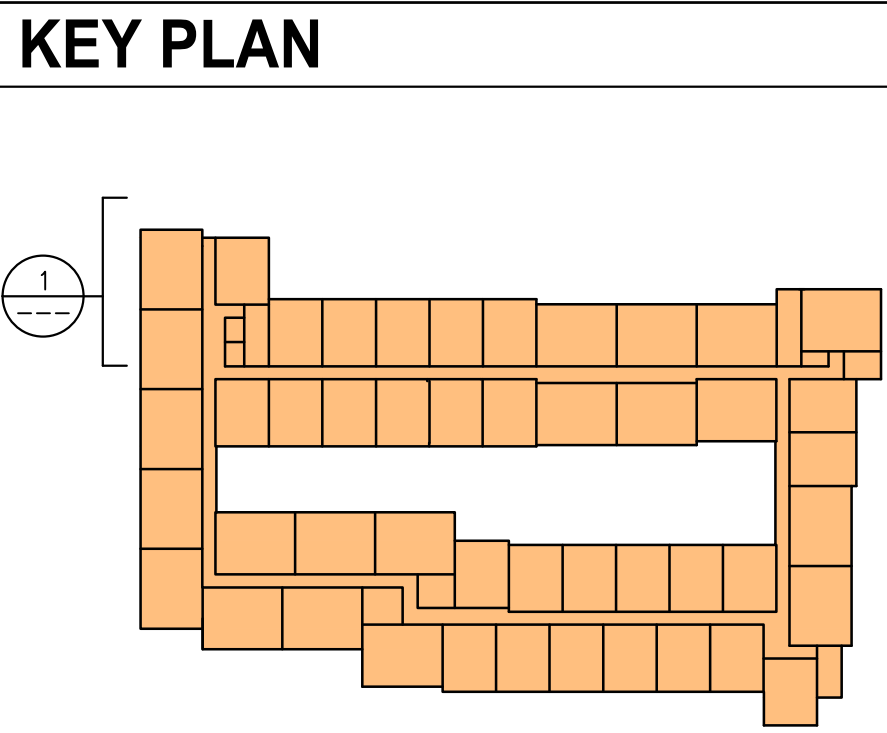


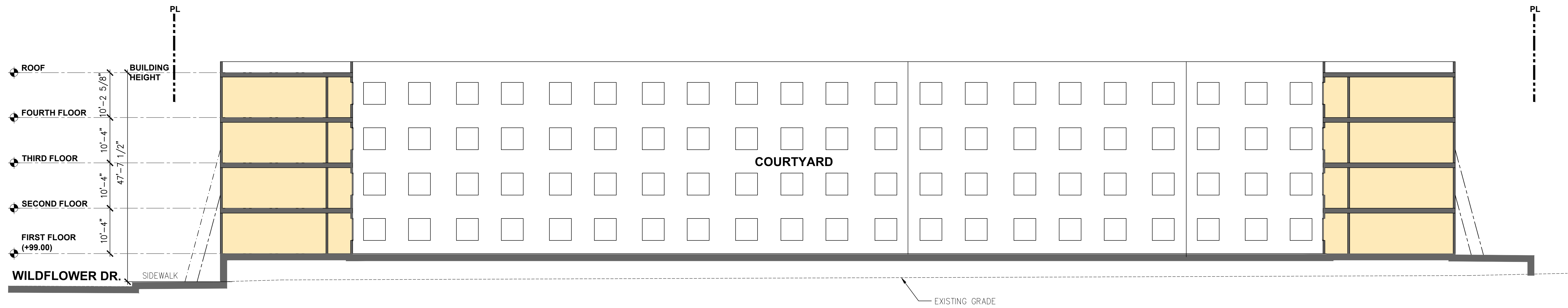
4 **NORTHWEST ELEVATION**
WILDFLOWER DRIVE



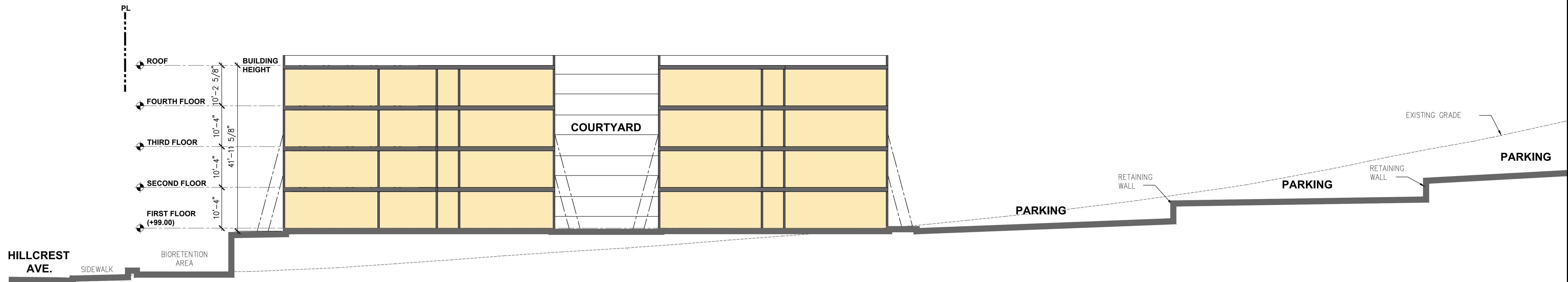


1 MATERIAL DIAGRAM

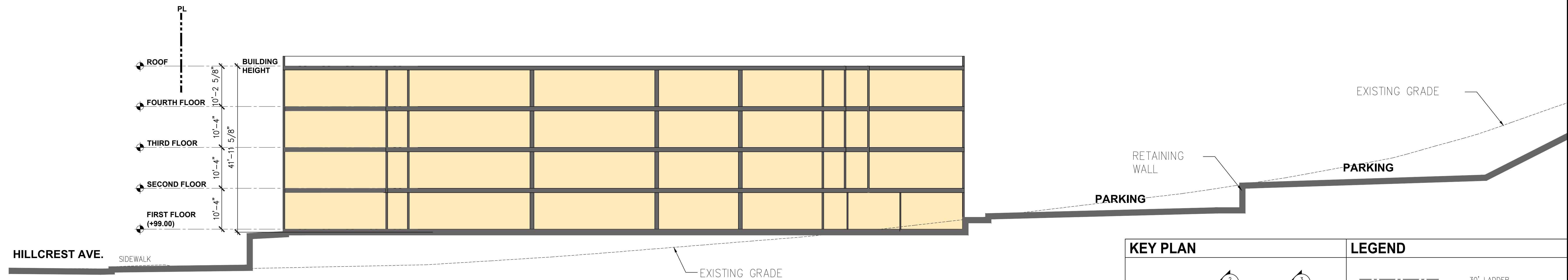




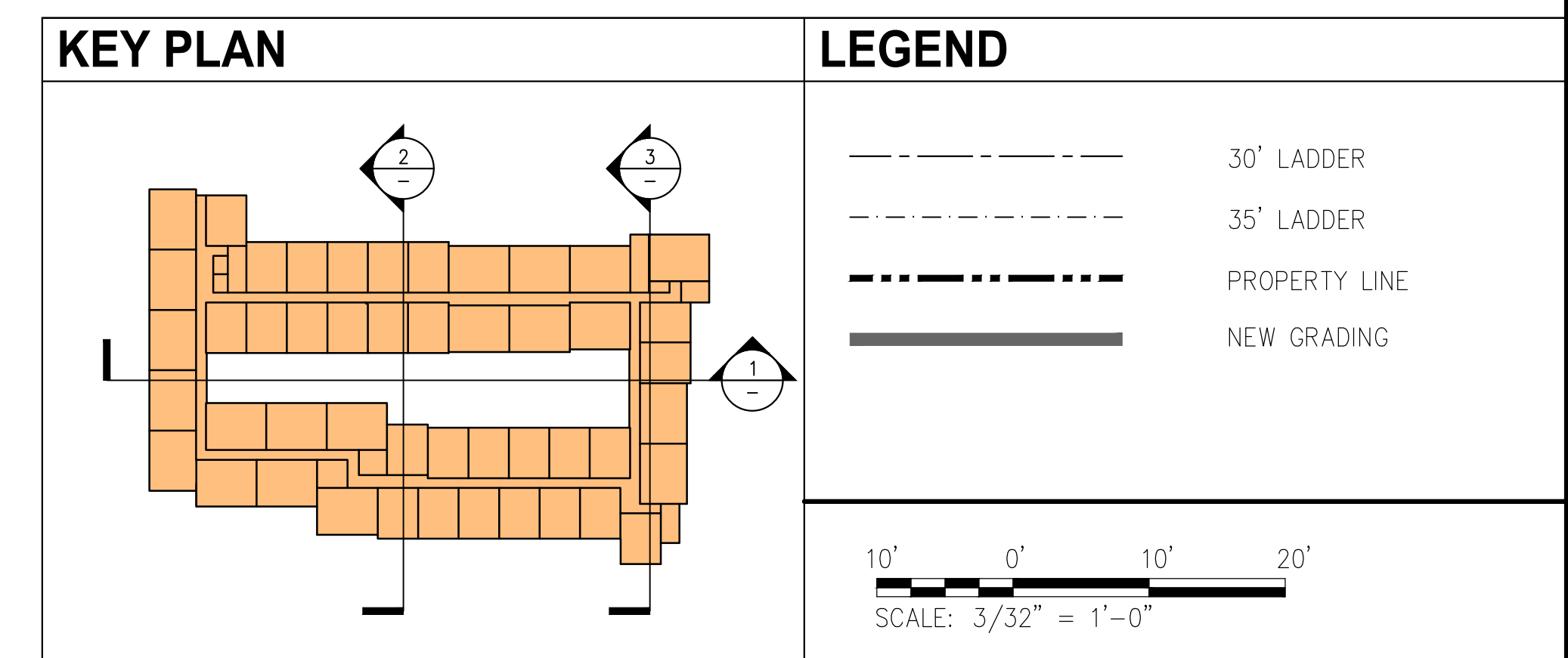
1 SECTION 1



2 SECTION 2



3 SECTION 3



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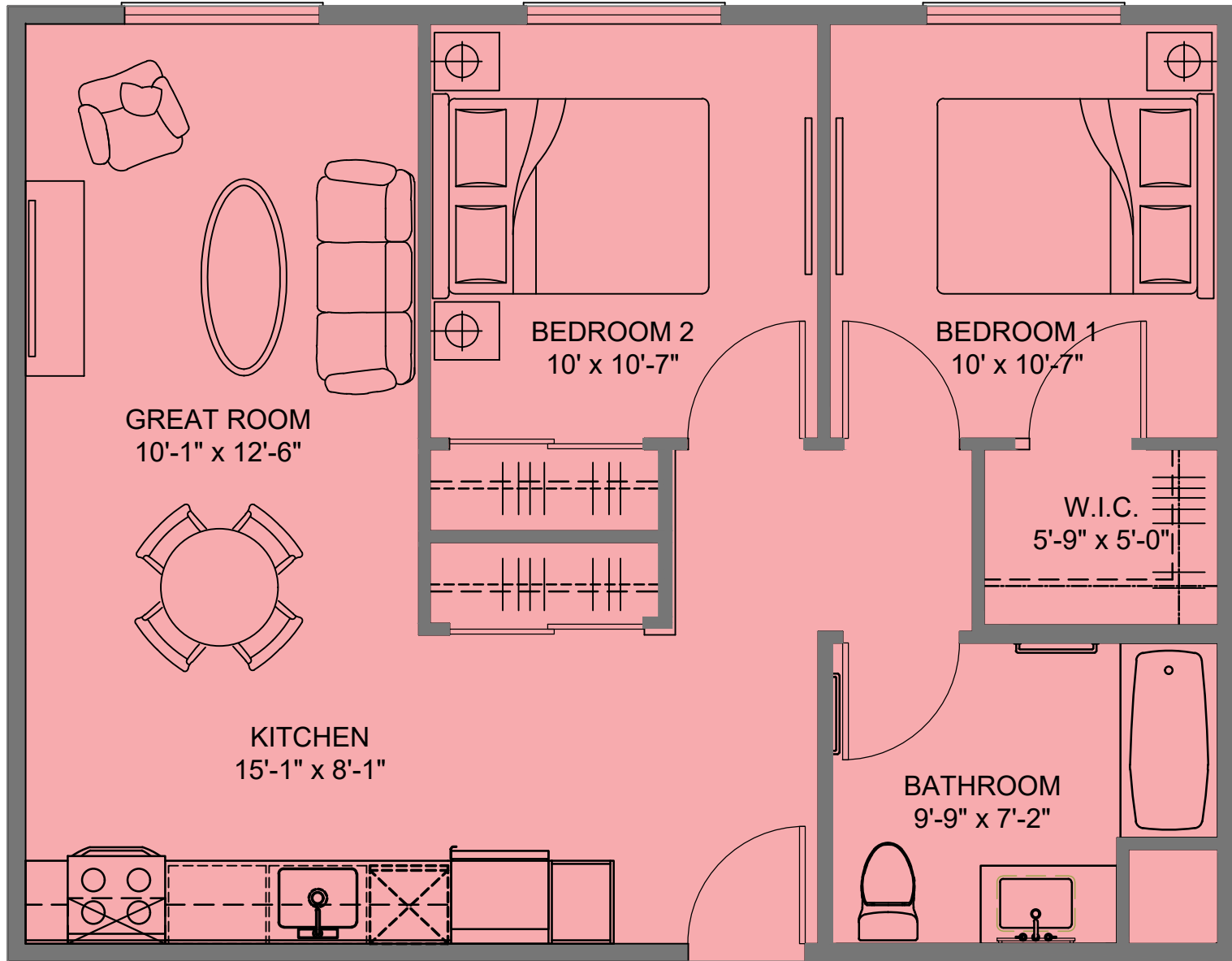
SITE SECTIONS

SCALE: SCALE 3/32" = 1'-0"
DATE: 06/04/25

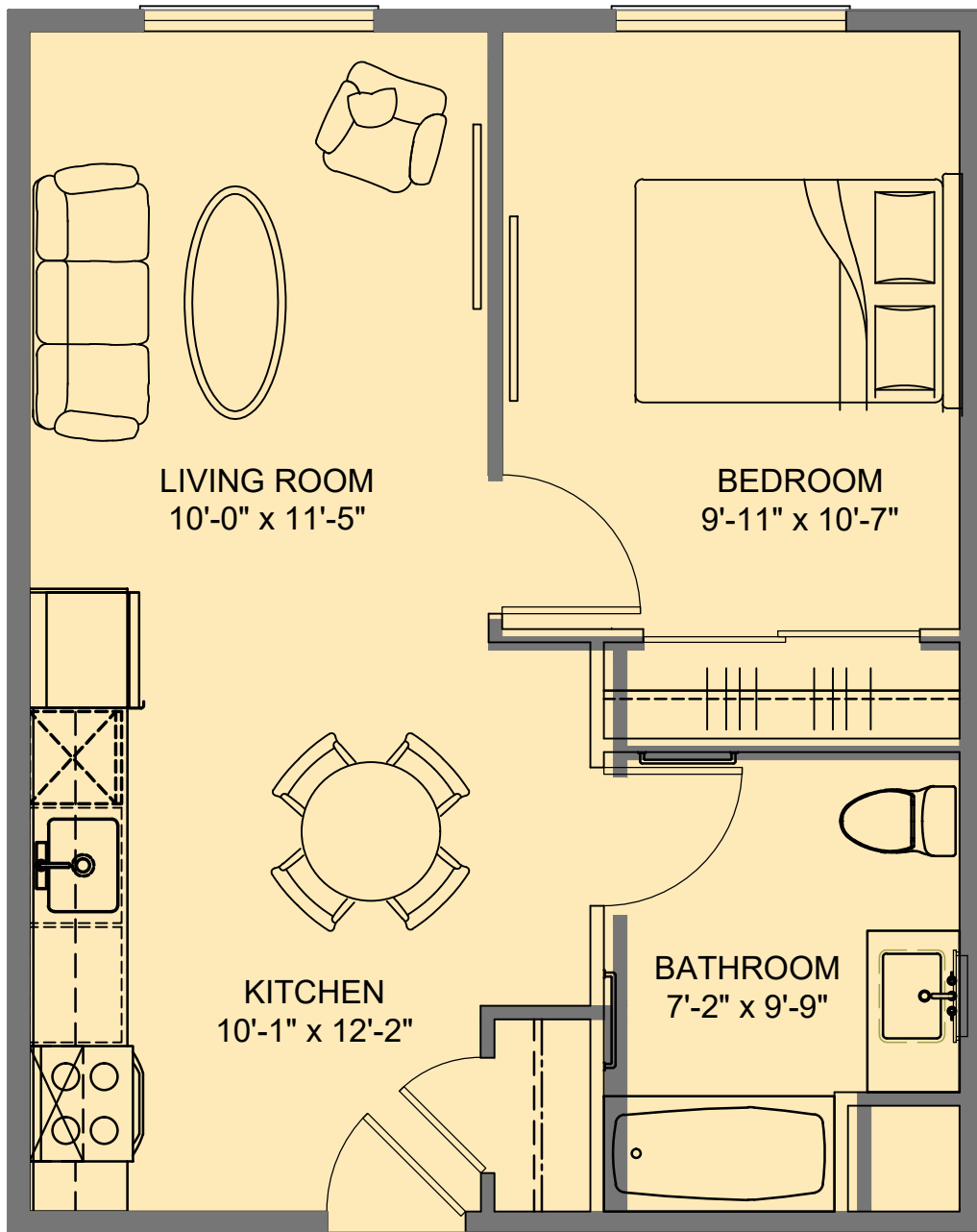
REVISIONS:

PROJECT NO. 25001

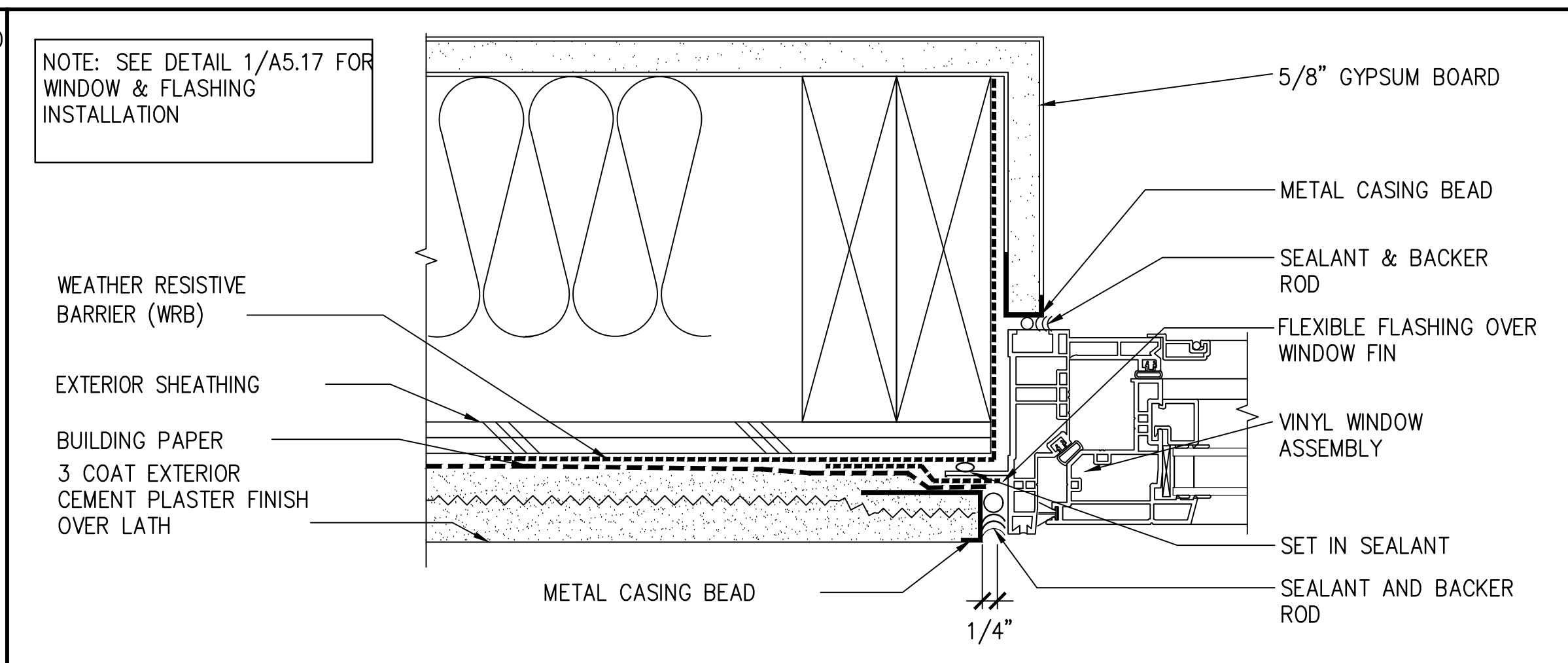
A3.1
SHEET OF



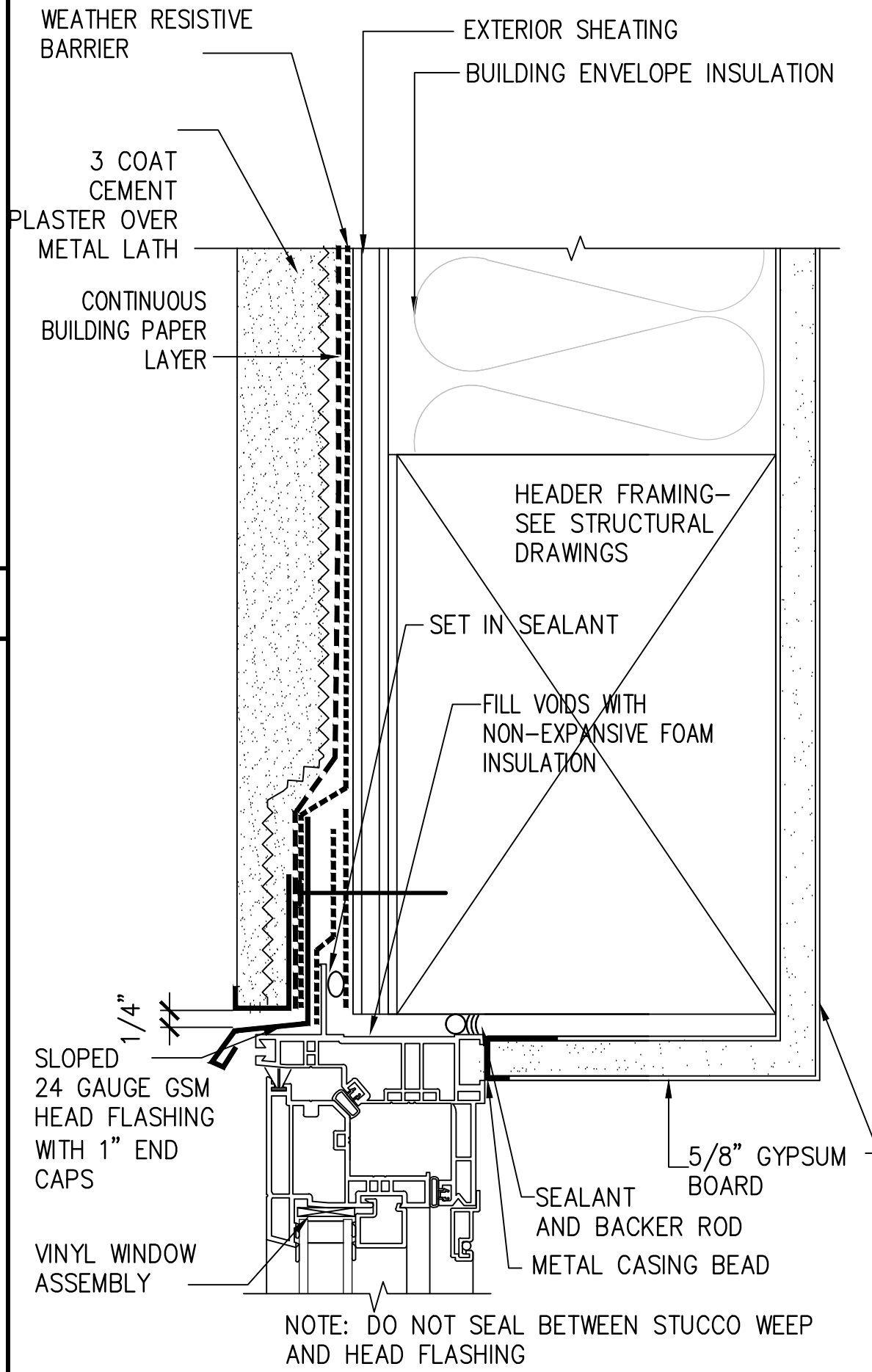
2 UNIT B - 2 BEDROOM
GROSS AREA: 771 SF / NET AREA: 709 SF



1 UNIT A - 1 BEDROOM
GROSS AREA: 559 SF / NET AREA: 504 SF

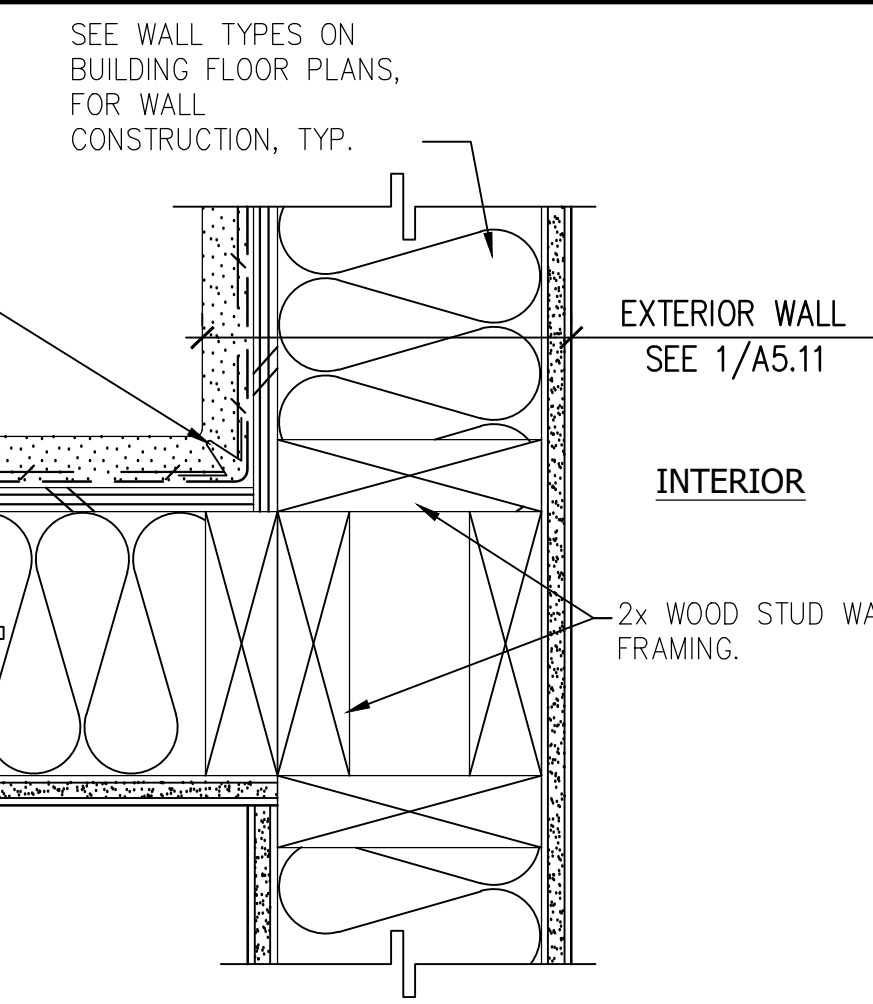


NOTE: SEE DETAIL 4/A5.17 FOR WINDOW & FLASHING INSTALLATION



EXTERIOR

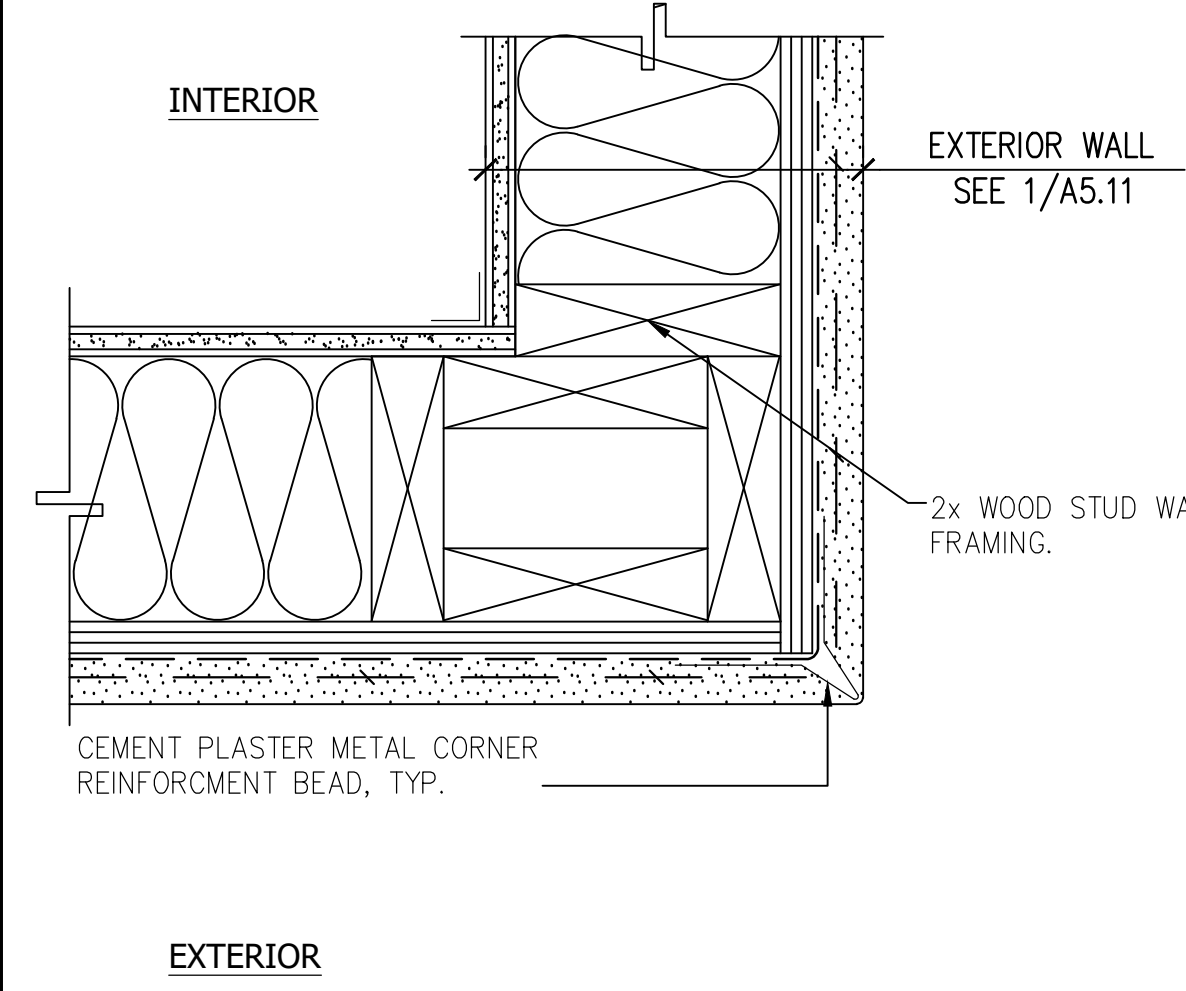
CEMENT PLASTER
METAL CORNER
REINFORCEMENT BEAD,
TYP. 



INTERIOR

2 WALL INSIDE CORNER

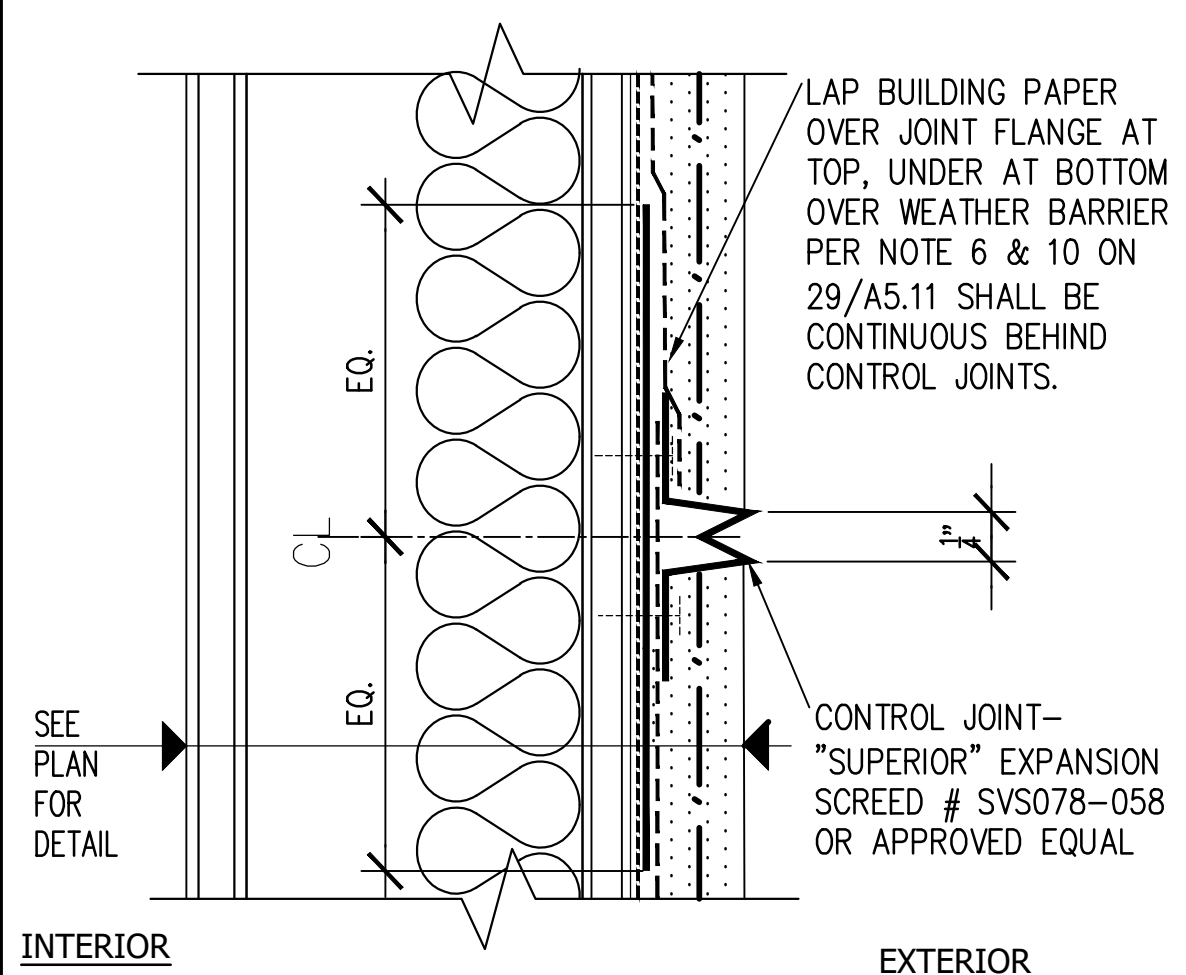
SCALE: 3"=1'-0"



EX

3	WALL OUTSIDE CORNER
---	---------------------

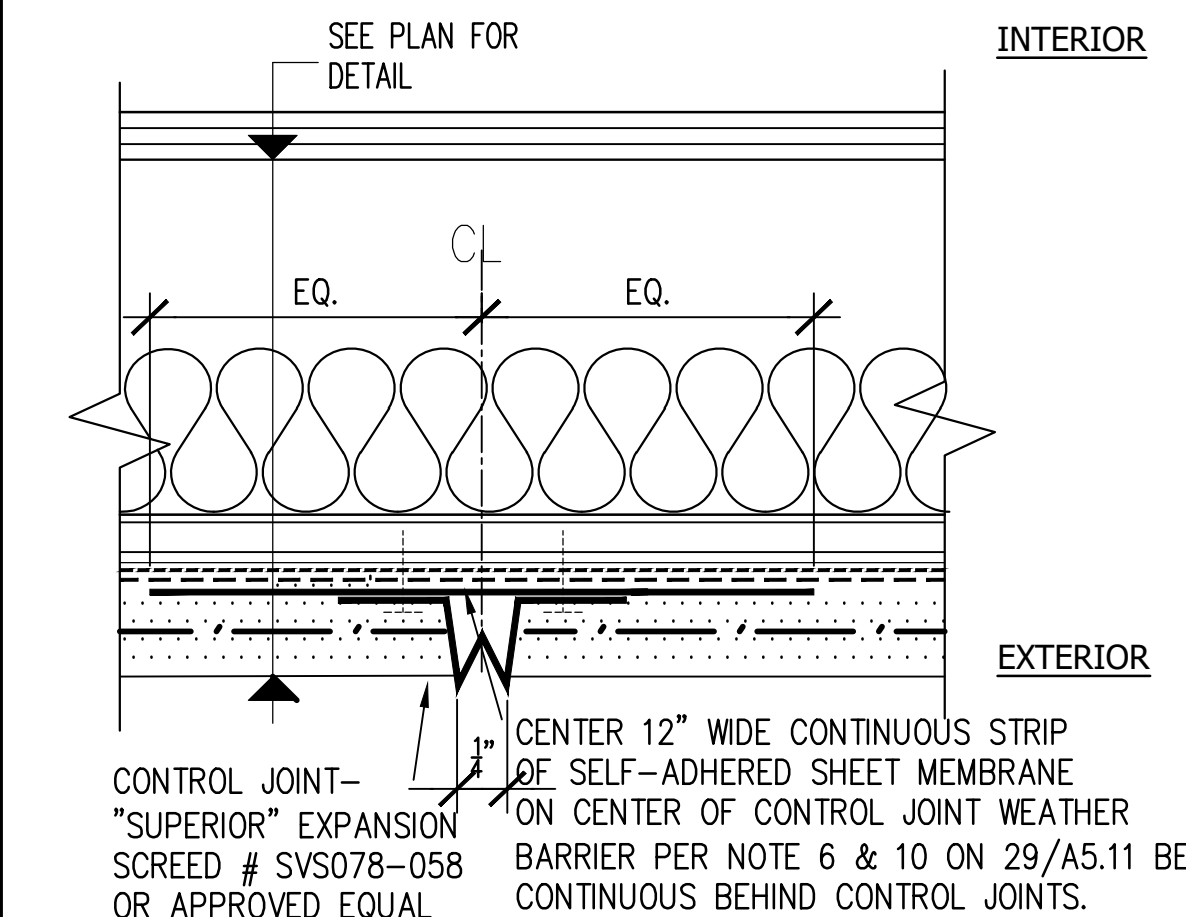
SCALE: 3"=1'-0"



INTERIOR

4	HORIZONTAL PLASTER CONTROL JOINT
---	----------------------------------

4	1-1/2" =
---	----------



SCREEN
OR AP

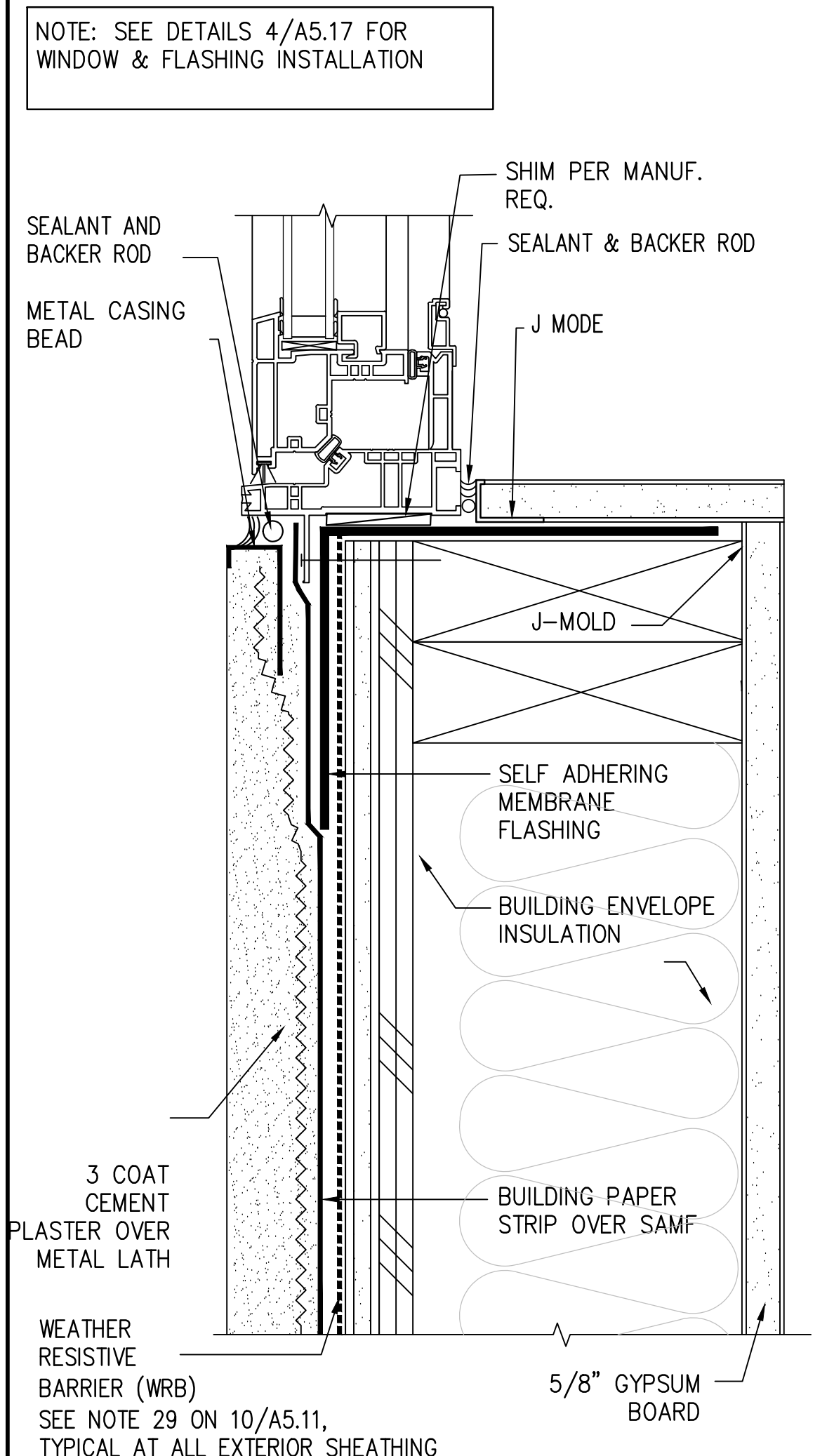
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	VERTICAL
--	----------



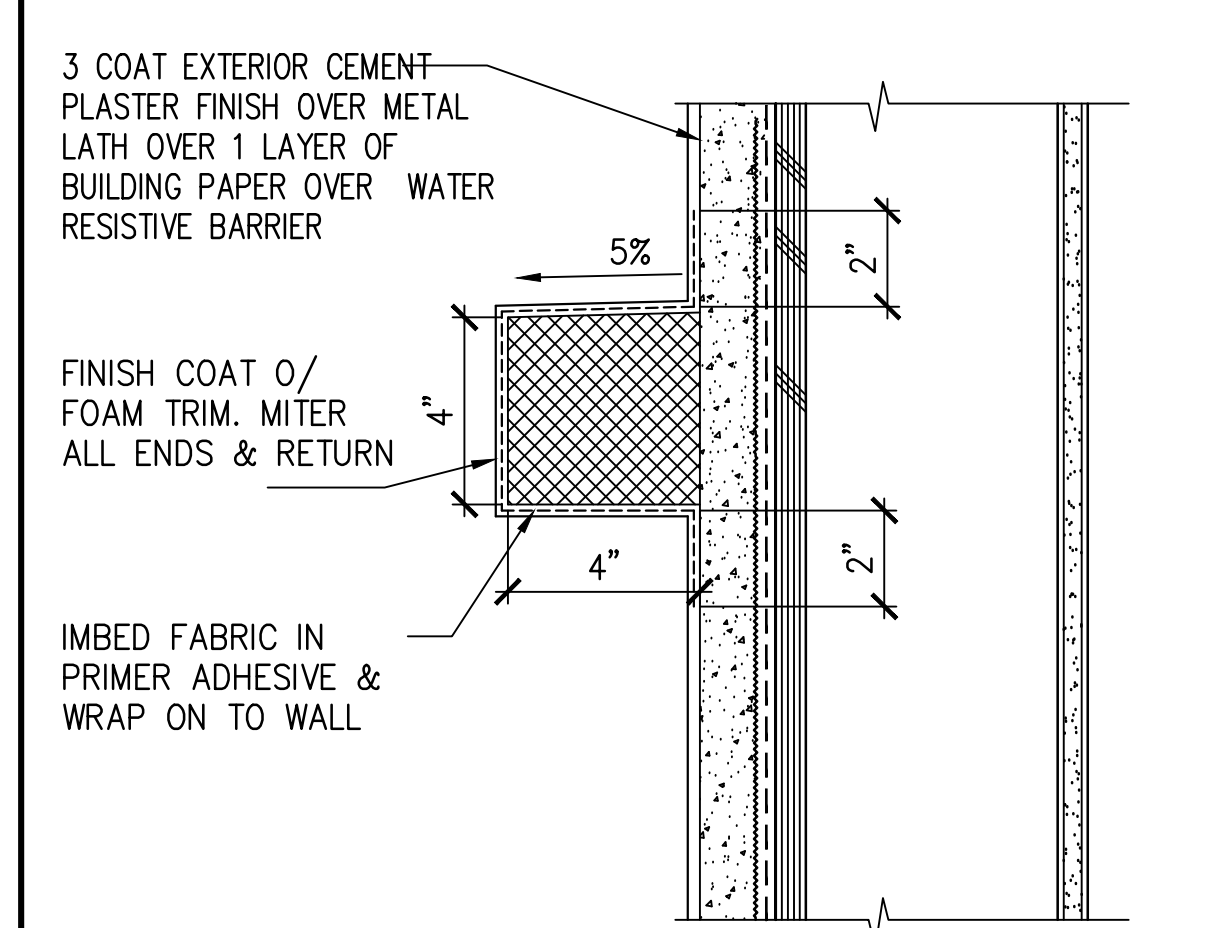
8	VINYL WINDOW HEAD AT CEMENT PLASTER
---	-------------------------------------

SCALE: 6"=1'-0"



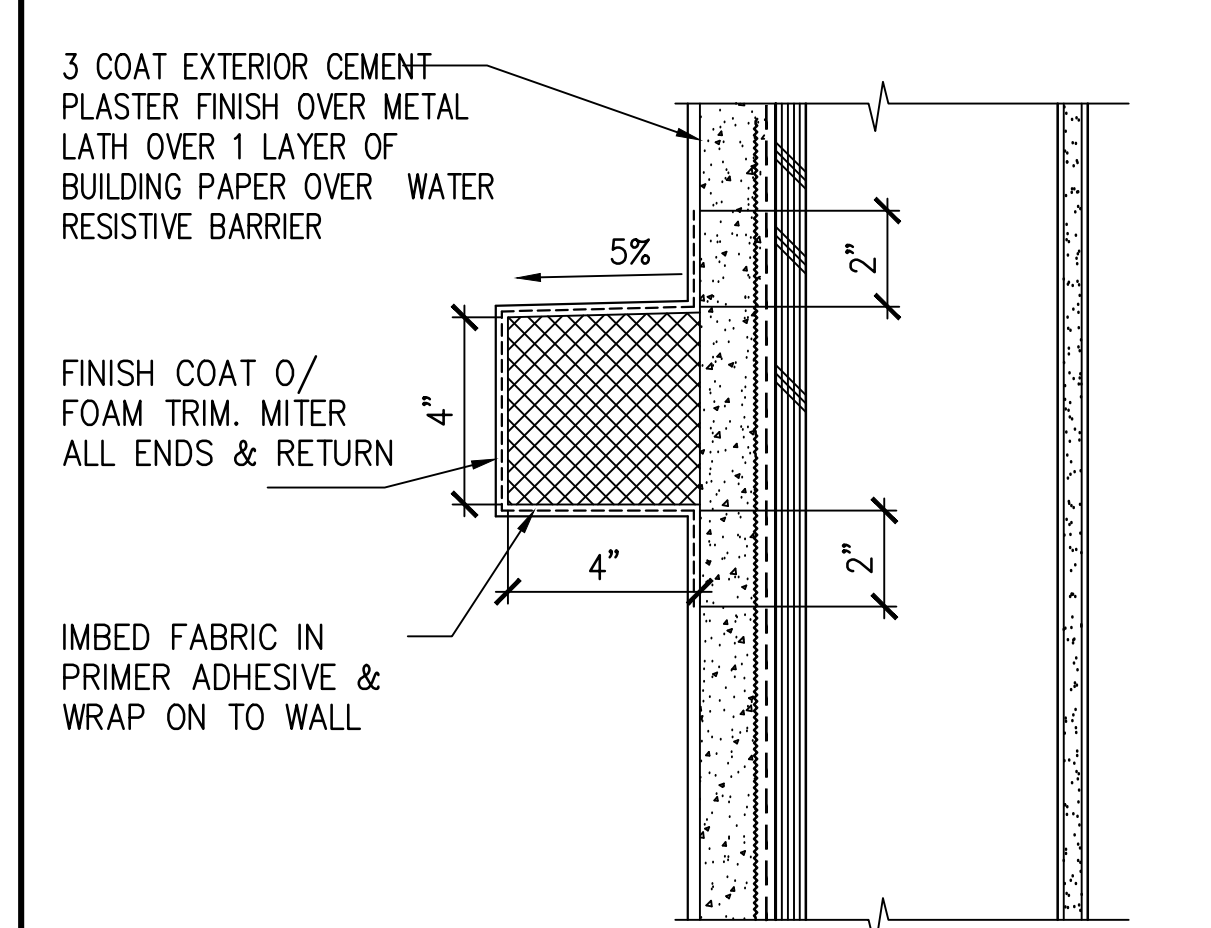
SEE NOTE 29 ON 10/A5.11,
TYPICAL AT ALL EXTERIOR SHEATHING

	VINYL WINDOW
--	--------------



12	PARAPET CAP FLASHING - STUCCO 3" - 1'-0"
----	---

12	$3'' = 1'-0''$
----	----------------



13	FOAM TRIM CONCRETE 3" x 1"
----	-------------------------------

13 SCALE: 3"=1'-0'

BW	BOTTOM OF WALL
DE	DRAINAGE EASEMENT
DI	DRAIN INLET
(E)	EXISTING
FF	FINISHED FLOOR
FG	FINISHED GRADE
GB	GRADE BREAK
INV	INVERT
TB	TOP OF BANK
TC	TOP OF CURB
TP	TOP OF PAVEMENT
TSL	TOP OF SOIL LAYER
TW	TOP OF WALL

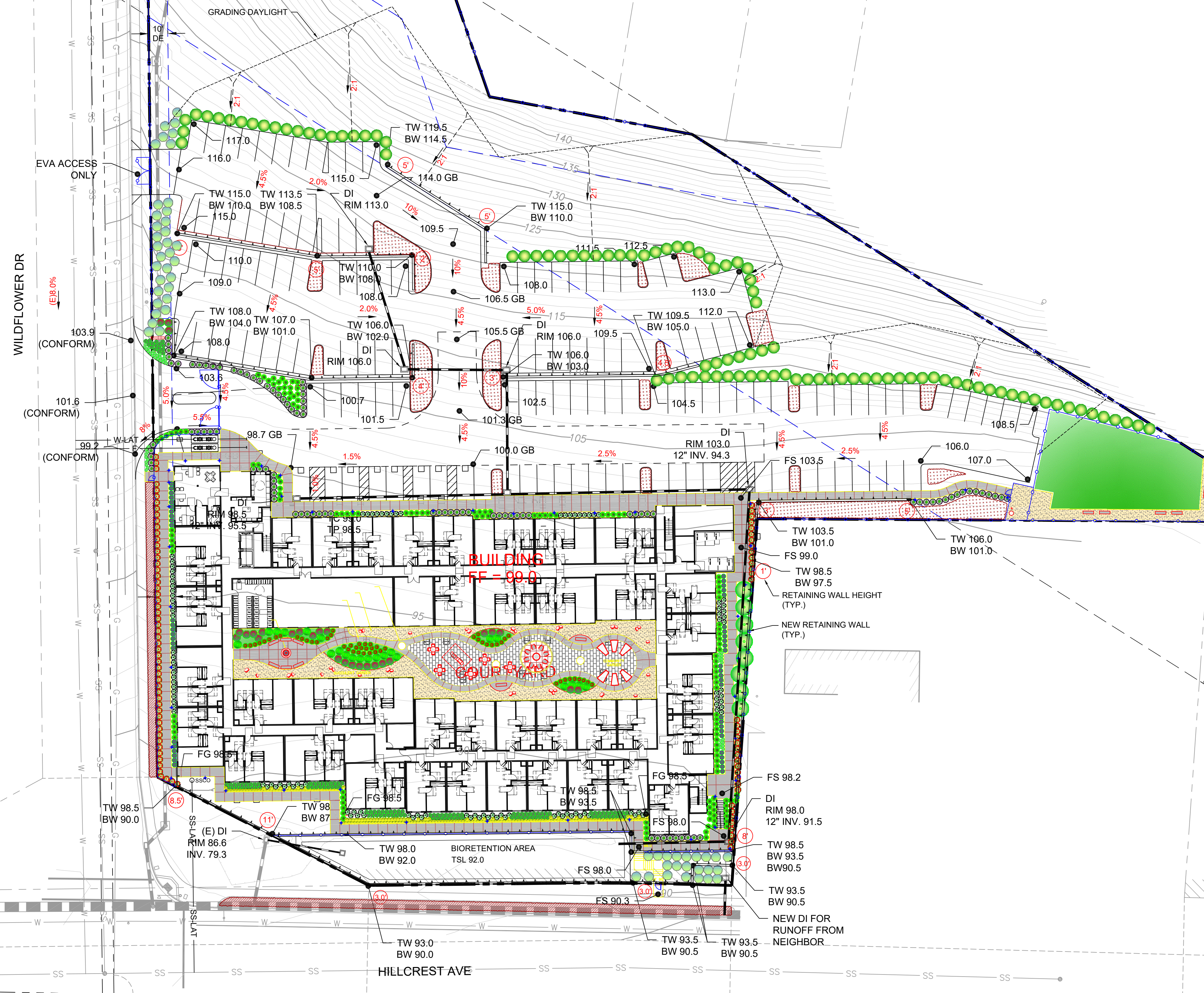


CUT=10,000 CY \pm
FILL= 8,500 CY \pm

NET EXPORT = 1,500 CY

ASSUMPTIONS:
INCLUDED: 6" CLEAR AND GRUB
12" PAVEMENT SECTION
12" BUILDING SLAB

NOT INCLUDED: TRENCH SPOILS
ANY OVEREXCAVATION FOR POOR SOILS
SHRINK AND SWELL
CONTRACTORS MEANS AND METHODS



WILDFLOWER APARTMENTS
APN 052-342-010-7 ANTIOCH, CALIFORNIA



ENGINEERING
LANDSCAPE ARCHITECTURE
SURVEYING
URBAN PLANNING

504 REDWOOD BLVD #310
NOVATO, CA 94947
415.883.9850

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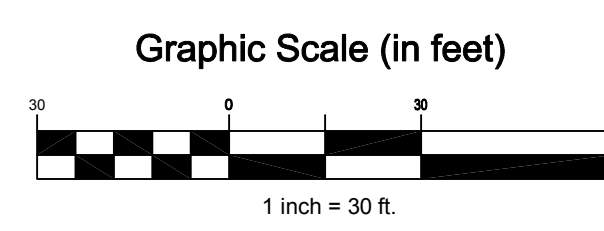
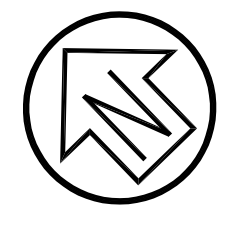
CONCEPTUAL
GRADING AND
DRAINAGE PLAN

CALE: _____
ATE: 12 / 18 / 2024
ECTIONS: _____

PROJECT NO. 2400242

C2.0

HEET OF



ABBREVIATIONS

DI	DRAIN INLET
(E)	EXISTING
INV	INVERT
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
P.O.C	POINT OF CONNECTION
WTR	WATER



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WILDFLOWER APARTMENTS

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PRELIMINARY UTILITY PLAN

SCALE: 1" = 30'
DATE: 12 / 18 / 2024

REVISIONS:

PROJECT NO. 2400242

C3.0

SHEET OF

WILDFLOWER APARTMENTS
APN 052-342-010-7 ANTIOCH, CALIFORNIA

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CROSS SECTIONS

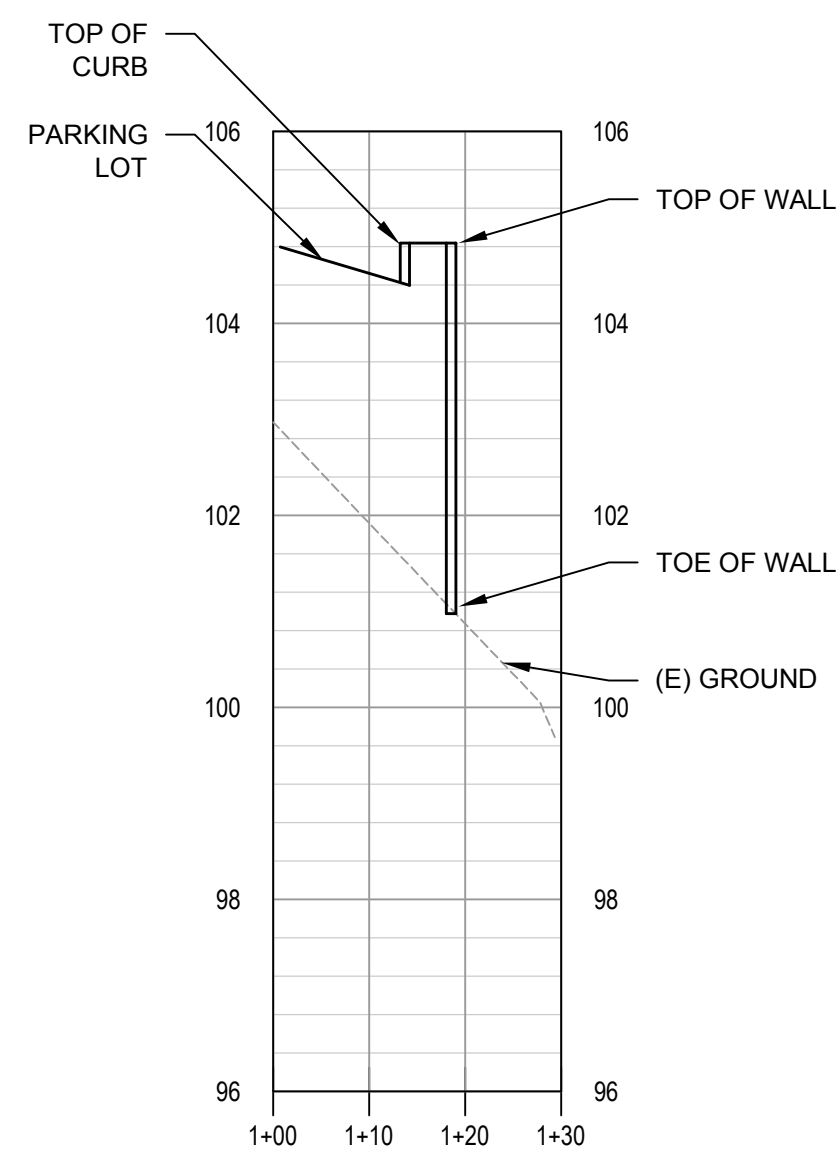
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DATE: 12 / 18 / 2024

REVISIONS:

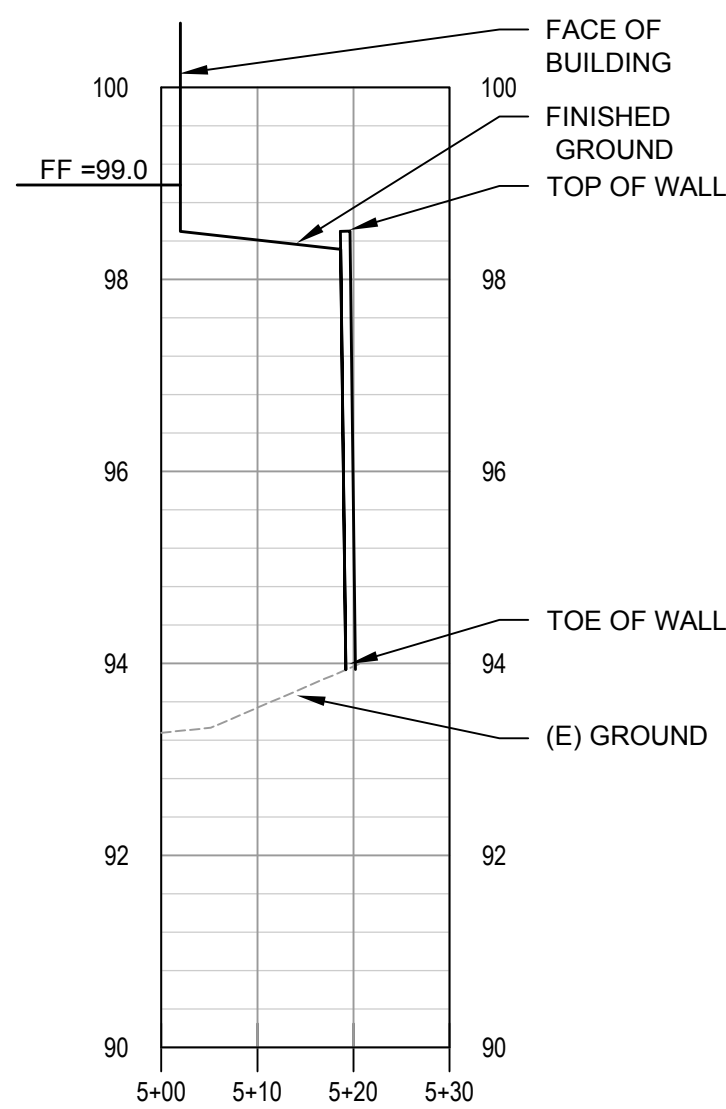
PROJECT NO. 2400242

C4.0

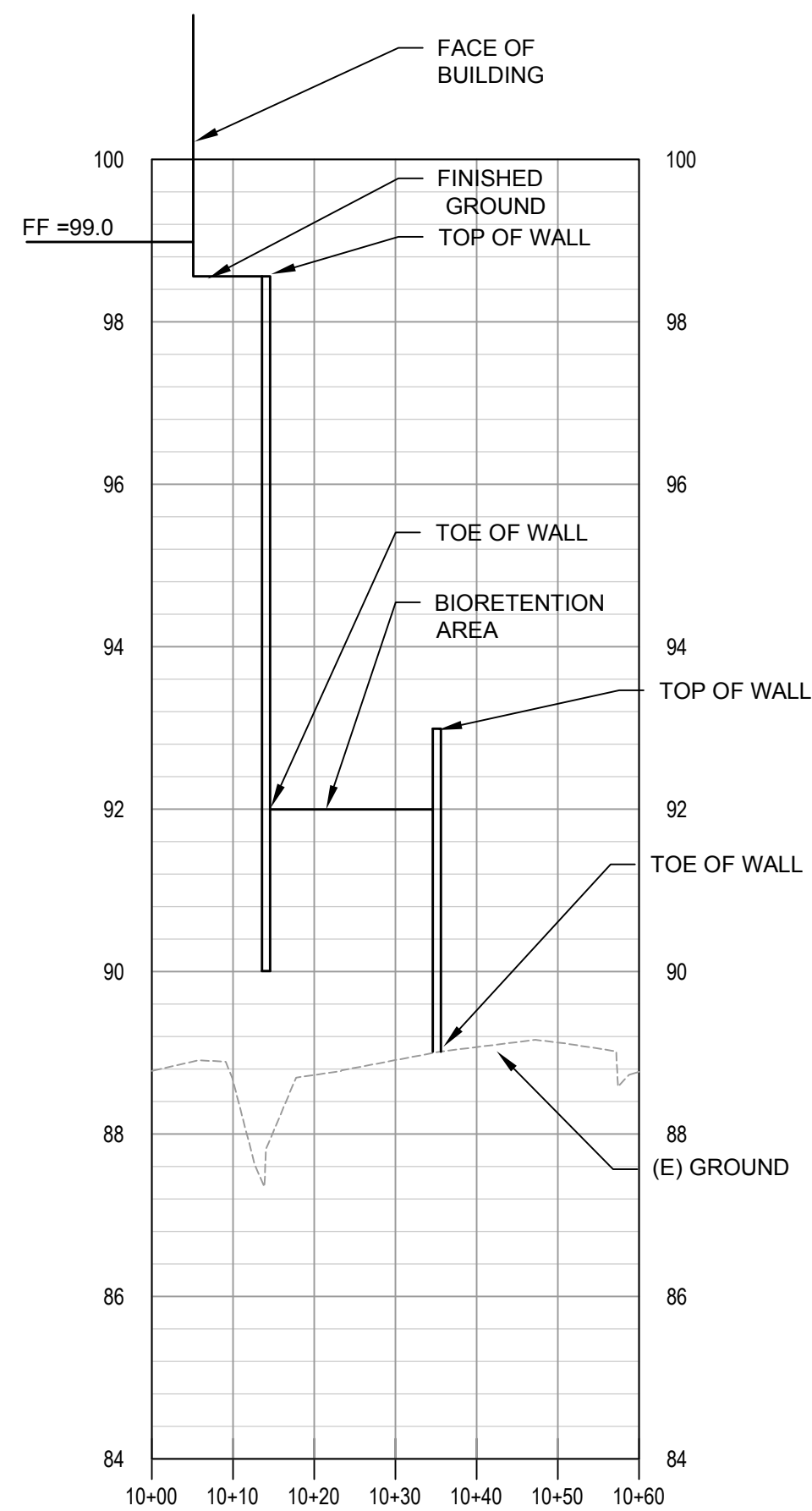
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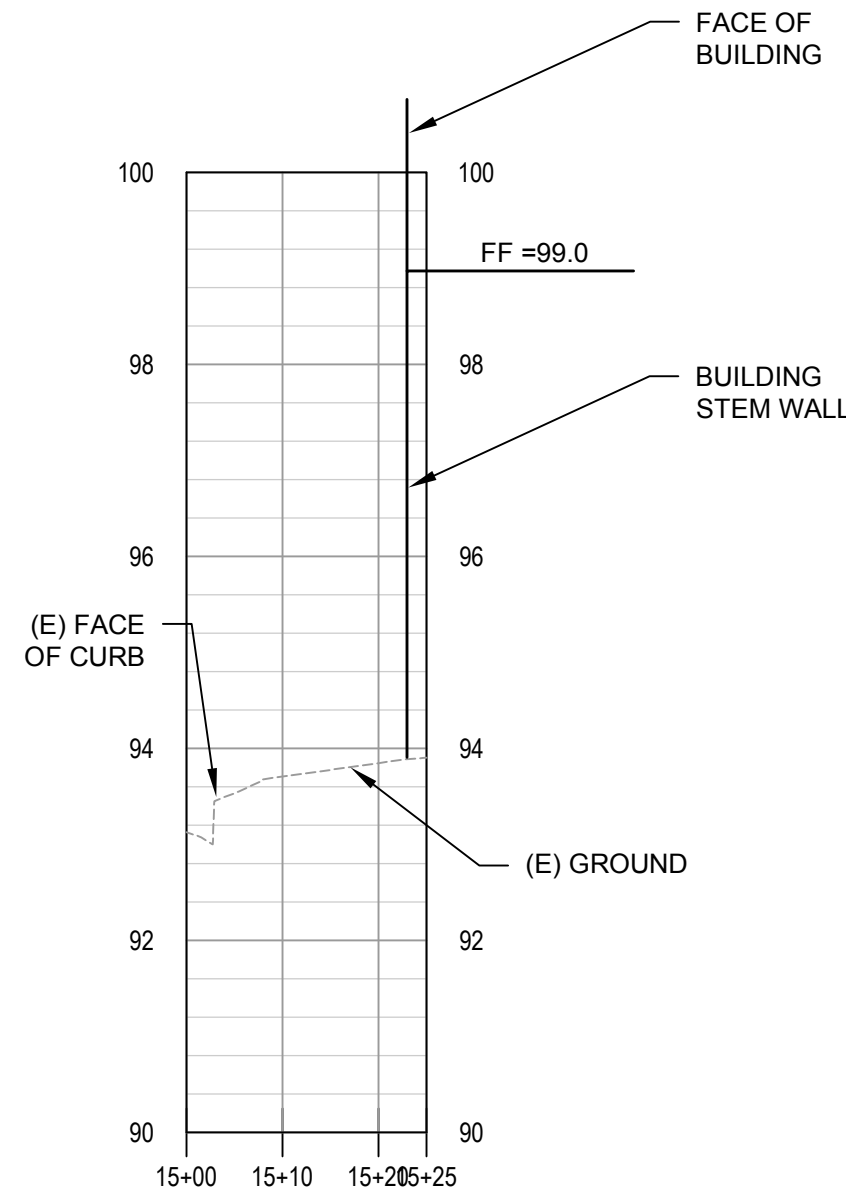
SECTION A
SCALE: HOR. 1" = 20' VERT. 1" = 2'



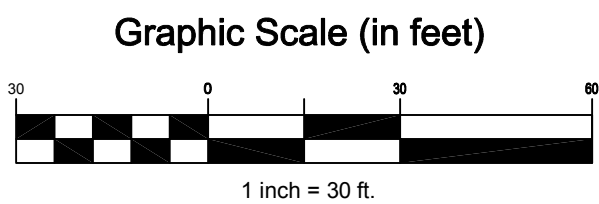
SECTION B
SCALE: HOR. 1" = 20' VERT. 1" = 2'



SECTION C
SCALE: HOR. 1" = 20' VERT. 1" = 2'



SECTION D
SCALE: HOR. 1" = 20' VERT. 1" = 2'



EXISTING CONDITION AREA SUMMARY:
PERVIOUS AREA: 4.5 AC
IMPERVIOUS AREA: 0.0 AC

PROPOSED CONDITION AREA SUMMARY:
PERVIOUS AREA: 0.7 AC
IMPERVIOUS AREA: 2.4 AC

MITIGATED AREA SUMMARY TABLE:				
BOUNDARY	BMP-ID	CONVENTIONAL SURFACES (SF)		LID / BMP'S (SF)
		IMPERVIOUS (ROOF & PAVT)	PERVIOUS (LANDSCAPE)	BIORETENTION
DMA A	BIO A	105,000	3,000	3,100

TOTOAL REQUIRED BIO RETENTION AREA PER BAHM REPORT ≈3,000 SF

LEGEND

→

OVERLAND FLOW DIRECTION

DRAINAGE MANAGEMENT AREA BOUNDARY

WILDFLOWER APARTMENTS

ANTIOCH, CA

LANDSCAPE DESIGN DEVELOPMENT PLANS



2520 CAMINO DIABLO
WALNUT CREEK, CA 94597

P. (925) 941-6490
EMAIL: tc@campandcamp.com

WILDFLOWER APARTMENTS
ANTIOCH, CA
APN 052-342-0107

PROJECT INFORMATION

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Los Angeles, CA
EMAIL: matt@cypressequity.com
PHONE: 424-317-3718

ARCHITECT: LCA Architects / Ben Johanson
EMAIL: bjohanson@lca_architects.com

CIVIL ENGINEER: CSWST2 / KIRK BOVITZ
EMAIL: kirkb@cswst2.com
PHONE: 415.884.6464

PROJECT PLAN



SHEET INDEX

- L-1.0 LANDSCAPE COVER SHEET
- L-2.0 LANDSCAPE SITE PLAN
- L-2.1 ENLARGED COURTYARD PLAN
- L-3.0 ENLARGED PLANTING PLAN
- L-3.1 ENLARGED PLANTING PLAN
- L-4.0 PLANTING LIST & IMAGES
- L-5.0 DETAILS

VICINITY MAP



GENERAL NOTES

- ANY ERRORS OR OMISSIONS ON THESE DRAWINGS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF CAMP & CAMP ASSOCIATES, INC.
- THE DRAWINGS SHOW ONLY REPRESENTATIVE AND TYPICAL DETAILS TO ASSIST THE CONTRACTOR. THEY DO NOT ILLUSTRATE EVERY CONDITION. ALL ATTACHMENTS, CONNECTIONS, FASTENINGS, ETC. ARE TO BE PROPERLY EXECUTED IN CONFORMANCE WITH BEST ACCEPTABLE PRACTICES AND THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING MATERIALS. CONTRACTOR SHALL INSPECT THE SITE AND BE FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO SUBMITTING HIS/HER BID.
- ALL WORK TO BE PERFORMED SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND ORDINANCES BY AN EXPERIENCED WORKMAN AND A LICENSED LANDSCAPE CONTRACTOR.

MATERIALS & FINISHES

HARDSCAPE

CONCRETE PAVING
& CONCRETE PADS

INTEGRAL COLOR (DAVIS)
COLOR: PEWTER #860
PEDESTRIAN (FRONT)
FINISH: SMOOTH FINISH
VEHICULAR (FRONT)
FINISH: BROOM FINISH W/ SAWCUT JOINTS

PAVERS

MAKE: BELGARD
MODEL: MELVIL PLANK

DECOMPOSED
GRANITE

MANUFACTURER: AMERICAN SOIL & STONE
PRODUCT: GOLD PATHWAY FINES
COLOR: GOLD
SIZE: 3 / 8" TO DUST
*VERIFY SELECTION W/ CLIENT

ALUMINUM HEADER

MAKE: PERMALOC OR EQUAL
MODEL: CLEANLINE
SIZE: 3/8" X 5.5"
COLOR: BLACK ANODIZED

SOFTSCAPE

SOD

MANUFACTURER:
DELTA BLUEGRASS
BOLERO PLUS

MULCH

MANUFACTURER:
AMERICAN SOIL & STONE
PRODUCT: FIR BARK
COLOR: BROWN
SIZE: 1 / 2"
*VERIFY SELECTION W/ CLIENT

SITE FURNISHINGS

BENCH

PRODUCT: MAGLIN
MODEL: 450 BACKED BENCH
MBE-0450-00019
MATERIAL: ASH WOOD & STEEL

TRASH RECEPTACLE

PRODUCT: MAGLIN
MODEL: 1500 SERIES
MRR-1500-00016
MATERIAL: STEEL

CHAIR

PRODUCT: MAGLIN
MODEL: 1100 SERIES - FORO
STANDARD CHAIR
MCH-1100-00002
FINISH: RESESDA GREEN
RAL 6011

TABLE

PRODUCT: MAGLIN
MODEL: 1800 SERIES - BATTERY
LARGE LOUNGE TABLE
MTB-1800-00003
FINISH: TITANIUM MATTE FINISH

ABBREVIATIONS

AD
AGG
BC
BS
B/W
CLR
DIA
FF
FG
GALV.
HT.
MAX
MIN
O.C.
PA
PL
R
T.B.D.
T.B.S.
TP
TS
TW
TYP.
V.I.F.

AREA DRAIN
AGGREGATE
BOTTOM OF CURB
BOTTOM OF STAIR
BOTH WAYS
CLEAR
DIAMETER
FINISH FLOOR
FINISH GRADE
GALVANIZED
HEIGHT
MAXIMUM
MINIMUM
ON CENTER
PLANTING AREA
PROPERTY LINE
RADIUS
TO BE DETERMINED
TO BE SELECTED
TOP OF PAVEMENT
TOP OF STAIR
TOP OF WALL
TYPICAL
VERIFY IN FIELD

DRAWING STATUS

- ☐ INFORMATION DWGS. (NOT FOR CONSTRUCTION)
- ☐ REVISION DWGS. (NOT FOR CONSTRUCTION)
- ☒ DESIGN DEVELOPMENT DWGS. (NOT FOR CONSTRUCTION)
- ☐ CHECK SET (NOT FOR CONSTRUCTION)
- ☐ PLAN CHECK DWGS. (NOT FOR CONSTRUCTION)
- ☐ BID SET DWGS. (NOT FOR CONSTRUCTION)
- ☐ CONSTRUCTION DOCUMENTS
- ☐ OTHER



LANDSCAPE
COVER



REVISIONS:

DATE: 05/30/2025

SCALE: AS NOTED

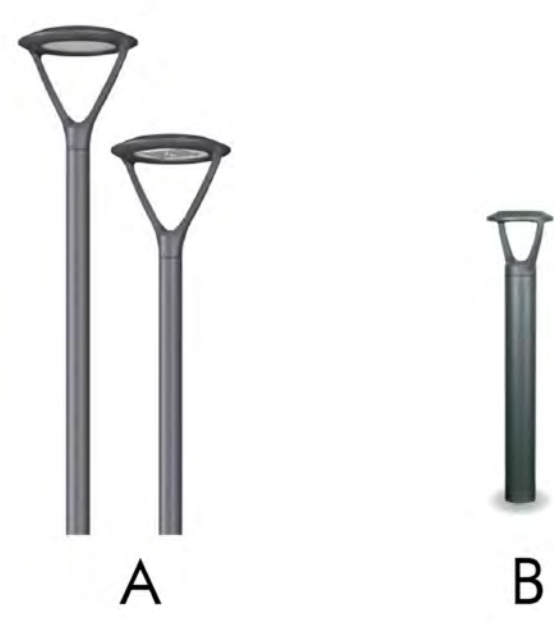
JOB: 25-010

SHEET

L-1.0



LIGHTING LEGEND				
DESCRIPTION	MODEL #	MANUFACTURER	QTY.	GRAPHIC
POST TOP LIGHT	PUREFORM LED POST TOP	GARDCO	(9)	A
BOLLARD	PUREFORM LED BOLLARD FBL	GARDCO	(41)	B



NOTE:
LIGHTING PHOTOMETRIC PLAN WILL BE PROVIDED FOR BUILDING PERMIT SUBMITAL.

DRAWING STATUS	
<input type="checkbox"/> INFORMATION DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> SCHEMATIC DWGS.	(NOT FOR CONSTRUCTION)
<input checked="" type="checkbox"/> DESIGN DEVELOPMENT DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> CHECK SET	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> PLAN CHECK DWGS.	
<input type="checkbox"/> BID SET DWGS.	
<input type="checkbox"/> CONSTRUCTION DOCUMENTS	
<input type="checkbox"/> OTHER	

WILDFLOWER APARTMENTS
ANTIOCH, CA
APN 052-342-0107

LANDSCAPE SITE PLAN



- REVISIONS:
- -
 -
 -
 -

DATE: 05/30/2025

SCALE: 1" = 30' - 0"

JOB: 25-010

SHEET

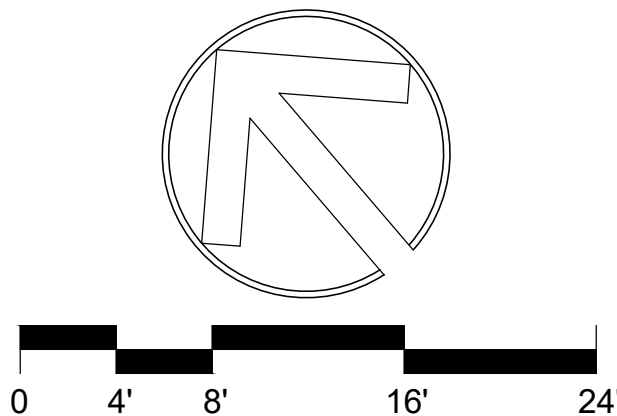


EMAIL: tc@campandcamp.com

REGISTERED LANDSCAPE ARCHITECT
R. TERRENCE CAMP
NO. 4494
REN. 09/30/26
STATE OF CALIFORNIA


SHEET

L-2.1

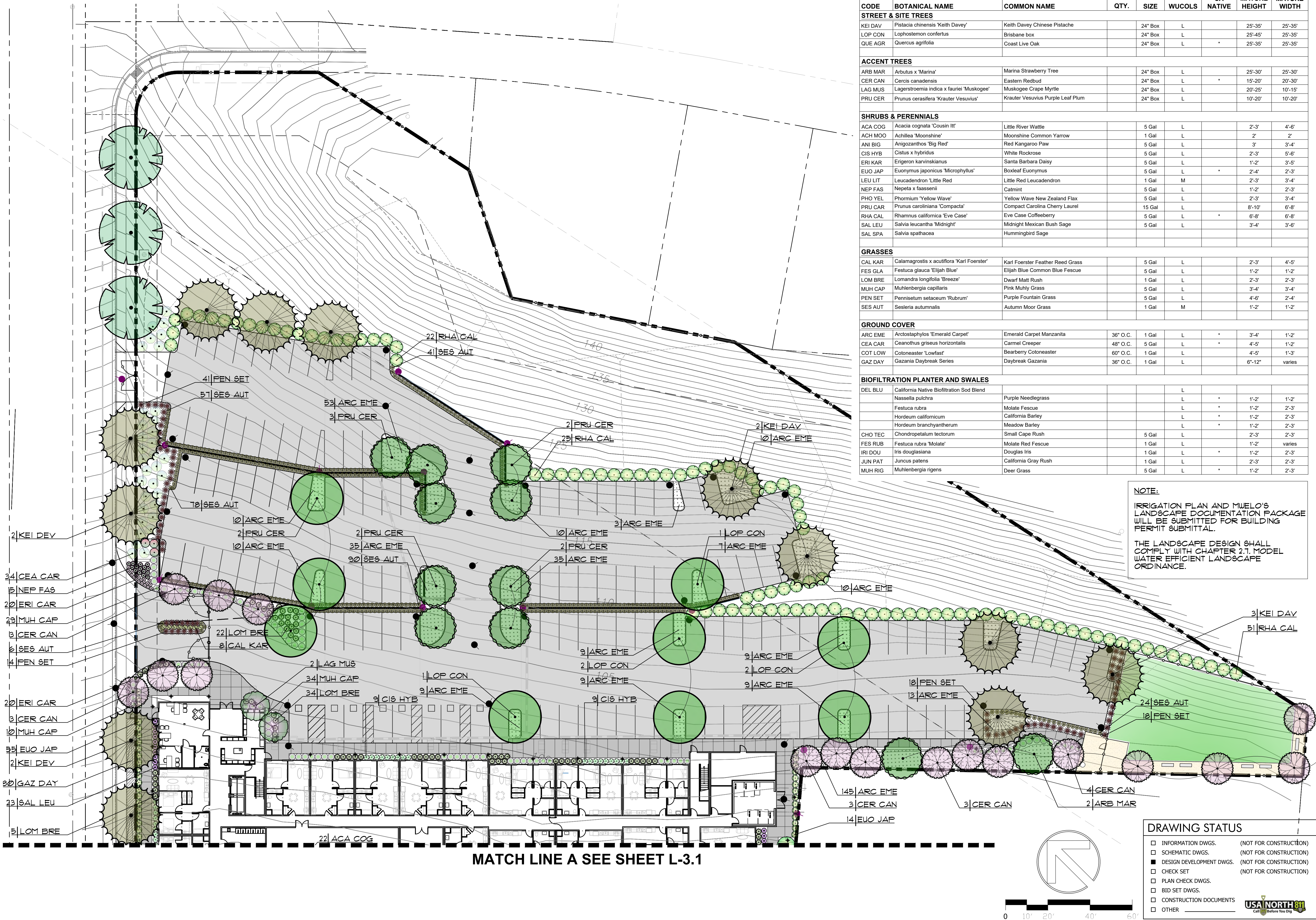


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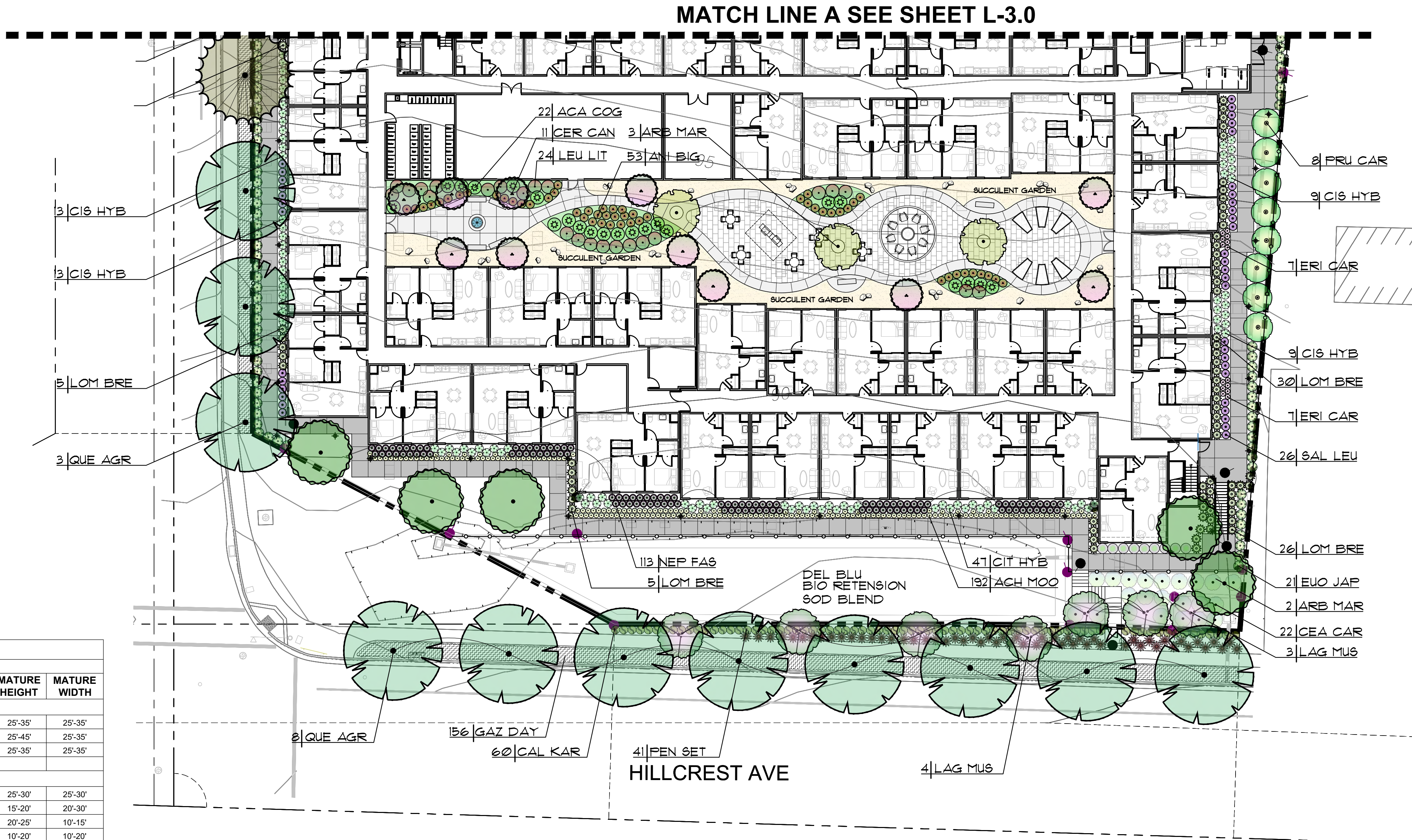
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<input type="checkbox"/> PLAN CHECK DWGS.	(NOT FOR CONSTRUCTION)
<input type="checkbox"/> BID SET DWGS.	
<input type="checkbox"/> CONSTRUCTION DOCUMENTS	
<input type="checkbox"/> OTHER _____	



USA NORTH 911
Call 911 Before You Dig



PLANT LIST									
NOTE: This Plant List is provided as a convenience to the Landscape Contractor. In the event of a discrepancy, the Planting Plan shall prevail.									
CODE	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	WUCOLS	CA NATIVE	MATURE HEIGHT	MATURE WIDTH	
STREET & SITE TREES									
KEI DAV	Pistacia chinensis 'Keith Davey'	Keith Davey Chinese Pistache		24" Box	L		25'-35'	25'-35'	
LOP CON	Lophostemon confertus	Brisbane box		24" Box	L		25'-45'	25'-35'	
QUE AGR	Quercus agrifolia	Coast Live Oak		24" Box	L	*	25'-35'	25'-35'	
ACCENT TREES									
ARB MAR	Arbutus x 'Marina'	Marina Strawberry Tree		24" Box	L		25'-30'	25'-30'	
CER CAN	Cercis canadensis	Eastern Redbud		24" Box	L	*	15'-20'	20'-30'	
LAG MUS	Lagerstroemia indica x fauriei 'Muskogee'	Muskogee Crape Myrtle		24" Box	L		20'-25'	10'-15'	
PRU CER	Prunus cerasifera 'Krauter Vesuvius'	Krauter Vesuvius Purple Leaf Plum		24" Box	L		10'-20'	10'-20'	
SHRUBS & PERENNIALS									
ACA COG	Acacia cognata 'Cousin Itt'	Little River Wattle		5 Gal	L		2'-3'	4'-6'	
ACH MOO	Achillea 'Moonshine'	Moonshine Common Yarrow		1 Gal	L		2'	2'	
ANI BIG	Anigozanthos 'Big Red'	Red Kangaroo Paw		5 Gal	L		3'	3'-4'	
CIS HYB	Cistus x hybridus	White Rockrose		5 Gal	L		2'-3'	5'-6'	
ERI KAR	Erigeron karvinskianus	Santa Barbara Daisy		5 Gal	L		1'-2'	3'-5'	
EUO JAP	Eunymus japonicus 'Microphyllus'	Boxleaf Euonymus		5 Gal	L	*	2'-4'	2'-3'	
LEU LIT	Leucadendron 'Little Red'	Little Red Leucadendron		1 Gal	M		2'-3'	3'-4'	
NEP FAS	Nepeta x faassenii	Catmint		5 Gal	L		1'-2'	2'-3'	
PHO YEL	Phormium 'Yellow Wave'	Yellow Wave New Zealand Flax		5 Gal	L		2'-3'	3'-4'	
PRU CAR	Prunus caroliniana 'Compacta'	Compact Carolina Cherry Laurel		15 Gal	L		8'-10'	6'-8'	
RHA CAL	Rhamnus californica 'Eve Case'	Eve Case Coffeeberry		5 Gal	L	*	6'-8'	6'-8'	
SAL LEU	Salvia leucantha 'Midnight'	Midnight Mexican Bush Sage		5 Gal	L		3'-4'	3'-6'	
SAL SPA	Salvia spathacea	Hummingbird Sage							
GRASSES									
CAL KAR	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass		5 Gal	L		2'-3'	4'-5'	
FES GLA	Festuca glauca 'Elijah Blue'	Elijah Blue Common Blue Fescue		5 Gal	L		1'-2'	1'-2'	
LOM BRE	Lomandra longifolia 'Breeze'	Dwarf Matt Rush		1 Gal	L		2'-3'	2'-3'	
MUH CAP	Muhlenbergia capillaris	Pink Muhly Grass		5 Gal	L		3'-4'	3'-4'	
PEN SET	Pennisetum setaceum 'Rubrum'	Purple Fountain Grass		5 Gal	L		4'-6'	2'-4'	
SES AUT	Sesleria autumnalis	Autumn Moor Grass		1 Gal	M		1'-2'	1'-2'	
GROUND COVER									
ARC EME	Arctostaphylos 'Emerald Carpet'	Emerald Carpet Manzanita	36" O.C.	1 Gal	L	*	3'-4'	1'-2'	
CEA CAR	Ceanothus griseus horizontalis	Carmel Creeper	48" O.C.	5 Gal	L	*	4'-5'	1'-2'	
COT LOW	Cotoneaster 'Lowfast'	Bearberry Cotoneaster	60" O.C.	1 Gal	L		4'-5'	1'-3'	
GAZ DAY	Gazania Daybreak Series	Daybreak Gazania	36" O.C.	1 Gal	L		6"-12"	varies	
BIOFILTRATION PLANTER AND SWALES									
DEL BLU	California Native Biofiltration Sod Blend				L				
	Nassella pulchra	Purple Needlegrass			L	*	1'-2'	1'-2'	
	Festuca rubra	Molate Fescue			L	*	1'-2'	2'-3'	
	Hordeum californicum	California Barley			L	*	1'-2'	2'-3'	
	Hordeum branchyantherum	Meadow Barley			L	*	1'-2'	2'-3'	
CHO TEC	Chondropetalum tectorum	Small Cape Rush		5 Gal	L		2'-3'	2'-3'	
FES RUB	Festuca rubra 'Molate'	Molate Red Fescue		1 Gal	L		1'-2'	varies	
IRI DOU	Iris douglasiana	Douglas Iris		1 Gal	L	*	1'-2'	2'-3'	
JUN PAT	Juncus patens	California Gray Rush		1 Gal	L		2'-3'	2'-3'	
MUH RIG	Muhlenbergia rigens	Deer Grass		5 Gal	L	*	1'-2'	2'-3'	



REVISIONS:

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DATE: 05/30/2025

SCALE: 1" = 20' - 0"

JOB: 25-010

SHEET

DRAWING STATUS

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| <input type="checkbox"/> BID SET DWGS. | |
| <input type="checkbox"/> CONSTRUCTION DOCUMENTS | |
| <input type="checkbox"/> OTHER _____ | |



TREES



Pistacia chinensis 'Keith Davey'
Keith Davey Chinese Pistache



Lophostemon confertus
Brisbane box



Quercus agrifolia
Coast Live Oak

STREET TREES



Arbutus x Marina'
Marina Strawberry Tree



Cercis canadensis
Eastern Redbud



Lagerstroemia indica x fauriei
'Muskogee'
Muskogee Crape Myrtle



Prunus cerasifera 'Krauter Vesuvi-
us'
Krauter Vesuvius Purple Leaf Plum

SHRUBS



ACACIA COGNATA 'COUSIN ITT'
ACACIA COUSIN ITT



Achillea 'Moonshine' Moonshine
Common Yarrow



Anigozanthos 'Big Red' Red
Kangaroo Paw



Cistus x hybridus
White Rockrose



Erigeron karvinskianus
Santa Barbara Daisy



Euonymus japonicus 'Microphyllus'
Boxleaf Euonymus



Leucadendron 'Little Red'
Little Red Leucadendron



Nepeta x faassenii Catmint

SHRUBS



Phormium 'Yellow Wave' Yellow
Wave New Zealand Flax



Prunus caroliniana 'Compacta'
Compact Carolina Cherry Laurel



Rhamnus californica 'Eve Case'
Eve Case Coffeeberry



Salvia leucantha 'Midnight' Mid-
night Mexican Bush Sage



Salvia spathacea
Hummingbird Sage

GRASS



Calamagrostis x acutiflora 'Karl
Foerster'
Karl Foerster Feather Reed Grass



Festuca glauca 'Elijah Blue'
Elijah Blue Common Blue Fescue



Lomandra longifolia 'Breeze'
Dwarf Matt Rush



Muhlenbergia capillaris
Pink Muhly Grass



Pennisetum setaceum 'Rubrum'
Purple Fountain Grass



Sesleria autumnalis Autumn
Moor Grass

GROUND COVER



'Arctostaphylos 'Emerald Carpet'
Emerald Carpet Manzanita



Ceanothus griseus horizontalis
Carmel Creeper



Cotoneaster 'Lowfast'
Bearberry Cotoneaster



Gazania Daybreak Series Day-
break Gazania

BIOFIL-TRATION



California Native Biofiltration Sod
Blend



Chondropetalum tectorum Small
Cape Rush



Festuca rubra 'Molate'
Molate Red Fescue



Iris douglasiana
Douglas Iris



Juncus patens
California Gray Rush



Muhlenbergia rigens
Deer Grass



REVISIONS:

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DATE: 05/30/2025

SCALE: NO SCALE

JOB: 25-010

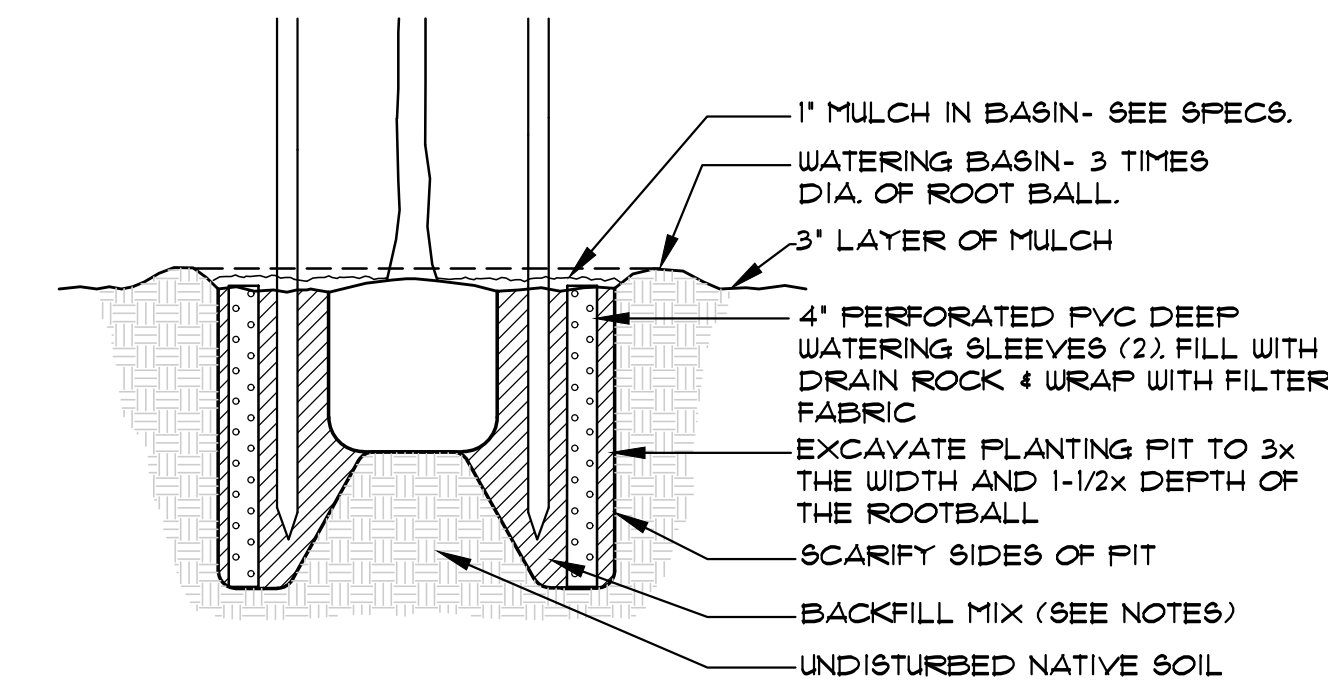
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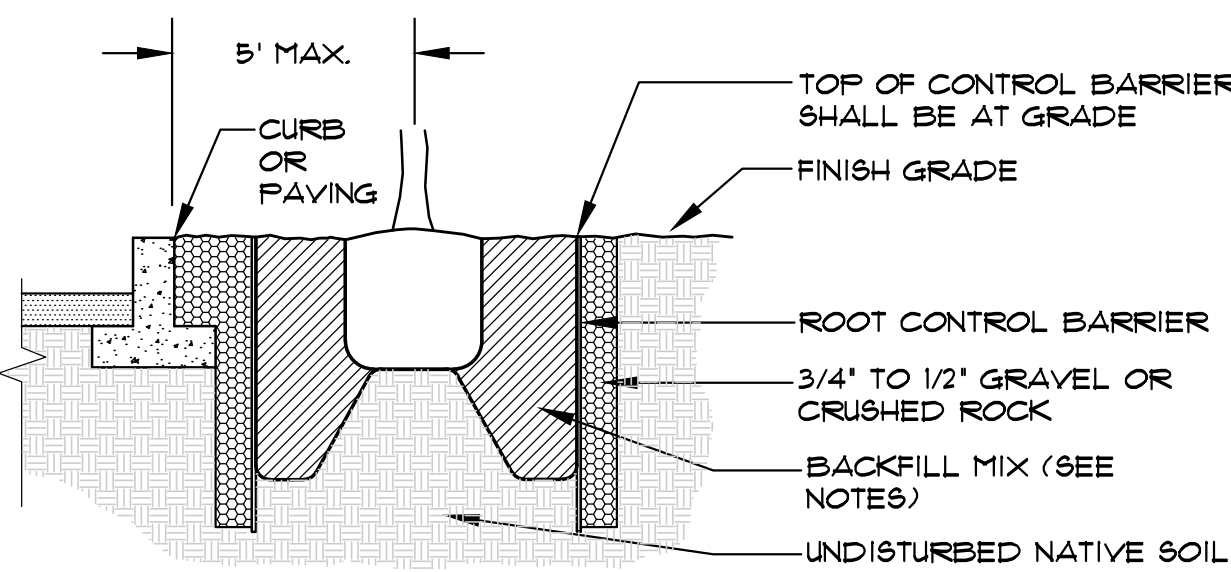
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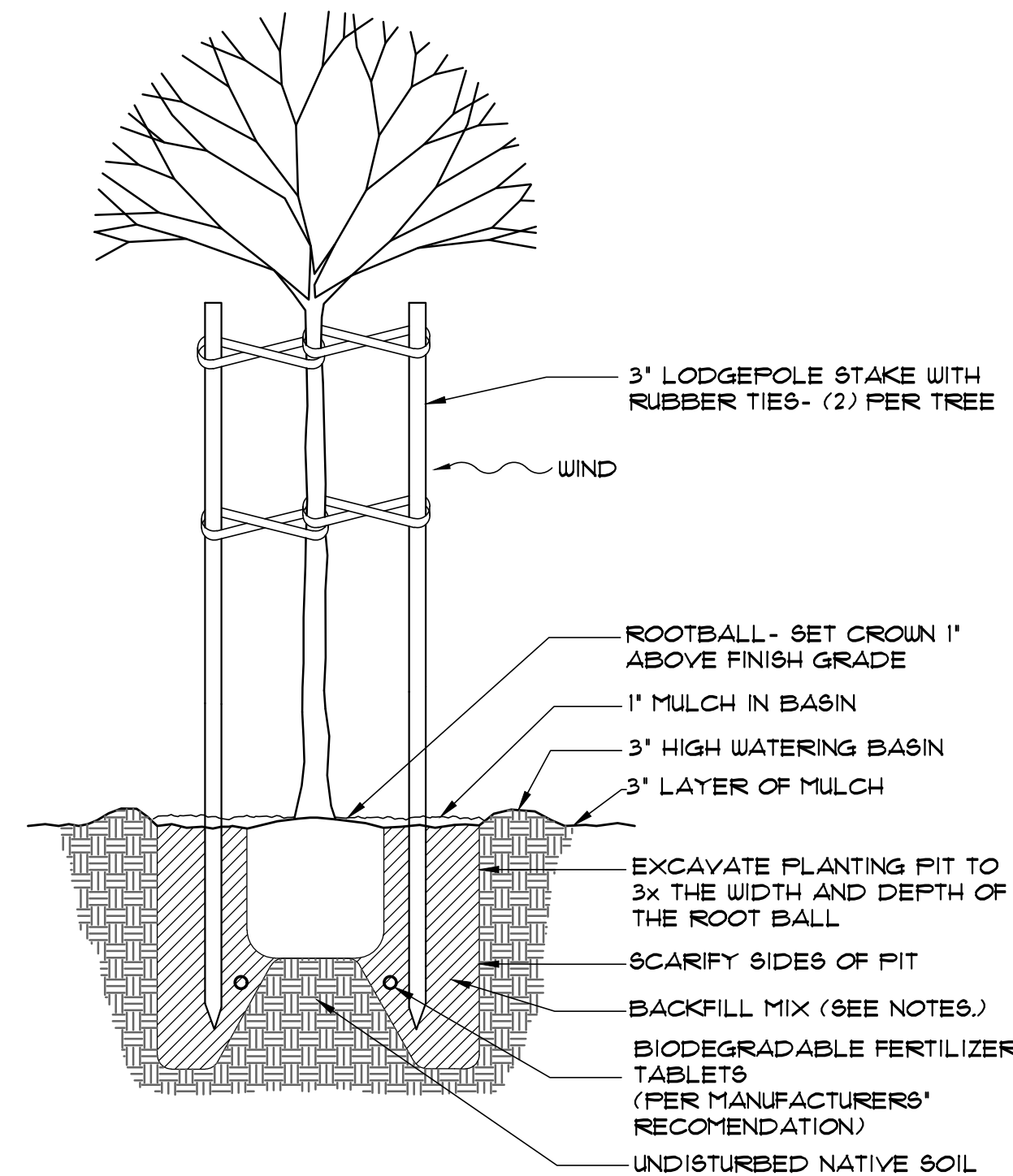




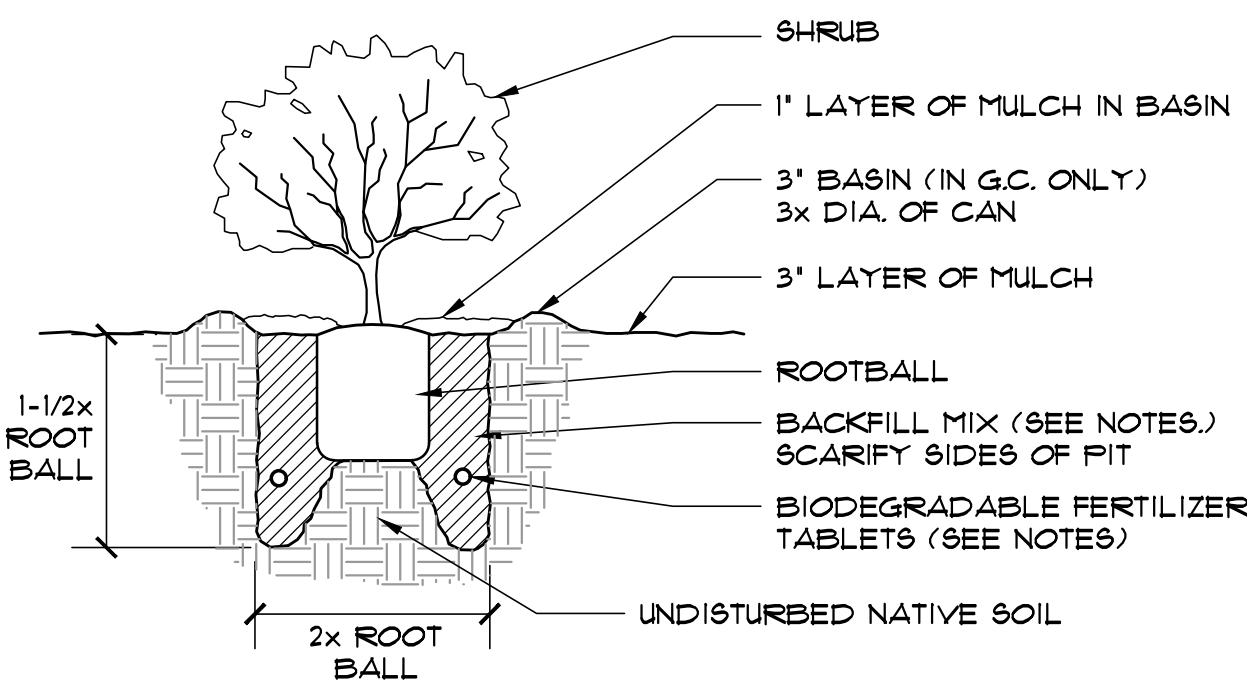
4 TREE DEEP ROOT WATERING
NOT TO SCALE



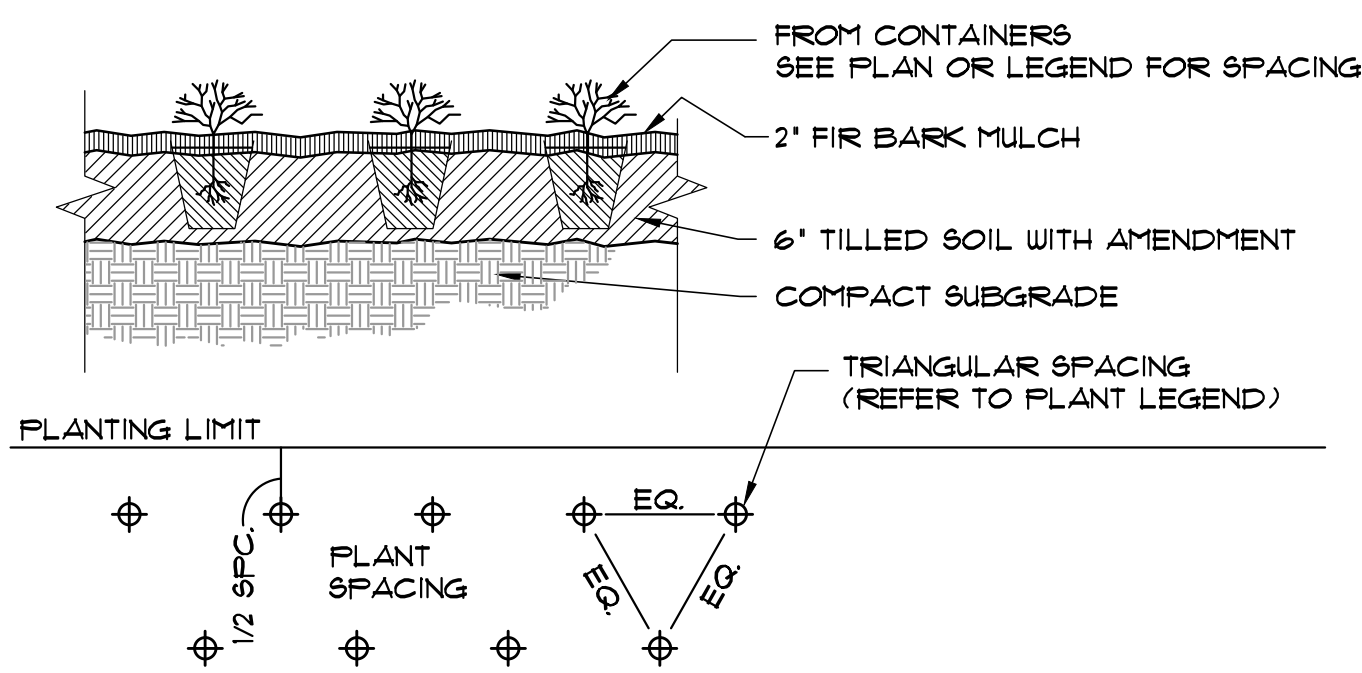
5 ROOT CONTROL BARRIER
N.T.S.



1 TREE STAKING
SCALE: 3/4"=1'



2 SHRUB PLANTING
SCALE 3/4"=1'



3 GROUNDCOVER PLANTING
SCALE 3/4"=1'

PLANTING NOTES

1. The scope of work includes furnishing all materials necessary for the installation of the planting, backfill, and irrigation work outlined in these drawings. All work shall be performed by skilled persons experienced with planting work and under supervision of a qualified planting foreman fluent in english and a licensed landscape contractor.

2. Plant material locations are diagrammatic and may be subject to change by the landscape architect before the maintenance period begins.

3. All trees to be staked as shown in the tree planting and staking detail. Allow 1'-3' sway in trunk. Remove nursery stakes.

4. Contractor shall ensure trees do not conflict with utilities.

5. If a discrepancy between these plans and actual on-site conditions occurs, the Landscape Contractor is to notify the Landscape Architect immediately, before proceeding with his work, for a decision.

6. All plants will be inspected for acceptable form and condition by Landscape Architect or owners representative. Unacceptable plants will be replaced by the Landscape Contractor at no additional cost to the owner. All plants shall be tagged with the name of the plant in accordance with the standards of practice recommended by the American Association of Nurserymen. In all cases, botanical names shall take precedence over common names.

7. All plants brought onto the site shall be watered and protected from excessive wind, sun, frost, physical damage and theft until planted.

8. Landscape Architect shall be notified at least two working days prior to estimated time of setting out plants so a mutually acceptable time can be scheduled for final plant placement. All plants shall be placed in approximate locations shown on plans by Landscape Contractor prior to arrival of Landscape Architect. Final adjustments of locations shall be made by Landscape Architect.

9. All plant substitutions shall be approved by the Landscape Architect.

10. The Landscape Architect reserves the right to make deletions, additions or substitutions in the field as necessary with adjustments in the contract as appropriate.

11. Prior to commencement of planting procedures, soil must be inspected for the following:

- Rough Grading: such that all stones over 1" diameter and/or any other spoils pockets of road base, asphalt, gravel and concrete have been removed and planting areas slope toward drains and away from structures.
- Amendment: amendments have been incorporated into the soil per the soils test.
- Weeds: all weeds have been removed from all planting areas and pernicious weeds have been treated with appropriate herbicides or approved equal that were applied by an individual with a qualified applicator certificate.

12. Contractor is responsible for supplying top soil as necessary for all planting areas to meet required finish grade.

13. It shall be the Landscape Contractor's responsibility to provide adequate drainage of all planting area, to insure healthy growth.

14. Mulch all planting areas with 3 inch deep layer of Fir or Redwood walk on bark mulch except where only groundcover occurs, depth shall be 2 inches.

15. Compost incorporated at a rate of 4 cubic yards per 1000 sf into the top 6 inches of soil or compost per horticultural soil report recommendations.

16. After planting has been approved by Landscape Architect, all plant tags are to be removed.

17. Dig planting pits 3 times the width of tree root ball and 2 times the width of shrub root ball. Backfill and Planting Fertilizer Tables see below:

Backfill:
70% native soil by volume
30% nitrilized organic wood fir shavings or equivalent
16 lbs. gro-power plus, per cubic yard mix
other amendments per soil analysis

Planting Fertilizer Tablets Gro-Life 1 gram :
3 Tablets per 1 Gallon can
8 Tablets per 5 Gallon can
15 Tablets per 15 Gallon can
16-24 Tablets per 24' Box

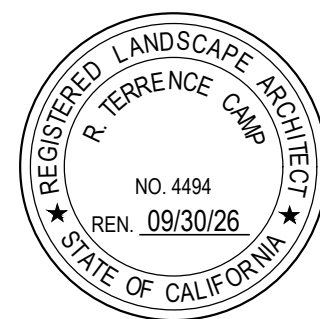
18. Maintenance Period: shall begin upon written notice of acceptance by owner's representative and after final inspection of all areas and shall continue for a minimum of 90 days until final acceptance unless otherwise noted and agreed upon.

DRAWING STATUS

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<input type="checkbox"/> CONSTRUCTION DOCUMENTS	
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DETAILS & NOTES



REVISIONS:

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DATE: 05/30/2025

SCALE: 1/8" = 1' - 0"

JOB: 25-010

SHEET