

ABBREVIATIONS

LINE TABLE	NO	BEARING	LENGTH	DESCRIPTION
	L1	N01°23'33"E	25.26'	AB
	L2	N88°48'21"E	32.32'	AC
	L3	N85°48'53"W	47.58'	BB
	L4	N59°40'54"W	51.57'	DD
	L5	N59°54'48"W	101.46'	EM
	L6	N66°20'16"W	25.52'	EVA
	L7	N75°13'58"W	77.73'	FC
	L8	N68°08'34"E	50.42'	FL
	L9	N63°24'02"E	13.30'	HD
	L10	N46°42'10"E	23.66'	HG
	L11	N48°15'31"E	23.66'	LS
	L12	N11°23'19"W	31.80'	OB

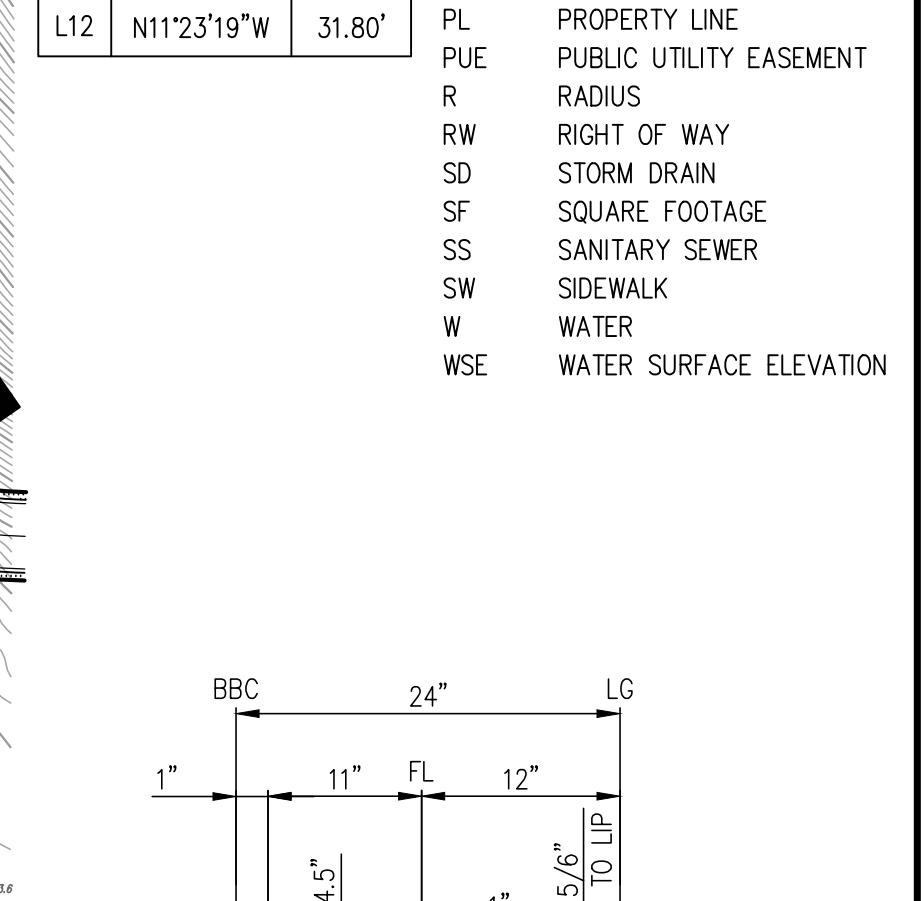
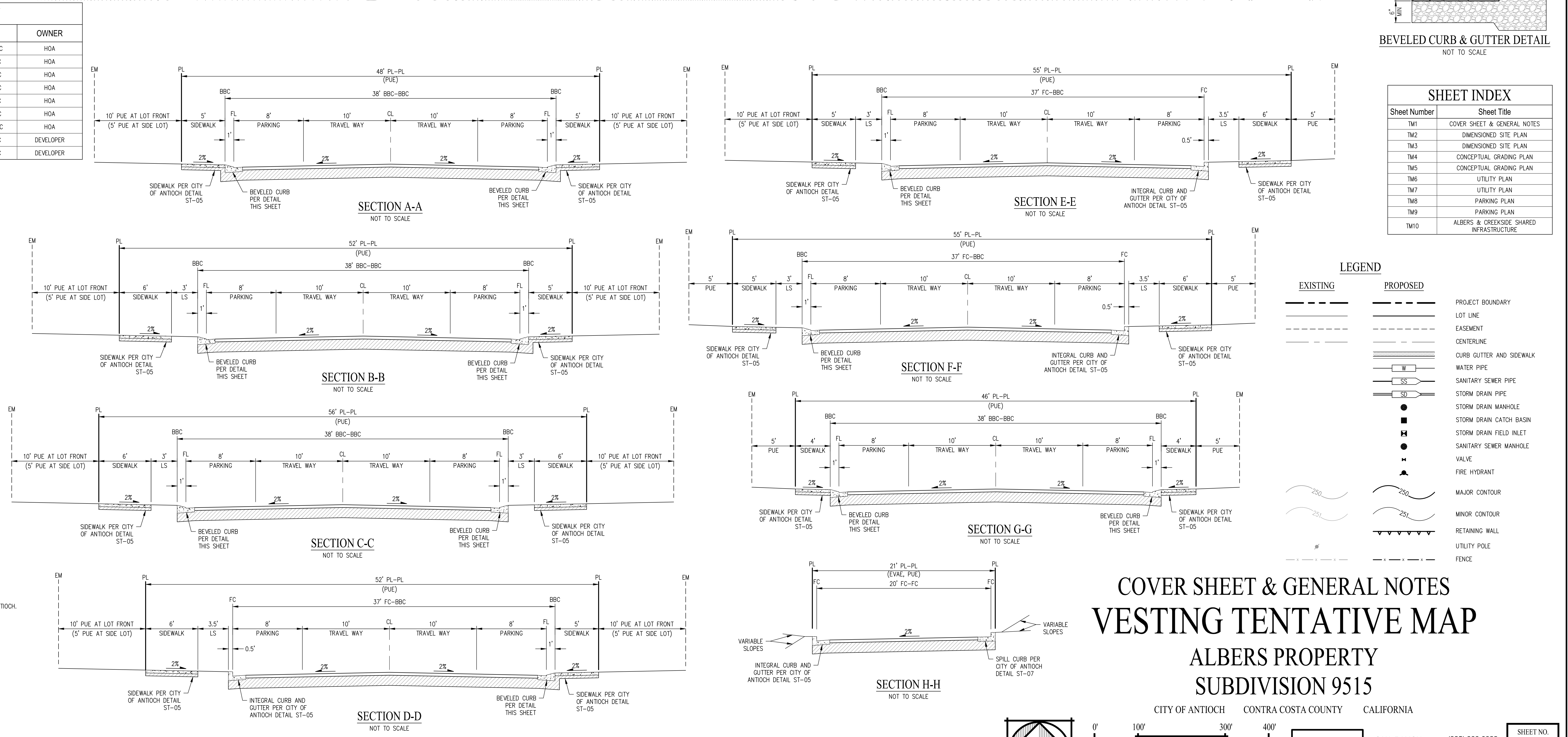
AGGREGATE BASE
ASPHALT CONCRETE
BACK OF BEVELED CURB
BOUNDARY
CENTERLINE
GRADING DAYLIGHT
DOWEL BAR UNIT
DRAINAGE
EASEMENT
EMERGENCY VEHICLE ACCESS
EMERGENCY VEHICLE ACCESS EASEMENT
FACE OF CURB
FLOW LINE
HOMEOWNERS ASSOCIATION
LIP OF GUTTER
LANDSCAPE
LANDSCAPE & MAINTENANCE EASEMENT
OVERBUILD
PROPERTY LINE
PUBLIC UTILITY EASEMENT
RADIUS
RD
SD
SQUARE FOOTAGE
SANITARY SEWER
SIDEWALK
WATER
WATER SURFACE ELEVATION

GENERAL NOTES:

- OWNER: MONTE ALBERS AND LUCIA ALBERS TRUST & ELIZABETH ANN IANNACCONE LIVING TRUST (925) 779-0397 LUCIA ALBERS
- APPLICANT/DEVELOPER: HILLSIDE GROUP LLC (925) 779-0397 LUCIA ALBERS
- CIVIL ENGINEER: CARLSON, BARRETT & GIBSON, INC. 2633 CAMINO RAMON, SUITE 350 SAN RAMON, CA 94583 (925) 866-0322 JASON D. VOGAN, RCE 592299
- SOILS ENGINEER: ENGE, INC. 2010 GYRON CANYON PLACE, SUITE 250 SAN RAMON, CA 94583 (925) 866-9000 ZAC CRAWFORD
- TOPOGRAPHIC SOURCE: GEMAPS INC. 3362 WATHER FIELD ROAD RANCHO CORDOVA, CA 95670 (916) 361-9133
- CONTOUR INTERVAL: 1 - FOOT BASED ON NAVD88 (EXISTING & PROPOSED)
- BENCHMARK: CONTRA COSTA COUNTY BENCHMARK NO. 3583, BEING A BRASS DISK SET IN MONUMENT WELL APPROXIMATELY ONE MILE SOUTH ALONG HEDORN RANCH ROAD (FORMERLY SAND CREEK ROAD) FROM ITS INTERSECTION WITH LOOP STREET, ON THE SOUTH SIDE OF THE ENTRANCE TO THE FORMER SHELL OIL PUMPING PLANT. HAVING A COUNTY OF CONTRA COSTA PUBLISHED ELEVATION OF 152.825 FEET (NGVD29) (TO CONVERT TO NAVD88, ADD 2.98 FEET)
- FLOOD ZONE: ZONE A & ZONE X REFER TO FLOOD INSURANCE RATE MAP PANEL 0601300335F (JUNE 16, 2009)
- SITE ADDRESS: DEER VALLEY ROAD ANTIPOCH, CA 94513
- ASSESSORS PARCEL NO: 057-042-006 AND 057-050-021
- USE: EXISTING: AGRICULTURE
PROPOSED: MARKET RATE/SENIOR HOUSING AND ASSISTED LIVING
- GENERAL PLAN: EXISTING: SAND CREEK FOCUS AREA WITH SUB-DESIGNATIONS OF "HILLSIDE, ESTATE AND EXECUTIVE RESIDENTIAL/OPEN SPACE" AND "COMMERCIAL/OPEN SPACE"
PROPOSED: MEDIUM LOW DENSITY/OPEN SPACE AND COMMERCIAL/OPEN SPACE
- ZONING: EXISTING: STUDY DISTRICT
PROPOSED: HILLSIDE PLANNED DEVELOPMENT (HPD)
- EXISTING LOTS: 2 LOTS
PROPOSED LOTS: TOTAL NUMBER OF PROPOSED LOTS SHALL BE NO MORE THAN 294.
PROPOSED PARCELS: 27 PARCELS.
- MINIMUM LOT SIZE: 45'x80' (195 LOTS AT 3,600 SF) & 50'x90' (99 LOTS AT 4,500 SF)
- SITE AREA: 96.54 AC
- LAND AREA SUMMARY: RESIDENTIAL LOT AREA: 31.24 ACRES
PRIVATE STREETS/EA: 13.24 ACRES
FUTURE ASSISTED LIVING: 3.02 ACRES
PARKS/OPEN SPACE/RECREATIONAL/WATER QUALITY: 49.14 ACRES
- SLOPE ANALYSIS: AREA LESS THAN 25% = 79.91 ACRES
AREA GREATER THAN 25% = 16.63 ACRES
- GROSS RESIDENTIAL DEVELOPABLE ACRES: 96.54 ACRES
GROSS ACRES: 16.63 ACRES
ACRES STEEPER THAN 25%: 3.02 ACRES
FUTURE ASSISTED LIVING ACRES: 76.92 ACRES
- RESIDENTIAL DENSITY: 294 DWELLING UNITS/76.9 ACRES = 3.8 DWELLING UNITS/AC
- EXISTING CONDITIONS: ALL EXISTING TREES, FENCING, UTILITIES AND STRUCTURES WITHIN THE DEVELOPED AREA ARE TO BE REMOVED UNLESS OTHERWISE NOTED.
- STREETS: ALL STREETS WITHIN THE DEVELOPMENT SHALL BE PRIVATE AND WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. ALL STREET RIGHT-OF-WAYS SHALL HAVE UTILITY EASEMENT DEDICATED TO THE CITY OF ANTIPOCH.
- STREET LIGHTS: ALL STREET LIGHTS WITHIN THE DEVELOPMENT WILL BE PRIVATE AND PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- PUBLIC UTILITIES: PROPOSED UTILITIES WILL BE PUBLIC AND PUBLICLY OWNED AND MAINTAINED BY THE CITY.
- UTILITY PROVIDER: SEWER: CITY OF ANTIPOCH
WATER: CITY OF ANTIPOCH
STORM DRAIN: CITY OF ANTIPOCH
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
TELEPHONE: AT&T
CABLE TV: COMCAST
- LANDSCAPE: ALL LANDSCAPE WITHIN THE PROJECT BOUNDARY SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- PROPOSED GRADING AS SHOWN IS PRELIMINARY. FINAL GRADING IS SUBJECT TO FINAL DESIGN.
- ALL GRADING WILL BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND CONDITIONS OF THE GEOTECHNICAL ENGINEER AND REPORT REGARDING THIS PROJECT.
- MAXIMUM CUT OR FILL SLOPE IS 2:1.
- BOUNDARY IS PER FIELD SURVEY.
- MULTIPLE FINAL MAPS MAY BE FILED ON THE LANDS SHOWN ON THIS MAP. A LARGE LOT FINAL MAP MAY BE FILED TO CREATE SELLABLE PARCELS.

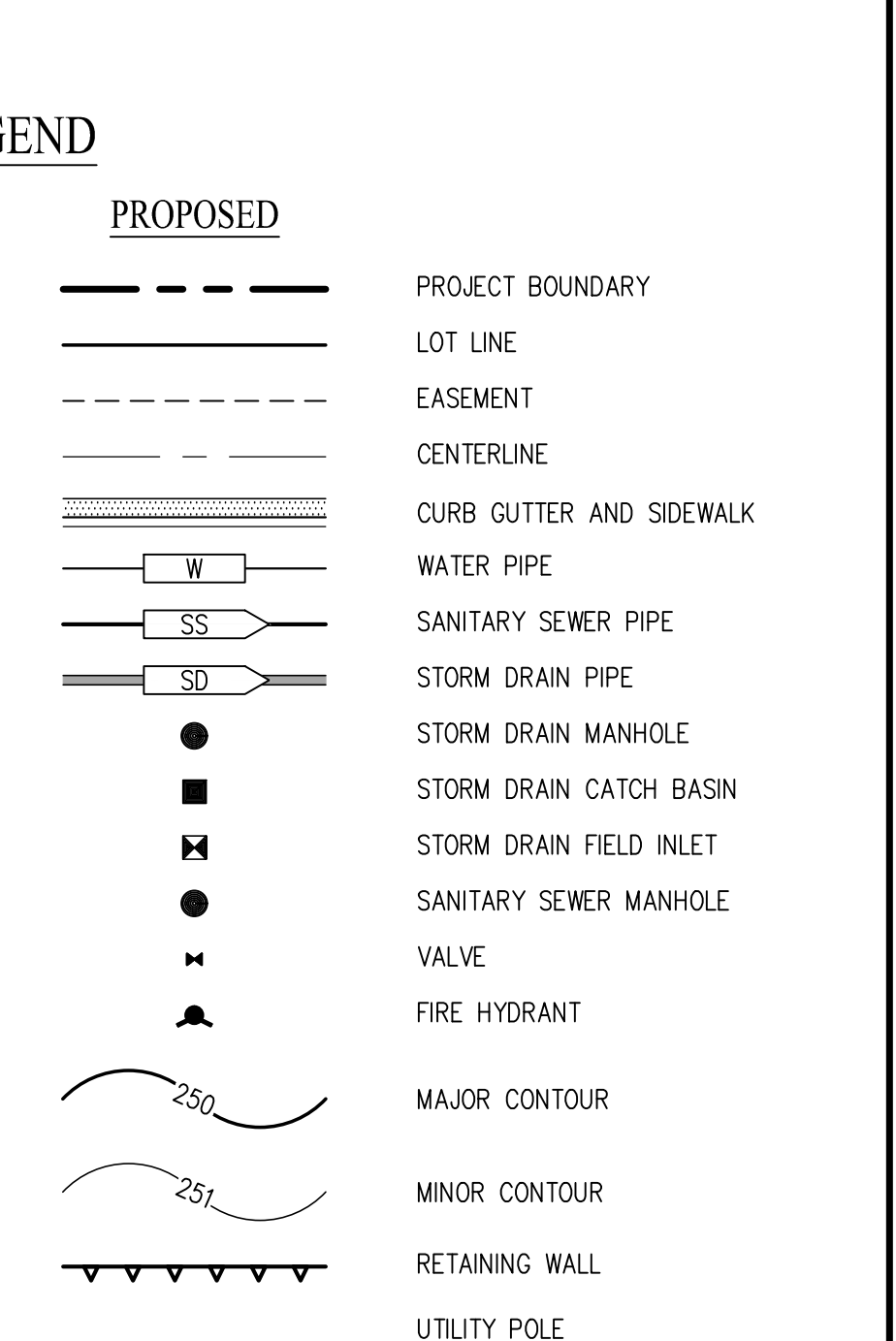
PARCEL SUMMARY

PARCEL	LAND USE	AREA	OWNER
A-S	PRIVATE STREETS/EVA	13.24 AC	HOA
T	PARK	1.54 AC	HOA
U	WATER QUALITY	3.34 AC	HOA
V	OPEN SPACE	3.94 AC	HOA
W	OPEN SPACE	7.14 AC	HOA
X	OPEN SPACE/WATER QUALITY	3.94 AC	HOA
Y	OPEN SPACE	29.44 AC	HOA
Z1	ASSISTED LIVING	1.74 AC	DEVELOPER
Z2	ASSISTED LIVING	1.34 AC	DEVELOPER



SHEET INDEX

Sheet Number	Sheet Title
TM1	COVER SHEET & GENERAL NOTES
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TM3	DIMENSIONED SITE PLAN
TM4	CONCEPTUAL GRADING PLAN
TM5	CONCEPTUAL GRADING PLAN
TM6	UTILITY PLAN
TM7	UTILITY PLAN
TM8	PARKING PLAN
TM9	PARKING PLAN
TM10	ALBERS & CREEKSIDE SHARED INFRASTRUCTURE



**COVER SHEET & GENERAL NOTES
VESTING TENTATIVE MAP
ALBERS PROPERTY
SUBDIVISION 9515**

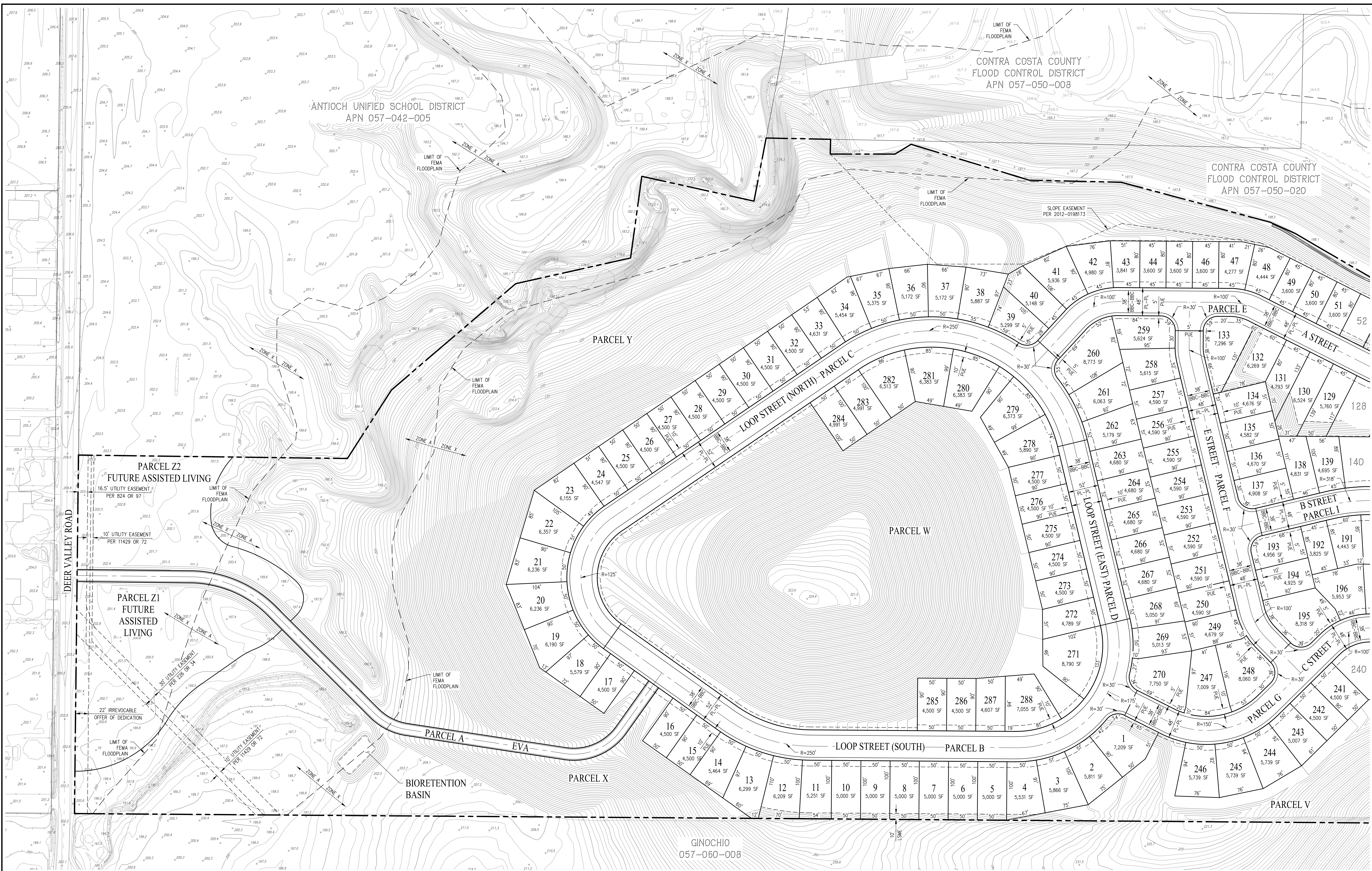
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SHEET NO. **TM1**
OF 10 SHEETS



SEE SHEET TMS

DIMENSIONED SITE PLAN
VESTING TENTATIVE MAP
 ALBERS PROPERTY
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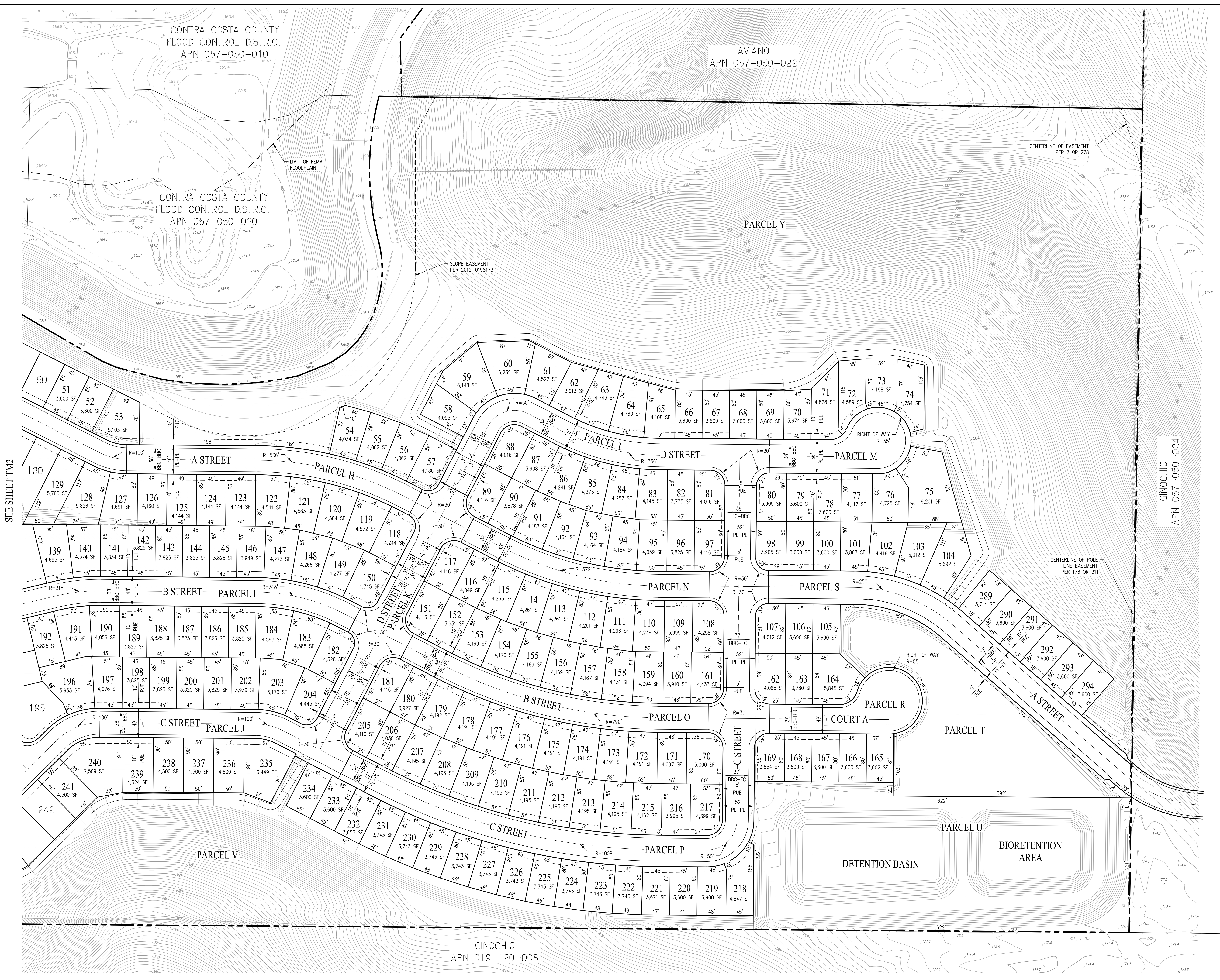
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 OF 10 SHEETS

01319-1319-027-025-TM2.DWG



DIMENSIONED SITE PLAN
VESTING TENTATIVE MAP
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 SUBDIVISION 9515

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SCALE: 1" = 60'

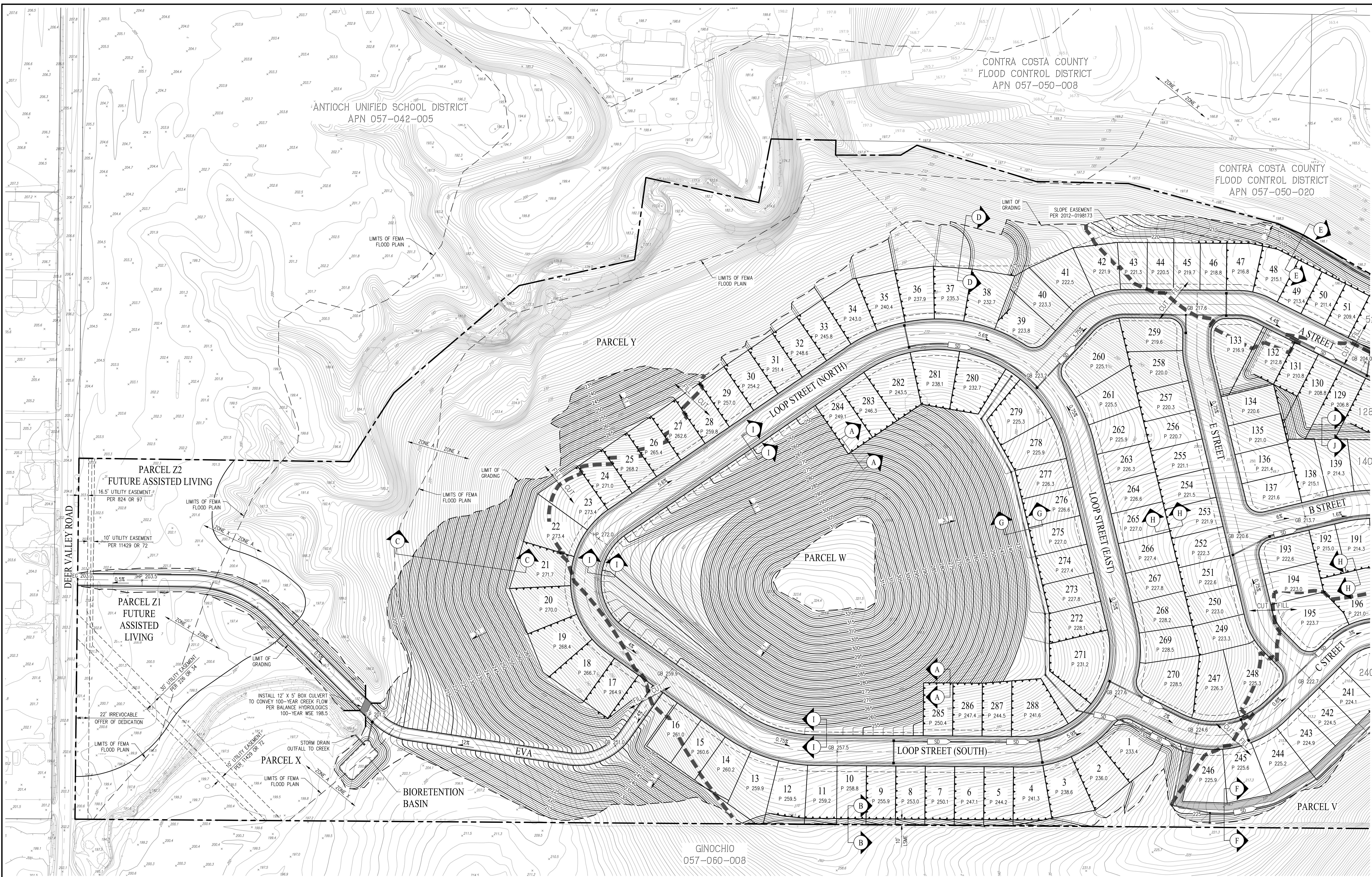
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SHEET NO.
TM3
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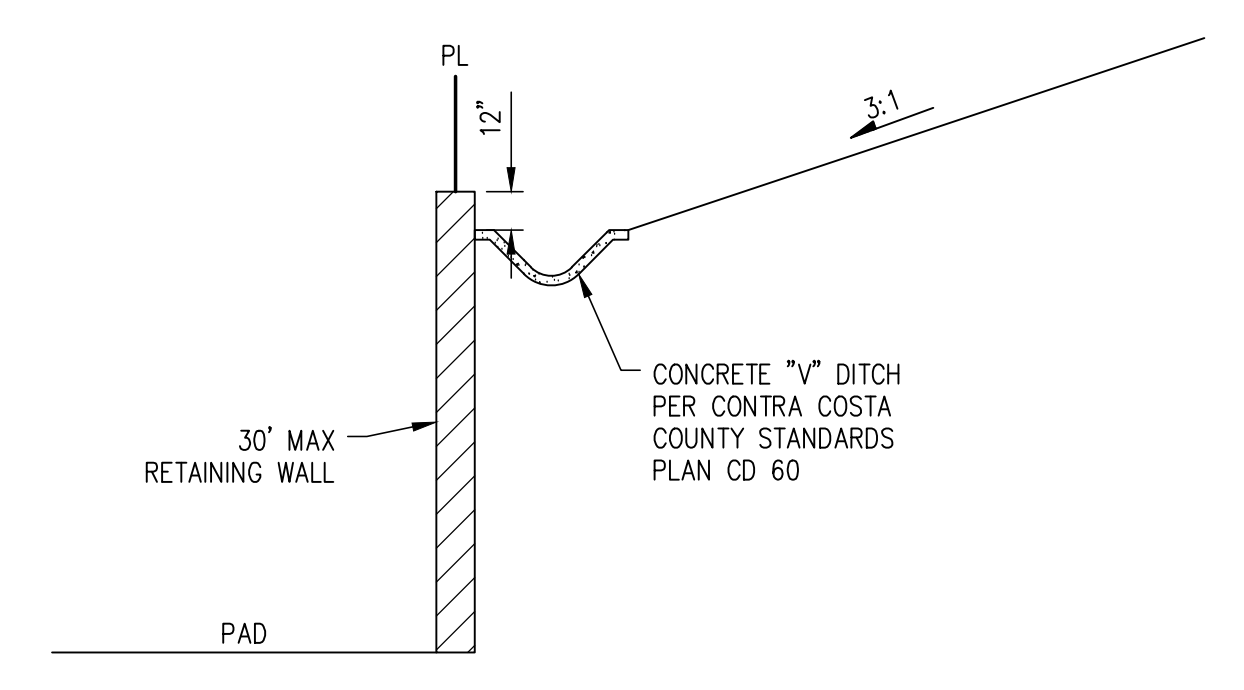
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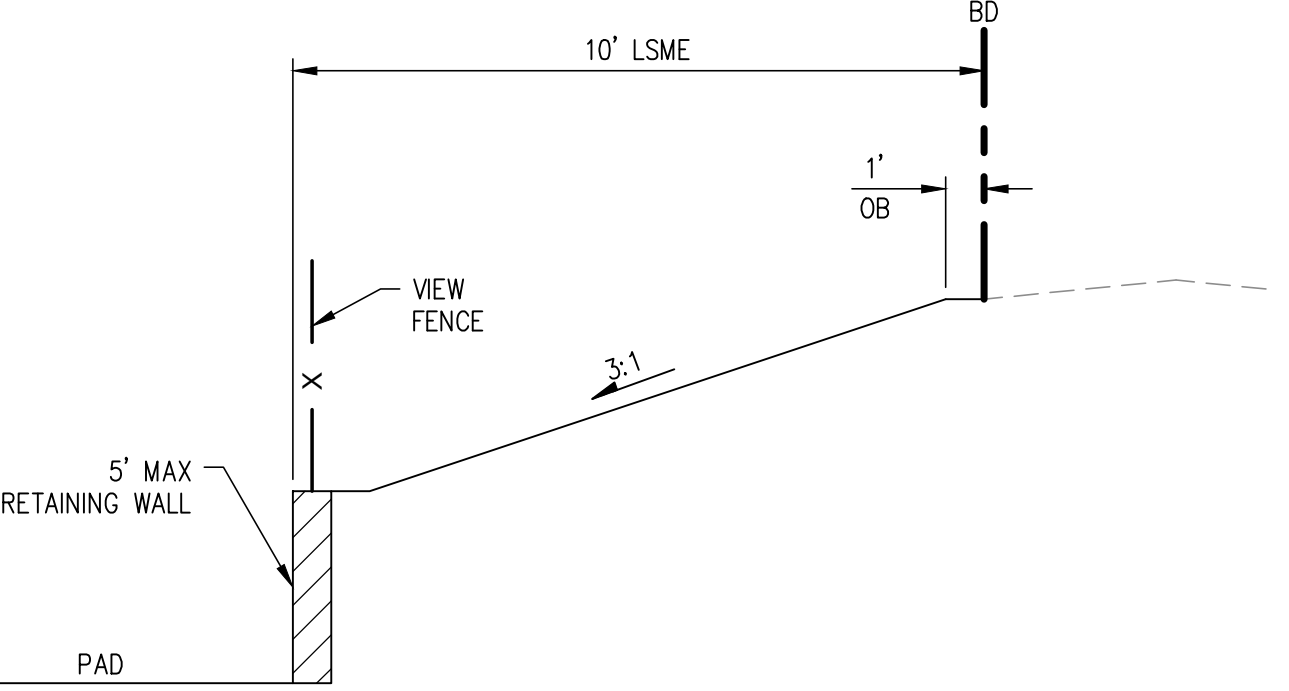
EARTHWORK SUMMARY		
DESCRIPTION	CUT (CY)	FILL (CY)
ROUGH GRADING	952,100	644,000
APPROXIMATE EXPORT	---	308,100
TOTAL	952,100	952,100
		NET: 0 CY

- NOTES:
- THE ABOVE ROUGH GRADING EARTHWORK VOLUMES ARE PRELIMINARY AND SUBJECT TO CHANGE.
 - THE ABOVE EARTHWORK VOLUMES ARE RAW VOLUMES FOR ROUGH GRADING ONLY AND DO NOT INCLUDE ANY REMEDIAL GRADING THAT MAY BE REQUIRED BY THE GEOTECHNICAL ENGINEER OR ANY EXPANSION OR CONTRACTION OF NATIVE SOIL.
 - THE EARTHWORK SUMMARY ABOVE DOES NOT INCLUDE RETAINING WALL SPOLS, BOREPITMENT UNDERLUT SPOLS, UTILITY SPOLS, PAD SPOLS GENERATED FROM BUILDING PLUMBING AND FOOTING INSTALLATION OR SPOLS GENERATED FROM THE INSTALLATION OF UNDERGROUND UTILITIES OR LANDSCAPE FEATURES.
 - THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SAID EARTHWORK QUANTITIES PRIOR TO THE START OF THE GRADING OPERATION.

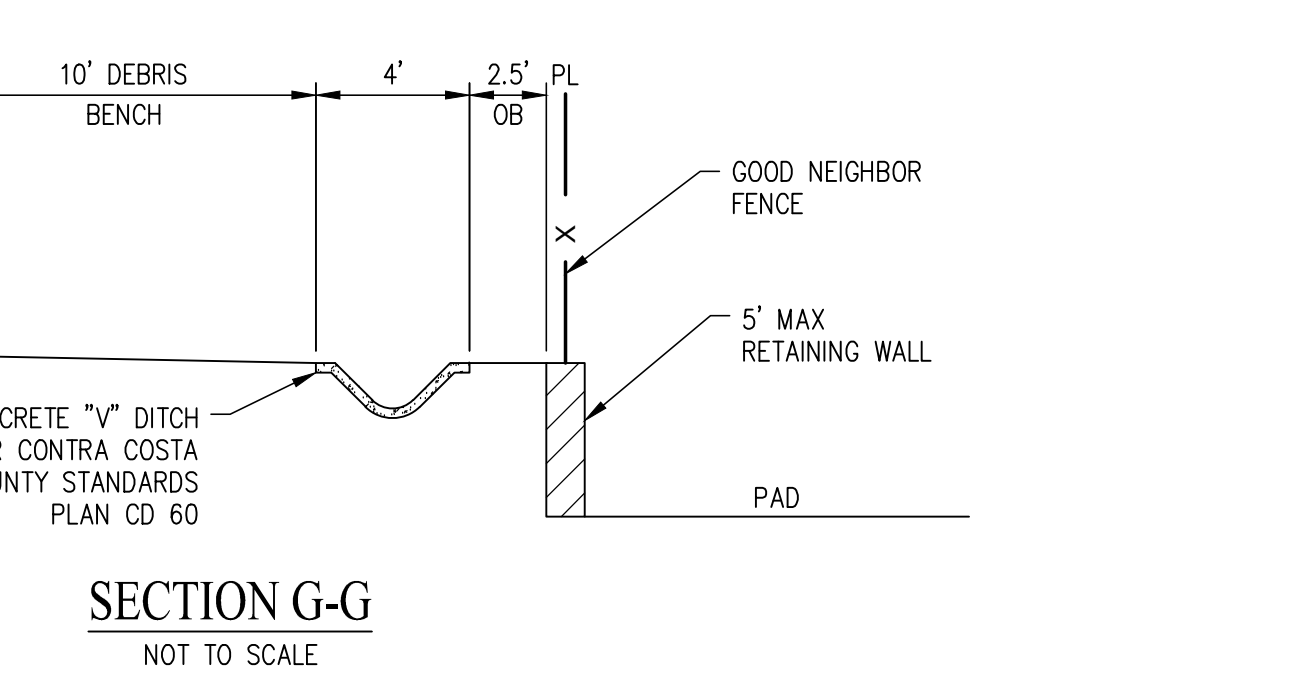
SEE SHEET TMS



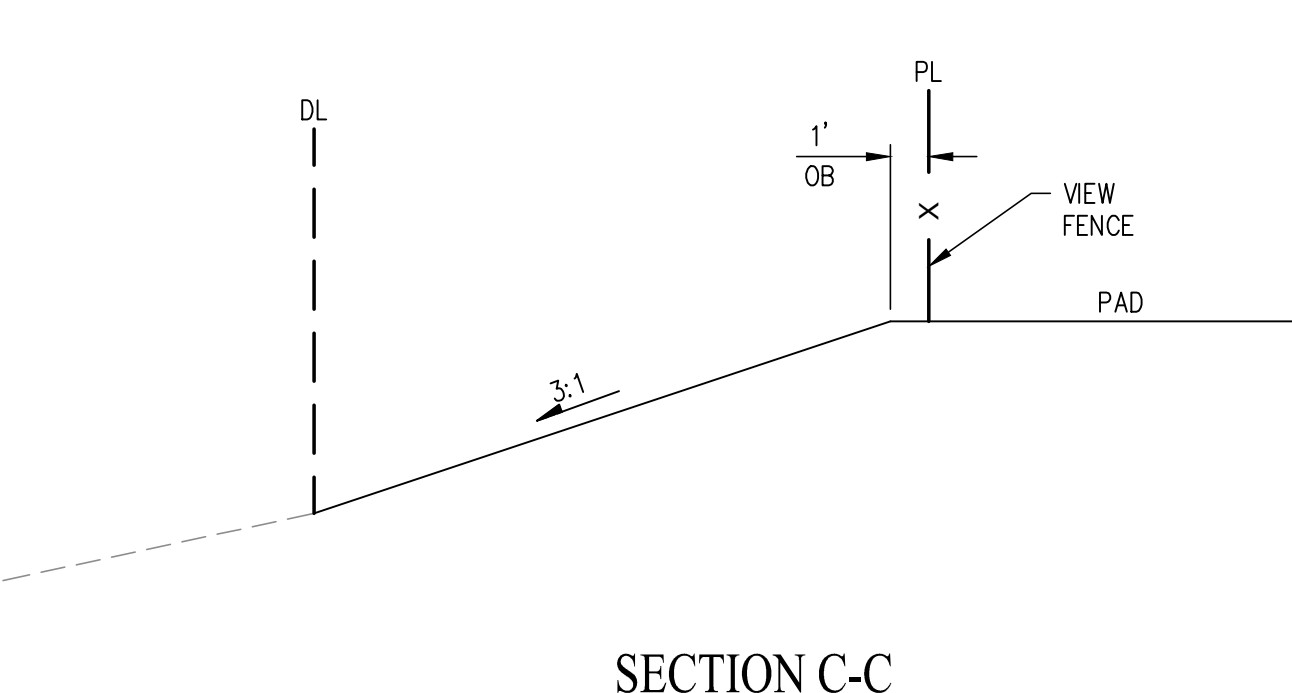
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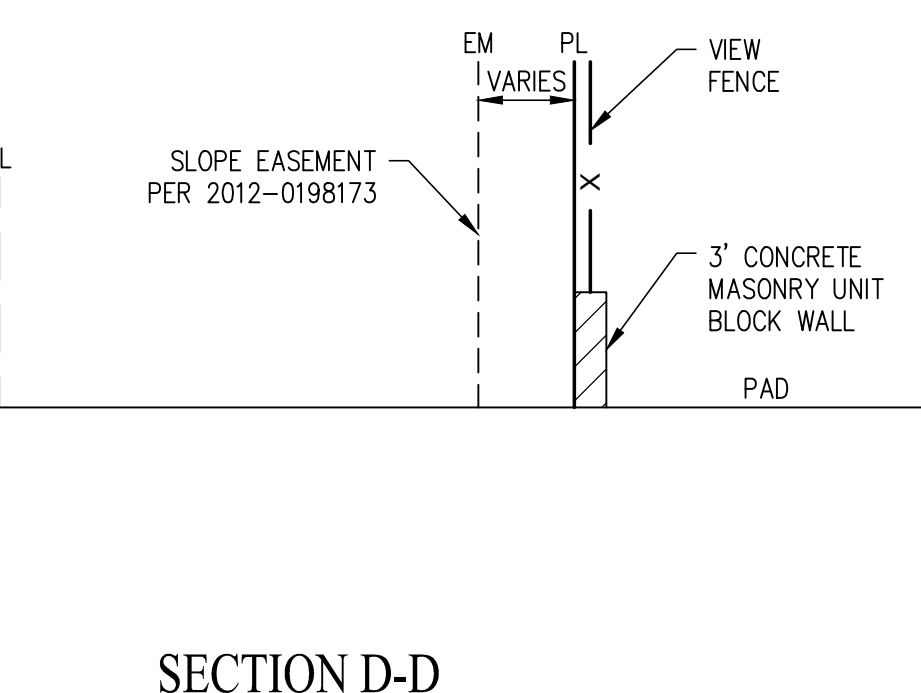
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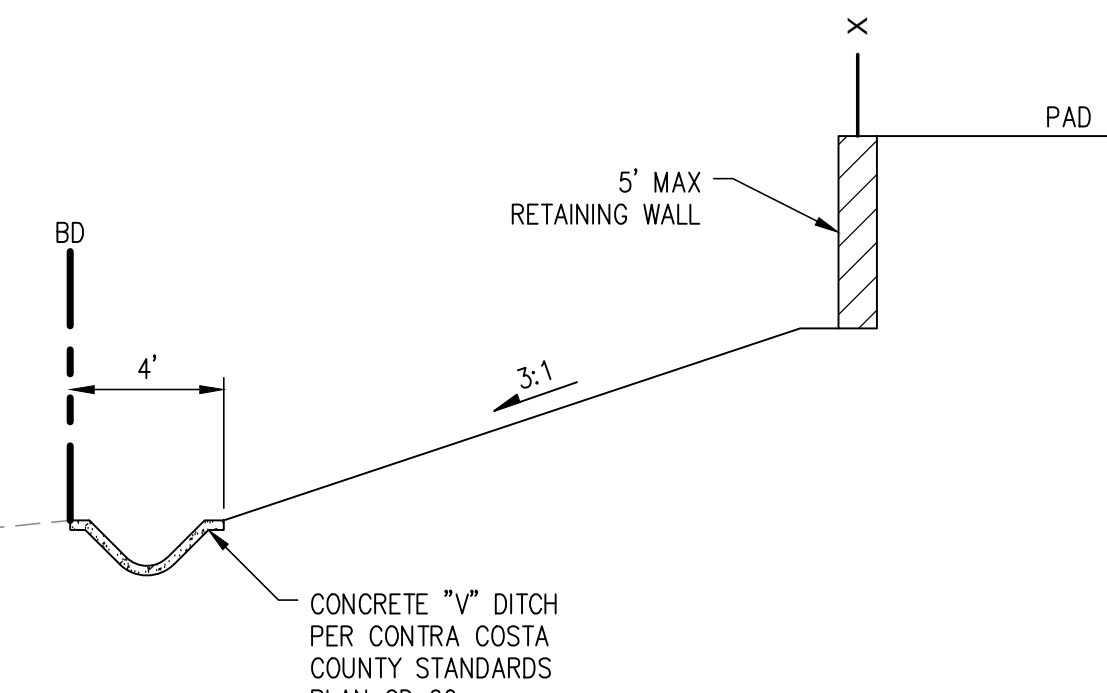
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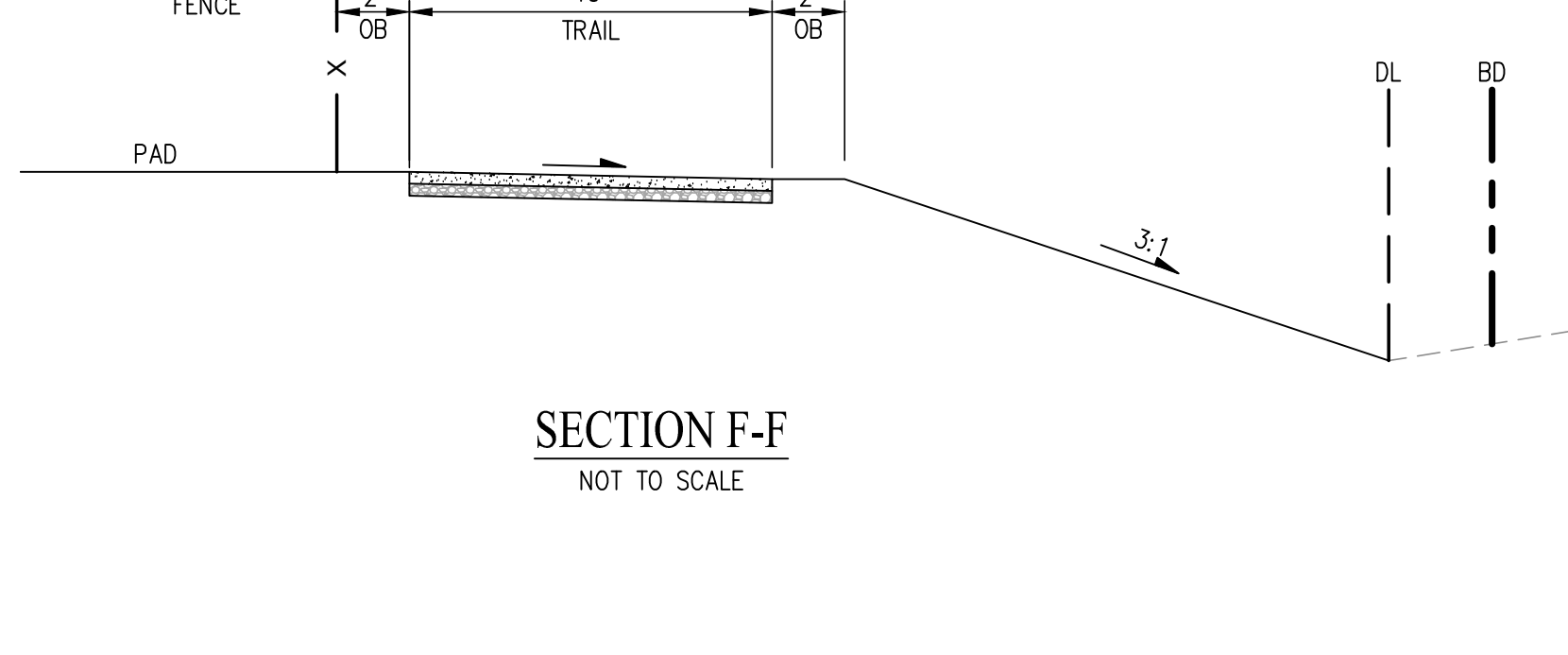
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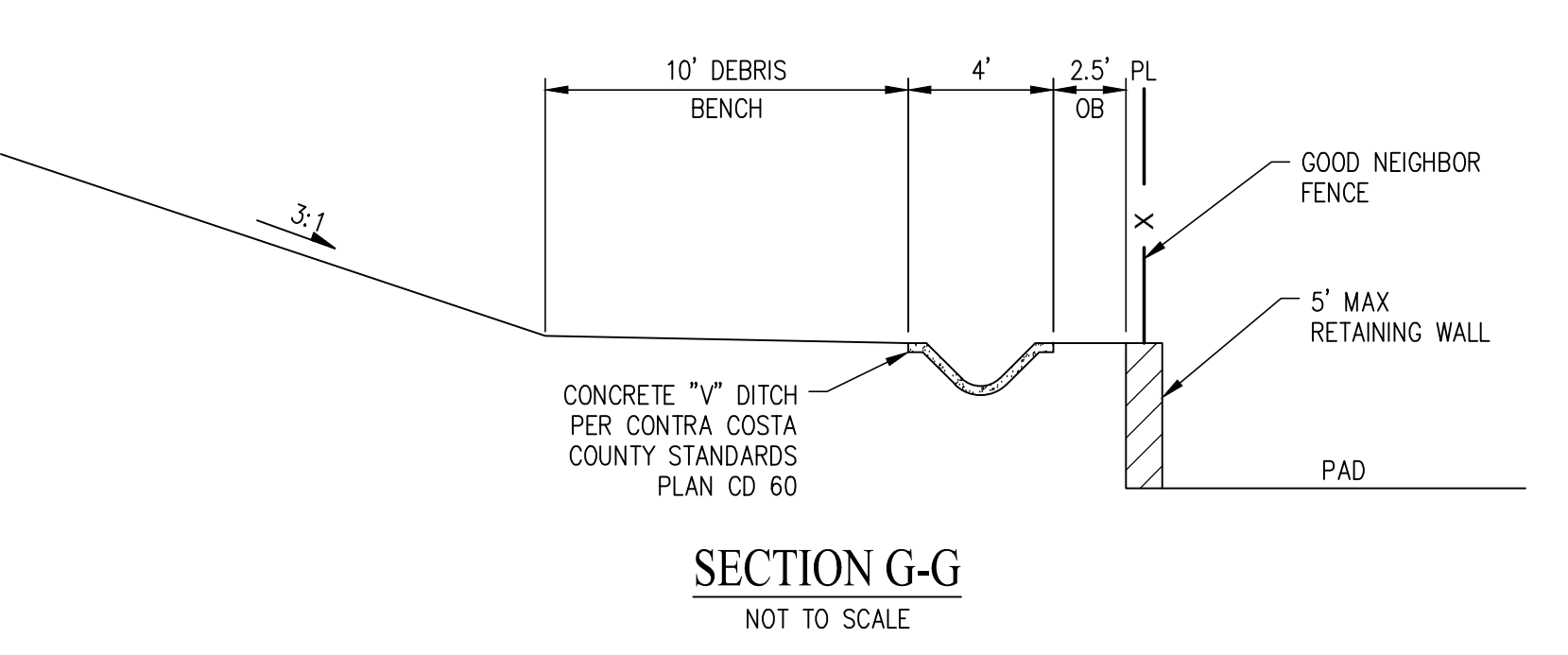
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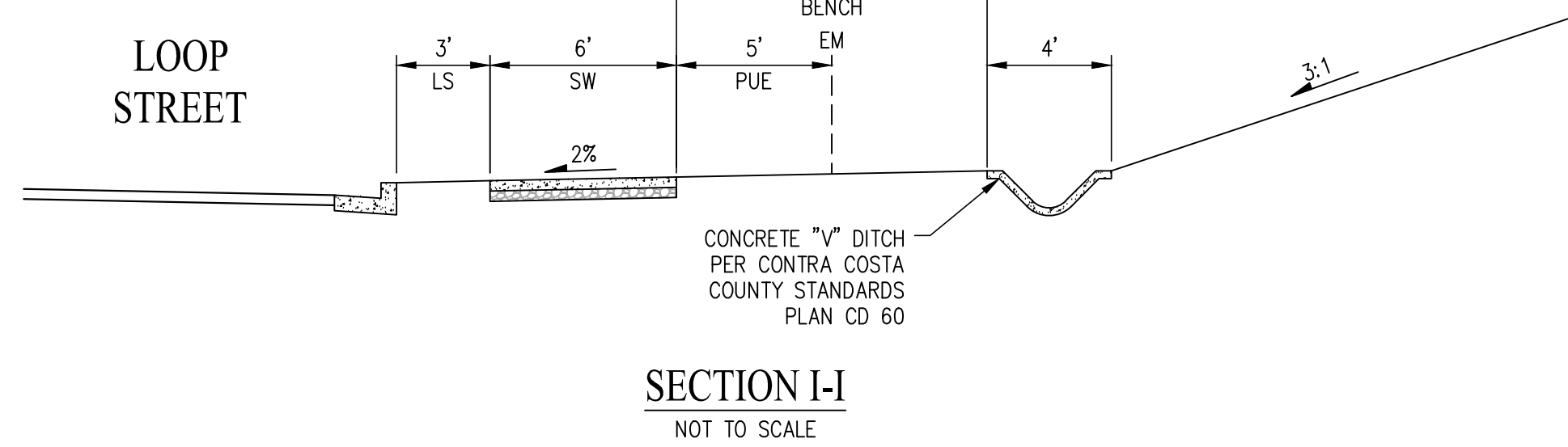
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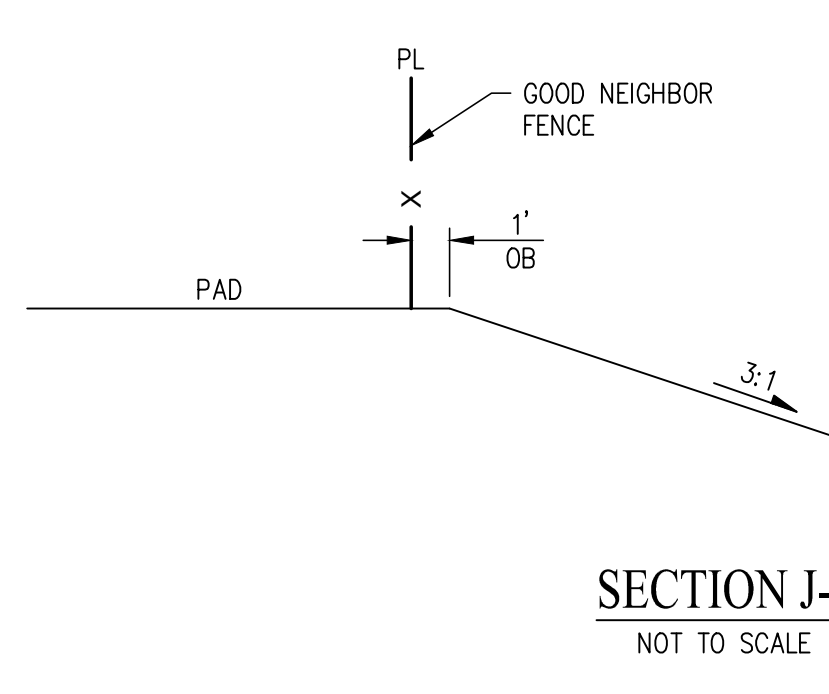
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SECTION H-H
NOT TO SCALE



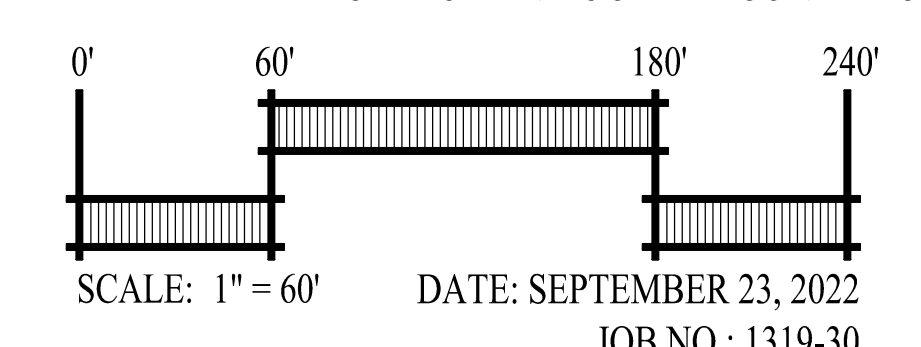
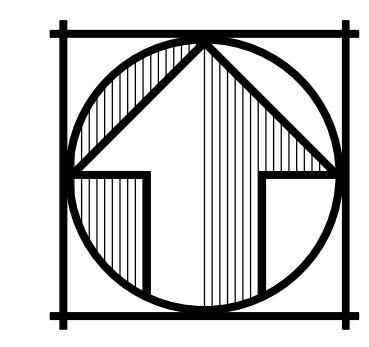
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SECTION J-J
NOT TO SCALE

CONCEPTUAL GRADING PLAN VESTING TENTATIVE MAP ALBERS PROPERTY SUBDIVISION 9515

CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA

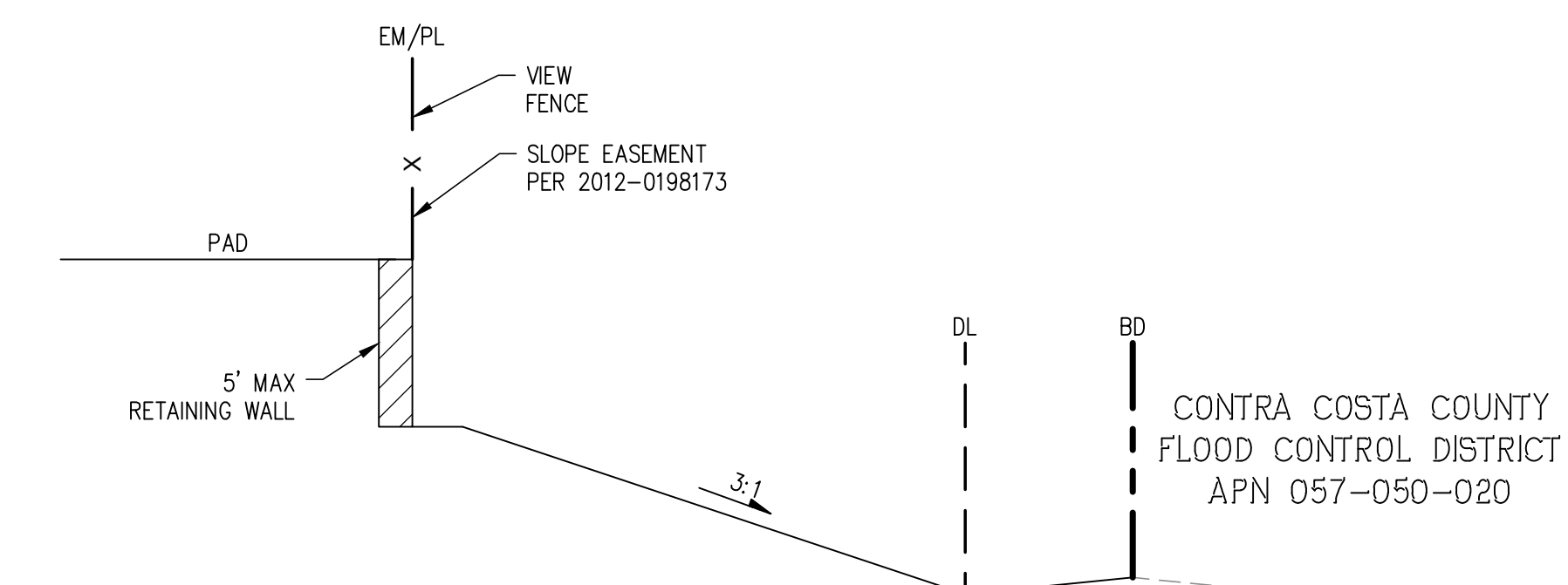
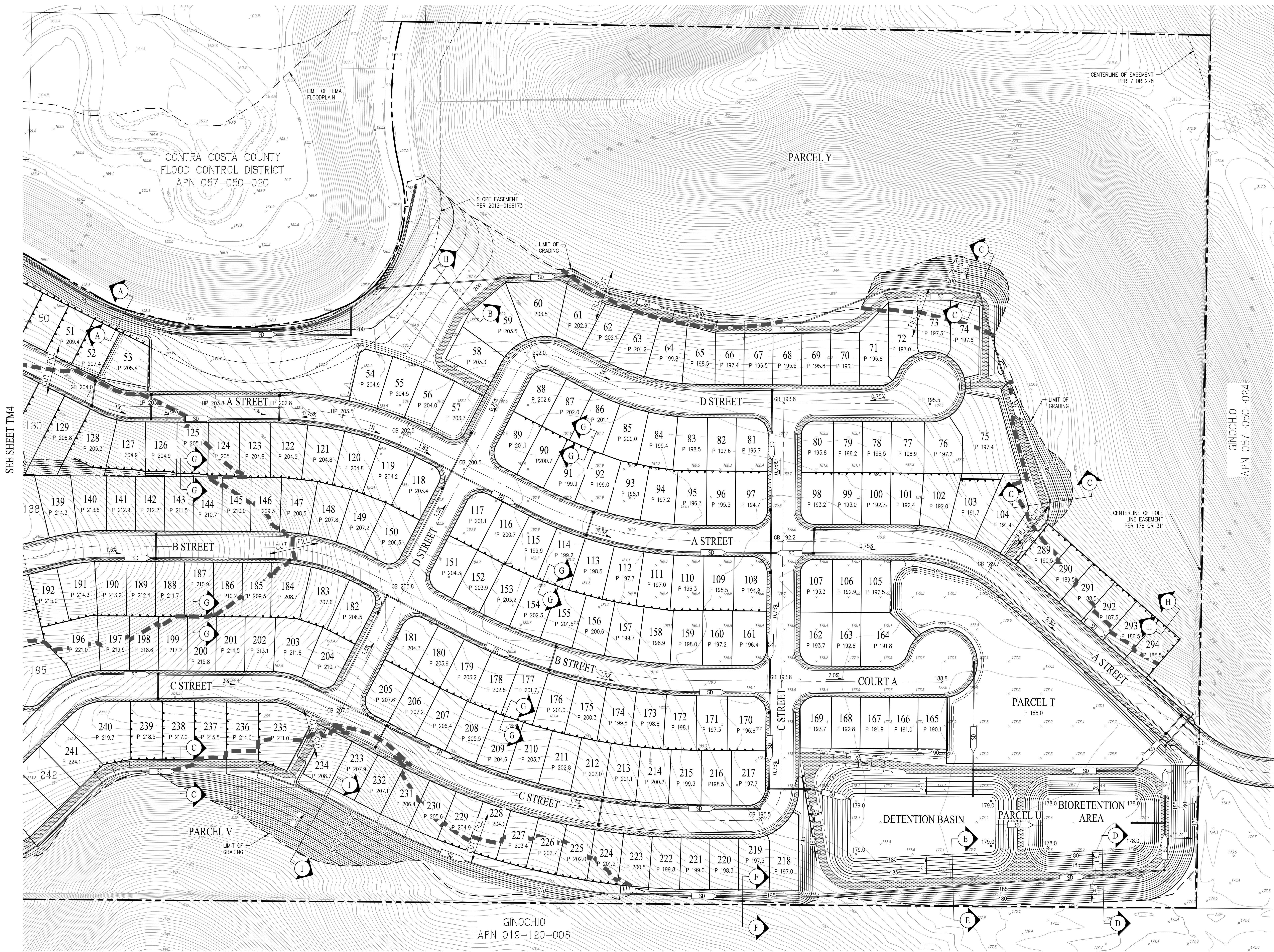


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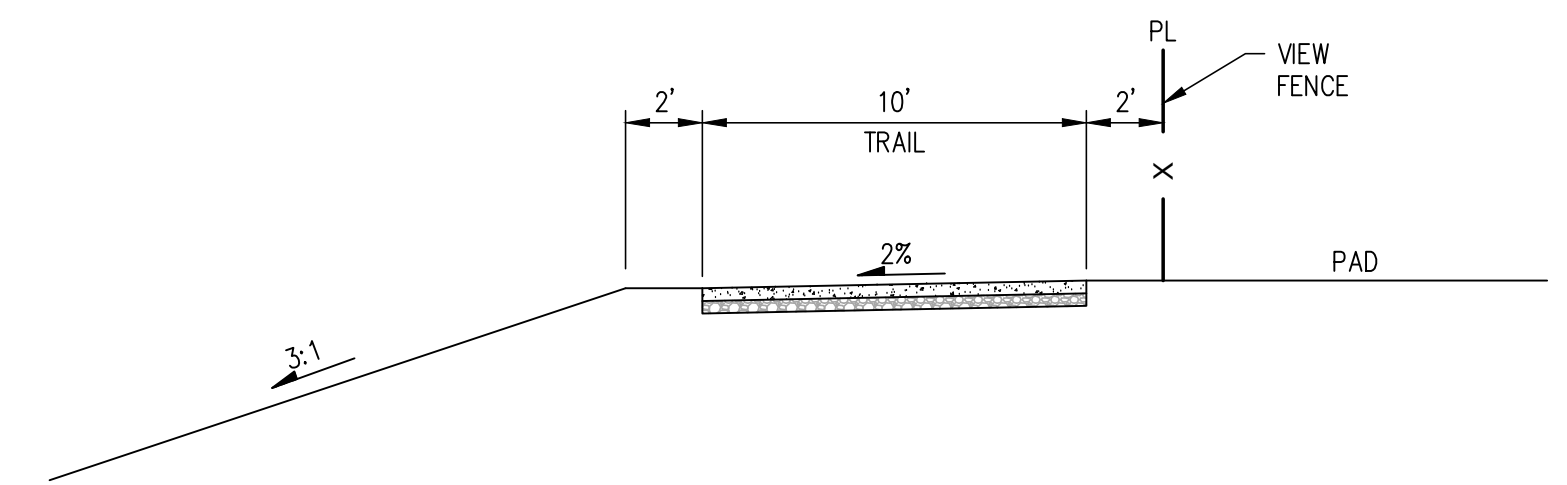
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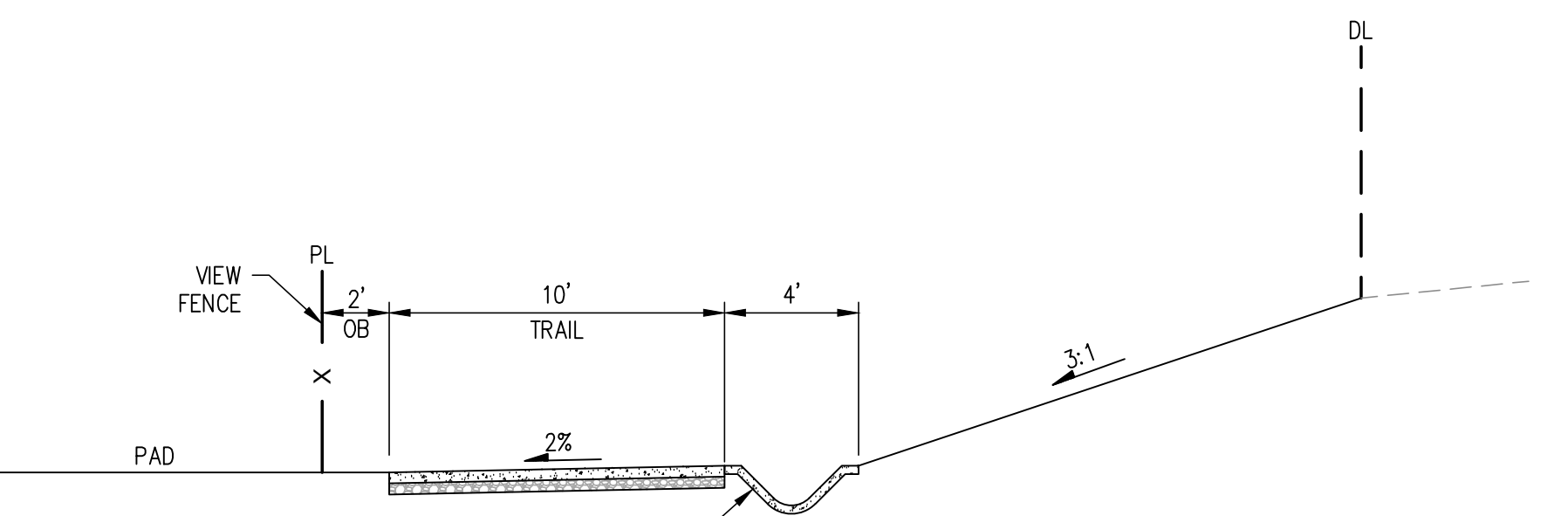
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TM4
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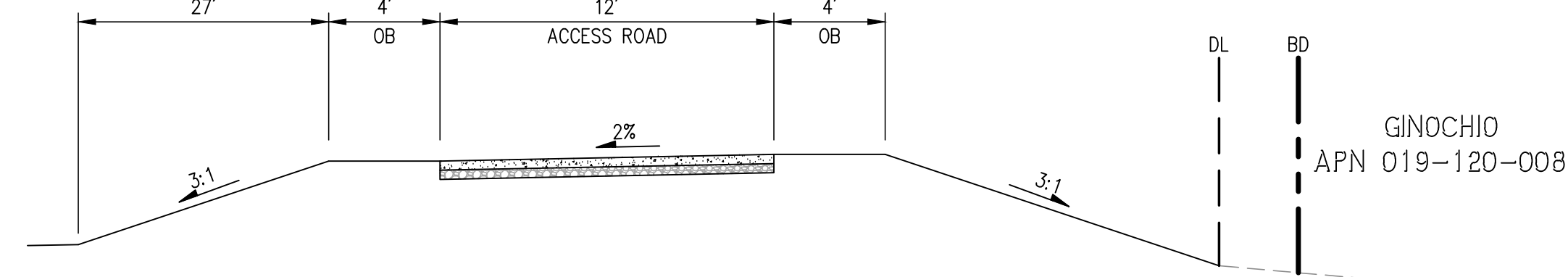
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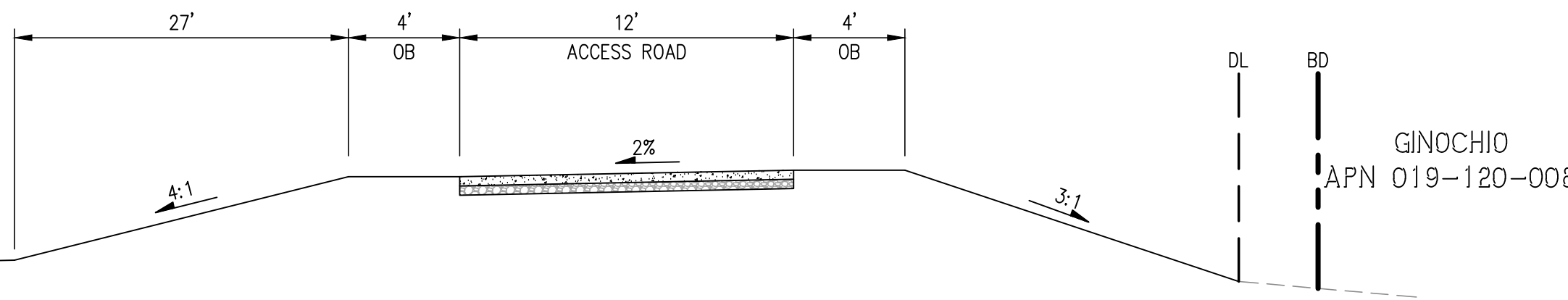
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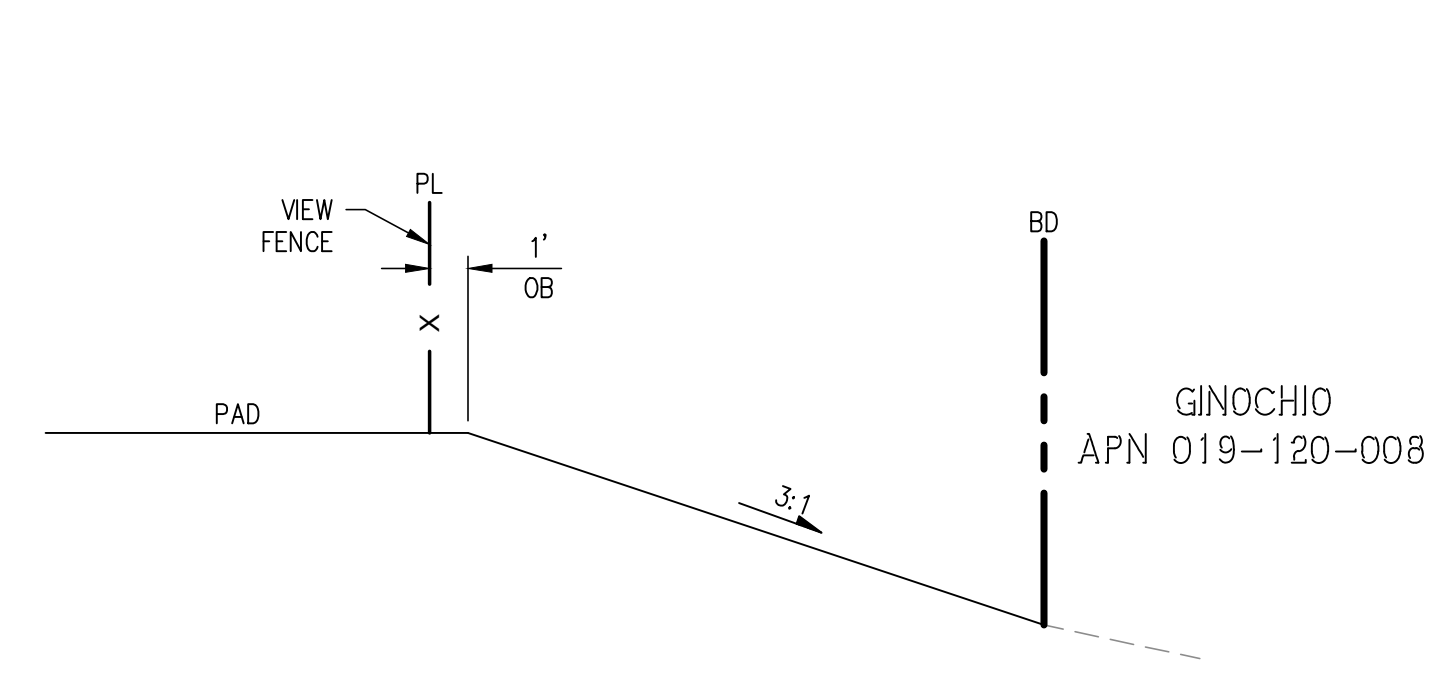
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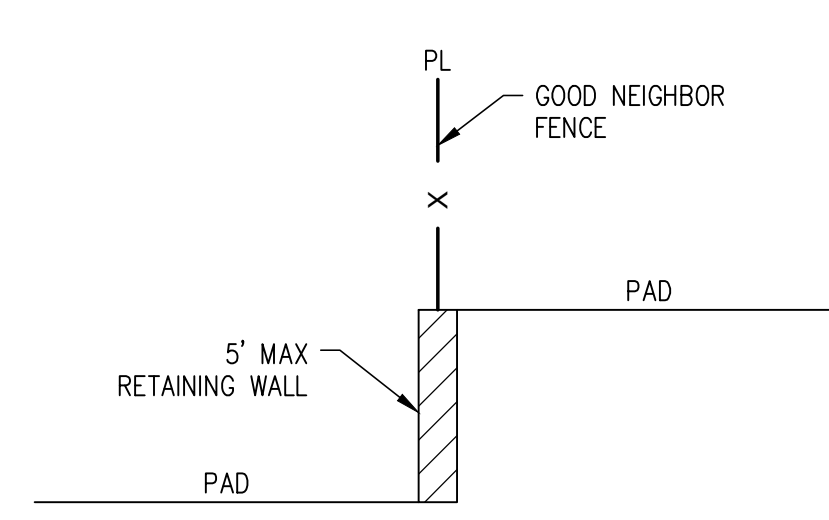
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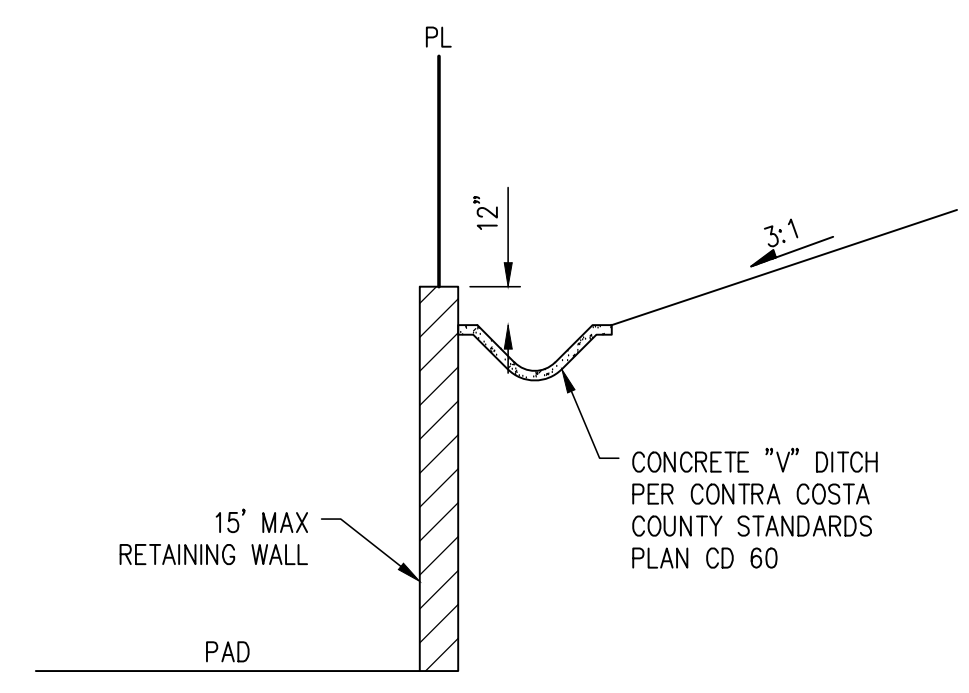
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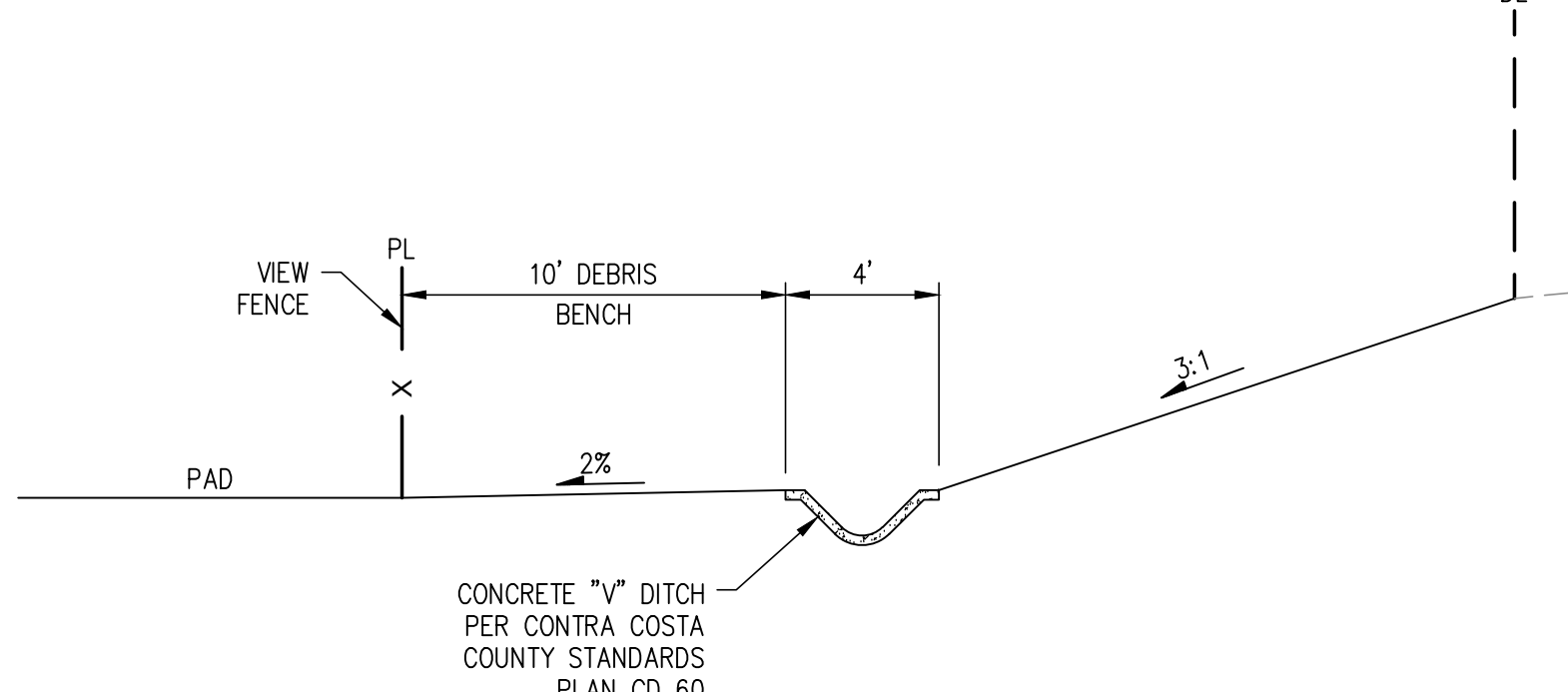
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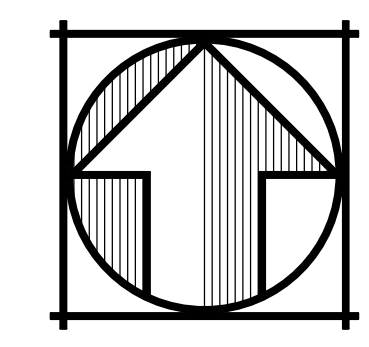


SECTION H-H
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SECTION I-I
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CONCEPTUAL GRADING PLAN VESTING TENTATIVE MAP ALBERS PROPERTY SUBDIVISION 9515



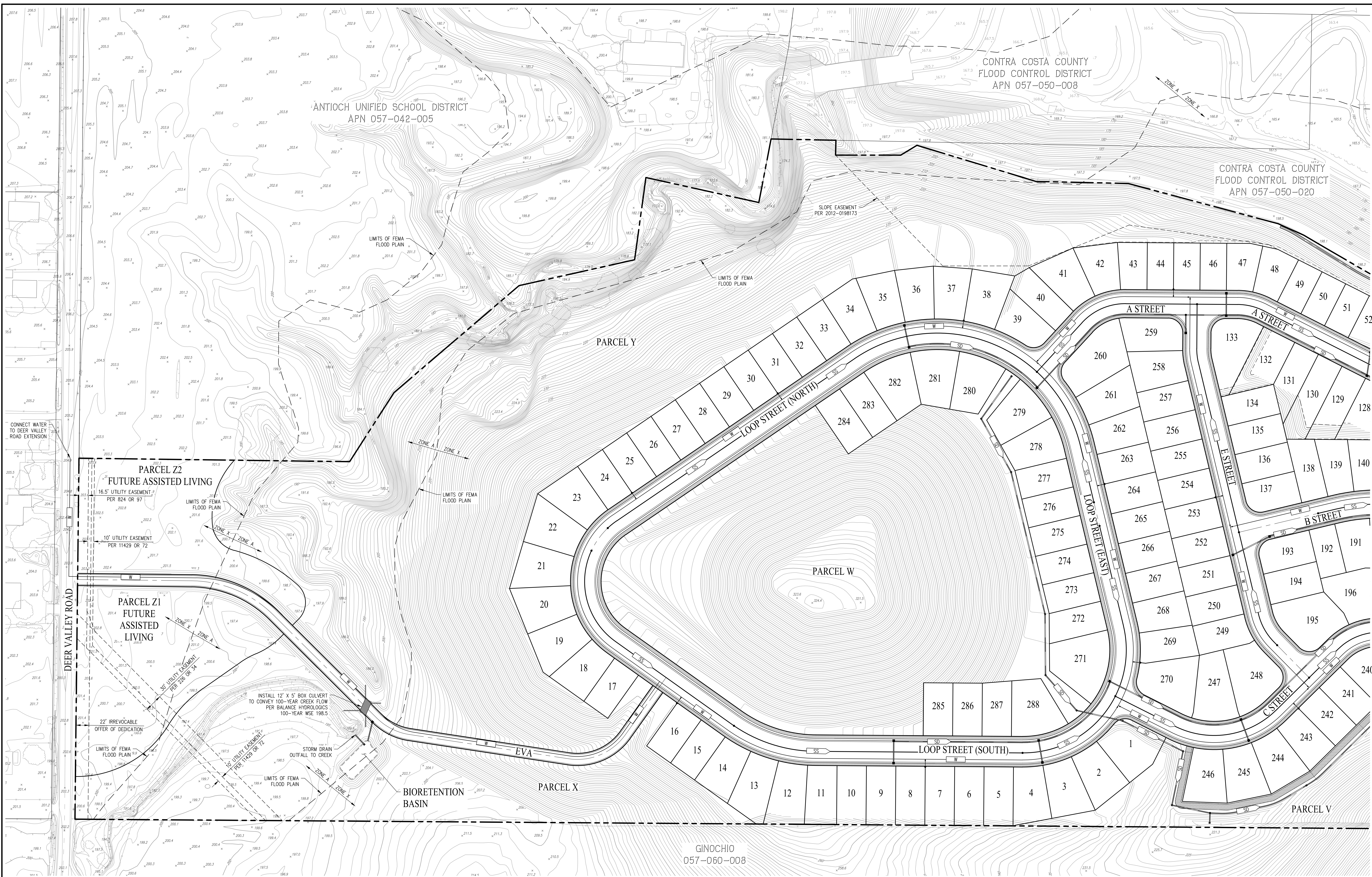
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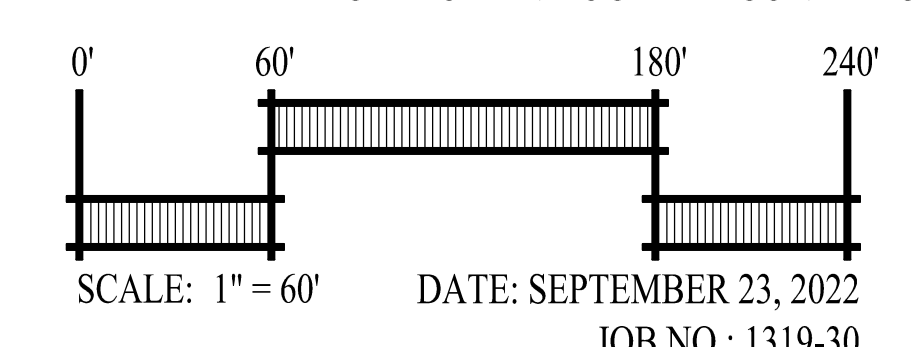
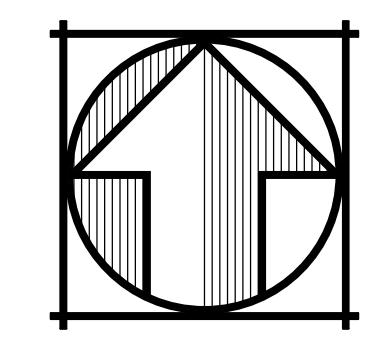
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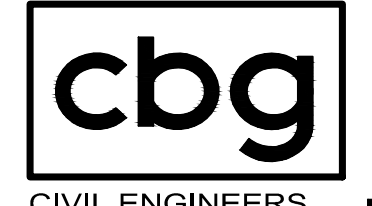


SEE SHEET TM7

UTILITY PLAN
VESTING TENTATIVE MAP
 ALBERS PROPERTY
 SUBDIVISION 9515



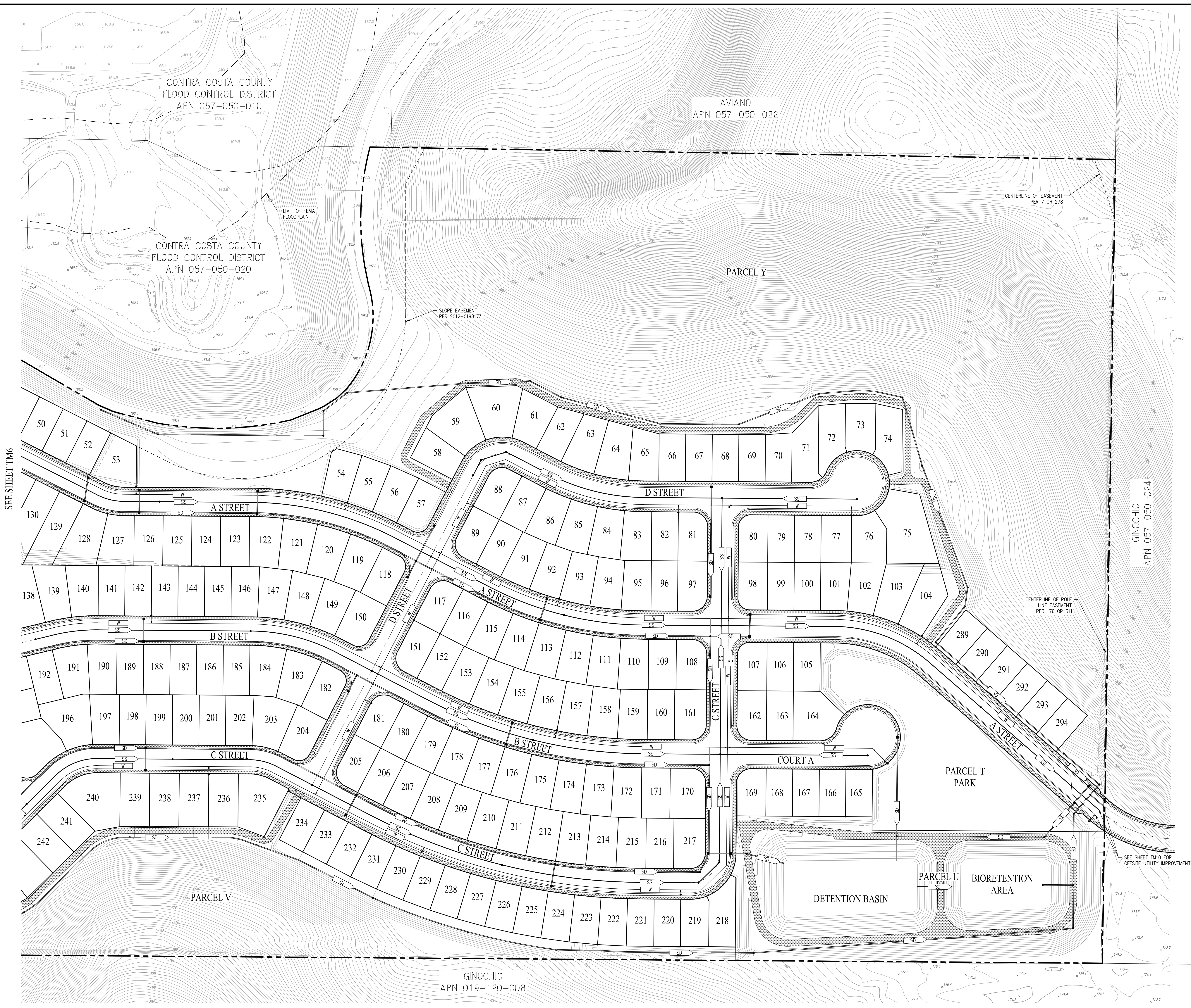
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UTILITY PLAN
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 ALBERS PROPERTY
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CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA

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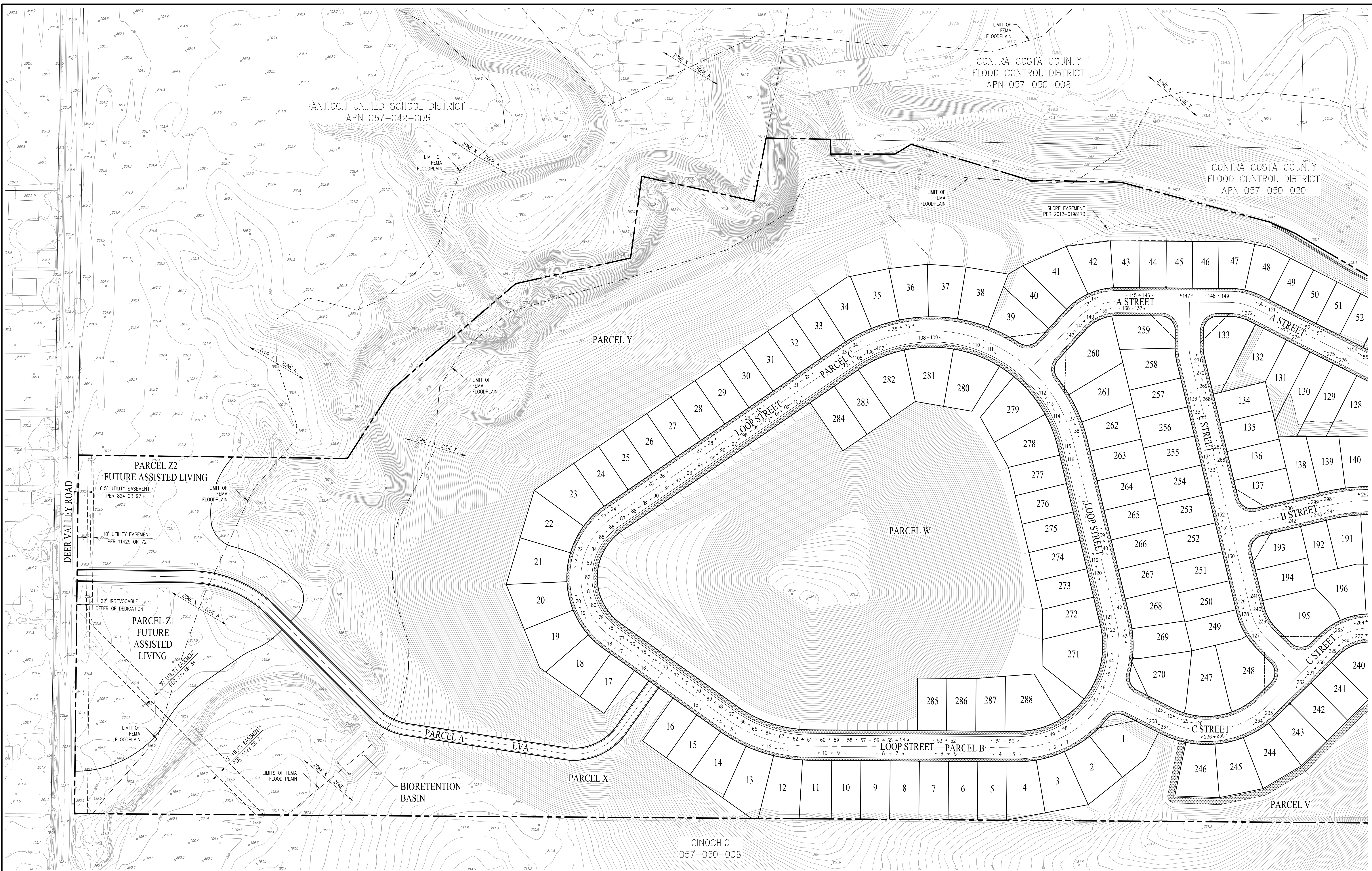
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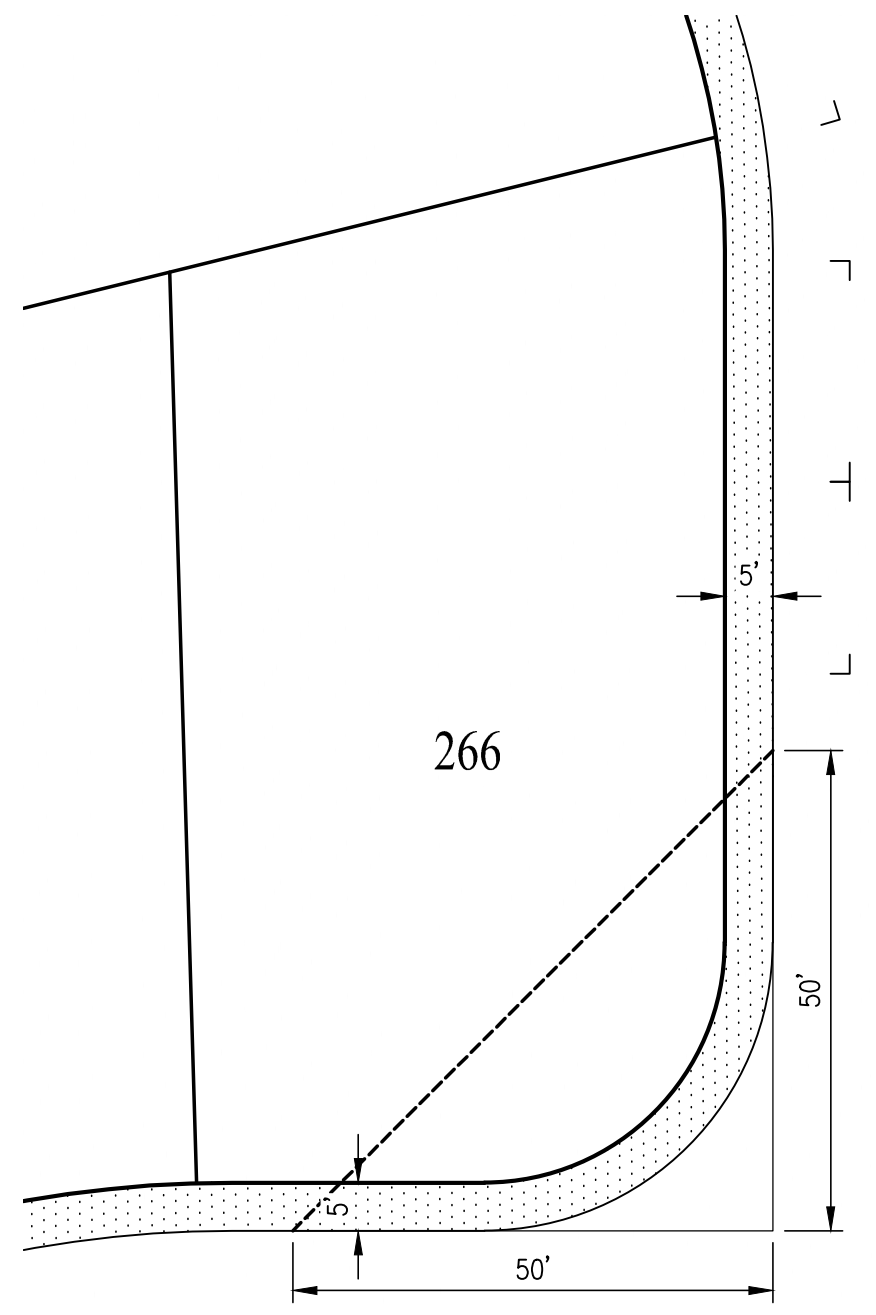
LEGEND

- SUBDIVISION BOUNDARY
- PROPERTY LINE
- LOT LINE
- TOP OF CURB
- ▲ FIRE HYDRANT
- 100 LOT NUMBER
- 100 STALL NUMBER
- CORNER SIGHT VISIBILITY LINE

PARKING TYPE	PARKING REQUIRED		PARKING PROVIDED	
	RATIO	NUMBER OF SPACES	RATIO	NUMBER OF SPACES
GARAGE (COVERED)	2 SPACES/DU	588 SPACES	2 SPACES/DU	588 SPACES
GUEST PARKING (ON-STREET)	1 SPACE/DU	294 SPACES	—	294 SPACES
ADDITIONAL ON-STREET PARKING	—	—	—	68 SPACES
TOTAL	—	882 SPACES	—	950 SPACES

GUEST PARKING (PARALLEL SPACES) DIMENSIONS
 INTERIOR: 8' X 23'
 END OF ROW: 8' X 20'

- NOTES:**
- BASED ON THE PROPOSED PROJECT ZONING AND ARTICLE 17: PARKING REQUIREMENTS OF THE CITY OF ANTIOCH MUNICIPAL CODE, THE PROJECT IS ONLY REQUIRED TO PROVIDE THE NUMBER OF PARKING SPACES AS INDICATED IN TABLE 9-5.1703.1 OFF-STREET PARKING FOR ELDERLY RESIDENTIAL (SENIOR HOUSING OVERLAY).
 - BASED ON TABLE 9-5.1703.1: OFF-STREET PARKING REQUIREMENTS THE REQUIRED GUEST PARKING IS TO BE DETERMINED DURING PROJECT PROCESS REVIEW, HOWEVER ONE SPACE IS EQUIVALENT TO THE NUMBER OF GUEST PARKING SPACES REQUIRED FOR SINGLE-FAMILY RESIDENTIAL (DETACHED) USE CLASSIFICATION.



50' SIGHT TRIANGLE
SCALE 1" = 20'

PARKING PLAN
VESTING TENTATIVE MAP
 ALBERS PROPERTY
 SUBDIVISION 9515

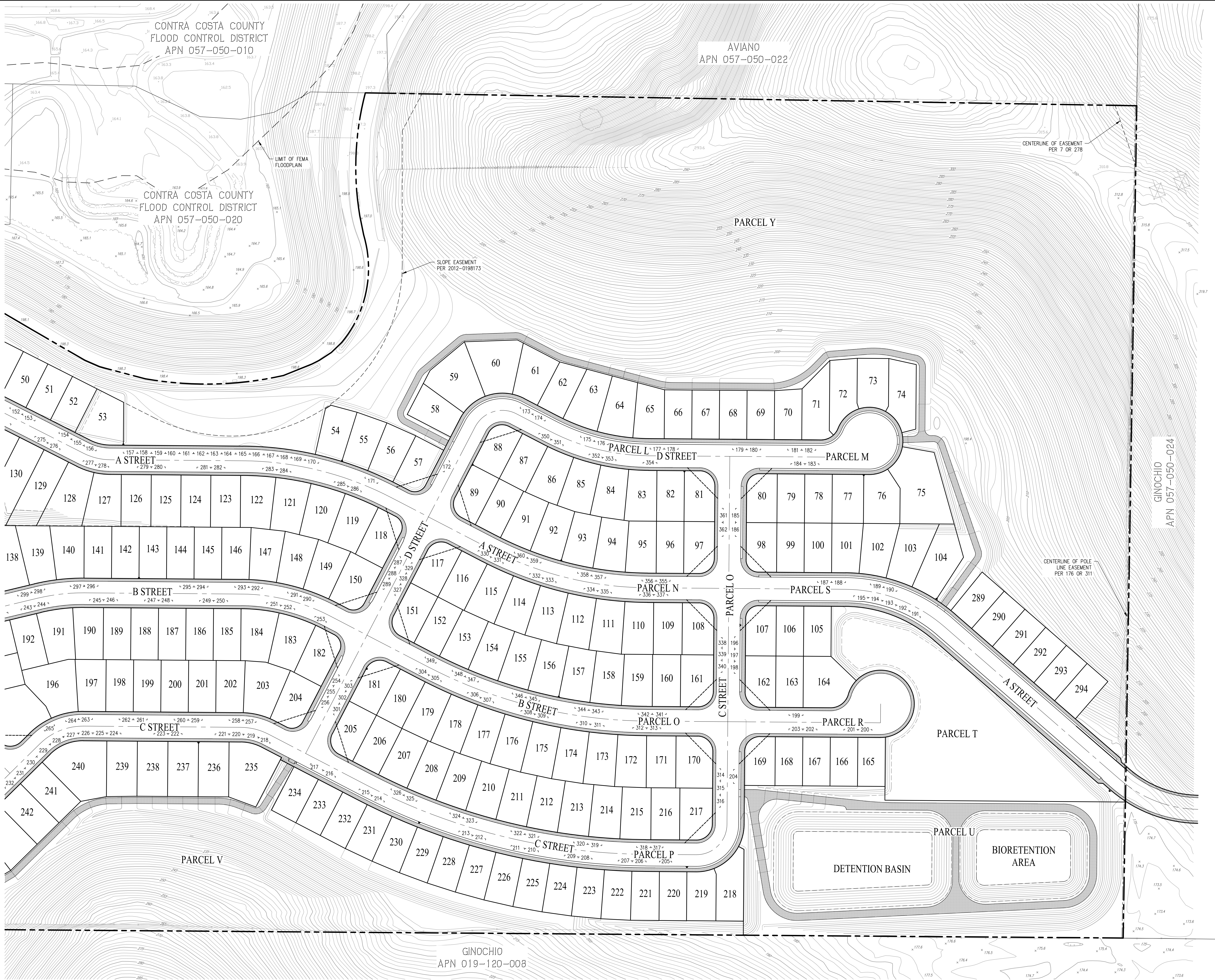
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SCALE: 1" = 60' DATE: SEPTEMBER 23, 2022 JOB NO.: 1319-30

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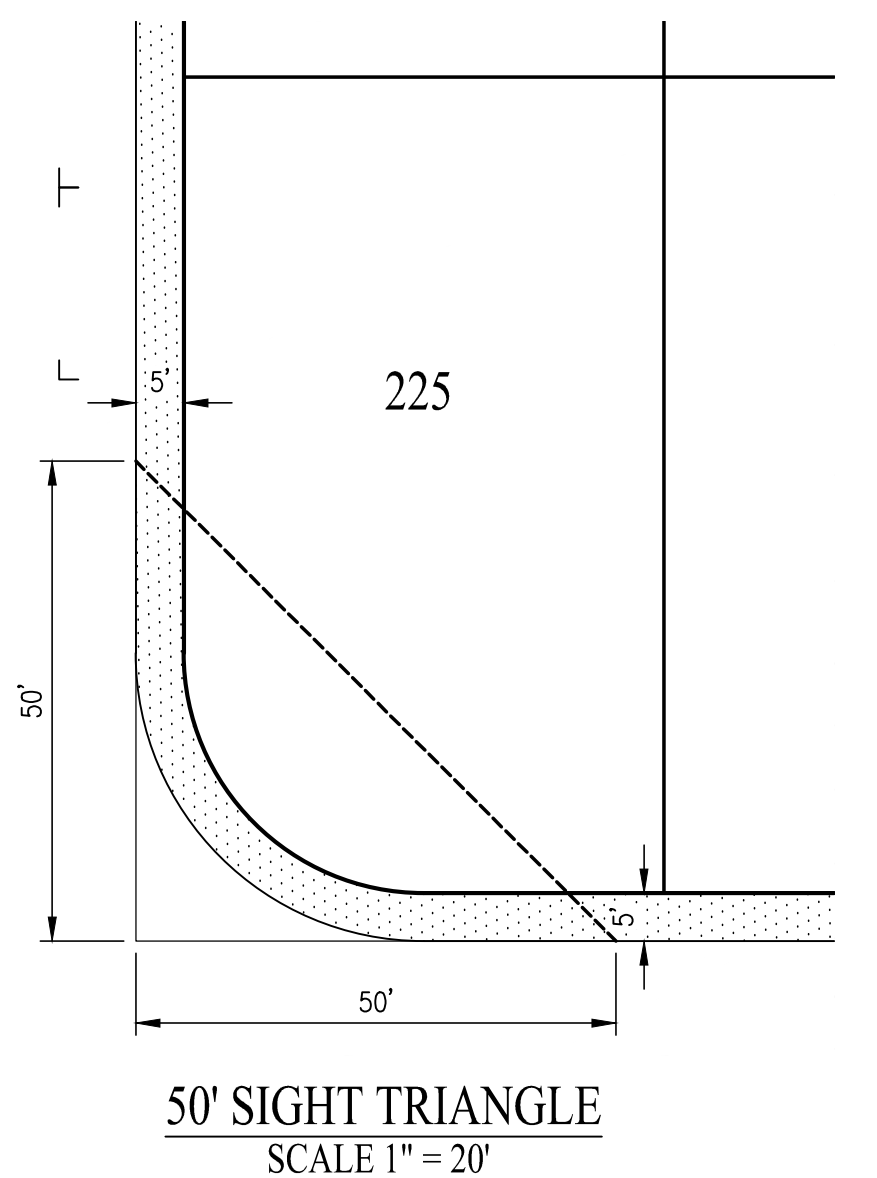
SHEET NO. **TM8** OF 10 SHEETS



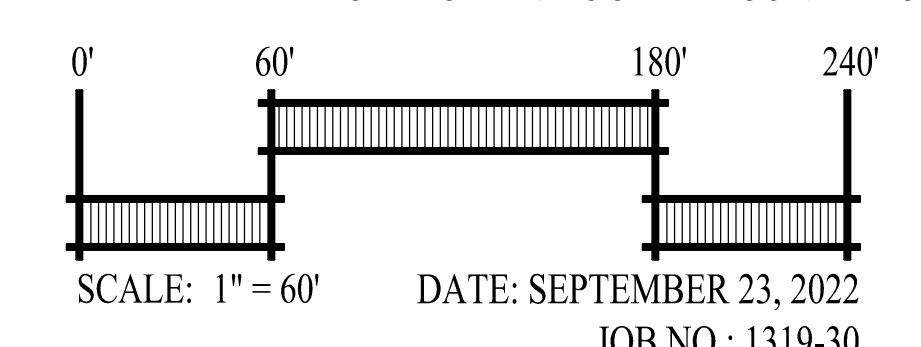
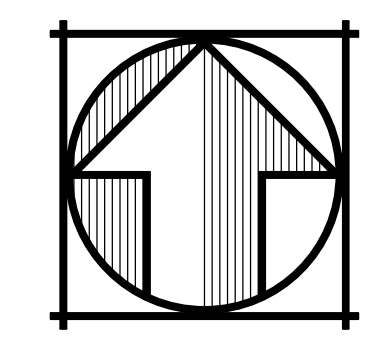
SEE SHEET TMS

- LEGEND**
- SUBDIVISION BOUNDARY
 - PROPERTY LINE
 - LOT LINE
 - TOP OF CURB
 - FIRE HYDRANT
 - 100 LOT NUMBER
 - 100 STALL NUMBER
 - CORNER SIGHT VISIBILITY LINE

NOTE:
SIGHT VISIBILITY TRIANGLE DOES NOT APPLY AT ELBOWS AND KNUCKLES



PARKING PLAN
VESTING TENTATIVE MAP
ALBERS PROPERTY
SUBDIVISION 9515



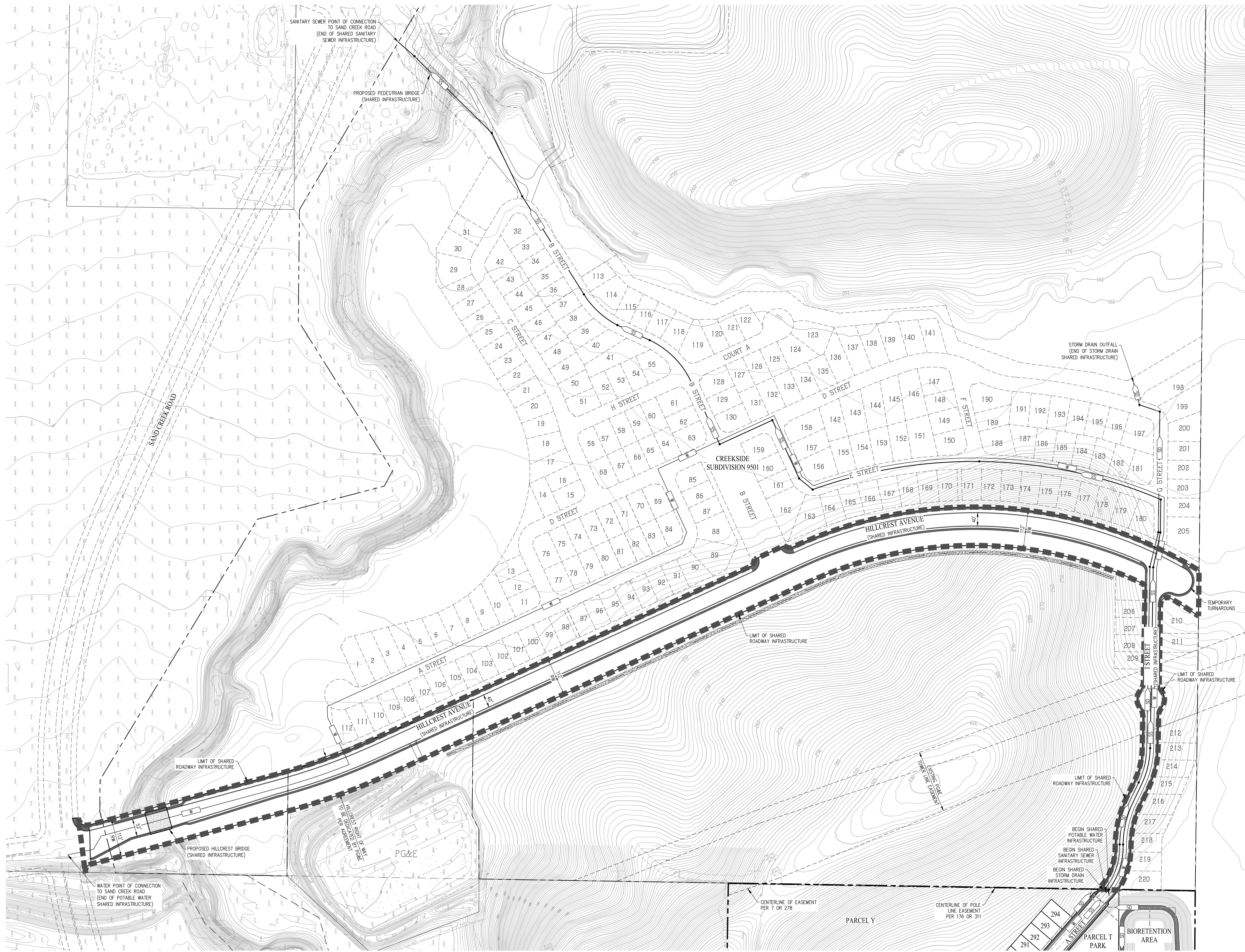
CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA

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SHEET NO.
TM9
OF 10 SHEETS

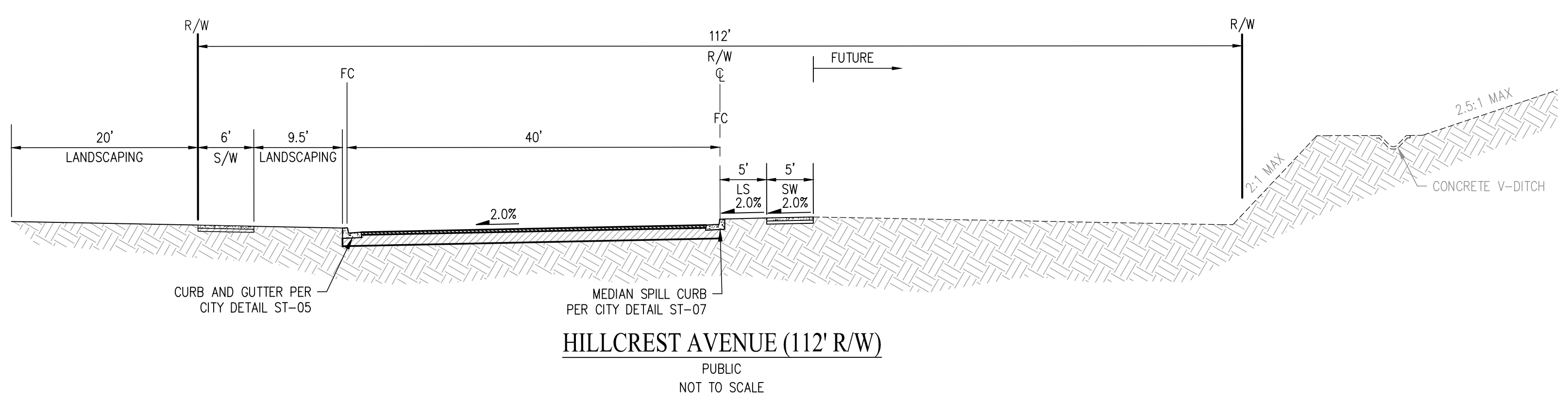
DATE: SEPTEMBER 23, 2022
JOB NO: 1319-30



LEGEND

	LIMIT OF SHARED ROADWAY INFRASTRUCTURE
	SHARED STORM DRAIN INFRASTRUCTURE
	SHARED SANITARY SEWER INFRASTRUCTURE
	SHARED POTABLE WATER INFRASTRUCTURE

- NOTES:**
- HILLCREST AVENUE IMPROVEMENTS SHOWN ARE CONSISTENT WITH EXHIBIT B FROM SETTLEMENT AGREEMENT BETWEEN THE CITY OF ANTIOCH AND GSN PARTNERS, LLC.
 - I STREET IMPROVEMENTS SHOWN ARE CONSISTENT WITH THE CREEKSIDE VINEYARDS AT SAND CREEK (SUBDIVISION 9501) VESTING TENTATIVE MAP. PURSUANT TO CONDITION OF APPROVAL P.10 FROM THE CREEKSIDE VINEYARDS AT SAND CREEK CONDITIONS OF APPROVAL, I STREET SHALL BE A PUBLIC STREET AND HAVE A FULL RIGHT-OF-WAY WIDTH OF 60'.
 - SHARED STORM DRAIN, SANITARY SEWER AND POTABLE WATER INFRASTRUCTURE ARE CONSISTENT WITH IMPROVEMENTS SHOWN ON THE CREEKSIDE VINEYARDS AT SAND CREEK (SUBDIVISION 9501) VESTING TENTATIVE MAP.



**ALBERS & CREEKSIDE SHARED INFRASTRUCTURE
VESTING TENTATIVE MAP**
ALBERS PROPERTY
SUBDIVISION 9515

CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA

SCALE: 1" = 100'

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