

The Ranch at Antioch

Master Development Plan

January 2020

Prepared By:

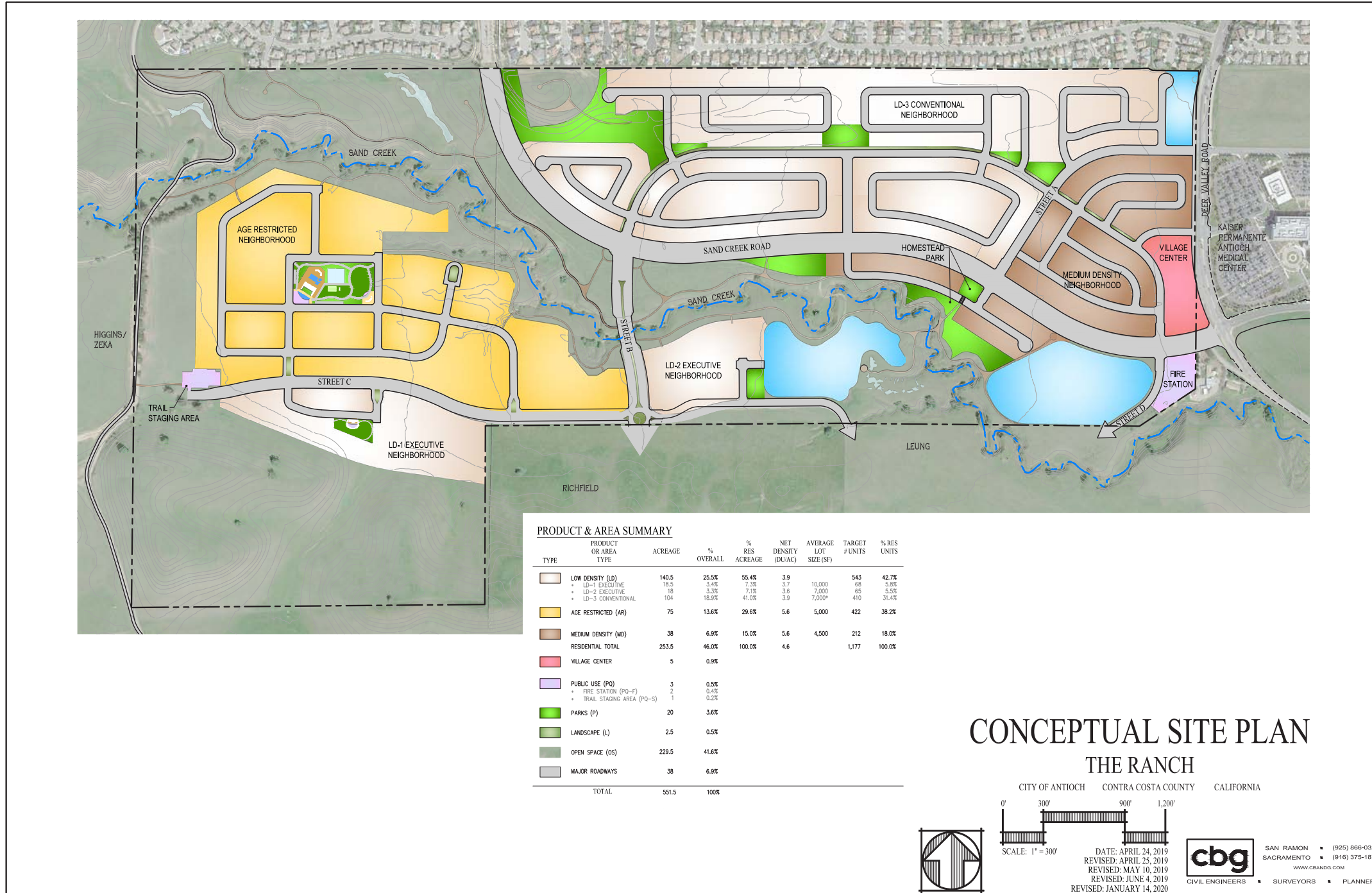


TABLE OF CONTENTS

MASTER DEVELOPMENT PLAN / PD REZONE

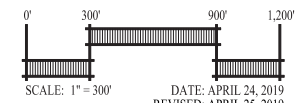
A.	CONCEPTUAL SITE PLAN	1
B.	PROPOSED ARCHITECTURE CHARACTER & STYLE	2
C.	CONCEPTUAL GRADING PLAN	20
D.	INFRASTRUCTURE PLAN	21
	1. UTILITIES	21
	2. VEHICULAR CIRCULATION	22
	3. PEDESTRIAN AND BIKE NETWORK	23
E.	OPEN SPACE	24

A. CONCEPTUAL SITE PLAN



CONCEPTUAL SITE PLAN THE RANCH

CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA

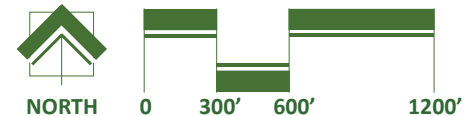


DATE: APRIL 24, 2019
REVISED: APRIL 25, 2019
REVISED: MAY 10, 2019
REVISED: JUNE 4, 2019
REVISED: JANUARY 14, 2020



SAN RAMON (925) 866-0322
SACRAMENTO (916) 375-1877
WWW.CBANDG.COM

CIVIL ENGINEERS SURVEYORS PLANNERS



B. PROPOSED ARCHITECTURE CHARACTER & STYLE

§ 9-5.4202 Residential Uses

A. Single-Family Low-Density

I. Purpose and application

(a) LD-1 Single-family Executive Lot Type 1

This designation is for low-density large lots with a minimum lot size of 8,000 s.f., on a combination of graded, partially graded, or sloping lots.

(b) LD-2 Single-Family Executive Lot Type 2

This designation is for low-density lots, with an average lot size of 7,000 s.f. and minimum lot size of 5,000 s.f.

(c) LD-3 Single-Family Conventional Lot Type 3

This designation is for low-density conventional lots, with an average lot size of 7,000 s.f. and minimum lot size of 5,000 s.f. A row of a minimum 8,000 s.f. lots is required on land that abuts single-family development that exists to the north of the Initiative Area as of the Effective Date of the Initiative.

2. Property development standards

	LD-1 Executive Lot Type 1	LD-2 Executive Lot Type 2	LD-3 Conventional Lot Type 3
Minimum lot area in s.f.	8,000	5,000	5,000/8,000 ¹
Average net lot area in s.f.	10,000	7,000	7,000
Maximum lot coverage (1/2 story) ⁴	50/45%	55/50%	55/50%
MINIMUM LOT DIMENSIONS			
Lot width (interior/corner)	65'/70'	50'/55'	50'/55'
Lot depth	100'	90'	90'/130' ²
MINIMUM SETBACKS FROM PROPERTY LINE⁵			
Living area at front	15'	15'	15'
Porch at front	10'	10'	10'
Porch at alley/private drive	n/a	n/a	n/a
Garages at front	18'	18'	18'
Side-on garage at front	12'	12'	12'
Garage at alley/rear (max)	n/a	n/a	n/a
Interior side yard/corner	5'/10'	5'/10'	5'/10'
Rear	20'	20'	20'/35' ³
MAXIMUM BUILDING HEIGHTS			
Main building	40'	35'	35'
Detached garage	24'	24'	24'

Footnotes:

1. Lots that abut the north property line in LD-3 shall be a minimum of 8,000 s.f in lot area.
2. Lots that abut the north property line in LD-3 shall have a minimum lot depth of 130', except in a side-on lot condition.
3. Lots that abut the north property line in LD-3 shall have a minimum rear yard setback of 35'.
4. Maximum Lot Coverage is defined as the gross first floor living plus garage area divided by the lot area and does not include Covered Patio/porches
5. Architectural pop-outs and encroachments to the front, side and rear shall be allowed pursuant to Code Section 9-5.801.

3. Permitted Uses

	Single Family LD 1, 2, 3
Day care (§ 9-5.3817 and 9-5.3818)	P
Home occupations	P
Second residential unit	A
Single family dwelling	P
Private residential community amenity(community center, fitness center/pool)	P
Public safety facility	U
Public use-Fire, police, library, other civic building	U
Satellite antenna	P
School, public or private	U
Open space	P
Parks and park facilities, public and private	P
Trail/Trailhead facilities	P
Community Garden	P
Storm Drainage facilities	P
Resource protection / restoration	P
Communication facility	U
Model home complex	A
Removal of earth (§§9-5.3822)	A
Sales, leasing office and trailers	A
Temporary construction building and uses (§§ 9-5.3821)	A

P - Permitted U - Use Permit required A - Administrative Permit required

B. Single-Family Medium-Density

I. Purpose and application

(a) MD-1 Single-family Standard Lot Type 1

This designation is for medium-density lots in a standard configuration, i.e.; house entry and garage accessed from street in the front. Average lot size is approximately 4,500 s.f.

(b) MD-2 Single-family Greencourt Lot Type 2

This designation is for medium-density lots in a courtyard configuration, i.e.; house entry is located from a greencourt common area in the front and the garage is accessed from alley in the rear. Average lot size is approximately 4,200 s.f.

(c) MD-3 Single-family Motor-court Lot Type 3

This designation is for medium-density lots in a clustered motorcourt configuration, i.e.; house entry and garage accessed from a private street in the shape of the letter ‘T’. Average lot size is approximately 4,200 s.f.

(d) MD-4 Single-family Private Lane Lot Type 4

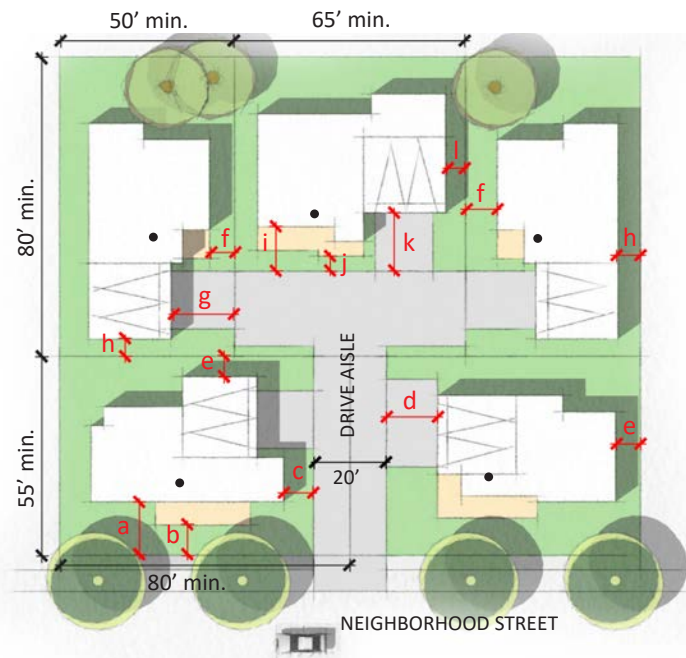
This designation is for medium-density lots in a cluster configuration around a private lane. The unit entry and garages are oriented to the front of the lot. Average lot size is approximately 4,200 s.f.

2. Property development standards

	MD-1 Standard Lot Type 1	MD-2 Greencourt Lot Type 2	MD-3 T-court Lot Type 3	MD-4 Private Lane Type 4
Minimum lot area in s.f. ¹	4,000	4,000	4,000	4,000
Average lot area in s.f.	4,500	4,200	4,200	4,200
Maximum lot coverage ²	55%	55%	55%	55%
MINIMUM LOT DIMENSIONS				
Lot width (interior/corner)	45’/50’	40’/45’	See Figure 1	See Figure 2
Lot depth	90’	90’		
SETBACKS FROM PROPERTY LINE³				
Living area at front	15’	10’	See Figure 1	See Figure 2
Porch at front	10’	5’		
Porch at alley/private drive	n/a	5’		
Garages at front	18’	n/a		
Side-on garage at front	n/a	n/a		
Garage at alley/rear (max)	n/a	4’		
Interior/corner side yard	4’/8’	4’/8’		
Rear	15’	n/a		
MAXIMUM BUILDING HEIGHTS				
Main building	35’	35’	35’	35’
Detached garage	n/a	24’	n/a	n/a

Footnotes:

1. Lot Area is defined as the total area of a fee simple residential lot for a single-family dwelling unit and may include easements for common area access.
2. Maximum Lot Coverage is defined as the gross first floor living plus garage area divided by the lot area and does not include covered Patio/porches
3. Architectural pop-outs and encroachments to the front, side and rear shall be allowed pursuant to Code Section 9-5.801.



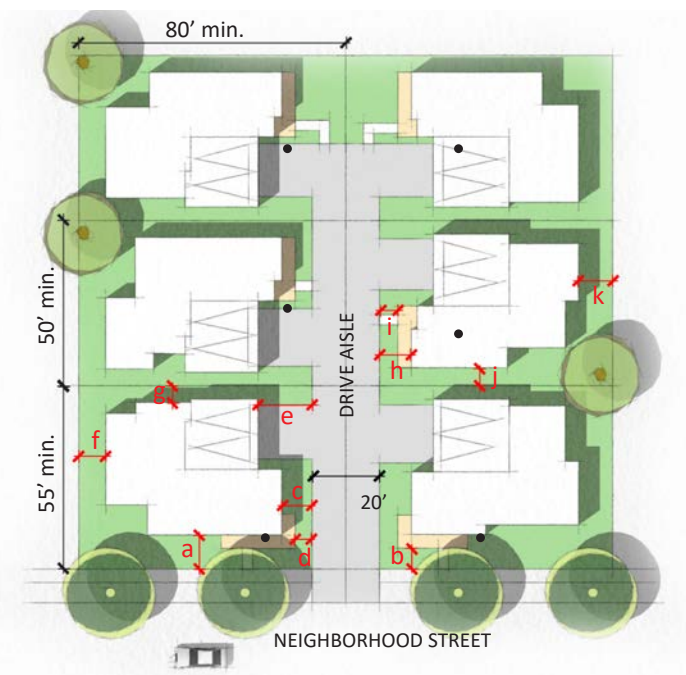
MD-3 T-court Lots Development Standards	
LOT DIMENSIONS	
Refer to Figure A-1 for typical lot dimensions	
SETBACKS	
Streetside Lots	
(a) Front, living space	12' min.
(b) Front, porch	8' min.
(c) Drive aisle side, living space*	5' min.
(d) Drive aisle side, garage*	18' min.
(e) Side / rear	5' / 10' min.
Rear Corner Lots	
(f) Front, living space & porch	8' min.
(g) Front, garage	18' min.
(h) Side & rear	5' / 10' min.
Rear Center Lot	
(i) Front, living space*	8' min.
(j) Front, porch*	5' min.
(k) Front, garage*	18' min.
(l) Side & rear	6' min.
HEIGHT	35' max.

* Setback distance measured from the edge of the drive aisle.

3. Permitted Uses

	Single Family MD 1, 2, 3, 4
Day care (§ 9-5.3817 and 9-5.3818)	P
Home occupations	P
Second residential unit	A
Single family dwelling	P
Private residential community amenity (community center, fitness center/pool)	P
Public safety facility	U
Public use-Fire, police, library, other civic building	U
Satellite antenna	P
School, public or private	U
Open space	P
Parks and park facilities, public and private	P
Trail/Trailhead facilities	P
Community Garden	P
Storm Drainage facilities	P
Resource protection / restoration	P
Communication facility	U
Model home complex	A
Removal of earth (§§9-5.3822)	A
Sales, leasing office and trailers	A
Temporary construction building and uses (§§ 9-5.3821)	A

P - Permitted U - Use Permit required A - Administrative Permit required



MD-4 Private Lane Lots Development Standards	
LOT DIMENSIONS	
Refer to Figure A-2 for typical lot dimensions	
SETBACKS	
Streetside Lots	
(a) Front, living space	10' min.
(b) Front, porch	5' min.
(c) Drive aisle side, living space*	6' min.
(d) Drive aisle side, porch*	5' min.
(e) Drive aisle side, garage*	18' min.
(f) Side	10' min.
(g) Rear	5' min.
Internal Lots	
(h) Front, living space*	5' min.
(i) Front, porch*	5' min.
(j) Side	5' min.
(k) Rear	10' min.
HEIGHT	35' max.

* Setback distance measured from the edge of the drive aisle.

Figure I-2: MD-4 Private Lane Lot Standards

C. Age Restricted

1. Purpose and application

(a) AR Single-family Age-Restricted Lot Type

This designation is for lots ranging in size from approximately 4,500 to 5,000 s.f. in a neighborhood that is restricted to residents age 55 and older.

2. Property development standards

	AR Age-Restricted
Minimum lot area in s.f.	4,500
Average net lot area in s.f.	5,000
Maximum lot coverage (1/2 story) ¹	60/55%
MINIMUM LOT DIMENSIONS	
Lot width (interior/corner)	45'/50'
Lot depth	90'
MINIMUM SETBACKS FROM PROPERTY LINE²	
Living area at front	15'
Porch at front	10'
Porch at alley/private drive	5'
Garages at front	18'
Side-on garage at front	n/a
Garage at private drive (short apron / full apron) ³	n/a
Interior side yard/corner	4'/8'
Rear	15'
MAXIMUM BUILDING HEIGHTS	
Main building	28'
Detached garage	n/a

Footnotes:

1. Maximum Lot Coverage is defined as the gross first floor living plus garage area divided by the lot area and does not include Covered Patio/porches
2. Architectural pop-outs and encroachments to the front, side and rear shall be allowed pursuant to Code Section 9-5.801.
3. Parking is allowed in driveways with full aprons only with a minimum depth of 18' depth. Parking is prohibited on driveways with short aprons (less than 18').

3. Permitted Uses

	Age-Restricted AR
Day care (§ 9-5.3817 and 9-5.3818)	U
Home occupations	P
Second residential unit	A
Single family dwelling	P
Private residential community amenity (community center, fitness center/pool)	P
Public safety facility	U
Public use-Fire, police, library, other civic building	U
Satellite antenna	P
Open space	P
Parks and park facilities, public and private	P
Trail/Trailhead facilities	P
Community Garden	P
Storm Drainage facilities	P
Resource protection / restoration	P
Communication facility	U
Model home complex	A
Removal of earth (§§9-5.3822)	A
Sales, leasing office and trailers	A
Temporary construction building and uses (§§ 9-5.3821)	A

P - Permitted U - Use Permit required A - Administrative Permit required

§ 9-5.4203 Village Center Uses

A. Commercial Zone Village Center (VC)

1. Purpose and application

The Village Center is intended to be located on the land within the Limited Development Area of The Ranch Property to serve primarily the neighborhood and the immediate community, providing retail goods, food/drug, eating establishments, professional services for daily needs, and other similar commercial uses.

2. Property Development Standards

	VC Village Center
Maximum floor area ratio (FAR)	0.35
MINIMUM BUILDING SETBACKS	
From Deer Valley Road	10'
From Sand Creek Road	15'
From local street	10'
Interior	0'
MAXIMUM BUILDING HEIGHTS	
Main building	35'
Towers/feature structure	50'
PARKING	
General commercial uses	1 space/285 s.f.
Banks, professional or medical offices	1 space/250 s.f.
General restaurant/lounge or bar including any outdoor seating	1 space/3 seats
Take out only/no seating	1 space per employee on largest shift

Footnotes:

1. The maximum non-residential intensity allowed in the Village Center Commercial zone is defined as the floor area ratio (FAR), which is the ratio of total net floor area of a building to the total lot area.

3. Permitted Uses

	Village Center VC
Day care (§ 9-5.3817 and 9-5.3818)	U
Public safety facility	U
Public use-Fire, police, library, other civic building	P
Satellite antenna	A
School, public or private	U
Open space	P
Trail/Trailhead facilities	P
Community Garden	P
Storm Drainage facilities	P
Resource protection / restoration	P
Art/Antique/Artisan store	P
Bakeries—retail	P
Bank and financial services	P
Bar (§ 9-5.3831)	U
Barber & beauty shop	P
Catering services	P
Clothing store	P
Communication facility	P
Confectionary store	P
Day care facility	U
Drive-up window (all uses)	U
Drug store/pharmacy	P

	Village Center VC
Dry cleaner/laundry- self serve and pick-up	P
Florist shop	P
Convenience store	U
Neighborhood food market	P
Furniture, furnishings and appliance store	P
Gift shop	P
Hardware store	P
Health club/fitness center	P
Hotel/motel	U
Jewelry store	P
Parking lot (commercial) (§ 9-5.3837)	A
Offices- business and professional	P
Offices- medical/dental	P
Pet store, animal grooming, sales	P
Restaurant- general	P
Restaurant- fast food	U
Restaurant- with outdoor food service and seating	P
Restaurant- take out and delivery	P
Restaurant- with bar and live entertainment	U
Retail- general and specialty	P
Studios- dance/martial arts/yoga	P
Theater	P
Removal of earth (§§9-5.3822)	A

	Village Center VC
Sales, leasing office and trailers	A
Temporary construction building and uses (§§ 9-5.3821)	A
Outdoor display of merchandise (in conjunction with a non-residential use)	A
Special outdoor events (§§ 9-5.3828 and 9-5.3831)	A
Christmas tree and pumpkin sale lots (§ 9-5.3829)	A

P - Permitted U - Use Permit required A - Administrative Permit required

§ 9-5.4204 Public Uses

A. Public Use Zone (PQ)

I. Purpose and application

This zone is to provide for the establishment of public and quasi-public uses, such as safety facilities, utilities, local government offices/facilities and other similar uses. The intent of this zone is to identify appropriate locations for these uses without impacting, disrupting, or otherwise removing other lands for residential or other uses.

(a) PO-Fire Station

This designation is to accommodate a future fire station to serve The Ranch and surrounding neighborhoods, in coordination with the Antioch Fire Department.

(b) PO-Trail Staging Area

This designation is to accommodate a parking lot and regional trail staging area to serve the greater Antioch community.

2. Property Development Standards

N/A

3. Permitted Uses

	Public Use PQ
Public safety facility and other civic building	P
Satellite antenna	A
School, public or private	A
Open space	P
Parks, public and private	P
Trail/Trailhead facilities	P
Community Garden	P
Storm Drainage facilities	P
Resource protection / restoration	P
Parking lot (commercial) (§ 9-5.3837)	U
Removal of earth (§§9-5.3822)	A
Temporary construction building and uses (§§ 9-5.3821)	A
Special outdoor events (§§ 9-5.3828 and 9-5.3831)	A
Christmas tree and pumpkin sale lots (§ 9-5.3829)	A

P - Permitted U - Use Permit required A - Administrative Permit required

§ 9-5.4205 Open Space Uses

A. Open Space / Recreation Zones

I. Purpose and application

This category is to provide for the establishment of open space areas to protect natural resources, provide stormwater drainage, to create parks for recreation and community gathering and key landscape areas to provide community enhancement and connectivity.

(a) P-Park

This zone is intended to provide locations for parks. Parks of varying sizes and shapes are provided to meet neighborhood recreation needs, such as informal playing or gathering, strolling, and engaging in active sports. Facilities for private recreation are also provided within the park for the age-restricted community.

(b) OS-Open Space

Open space zoning is applied to the natural resources within the project area, including Sand Creek and its associated seasonal wetlands, swales, marshes, grasslands and other areas of natural vegetation. Stormwater drainage facilities, including detention basins, also occur in the OS zone.

(c) Landscape

This zone is intended to reserve key areas for major landscape corridors to enhance the Project along Deer Valley Road and provide internal connectivity between neighborhoods and parks.

(d) Trails

This zone is intended to provide trails throughout the community to enhance overall mobility and recreation by linking residents to parks, community amenities, and natural open space.

2. Property Development Standards

N/A

3. Permitted Uses

	Open Space OS
Public safety facility	U
Public use-Fire, police, library, other civic building	U
Open space	P
Parks, public and private	P
Trail/Trailhead facilities	P
Community Garden	P
Storm Drainage facilities	P
Resource protection / restoration	P
Removal of earth (§§9-5.3822)	A
Temporary construction building and uses (§§ 9-5.3821)	A
Christmas tree and pumpkin sale lots (§ 9-5.3829)	A

P - Permitted U - Use Permit required A - Administrative Permit required

A.2 SUPPLEMENTAL INFORMATION

This section is intended to provide supplemental information with regard to the lot standards, supported by character images and lot configuration diagrams. Should there be any discrepancies between this section and Section A.1, the standards in Section A.1 shall prevail.

A.2.1 LD LOT STANDARDS

A.2.1.1 8,000+ sqft. Lots

8,000+ sqft. Lots Development Standards	
Lot Dimensions	
(a) Width, interior	65' min.
(b) Width, corner	70' min.
(c) Lot depth	100' min.*
Setbacks	
(d) Front, living space	15' min.
(e) Front, garage door	18' min.
(f) Front, garage side	12' min.
(g) Front, porch	10' min.
(h) Sides, interior	5' min.
(i) Sides, street corner	10' min.
(j) Side porch, street corner	8' min.
(k) Rear	20' min.**
Height	40' max.

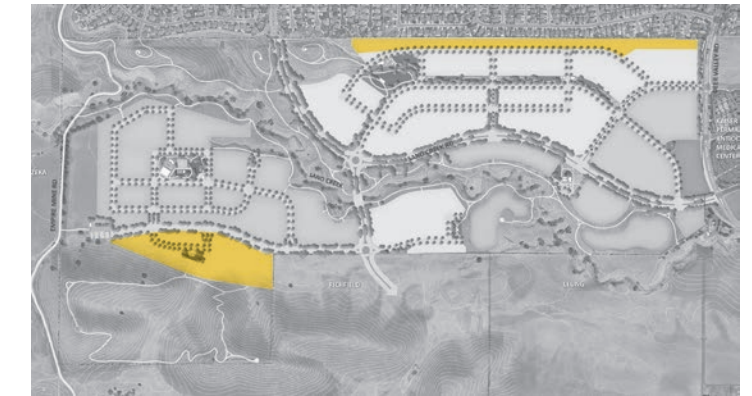
* 130' minimum lot depth shall apply to the northern edge of LD-3 neighborhood.

** 35' minimum rear setback shall apply to the northern edge of LD-3 neighborhood.

Figure I-3: 8,000+ Lots Development Standards

Applicable Areas:

- LD-1 Executive Neighborhood
- Northern edge of LD-3 Neighborhood



KEYMAP



Note: Development Standards provided in this section generally apply to the residential areas highlighted in the associated keymap. Lots in these areas may deviate from the average lot size and setback dimensions, and are subject to different standards upon further plan refinements.

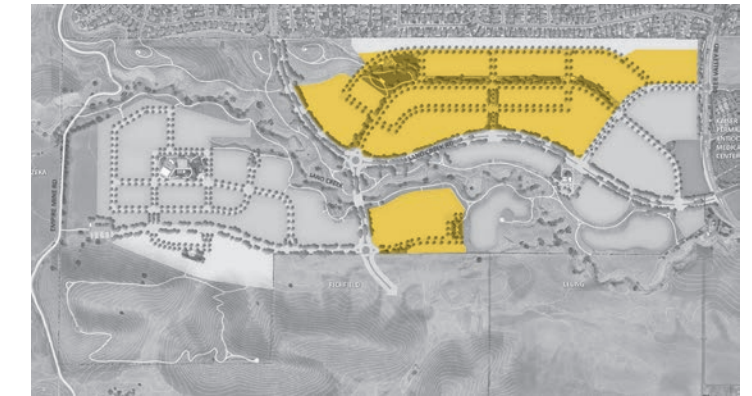


A.2.1.2 Average 7,000 sqft. Lots

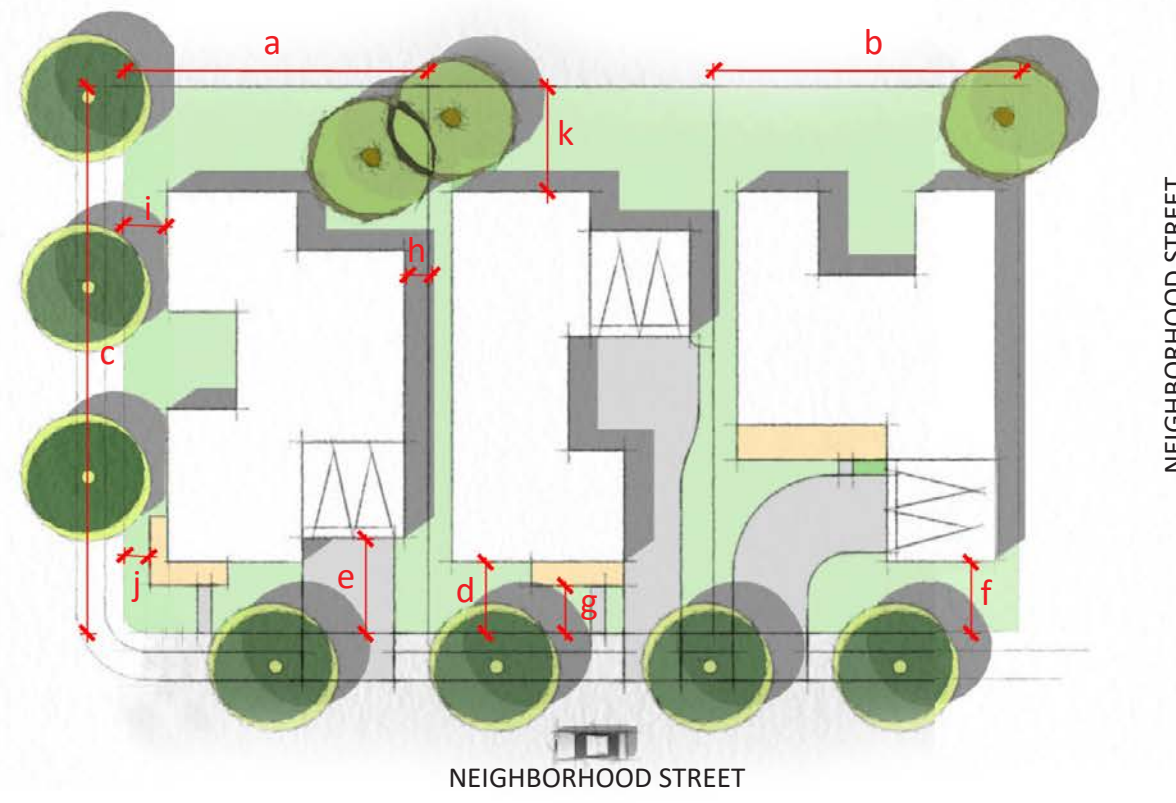
Figure I-4: 7

Applicable Areas:

- LD-2 Executive Neighborhood
- LD-3 Neighborhood (except northern edge)



KEYMAP



Av. 7,000 sqft Lots Development Standards*	
Lot Dimensions	
(a) Width, interior	50' min.
(b) Width, corner	55' min.
(c) Lot depth	90' min.
Setbacks	
(d) Front, living space	15' min.
(e) Front, garage door	18' min.
(f) Front, garage side	12' min.
(g) Front, porch	10' min.
(h) Sides, interior	5' min.
(i) Sides, street corner	10' min.
(j) Side porch, street corner	8' min.
(k) Rear	20' min.
Height	35' max.

Note: Development Standards provided in this section generally apply to the residential areas highlighted in the associated keymap. Lots in these areas may deviate from the average lot size and setback dimensions, and are subject to different standards upon further plan refinements.



* Minimum lot size shall be no less than 5,000 sqft.

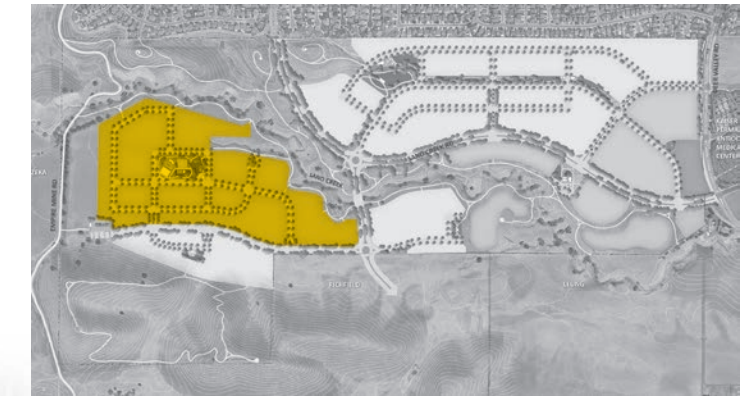
A.2.2 AR LOT STANDARDS

A.2.2.1 Average 5,000 sqft. Lots

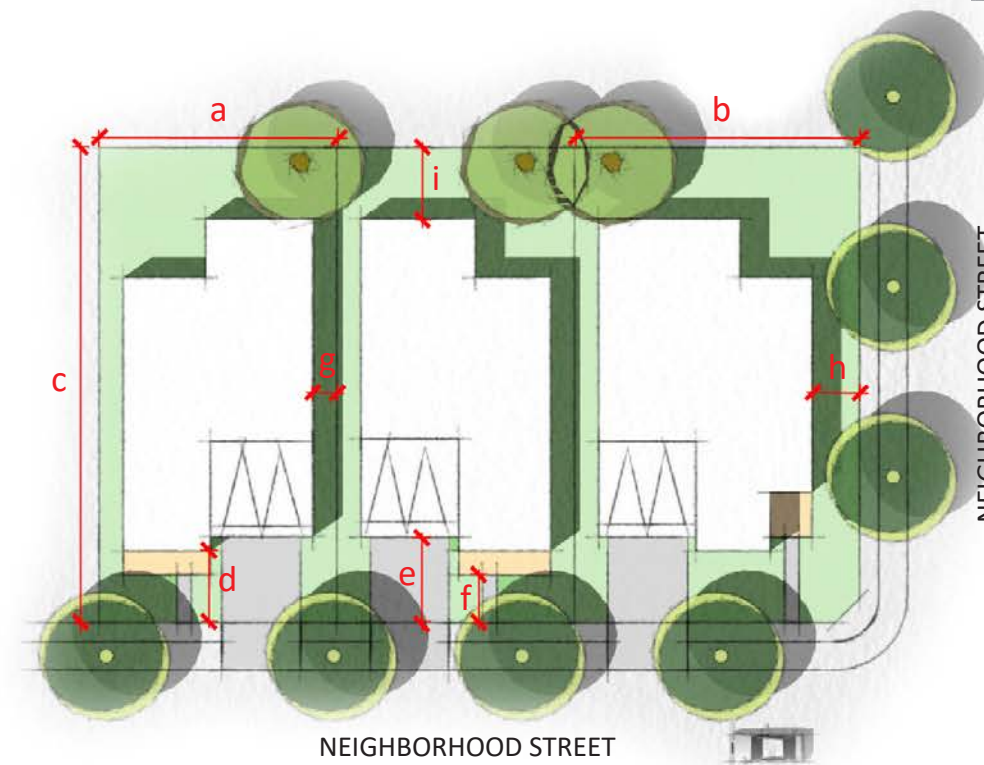
Figure I-5: 5,000

Applicable Areas:

- Active Adult Neighborhood (AA)



KEYMAP



Note: Development Standards provided in this section generally apply to the residential areas highlighted in the associated keymap. Lots in these areas may deviate from the average lot size and setback dimensions, and are subject to different standards upon further plan refinements.

Av. 5,000 sqft Lots Development Standards	
Lot Dimensions	
(a) Width, interior	45' min.
(b) Width, corner	50' min.
(c) Lot depth	90' min.
Setbacks	
(d) Front, living space	15' min.
(e) Front, garage door	18' min.
(f) Front, porch	10' min.
(g) Sides, interior	4' min.
(h) Sides, street corner	8' min.
(i) Rear	15' min.
Height	28' max.



A.2.3 MD LOT STANDARDS

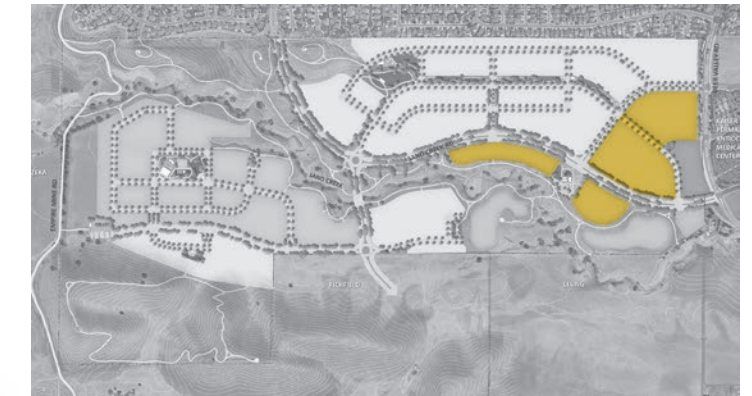
The MD zone is assigned to 4 different areas on the Land Use Plan, however the lot type is not specified. Four possible configurations are provided, as follows. The lot type for the MD zone will be determined in the future at the time of the Tentative Subdivision Map.

A.2.3.1 Average 4,500 sqft. Lots

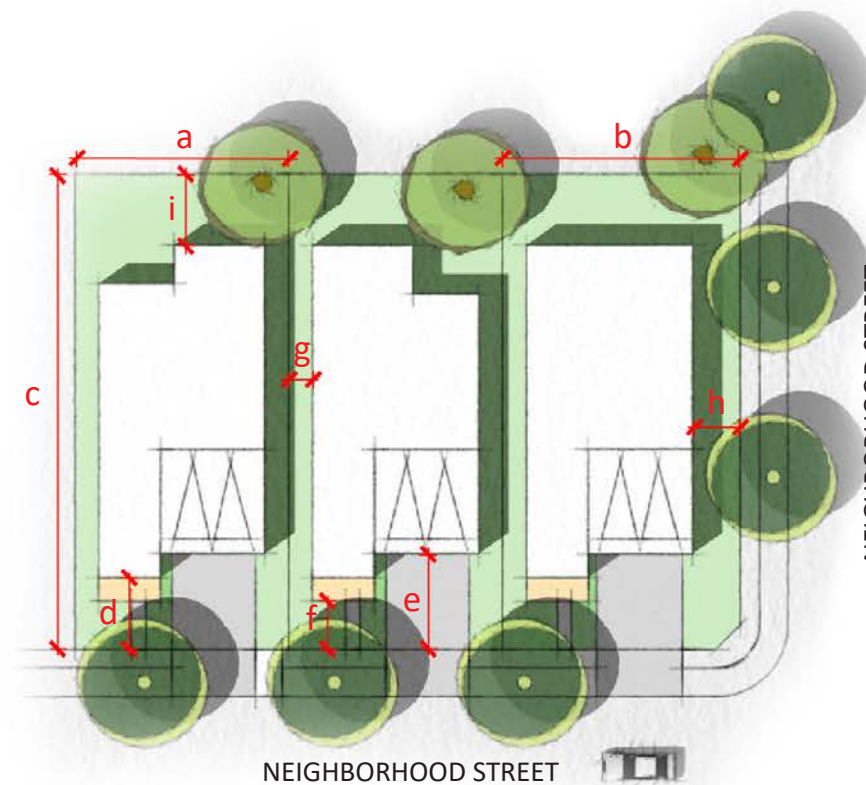
Figure I-6: 4,500

Applicable Areas:

- Medium Density Neighborhood (MD)



KEYMAP



Note: Development Standards provided in this section generally apply to the residential areas highlighted in the associated keymap. Lots in these areas may deviate from the average lot size and setback dimensions, and are subject to different standards upon further plan refinements.

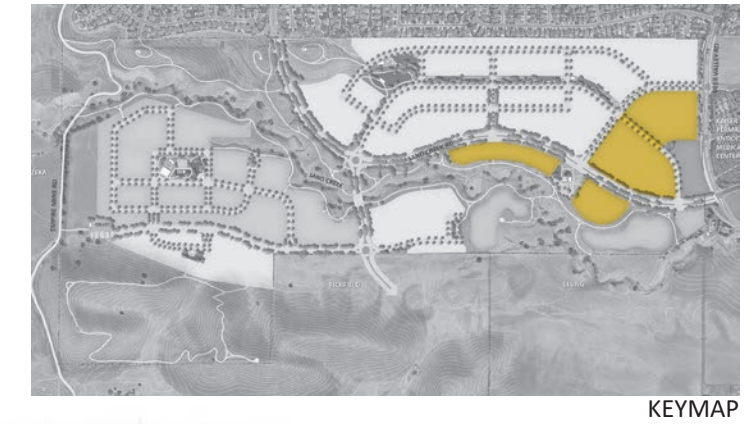
Av. 4,500 sqft Lots Development Standards	
Lot Dimensions	
(a) Width, interior	45' min.
(b) Width, corner	50' min.
(c) Lot depth	90' min.
Setbacks	
(d) Front, living space	15' min.
(e) Front, garage door	18' min.
(f) Front, porch	10' min.
(g) Sides, interior	4' min.
(h) Sides, street corner	8' min.
(i) Rear	15' min.
Height	35' max.



**A.2.3.2 Greencourt Lots
(Average 4,200 sqft.)**

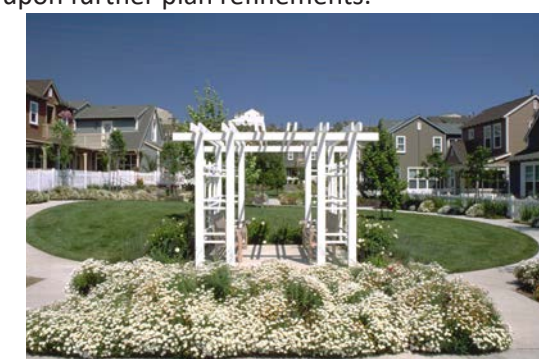
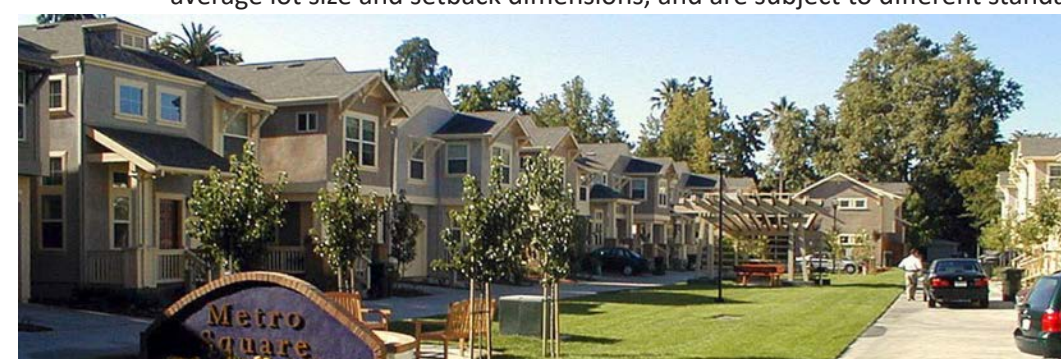
Figure I-7: Greencourt Lots Development Standards

- Applicable Areas:
- Medium Density Neighborhood (MD)



Greencourt Lots Development Standards	
Lot Dimensions	
(a) Width, interior	40' min.
(b) Width, street corner	45' min.
(c) Lot depth	90' min.
Setbacks	
(d) Front, living space	10' min.
(e) Front, porch	5' min.
(f) Sides, interior	4' min.
(g) Sides, street corner	8' min.
(h) Rear, garage door	4' min.
Height	35' max.

Note: Development Standards provided in this section generally apply to the residential areas highlighted in the associated keymap. Lots in these areas may deviate from the average lot size and setback dimensions, and are subject to different standards upon further plan refinements.



A.2.3.3 T-court Cluster (Average 4,200 sqft.)

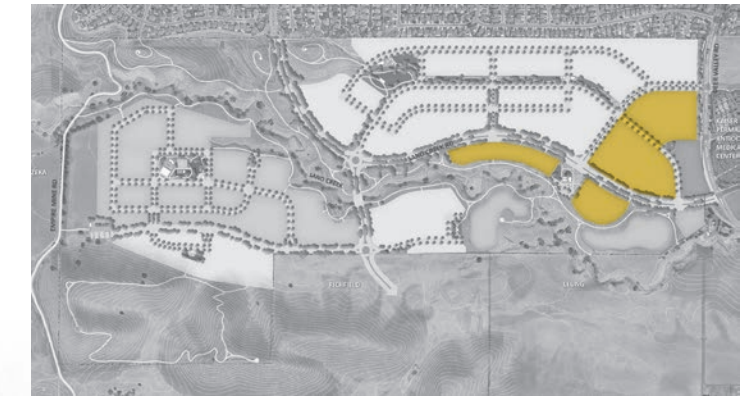
T-court Cluster Development Standards	
Lot Dimensions	
Refer to Figure A-8 for typical lot dimensions	
Setbacks	
Streetside Lots	
(a) Front, living space	12' min.
(b) Front, porch	8' min.
(c) Drive aisle side, living space*	5' min.
(d) Drive aisle side, garage*	18' min.
(e) Side / rear	5' /10' min.
Rear Corner Lots	
(f) Front, living space & porch	8' min.
(g) Front, garage	18' min.
(h) Side & rear	5' /10' min..
Rear Center Lot	
(i) Front, living space*	8' min.
(j) Front, porch*	5' min.
(k) Front, garage*	18' min.
(l) Side & rear	6' min.
Height	35' max.

*Setback distance measured from the edge of the drive aisle.

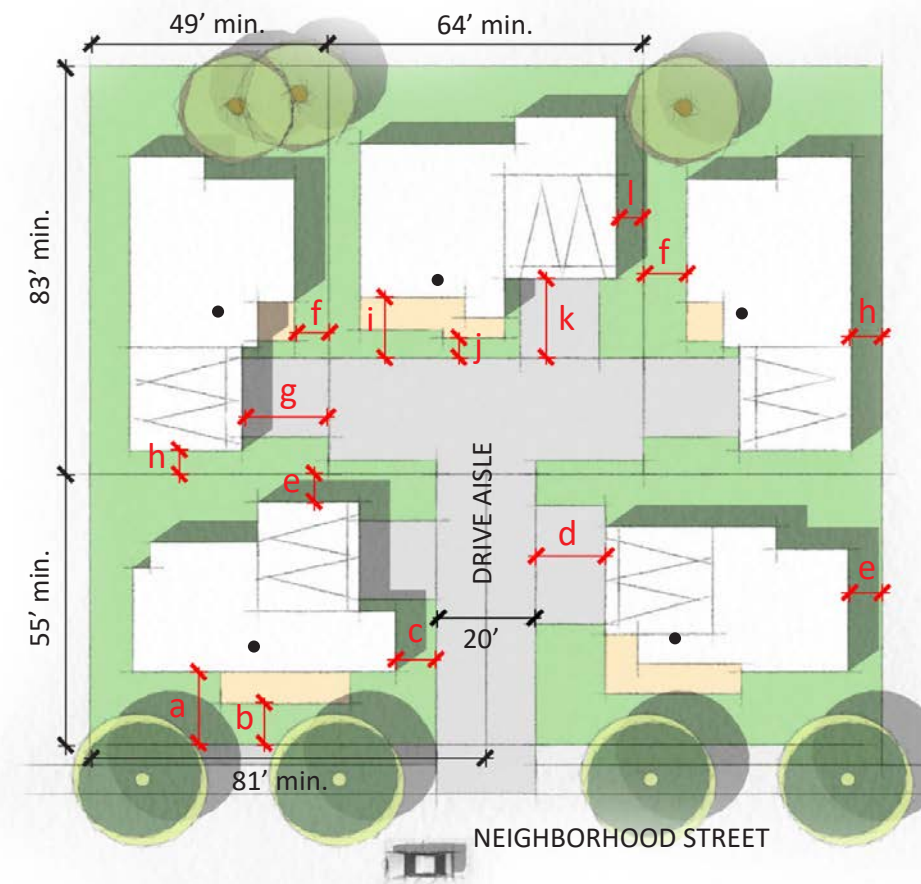
Figure I-8: T-court Cluster Development Standards

Applicable Areas:

- Medium Density Neighborhood (MD)



KEYMAP



Note: Development Standards provided in this section generally apply to the residential areas highlighted in the associated keymap. Lots in these areas may deviate from the average lot size and setback dimensions, and are subject to different standards upon further plan refinements.



**A.2.3.4 Private Lane Lots
(Average 4,000 sqft.)**

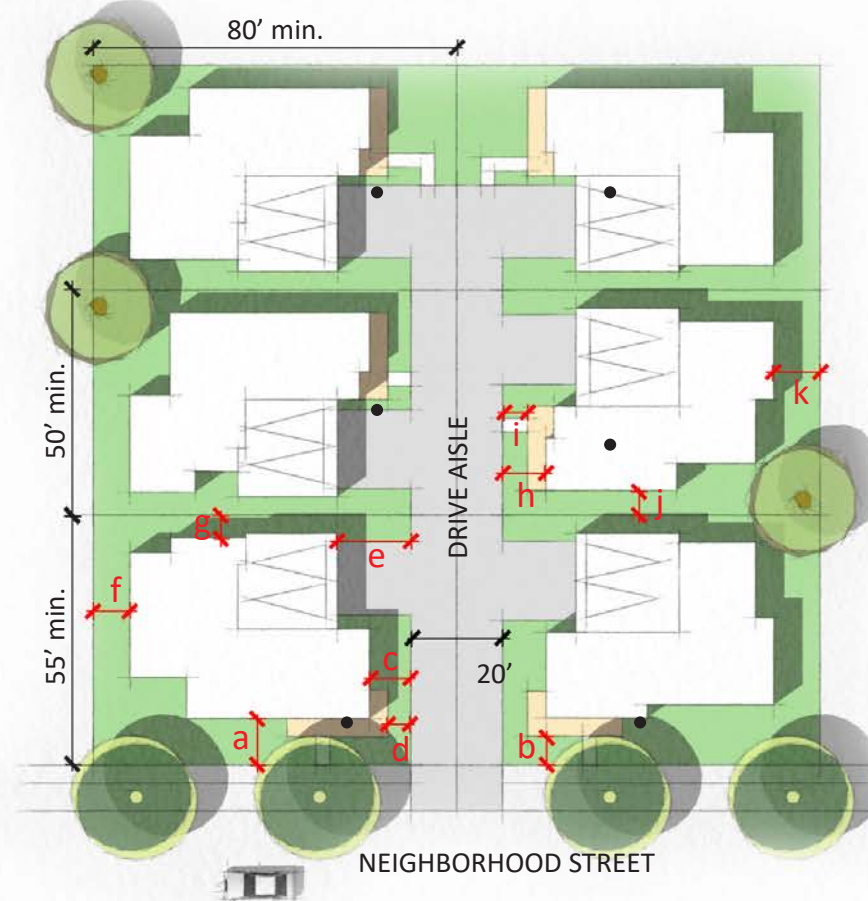
Private Lane Lots Development Standards	
Lot Dimensions	
Refer to Figure A-9 for typical lot dimensions	
Setbacks	
Streetside Lots	
(a) Front, living space	10' min.
(b) Front, porch	5' min.
(c) Drive aisle side, living space*	6' min.
(d) Drive aisle side, porch*	5' min.
(e) Drive aisle side, garage*	18' min.
(f) Side	10' min.
(g) Rear	5' min.
Internal Lots	
(h) Front, living space*	5' min.
(i) Front, porch*	5' min.
(j) Side	5' min.
(k) Rear	10' min.
Height	35' max.

*Setback distance measured from the edge of the drive aisle.

Figure I-9: Private Lane Lots Development Standards

Applicable Areas:

- Medium Density Neighborhood (MD)



Note: Development Standards provided in this section generally apply to the residential areas highlighted in the associated keymap. Lots in these areas may deviate from the average lot size and setback dimensions, and are subject to different standards upon further plan refinements.



KEYMAP

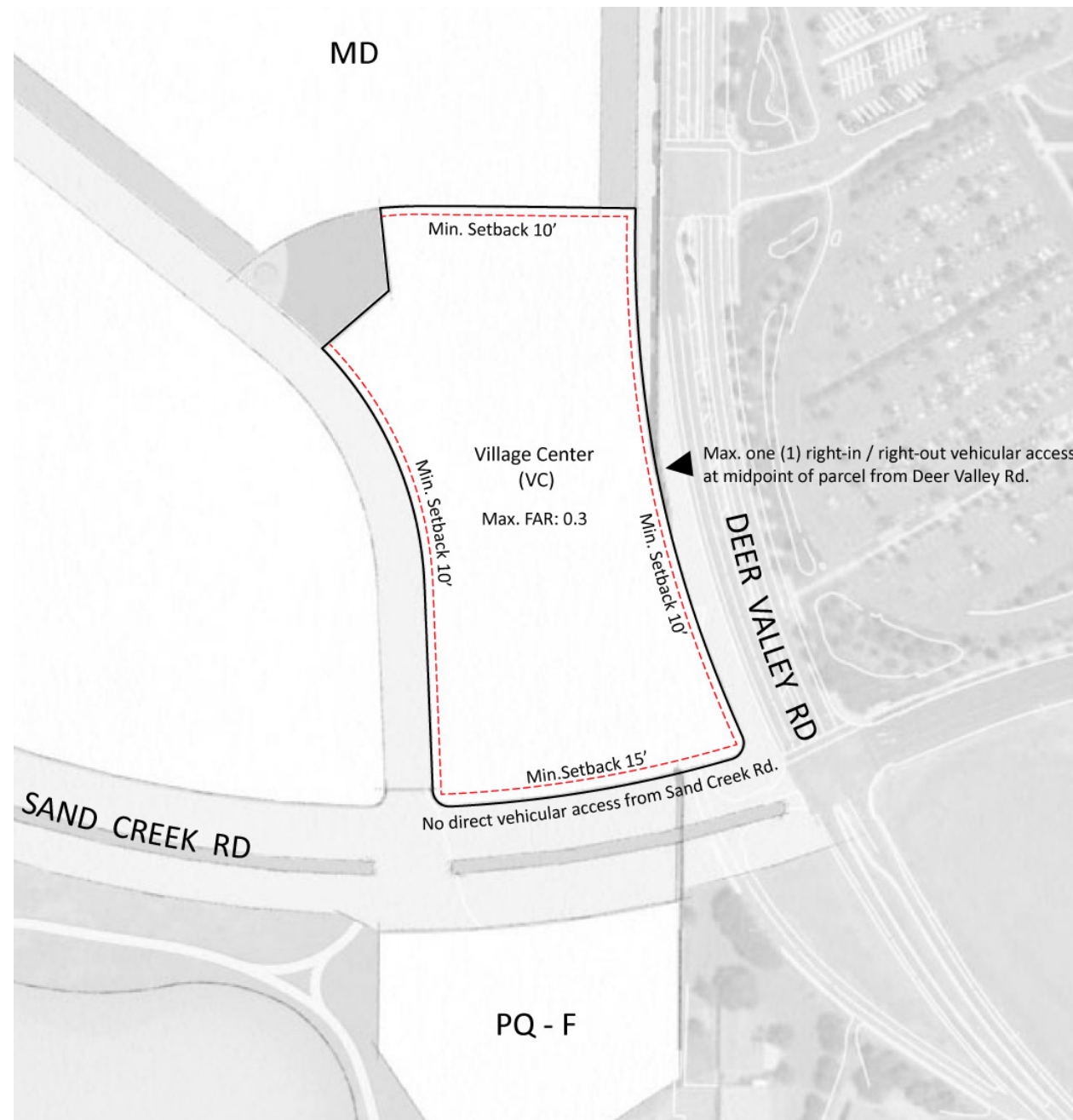
A.2.4 COMMERCIAL DEVELOPMENT STANDARDS

	VC Village Center
Maximum floor area ratio (FAR)	0.35
MINIMUM BUILDING SETBACKS	
From Deer Valley Road	10'
From Sand Creek Road	15'
From local street	10'
Interior	0'
MAXIMUM BUILDING HEIGHTS	
Main building	35'
Towers/feature structure	50'
PARKING	
General commercial uses	1 space/285 s.f.
Banks, professional or medical offices	1 space/250 s.f.
General restaurant/lounge or bar including any outdoor seating	1 space/3 seats
Take out only/no seating	1 space per employee on largest shift

Footnotes:

1. The maximum non-residential intensity allowed in the Village Center Commercial zone is defined as the floor area ratio (FAR), which is the ratio of total net floor area of a building to the total lot area.

Figure I-10: Village Center Development Standards



KEYMAP

A.2.5 GENERAL DEVELOPMENT STANDARDS

The development standards for all residential zones are provided in Table 4-3. In addition, the following standards shall apply.

A.2.5.1 Parking

Two spaces in an enclosed garage shall be provided for each residential unit. If streets abutting the residential units do not provide on-street parking, guest parking shall be provided at a rate of 1 space per 5 residential units.

A.2.5.2 Recreational Vehicle Storage

Recreational vehicle storage on residential lots is not required, however provision of wider lots to facilitate recreational vehicle parking on side yards may be encouraged. Zoning Code section 9.5.1718 is not applicable to The Ranch.

A.2.5.3 Driveway Slopes

The maximum slope of residential driveways is 15%.

A.2.5.4 Grading Standards

The following grading standards may be applicable to the LD-1 and LD-3 neighborhoods, where the lots abut the existing hills or sloped land forms. The grading and lotting design of these neighborhoods shall be sensitive to existing terrain, to the extent feasible. The configuration of the LD-1 neighborhood boundaries were carefully considered to minimize the amount of grading necessary. Final lotting and grading plans shall conform to the following standards:

- a. All grading and development should use a “landform grading” approach, whereby the terrain can be graded or modified, but the

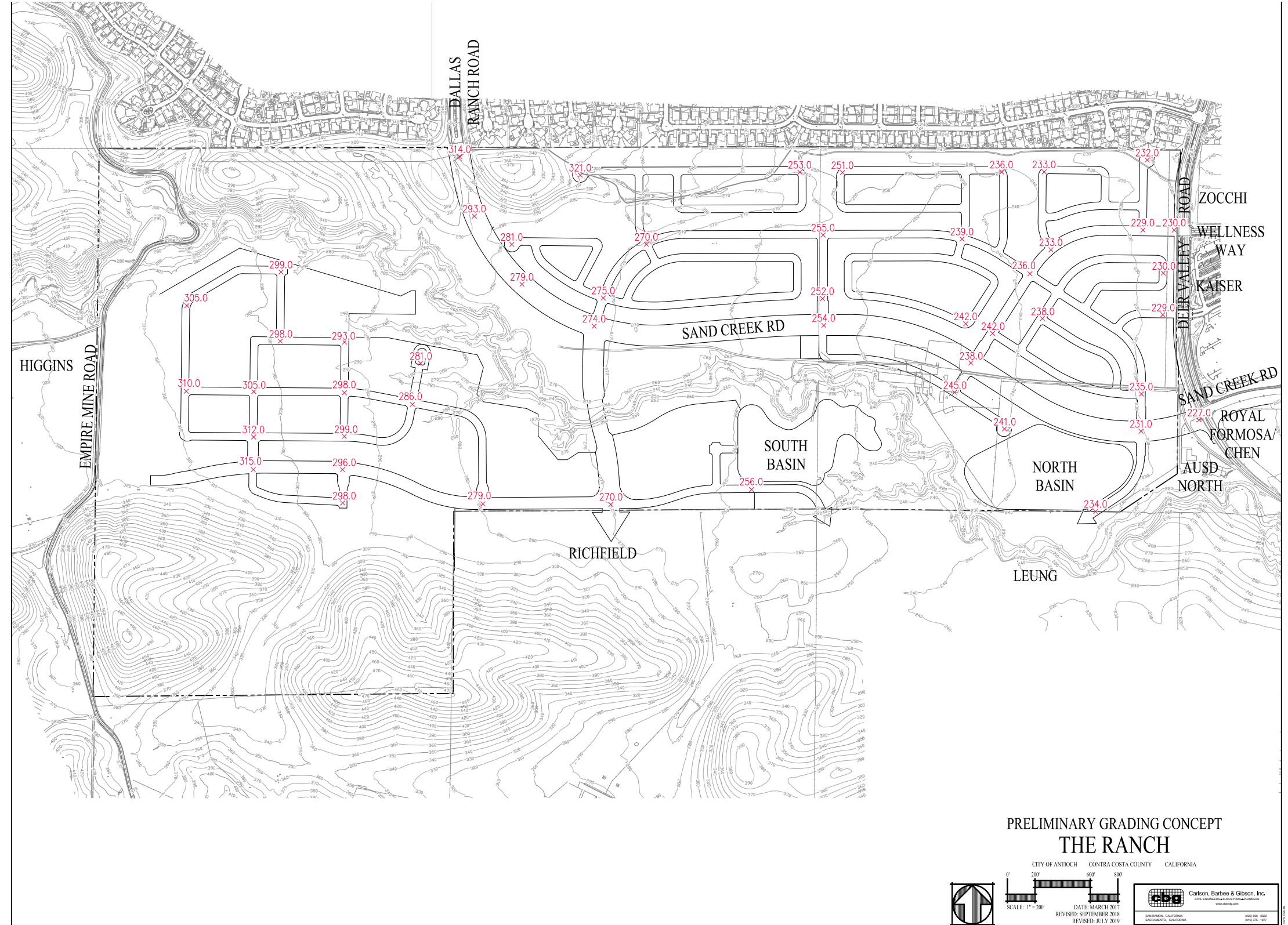
final appearance should be that of a natural hillside with organic contours, curving topography, and natural plantings.

- b. Grading will have a general slope of 3' horizontal to 1' vertical (3:1), with a maximum slope of 2:1.
- c. Graded pads should include a mixture of flat pads and sloping pads.
- d. The maximum street slope shall be 15%.
- e. Storm runoff from the adjacent open space slopes will be collected and routed to avoid having it enter a private, flat pad residential lot. Storm runoff from the open space slopes may enter the private, sloped pad residential lots.
- f. A typical individual retaining wall height of 6' maximum is recommended. Multiple stepped retaining walls are allowable.
- g. Disturbed slopes shall be treated with native grasses or similar treatment to avoid run-off or erosion. The planting of oak trees and other native plants is encouraged.

C. CONCEPTUAL GRADING PLAN

The Ranch has a natural gradient of approximately 1% from west to east, with the valley floor falling from elevation 320 near Empire Mine Road to elevation 230 at Deer Valley Road. The Ranch project generally contemplates traditional padded lots with streets following the general contour of the site. Moderate cuts and fills in the flatter portions of the site of 5-10' are anticipated. All slopes will have a maximum gradient of 2' horizontal to 1' vertical (2:1).

Figure I-11: Conceptual Grading Plan for the Overall Project



D. INFRASTRUCTURE PLAN

D.I UTILITIES

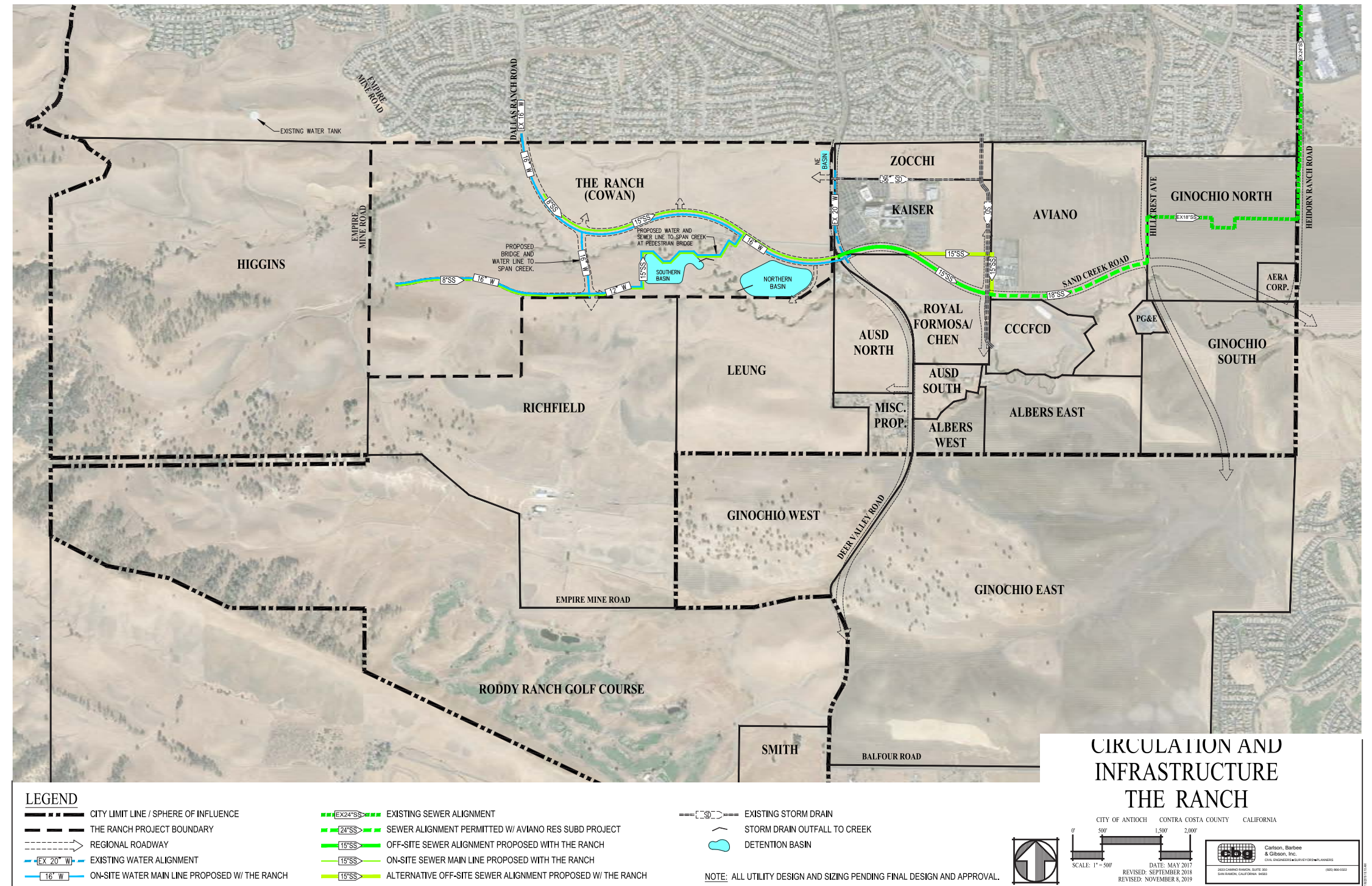
The City of Antioch will provide all sanitary sewer, potable water, and storm drain utility service for The Ranch project site.

Sanitary sewer flows will be collected in sewer pipes ranging in size of 8" to 15", flowing from west to east. Sanitary sewer flows from south of Sand Creek will be conveyed in a sewer pipe spanning over Sand Creek to avoid very deep sewer going under the creek. All sewer flows are collected at the intersection of Sand Creek Road and Deer Valley Road and conveyed eastward along the alignment of Sand Creek Road to the existing 24" sanitary sewer pipe in Heidorn Ranch Road near the EBMUD crossing.

The Ranch is situated in the Zone IV water pressure zone. The Ranch is served by the existing water tank located to the northwest of the project site and an existing 20" water line in Deer Valley Road. The project will provide for looped water connections with a 16" main line being routed along the alignment of Dallas Ranch Road for the northern half of the project and two waterline creek crossings to serve the southern portion of the project. The need for any additional water improvements will be determined through the CEQA process for the site.

Storm drainage for The Ranch project flows from west to east. Drainage runoff will be captured in a network of storm drain pipes ranging in size from 12" to 72" and will be directed to two main detention basins on either side of Sand Creek. These basins will provide detention to mitigate the increased flows back to predevelopment conditions, as well as provide water quality treatment consistent with the current C.3 requirements. Two new storm drain outfalls will be constructed into Sand Creek.

Figure I-12: Infrastructure Diagram



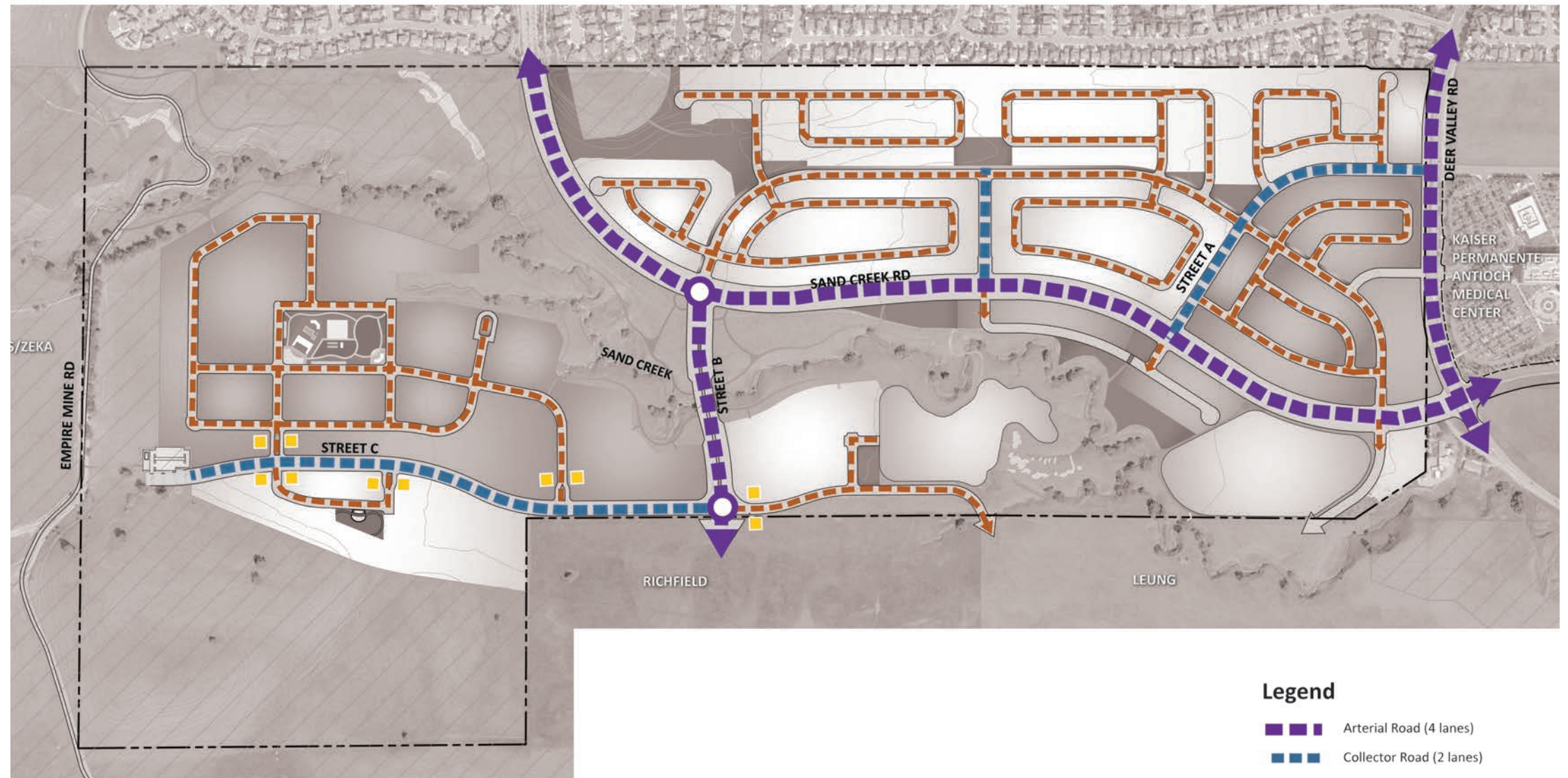
D.2 VEHICULAR CIRCULATION

The Ranch will include 4-lane arterial roads; 2-lane collector roads with no on-street parking; 2-lane local roads with on-street parking; and private lanes / alleys to service the medium density residential parcels where applicable.

Sand Creek Road serves as the primary access into The Ranch, and it will have limited intersections respecting the larger regional role that it serves within the City of Antioch. However, slightly slower design speeds and signalized intersections are proposed between Deer Valley Road and the roundabout to allow for safer pedestrian access to the Sand Creek open space lands from the neighborhoods to the north. A second roadway from Deer Valley Road at Wellness Way will enter the Ranch allowing for easier access into the northern neighborhoods. Several different edge conditions are presented along the length of Sand Creek Road through The Ranch in Chapter 4 Neighborhood Guidelines. A sound wall may be required in lieu of a private yard fence in some locations pending noise studies performed as part of the project Environmental Impact Report (EIR).

All of the neighborhoods south of Sand Creek may have gated entries controlling access.

Figure I-13: Overall Circulation Diagram



Note: Neighborhood access points, roundabouts, and local roadways are illustrated for conceptual purposes. Final locations and alignments, as well as individual street sections, will be determined at the time of the Tentative Maps.

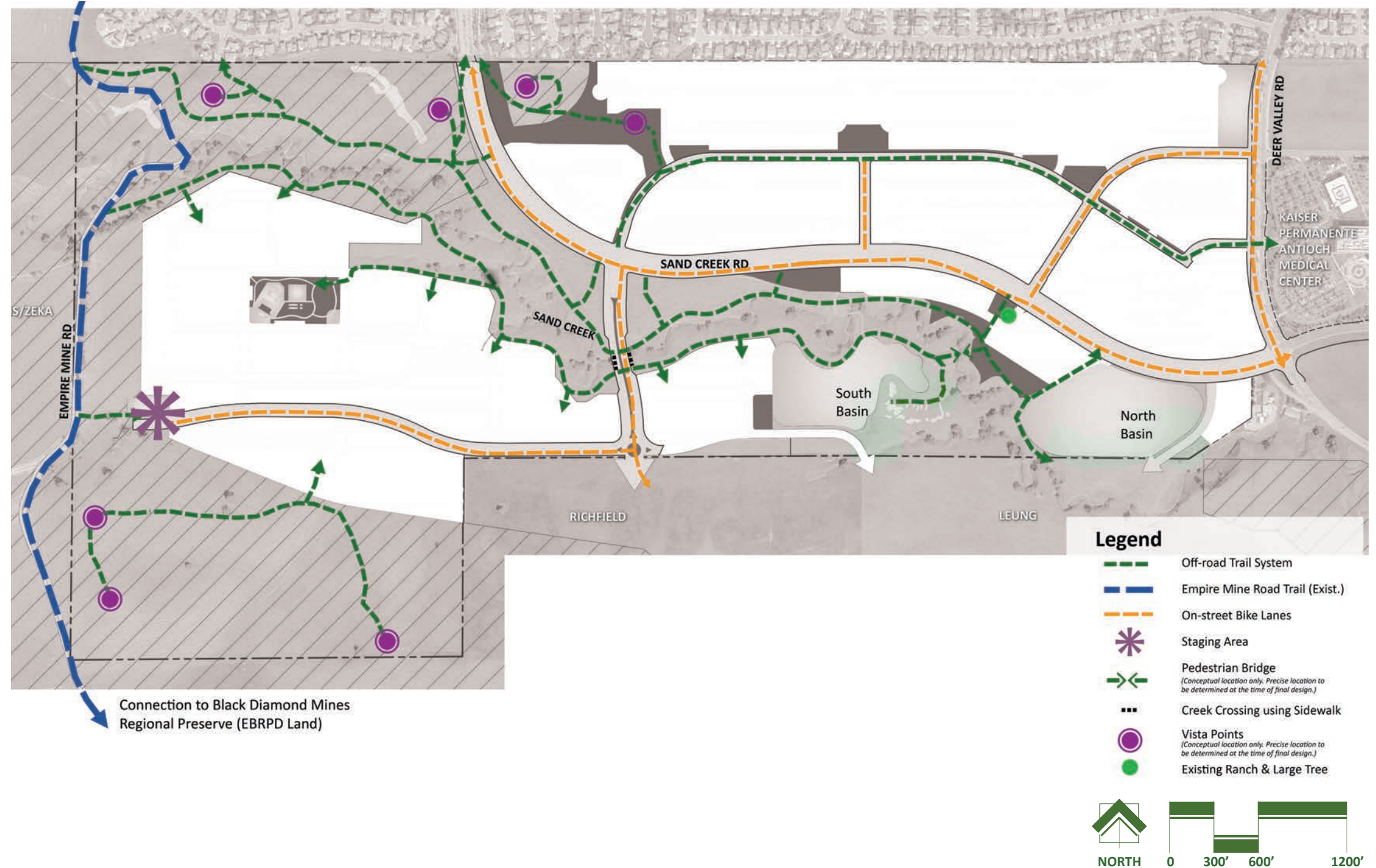
Note: Street B is shown at its maximum possible dimensions to accommodate up to a four lane arterial road. Depending on the ultimate buildout of FUA 1 and the traffic study, only two lanes may be needed to support The Ranch's construction.

D.3 EXTENSIVE PEDESTRIAN & BIKE NETWORK

An important component of The Ranch is the planned trail system of approximately 7 miles, linking the neighborhoods to off-site destinations. Of the 7 miles, approximately 5.5 miles of trails lie within the open space, and the rest in parks and landscape corridors. Utilizing the Sand Creek corridor, pedestrian/cycling trails will connect homes, parks, and village center uses on the eastern end of the property to Empire Mine Road on the western boundary. A staging area will be located in proximity to Empire Mine Road, connecting to EBRPD lands. Trails will allow residents to hike not only in the Sand Creek corridor, but also on the ridgelines in the north and southwest hills affording views of greater Antioch to the north and northeast and Mt. Diablo to the southwest. Typical sections of the trails are provided in Chapter 5, Landscape Guidelines.

Figure 3-4 illustrates the overall system of pedestrian and bicycle network. Vista point locations, trails, and bridge locations are subject to change with the final development plan and regulatory permitting process.

Figure I-14: Pedestrian & Bike Network Diagram



E. OPEN SPACE GUIDELINES

OPEN SPACE TRAIL TYPES

There are approximately 5.5 miles of trails included within the open space. Most of the trails have been designed for multiple modes of transportation including walking, running, cycling, and blading/skateboarding. Trails will connect parks, neighborhoods, village center, and open spaces within The Ranch, and also off-site destinations such as Kaiser Permanente and the East Bay Regional Park District. Sand Creek crossings for pedestrians and cyclists will be provided through a narrow, non-vehicular bridge near Homestead Park in the east; on the sidewalk and in the bike lane along Street B in the middle of the property; and utilizing Empire Mine Road on the western end.

Exact locations and number of program elements to be included in the open space will be determined at a future date.

Figure I-15: Open Space Corridor Trail Types

