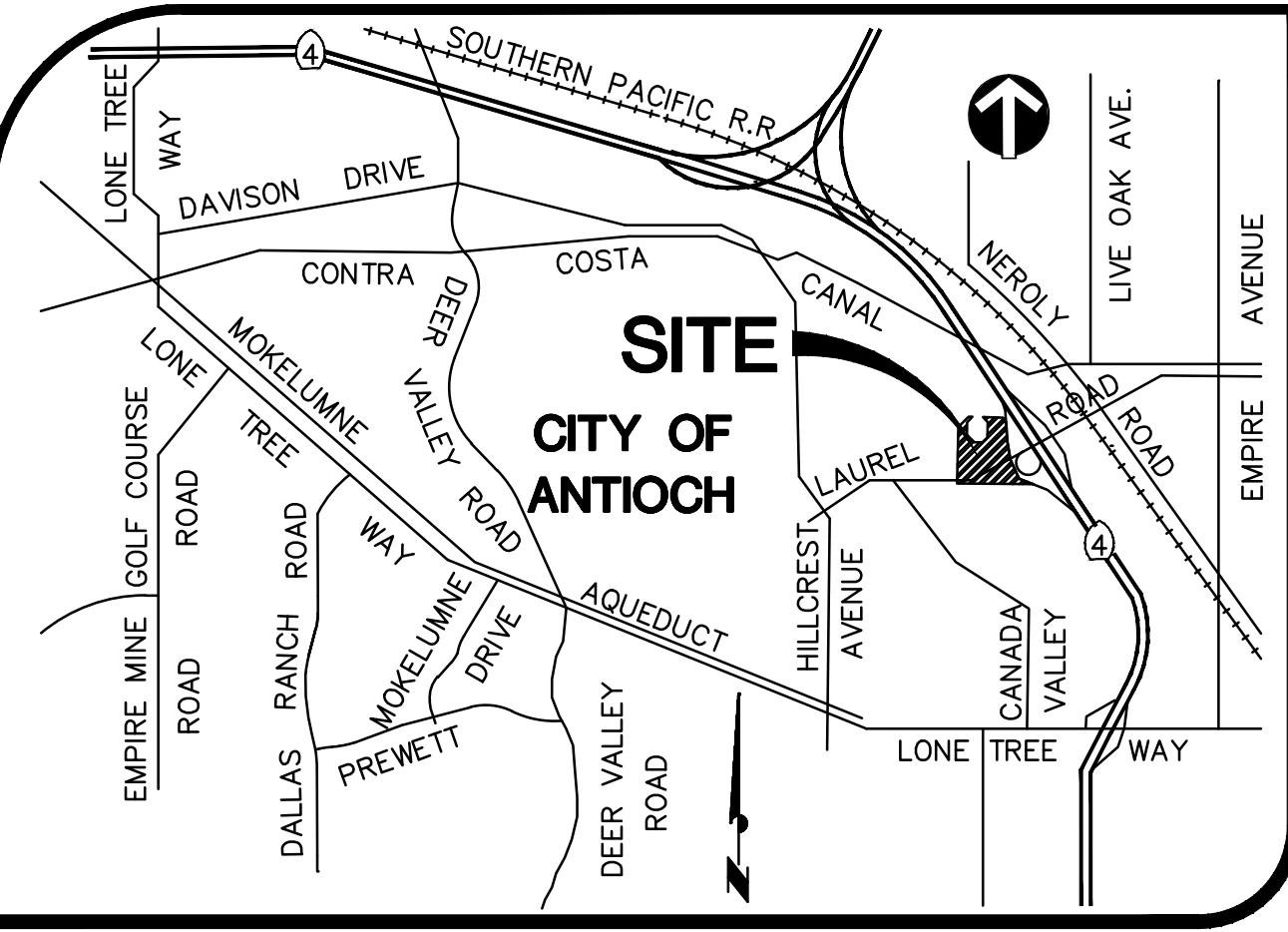
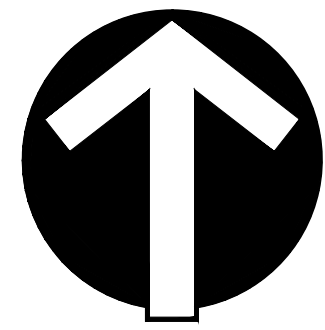


FINAL DEVELOPMENT PLAN VESTING TENTATIVE MAP LAUREL RANCH SUBDIVISION 8741



VICINITY MAP
NO SCALE



NOT TO SCALE

NOTES

- OWNER: STRACK FARMS LAND, LLC
3161 MICHELSON DRIVE SUITE #425
IRVINE CA 92612
- APPLICANT: RICHLAND PLANNED COMMUNITIES
801 YONACIO VALLEY ROAD, SUITE #110
WALNUT CREEK, CA 94596
(925) 271-0675
CONTACT: AARON ROSS-SWAN
- CIVIL ENGINEER: dk CONSULTING
1931 SAN MIGUEL DRIVE SUITE # 100
WALNUT CREEK, CA 94596
(925) 932-6868
CONTACT: ANDY PALFFY
- TOPOGRAPHY: BY: AMERICAN AERIAL MAPPING, INC.
FLOWN: OCTOBER 13, 2013 CONTOUR INTERVAL: 2'-FOOT
NOTE: CONTOURS SHOWN UNDER BRUSH/TREES MAY NOT BE ACCURATE.
SUPPLEMENTAL SURVEY: BY DK CONSULTING - JULY 2014
- PARCEL NUMBERS: 053-060-031
EXISTING ZONE: P-D, S-P
PROPOSED ZONE: PD
GENERAL PLAN: LOW DENSITY RESIDENTIAL 4 DU/AC, FOCUS AREA
EXISTING USE: VACANT
PROPOSED USE: RESIDENTIAL/COMMERCIAL
NUMBER OF UNITS: 180
SITE ACREAGE: 53.7 ± ACRES
EXISTING CONTOURS: 2' INTERVAL
PROPOSED CONTOURS: 2' INTERVAL
FEMA: ZONE X (MAP 06013C0355F-JUNE 16, 2009)
- UTILITIES & SERVICES:
PROPOSED WATER SUPPLY: CITY OF ANTIOCH
PROPOSED SEWER SUPPLY: CITY OF ANTIOCH
GAS & ELECTRIC: PACIFIC GAS AND ELECTRIC
TELEPHONE: AT&T
FIRE DEPARTMENT: CONTRA COSTA COUNTY FIRE PROTECTION DISTRICT
CABLE: COMCAST
- DEVELOPER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS.
 - PROPOSED STREETS NORTH OF LAUREL ROAD ARE PRIVATE STREETS TO BE OWNED AND MAINTAINED BY THE LAUREL RANCH HOMEOWNERS' ASSOCIATION. PUBLIC ACCESS AND UTILITIES EASEMENT ENCOMPASSES RIGHT-OF-WAY.
 - LOT DIMENSIONS ARE APPROXIMATE AND ARE SHOWN TO THE NEAREST ONE FOOT. LOT AREAS ARE APPROXIMATE. PAD & SPOT ELEVATIONS ARE ACCURATE TO NEAREST HALF FOOT BUT ARE SHOWN TO THE NEAREST ONE TENTH FOOT.

LEGEND

DESCRIPTION	PROPOSED	EXISTING
SUBDIVISION BOUNDARY	—	—
RIGHT OF WAY	—	—
FACE OF CURB	—	—
PROPERTY LINES	—	—
CONTOUR LINES	—10—	—110—
LOT LINE ADJUSTMENT	—	—
PUE	—	—
RETAINING/SOUND WALL	—	—
LIMITS OF GRADING	—	—
SANITARY SEWER LINE, & MANHOLE	—S—	—EX-SS—
STORM DRAIN LINE, MANHOLE, FIELD INLET AND CATCH BASIN	—S—	—
CLEAN STORM DRAIN LINE	—W—	—
WATER LINE	—W—	—W—
SWALE/ V-DITCH	—P=125.5—	—
PAD ELEVATION	x 125.5	x 125.5
SPOT ELEVATION	2.5%	(R)
STREET SLOPE		
RECORD		(R)

SHEET INDEX

NO.	DESCRIPTION
1	REGIONAL CONTEXT MAP
2	FINAL DEVELOPMENT PLAN
3	VESTING TENTATIVE MAP
4	SITE SECTIONS/ PARKING EXHIBIT
5	GRADING AND UTILITY PLAN
6	GRADING AND UTILITY PLAN
7	BOUNDARY AND TOPOGRAPHIC MAP
INTI-6	JOINT TRENCH INTENT PLANS

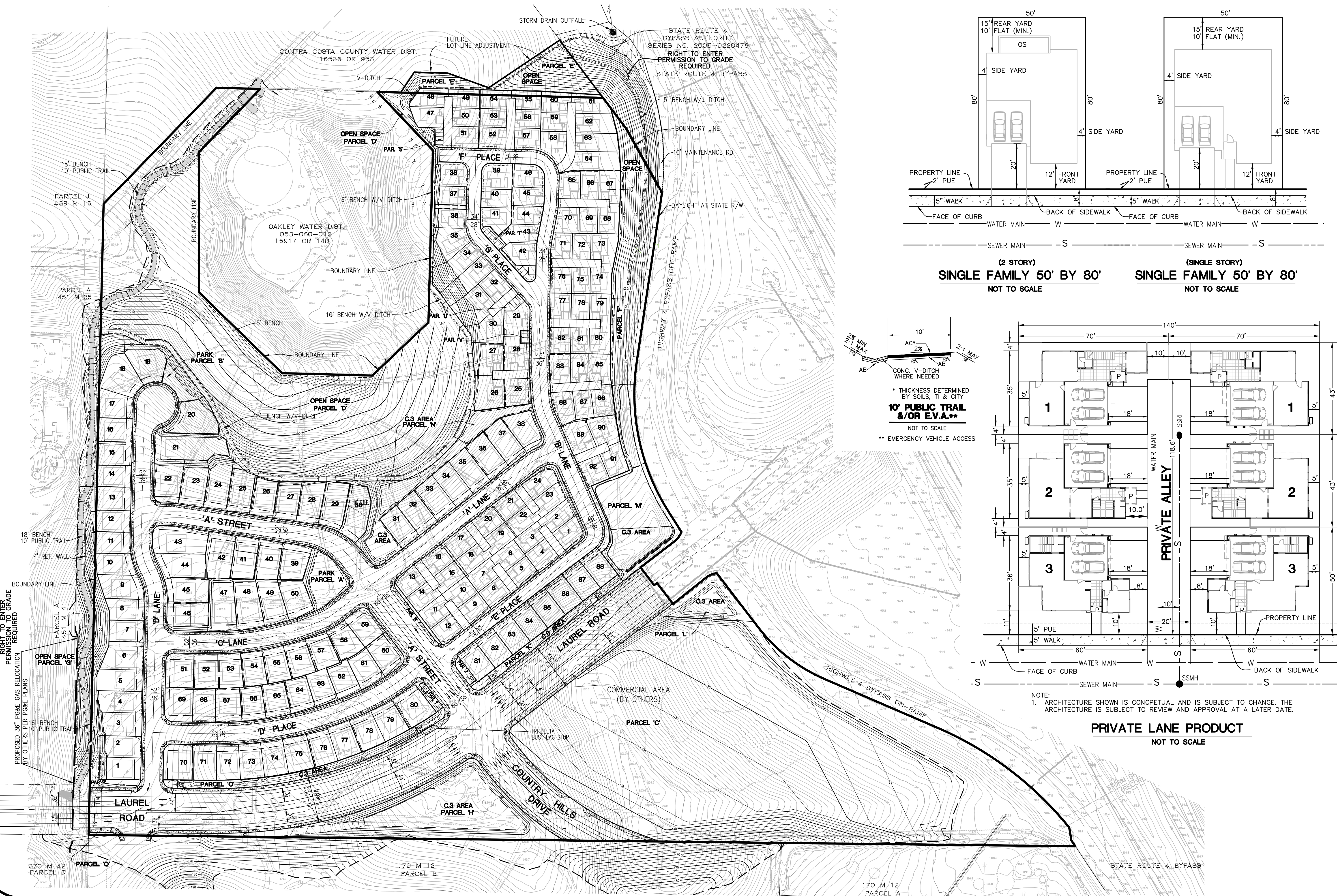
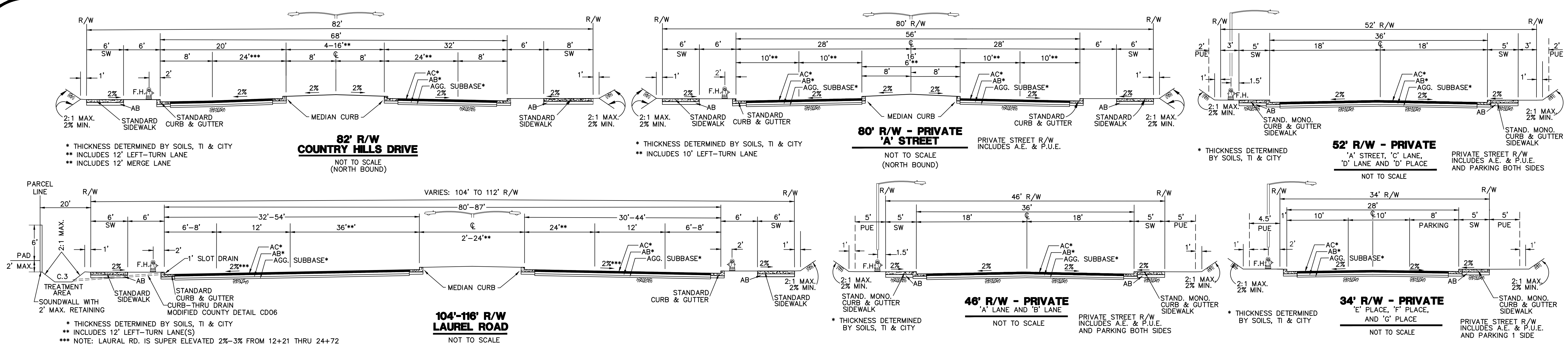
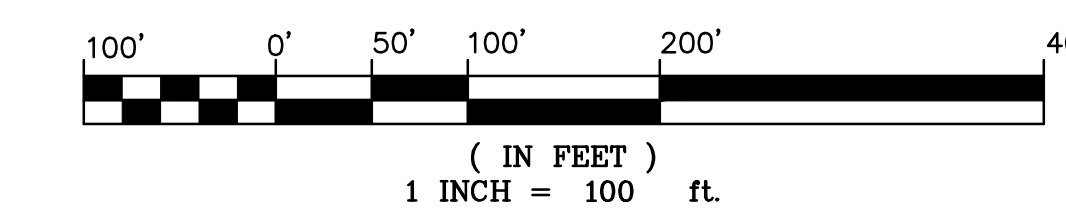
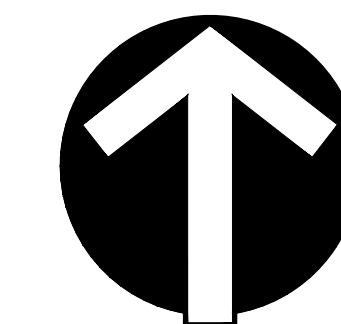
LAUREL RANCH FINAL DEVELOPMENT PLAN VESTING TENTATIVE MAP SUBDIVISION 8741

A PORTION OF NORTHWEST 1/4 OF
SECTION 34, T.2 E., R.2 E., MDB & M
APN 53-060-015

CITY OF ANTIOCH, CALIFORNIA
FOR
RICHLAND COMMUNITIES
APRIL 20, 2016



REGIONAL CONTEXT MAP
SHEET 1 OF 13



LAND USE SUMMARY				
LAND USE	NUMBER OF LOTS/PARCELS	ACRES	SQ. FT.	PERCENTAGE
EXISTING BOUNDARY		51.2	2,229,902	
PROPOSED BOUNDARY (GROSS ACRE)		51.8	2,256,369	100%
SINGLE FAMILY HOMES	88	10.4	453,242	20.1%
PRIVATE LANE HOMES	92	7.2	315,281	14.0%
TOTAL LOTS	180	17.7	768,523	34.1%
LAUREL ROAD/COUNTRY HILLS R.O.W.		4.5	194,140	8.6%
PRIVATE STREETS /ALLEYS		6.9	298,922	13.3%
PARKS - PARCELS 'A' & 'B'	2	0.3	14,984	0.7%
COMMERCIAL AREA - PARCEL 'C'	1	9.9	431,693	19.1%
OPEN SPACE - PARCELS 'D', 'E', 'F' & 'G'	4	8.6	375,545	16.6%
C.3 AREA - PARCELS 'H', 'I', 'J', 'K', 'L', 'M', 'N' & 'O'	8	3.7	163,144	7.2%
LANDSCAPE - PARCELS 'P', 'Q' & 'R'	3	0.09	3,886	0.17%
PARKING - PARCELS 'S', 'T', 'U' & 'V'	4	0.13	5,472	0.23%
UNIT TYPE	NUMBER OF UNITS			UNITS PER NET ACRE
SINGLE FAMILY HOMES	88 UNITS			8.5
PRIVATE LANE HOMES	92 UNITS			12.8
TOTAL UNITS	180 UNITS			10.2

LOT COVERAGE RATIOS				
NEIGHBORHOOD	LOT SIZE(SF)	** BUILDING FOOTPRINT(SF)	*** LOT COVERAGE RATIO	OPTIONAL PORCH (P) SPACE (OS)
* SINGLE FAMILY	4,000	2,000	± 50%	** 188 SF
PRIVATE LANE 1	2,754	1,460	± 53%	** 37 SF
PRIVATE LANE 2	2,580	1,318	± 51%	** 40 SF
PRIVATE LANE 3	3,000	1,417	± 47%	** 19 SF

* ASSUMES THE LARGEST BUILDING ENVELOPE FOR THE CONVENTIONAL NEIGHBORHOOD
 ** BUILDING FOOTPRINTS INCLUDE ALL LIVING SPACE AND GARAGE, BUILDING FOOTPRINTS DO NOT INCLUDE PORCH OR OPTIONAL SPACE
 *** LOT COVERAGE RATIOS ARE BASED ON CONCEPTUAL ARCHITECTURE THAT IS SUBJECT TO CHANGE.

DESCRIPTION	PROPOSED	EXISTING
	SUBDIVISION BOUNDARY	---
RIGHT OF WAY	---	---
FACE OF CURB	---	---
PROPERTY LINES	---	---
CONTOUR LINES	10' ---	110' ---
LOT LINE ADJUSTMENT	---	---
PUE	---	---
RETAINING/SOUND WALL	---	---
LIMITS OF GRADING	---	---
SANITARY SEWER LINE, & MANHOLE	S ---	EX.SS ---
STORM DRAIN LINE, MANHOLE, FIELD INLET AND CATCH BASIN	---	---
CLEAN STORM DRAIN LINE	---	---
WATER LINE	---	---
SWALE/ V-DITCH	---	---
PAD ELEVATION	P=125.5	x 125.5
SPOT ELEVATION	x 125.5	x 125.5
STREET SLOPE	2.5%	
RECORD		(R)

LAUREL RANCH

FINAL DEVELOPMENT PLAN

VESTING TENTATIVE MAP

SUBDIVISION 8741

A PORTION OF NORTHWEST 1/4 OF SECTION 34, T.2 E., R.2 E., MDB & M APN 53-060-015

CITY OF ANTIOCH, CALIFORNIA

FOR

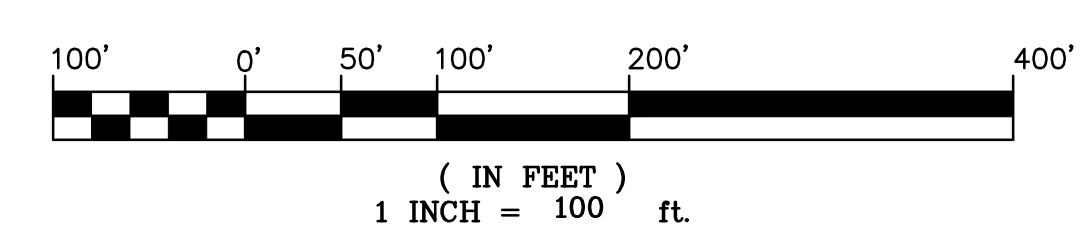
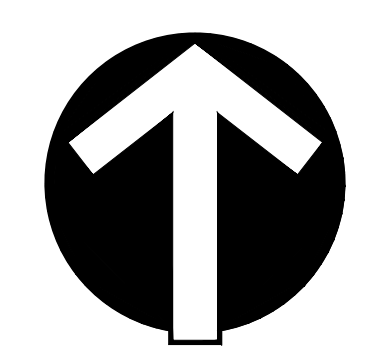
RICHLAND COMMUNITIES

APRIL 20, 2016

FINAL DEVELOPMENT PLAN

SHEET 2 OF 13

F:\PROJECTS\2013\13-039-LAUREL RANCH.DWG.TM\131039-TM.DWG 4/18/2016



LAND USE SUMMARY				
LAND USE	NUMBER OF LOTS/PARCELS	ACRES	SQ. FT.	PERCENTAGE
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UNIT TYPE	NUMBER OF UNITS	UNITS PER NET ACRE
SINGLE FAMILY HOMES	88 UNITS	8.5
PRIVATE LANE HOMES	92 UNITS	12.8
TOTAL UNITS	180 UNITS	10.2

LEGEND

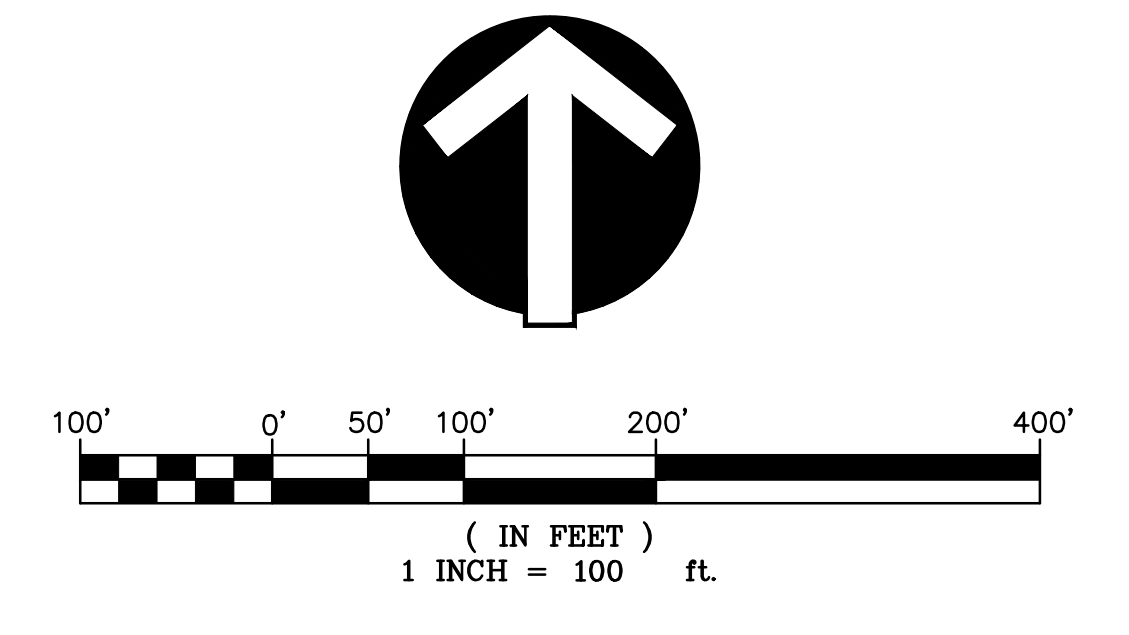
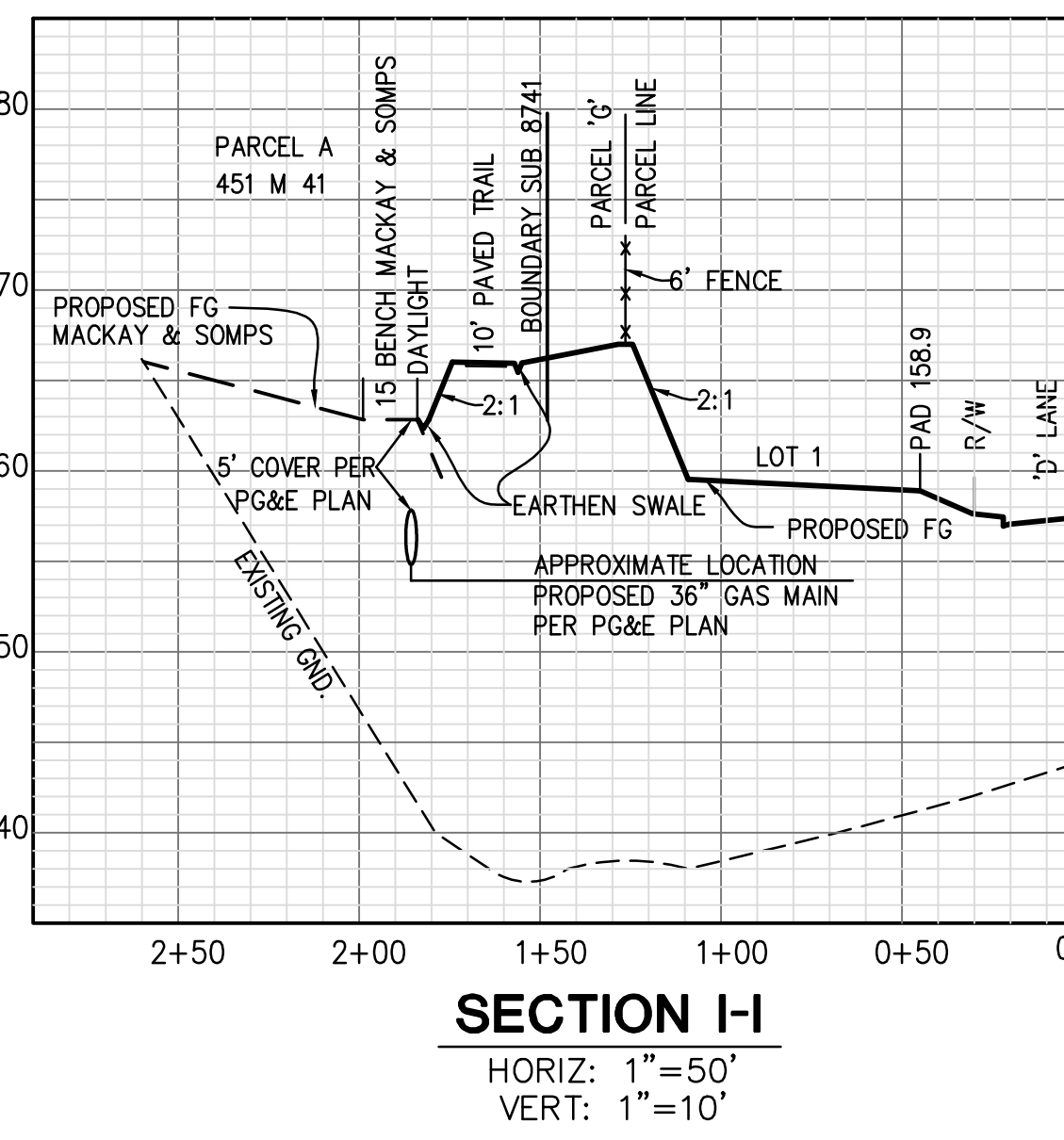
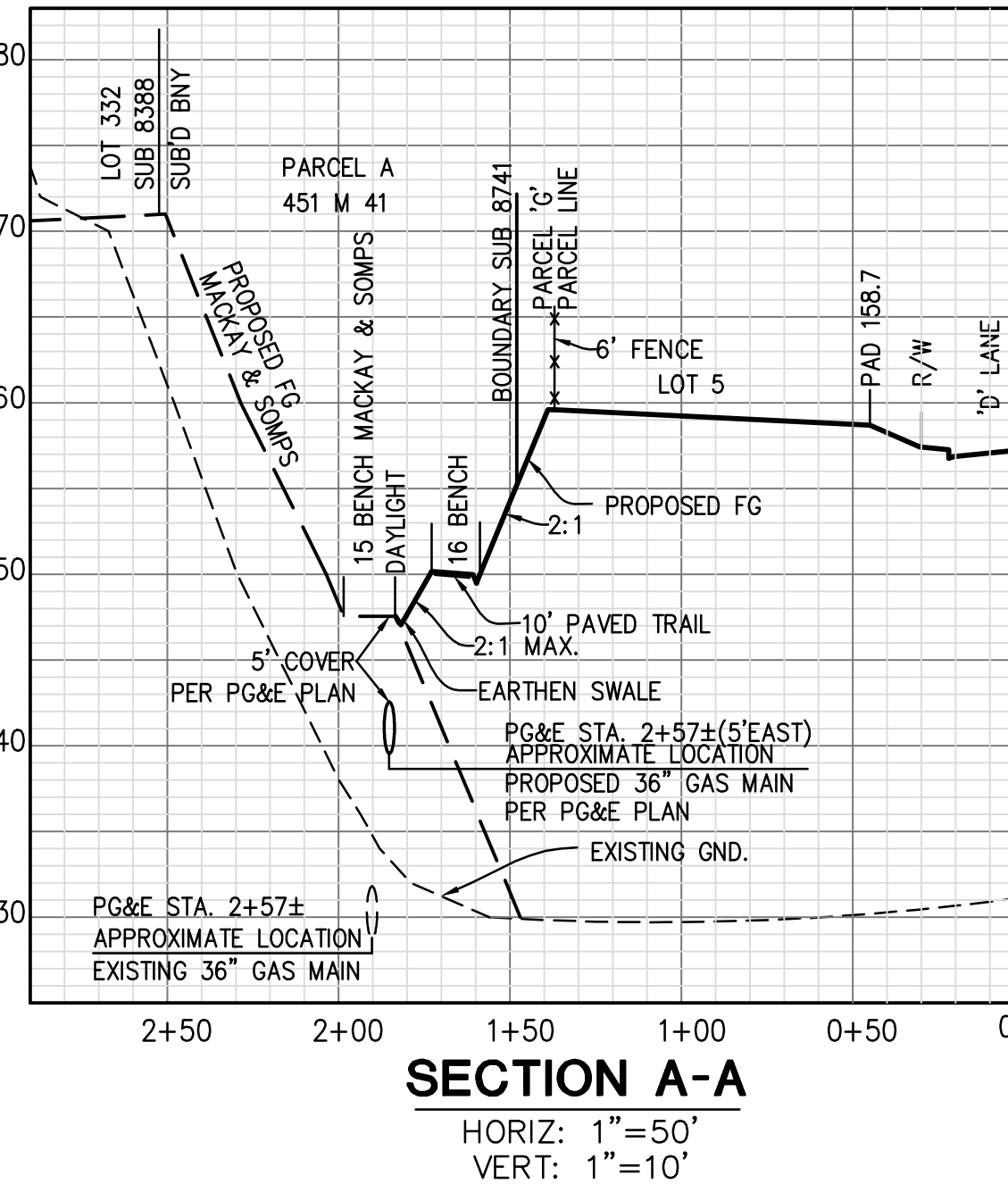
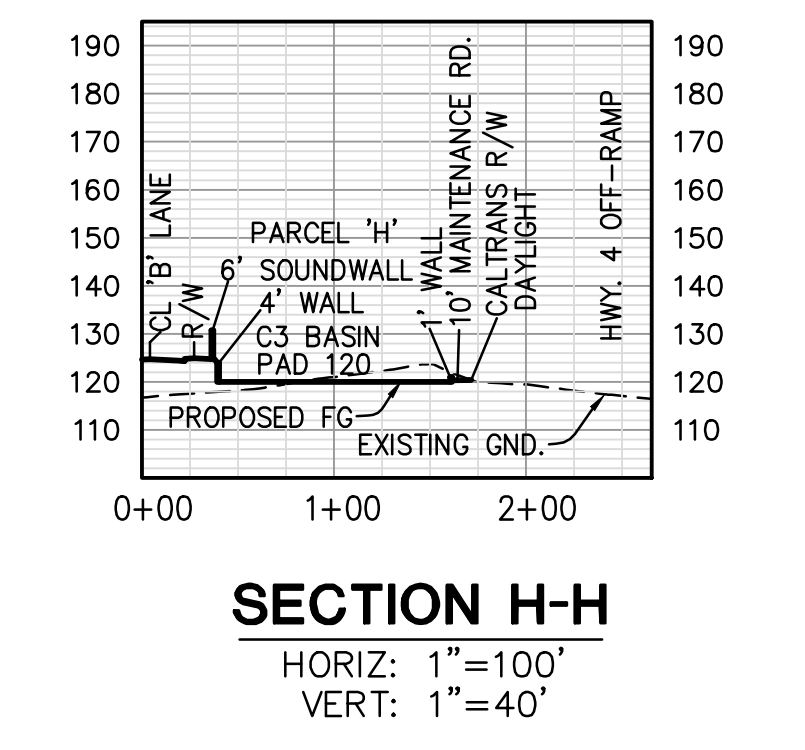
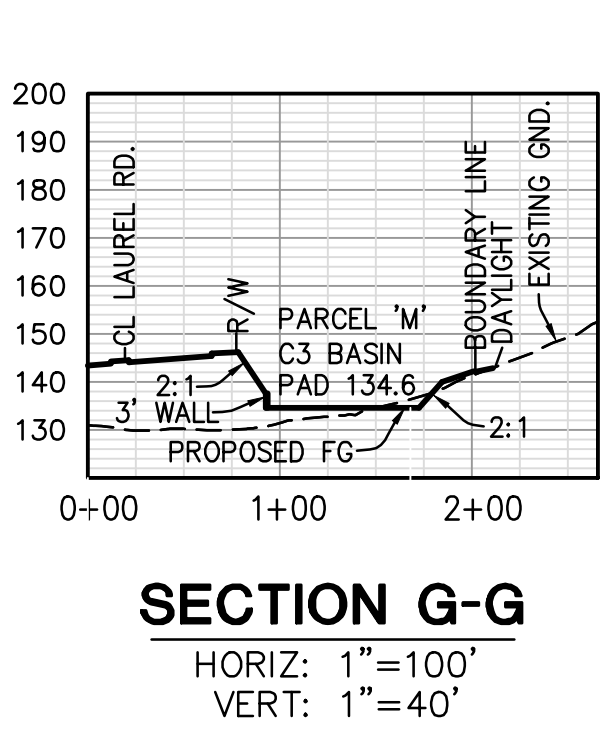
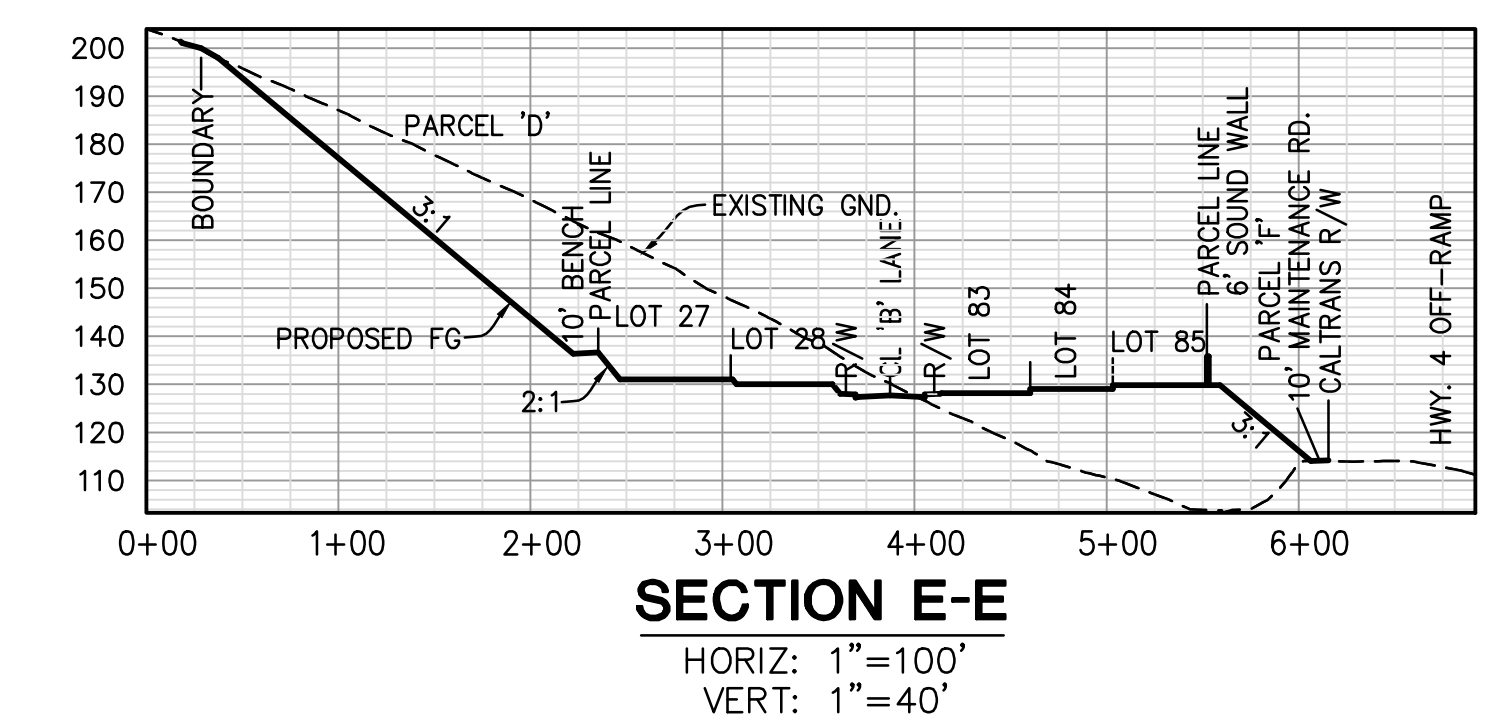
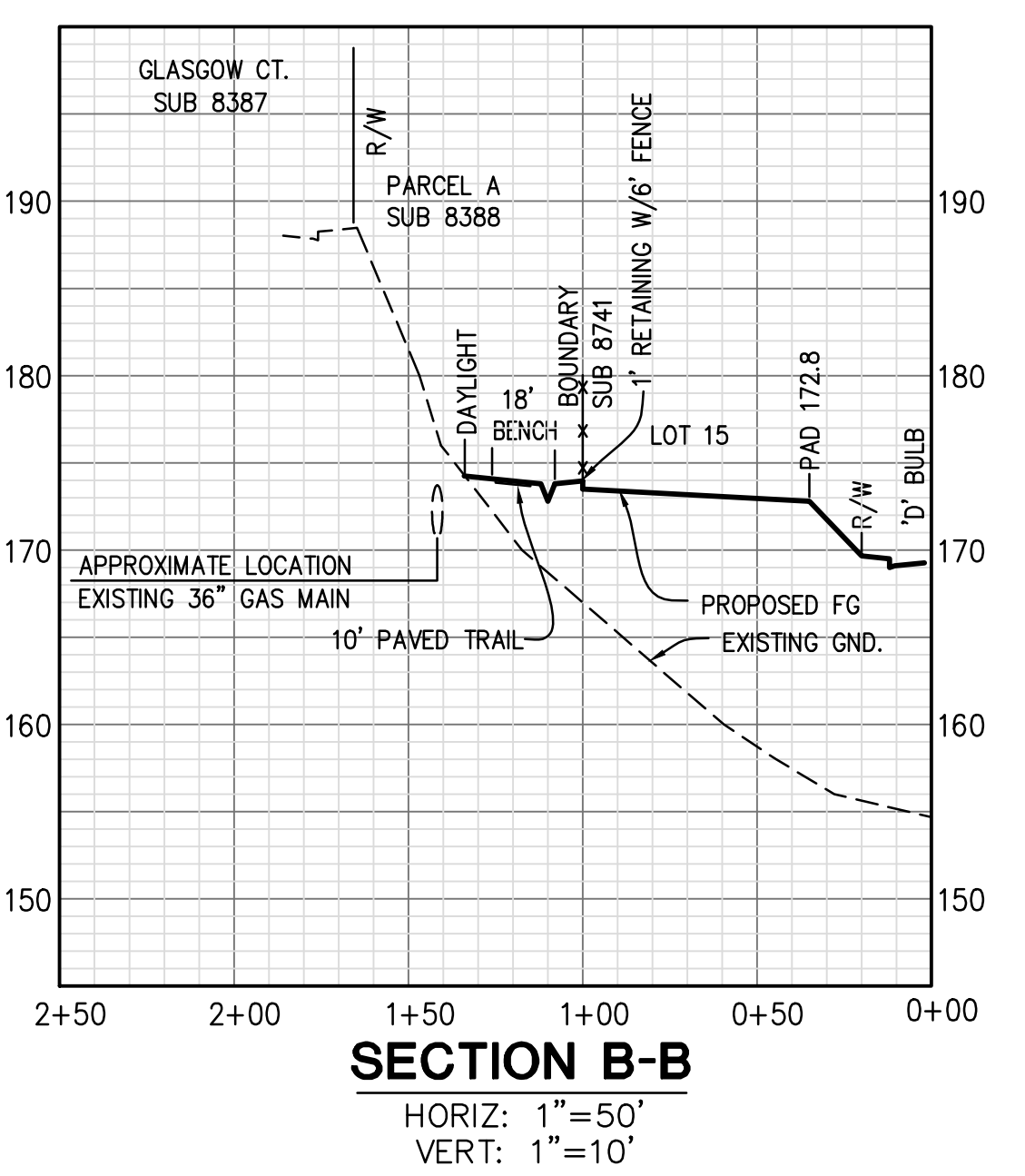
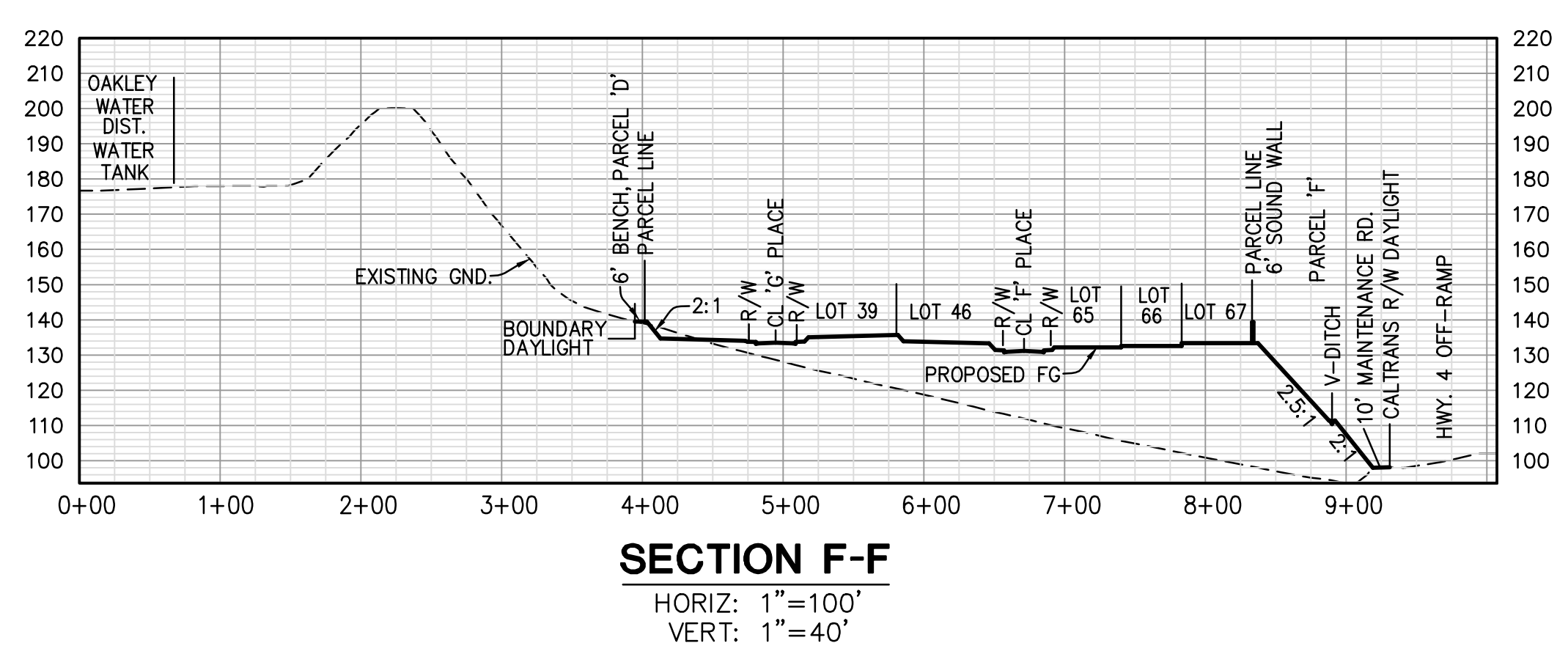
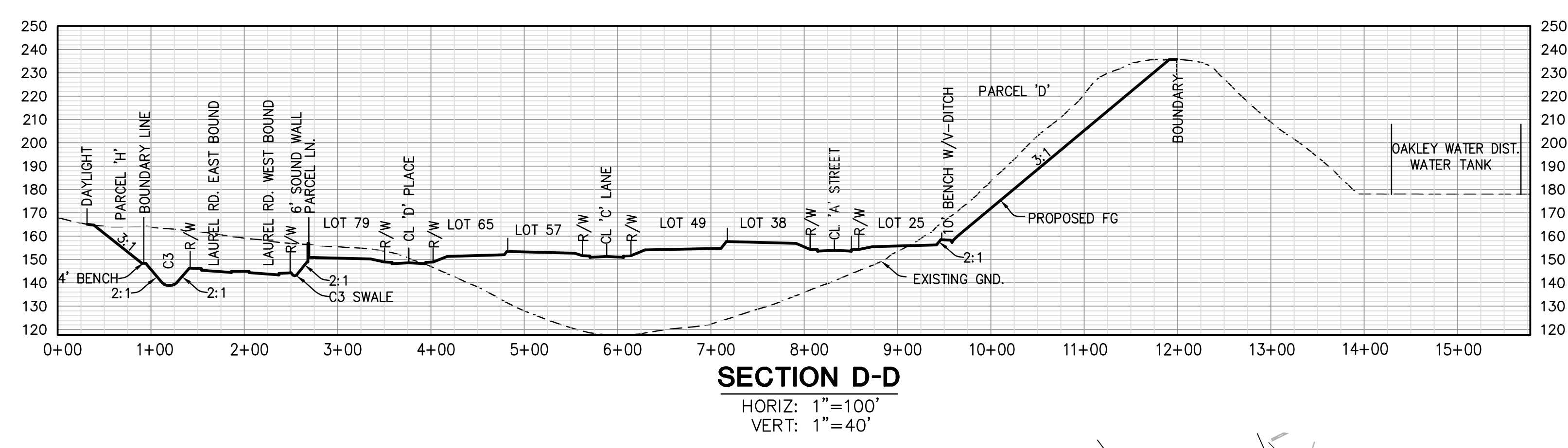
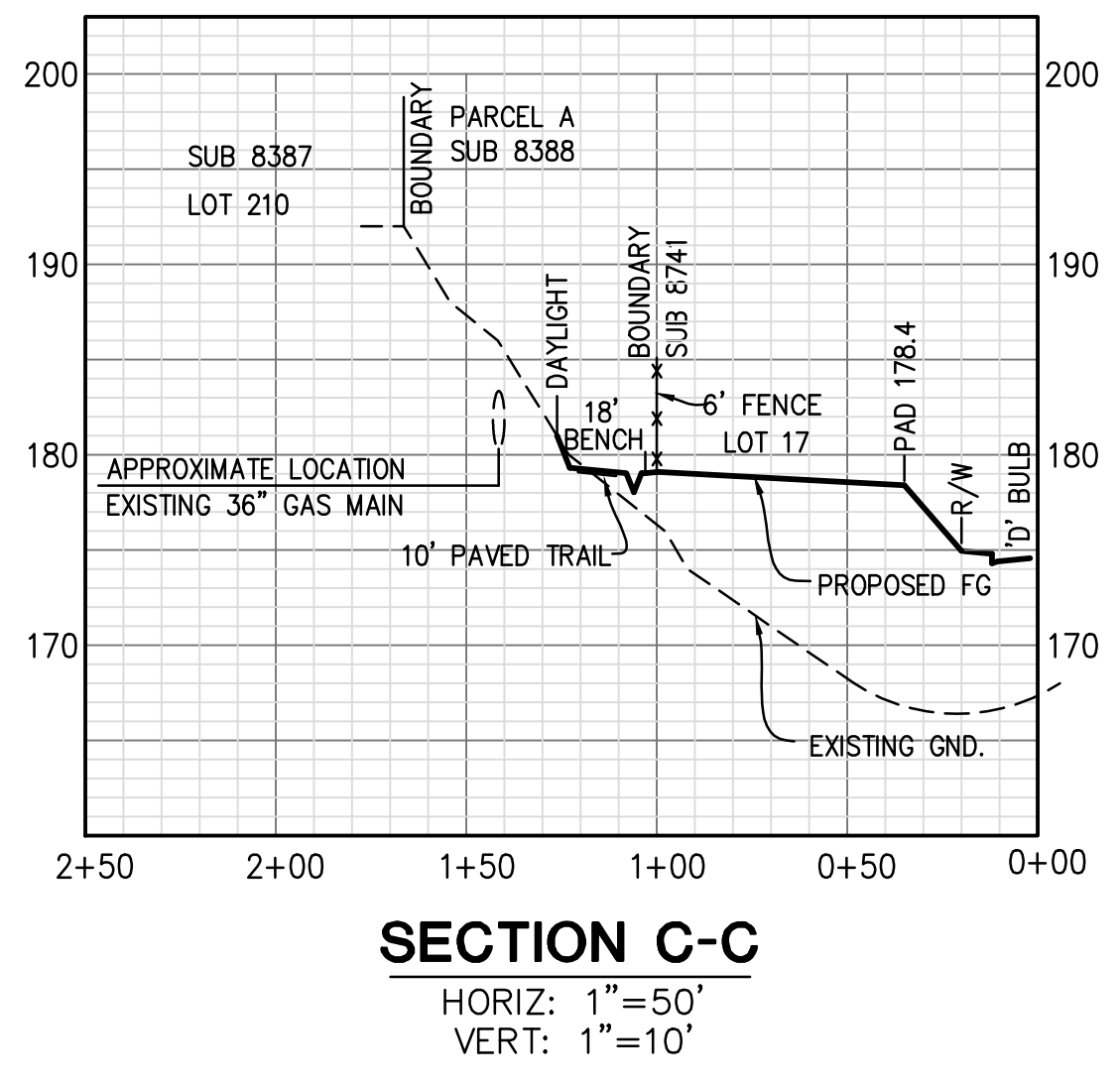
DESCRIPTION	PROPOSED	EXISTING
SUBDIVISION BOUNDARY	—	—
RIGHT OF WAY	—	—
FACE OF CURB	—	—
PROPERTY LINES	—	—
CONTOUR LINES	10' 2'	110'
LOT LINE ADJUSTMENT	—	—
PUE	—	—
RETAINING/SOUND WALL	—	—
LIMITS OF GRADING	—	—
SANITARY SEWER LINE, & MANHOLE	— S —	— EX. SS —
STORM DRAIN LINE, MANHOLE, FIELD INLET AND CATCH BASIN	— S —	— EX. S —
CLEAN STORM DRAIN LINE	—	—
WATER LINE	— W —	— W —
SWALE / V-DITCH	—	—
PAD ELEVATION	P=125.5	x 125.5
SPOT ELEVATION	x 125.5	x 125.5
STREET SLOPE	2.5%	(R)
RECORD		

LAUREL RANCH
FINAL DEVELOPMENT PLAN
VESTING TENTATIVE MAP
SUBDIVISION 8741

A PORTION OF NORTHWEST 1/4 OF SECTION 34, T.2 E., R.2 E., MDB & M APN 53-060-015
 CITY OF ANTIOCH, CALIFORNIA
 FOR
 RICHLAND COMMUNITIES
 APRIL 20, 2016



VESTING TENTATIVE MAP
SHEET 3 OF 13



LEGEND

DESCRIPTION	PROPOSED	EXISTING
SUBDIVISION BOUNDARY	—	—
RIGHT OF WAY	—	—
FACE OF CURB	—	—
PROPERTY LINES	—	—
CONTOUR LINES	—	—
LOT LINE ADJUSTMENT	—	—
PUE	—	—
RETAINING/SOUND WALL	—	—
LIMITS OF GRADING	—	—
SANITARY SEWER LINE, & MANHOLE	—	—
STORM DRAIN LINE, MANHOLE, FIELD INLET AND CATCH BASIN	—	—
CLEAN STORM DRAIN LINE	—	—
WATER LINE	—	—
SWALE / V-DITCH	—	—
PAD ELEVATION	P=125.5	—
SPOT ELEVATION	x 125.5	x 125.5
STREET SLOPE	2.5%	(R)
RECORD		(R)

PARKING TABULATIONS

PARKING TYPE	STALLS REQUIRED	STALLS PROVIDED
STANDARD PARKING	180	227
STANDARD OFF-STREET PARKING DIMENSIONS: 18' BY 9.0'		
STANDARD ON-STREET PARKING DIMENSIONS: 20' BY 8.0'		
NOTE: SINGLE-FAMILY RESIDENTIAL (DETACHED) 2 SPACES PER UNIT IN A GARAGE, PLUS ONE GUEST PARKING SPACE ON THE STREET WITHIN CLOSE PROXIMITY TO THE UNIT SERVED.		

LAUREL RANCH
FINAL DEVELOPMENT PLAN
VESTING TENTATIVE MAP
SUBDIVISION 8741

A PORTION OF NORTHWEST 1/4 OF SECTION 34, T.2 E., R.2 E., MDB & M APN 53-060-015
 CITY OF ANTIOCH, CALIFORNIA
 FOR
 RICHLAND COMMUNITIES
 APRIL 20, 2016

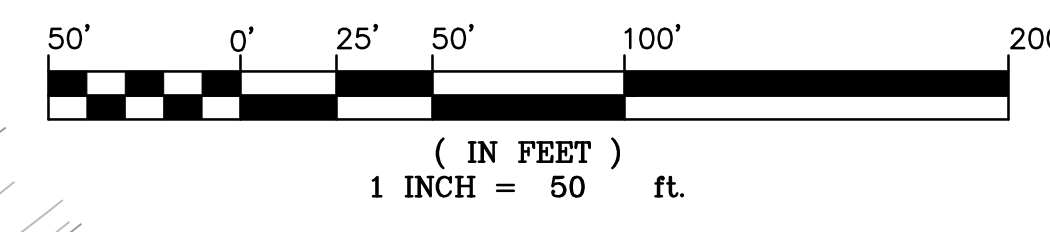
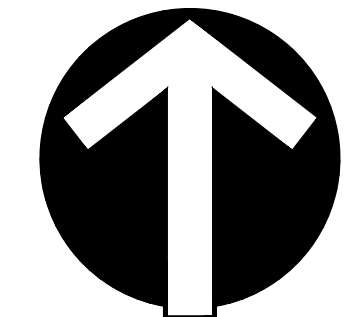


SITE SECTIONS / PARKING EXHIBIT
SHEET 4 OF 13



LEGEND

DESCRIPTION	PROPOSED	EXISTING
SUBDIVISION BOUNDARY	---	---
RIGHT OF WAY	---	---
FACE OF CURB	---	---
PROPERTY LINES	---	---
CONTOUR LINES	---	---
LOT LINE ADJUSTMENT	---	---
PUE	---	---
RETAINING/SOUND WALL	---	---
LIMITS OF GRADING	---	---
SANITARY SEWER LINE, & MANHOLE	---	---
STORM DRAIN LINE, MANHOLE, FIELD INLET AND CATCH BASIN	---	---
CLEAN STORM DRAIN LINE	---	---
WATER LINE	---	---
SWALE / V-DITCH	---	---
PAD ELEVATION	P=125.5	x 125.5
SPOT ELEVATION		
STREET SLOPE	2.5%	(R)
RECORD		



EARTHWORK TABLE

CUT	789,000 CY
FILL	789,000 CY

LAUREL RANCH
FINAL DEVELOPMENT PLAN
VESTING TENTATIVE MAP
SUBDIVISION 8741

A PORTION OF NORTHWEST 1/4 OF SECTION 34, T.2 E., R.2 E., MDB & M APN 53-060-015
 CITY OF ANTIOCH, CALIFORNIA
 FOR
 RICHLAND COMMUNITIES
 APRIL 20, 2016



GRADING AND UTILITY PLAN
SHEET 5 OF 13

CONTRA COSTA COUNTY WATER DIST.
16536-OR 953

STATE ROUTE 4
BYPASS AUTHORITY
SERIES NO. 2005-0220479

PARCEL J
439 M 16

PARCEL A
451 M 35

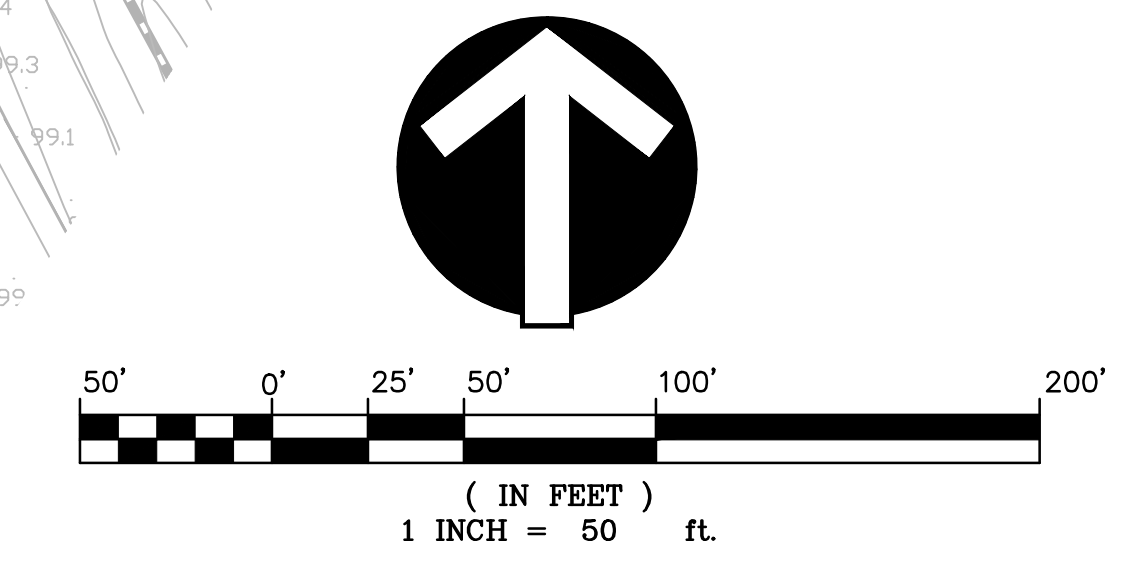
OAKLEY WATER DIST.
053-060-013
16917 OR 140

PARK
PARCEL 'B'
5177 SF

OPEN SPACE
PARCEL 'D'
6.74 AC

C.3 AREA
PARCEL 'N'
0.54 AC

PARCEL 'M'
0.98 AC



LEGEND

DESCRIPTION	PROPOSED	EXISTING
SUBDIVISION BOUNDARY	—	—
RIGHT OF WAY	—	—
FACE OF CURB	—	—
PROPERTY LINES	—	—
CONTOUR LINES	—	—
LOT LINE ADJUSTMENT	—	—
PUE	—	—
RETAINING/SOUND WALL	—	—
LIMITS OF GRADING	—	—
SANITARY SEWER LINE, & MANHOLE	—	—
STORM DRAIN LINE, MANHOLE, FIELD INLET AND CATCH BASIN	—	—
CLEAN STORM DRAIN LINE	—	—
WATER LINE	—	—
SWALE/ V-DITCH	—	—
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STREET SLOPE	2.5%	(R)
RECORD		

LAUREL RANCH
FINAL DEVELOPMENT PLAN
VESTING TENTATIVE MAP
SUBDIVISION 8741

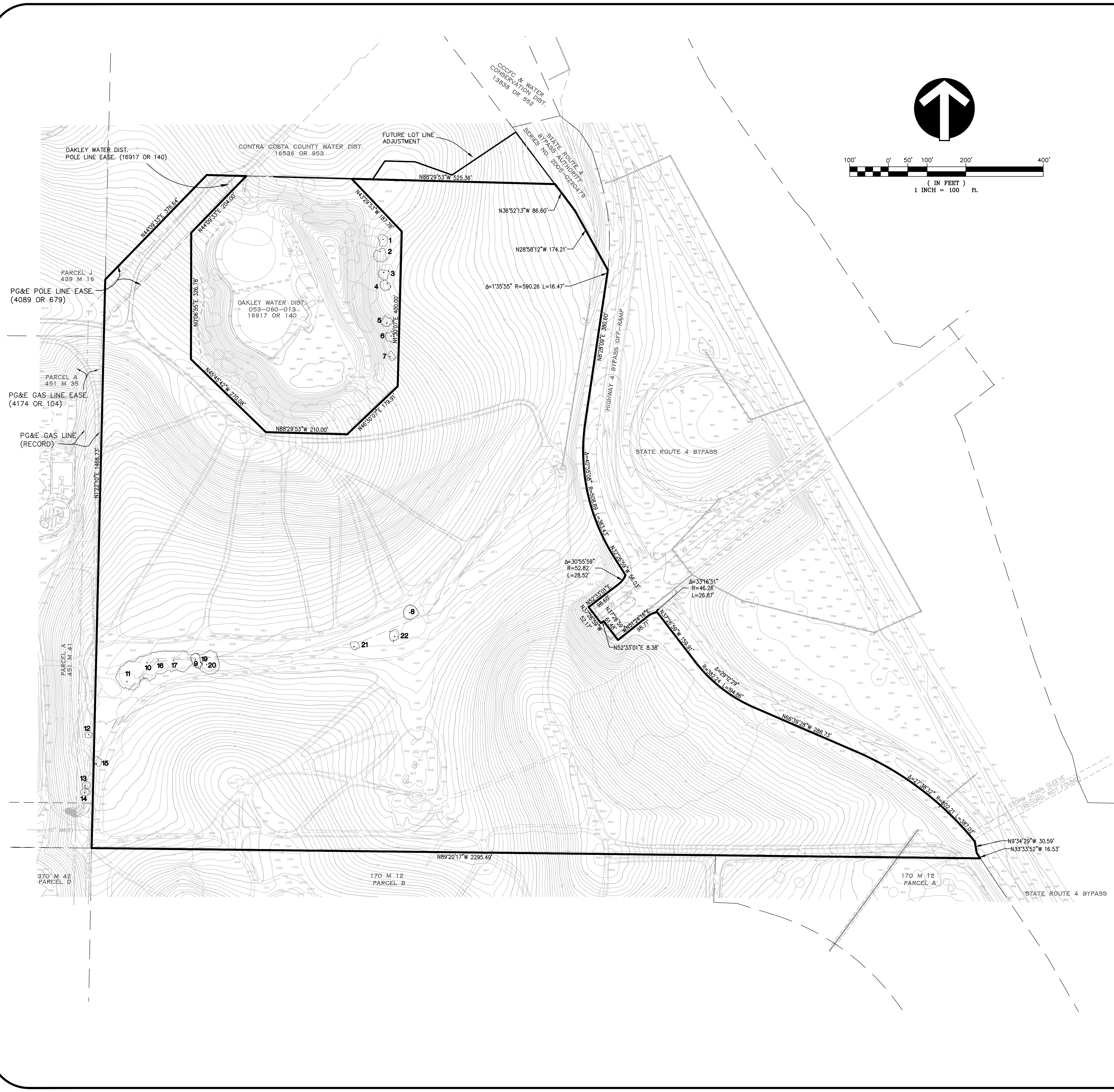
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APRIL 20, 2016



1831 San Miguel Dr., Suite 100, Walnut Creek, California 94596 (925) 932-6988 Tel. (925) 932-0910 Fax

GRADING AND UTILITY PLAN

SHEET 6 OF 13



TREE SURVEY				
TREE TAG NUMBER	COMMON NAME	SCIENTIFIC NAME	DBH (INCHES)	BASE EL. (FEET)
1	VALLEY OAK	QUERCUS LOBATA	9.8	153
2	VALLEY OAK	QUERCUS LOBATA	16.0	152
3	VALLEY OAK	QUERCUS LOBATA	11.3	148
4	VALLEY OAK	QUERCUS LOBATA	11.5	145
5	VALLEY OAK	QUERCUS LOBATA	17.6	155
6	VALLEY OAK	QUERCUS LOBATA	9.2	159
7	VALLEY OAK	QUERCUS LOBATA	9.0	169
8	ARROYO WILLOW	SALIX LASIOLEPIS	19.7	118
9	ARROYO WILLOW	SALIX LASIOLEPIS	7.4	123
10	ARROYO WILLOW	SALIX LASIOLEPIS	20.8	126
11	ARROYO WILLOW	SALIX LASIOLEPIS	10.5	127
12	RED WILLOW	SALIX LAEVIGATA	5.2	134
13	RED WILLOW	SALIX LAEVIGATA	4.6	142
14	RED WILLOW	SALIX LAEVIGATA	11.6	143
15	RED WILLOW	SALIX LAEVIGATA	4.2	137
16	ARROYO WILLOW	SALIX LASIOLEPIS	23.4	126
17	ARROYO WILLOW	SALIX LASIOLEPIS	28.0	125
19	ARROYO WILLOW	SALIX LASIOLEPIS	8.3	122
20	RED WILLOW	SALIX LAEVIGATA	11.9	122
21	ARROYO WILLOW	SALIX LASIOLEPIS	5.9	117
22	ARROYO WILLOW	SALIX LASIOLEPIS	13.7	122

NOTE: THERE IS NO #18 TREE TAG DUE TO IT BEING LOST DURING THE SURVEY. ALL TREES SURVEYED TO BE REMOVED
TREE SURVEY BY OLBERDING ENVIRONMENTAL, INC. DATED JUNE 8, 2015

BASIS OF BEARINGS

TAKEN AS N 16°08'58" W BETWEEN A FOUND STANDARD CITY MONUMENTS AS SHOWN ON THE MAP OF SUBDIVISION 7130, RECORDED IN BOOK 335 OF MAPS AT PAGE 21, CONTRA COSTA COUNTY RECORDS.

BENCH MARK

CITY OF ANTIOCH BENCH MARK ELEVATION 130.75' STANDARD CITY MONUMENT DISK IN THE INTERSECTION OF WILD HORSE ROAD AND LE CONTE CIRCLE, BEING IN SUBDIVISION 6893.

TOPOGRAPHY

BY: AMERICAN AERIAL MAPPING, INC.
FLOWN: OCTOBER 13, 2013 CONTOUR INTERVAL: 2-FOOT
NOTE: CONTOURS SHOWN UNDER BRUSH/TREES MAY NOT BE
SUPPLEMENTAL SURVEY: BY DK CONSULTING - JULY 2014
SUPPLEMENTAL TREE SURVEY: BY OLBERDING ENVIRONMENTAL INC. - JUNE 2015

LEGEND

DESCRIPTION	PROPOSED	EXISTING
SUBDIVISION BOUNDARY	—	—
LOT LINE ADJUSTMENT	—	—
FACE OF CURB	—	—
PROPERTY LINES	—	—
CONTOUR LINES	—	—
LOT LINE ADJUSTMENT	—	—
PUE	—	—
RETAINING/SOUND WALL	—	—
LIMITS OF GRADING	—	—
SANITARY SEWER LINE, & MANHOLE	—	—
STORM DRAIN LINE, MANHOLE, FIELD INLET AND CATCH BASIN	—	—
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SPOT ELEVATION	x 125.5	x 125.5
STREET SLOPE	2.5%	(R)
RECORD	①	①
		SURVEYED TREE, TREE NO. TO BE REMOVED

**LAUREL RANCH
FINAL DEVELOPMENT PLAN
VESTING TENTATIVE MAP
SUBDIVISION 8741**

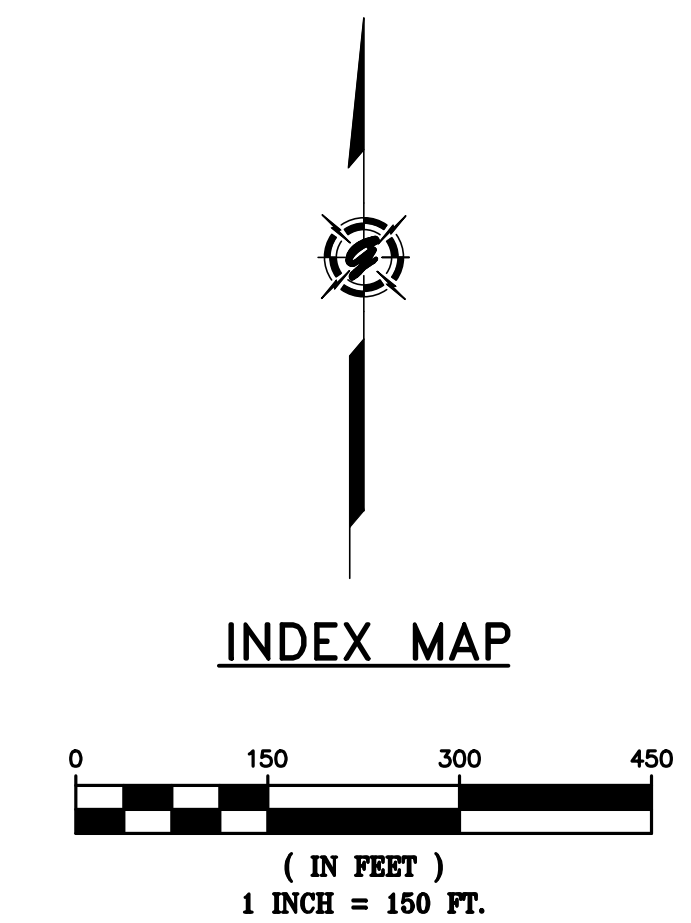
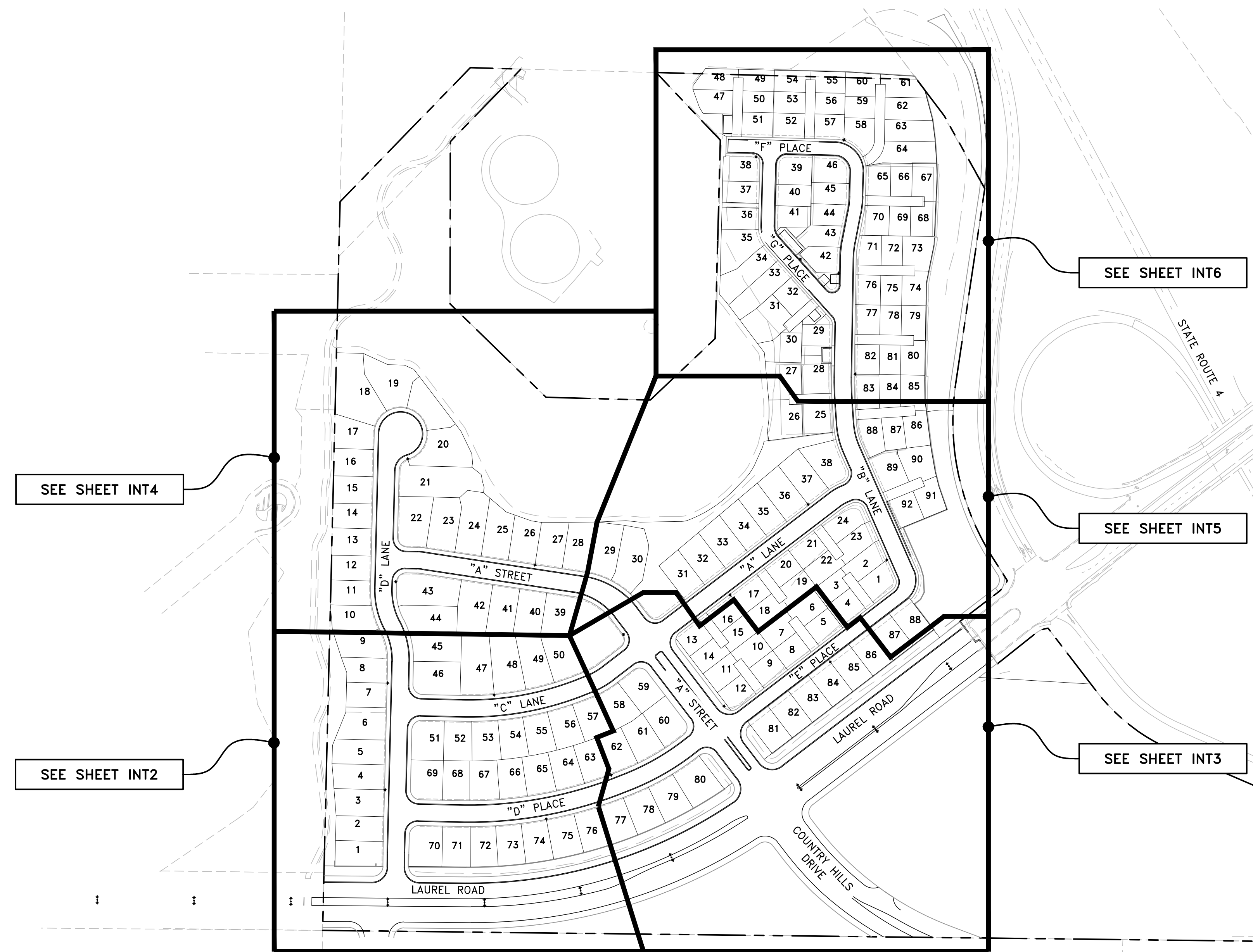
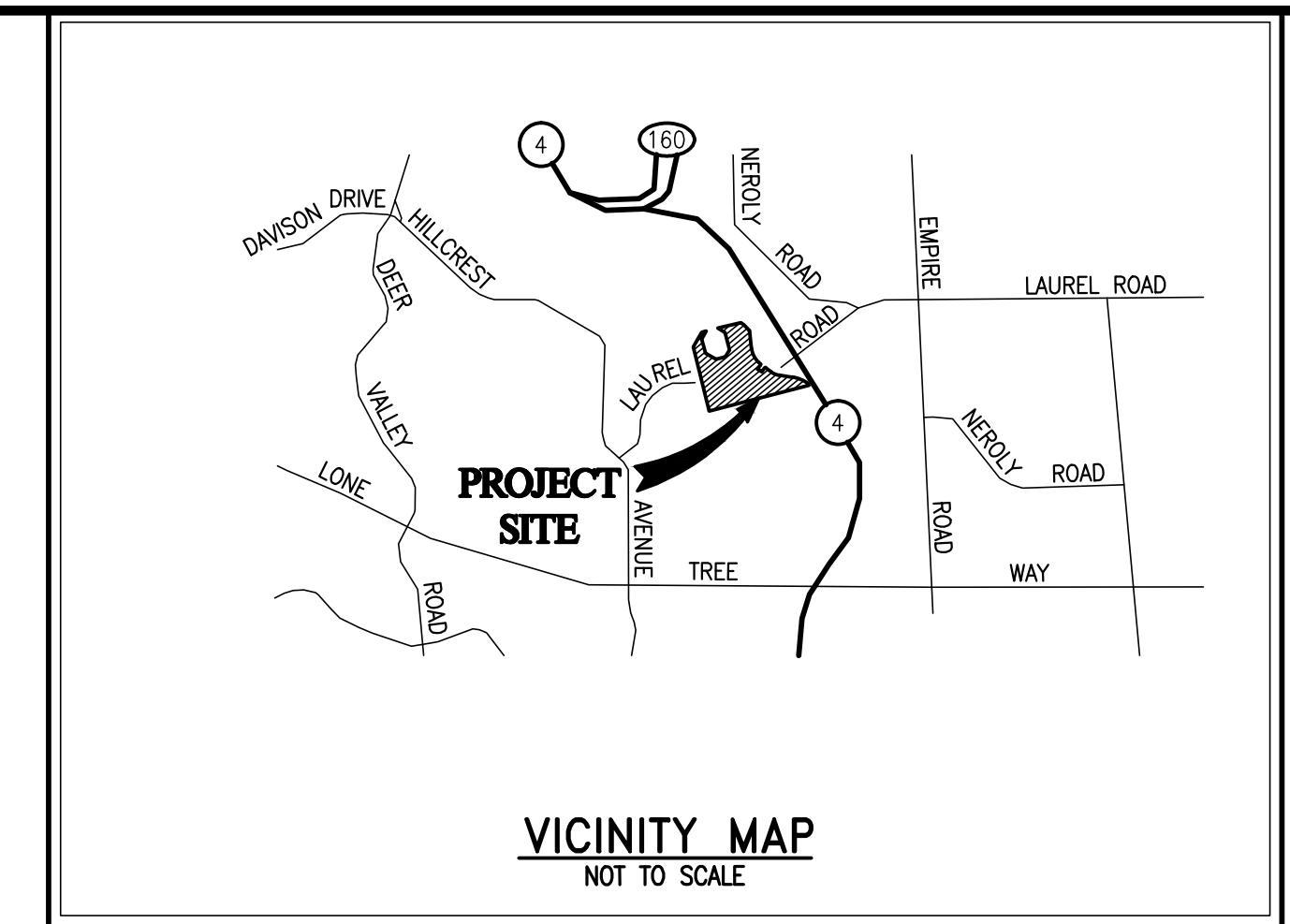
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CITY OF ANTIOCH, CALIFORNIA
FOR
RICHLAND COMMUNITIES
APRIL 20, 2016



**BOUNDARY / TOPOGRAPHIC MAP
SHEET 7 OF 13**

**RICHLAND COMMUNITIES, INC.
LAUREL RANCH
TRACT 8741
ANTIOCH, CALIFORNIA
(JOINT TRENCH INTENT - NOT FOR CONSTRUCTION)**



NOTE
PLEASE VERIFY THAT THE SERVICE POINTS IN THIS DRAWING MATCH YOUR DESIGN. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE.

NOTE TO UTILITIES:
PLEASE INDICATE TIE-IN POINTS ON INTENT RESPONSE

**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

REVISIONS	DESCRIPTION	DATE

GIACALONE
DESIGN SERVICES, INC.
5200 STONERIDGE MALL, SUITE 100, PLEASANTON, CA 94588
925-467-1740 | WWW.GIACALONEDSGN.COM

JOINT TRENCH INTENT TITLE SHEET
RICHLAND COMMUNITIES, INC.
LAUREL RANCH
TRACT 8741
ANTIOCH CALIFORNIA

PROJECT TEAM CONTACTS		
COMPANY:	CONTACT:	PHONE:
RICHLAND COMMUNITIES, INC.	AARON ROSS-SWAIN	925-271-0675
DK CONSULTING	DAVID RICKARD	925-932-6868
PG&E -		
AT&T - SAN RAMON	JAMIE CARPENTER	925-823-8598
SEFNCO - LIVERMORE	GREG WILLIAMS	925-271-2919
KTGY - ARCHITECT	JILL WILLIAMS	510-272-2910
GIACALONE DESIGN SERVICES, INC.	ARNOLD SAENZ	925-467-1740

PG&E PM NO.

LATEST FILES RECEIVED				
DESCRIPTION:	BY:	DATE:	STATUS:	
GAS DESIGN	GDSI			
ELECTRIC DESIGN	GDSI			
TELEPHONE LAYOUT	AT&T			
CATV LAYOUT	SEFNCO			
STREET LIGHT PLANS - PUBLIC	GDSI			
STREET LIGHT PLANS - PRIVATE				
IMPROVEMENT PLANS (ELECTRONIC FILE)	DK CONSULTING	04-15-16		

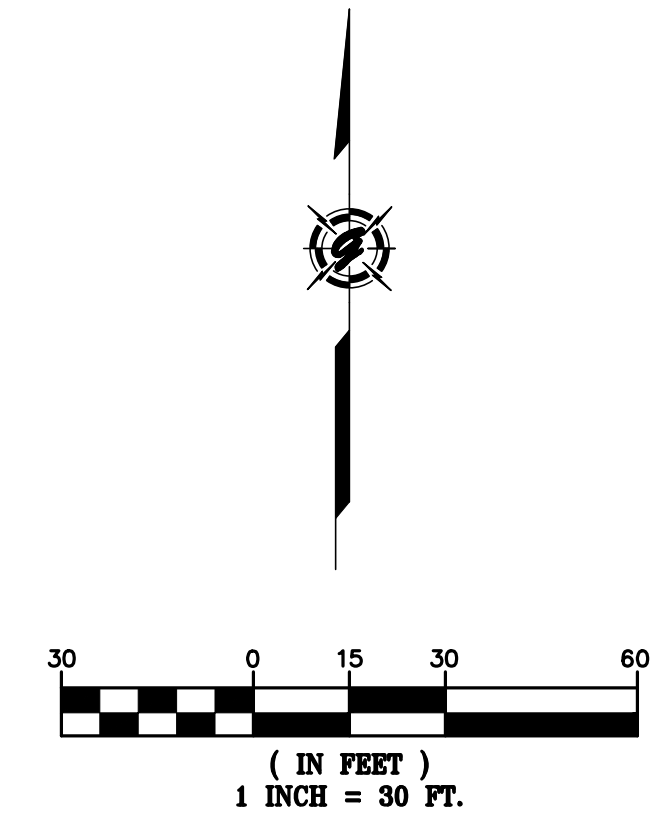
A=Approved • ANS=Approved Not Signed • NA=Not Approved • F=First Submittal • SS=Second Submittal

PROJECT DESCRIPTION & SCOPE
<ul style="list-style-type: none"> NEW SERVICE FOR (88) SFD & (92) CLUSTER UNITS (6) H.O.A. METER SERVICE PEDESTAL FOR IRRIGATION IN PARK, ENTRY GATES & LIGHTING PRIVATE STREET LIGHTING

SHEET INDEX	
SHEET	DESCRIPTION
INT1	JOINT TRENCH INTENT TITLE SHEET
INT2-INT6	JOINT TRENCH INTENT

PROJECT MANAGER:
A. SAENZ
DRAWN BY:
CVN
CHECKED BY:
A. SAENZ
SCALE:
1"=150'
JOB NUMBER:
15-035
DATE LAST MODIFIED:
04-18-16
SHEET
INT1
OF 6 SHEETS

MATCHLINE - STA 6+53
SEE SHEET INT4



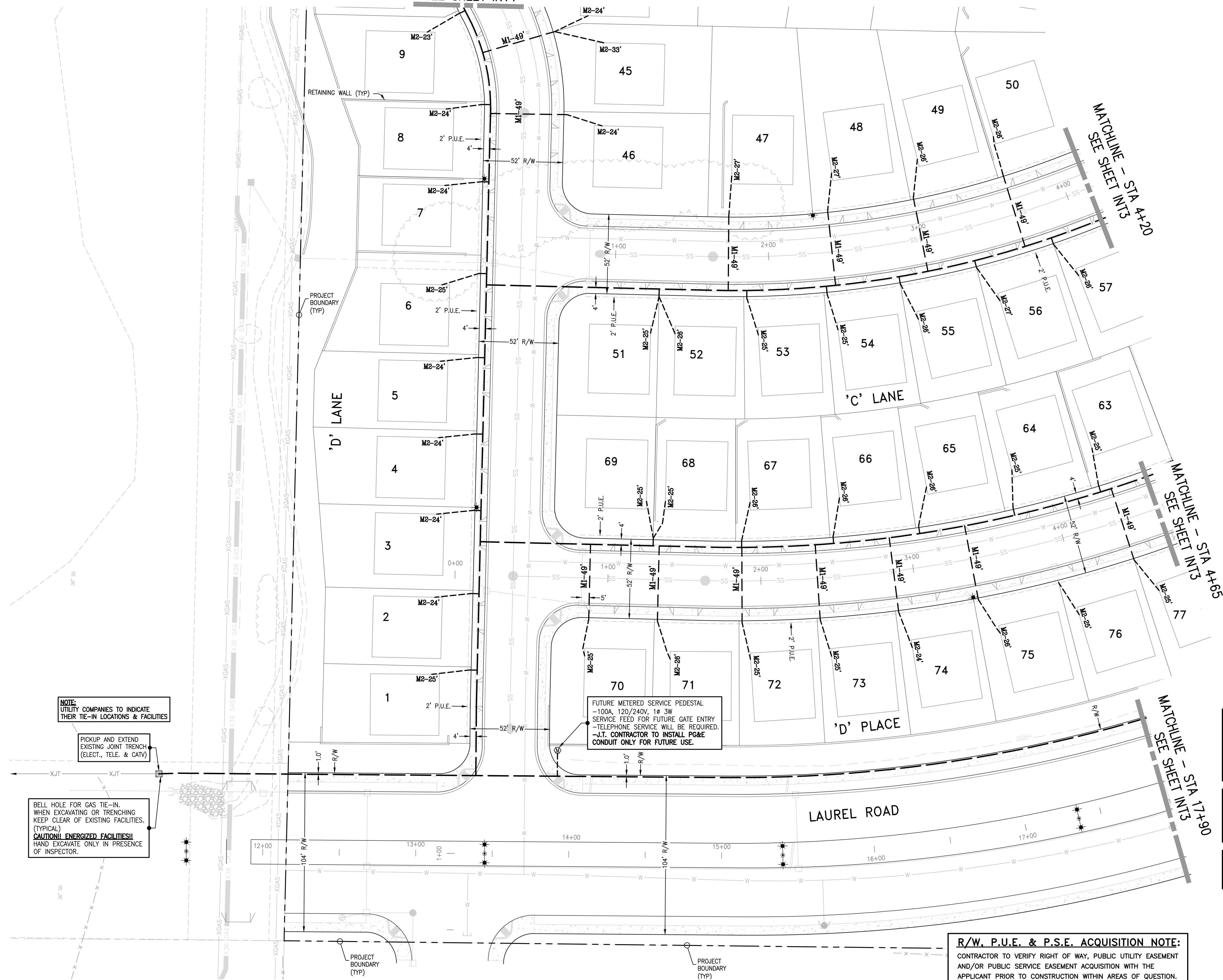
LEGEND	
	EXISTING TRENCH OR UTILITIES
	PROPOSED TRENCH (DISTRIBUTION)
	PROPOSED TRENCH (SERVICE)
	PROPOSED STREET LIGHT
	PROPOSED POST TOP STREET LIGHT
	METERED SERVICE PEDESTAL
(N.T.S.)	NOT TO SCALE
(U.O.N.)	UNLESS OTHERWISE NOTED

REVISIONS	DESCRIPTION	DATE

GIACALONE
DESIGN SERVICES, INC.
5200 STONERIDGE MALL RD., #545 | PLEASANTON, CA 94688
925.467.1740 | WWW.GIACALONEDSG.COM

JOINT TRENCH INTENT
RICHLAND COMMUNITIES, INC.
LAUREL RANCH
TRACT 8741
CALIFORNIA

ANTIOCH
PROJECT MANAGER:
A. SAENZ
DRAWN BY:
CVN
CHECKED BY:
A. SAENZ
SCALE:
1"=30'
JOB NUMBER:
15-035
DATE LAST MODIFIED:
04-18-16
SHEET
INT2
OF 6 SHEETS



NOTE:
UTILITY COMPANIES TO INDICATE
THEIR TIE-IN LOCATIONS & FACILITIES

PICKUP AND EXTEND
EXISTING JOINT TRENCH
(ELECT., TELE. & CATV)

BELL HOLE FOR GAS TIE-IN.
WHEN EXCAVATING OR TRENCHING
KEEP CLEAR OF EXISTING FACILITIES.
(TYPICAL)
CAUTION! ENERGIZED FACILITIES!
HAND EXCAVATE ONLY IN PRESENCE
OF INSPECTOR.

FUTURE METERED SERVICE PEDESTAL
-100A, 120/240V, 1Ø 3W
SERVICE FEED FOR FUTURE GATE ENTRY
-TELEPHONE SERVICE WILL BE REQUIRED.
-J.T. CONTRACTOR TO INSTALL PG&E
CONDUIT ONLY FOR FUTURE USE.

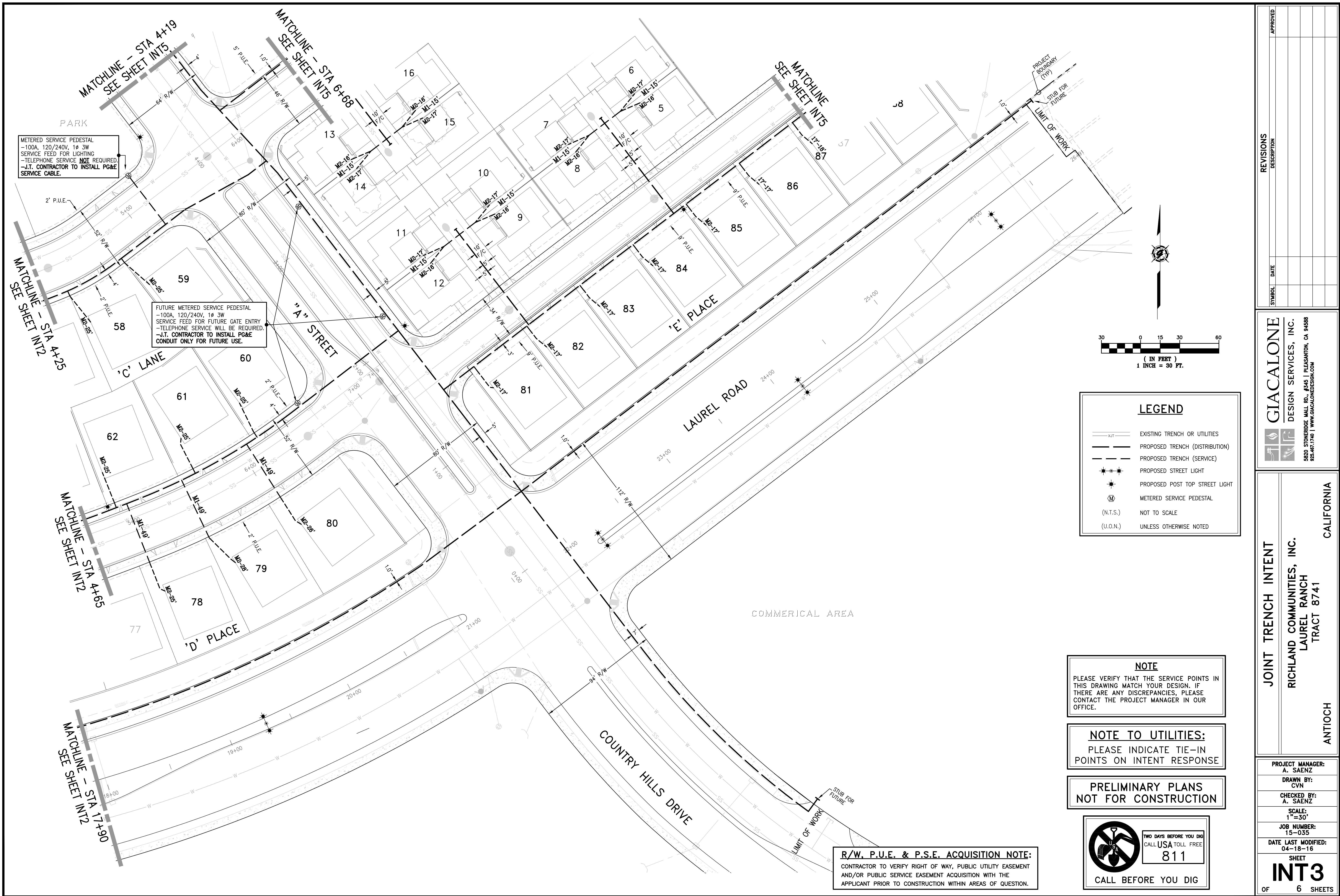
R/W, P.U.E. & P.S.E. ACQUISITION NOTE:
CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT
AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE
APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.

NOTE
PLEASE VERIFY THAT THE SERVICE POINTS IN
THIS DRAWING MATCH YOUR DESIGN. IF
THERE ARE ANY DISCREPANCIES, PLEASE
CONTACT THE PROJECT MANAGER IN OUR
OFFICE.

NOTE TO UTILITIES:
PLEASE INDICATE TIE-IN
POINTS ON INTENT RESPONSE

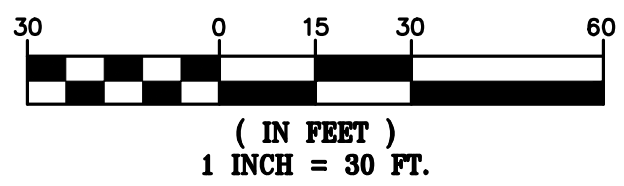
**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

**TWO DAYS BEFORE YOU DIG
CALL USA TOLL FREE
811
CALL BEFORE YOU DIG**



METERED SERVICE PEDESTAL
 -100A, 120/240V, 1Ø 3W
 -SERVICE FEED FOR LIGHTING
 -TELEPHONE SERVICE NOT REQUIRED
 -J.T. CONTRACTOR TO INSTALL PG&E SERVICE CABLE.

FUTURE METERED SERVICE PEDESTAL
 -100A, 120/240V, 1Ø 3W
 -SERVICE FEED FOR FUTURE GATE ENTRY
 -TELEPHONE SERVICE WILL BE REQUIRED.
 -J.T. CONTRACTOR TO INSTALL PG&E CONDUIT ONLY FOR FUTURE USE.



LEGEND	
	EXISTING TRENCH OR UTILITIES
	PROPOSED TRENCH (DISTRIBUTION)
	PROPOSED TRENCH (SERVICE)
	PROPOSED STREET LIGHT
	PROPOSED POST TOP STREET LIGHT
	METERED SERVICE PEDESTAL
(N.T.S.)	NOT TO SCALE
(U.O.N.)	UNLESS OTHERWISE NOTED

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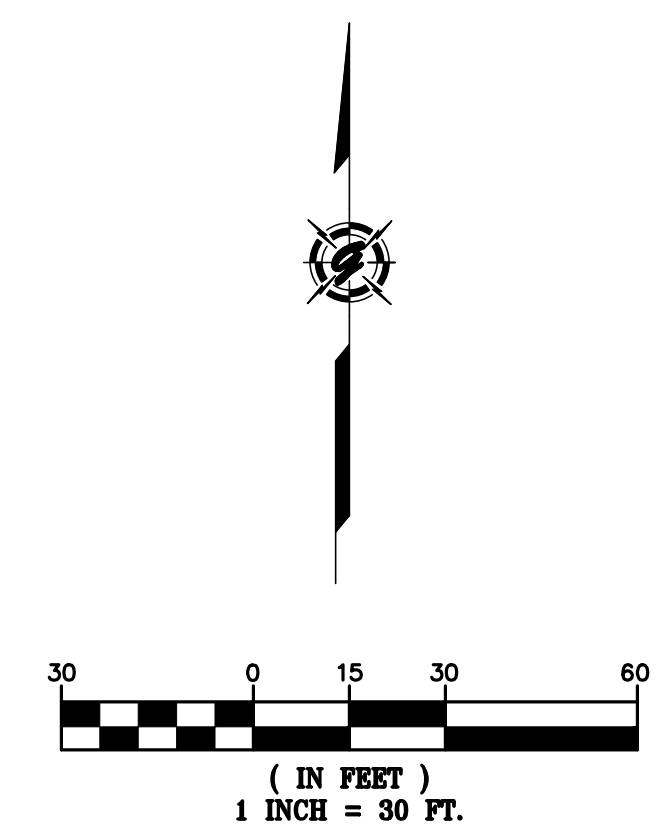
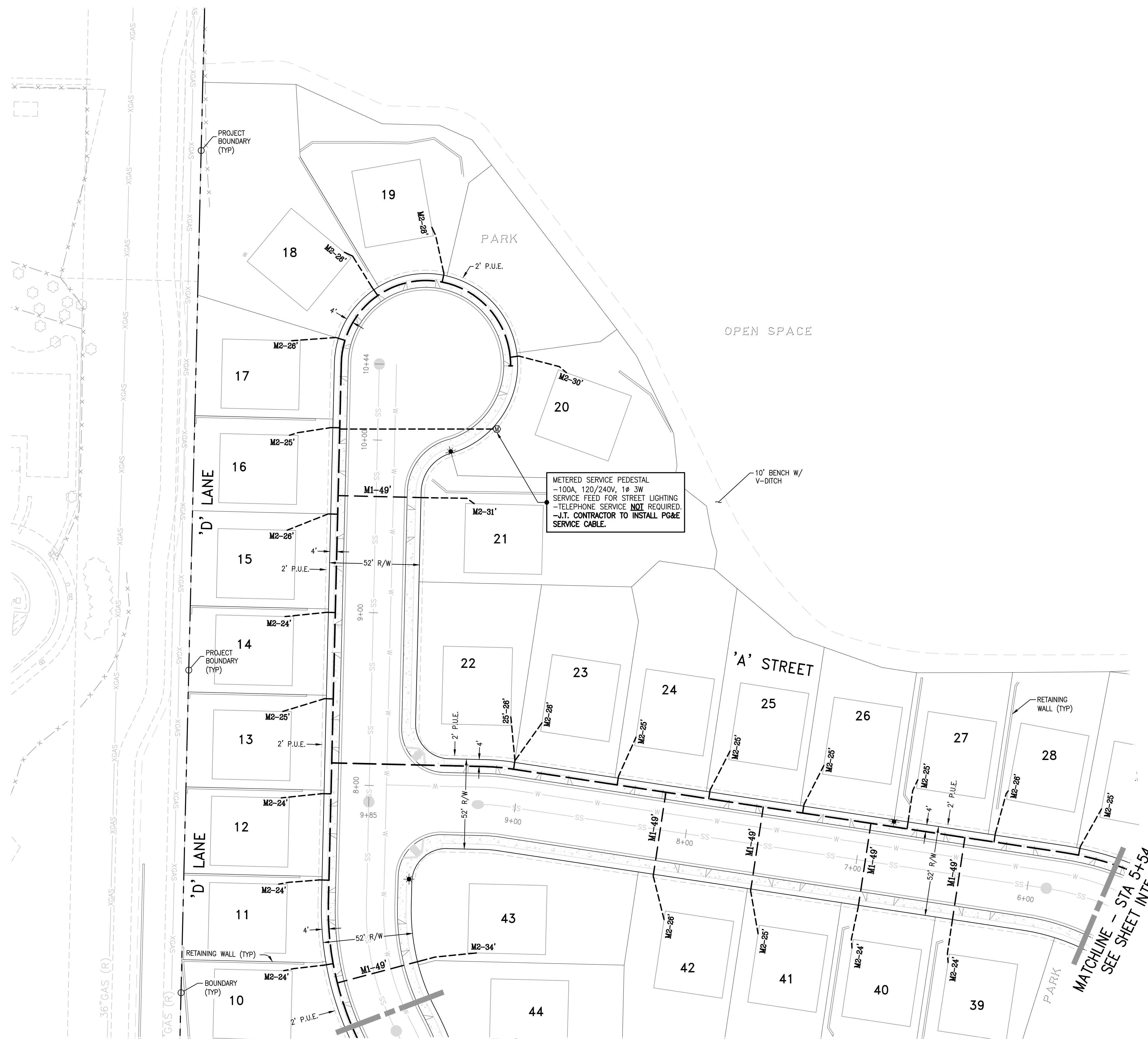
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REVISIONS	DESCRIPTION	DATE	APPROVED

GIACALONE
 DESIGN SERVICES, INC.
 5820 STONERIDGE MALL, RD., #545 | PLEASANTON, CA 94688
 925-777-1740 | WWW.GIACALONEDSIGN.COM

JOINT TRENCH INTENT
 RICHLAND COMMUNITIES, INC.
 LAUREL RANCH
 TRACT 8741
 CALIFORNIA
 ANTIOCH

PROJECT MANAGER:
 A. SAENZ
 DRAWN BY:
 CVN
 CHECKED BY:
 A. SAENZ
 SCALE:
 1"=30'
 JOB NUMBER:
 15-035
 DATE LAST MODIFIED:
 04-18-16
 SHEET
INT3
 OF 6 SHEETS



LEGEND

	EXISTING TRENCH OR UTILITIES
	PROPOSED TRENCH (DISTRIBUTION)
	PROPOSED TRENCH (SERVICE)
	PROPOSED STREET LIGHT
	PROPOSED POST TOP STREET LIGHT
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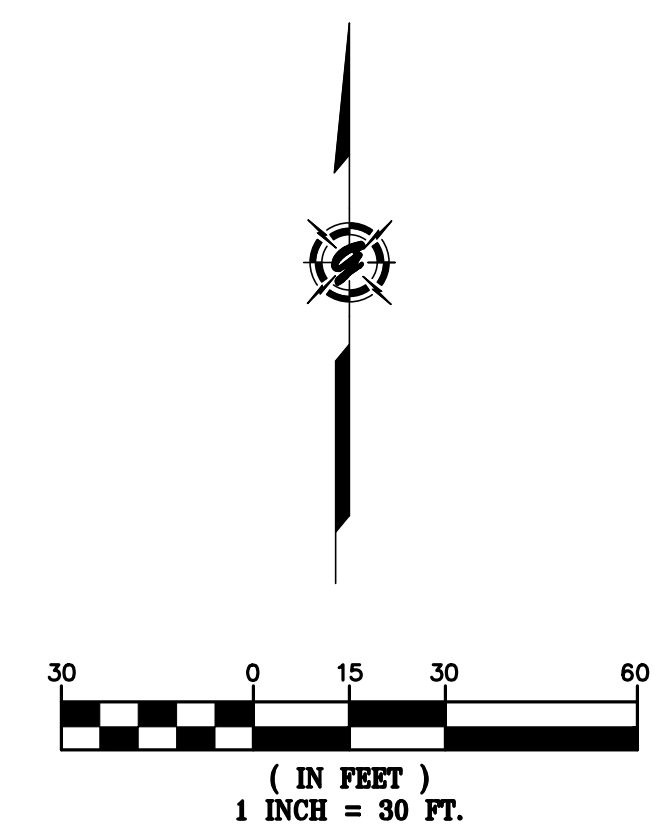
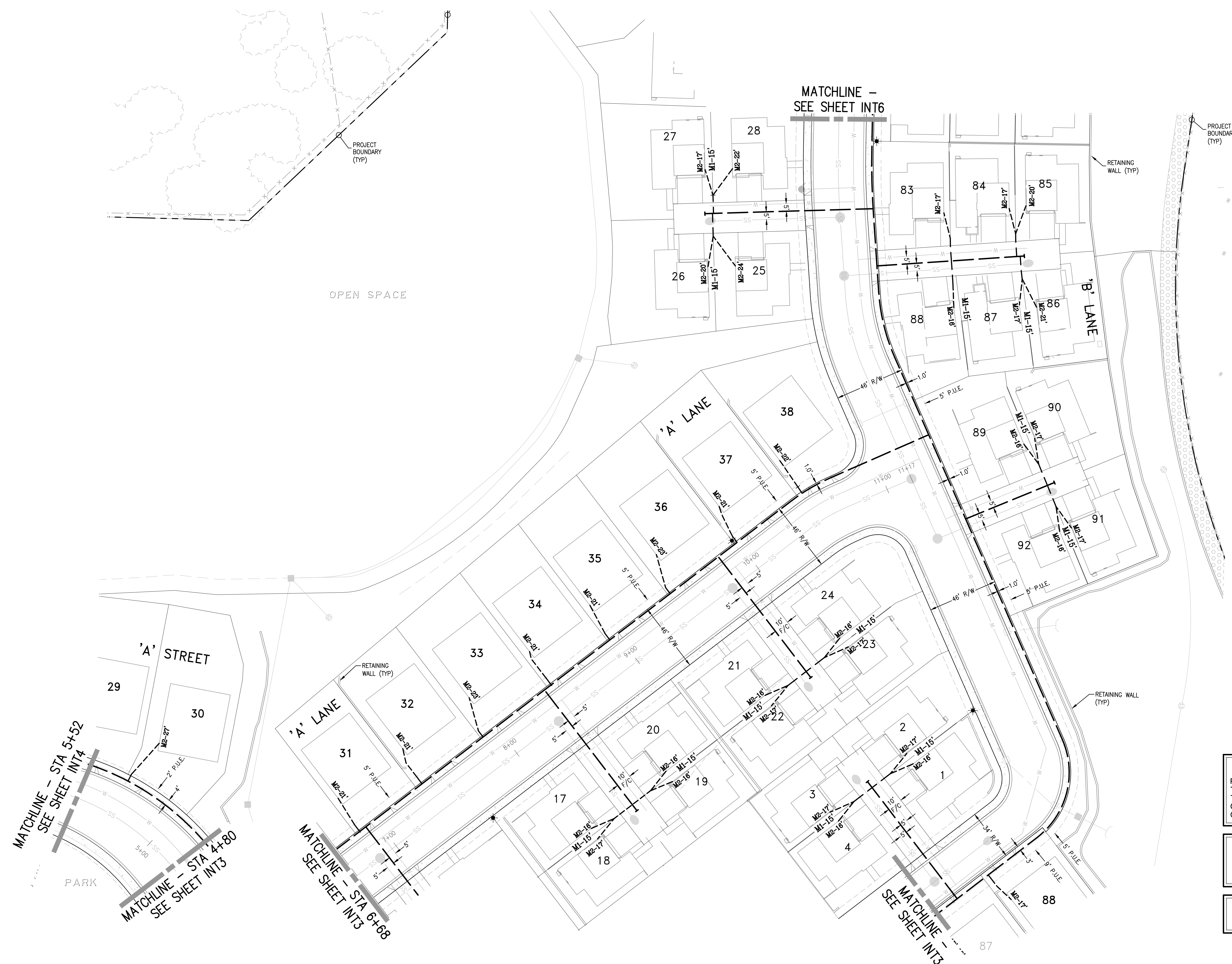
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GIACALONE
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 5200 STONERIDGE MALL, RD., #545 | PLEASANTON, CA 94688
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JOINT TRENCH INTENT
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 LAUREL RANCH
 TRACT 8741
 CALIFORNIA
 ANTIOCH

PROJECT MANAGER:
A. SAENZ
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CVN
 CHECKED BY:
A. SAENZ
 SCALE:
1"=30'
 JOB NUMBER:
15-035
 DATE LAST MODIFIED:
04-18-16
 SHEET
INT4
 OF 6 SHEETS



LEGEND

	EXISTING TRENCH OR UTILITIES
	PROPOSED TRENCH (DISTRIBUTION)
	PROPOSED TRENCH (SERVICE)
	PROPOSED STREET LIGHT
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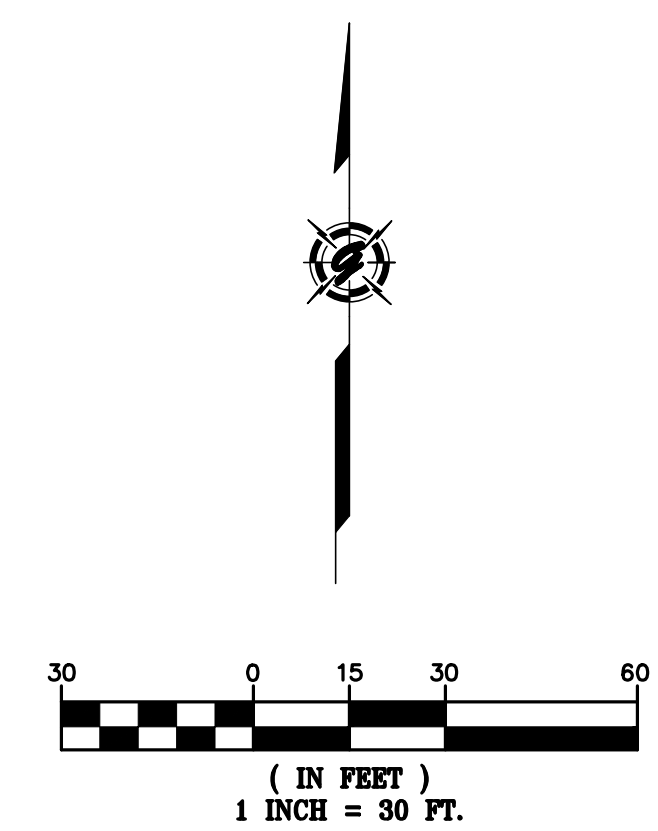
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APPROVED	REVISIONS
DATE	DESCRIPTION

GIACALONE
DESIGN SERVICES, INC.
5200 STONERIDGE HILL RD., #545 | PLEASANTON, CA 94688
925.467.7740 | WWW.GIACALONEDSIGN.COM

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ANTIOCH
CALIFORNIA

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SHEET
INT5
OF 6 SHEETS



LEGEND

	EXISTING TRENCH OR UTILITIES
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	PROPOSED TRENCH (SERVICE)
	PROPOSED STREET LIGHT
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MATCHLINE
SEE SHEET INT5

REVISIONS	DESCRIPTION	DATE	APPROVED

GIACALONE
DESIGN SERVICES, INC.
5200 STONERIDGE MALL, SUITE 110
SAN RAMON, CA 94583
925.477.1740 | WWW.GIACALONEDSIGN.COM

JOINT TRENCH INTENT
RICHLAND COMMUNITIES, INC.
LAUREL RANCH
TRACT 8741
CALIFORNIA
ANTIOCH

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