

**GENERAL NOTES**

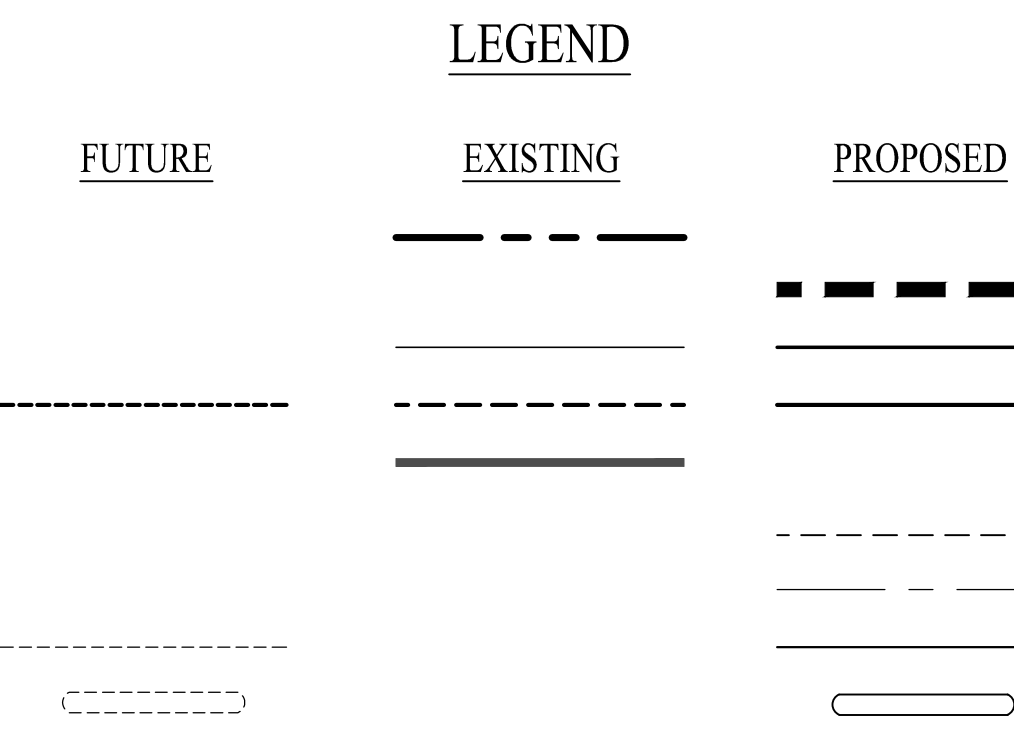
- PROPERTY OWNERS: EPC HOLDINGS 820, LLC  
AMERICAN SUPERIOR LAND, LLC
- APPLICANT/DEVELOPER: RICHLAND PLANNED COMMUNITIES  
3000 LAVA RIDGE COURT, SUITE 115  
ROSELILLE, CA 95661  
PHONE: (916) 785-3330  
KYLE MASTERS
- ENGINEER: CARLSON, BARBER, & GIBSON, INC.  
2633 CANNON RAMON, SUITE 350  
SAN RAMON, CA 94583  
PHONE: (925) 866-0322  
ANDREA BELLANCA P.E., RCE 61806
- USE: EXISTING: AGRICULTURAL  
PROPOSED: SINGLE FAMILY DETACHED RESIDENTIAL/MIXED-USE
- GENERAL PLAN: EXISTING: LIMITED DEVELOPMENT AREA  
PROPOSED: LIMITED DEVELOPMENT AREA
- ZONING: EXISTING: PLANNED DEVELOPMENT (PD)  
PROPOSED: PLANNED DEVELOPMENT (PD)
- LAND AREA SUMMARY:  

LOW DENSITY - CONVENTIONAL (LD-3)	53.34 ACRES
MEDIUM DENSITY (MD)	38.74 ACRES
VILLAGE CENTER (VC)	4.81 ACRES
PUBLIC USE - FIRE STATION (PO-F)	2.44 ACRES
PARKS (P)	6.94 ACRES
LANDSCAPE (L)	4.14 ACRES
MAJOR ROADWAY	10.64 ACRES
WATER QUALITY/RETENTION BASIN	16.94 ACRES
PHASE 1 DEVELOPED AREA	136.74 ACRES
PHASE 2	89.234 ACRES
PHASE 3	328.204 ACRES
TOTAL AREA	551.54 ACRES

- CONTOUR INTERVALS: EXISTING - 2 FOOT  
PROPOSED - 2 FOOT
- PROPOSED GRADING AS SHOWN IS PRELIMINARY. FINAL GRADING IS SUBJECT TO FINAL DESIGN.
- ALL GRADING WILL BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND CONDITIONS OF THE GEOTECHNICAL ENGINEER AND REPORT REGARDING THIS PROJECT NO. 4371.000.001, PREPARED BY ENGEL, INC. DATED SEPTEMBER 26, 2016.
- MAXIMUM CUT OR FILL SLOPE IS 2:1.
- ALL EXISTING STRUCTURES TO BE REMOVED, UNLESS NOTED OTHERWISE.
- BOUNDARY IS PER RECORD INFORMATION.
- PROPOSED DEVELOPED AREA IS NOT SUBJECT TO INUNDATION.
- ALL INTERIOR STREETS TO BE PUBLIC, EXCEPT AS NOTED.
- SAND CREEK ROAD SHALL BE A PUBLIC ROADWAY DEDICATED TO THE CITY OF ANTIOCH.
- MULTIPLE FINAL MAPS MAY BE FILED ON THE LANDS SHOWN ON THIS MAP. A MASTER FINAL MAP MAY BE FILED TO CREATE SELLABLE PARCELS.
- USE PERMIT AS REQUIRED FOR EACH PHASE OF A PLANNED DEVELOPMENT.

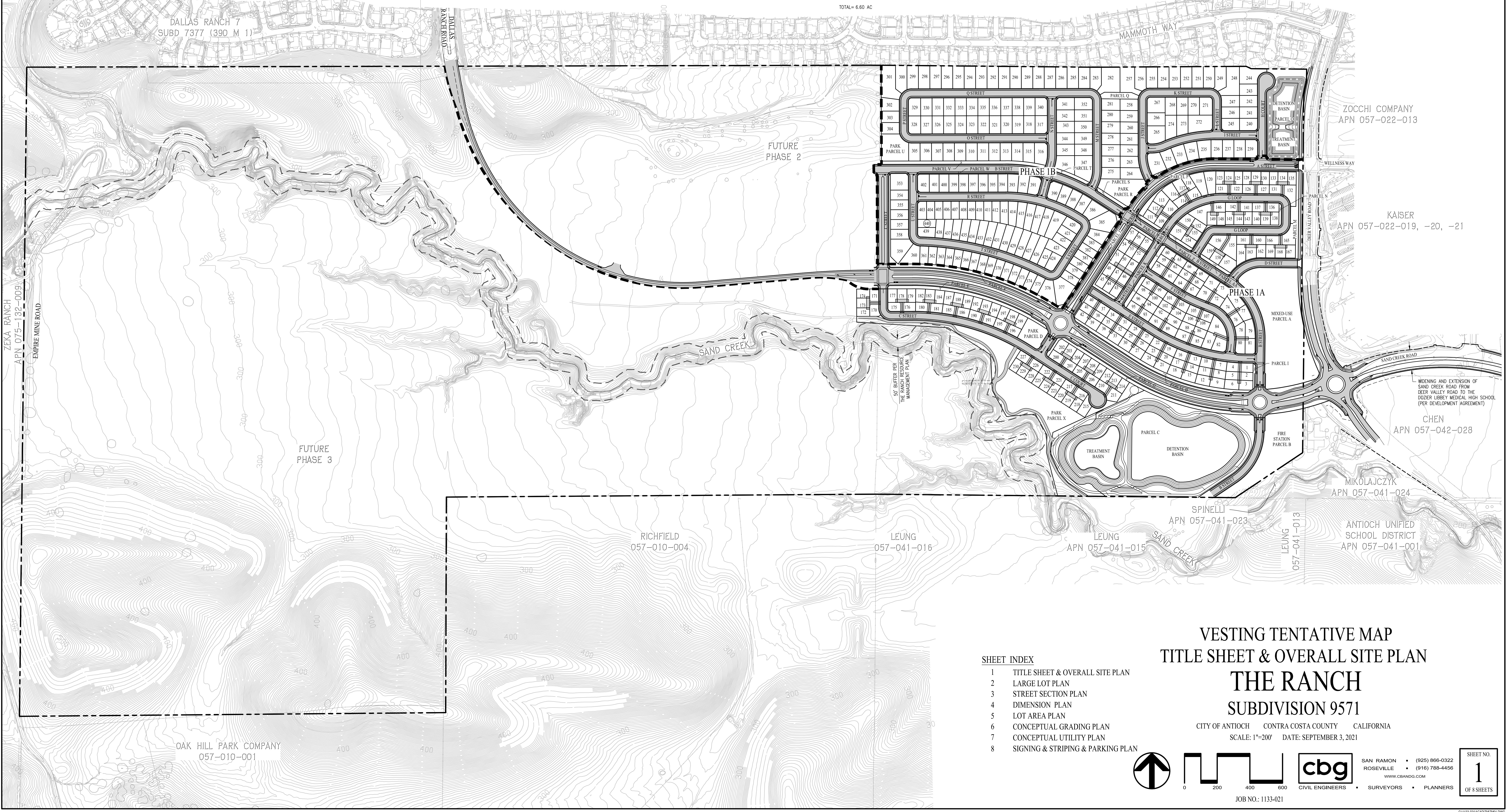
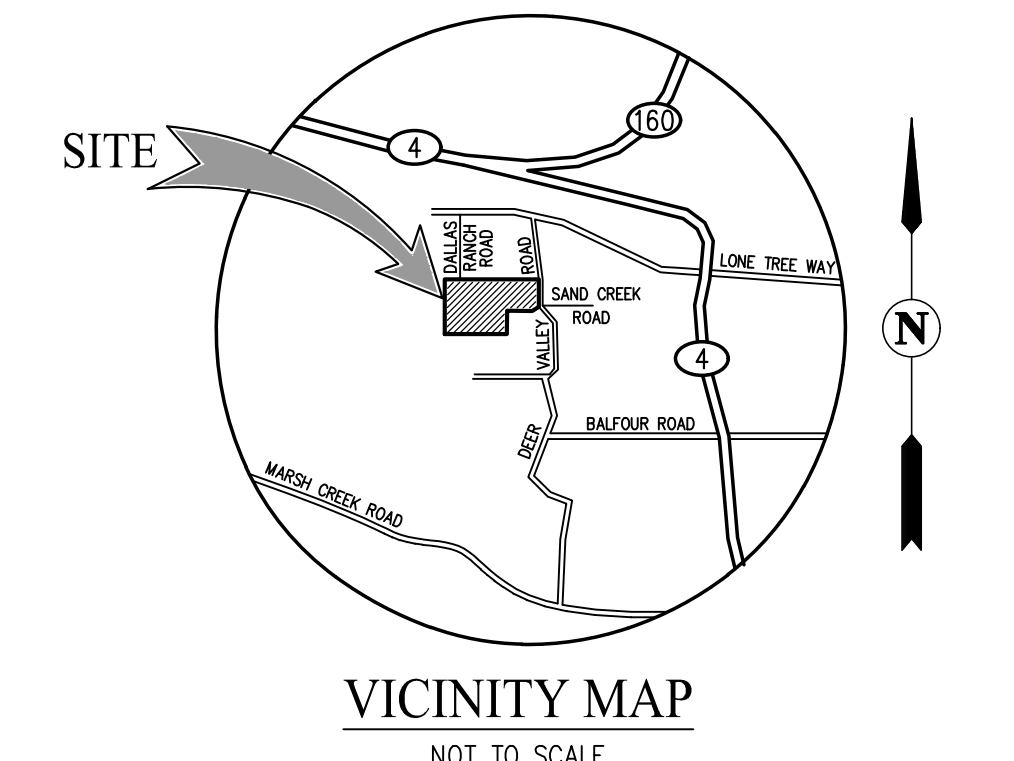
**PARCEL SUMMARY**

PARCEL	LAND USE	ACREAGE	OWNER
PARCEL A	MIXED USE	4.77 AC	CITY
PARCEL B	FIRE STATION	2.39 AC	CITY
PARCEL C	WATER QUALITY/RETENTION BASIN/LANDSCAPING	14.31 AC	CITY
PARCEL D	PARK	0.47 AC	CITY
PARCEL E	LANDSCAPING	0.46 AC	HOA
PARCEL F	LANDSCAPING	0.85 AC	HOA
PARCEL G	LANDSCAPING	0.61 AC	HOA
PARCEL H	LANDSCAPING	0.55 AC	HOA
PARCEL I	LANDSCAPING	0.04 AC	HOA
PARCEL J	LANDSCAPING	0.23 AC	HOA
PARCEL K	LANDSCAPING	0.12 AC	HOA
PARCEL L	LANDSCAPING	0.20 AC	HOA
PARCEL M	LANDSCAPING	0.71 AC	HOA
PARCEL N	LANDSCAPING	0.15 AC	HOA
PARCEL O	WATER QUALITY/RETENTION BASIN/LANDSCAPING	2.60 AC	CITY
PARCEL P	LANDSCAPING	0.10 AC	HOA
PARCEL Q	LANDSCAPING	0.11 AC	HOA
PARCEL R	PARK	0.72 AC	CITY
PARCEL S	LINEAR PARK	0.10 AC	CITY
PARCEL T	LINEAR PARK	0.10 AC	CITY
PARCEL U	PARK	0.59 AC	CITY
PARCEL V	LINEAR PARK	0.46 AC	CITY
PARCEL W	LANDSCAPING	0.09 AC	HOA
PARCEL X	PARK	4.20 AC	CITY
PARCEL Y	LINEAR PARK	0.07 AC	CITY
PARCEL Z	LINEAR PARK	0.08 AC	CITY
PARCEL AA	LINEAR PARK	0.10 AC	CITY



**PARK AREA SUMMARY**

DESIGN GUIDELINES	LOCATION	PROPOSED ACREAGE	PER ANTIOCH MUNICIPAL CODE:
HOMESTEAD PARK	PARCEL D PARCEL X	0.47 AC 4.72 AC SUBTOTAL=5.19 AC	1 SINGLE FAMILY DWELLING UNIT : 0.015 ACRES OF PARK
LANDSCAPE PATHWAY & CENTRAL PARK	PARCEL U PARCEL S PARCEL R	0.59 AC 0.10 AC 0.22 AC SUBTOTAL=1.41 AC	440 UNITS IN PHASE 1 X 0.015 = 6.6 ACRES
		TOTAL=6.60 AC	



- SHEET INDEX**
- TITLE SHEET & OVERALL SITE PLAN
  - LARGE LOT PLAN
  - STREET SECTION PLAN
  - DIMENSION PLAN
  - LOT AREA PLAN
  - CONCEPTUAL GRADING PLAN
  - CONCEPTUAL UTILITY PLAN
  - SIGNING & STRIPING & PARKING PLAN

**VESTING TENTATIVE MAP  
TITLE SHEET & OVERALL SITE PLAN  
THE RANCH  
SUBDIVISION 9571**

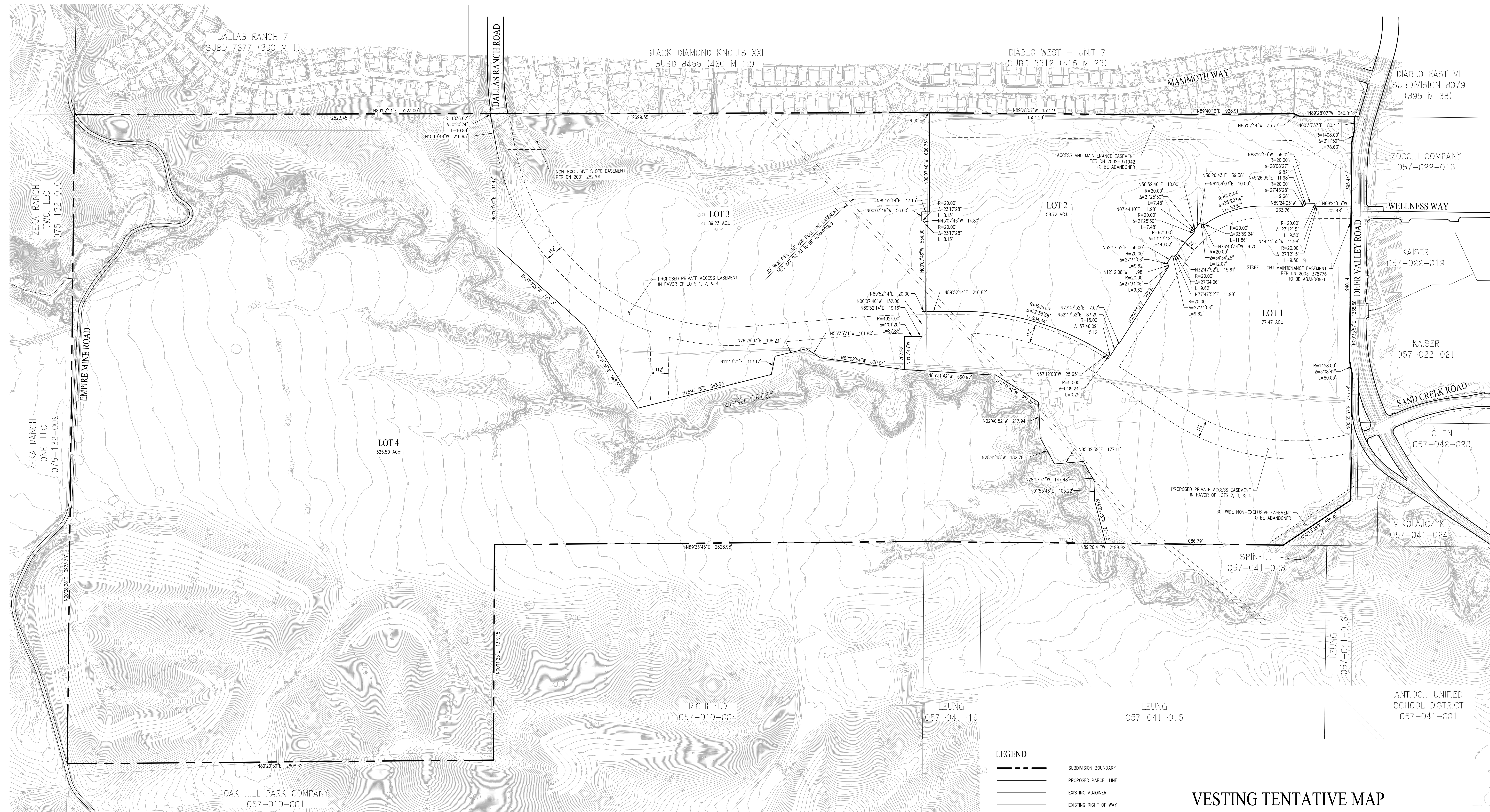
CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA  
SCALE: 1"=200' DATE: SEPTEMBER 3, 2021

**cbg** CIVIL ENGINEERS • SURVEYORS • PLANNERS

SAN RAMON • (925) 866-0322  
ROSELILLE • (916) 788-4456  
WWW.CBANDG.COM

**1**  
OF 8 SHEETS

JOB NO: 1133-021

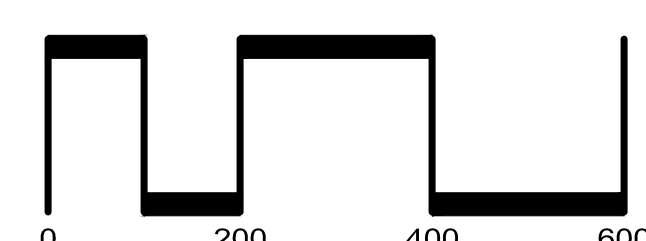
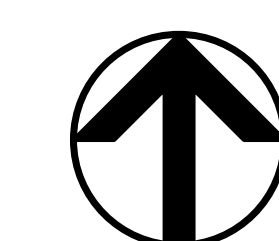


**LEGEND**

---	SUBDIVISION BOUNDARY
---	PROPOSED PARCEL LINE
---	EXISTING ADJOINER
---	EXISTING RIGHT OF WAY
---	PROPOSED EASEMENT
---	EXISTING EASEMENT

**VESTING TENTATIVE MAP  
LARGE LOT PLAN  
THE RANCH  
SUBDIVISION 9571**

CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA  
SCALE: 1"=200' DATE: SEPTEMBER 3, 2021

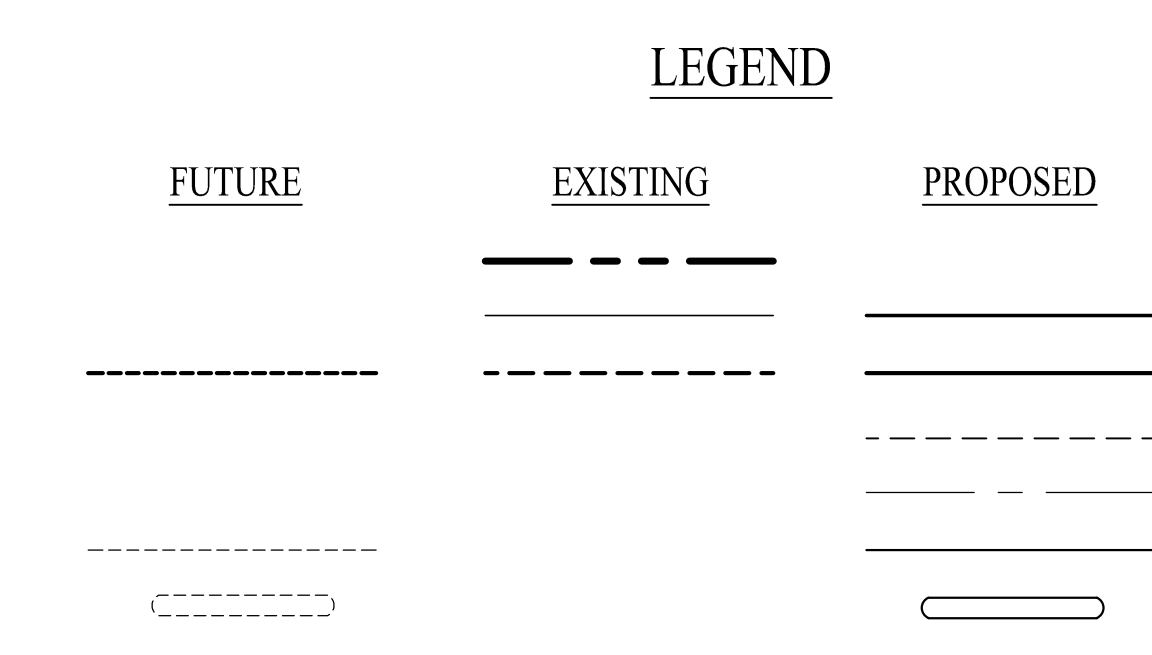
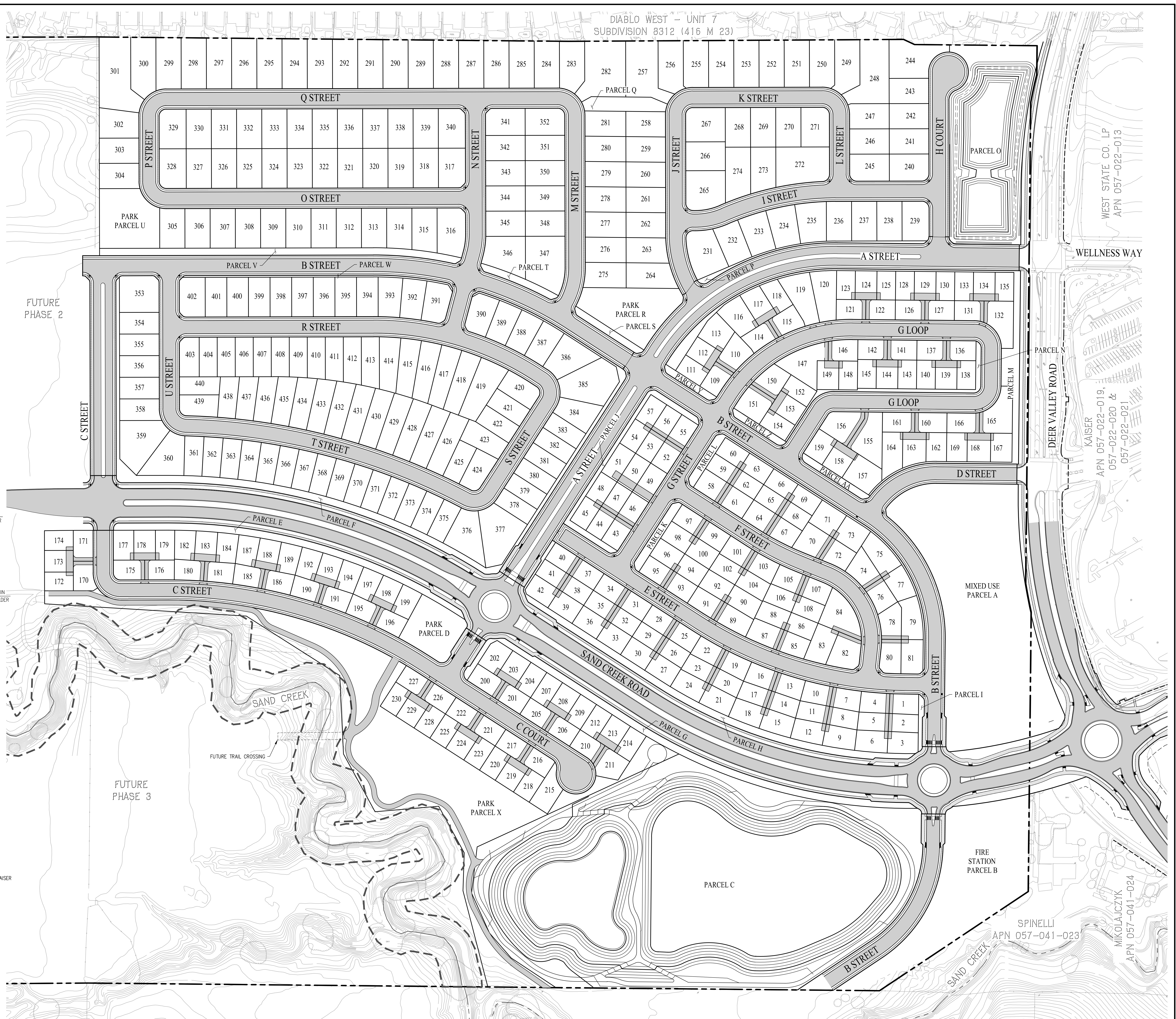
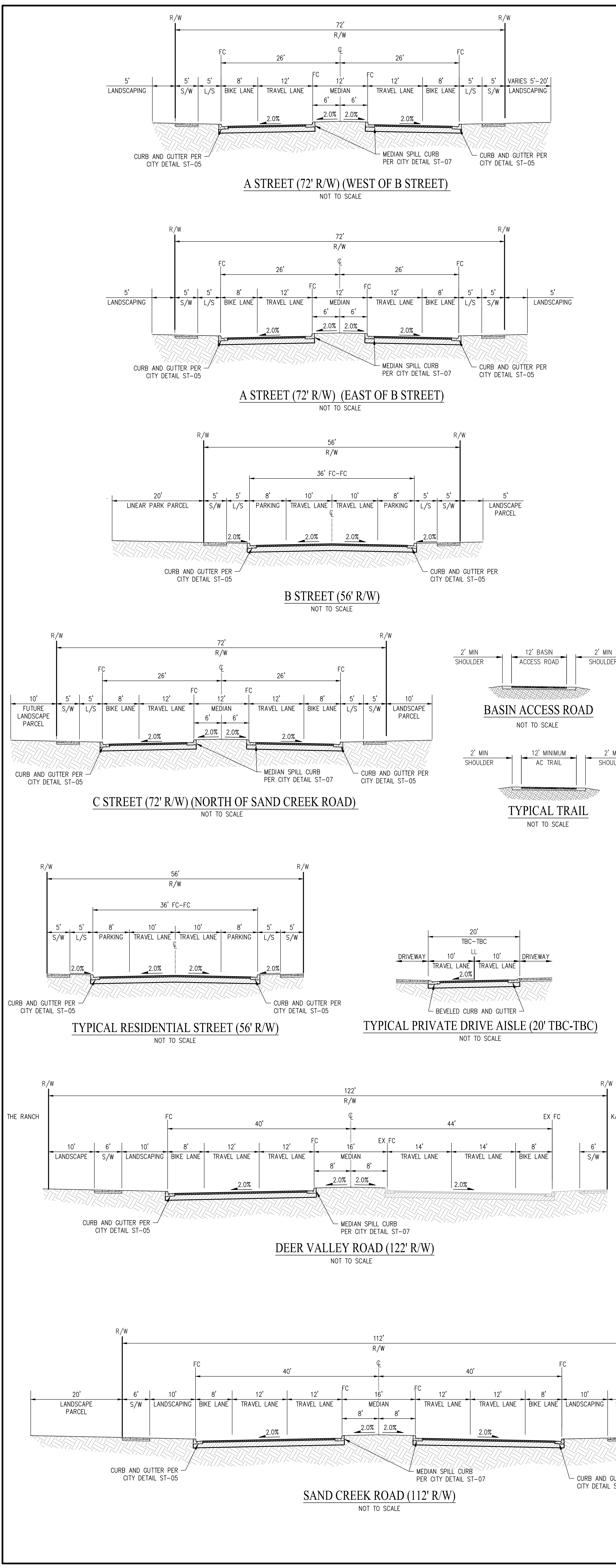


SAN RAMON • (925) 866-0322  
ROSEVILLE • (916) 788-4456  
WWW.CBANDG.COM  
CIVIL ENGINEERS • SURVEYORS • PLANNERS

SHEET NO.  
**2**  
OF 8 SHEETS

JOB NO.: 1133-021

DIABLO WEST - UNIT 7  
SUBDIVISION 8312 (416 M 23)



**VESTING TENTATIVE MAP**  
**STREET SECTIONS**  
**THE RANCH**  
**SUBDIVISION 9571**  
CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA  
SCALE: 1"=100' DATE: SEPTEMBER 3, 2021

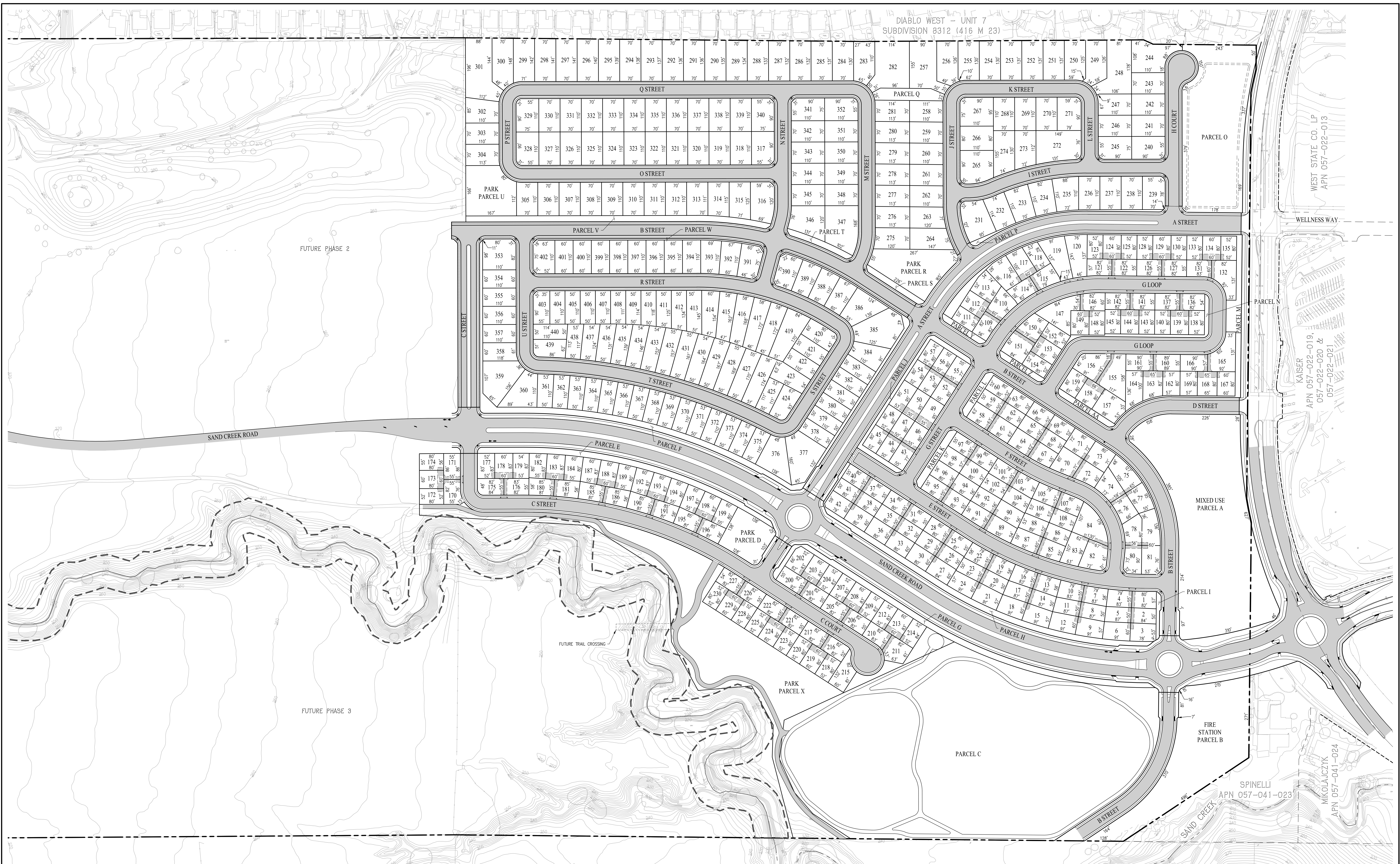
**cbg** CIVIL ENGINEERS • SURVEYORS • PLANNERS

SAN RAMON • (925) 866-0322  
ROSEVILLE • (916) 788-4456  
WWW.CBANDOG.COM

**SHEET NO. 3**  
OF 8 SHEETS

JOB NO.: 1133-021

DIABLO WEST - UNIT 7  
SUBDIVISION 8312 (416 M 23)



WEST STATE CO. LP  
APN 057-022-013

KAISER  
APN 057-022-019,  
057-022-020 &  
057-022-021

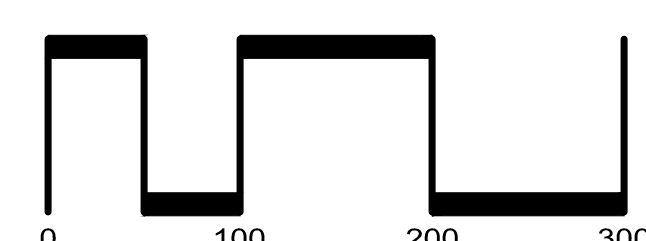
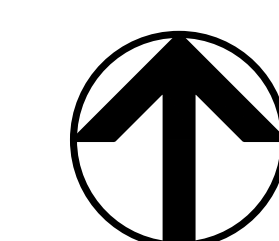
SPINELLI  
APN 057-041-023

MIKOLAJCZYK  
APN 057-041-024

# VESTING TENTATIVE MAP DIMENSION PLAN THE RANCH SUBDIVISION 9571

CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA  
SCALE: 1"=100' DATE: SEPTEMBER 3, 2021

LEGEND		
FUTURE	EXISTING	PROPOSED



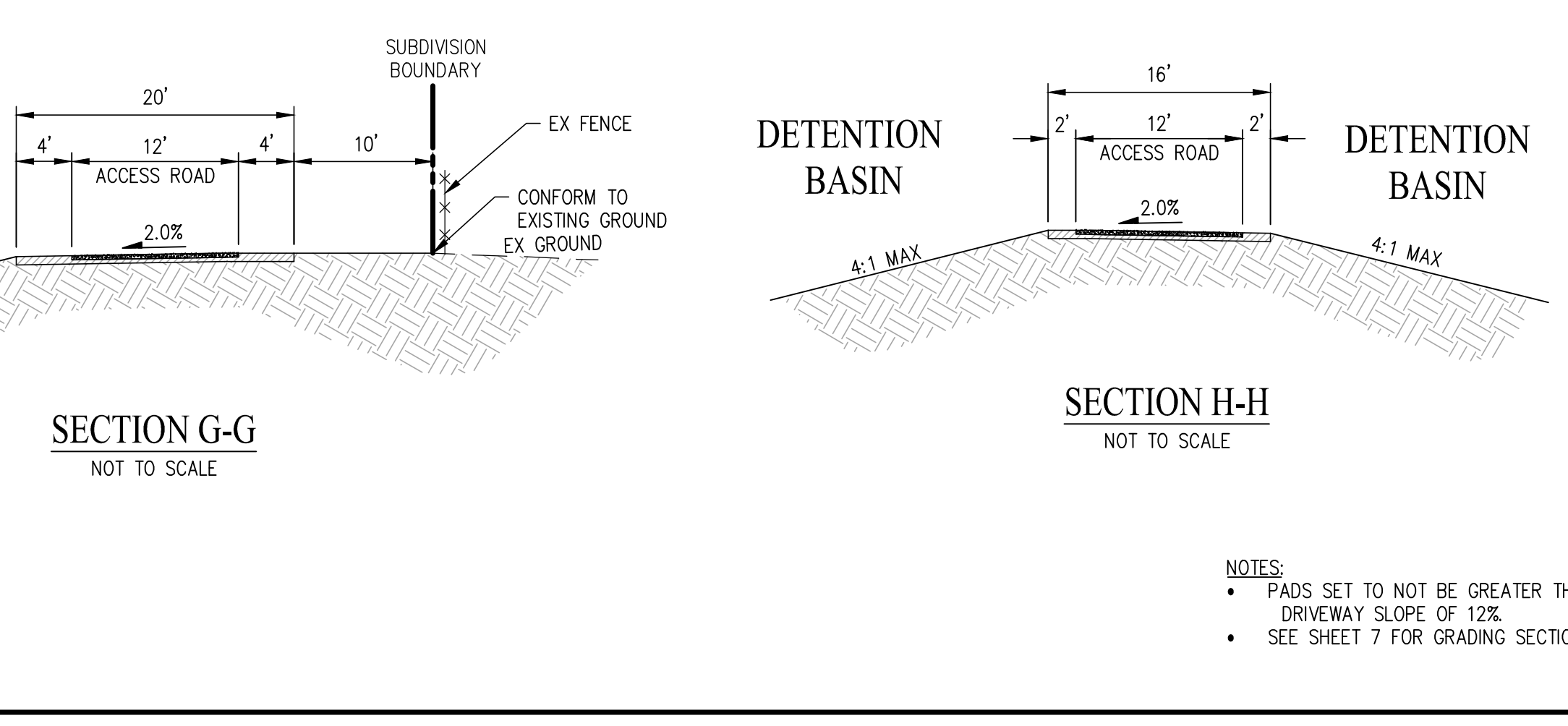
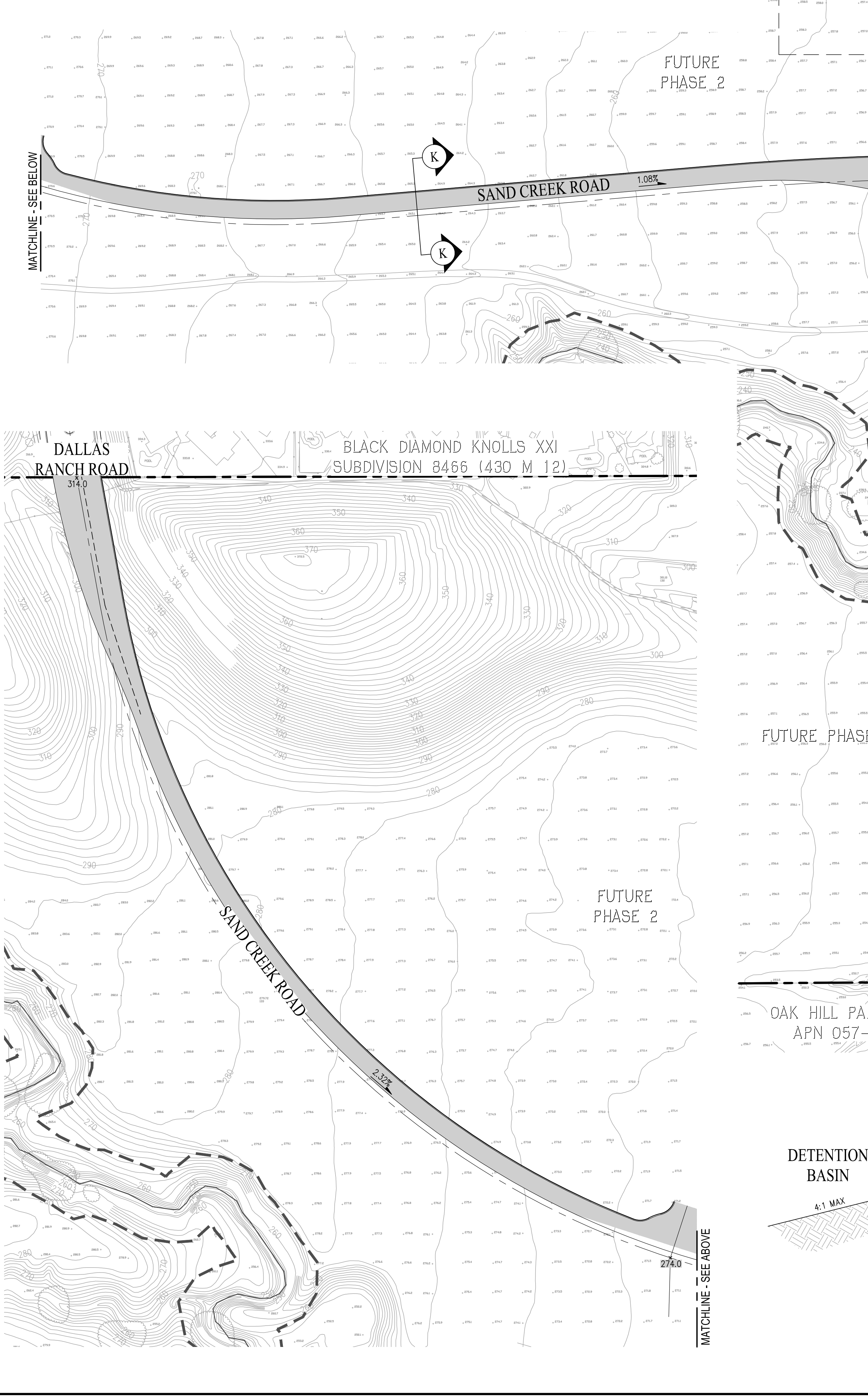
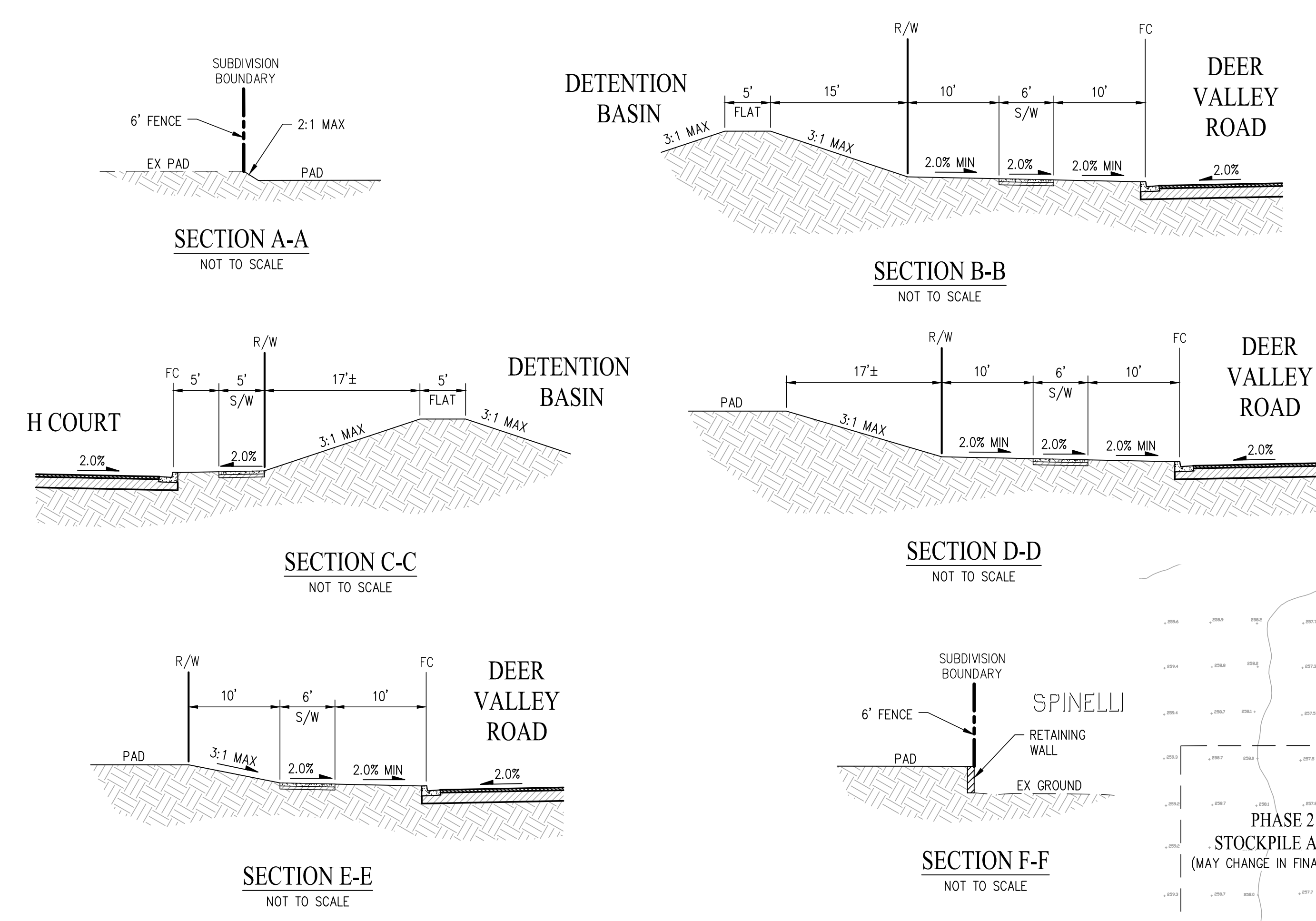
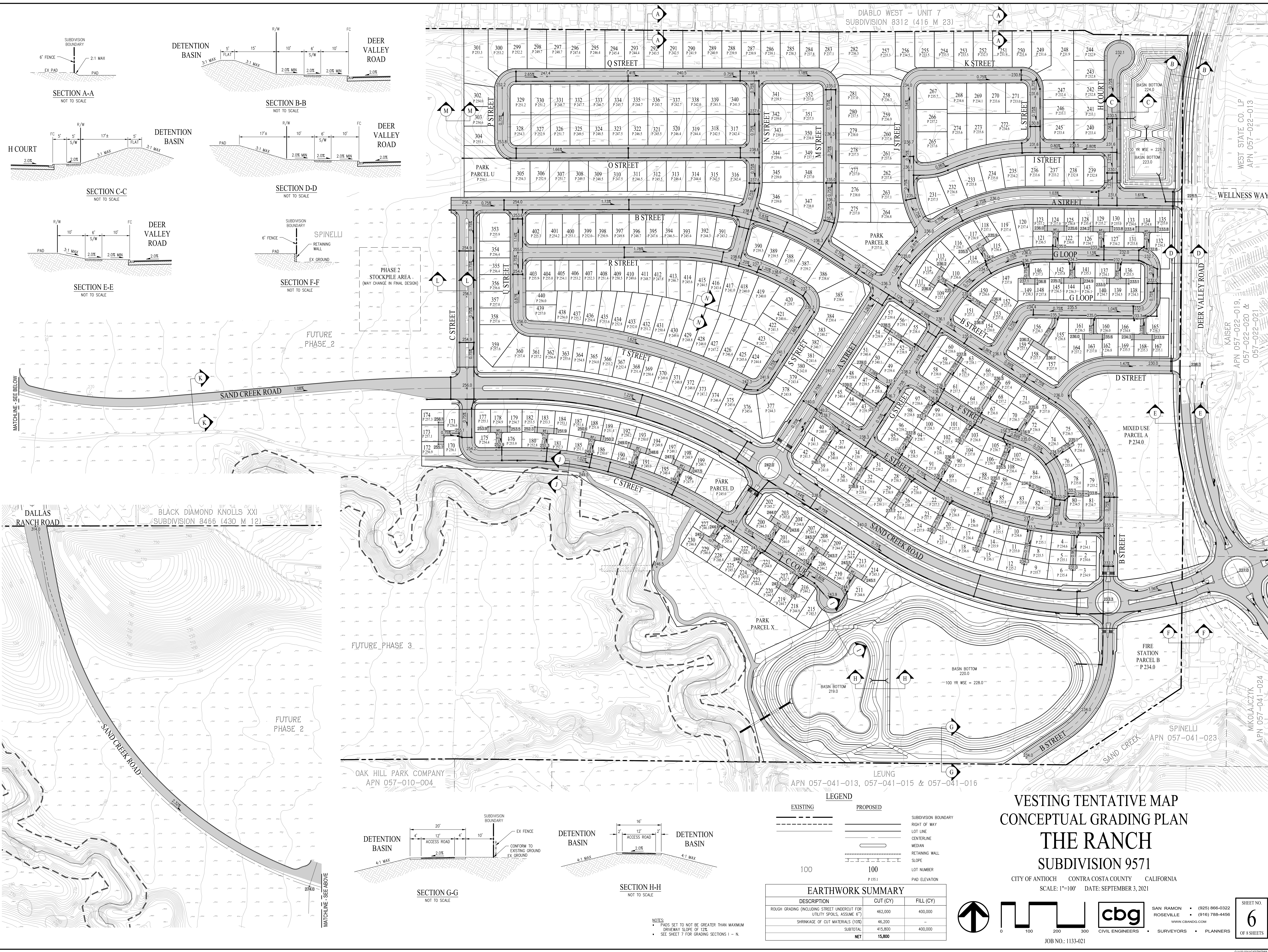
SAN RAMON • (925) 866-0322  
ROSEVILLE • (916) 788-4456  
WWW.CBANDG.COM  
CIVIL ENGINEERS • SURVEYORS • PLANNERS

SHEET NO.  
**4**  
OF 8 SHEETS

JOB NO.: 1133-021

01133021A02111M1A020





**LEGEND**

EXISTING      PROPOSED

100      100

**EARTHWORK SUMMARY**

DESCRIPTION	CUT (CY)	FILL (CY)
ROUGH GRADING (INCLUDING STREET UNDERCUT FOR UTILITY SPOOLS, ASSUME 6")	462,000	400,000
SHRINKAGE OF CUT MATERIALS (10%)	46,200	-
SUBTOTAL	415,800	400,000
NET	15,800	-

**VESTING TENTATIVE MAP  
CONCEPTUAL GRADING PLAN  
THE RANCH  
SUBDIVISION 9571**

CITY OF ANTIOCH    CONTRA COSTA COUNTY    CALIFORNIA  
SCALE: 1"=100'    DATE: SEPTEMBER 3, 2021

**cbg** CIVIL ENGINEERS    SURVEYORS    PLANNERS

SAN RAMON    (925) 866-0322  
ROSEVILLE    (916) 788-4456  
WWW.CBANG.COM

**SHEET NO. 6**  
OF 8 SHEETS

JOB NO: 1133-021

WEST STATE CO. LP  
APN 057-022-019

WELLNESS WAY

KABER  
APN 057-022-019,  
057-022-020 &  
057-022-021

SPINELLI  
APN 057-041-023

MIKOLAJCZYK  
APN 057-041-024

PHASE 2  
STOCKPILE AREA  
(MAY CHANGE IN FINAL DESIGN)

FUTURE PHASE 3

OAK HILL PARK COMPANY  
APN 057-010-004

LEUNG  
APN 057-041-013, 057-041-015 & 057-041-016

SPINELLI  
APN 057-041-023

FIRE STATION  
PARCEL B  
P 234.0

MIXED USE  
PARCEL A  
P 234.0

DIABLO WEST - UNIT 7  
SUBDIVISION 8312 (416 M 23)

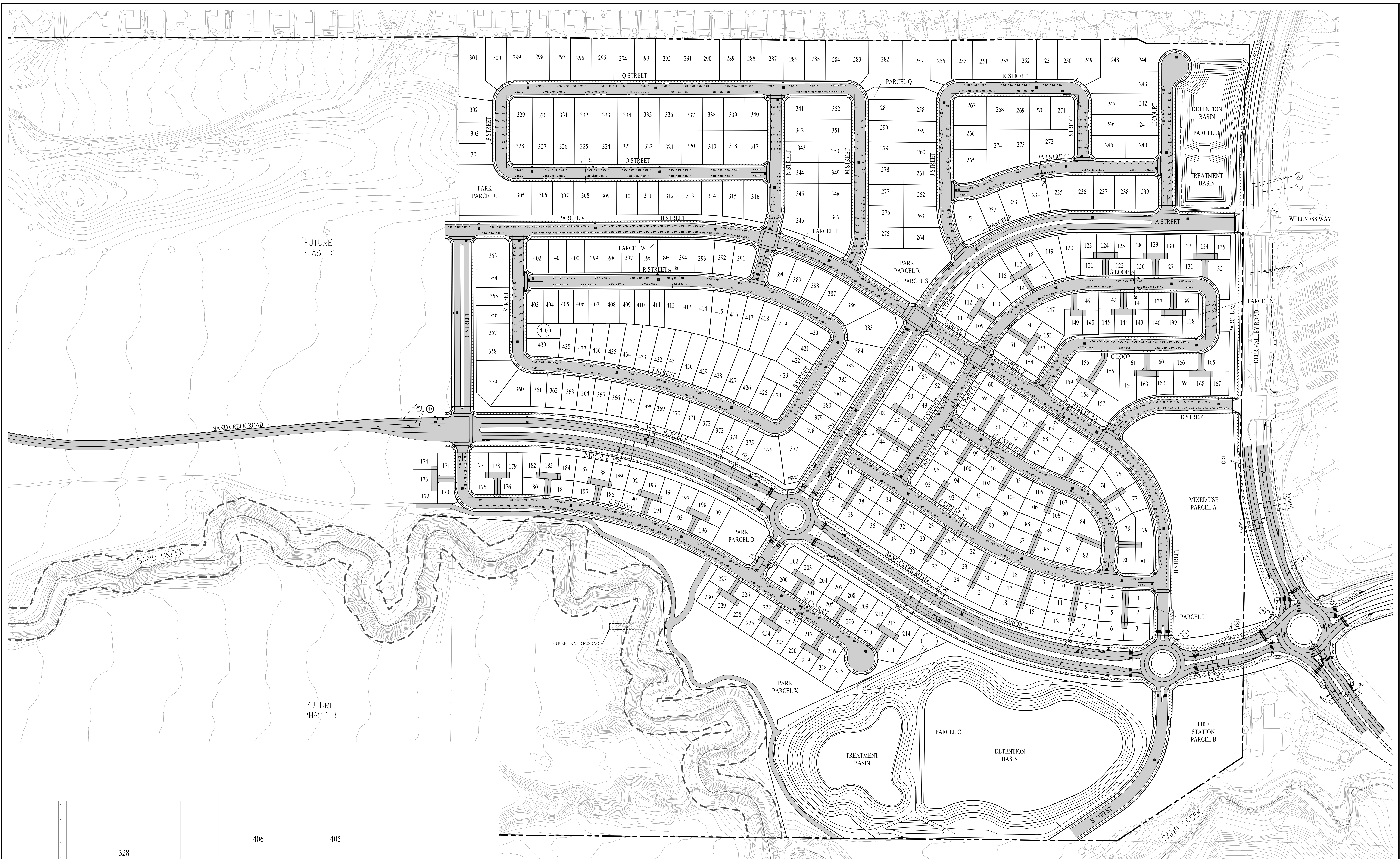
MATCHLINE - SEE BELOW

MATCHLINE - SEE ABOVE

NOTES:  
• PADS SET TO NOT BE GREATER THAN MAXIMUM  
DRIVEWAY SLOPE OF 12%.  
• SEE SHEET 7 FOR GRADING SECTIONS I - N.

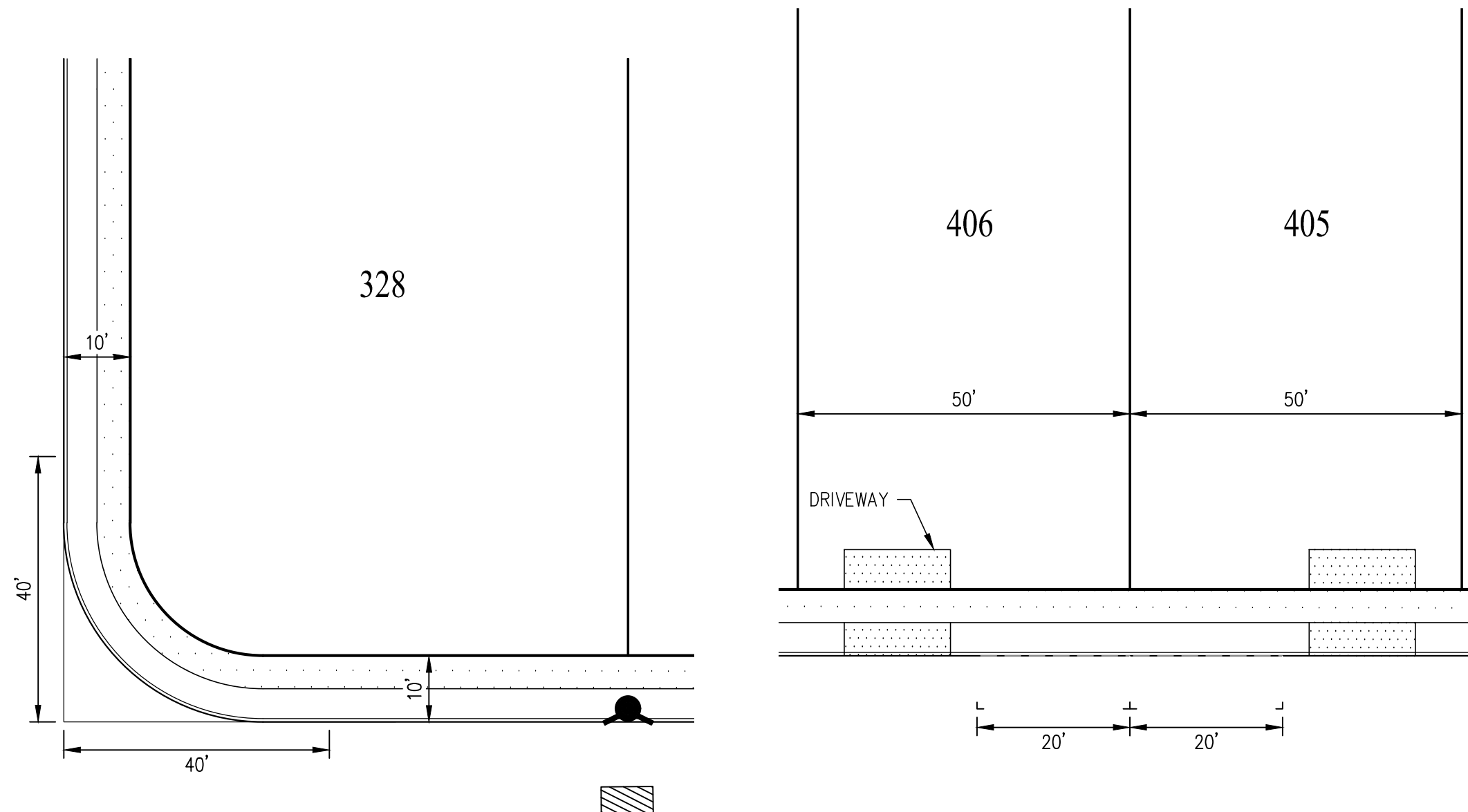
01133021C020711M.DWG





FUTURE PHASE 2

FUTURE PHASE 3



40' SIGHT TRIANGLE  
SCALE 1" = 20'

TYPICAL LOW DENSITY PARKING  
SCALE 1" = 20'

**PARKING SUMMARY**

PARKING TYPE	PARKING REQUIRED		PARKING PROVIDED	
	RATIO	NUMBER OF SPACES	RATIO	NUMBER OF SPACES
GARAGE (COVERED)	2 SPACES/DU	880 SPACES	2 SPACES/DU	880 SPACES
GUEST PARKING (ON-STREET)	1 SPACE/DU	440 SPACES	1 SPACE/DU	440 SPACES
ADDITIONAL ON-STREET PARKING	-	-	-	351 SPACES
TOTAL	-	1,320 SPACES	-	1,671 SPACES

GUEST PARKING (PARALLEL SPACES) DIMENSIONS  
INTERIOR: 8' X 20'

**SIGNING NOTES:**

- ALL SIGNING SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CAMUTCD) WITH REVISIONS.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER A MINIMUM OF 48 HOURS TO THE DAY OF LAYOUT OF THE PROPOSED SIGNING.
- CONTRACTOR SHALL GET CITY ENGINEER APPROVAL FOR SIGN INSTALLATION ON ELECTROLER.
- ALL STRIPING, PAVEMENT MARKING, AND SIGNING SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CAMUTCD) WITH REVISIONS.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER A MINIMUM OF TWO WORKING DAYS PRIOR TO THE DAY OF LAYOUT OF THE PROPOSED SIGNING AND STRIPING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT AND CAT TRACKING OF ALL PROPOSED STRIPING AND MARKING. NO PERMANENT STRIPING OR MARKING SHALL BE PLACED UNTIL CAT TRACKING IS APPROVED BY THE CITY TRAFFIC ENGINEER.
- ALL DETAIL NUMBERS REFER TO THE LATEST EDITION OF THE CA MUTCD STRIPING DETAILS.
- EXISTING STRIPES TO REMAIN UNLESS NOTED OTHERWISE.

**LEGEND**

	FUTURE		EXISTING		PROPOSED
	SUBDIVISION BOUNDARY		LOT LINE		RIGHT OF WAY
	CURB		TRAFFIC SIGN ON METAL POST PER CITY DETAIL ST-16 AND ST-17		REFLECTIVE "BLUE DOT" FIRE HYDRANT MARKER INSTALLED ADJACENT TO THE HYDRANT 5- FEET FROM STREET CENTERLINE PER CITY DETAIL W-02
	STOP SIGN		12" WIDE WHITE LINE (MUTCD DETAIL 22)		*STOP PAVEMENT MARKING - CENTER OF LEGEND 6- FEET OFF OF CENTERLINE OF STREET OR MEDIAN CURB.
	STOP SIGN		CALTRANS BIKE LANE SYMBOL (NOT TO SCALE) (CONSTRUCT PER CALTRANS STANDARD PLAN A24C)		PROPOSED CALIFORNIA MUTCD DETAIL #

**VESTING TENTATIVE MAP  
TRAFFIC SIGNING, STRIPING, & PARKING PLAN**

**THE RANCH  
SUBDIVISION 9571**

CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA  
SCALE: 1"=100' DATE: SEPTEMBER 3, 2021

**cbg** CIVIL ENGINEERS • SURVEYORS • PLANNERS

SAN RAMON • (925) 866-0322  
ROSEVILLE • (916) 788-4456  
WWW.CBANOG.COM

JOB NO.: 1133-021

SHEET NO. 8 OF 8 SHEETS