

LEVEL 5 - TRAVIS CREDIT UNION TERRACE CENTER

3500 HILLCREST AVE,
ANTIOCH, CA 94531

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RALEIGH, NORTH CAROLINA 27601

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SAN FRANCISCO, CA 94104

FORRELL / ELSESSER
160 PINE ST, 6TH FLOOR,
SAN FRANCISCO, CA 94111

ARCHITECTS / INTERIOR DESIGNERS

MEP ENGINEERS

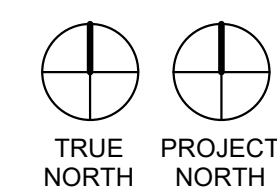
STRUCTURAL ENGINEERS

GENERAL PROJECT NOTES

- A. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.
- B. TESTING AND INSPECTION SERVICES FOR THE PROJECT SHALL BE PERFORMED BY AN APPROVED TESTING AND INSPECTION AGENCY AS ACCEPTABLE TO THE AUTHORITIES HAVING JURISDICTION.
- C. INTERIOR WALL AND CEILING FINISHES SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E84. FINISHES SHALL BE CLASS B (FLAME SPREAD 26-75; SMOKE DEVELOPED 0-450). FINISHES OTHER THAN TEXTILES SHALL BE TESTED IN ACCORDANCE WITH NFPA 286. THESE REQUIREMENTS MEET OR EXCEED THOSE LISTED IN THE BUILDING CODE REFERENCED ABOVE.
- D. CONTRACTOR SHALL SCHEDULE AND ARRANGE FOR ALL REQUIRED LEGAL INSPECTIONS.
- E. CONTRACTOR SHALL COMPLY WITH ALL CURRENT "HAZARDOUS MATERIALS COMMUNICATIONS" (HAZCOM) REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN "MATERIAL SAFETY DATA SHEETS" (MSDS) FOR ALL HAZARDOUS MATERIALS TO BE USED ON THE PROJECT. OBTAIN DATA SHEETS FROM THE MANUFACTURERS AND DELIVER TO THE OWNER'S REPRESENTATIVE PRIOR TO USING SUCH SUBSTANCES ON SITE. THE CONTRACTOR SHALL ALSO COMPLY WITH LAWS, ORDINANCES, RULES, AND REGULATIONS OF FEDERAL, STATE, REGIONAL, AND LOCAL AUTHORITIES REGARDING HANDLING, STORING, TRANSPORTING, AND DISPOSING OF HAZARDOUS MATERIALS. PRIOR TO TRANSPORTING ANY HAZARDOUS WASTES, THE APPROPRIATE SITE ENVIRONMENTAL LEADER MUST BE CONTACTED.
- F. PENETRATIONS THROUGH STRUCTURAL MEMBERS, ROOF ASSEMBLY AND FLOOR SLABS, NOT INDICATED ON THE DRAWINGS, SHALL REQUIRE APPROVAL BY THE ARCHITECT AND OWNER PRIOR TO PERFORMING THE WORK. SEAL CONDUITS, PIPES, AND SYSTEMS WHICH PENETRATE FIRE-RATED WALLS AND PARTITIONS WITH CLASSIFIED SYSTEMS BY UNDERWRITERS LABORATORIES, INC.
- G. EXACT SIZE AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL ROOF AND FLOOR OPENINGS SHOWN ON THE ARCHITECTURAL AND STRUCTURAL PLANS ARE TO BE VERIFIED WITH THE MECHANICAL AND ELECTRICAL CONTRACTORS PRIOR TO CONSTRUCTION.
- H. THE CONTRACTOR SHALL EXAMINE THE SITE AND PORTIONS THEREOF WHICH AFFECT THE WORK AND SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. NO ADDITIONAL EXPENSE SHALL BE ALLOWED WHICH RESULTS FROM THE FAILURE TO PERFORM THIS EXAMINATION.
- I. CONTRACTOR SHALL COORDINATE THE SIZE AND LOCATION OF ALL M.E.P. ITEMS OR OPENINGS WITH THE APPROPRIATE CONTRACTORS.
- J. ALL MATERIALS, FIXTURES AND EQUIPMENT INDICATED IN THE CONSTRUCTION DOCUMENTS SHALL BE NEW, AND AS SPECIFIED, UNLESS IDENTIFIED OTHERWISE.
- K. DIMENSIONS INDICATED ON PLANS ARE TO FACE OF PARTITIONS OR COLUMN CENTERLINE UNLESS NOTED OTHERWISE.
- L. DO NOT SCALE FROM THE DRAWINGS. THE ARCHITECT SHALL BE NOTIFIED OF ANY CONFLICTS IN DIMENSIONING.
- M. DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE 2" FROM THE FACE OF FINISHED WALL TO FACE OF DOOR FRAME JAMB AT HINGE SIDE OR CENTERED BETWEEN PERPENDICULAR PARTITIONS.
- N. ALL NEW / EXIST. FINISHED AND PATCHED SURFACES SHALL BE SMOOTH, CONTINUOUSLY FREE OF IMPERFECTIONS AND IN PROPER CONDITION TO RECEIVE THE SPECIFIED FINISH. PATCHED AREAS SHALL MATCH THE ADJACENT MATERIALS CONSTRUCTION AND FINISH.
- O. TAPE AND FILL ALL JOINTS IN GYPSUM WALLBOARD PANELS, READY FOR PAINTING. PAINTING ABOVE CEILINGS IS NOT REQUIRED.
- P. PROVIDE ALL REQUIRED BLOCKING, FURRING AND BACKING FOR ANY WALL MOUNTED FIXTURES, SHELVING AND ACCESSORIES AND ALL CASEWORK / MILLWORK.
- Q. ALL CASEWORK AND MILLWORK TO BE SCRIBED AND/OR SEALED WHERE MEETS ADJACENT PARTITION TO MITIGATE IRREGULARITIES IN SURFACE. ALL COUNTER MATERIAL SEAMS TO BE MINIMIZED TO APPROPRIATE AMOUNT. REFER TO FINISH LEGEND FOR WOODWORK FINISHES.
- R. PROVIDE BACKER ROD AND SEALANT AT ALL DISSIMILAR MATERIALS.
- S. ALL WOOD BLOCKING, NAILERS, GROUNDS, PLYWOOD TO BE NON-COMBUSTIBLE.
- T. PROVIDE WOOD TREATMENT FOR ALL WOOD ITEMS WHICH WILL BE A PERMANENT PART OF THE BUILDING CONSTRUCTION. TREAT WOOD ITEMS AS APPROPRIATE FOR THE LOCATION AND SEVERITY OF THE CONDITIONS IN WHICH THEY ARE INSTALLED. PROVIDE TREATMENTS WITH APPROPRIATE FIRE-RETARDANT AND EXPOSURE CLASSIFICATIONS.
- U. ALL FLOORS ON EITHER SIDE OF DOORWAY OR OPENING SHALL BE LEVEL AND HAVE A MAXIMUM ELEVATION DIFFERENCE OR THRESHOLD HEIGHT OF 1/4".
- V. ALL NEW CONCRETE FLOORS SCHEDULED TO HAVE NEW FLOORING SHALL BE LEVEL TO WITHIN 1/8" OVER 10'-0" AND MEET ALL FLOORING MANUFACTURER'S REQUIREMENTS FOR PATCHING, LEVELING AND INSTALLATION BEFORE FINISH FLOORING IS APPLIED.
- W. CONTRACTOR SHALL BE RESPONSIBLE FOR PRODUCING COORDINATION DRAWINGS BETWEEN ALL TRADES. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO FABRICATION.
- X. MATERIALS LISTED IN DRAWINGS ARE BASIS OF DESIGN. ALTERNATE MANUFACTURERS/PRODUCTS WILL BE CONSIDERED. REFER TO SPECIFICATIONS.

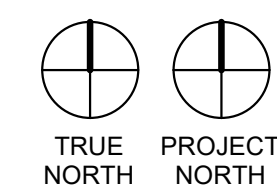
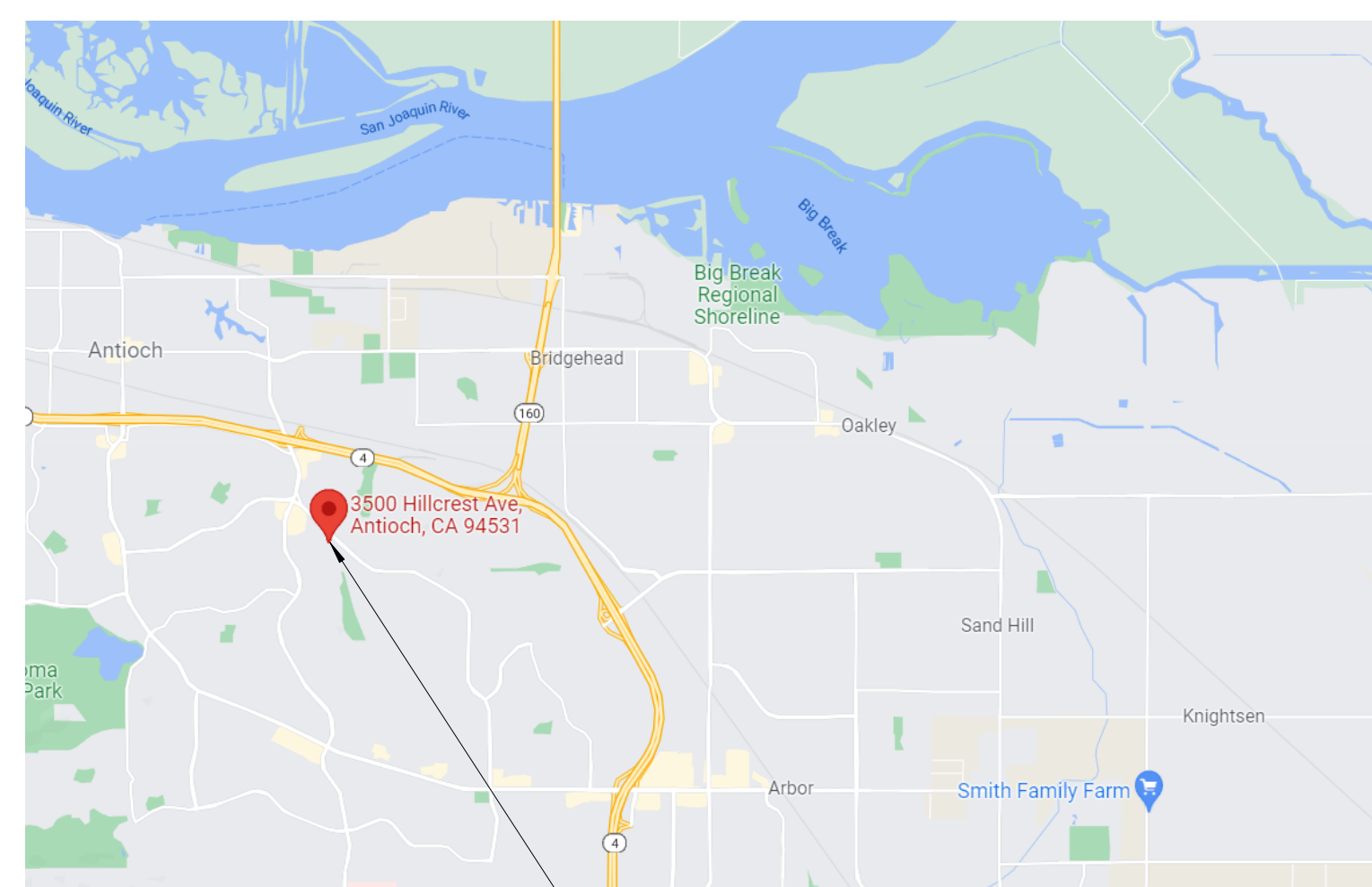
DRAWING INDEX		
SHEET NUMBER	SHEET NAME	CURRENT REVISION DATE
GENERAL		
G.001	COVER SHEET	03/23/2022
G.002	SITE PLAN	03/23/2022
G.003	LIGHTING PLAN	03/23/2022
G.004	PHOTOMETRIC PLAN	03/23/2022
G.005	SIGNS PLAN	03/23/2022
G.006	ROOF PLAN	03/23/2022
ARCHITECTURAL		
A.101	FIRST FLOOR PLAN	03/23/2022
A.102	ENLARGED DUMPSTER PLAN	03/23/2022
A.201	EXTERIOR ELEVATIONS	03/23/2022
A.202	EXTERIOR ELEVATIONS	03/23/2022
A.203	RENDERED ELEVATIONS	03/23/2022
CIVIL		
C1	PRELIMINARY GRADING & UTILITY PLAN	03/23/2022
C2	THROUGH SITE SECTIONS	03/23/2022
C3	PRELIMINARY STORMWATER CONTROL PLAN	03/23/2022
L1	PRELIMINARY LANDSCAPE PLAN	03/23/2022

SITE MAP



PROJECT LOCATION :
3500 HILLCREST AVE,
ANTIOCH, CA 94531

VICINITY MAP



PROJECT LOCATION :
3500 HILLCREST AVE,
ANTIOCH, CA 94531

ASSESSOR'S PARCEL NUMBER

052-370-010-02

PROJECT DESCRIPTION

NEW CONSTRUCTION OF SINGLE STORY BRANCH BANK. STEEL FRAMED BUILDING WITH SHALLOW FOUNDATION. DRIVE THROUGH ATM CANOPY, PARKING AND DUMPSTER ENCLOSURE.

CODE INFORMATION

APPLICABLE CODES:
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA GREEN BUILDING CODE

CALIFORNIA ADMINISTRATIVE CODE TITLE 24, LATEST EDITION, HAS BEEN REVIEWED. THE DESIGN SUBMITTED FOR THE BUILDING PERMIT SUBSTANTIALLY CONFORMS TO THESE REGULATIONS.

MECHANICAL AND ELECTRICAL SCOPE OF WORK SHALL BE DONE IN COMPLIANCE WITH 2019 TITLE 24, SECTION 6, CALIFORNIA ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL AND NONRESIDENTIAL BUILDINGS.

EXECUTE WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURERS' RECOMMENDATIONS, AND TRADE AND REFERENCE STANDARDS, INCLUDING BUT NOT LIMITED TO: CALIFORNIA BUILDING, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE CODES AND LOCAL AMENDMENTS WHERE APPLICABLE, NEC, NPC, NFPA, ASME, ANSI, AMERICANS WITH DISABILITIES ACT, AND OTHER APPLICABLE REGULATORY AUTHORITY'S LATEST ENFORCED EDITIONS.

ALL FIRE LIFE SAFETY SYSTEMS TO BE DESIGN BUILT IN THE CITY OF ANTIOCH.

THIS IS NOT A SMOKE CONTROL BUILDING.

CALGREEN STATEMENT:
PRIOR TO PERMIT ISSUANCE, SUBMIT FORMS FOR APPROVAL ADDRESSING REQUIREMENTS OF CAL GREEN AND THE CITY OF ANTIOCH WASTE MANAGEMENT PLAN FOR CONSTRUCTION AND DEMOLITION DEBRIS. FORMS ARE AVAILABLE AT THE FRONT COUNTER.

03/23/2022 Date
CITY ENTITLEMENT SUBMISSION Issue/Revision/Submission No.

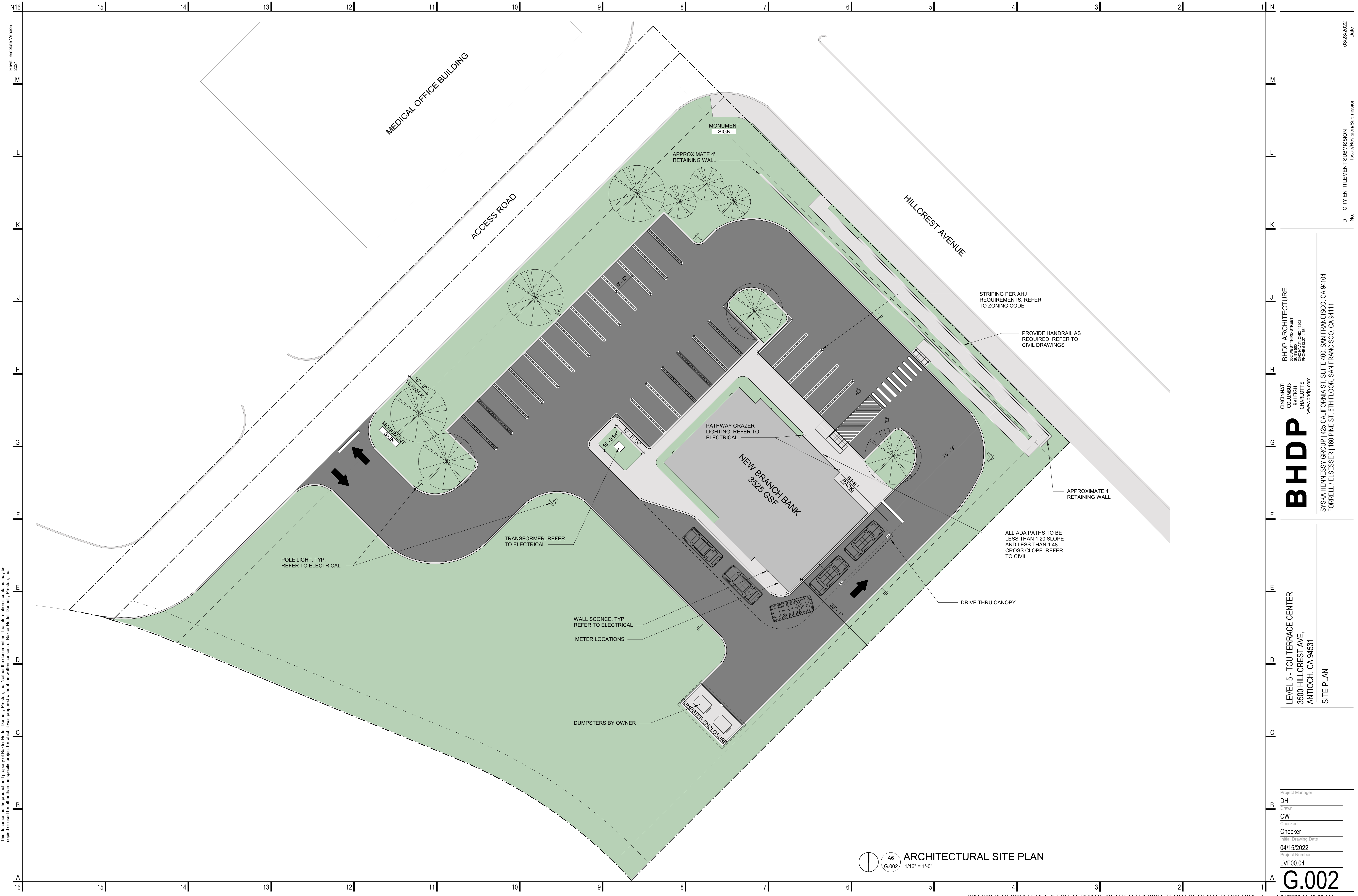
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COVER SHEET

Project Manager
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Initial Drawing Date
04/15/2022
Project Number
LVF00.04

G.001



N16 | 15 | 14 | 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1 | N
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 16 | 15 | 14 | 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1 | A

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ARCHITECTURAL SITE PLAN
 A6
 G.002
 1/16" = 1'-0"

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 NC 28202
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 LEVEL 5 - TCU TERRACE CENTER
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 SITE PLAN
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 Project Number: LVF00.04
G.002

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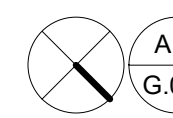
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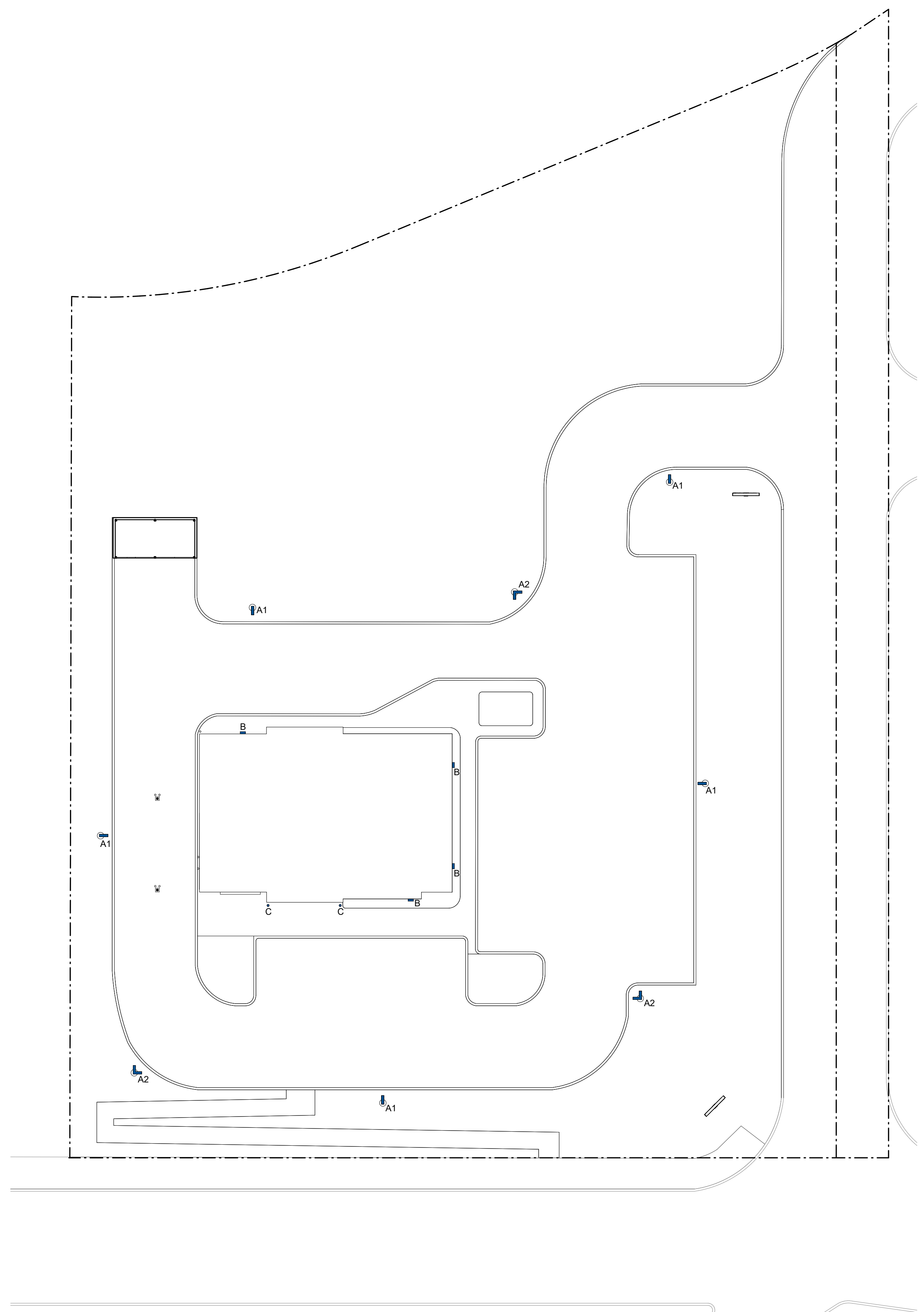
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B



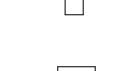

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 **A11 LIGHTING PLAN**
G.003 1" = 20'-0"



EXTERIOR LIGHTING LEGEND

-  A1 POLE LIGHT, LITHONIA DSX1 LED
-  A2 POLE LIGHT, LITHONIA DSX1 LED, 90 DEGREE
-  B WALL SCONCE, LITHONIA WDGE2 LED
-  C PATHWAY GRAZER LIGHT, BK LIGHTING HP2 LED

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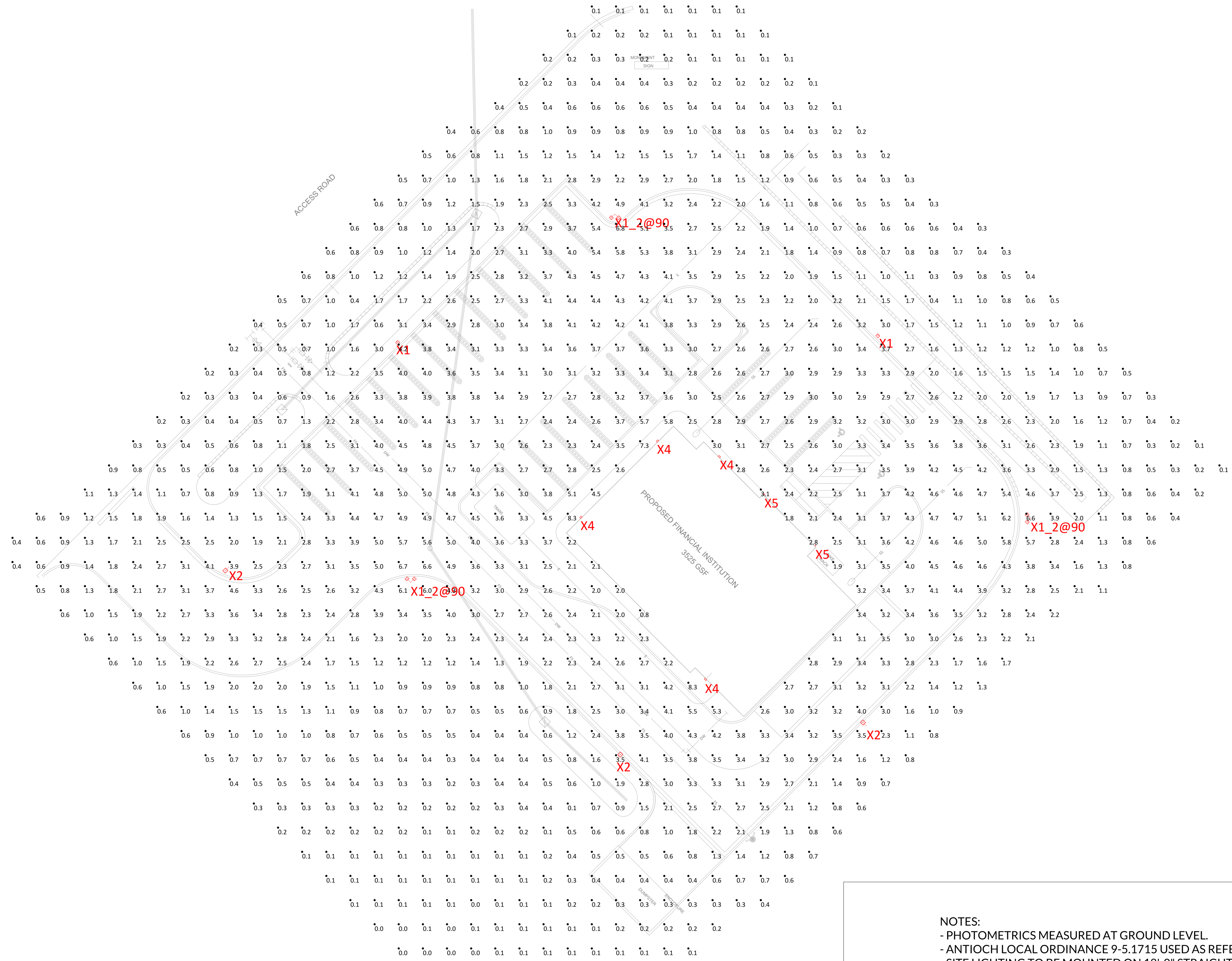
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PHOTOMETRIC STUDY
3500 HILLCREST AVE, ANTIOCH CA 94531
TRAVIS CREDIT UNION: TERRACE CENTER

DESIGNER: KB
SCALE: 1" = 16'



- NOTES:**
- PHOTOMETRICS MEASURED AT GROUND LEVEL.
 - ANTIOCH LOCAL ORDINANCE 9-5.1715 USED AS REFERENCE FOR SITE LIGHTING DESIGN
 - SITE LIGHTING TO BE MOUNTED ON 18'-0" STRAIGHT, STEEL, SQUARE POLES WITH 2'-0" CONCRETE BASES
 - ELECTRICAL ENGINEER TO VERIFY EXTERIOR LIGHTING COMPLIANCE TO STATE AND LOCAL ORDINANCES, INCLUDING TITLE 24.
 - TYPE X4 WALL PACKS MOUNTED AT 10'-0" AFG

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Site Photometrics @ Ground Lvl	Illuminance	Fc	1.9	8.3	0.0	N.A.

Luminaire Schedule			
Symbol	Qty	Label	Description
⊕	2	X1	LITHONIA: DSX1 LED P3 30K TFTM XX XX XX
⊕	3	X1_2@90	LITHONIA: DSX1 LED P3 30K TFTM XX XX XX
⊕	3	X2	LITHONIA: DSX1 LED P3 30K T3M XX XX XX
⊕	4	X4	LITHONIA: WDG2 LED P2 30K 80CRI VF MVOLT SRM XX XX
⊙	2	X5	BK Lighting: HP2-LED-TR-X62-FL-XX-11-XX-MT-AH

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PHOTOMETRIC PLAN

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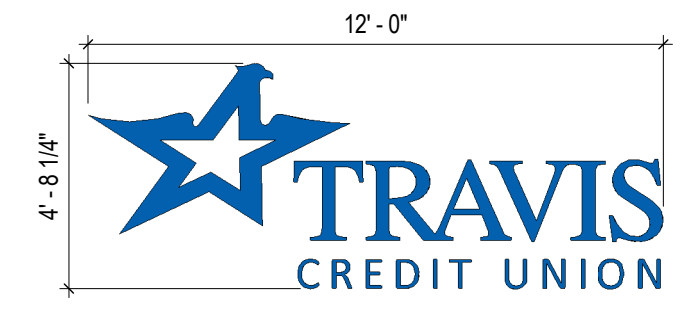
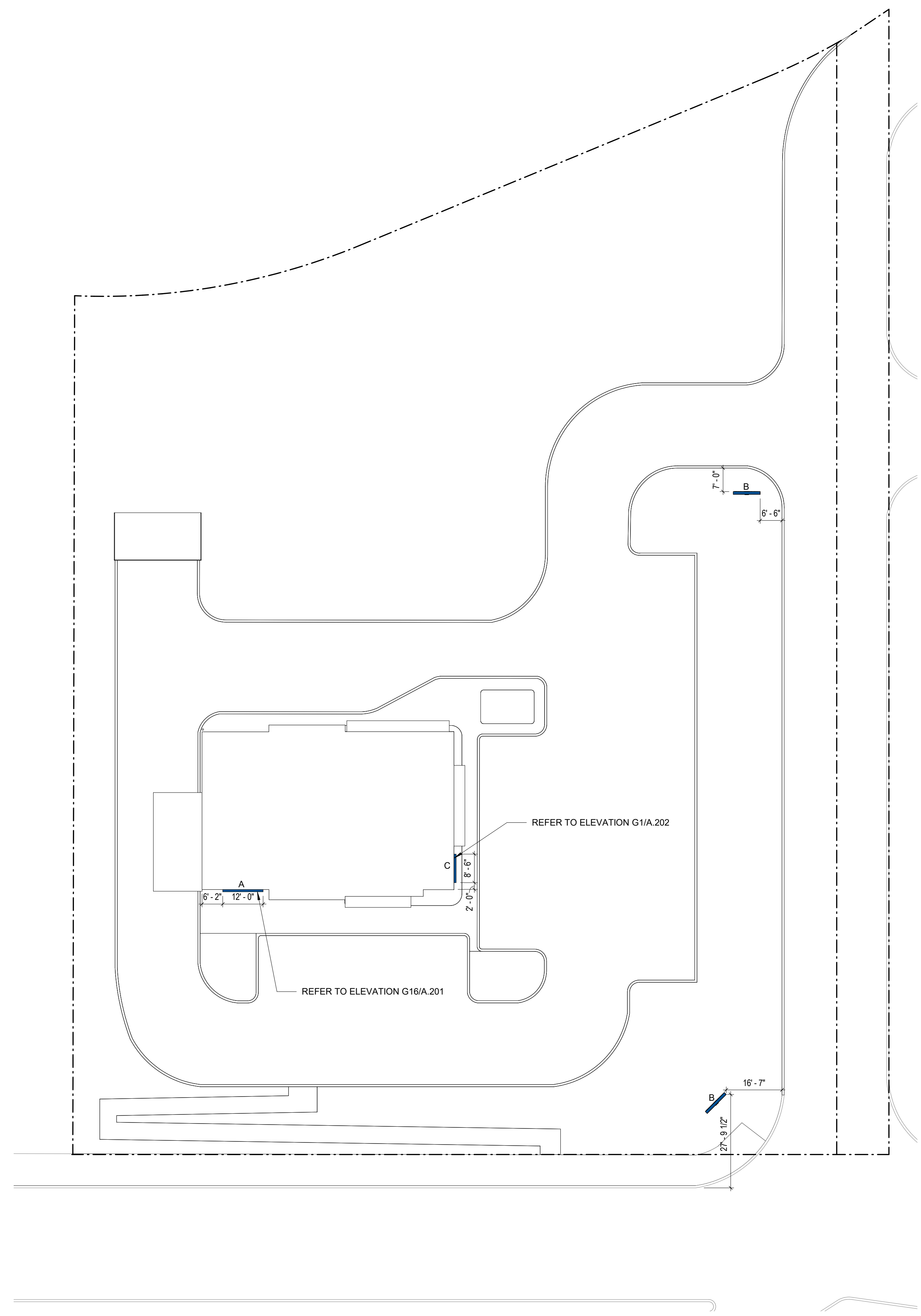
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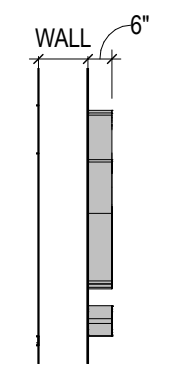
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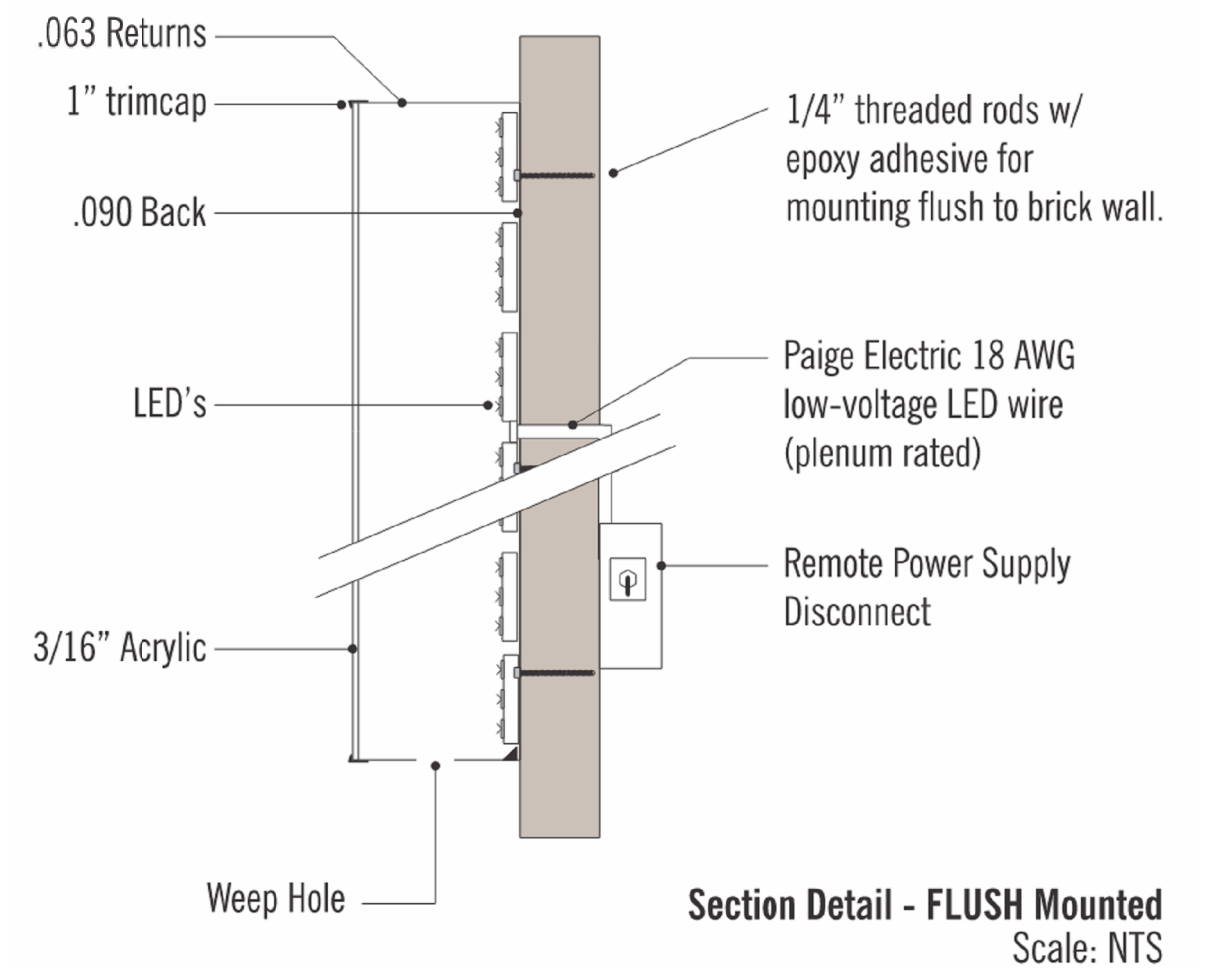
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L8 SIGN A - BUILDING SIGNAGE - ELEVATION
1/4" = 1'-0"



L4 SIGN A AND C - BUILDING SIGNAGE - SECTION
1/4" = 1'-0"

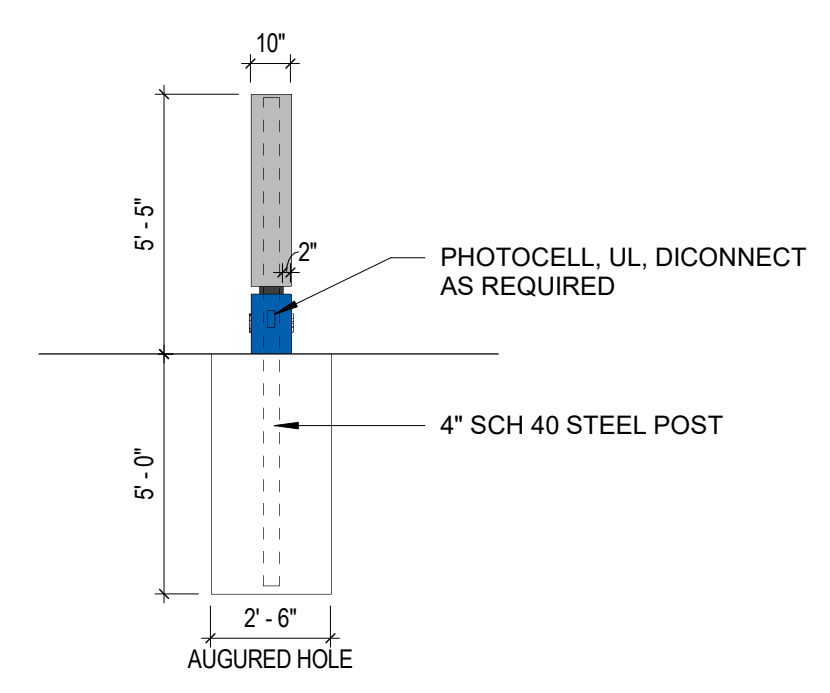
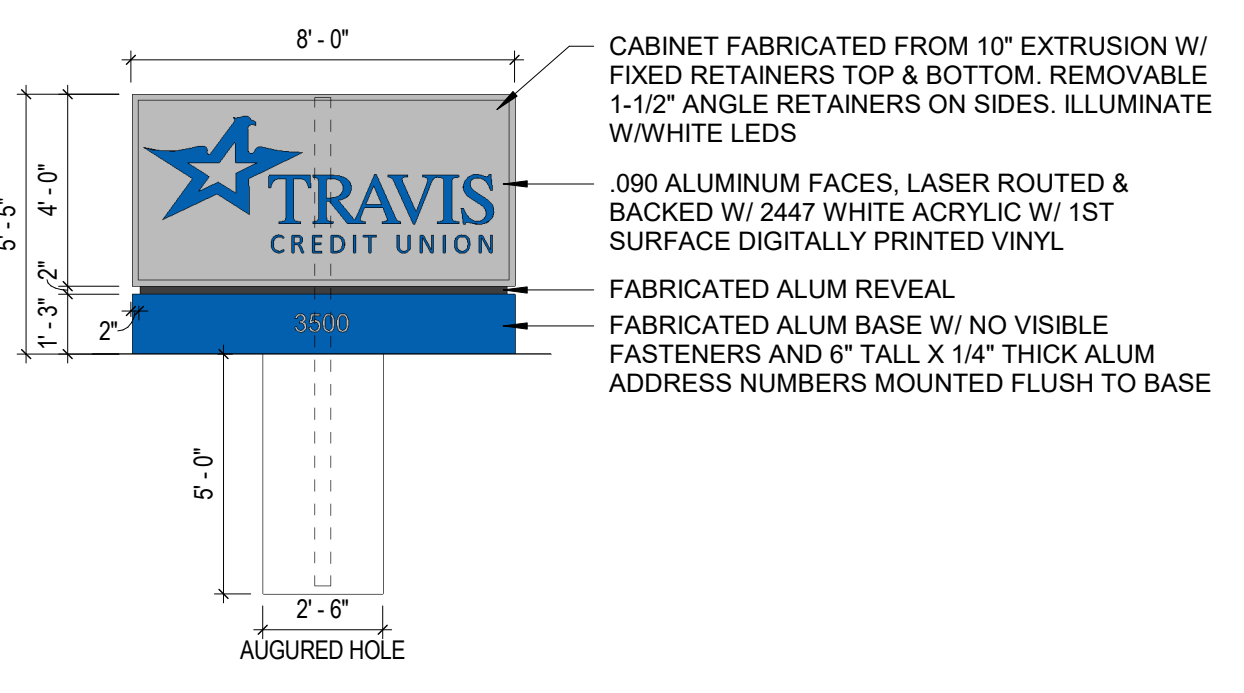


COLOR SCHEDULE:

- FACES = 2448 WHITE ACRYLIC W/ 3M DUAL-COLOR PERFORATED VINYL OVERLAY (3635-157 BLUE)
- RETURNS AND TRIMCAPS - BRUSHED ALUMINUM

FABRICATION NOTES:
6" DEEP FACE-LIT CHANNEL LETTERS WITH 1" ALUM ANGLE RETAINERS.
RETURNS & RETAINERS PAINTED BRUSHED ALUMINUM.
FACES OF 3/16" 2447 WHITE ACRYLIC W/1ST SURFACE PER VINYL OVERLAYS.
CHANNEL LETTERS INTERNALLY ILLUMINATED WITH WHITE LEDS.

INSTALLATION NOTES:
LETTERS ARE MOUNTED FLUSH TO WALL W/ REMOTE POWER SUPPLIES BEHIND WALL.

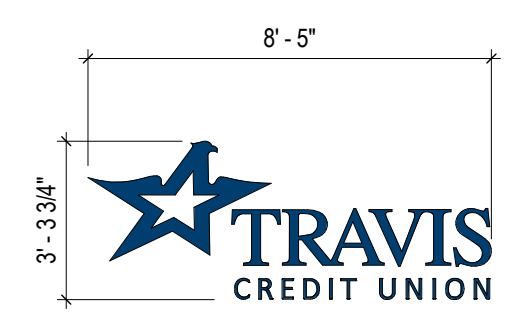


COLOR SCHEDULE:

- FACES = PAINTED BRUSHED ALUM
- LOGO = DPV TO MATCH PMS 2728
- REVEAL AND POLE = PAINTED BLACK
- BASE - PAINTED PMS 2728 BLUE
- ADDRESS NUMBERS = PAINTED BRUSHED ALUM

FABRICATION NOTES:
CABINET IS FABRICATED FROM ALUMINUM EXTRUSION WITH REINFORCED CORNERS. VERTICAL STEEL ANGLE CREATES SADDLE POCKET FOR STEEL TUBE. CABINET IS ILLUMINATED WITH WHITE LED'S ATTACHED TO ALUMINUM ANGLE CROSS SUPPORTS.
LED'S = EVERLYTE EZ BEAM (OR EQUIVALENT)
REVEAL & BASE ARE FABRICATED WITH NO VISUAL FASTENERS.

INSTALLATION NOTES:
STEEL SUPPORT COLUMN IS SET IN CONCRETE FOOTING AND RUNS TO TOP OF SIGN AND BE WELDED TO CABINET IN FIELD.
SIZE AND DEPTH OF FOOTING TO VARY BY HEIGHT OF SIGN AND LOCATION.



A8 SIGN C - BUILDING SIGNAGE - ELEVATION
1/4" = 1'-0"

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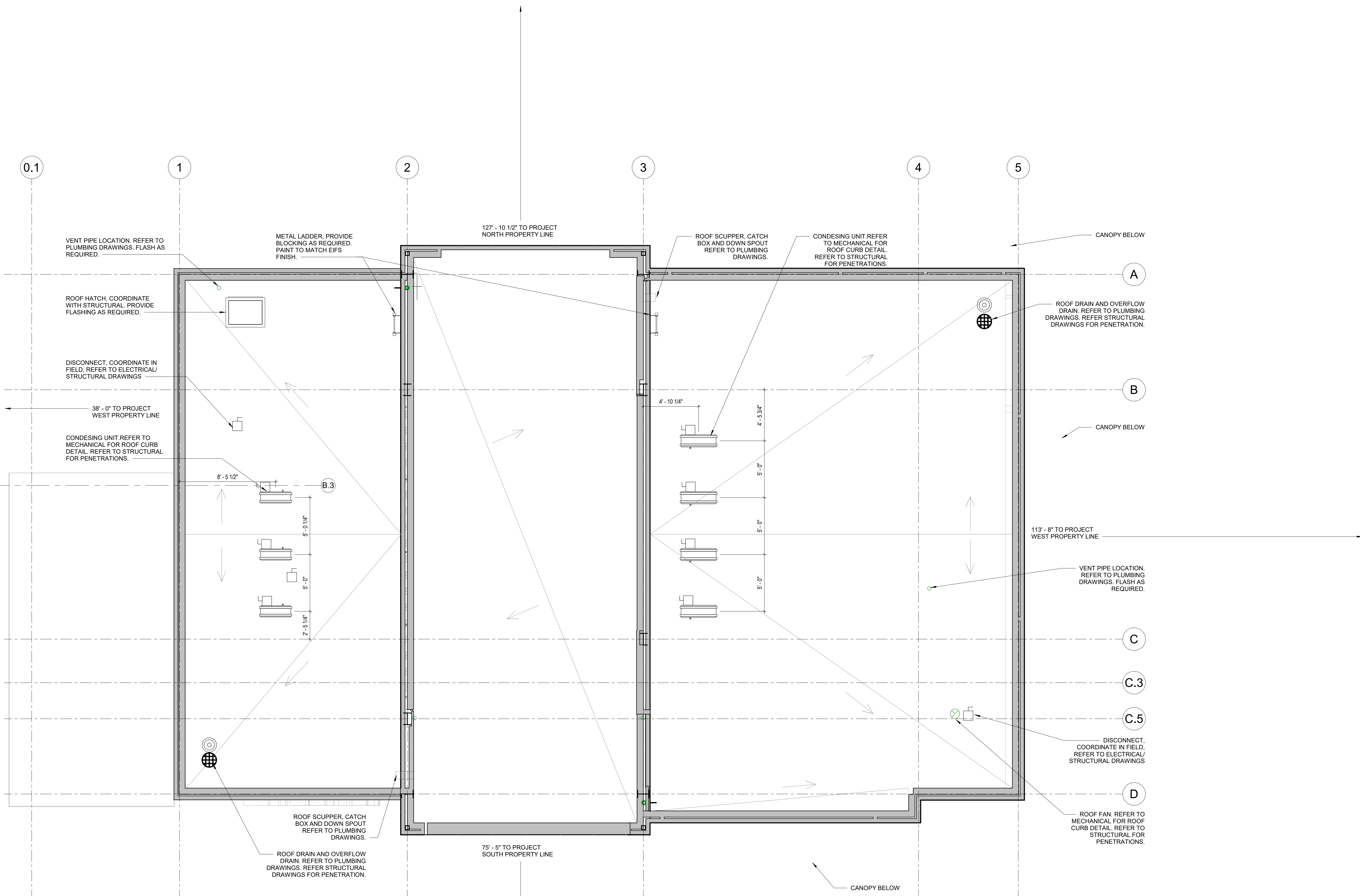
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SIGNS PLAN

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ROOF PLAN
A9
G.006
1/4" = 1'-0"

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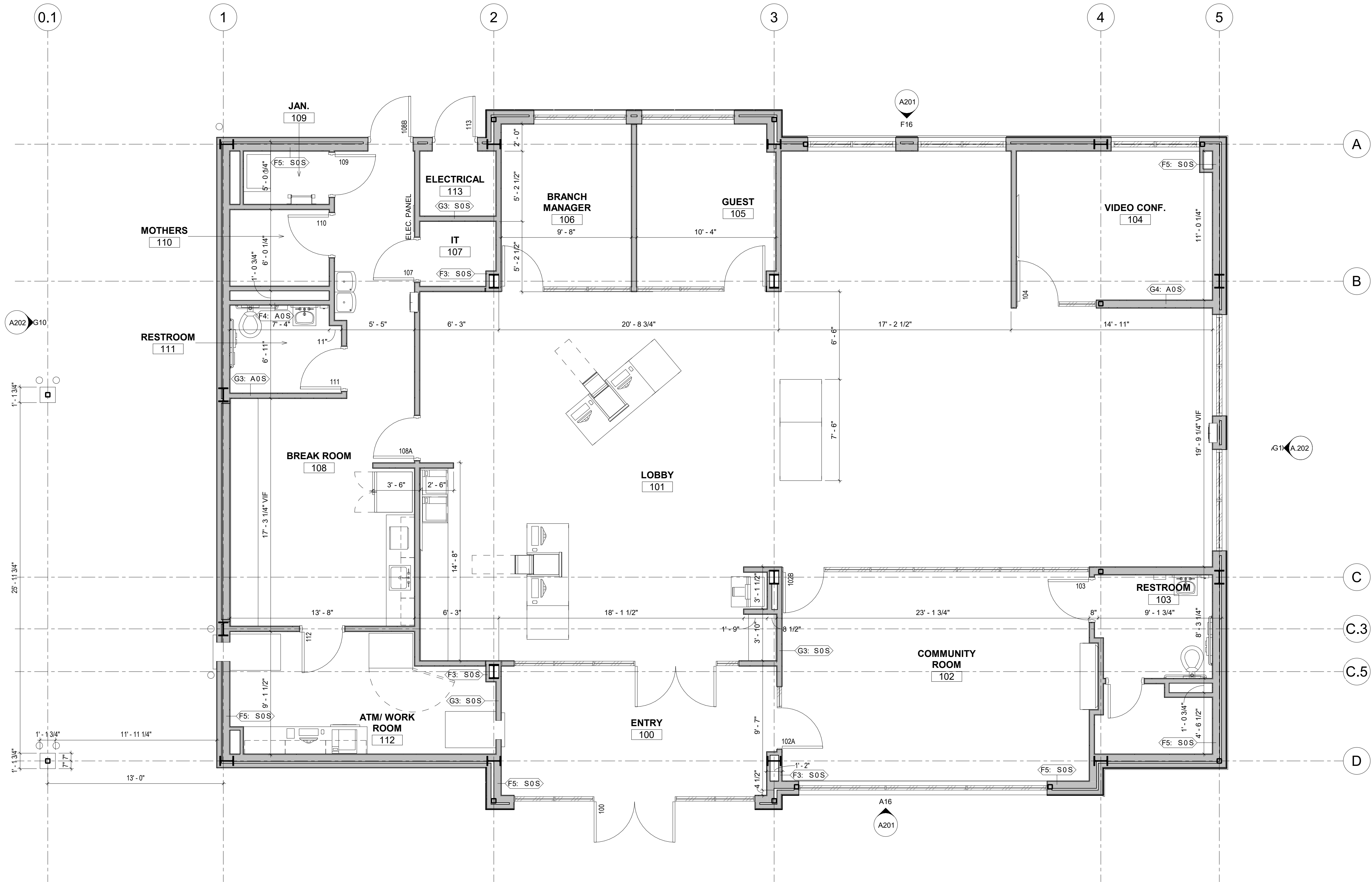
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FIRST FLOOR OVERALL PLAN
A9
A.101
1/4" = 1'-0"

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FIRST FLOOR PLAN

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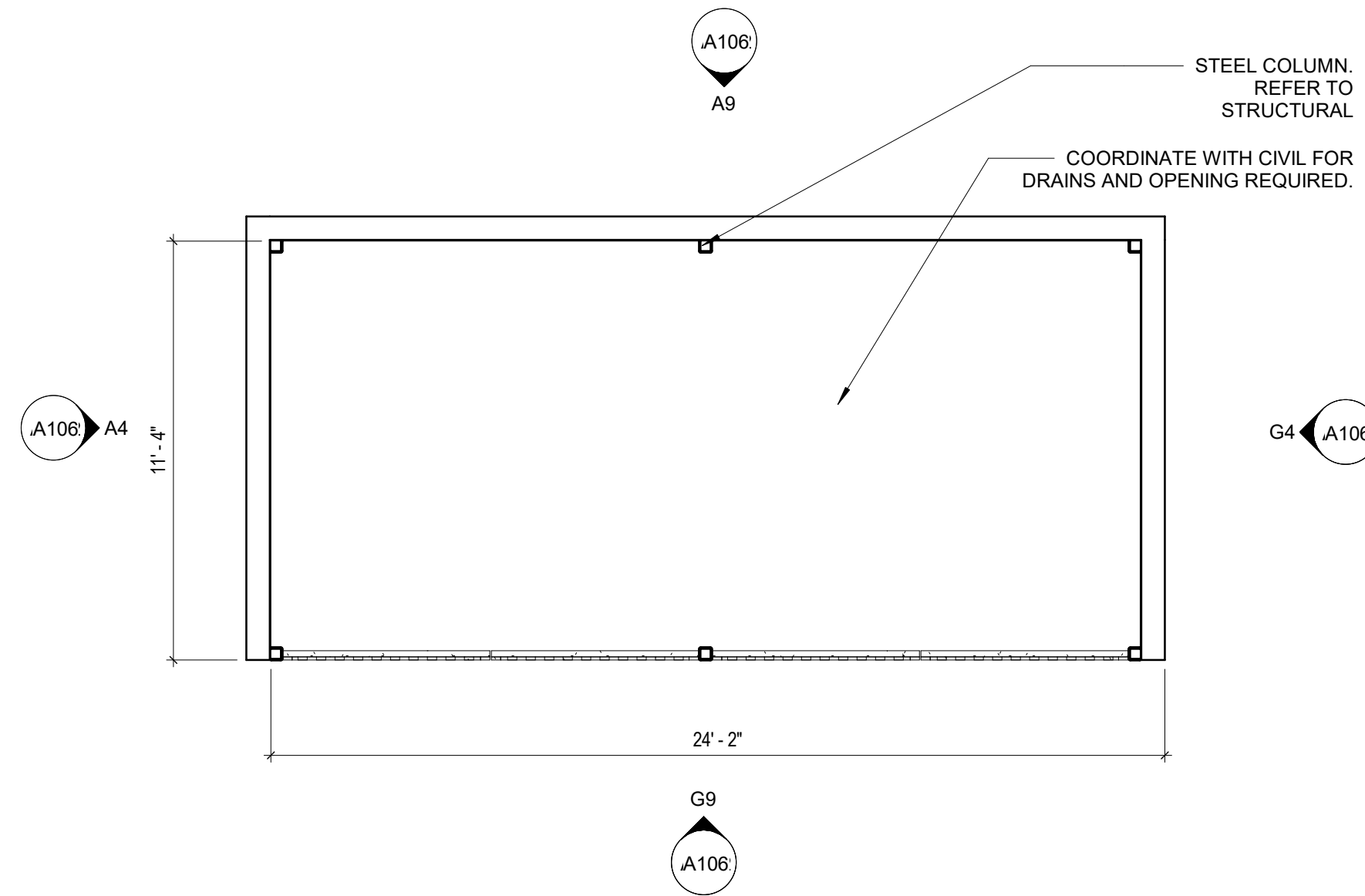
A.101

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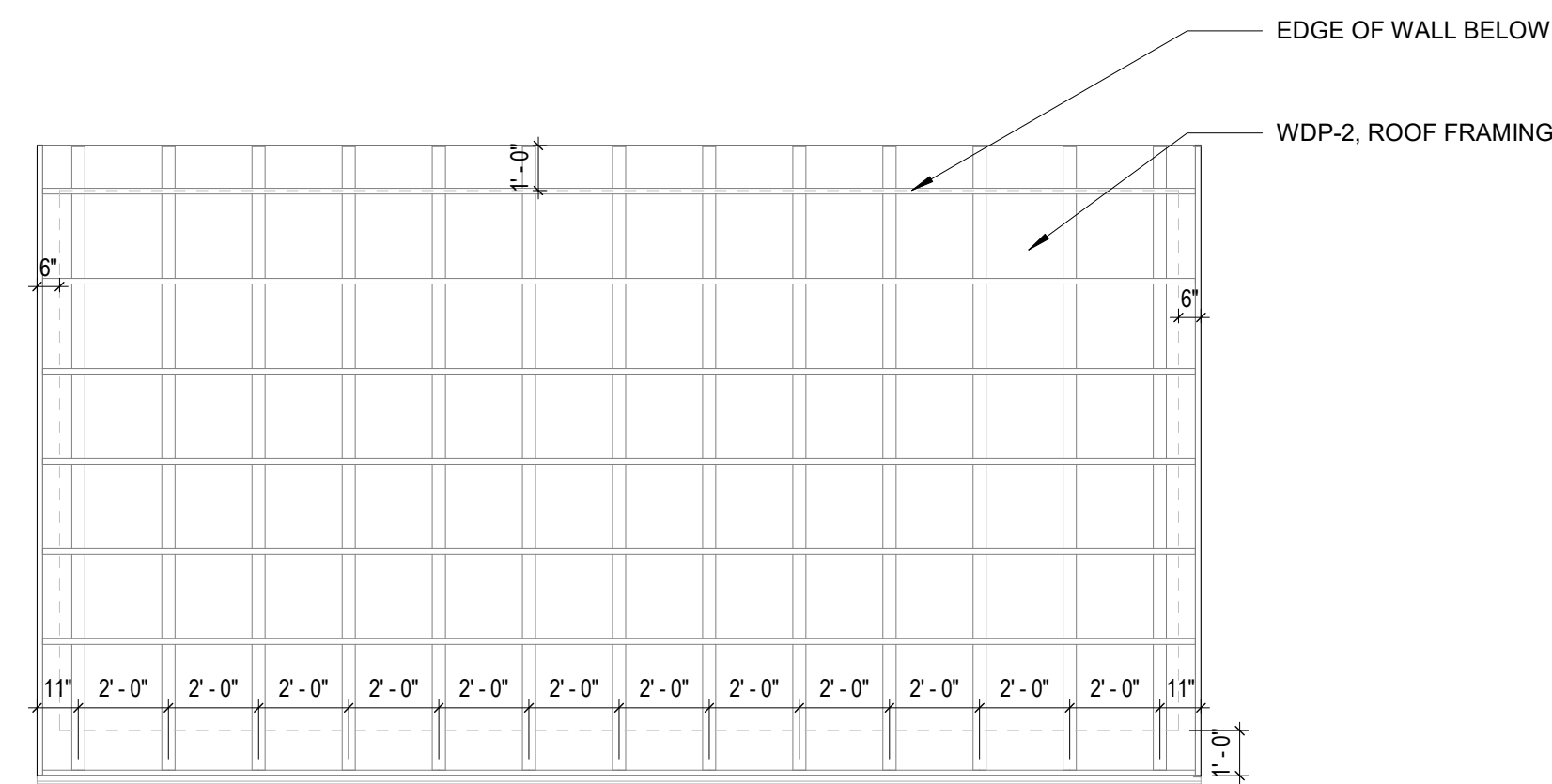
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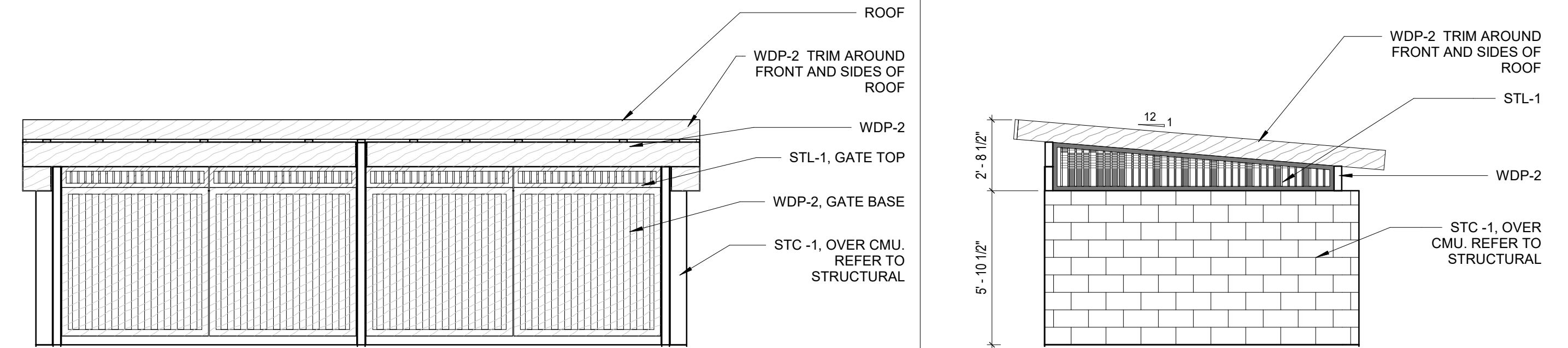
ITEM	EXTERIOR FINISH	MANUFACTURER	COLOR
STC-1	STUCCO	DRYVIT	CUSTOM CHARCOAL
WDP-2	WOOD BEAM/BOARD	N/A	PAIN TO MATCH EIFS-1
STL-1	STEEL	N/A	PAIN TO MATCH EIFS-1



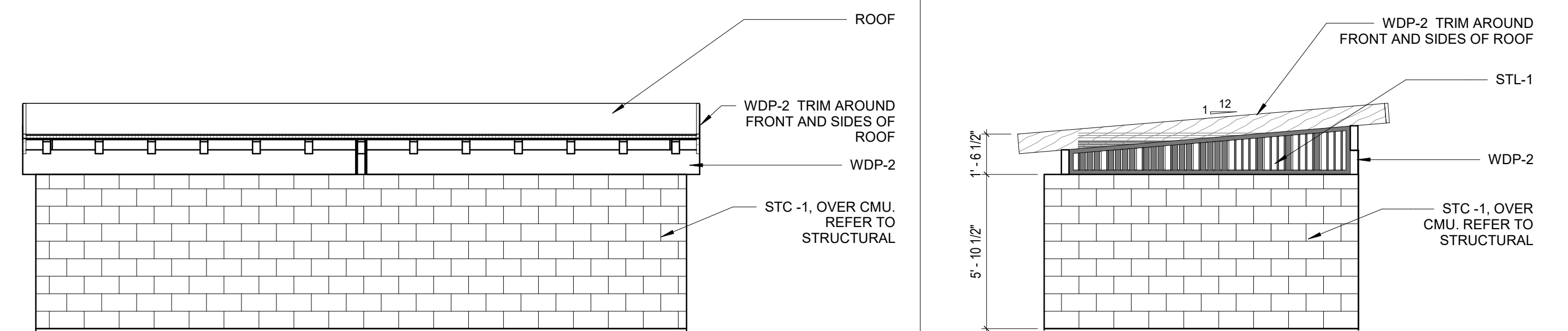
FLOOR PLAN - DUMPSTER ENCLOSURE
G14
A.102 / 1/4" = 1'-0"



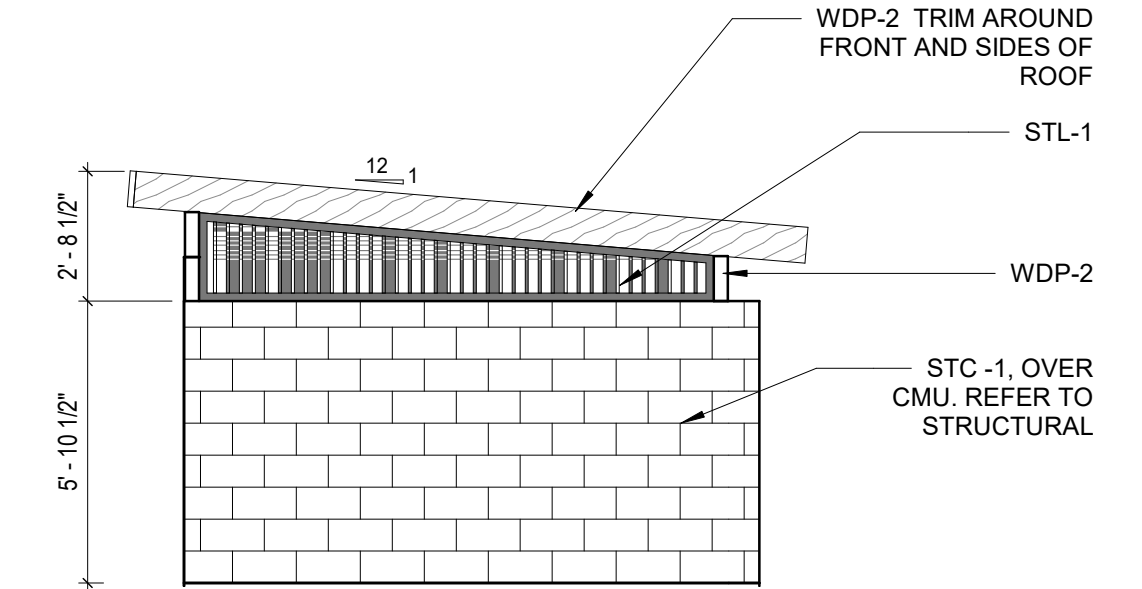
ROOF PLAN - DUMPSTER ENCLOSURE
A14
A.102 / 1/4" = 1'-0"



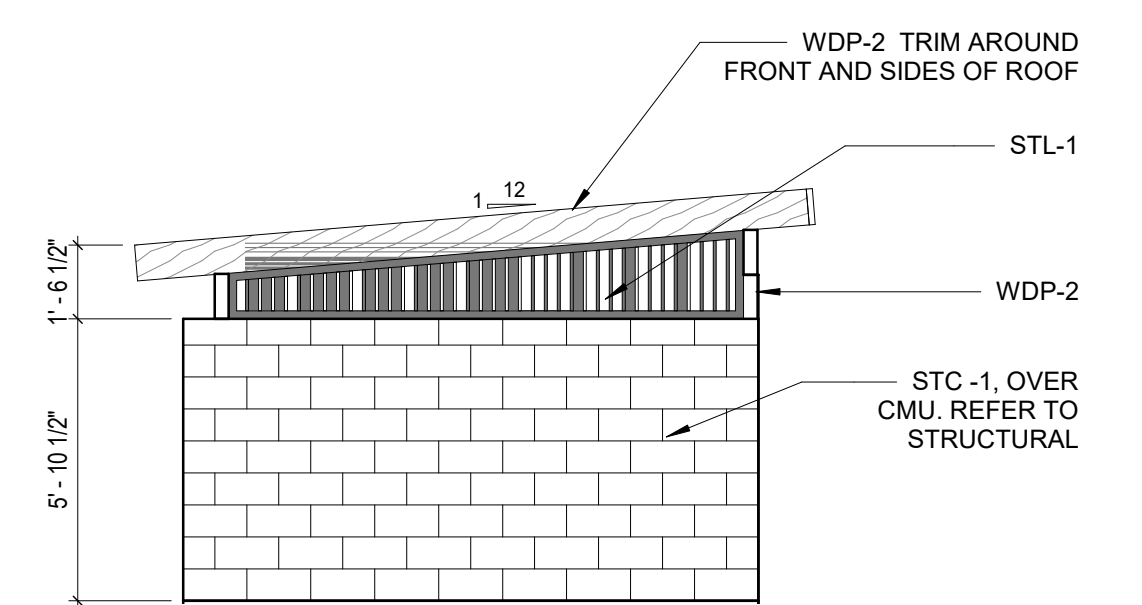
ELEVATION - DUMPSTER ENCLOSURE NORTH
G9
A.102 / 1/4" = 1'-0"



ELEVATION - DUMPSTER ENCLOSURE SOUTH
A9
A.102 / 1/4" = 1'-0"



ELEVATION - DUMPSTER ENCLOSURE WEST
G4
A.102 / 1/4" = 1'-0"



ELEVATION - DUMPSTER ENCLOSURE EAST
A4
A.102 / 1/4" = 1'-0"

Date
03/23/2022

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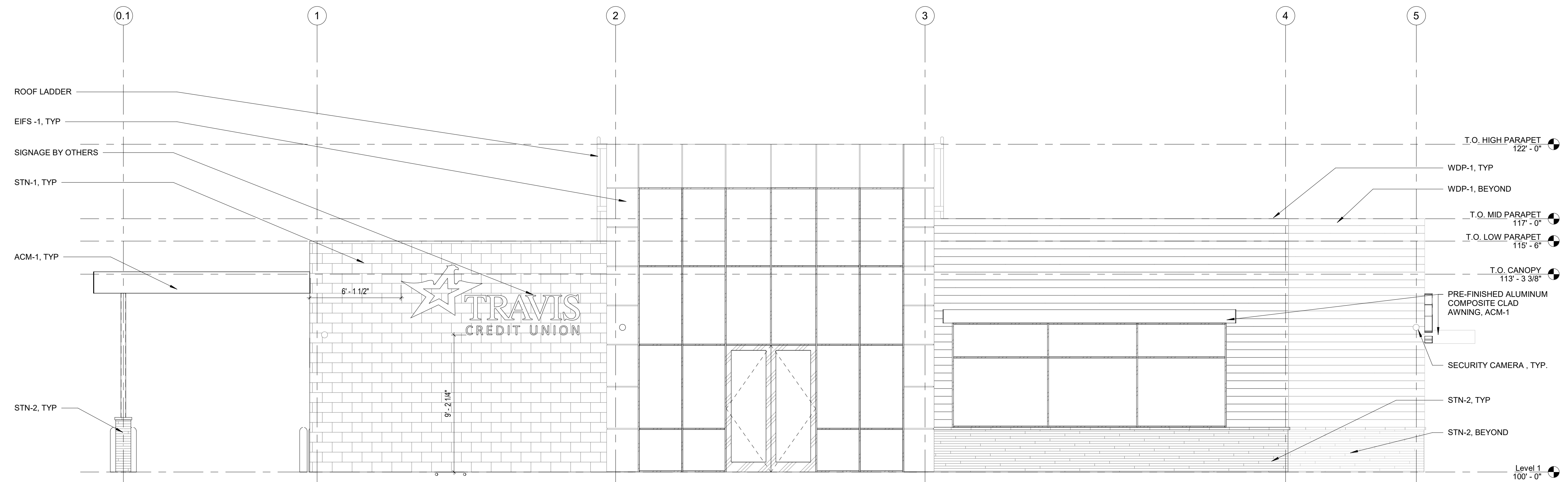
BHP ARCHITECTURE
1100 PINE STREET
SUITE 200
CHARLOTTE, NC 28202
PHONE 704.212.1634

LEVEL 5 - TCU TERRACE CENTER
3500 HILLCREST AVE.
ANTIOCH, CA 94531

ENLARGED DUMPSTER PLAN

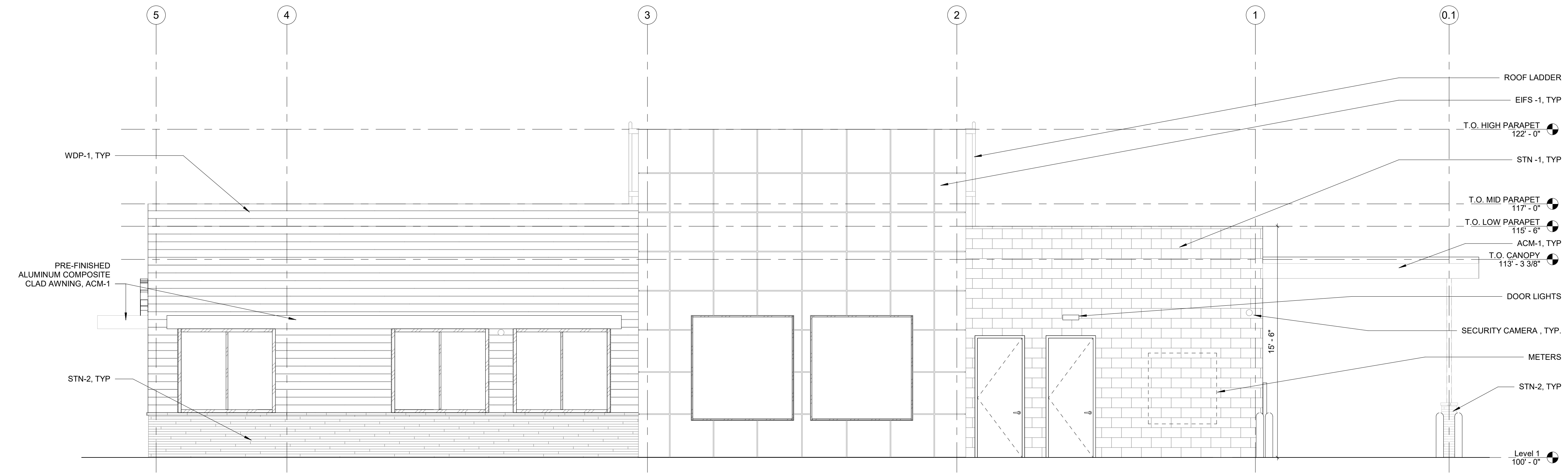
Project Manager
DH
Drawn
CW
Checked
Checker
Initial Drawing Date
04/15/2022
Project Number
LVF00.04

A.102



G16 OVERALL NORTH ELEVATION
A.201 1/4" = 1'-0"

ITEM	EXTERIOR FINISH	MANUFACTURER	COLOR
EIFS-1	EIFS BARRIER SYSTEM	DRYVIT	CUSTOM CHARCOAL
WDP-1	WOOD LOOK PANEL	LONGBOARD	LIGHT NATIONAL WALNUT
STN-1	MODULAR STONE	ARRISCRAFT	ARRIS- CLIP LIMESTONE
STN-2	STACKED STONE	ARRISCRAFT	STACK ICE
ACM-1	ALUMINUM COMPOSITE METAL PANEL	N/A	CUSTOM TCU BLUE



A16 OVERALL SOUTH ELEVATION
A.201 1/4" = 1'-0"

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EXTERIOR ELEVATIONS

Project Manager
DH
Drawn
CW
Checked
Checker
Initial Drawing Date
04/15/2022
Project Number
LVF00.04

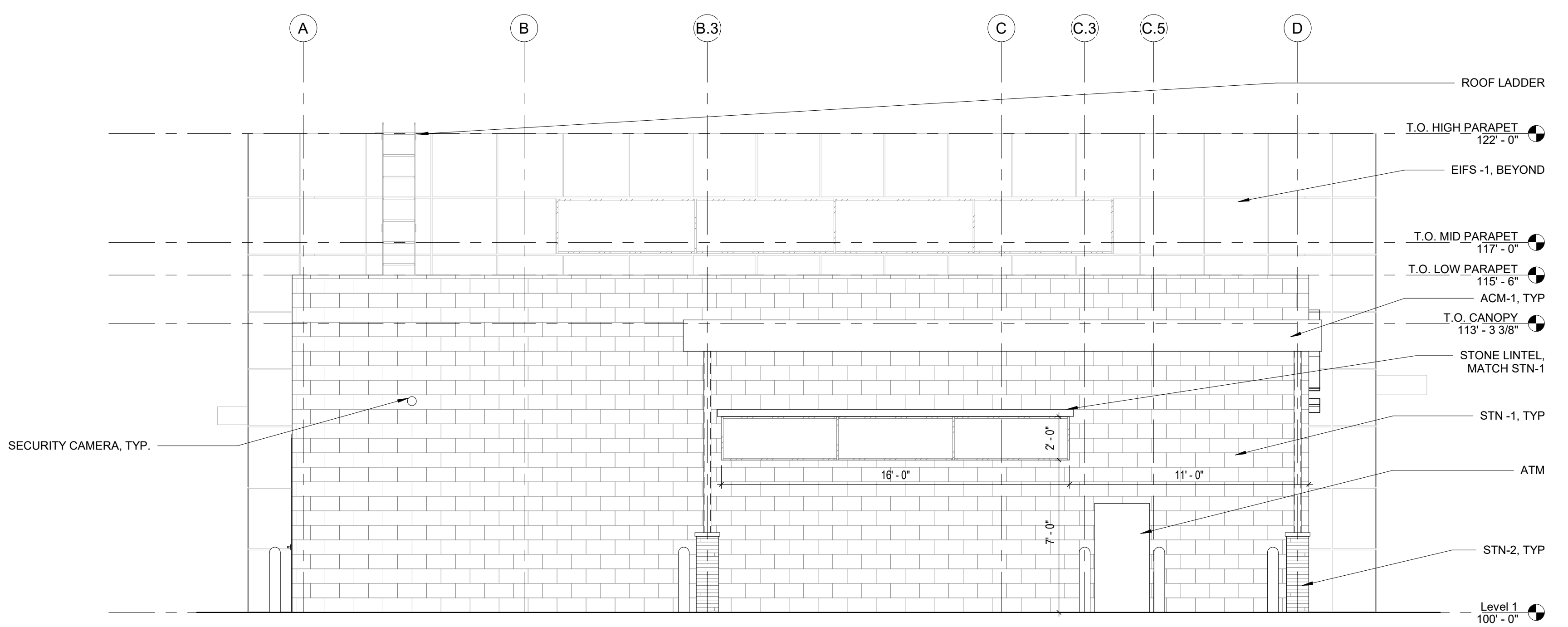
A.201

Print Template Version
2021

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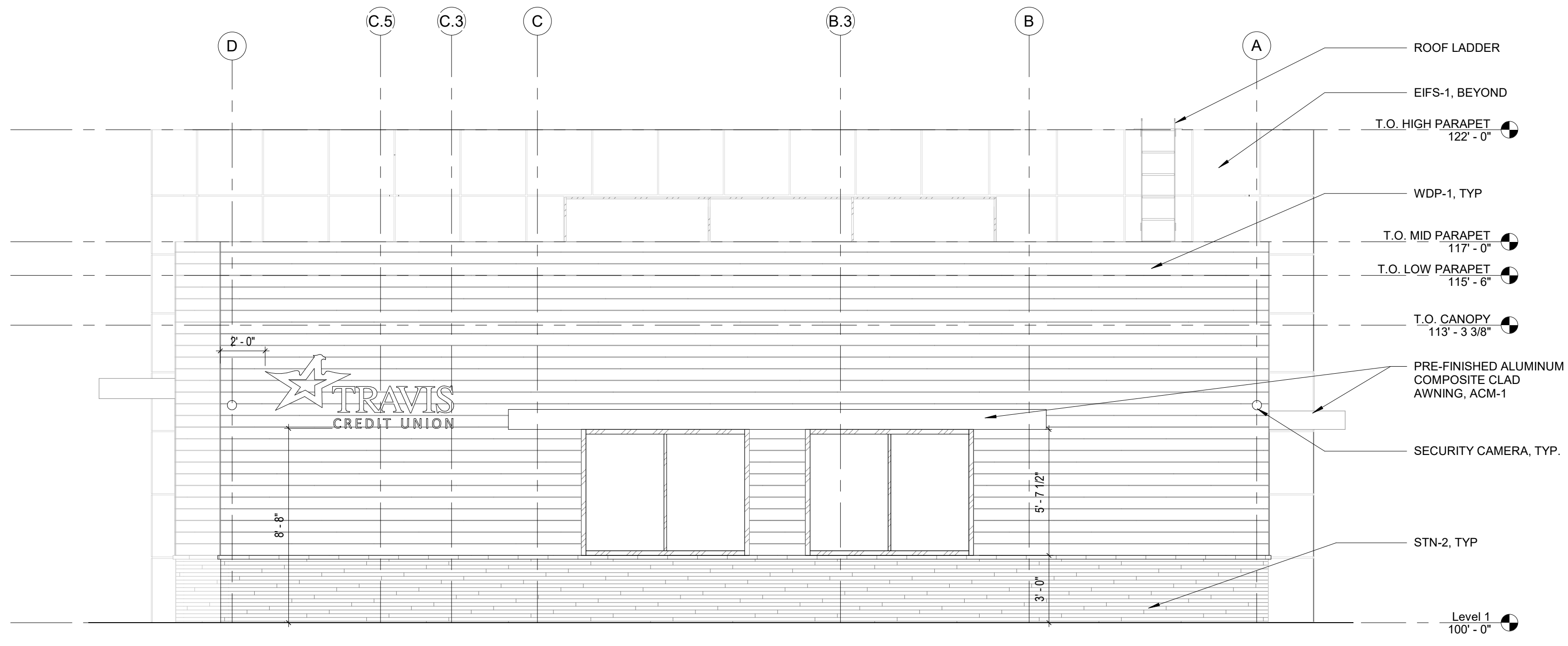
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A
16



G10
A.202 OVERALL EAST ELEVATION
1/4" = 1'-0"

ITEM	EXTERIOR FINISH	MANUFACTURER	COLOR
EIFS-1	EIFS BARRIER SYSTEM	DRYVIT	CUSTOM CHARCOAL
WDP-1	WOOD LOOK PANEL	LONGBOARD	LIGHT NATIONAL WALNUT
STN-1	MODULAR STONE	ARRISCRAFT	ARRIS- CLIP LIMESTONE
STN-2	STACKED STONE	ARRISCRAFT	STACK ICE
ACM-1	ALUMINUM COMPOSITE METAL PANEL	N/A	CUSTOM TCU BLUE



G1
A.202 OVERALL WEST ELEVATION
1/4" = 1'-0"

BHP ARCHITECTURE
1700 HIND STREET
SUITE 200
CHARLOTTE, NC 28202
PHONE 704.211.1634
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3500 HILLCREST AVE.
ANTIOCH, CA 94531

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DH
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CW
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Checker
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04/15/2022
Project Number
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A.202

SYSKA HENNESSY GROUP | 425 CALIFORNIA ST., SUITE 400, SAN FRANCISCO, CA 94104
FORRELL / ELSSESSER | 160 PINE ST., 6TH FLOOR, SAN FRANCISCO, CA 94111

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Date 03/23/2022

16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 N

Rev: Template Version
04/2021

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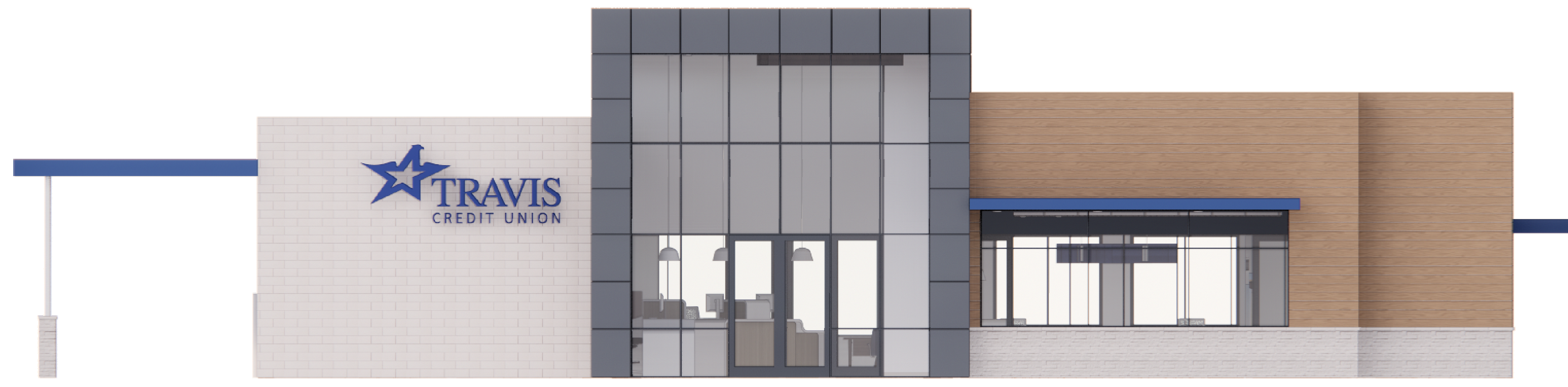
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D

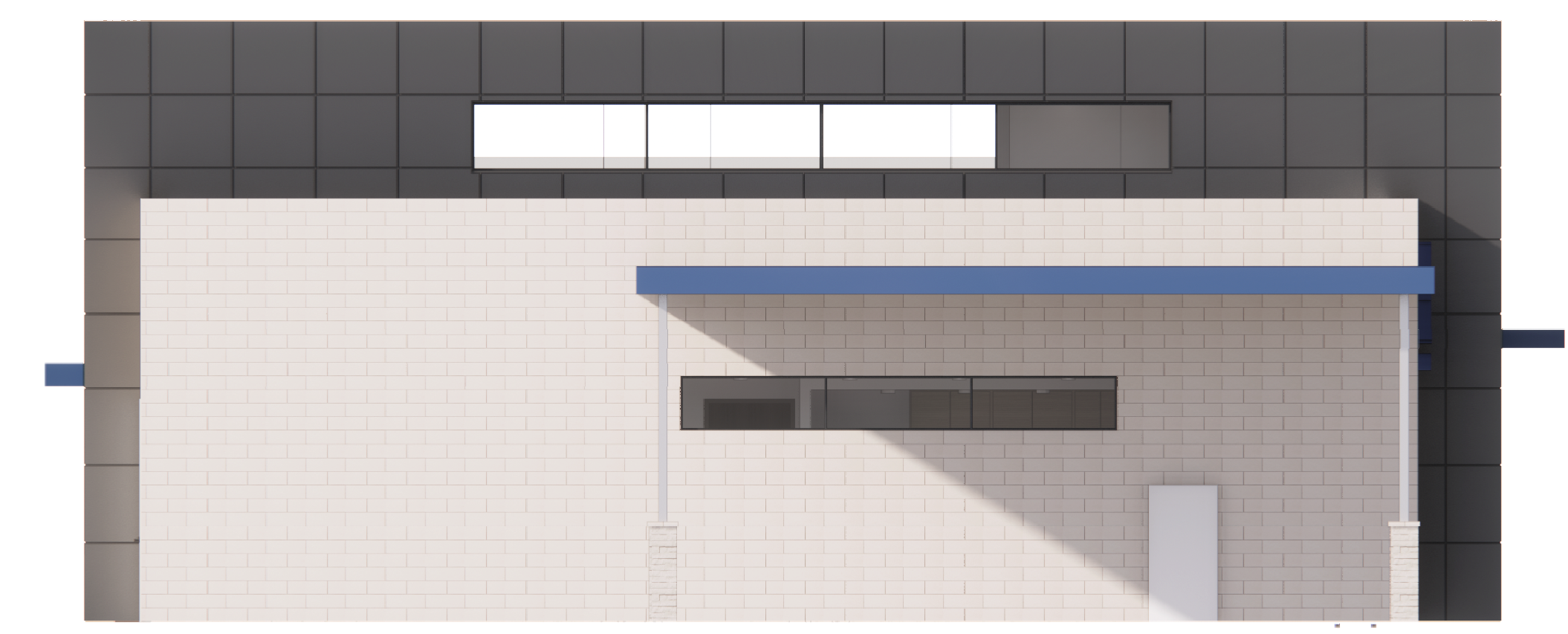
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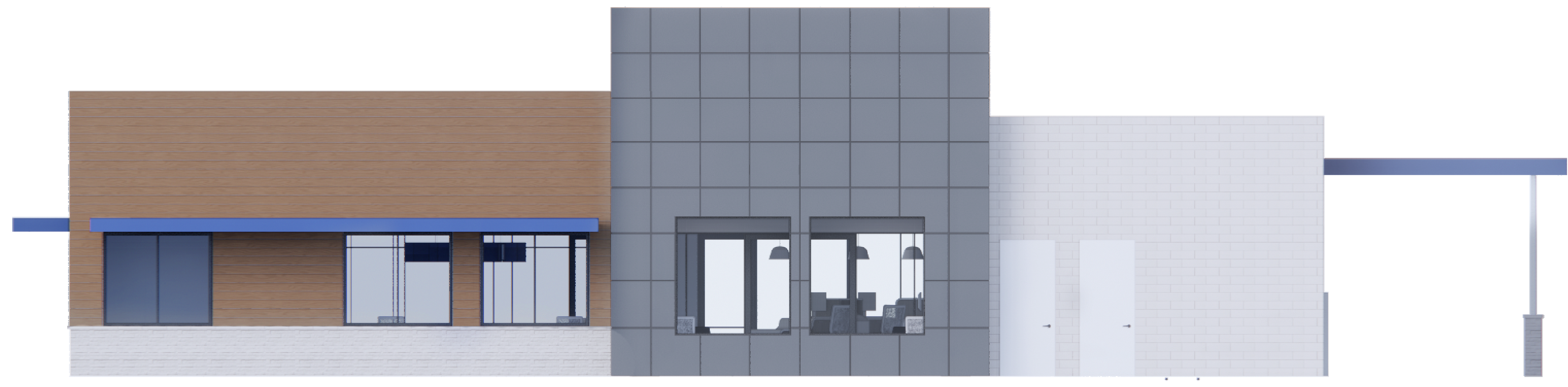
A



NORTH, HILLCREST AVENUE ELEVATION



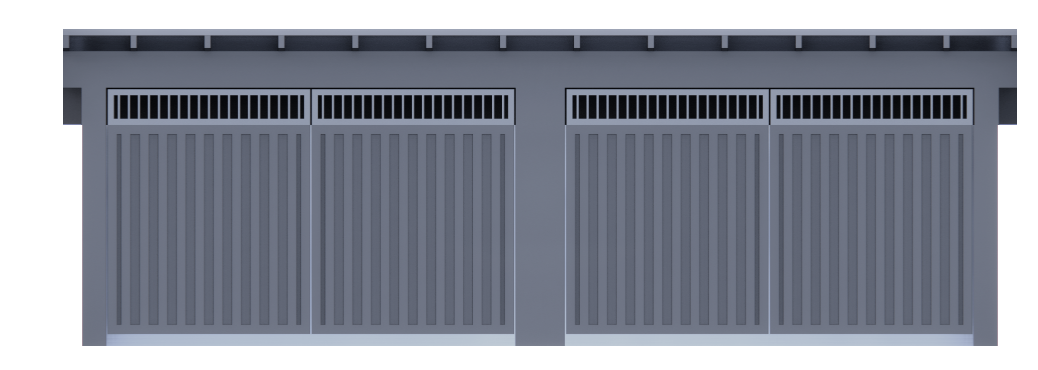
EAST ELEVATION



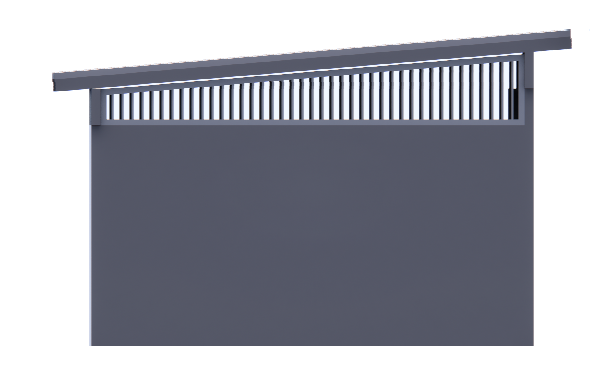
SOUTH ELEVATION



WEST ELEVATION



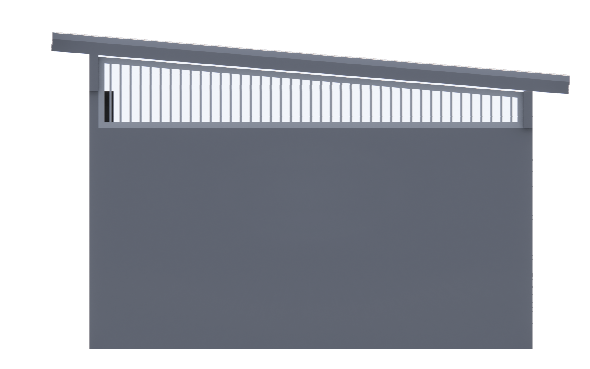
DUMPSTER, NORTH ELEVATION



DUMPSTER, EAST ELEVATION



DUMPSTER, SOUTH ELEVATION



DUMPSTER, WEST ELEVATION

03/23/2022
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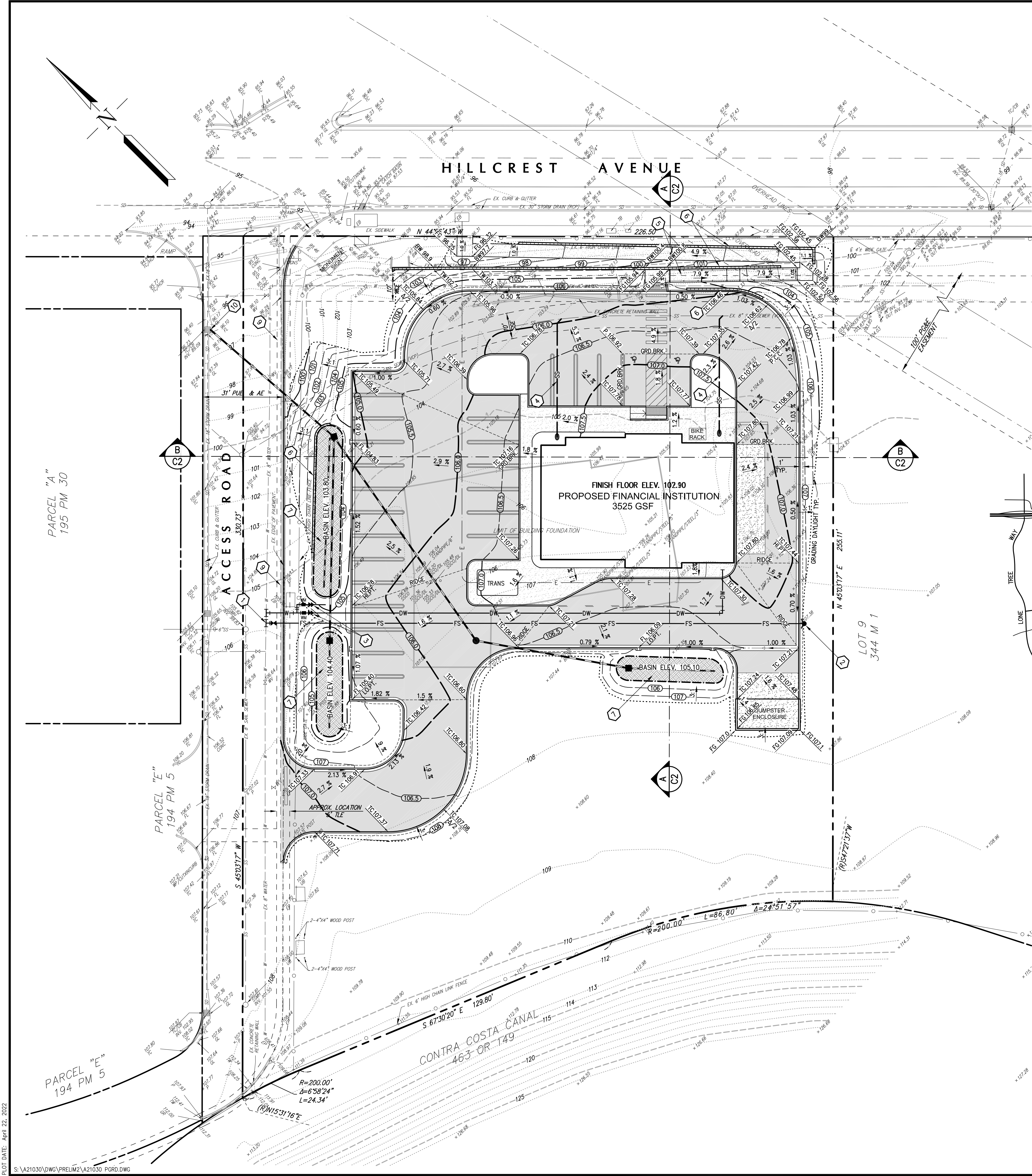
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LEVEL 5 - TCU TERRACE CENTER
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RENDERED ELEVATIONS

Project Manager
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Issue/Revision/Date
04/15/2022
Project Number
LVF00.04

A.203

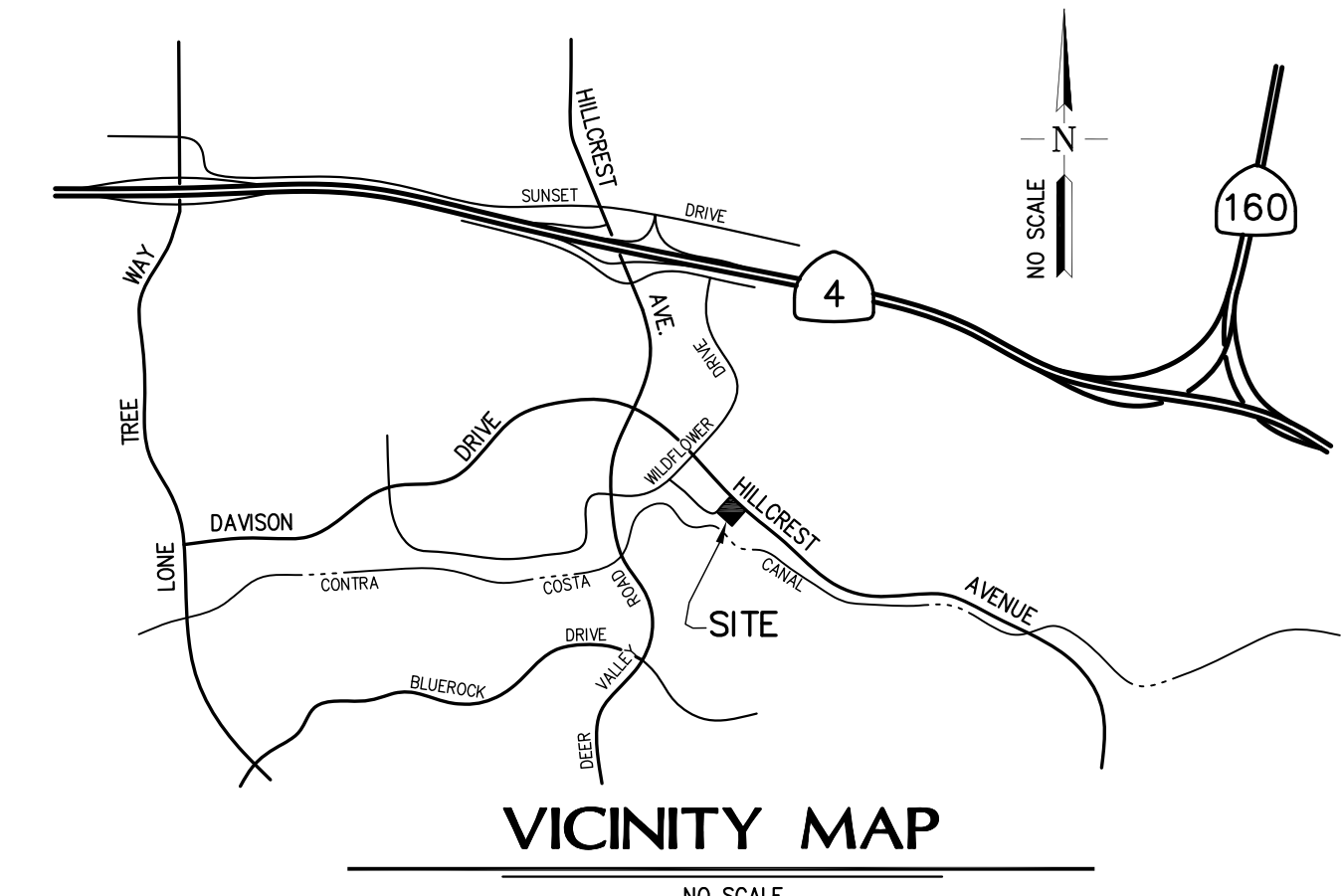
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- CONSTRUCTION NOTES:**
- 1 NEW TAP WATER CONNECTION TO MAIN AS SHOWN.
 - 2 PROPOSED FIRE HYDRANT INSTALLATION.
 - 3 INSTALL NEW 2" DOMESTIC AND 3/4" LANDSCAPE IRRIGATION SERVICES WITH METERS AND REDUCED PRESSURE BACKFLOW PREVENTERS.
 - 4 PROPOSED SANITARY SEWER LATERAL SERVICE FROM EXISTING MAIN.
 - 5 PROPOSED A.D.A. COMPLIANT PEDESTRIAN ACCESS WALK.
 - 6 PROPOSED RETAINING WALL.
 - 7 PROPOSED BIO-RETENTION BASIN WITH SUBDRAIN AND DRAINAGE OPENINGS IN THE PROPOSED CURB.
 - 8 PROVIDE DRAINAGE OPENING TO BIO-RETENTION BASIN.
 - 9 PROPOSED PAVEMENT SAWCUT LINE. LIMIT OF DEMOLITION.
 - 10 PROPOSED WATER TIGHT CONNECTION TO EXISTING CATCH BASIN.

LEGEND:

	PROPOSED	EXISTING
BOUNDARY LINE	---	---
PARCEL LINE	---	---
EASEMENT LINE	---	---
WATER LINE	W	---
FIRE SERVICE	FS	---
DOMESTIC WATER SERVICE	DW	---
SANITARY SEWER LINE	SS	---
STORM DRAIN PIPE	SD	---
DRAINAGE INLET	■	■
CLEANOUT	○	○
MANHOLE	⊗	⊗
WATER VALVE	⊕	⊕
FIRE HYDRANT	⊕	⊕
BACKFLOW PREVENTION DEVICE	▲	▲
TRAFFIC SIGN	□	□
UTILITY BOX AS NOTED	□	□
VERTICAL CURB	---	---
CURB AND GUTTER	---	---
RETAINING WALL	---	---
CONTOUR	---	---
GRADE BREAK	---	---
FLOW LINE SWALE	---	---
GRADING DAYLITE	---	---
SPOT ELEVATION	+	+
FLOW LINE ELEVATION	FL 107.50	FL 107.50
PAVEMENT GRADE ELEVATION	P 107.50	P 107.50
TOP OF CURB ELEVATION	TC 107.50	TC 107.50
FINISH GRADE ELEVATION	FG 107.50	FG 107.50
CONCRETE SURFACE	[Pattern]	[Pattern]
NEW ASPHALT PAVING	[Pattern]	[Pattern]
DRAINAGE TREATMENT AREA	[Pattern]	[Pattern]



ABBREVIATIONS:

AE	ACCESS EASEMENT	PIV	POST INDICATOR VALVE
CB	CATCH BASIN	PM	PARCEL MAP
DW	DOMESTIC WATER SERVICE	PUE	PUBLIC UTILITY EASEMENT
E	EAST	(R)	RADIAL BEARING
EB	ELECTRIC BOX	S	SOUTH OR SIGN
EP	EDGE OF PAVEMENT	SD	STORM DRAIN
EX	EXISTING	SDMH	STORM DRAIN MANHOLE
FDC	FIRE DEPARTMENT CONNECT	SS	SANITARY SEWER
FF	FINISH FLOOR	SSCO	SANITARY SEWER CLEANOUT
FG	FINISH GRADE	SSE	SANITARY SEWER EASEMENT
FL	FLOW LINE	SSMH	SANITARY SEWER MANHOLE
FS	FIRE SERVICE	TB	TRAFFIC SIGNAL BOX
GL	GUTTER LIP	TC	TOP OF CURB
GP	GATE POST	UB	UTILITY BOX
GRD.BRK.	GRADE BREAK	W	WATER OR WEST
HI.PT.	HIGH POINT	WHT	WHITE
N	NORTH	WLE	WATER LINE EASEMENT
OR	OFFICIAL RECORD	WM	WATER METER
P	PAVEMENT	WP	SURVEY WORK POINT
PG&E	PACIFIC GAS AND ELECTRIC COMPANY	WV	WATER VALVE



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707 BECK AVENUE
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PRELIMINARY GRADING AND UTILITY PLAN
PROPOSED FINANCIAL INSTITUTION
3500 HILLCREST AVENUE
ANTIOCH, CALIFORNIA

FOR: LEVEL 5

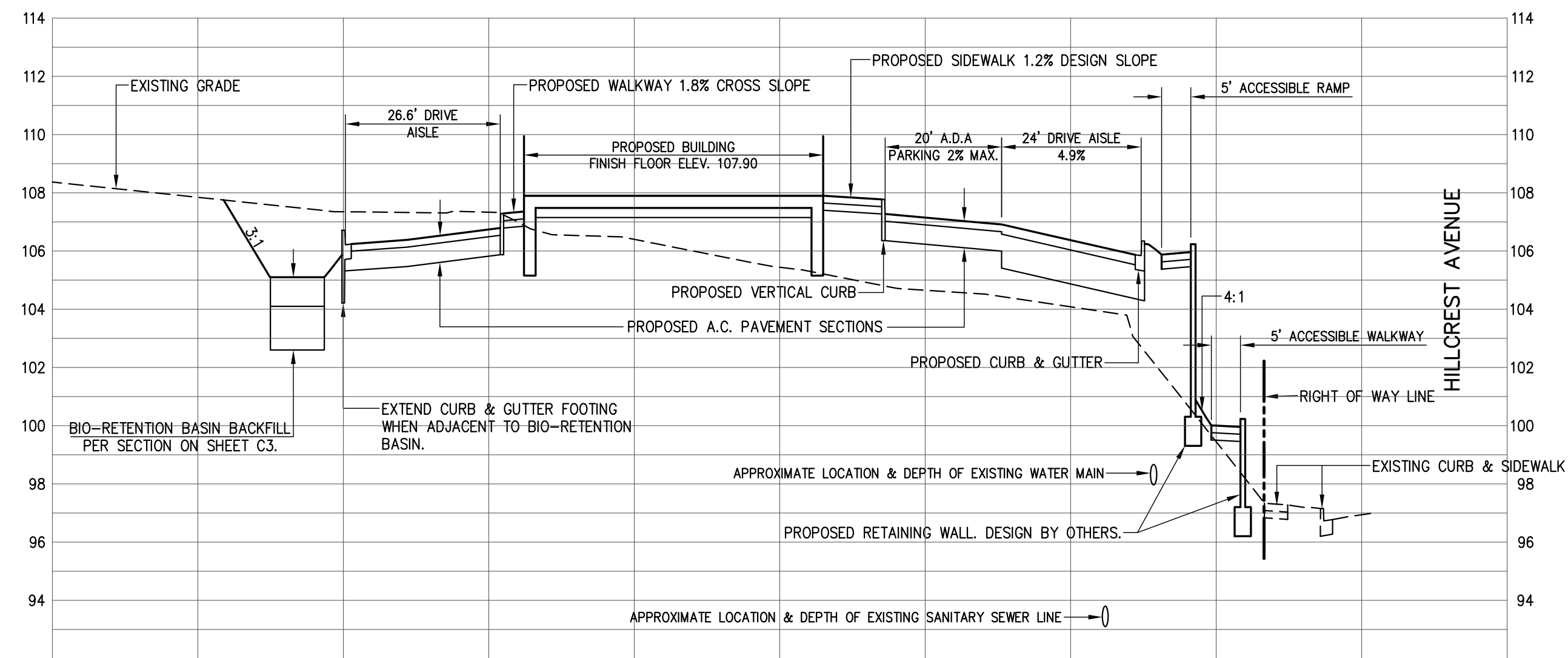
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1"=20'	4-22-22		

DATE	REVISIONS	BY	CHK

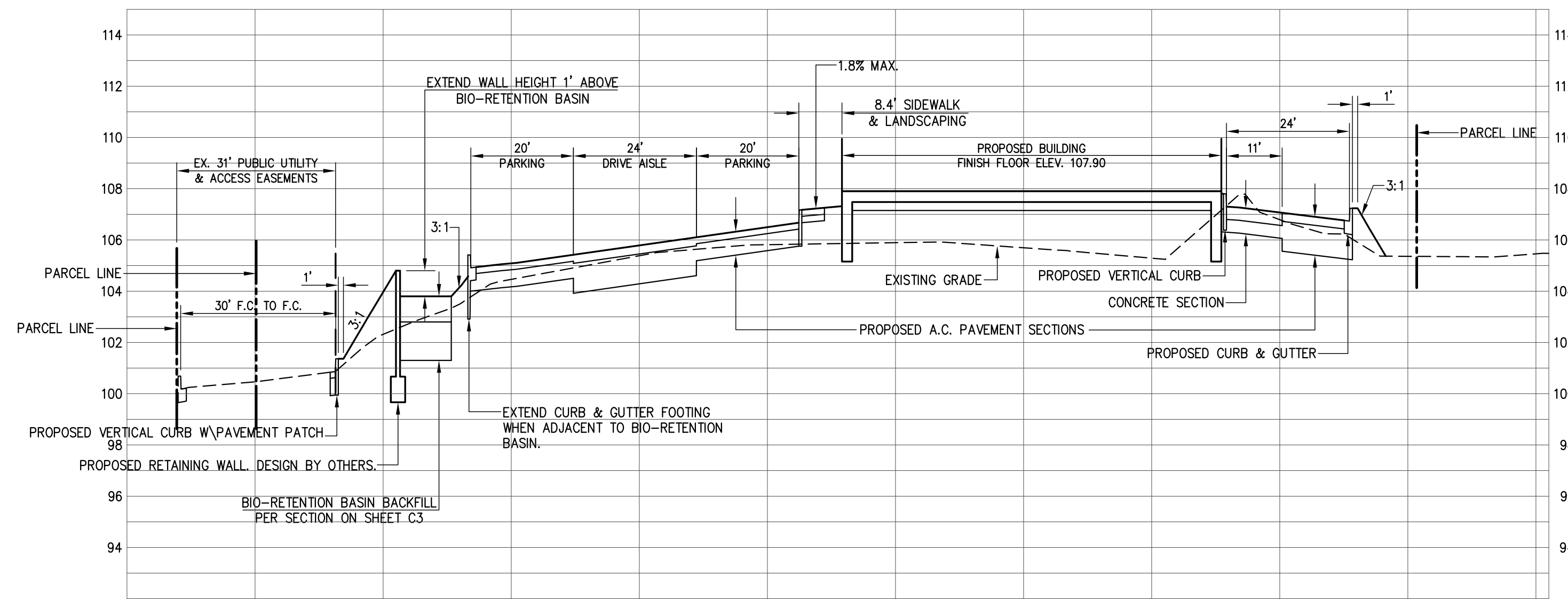
SHEET NO.
C1
OF 3 SHEETS
JOB NO.
A21030

PLOT DATE: April 22, 2022

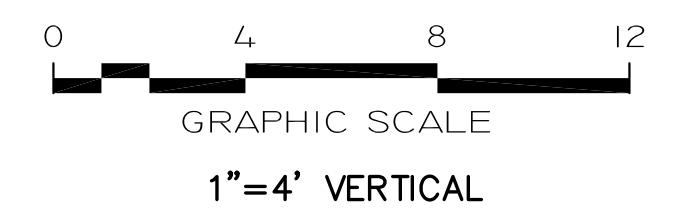
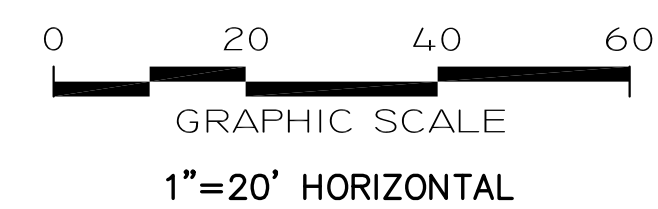
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SECTION A-A



SECTION B-B



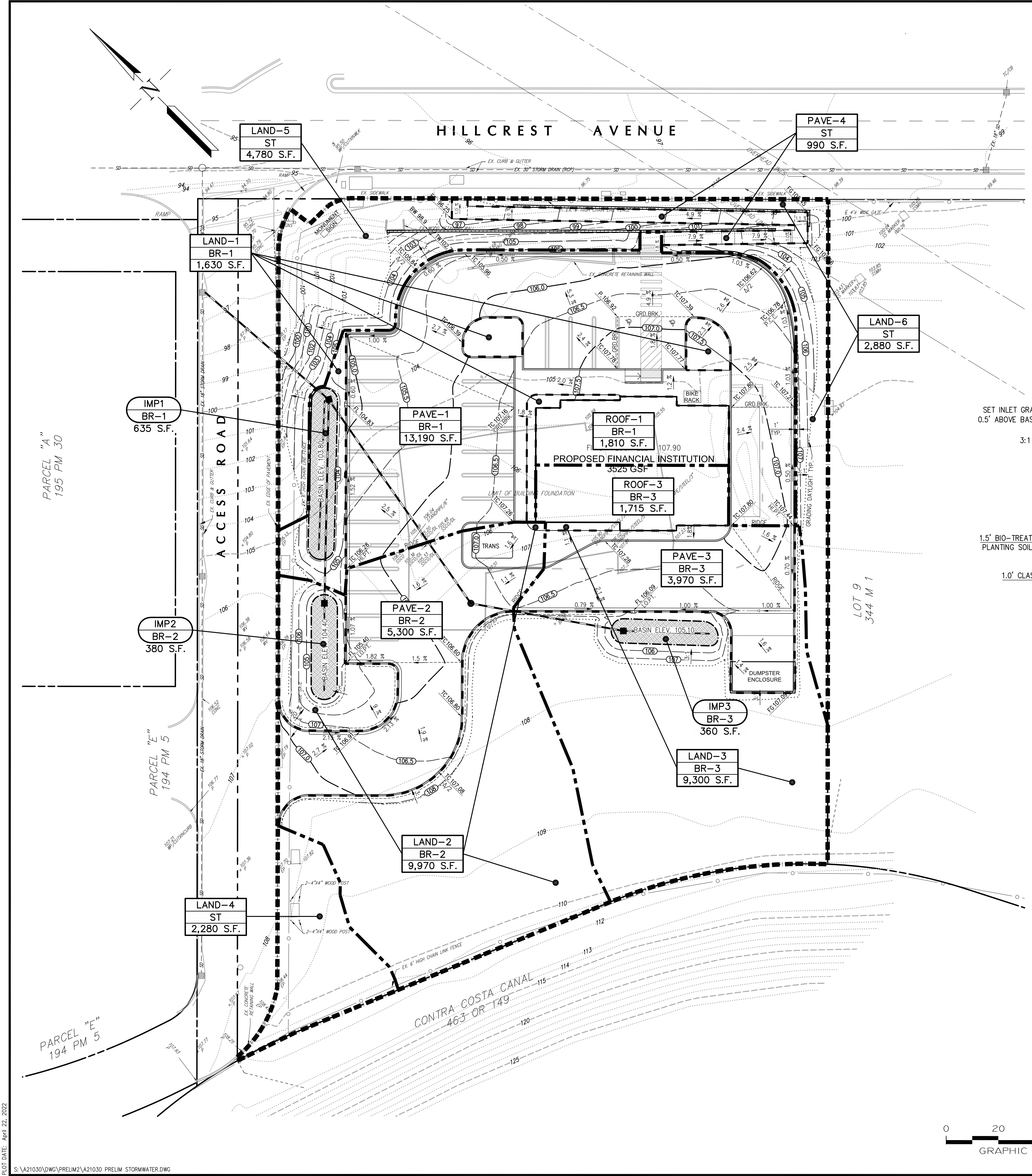
PLOT DATE: April 22, 2022

S:\A21030\DWG\PRELIM2\A21030 GRADING SECTIONS.DWG

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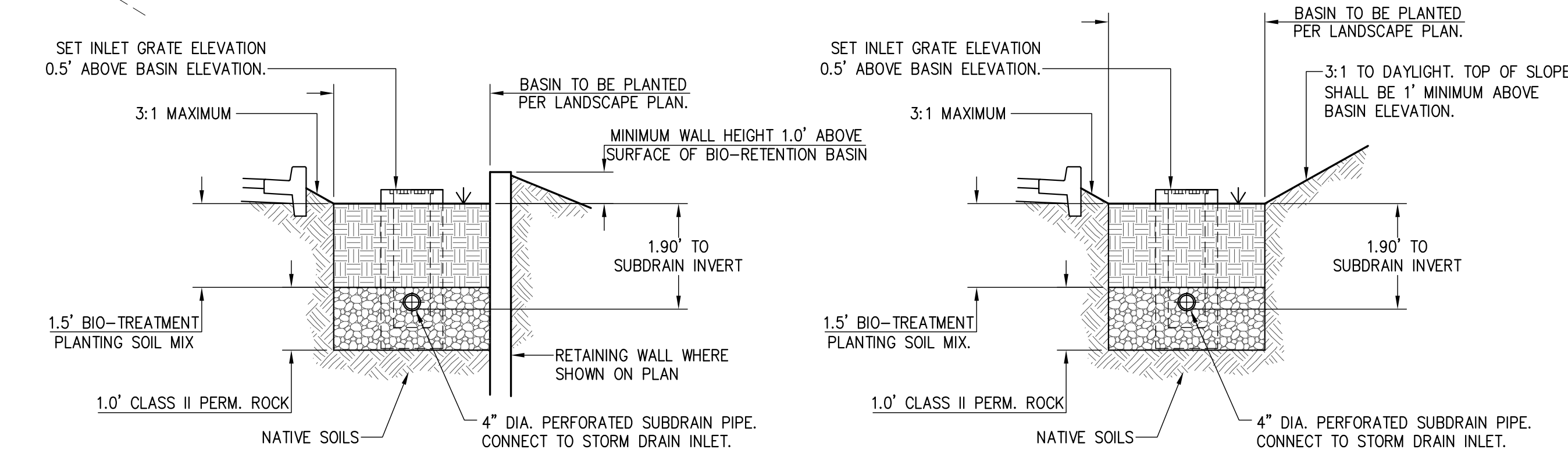
THROUGH SITE SECTIONS
PROPOSED FINANCIAL INSTITUTION
 3500 HILLCREST AVENUE
 ANTIPOCH, CALIFORNIA
 FOR: LEVEL 5

SCALE AS SHOWN	DATE 4-22-22	DRAWN	CHECKED	PROJ. MGR.	R.A.K.
BY CK					
SHEET REVISIONS					
DATE					
NO.					
SHEET NO. C2					
OF 3 SHEETS					
JOB NO. A21030					



LEGEND:

	PROPOSED	EXISTING
LIMIT OF IMPROVEMENTS	--- (thick dashed)	---
DRAINAGE AREA BOUNDARY	--- (medium dashed)	---
DRAINAGE MANAGEMENT AREA BOUNDARY	--- (thin dashed)	---
BIO-RETENTION TREATMENT AREA	▨ (hatched)	---
DRAINAGE MANAGEMENT AREA (DMA) ID	PAVE 1	---
TREATMENT DEVICE ID	BR-1	---
BIO-RETENTION (BR) UNTREATED (UT)	sq.ft.	---
INTEGRATED MANAGEMENT PRACTICE (IMP)	IMP	---
BIO-RETENTION (BR)	BR-1	---
	sq.ft.	---
BOUNDARY LINE	---	---
PARCEL LINE	---	---
STORM DRAIN PIPE	---	---
DRAINAGE INLET	■	■
VERTICAL CURB	---	---
CURB AND GUTTER	---	---
VALLEY GUTTER	---	---
CONTOUR	104.0	104
GRADE BREAK	---	---
SPOT ELEVATION	FL 106.87	× 106.87
FLOW LINE ELEVATION	FL 106.87	× 106.87
FINISH GRADE ELEVATION	FG 106.87	---
TOP OF CURB ELEVATION	TC 106.87	× 106.87



BIO-RETENTION BASIN SECTIONS
NO SCALE
TREATMENT SECTION ONLY

Project Name: **Travis Credit Union**
 Location: **3500 Hillcrest Avenue (APN: 052-370-010)**
 Project Type: **Treatment Only**
 Mean Annual Precipitation: **24 inches**
 Soil Group: **Type D**
 C.3. Compliance Required?: **YES**

Self-Treating Areas:

DMA Name	Area (SF)
PAVE-4	990
LAND-4	2,280
LAND-5	4,780
LAND-6	2,880

IMP Name: **IMP1 (BR-1)**
IMP Type: **Bioretention Facility**

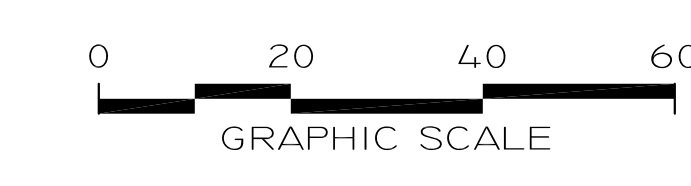
DMA Name	DMA Area (SF)	Post-Project Surface Type	DMA Runoff Factor	DMA Area X Runoff Factor	IMP Sizing Factor	Rain Adjust. Factor	Min. Area	Proposed Area
ROOF-1	1,810	Roof	1.00	1,810	0.04	1.000	607	635
PAVE-1	13,190	Concrete/Asphalt	1.00	13,190				
LAND-1	1,630	Landscaping	0.10	163				
				Total				15,163

IMP Name: **IMP2 (BR-2)**
IMP Type: **Bioretention Facility**

DMA Name	DMA Area (SF)	Post-Project Surface Type	DMA Runoff Factor	DMA Area X Runoff Factor	IMP Sizing Factor	Rain Adjust. Factor	Min. Area	Proposed Area
PAVE-2	5,300	Concrete/Asphalt	1.00	5,300	0.04	1.000	252	380
LAND-2	9,970	Landscaping	0.10	997				
				Total				6,297

IMP Name: **IMP3 (BR-3)**
IMP Type: **Bioretention Facility**

DMA Name	DMA Area (SF)	Post-Project Surface Type	DMA Runoff Factor	DMA Area X Runoff Factor	IMP Sizing Factor	Rain Adjust. Factor	Min. Area	Proposed Area
ROOF-3	1,715	Roof	1.00	1,715	0.04	1.000	265	360
PAVE-3	3,970	Concrete/Asphalt	1.00	3,970				
LAND-3	9,300	Landscaping	0.10	930				
				Total				6,615



PRELIMINARY STORMWATER PLAN
PROPOSED FINANCIAL INSTITUTION
3500 HILLCREST AVENUE
ANTIOCH, CALIFORNIA

FOR: LEVEL 5

SCALE	DATE	DATE	DATE	DATE
1"=20'	4-22-22			

SHEET NO. **C3**
OF 3 SHEETS
JOB NO. A21030

PROJECT: 2022.01.01
 PROJECT MANAGER: R.A.K.
 CHECKED: J.W.P.
 DRAWN: J.W.P.
 DATE: 4-22-22
 BY: CK

ROBERT A. KARN & ASSOCIATES, INC.
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 FAIRFIELD, CALIFORNIA 94539
 Phone: (707) 435-9999
 e-mail: rak@rakengineers.com
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PLIST DATE: April 22, 2022
 S:\A21030\DWG\PRELIM2\A21030 PRELIM STORMWATER.DWG

MAXIMUM APPLIED WATER ALLOWANCE

MAWA = (ET _a) (C _r) (L _a) (C ₆₂)					
200,033 GAL/YEAR	=	ET _a	0.45	LA	15862
					0.62

NOTE THAT ALL PLANTERS ARE TO BE IRRIGATED BY AN AUTOMATIC, LOW VOLUME, INLINE DRIP SYSTEM BURIED BELOW GRADE.
ALL PLANTERS WILL BE MULCHED TO 3" DEPTH WITH AN APPROVED BARK PRODUCT.
THE LANDSCAPE AND IRRIGATION PLANS WILL COMPLY WITH THE 2015 WATER EFFICIENT LANDSCAPE ORDINANCE (WELO).

ESTIMATED TOTAL WATER USE

EWU = (ET _a) (PF) (HA) (C ₆₂) / IE								
HYDROZONE	ET _a	PF	HA	C ₆₂	IE	EWU	(N GAL PER YEAR)	
1) SOUTH SHRUBS	45.2	0.3	2,550	0.62	0.6	26,893		
2) EAST SHRUBS/ PERENNIALS	45.2	0.3	2,932	0.62	0.6	30,812		
3) STREET CORNER PLANTER	45.2	0.3	3,698	0.62	0.6	38,882		
4) WEST ACCESS RD. PLANTER	45.2	0.3	4,308	0.62	0.6	45,273		
5) BIOSWALES	45.2	0.5	1,381	0.62	0.6	32,281		
6) BUILDING PLANTERS	45.2	0.4	984	0.62	0.6	13,788		
			TOTAL AREA:	15,862 SQFT		ETWU:	187,879	
						MAWA:	200,033	

TREE LEGEND

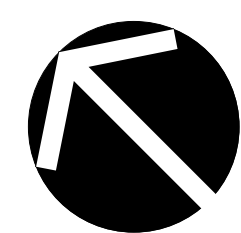
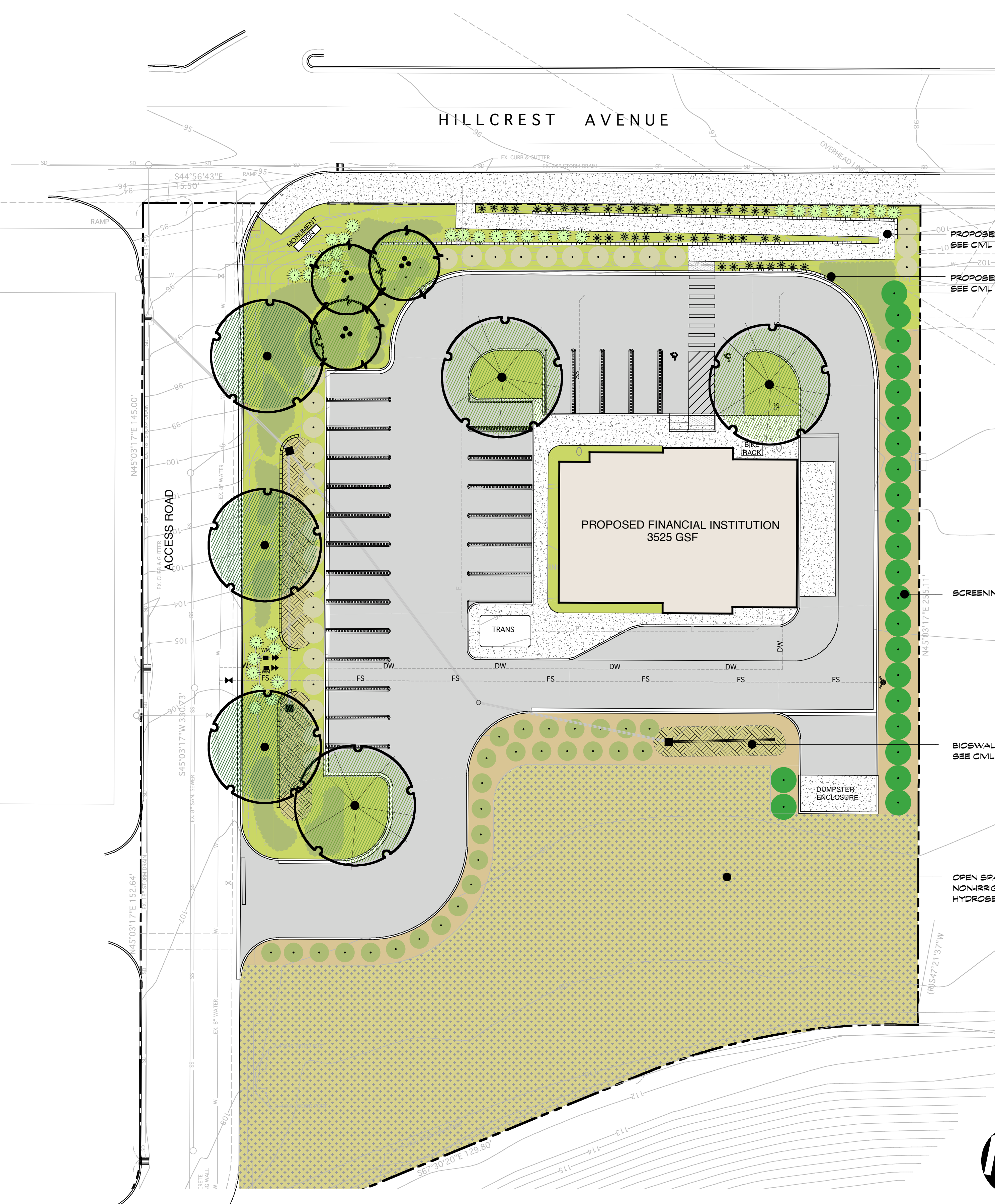
DESCRIPTION	AVERAGE MATURE HEIGHT	SIZE	QUANTITY
LAGERSTROEMIA INDICA NATCHEZ WHITE CRAPE MYRTLE	15'	15 GAL.	4
QUERCUS ILEX HOLLY OAK	30'	15 GAL.	3
ULMUS PARVIFOLIA DRAKE CHINESE EVERGREEN ELM	30'	15 GAL.	3

SUGGESTED SHRUBS, GROUND COVERS AND PERENNIALS

SIZE	DESCRIPTION	WELO
5 GAL.	HETEROMELES ARBUTIFOLIA TOYON	L
5 GAL.	ARCTOSTAPHYLOS HOWARD MCMINN MANZANITA	L
1 GAL.	SALVIA 'BEE'S BLISS' CREEPING SAGE	L
1 GAL.	BACCHARIS PILULARIS 'TWIN PEAKS' COYOTE BRUSH	L
1 GAL.	MYOPORUM PARVIFOLIUM PINK MYOPORUM	L
1 GAL.	MISCANTHUS SINENSIS 'ADAGIO' DWARF MAIDEN GRASS	L
1 GAL.	PENNISETUM ALOPECUROIDES DWARF FOUNTAIN GRASS	L
1 GAL.	BULBINE FRUTESCENS 'HALLMARK' ORANGE BULBINE	L
1 GAL.	TULBAGHIA VIOLACEA SOCIETY GARLIC	L
1 GAL.	FESTUCA RUBRA RED FESCUE (BIOSWALES)	L

AREA CALCULATIONS

SYMBOL	DESCRIPTION	AREA
	BIOSWALES	1,381 SQFT
	PLANTED/ GROUND COVERS	10,153 SQFT
	HYDROSEEDED/ NON-IRRIGATED	17,380 SQFT
	OTHER PLANTED AND MULCHED AREAS	8,356 SQFT
		37,271 SQFT



SITE PLAN
SCALE: 1" = 20' - 0"

JAMES
FERGUSON
CLABAUGH
LANDSCAPE
ARCHITECT
4536 SHAWN LANE
VACAVILLE, CA 95688
PHONE/FAX: 707-449-3916

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ANTIOCH, CA

Scale	1" = 20'-0"	REVISIONS
Date	3/22/22	No. Date
Des. No.	J.C.	
Designed by	J.C.	
Drawn by	J.C.	

**PRELIMINARY
LANDSCAPE
PLAN**

Sheet No.
L1
of 1