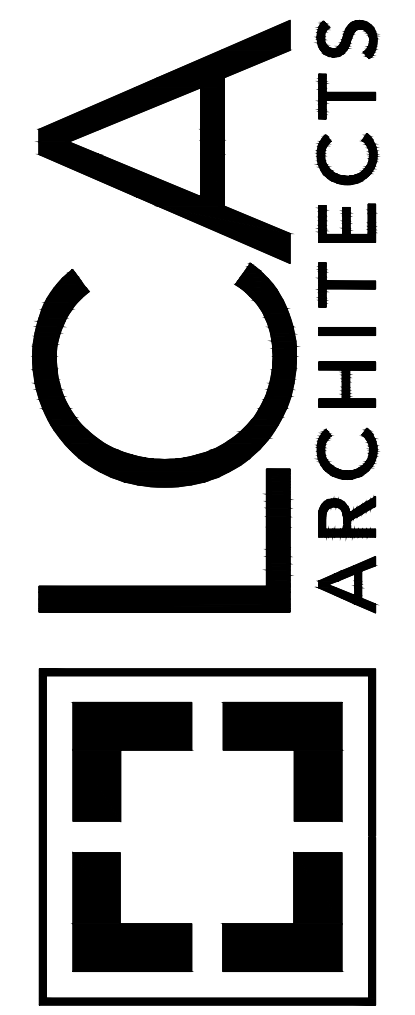




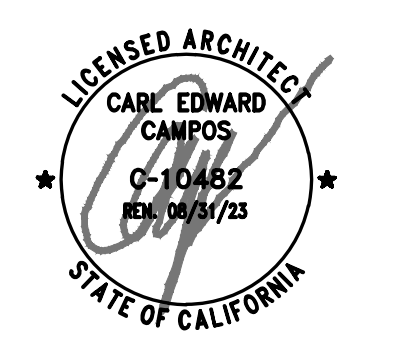
# DELTA COURTYARD APARTMENTS

## ANTIOCH, CA



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 DAVID BOGSTAD  
 PETER STACKPOLE  
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 (925) 944-1628  
 1970 BROADWAY, SUITE 800  
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 (510) 272-1060

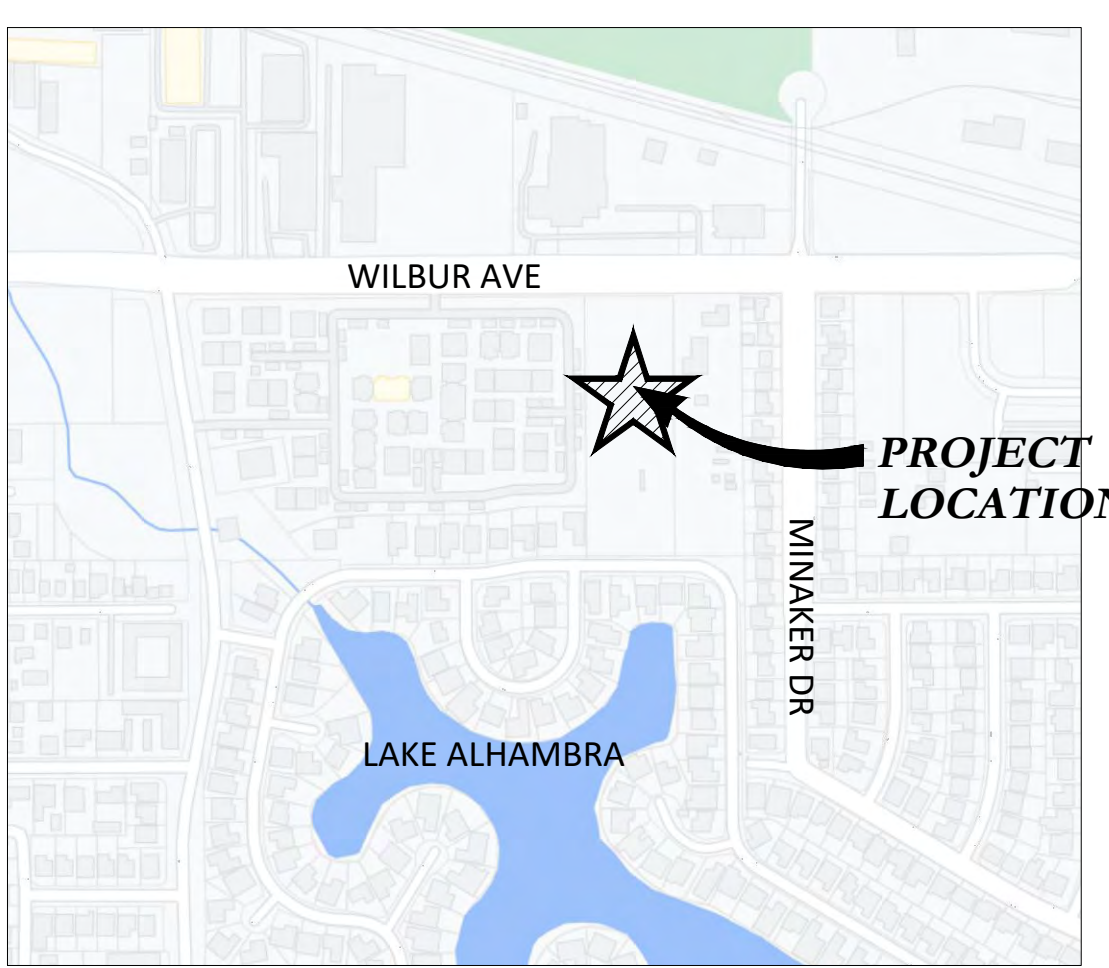
**810 WILBUR**  
**AVENUE APARTMENTS**  
 ANTIOCH, CALIFORNIA



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### VICINITY MAP

NOT TO SCALE



### PROJECT DATA

**SITE & PERMIT DATA:**  
 APN: 065-110-006  
 ADDRESS: 810 WILBUR AVE.  
 PRIOR USE PERMIT: UP-15-16  
 CURRENT CCCFD PERMIT: P-2021-05550

### SHEET INDEX

#### ARCHITECTURAL

- A0.1 COVER SHEET
- A1.1 PROPOSED CONCEPTUAL PHASED SITE PLAN
- A1.2 NOT USED
- A1.3 EXISTING CONDITIONS AND PHOTOS
- A2.1 TYPICAL UNIT PLANS
- A3.1 TYPICAL LEVEL 1 FLOOR PLAN
- A3.2 TYPICAL LEVEL 2 FLOOR PLAN
- A3.3 TYPICAL LEVEL 3 FLOOR PLAN
- A3.4 TYPICAL ROOF PLAN
- A4.1 EXTERIOR ELEVATIONS
- A4.2 EXTERIOR ELEVATIONS
- A5.1 COLORS AND MATERIALS
- A6.1 BUILDING SECTIONS
- A6.2 SITE SECTIONS
- A7.1 TYPICAL DETAILS
- LT.1 PHOTOMETRIC AND LIGHTING PLAN

#### CIVIL ENGINEERING:

- 1 PRELIMINARY DESIGN PLANS TITLE SHEET
- 2 TOPOGRAPHIC SURVEY & DEMOLITION PLAN
- 3 SECTIONS & DETAILS
- 4 PRELIM. GRADING, DRAINAGE & UTILITY DESIGN
- 5 PRELIM. GRADING, DRAINAGE & UTILITY DESIGN
- 6 PRELIM. C.3 STORM WATER CONTROL PLAN
- 7 ENGINEERED CROSS-SECTIONS
- 8 TRUE CROSS-SECTIONS
- 9 TRAFFIC SIGNING AND STRIPING PLAN

#### LANDSCAPE ARCHITECTURE:

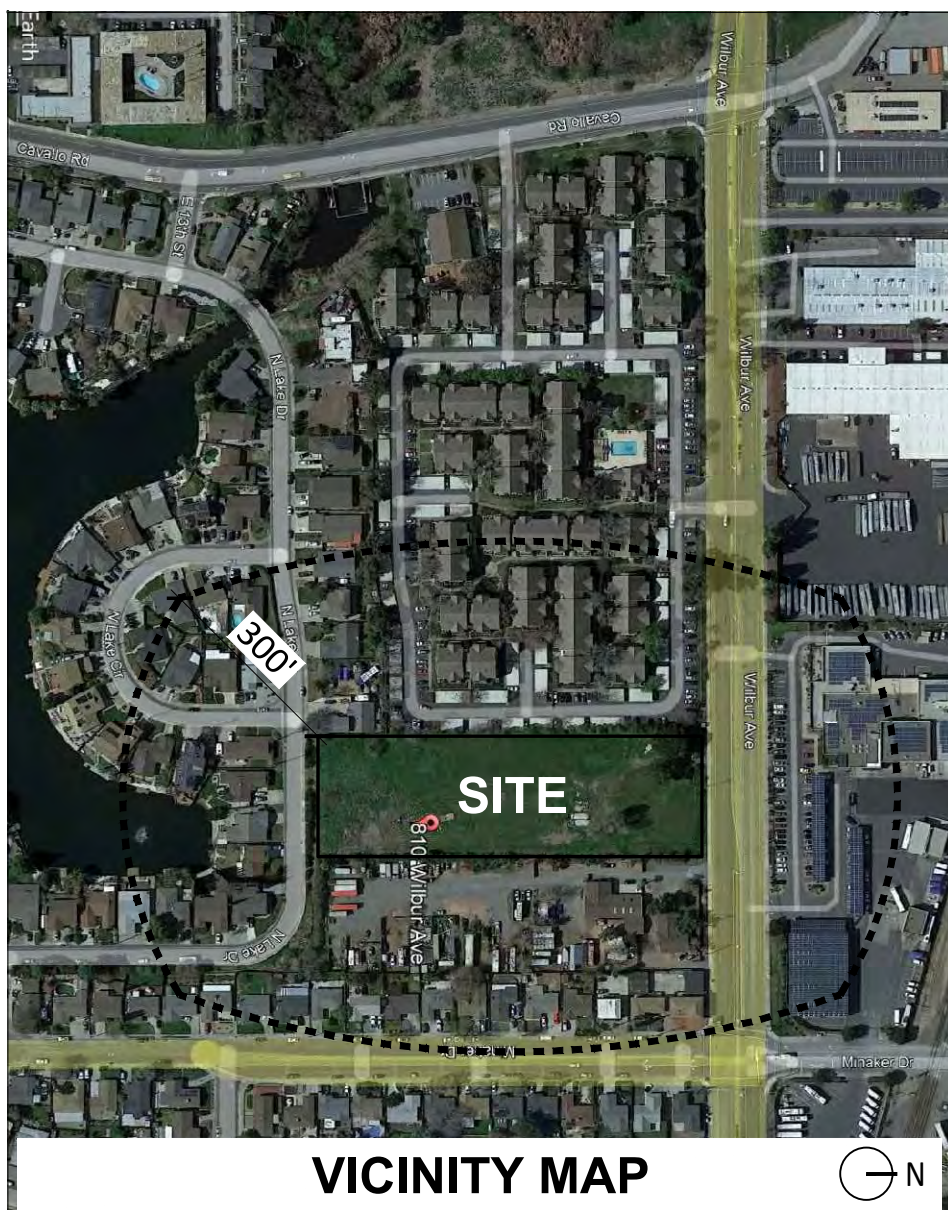
- L-1 PLAN LIST, CHARACTER IMAGES, AND SHEET INDEX
- L-2 PLANT PALETTE
- L-3 OVERALL SITE, FENCING, & LIGHTING PLAN
- L-4 NORTH COURT ENLARGEMENT
- L-5 SOUTH COURT ENLARGEMENT
- L-6 HYDROZONE PLAN

### COVER SHEET

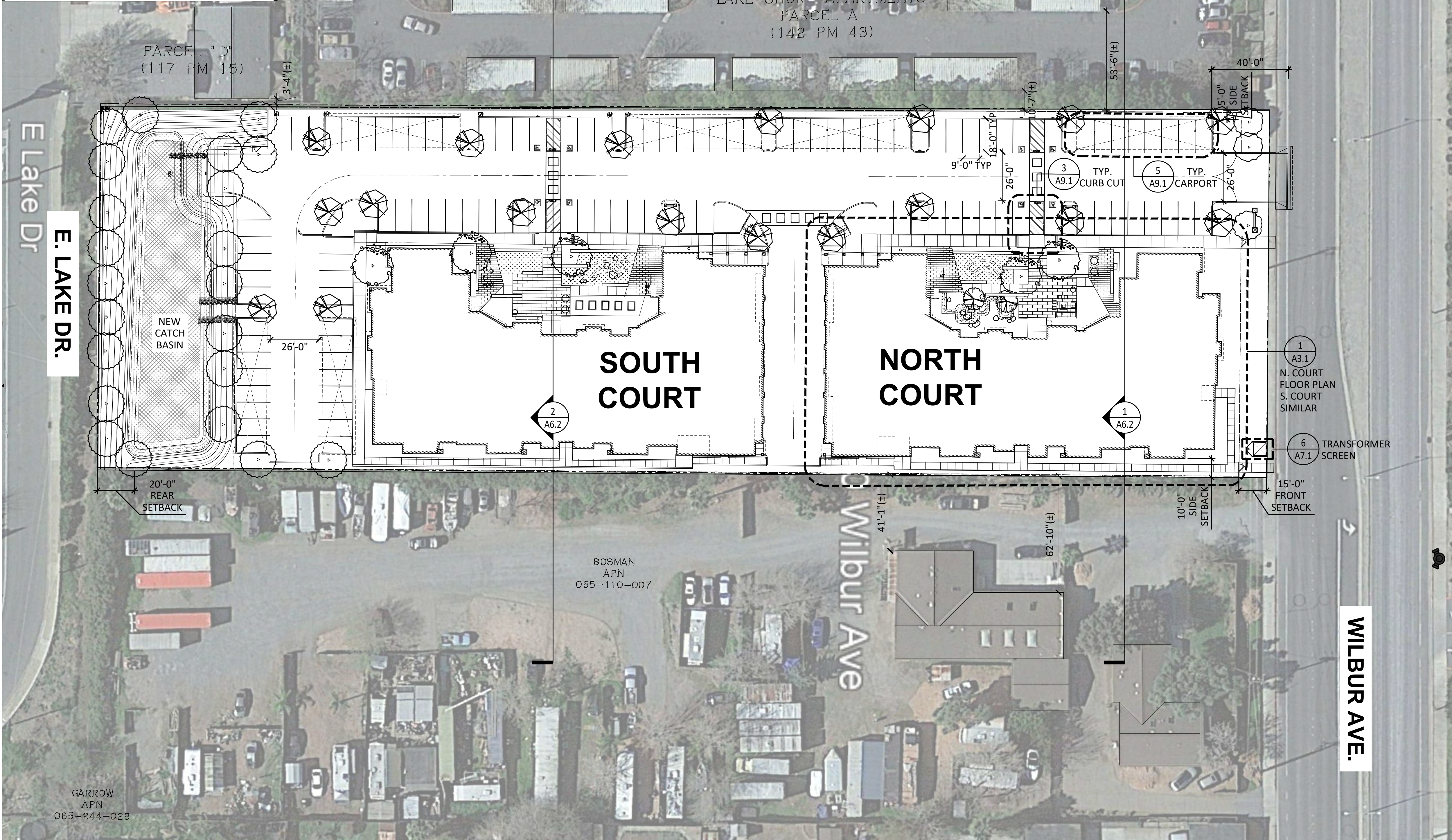
SCALE:  
 DATE: 9 / 19 / 2022

REVISIONS:

PROJECT NO.  
**A0.1**  
 SHEET 99 OF



VICINITY MAP



**PROJECT DATA**

APN#	065110006
GENERAL PLAN:	HIGH DENSITY RESIDENTIAL
ZONING:	R-25
LOT AREA:	2.86 ACRES / 123,841 SF
LOT COVERAGE:	18,400 SF PER BUILDING = 36,800 SF (BUILDING FOOTPRINTS) + 7,512 (6 CARPORTS) = 44,312 SF 44312 / 124582 = 36% (50% ALLOWED)
LANDSCAPE AREA:	30,145 SF LANDSCAPING = 24% + 6,267 BIO-RETENTION = 36,412 = 29% (25% REQUIRED)
HEIGHT LIMIT:	40ft PROPOSED (45ft ALLOWED)

**UNITS:**

**UNIT MIX - TYPICAL BUILDING:**

(8) 1-BEDROOM - TYPE 1 UNITS	=	672 NET SF
(9) 1-BEDROOM - TYPE 2 UNITS	=	668 NET SF
(5) 2-BEDROOM - TYPE 1 UNITS	=	940 NET SF
(6) 2-BEDROOM - TYPE 2 UNITS	=	1,049 NET SF
(9) 3-BEDROOM - TYPE 1 UNITS	=	1,123 NET SF

(37) UNITS TOTAL PER BUILDING x 2 BUILDINGS =

**74 UNITS TOTAL**

**PARKING:**

Base Density  
2.86 acres x 25 du/ac = 71.5 dwelling units

Affordable Units to be Provided  
4 Very Low Income Units = 5.6% of base density

Very Low Income Density Bonus  
5.6% Affordable Unit Percentage provides a 20% Density Bonus (71.5 base density units + 14.3 bonus units = 85.8 units maximum)

Total Units Proposed  
74 Units

Incentives/Concession  
%5 Very Low Income allows for (1) Incentive or Concession (To be determined)

Density Bonus Parking Requirements

1 Bedroom (1 space per unit)	=	34 units x 1	=	34 spaces
2 Bedroom (1.5 spaces per unit)	=	22 units x 1.5	=	33 spaces
3 Bedroom (1.5 spaces per unit)	=	18 x 1.5	=	27 spaces
				<b>94 spaces total</b>

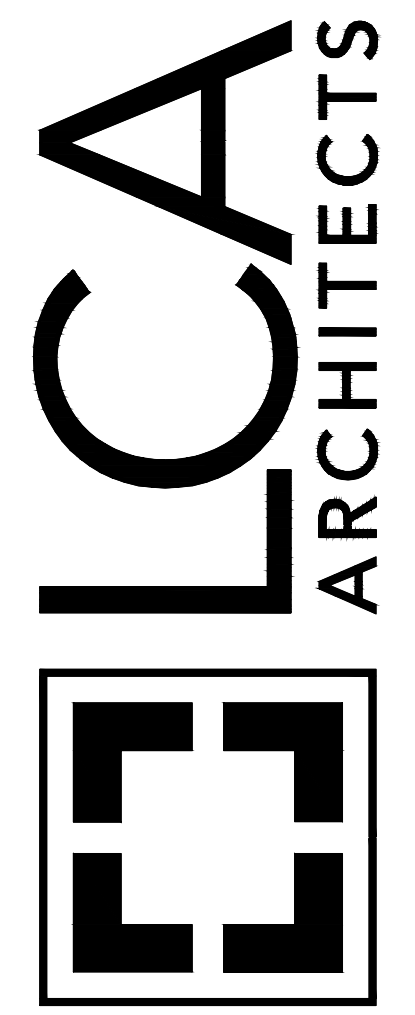
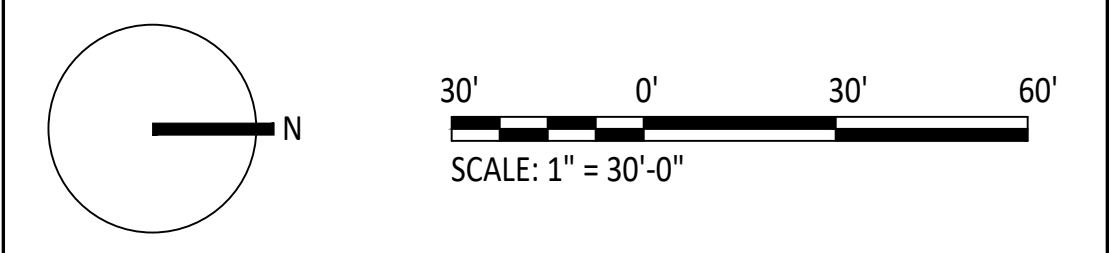
Guest Parking (none required) = 0 spaces

Total Parking Required = 94 spaces

Total Parking Provided = 124 spaces

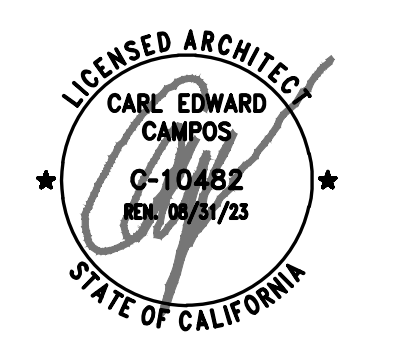
**SITE INFORMATION:**

SEE CIVIL DRAWINGS FOR FURTHER LOT INFORMATION INCLUDING EASEMENTS AND ADJACENT STREET INFORMATION.



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**PROPOSED CONCEPTUAL SITE PLAN**

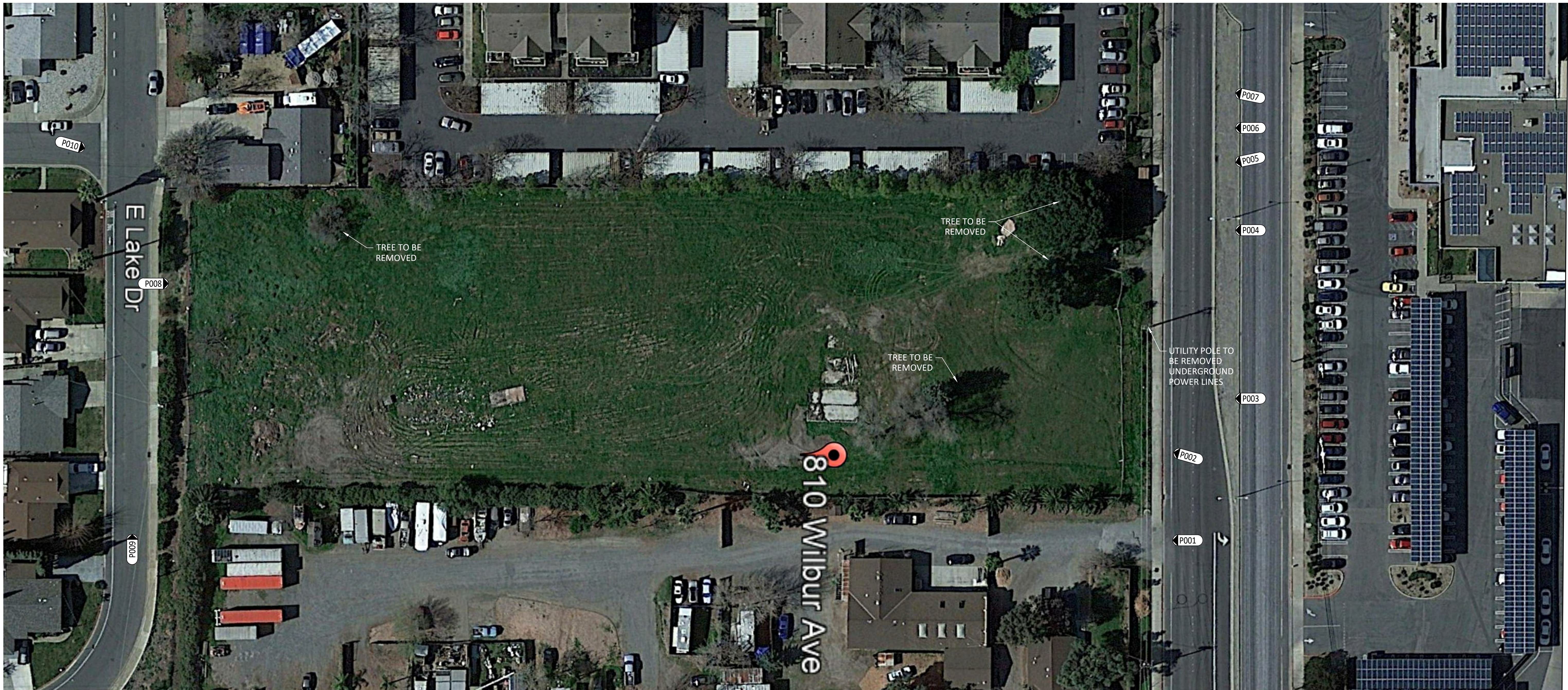
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DATE: 9 / 19 / 2022

REVISIONS:

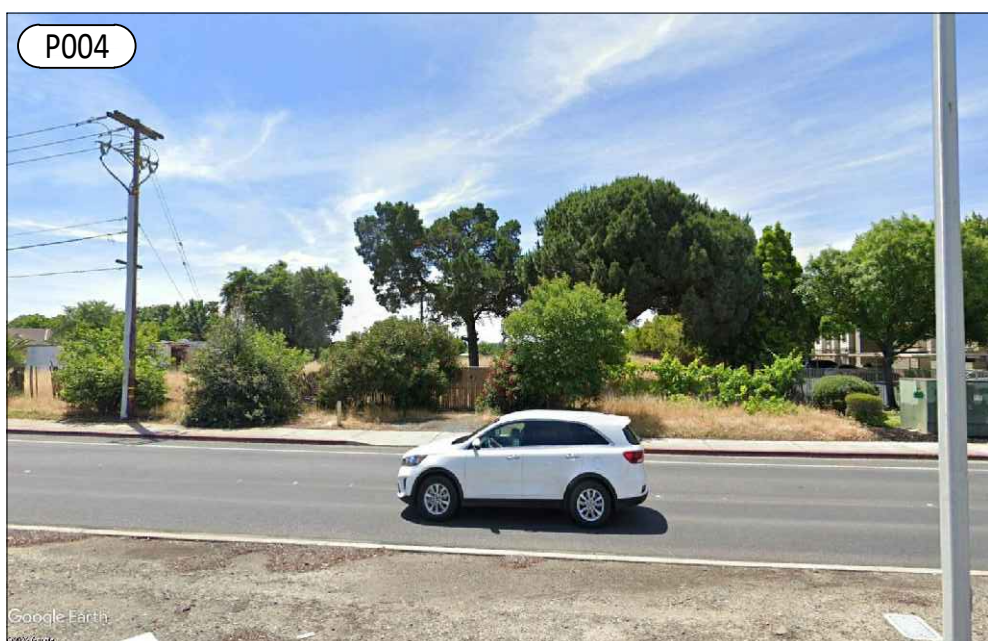
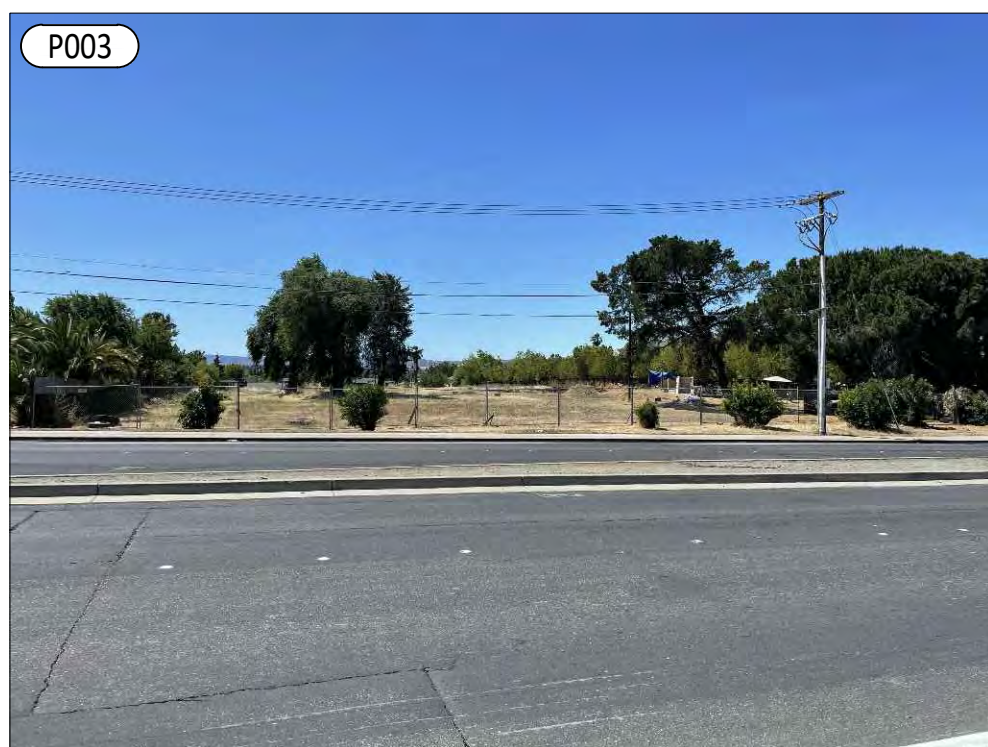

PROJECT NO.

**A1.1**  
SHEET OF

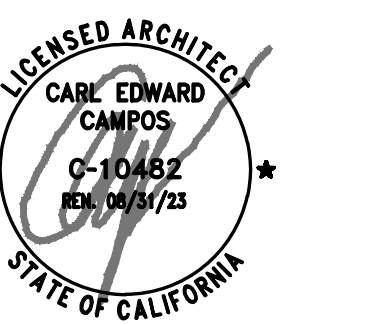
**1 PROPOSED CONCEPTUAL SITE PLAN**  
1" = 30'-0"



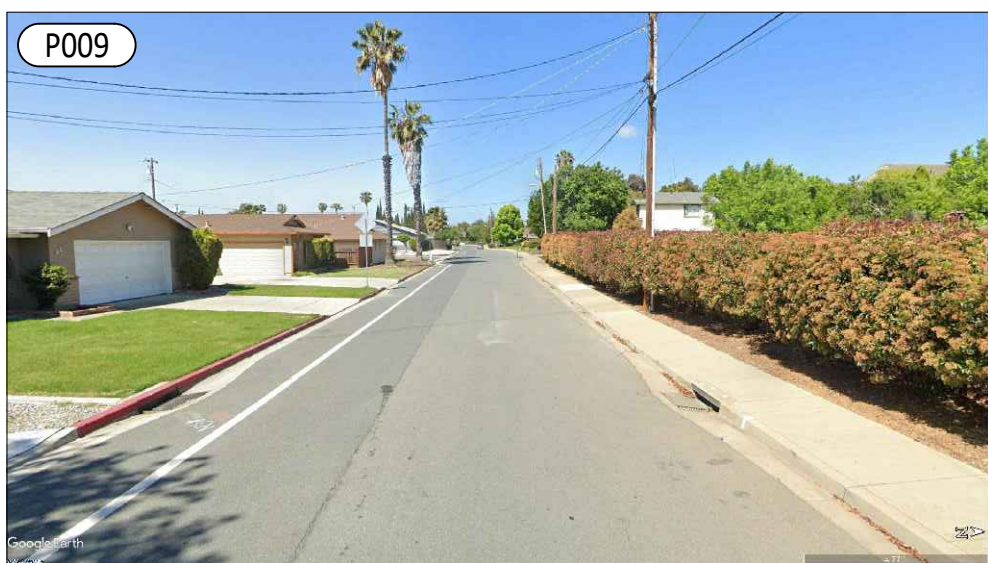
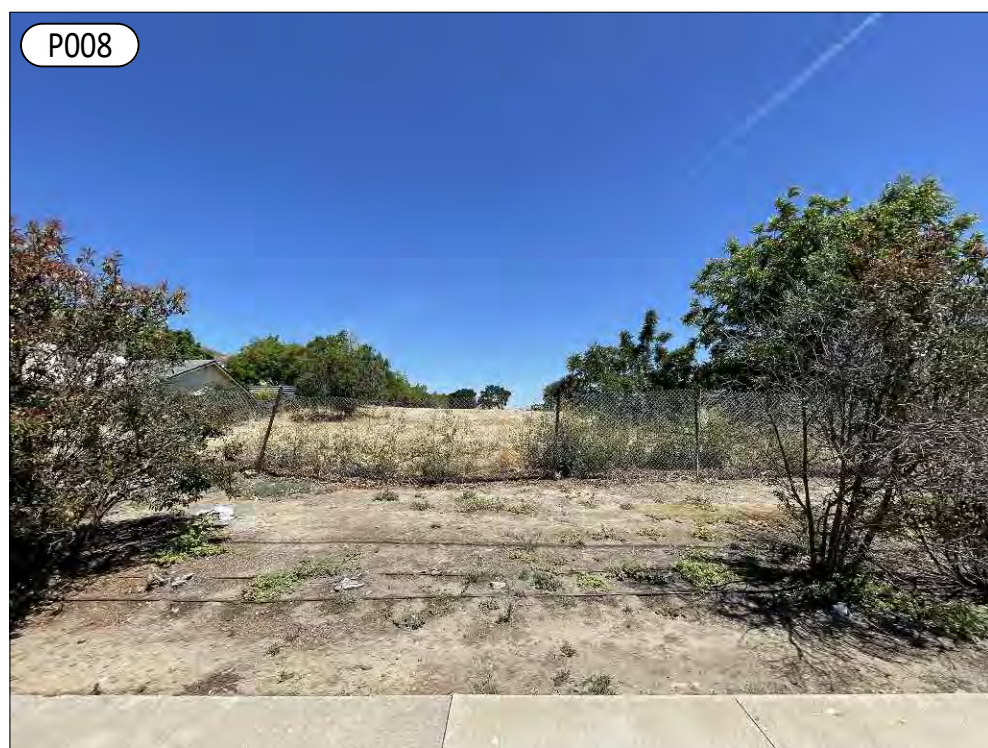
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NOTE:  
SEE ARBORIST REPORT



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EXISTING  
CONDITIONS  
AND PHOTOS

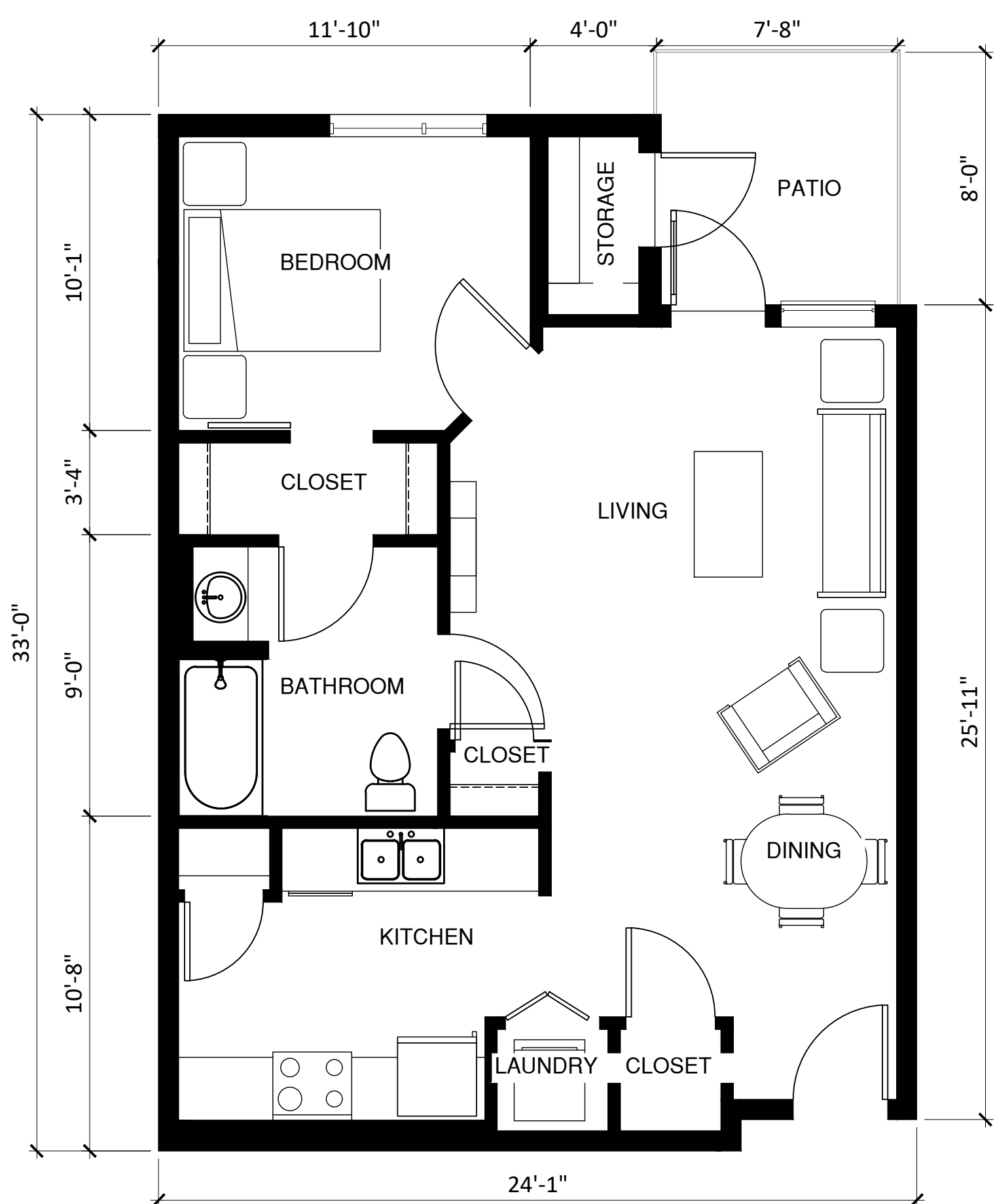
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DATE: 9/19/2022

REVISIONS:

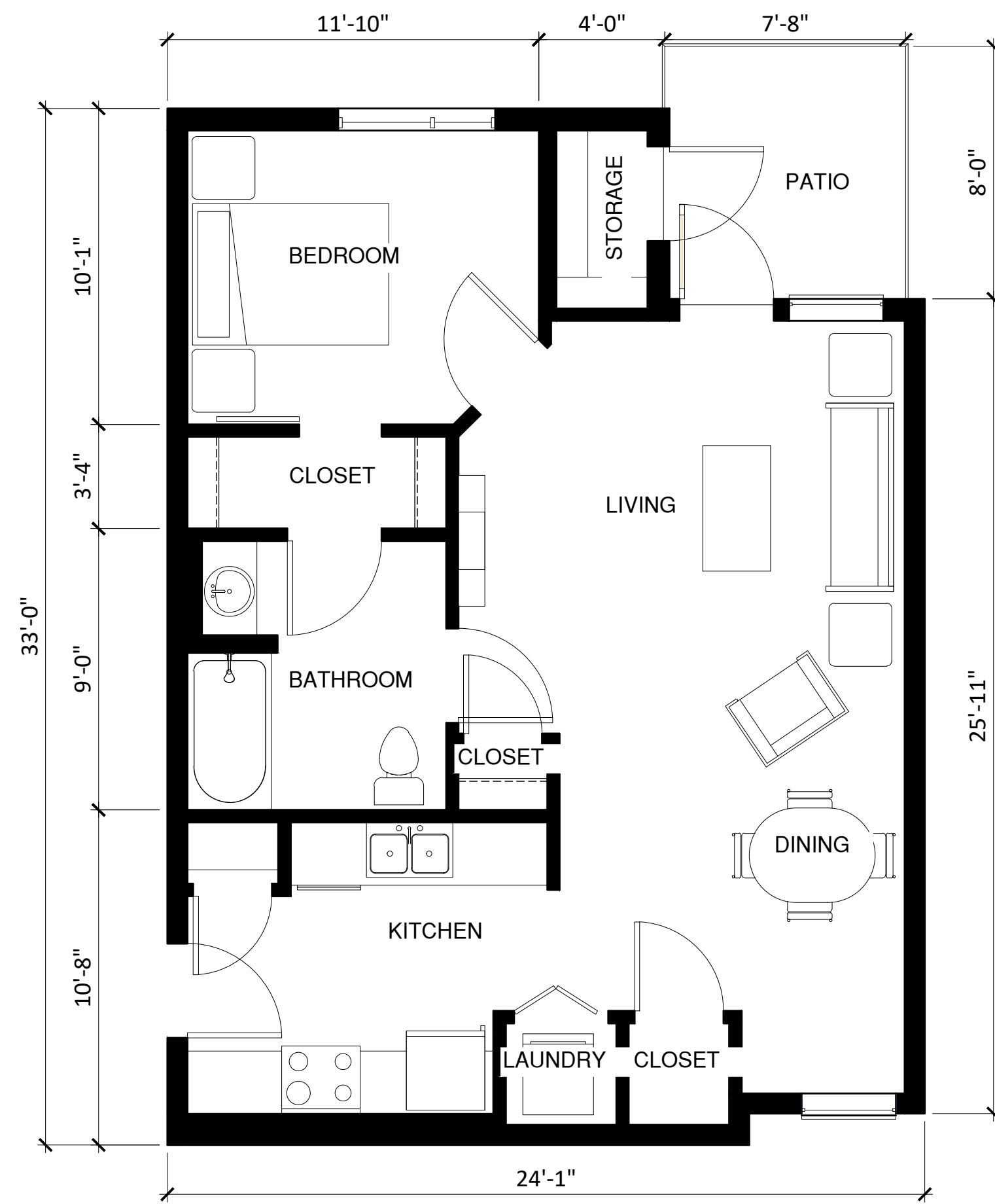
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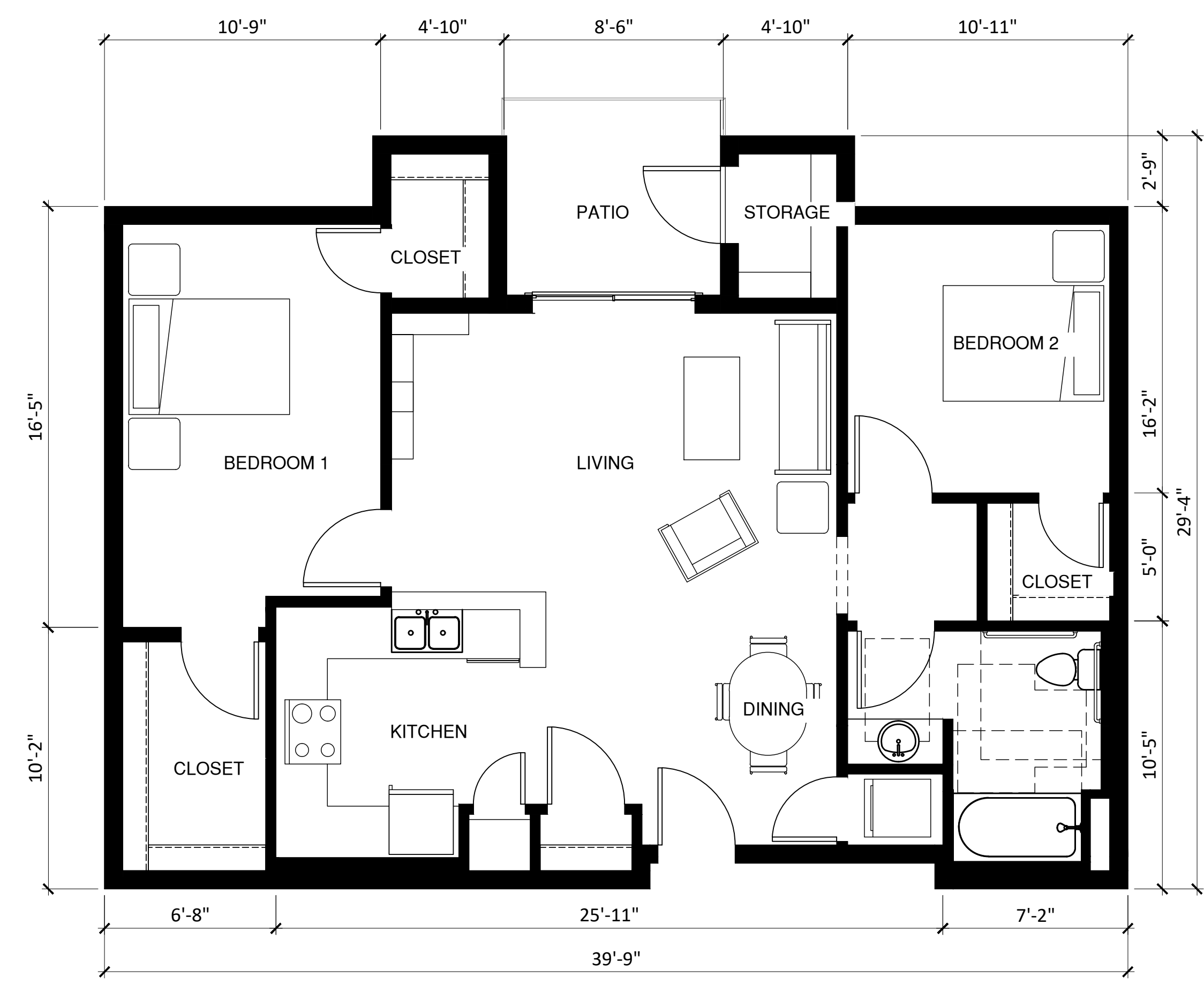
SHEET 9 OF



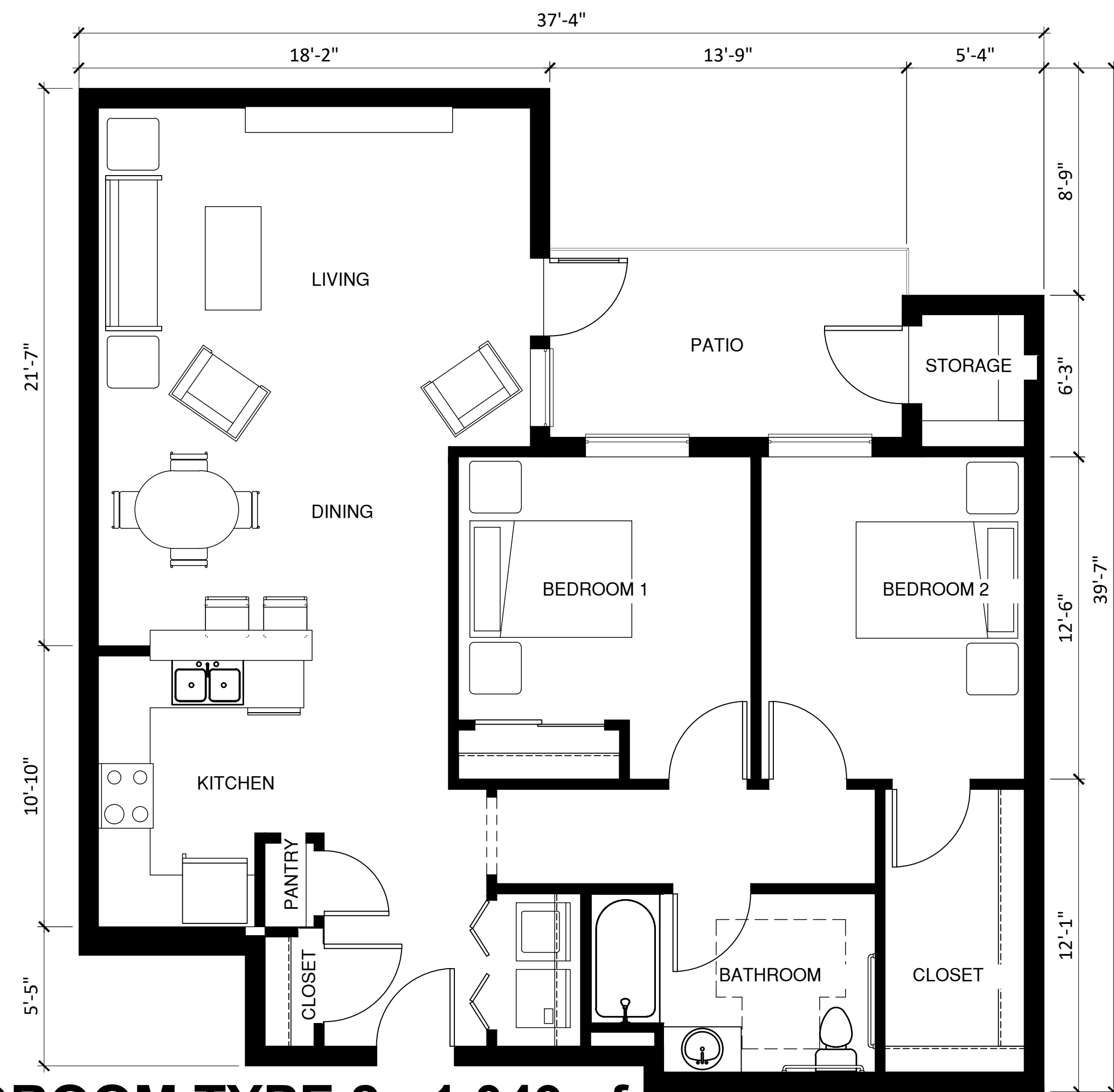
**1 ONE BEDROOM TYPE 1 - 672 sf**  
1/4" = 1'-0"



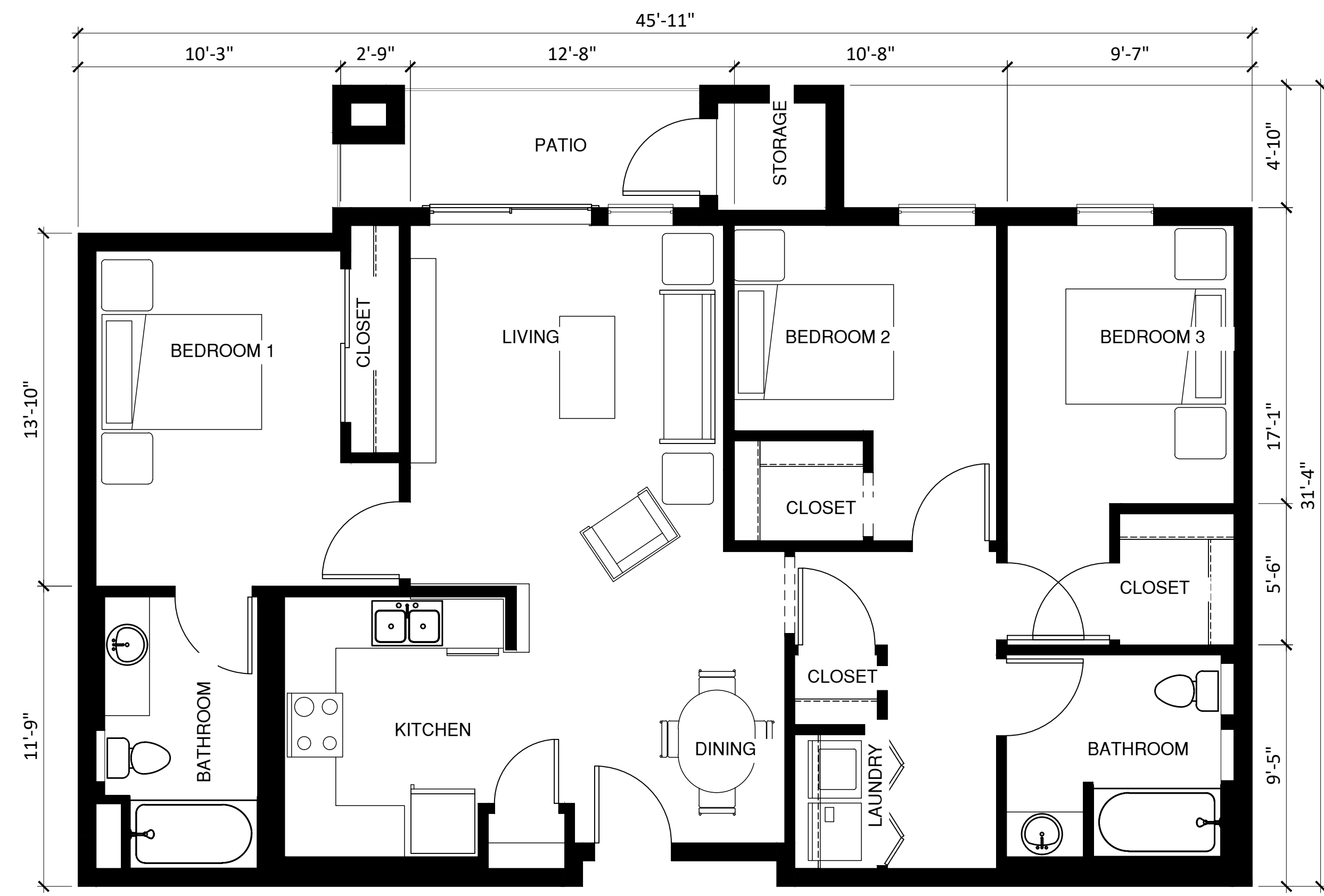
**2 ONE BEDROOM TYPE 2 - 668 sf**  
1/4" = 1'-0"



**3 TWO BEDROOM TYPE 1 - 940 sf**  
1/4" = 1'-0"



**4 TWO BEDROOM TYPE 2 - 1,049 sf**  
1/4" = 1'-0"



**5 THREE BEDROOM TYPE 1 - 1,123 sf**  
1/4" = 1'-0"

**REFUSE CAPACITY:**

CALCULATION: 1/4 CUBIC YARD PER 3 RESIDENTS

132 TOTAL BEDROOMS (BOTH BUILDINGS) X 2 = 264 OCCUPANTS

264/3 X (1/4) = 22 CUBIC YARDS / 2 = 11 CUBIC YARDS PER BUILDING

**40-40-20 DIVISION GUIDE:**

11 CUBIC YARDS X 40% = 4.4 CUBIC YARDS REFUSE  
= 4 CUBIC YARD DUMPSTER + 96 GAL (0.48 CUBIC YARDS)

11 CUBIC YARDS X 40% = 4.4 CUBIC YARDS RECYCLING  
= 4 CUBIC YARD DUMPSTER + 96 GAL (0.48 CUBIC YARDS)

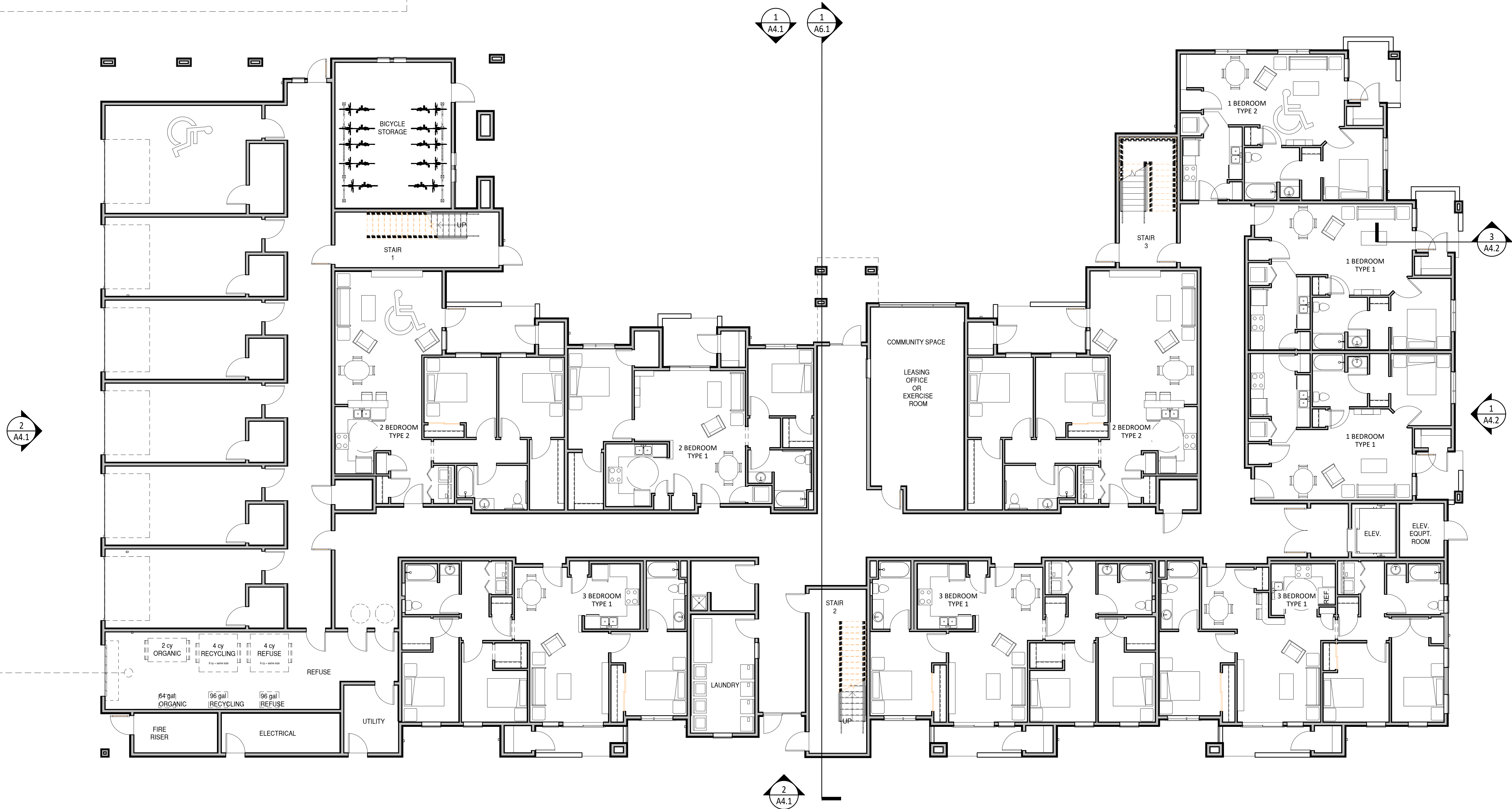
11 CUBIC YARDS X 20% = 2.2 CUBIC YARDS REFUSE  
= 2 CUBIC YARD DUMPSTER + 64 GAL (0.32 CUBIC YARDS)

**TYPICAL LEVEL 1 UNIT BREAKDOWN:**

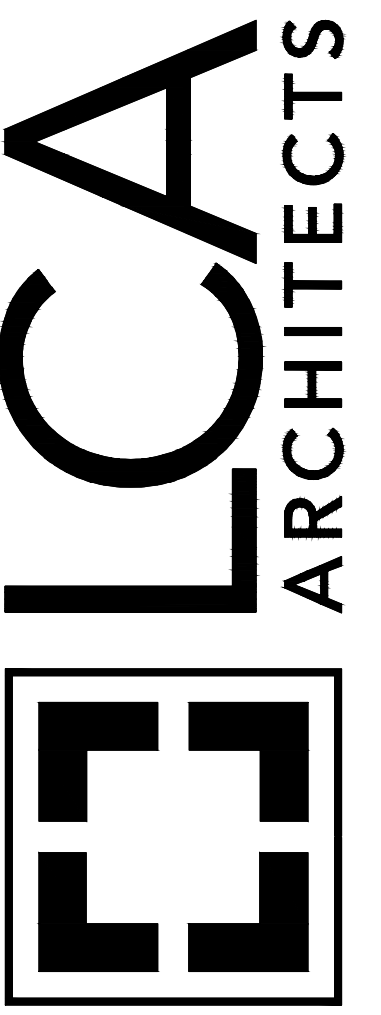
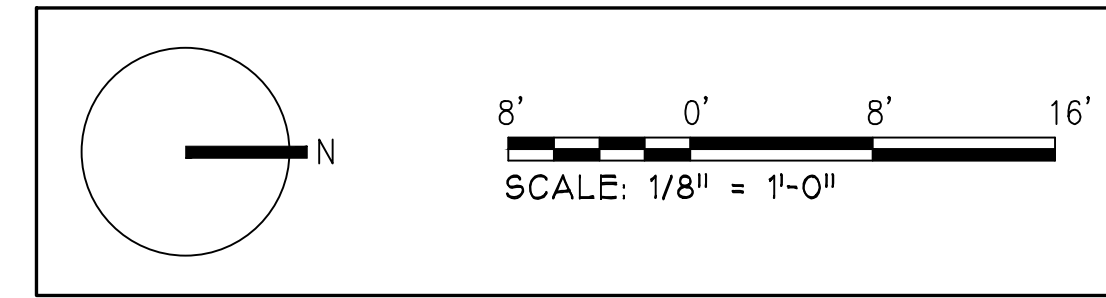
- 1 BED TYPE 1= 2 UNITS
  - 1 BED TYPE 2= 1 UNIT
  - 2 BED TYPE 1= 1 UNIT
  - 2 BED TYPE 2= 2 UNITS
  - 3 BED TYPE 1= 3 UNITS
- 9 UNITS x 2 BUILDINGS = 18 UNITS

**AREA CALCULATIONS:**

- COMMON OPEN SPACE: 3,760 SF (COURTYARD)
- COMMUNITY SPACE: 440 SF

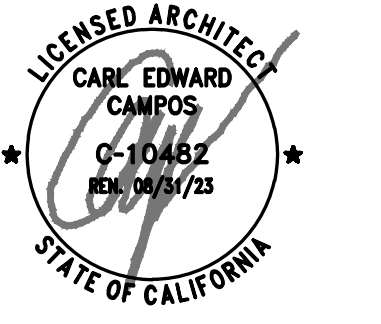


**1 TYPICAL LEVEL 1 FLOOR PLAN**  
1/8" = 1'-0"



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**TYPICAL LEVEL 1  
FLOOR PLAN**

SCALE: AS NOTED  
DATE: 9/19/2022

**REVISIONS:**

NO.	DESCRIPTION

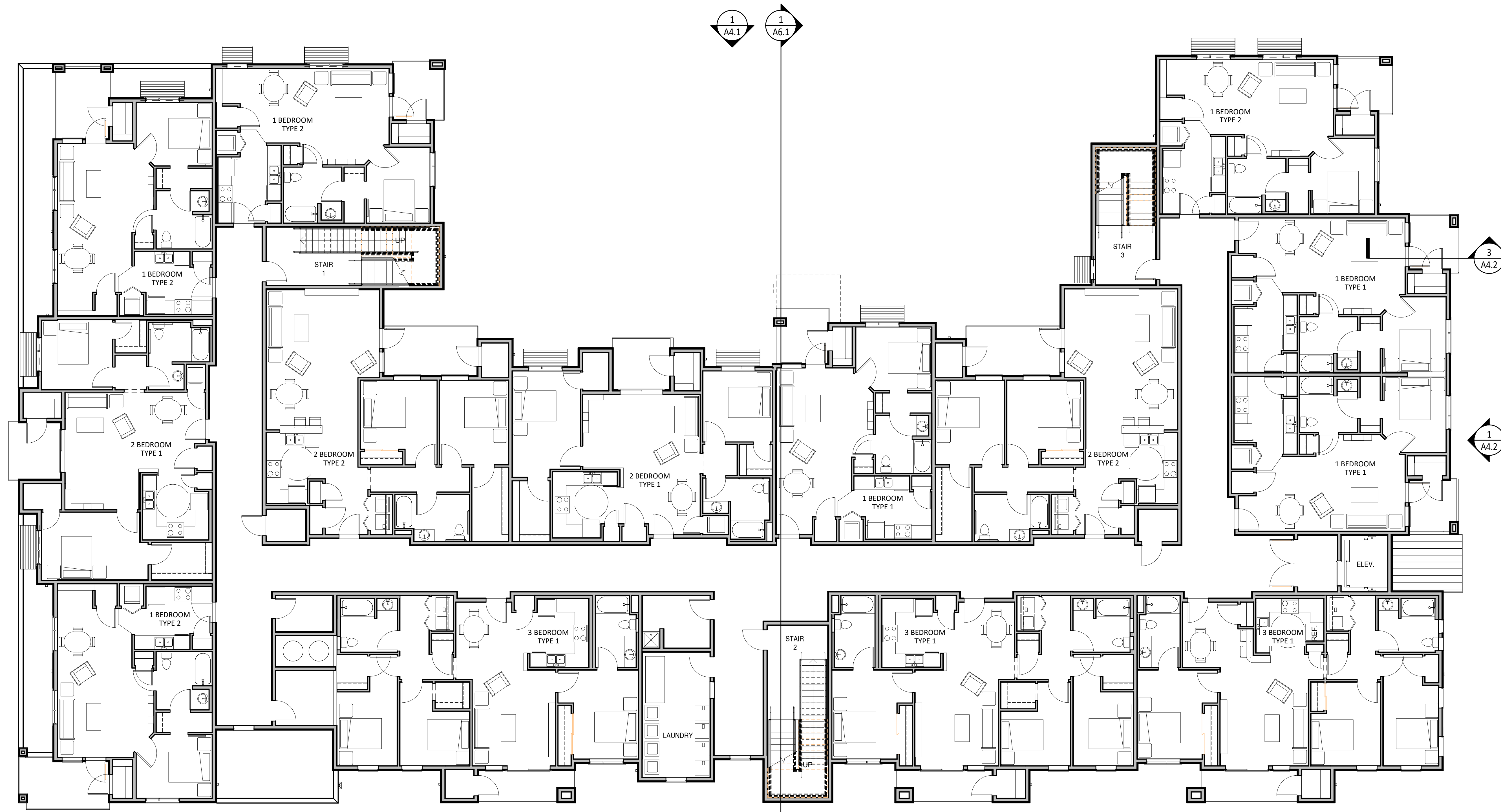
PROJECT NO.

**A3.1**

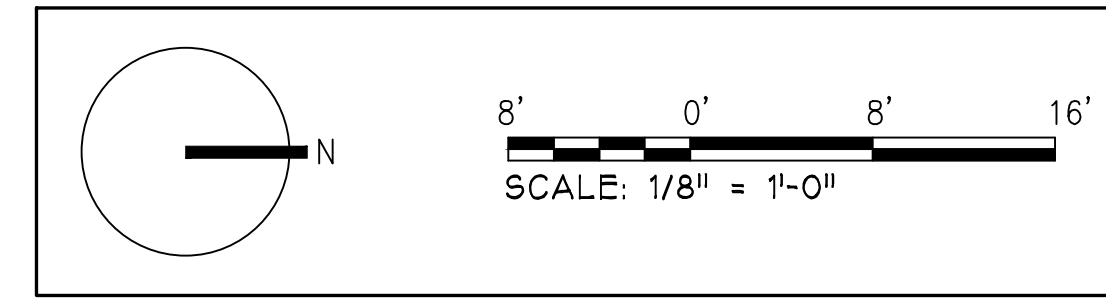
SHEET OF

TYPICAL LEVEL 1 UNIT BREAKDOWN:  
 • 1 BED TYPE 1= 3 UNITS  
 • 1 BED TYPE 2= 4 UNIT  
 • 2 BED TYPE 1= 2 UNIT  
 • 2 BED TYPE 2= 2 UNITS  
 • 3 BED TYPE 1= 3 UNITS  
 14 UNITS x 2 BUILDINGS = 28 UNITS

AREA CALCULATIONS:  
 • COMMON OPEN SPACE: 0 SF  
 • COMMUNITY SPACE: 185 SF



**1** TYPICAL LEVEL 2 FLOOR PLAN  
 1/8" = 1'-0"



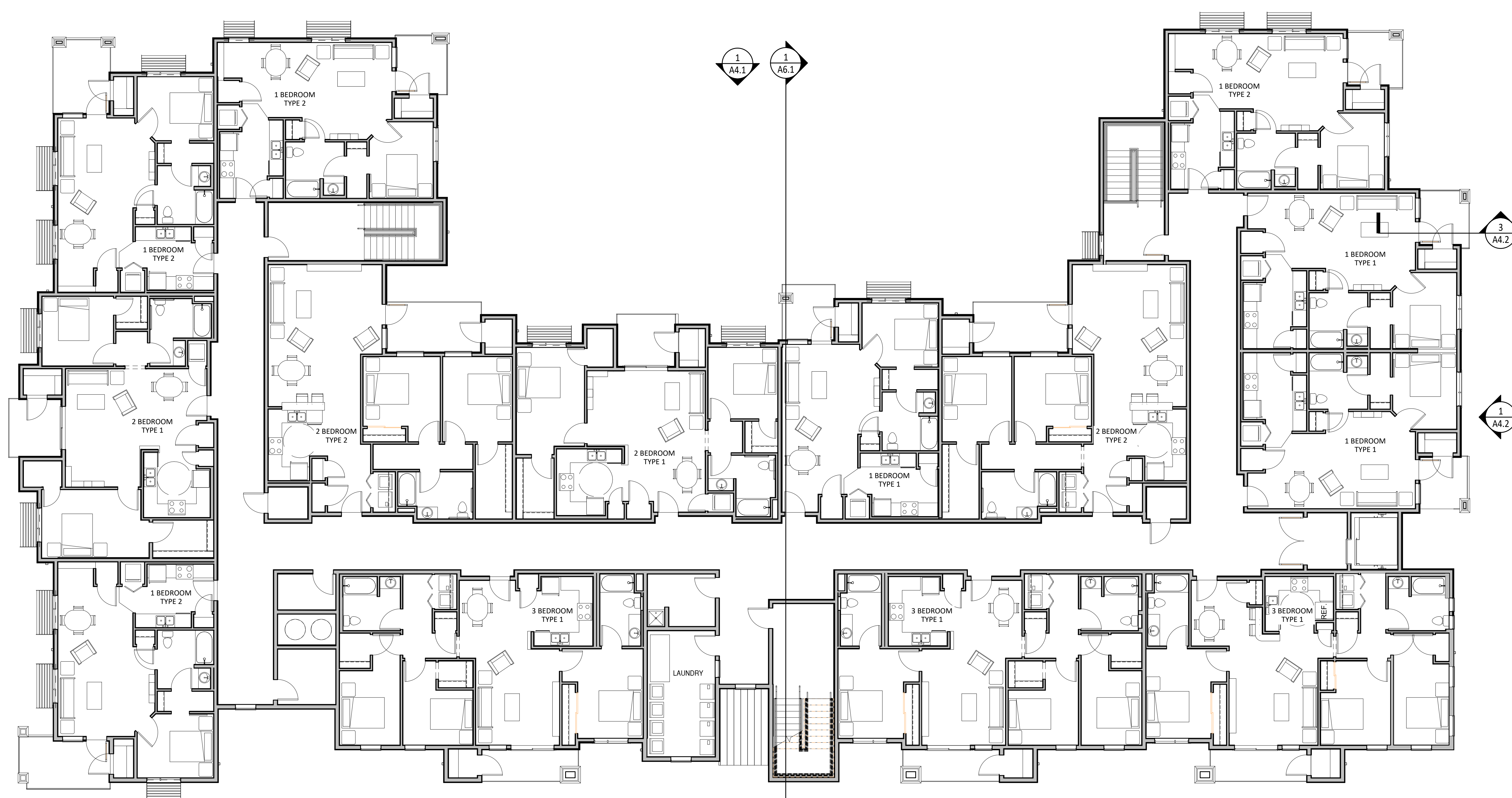
**TYPICAL LEVEL 1 UNIT BREAKDOWN:**

- 1 BED TYPE 1= 3 UNITS
- 1 BED TYPE 2= 4 UNIT
- 2 BED TYPE 1= 2 UNIT
- 2 BED TYPE 2= 2 UNITS
- 3 BED TYPE 1= 3 UNITS

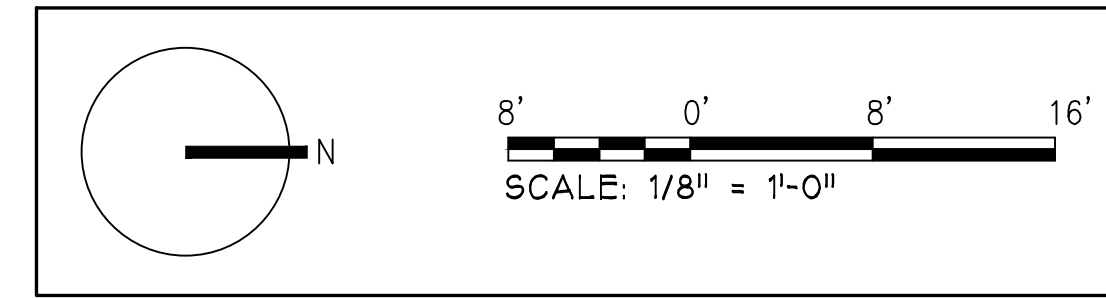
14 UNITS x 2 BUILDINGS = 28 UNITS

**AREA CALCULATIONS:**

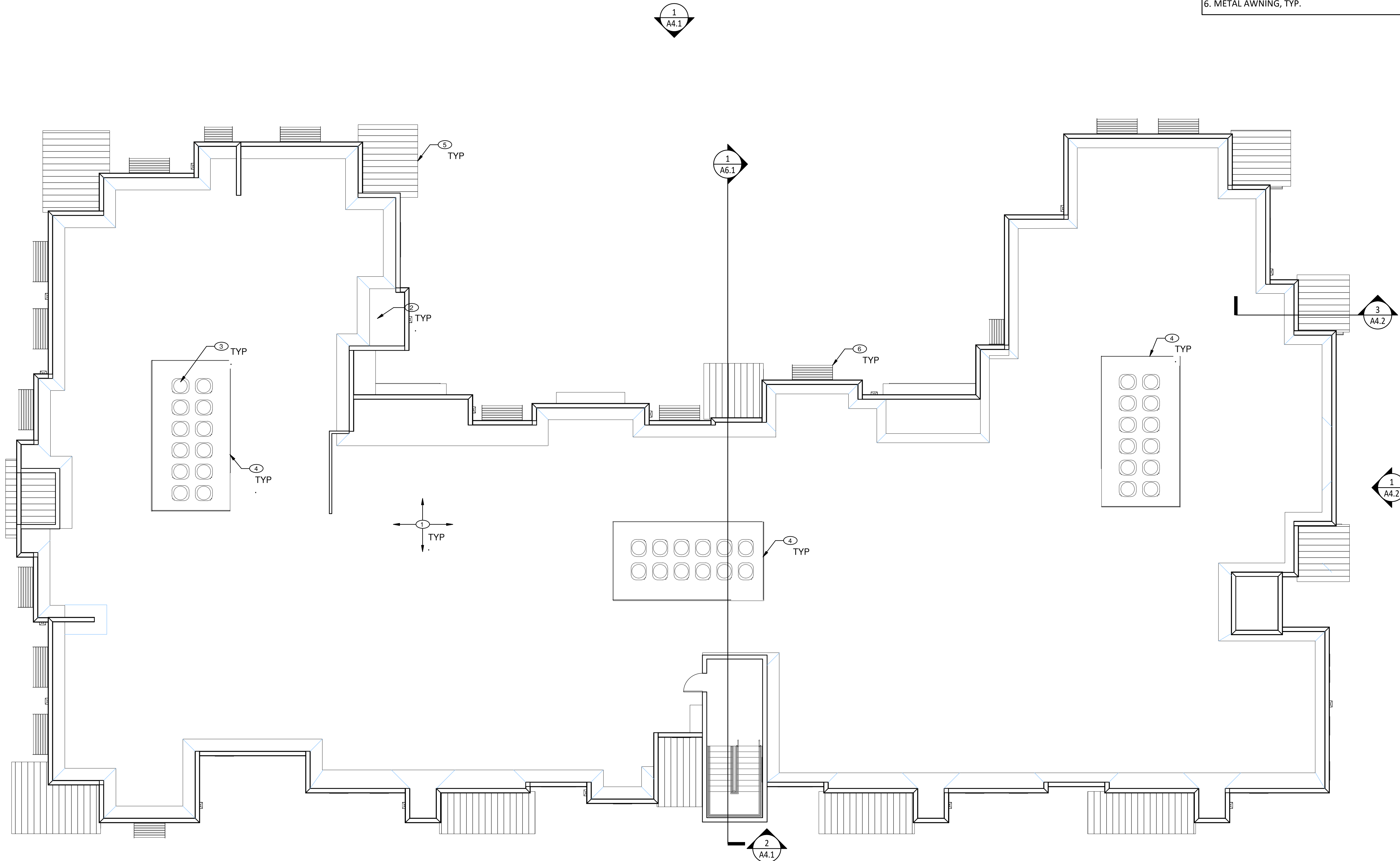
- COMMON OPEN SPACE: 0 SF
- COMMUNITY SPACE: 185 SF



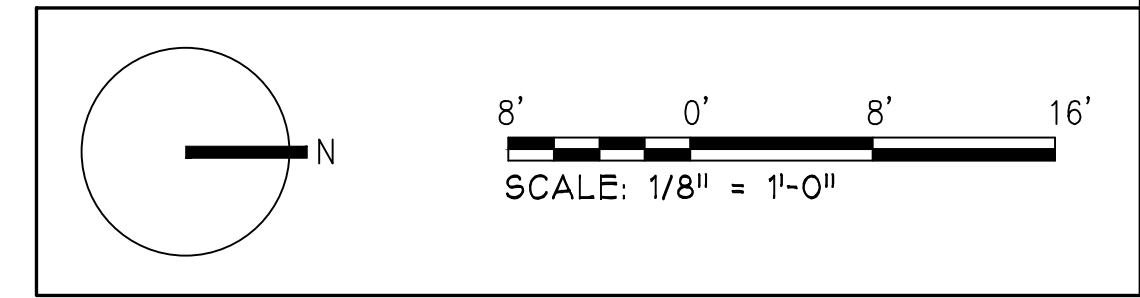
**1 TYPICAL LEVEL 3 FLOOR PLAN**  
 1/8" = 1'-0"



- KEY NOTES
1. T.P.O. ROOFING MEMBRANE
  2. PREFINISHED RAIN GUTTER
  3. CONDENSOR UNIT ON PAD, TYP.
  4. LOUVERED METAL MECH. SCREENING
  5. METAL STANDING SEAM SLOPED ROOF, TYP.
  6. METAL AWNING, TYP.



**1 NORTH COURT CONCEPTUAL ROOF PLAN**  
 1/8" = 1'-0"





SHEET NOTES	KEY NOTES
1. NORTH COURT ELEVATIONS SHOWN. SOUTH COURT ELEVATIONS ARE SIMILAR (MIRRORED)	1. METAL STANDING SEAM ROOFING.
	2. CEMENT STUCCO SYSTEM. TEXTURE HEAVY SAND.
	3. WHITE VINYL WINDOWS.
	4. EXTERIOR DOOR. SEE FLOOR PLANS
	5. PRE-FINISHED METAL GUTTER.
	6. 6" RAISED STUCCO TRIM
	7. 1x FINISH FASCIA, MDF OR EQUAL.
	8. POWDER COATED STEEL RAILING SYSTEM
	9. POWDER COATED METAL TRELLIS.
	10. SECTIONAL OVERHEAD GARAGE DOOR.
	11. EXTERIOR MEP EQUIPMENT
	12. 6" HORIZONTAL SIDING
	13. HARDI BOARD PANEL

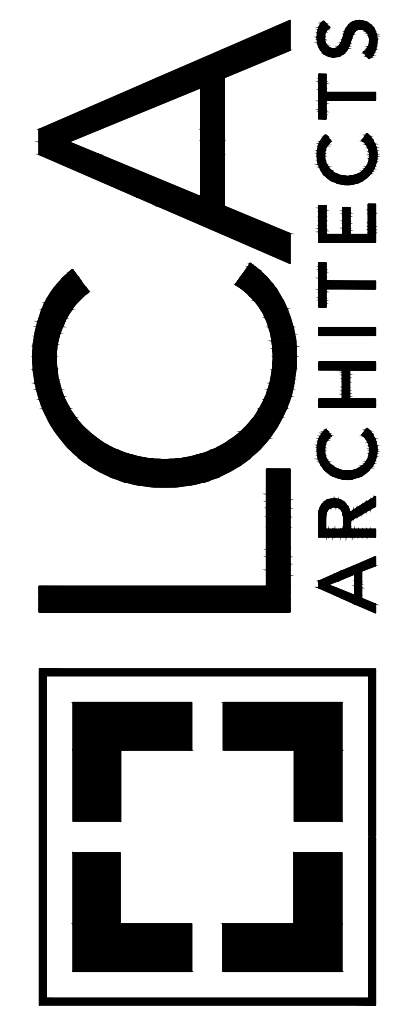


**1 CONCEPTUAL WEST ELEVATION - NORTH COURT**  
 1/8" = 1'-0"

SEE ISOMETRIC 4/A4.2

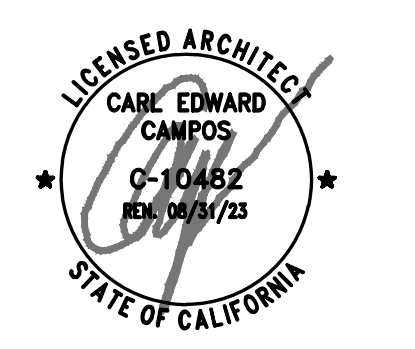


**2 CONCEPTUAL EAST ELEVATION - NORTH COURT**  
 1/8" = 1'-0"



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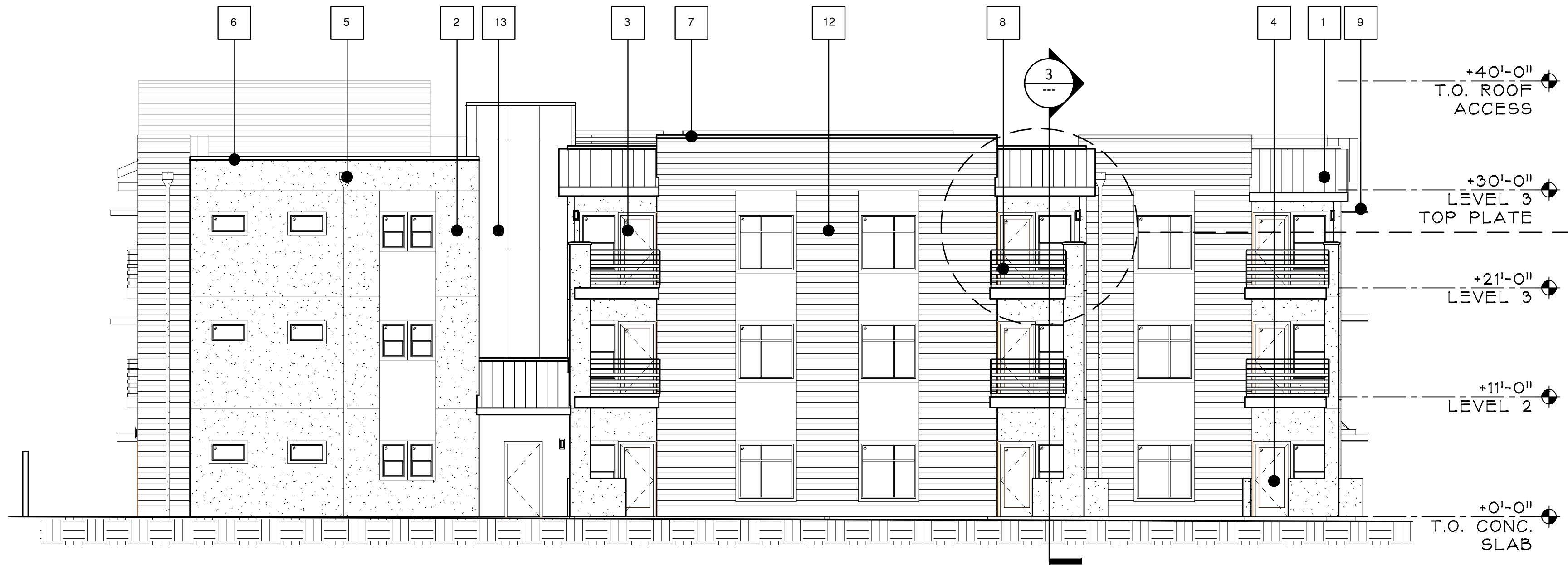
**NORTH COURT ELEVATIONS**

SCALE: 1/8" = 1'-0"  
 DATE: 9/19/2022

REVISIONS:


PROJECT NO.  
**A4.1**  
 SHEET OF

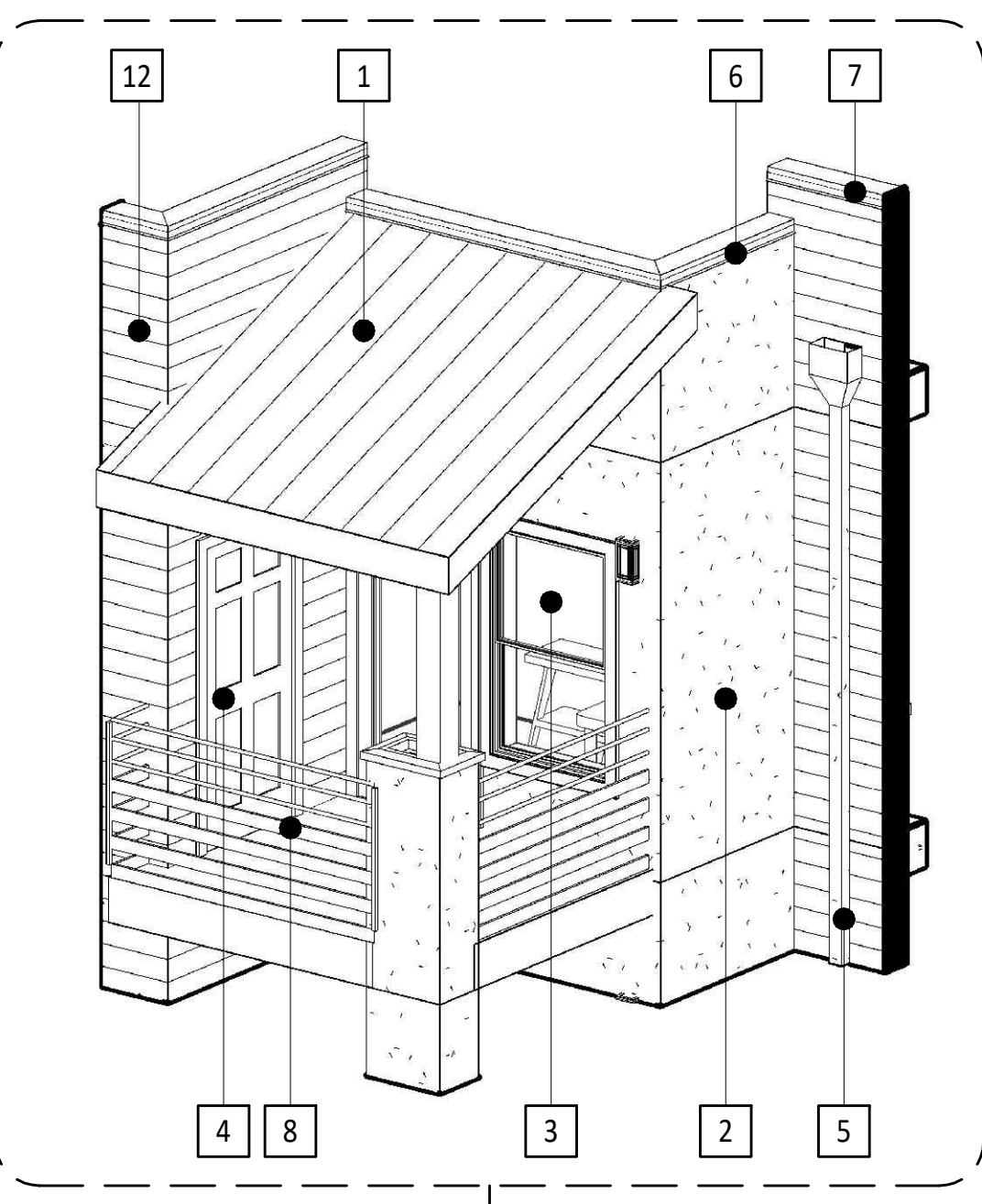
SHEET NOTES	KEY NOTES
1. NORTH COURT ELEVATIONS SHOWN. SOUTH COURT ELEVATIONS ARE SIMILAR (MIRRORED)	1. METAL STANDING SEAM ROOFING.
	2. CEMENT STUCCO SYSTEM. TEXTURE HEAVY SAND.
	3. WHITE VINYL WINDOWS.
	4. EXTERIOR DOOR. SEE FLOOR PLANS
	5. PRE-FINISHED METAL GUTTER.
	6. 6" RAISED STUCCO TRIM
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	12. 6" HORIZONTAL SIDING
	13. HARDI BOARD PANEL



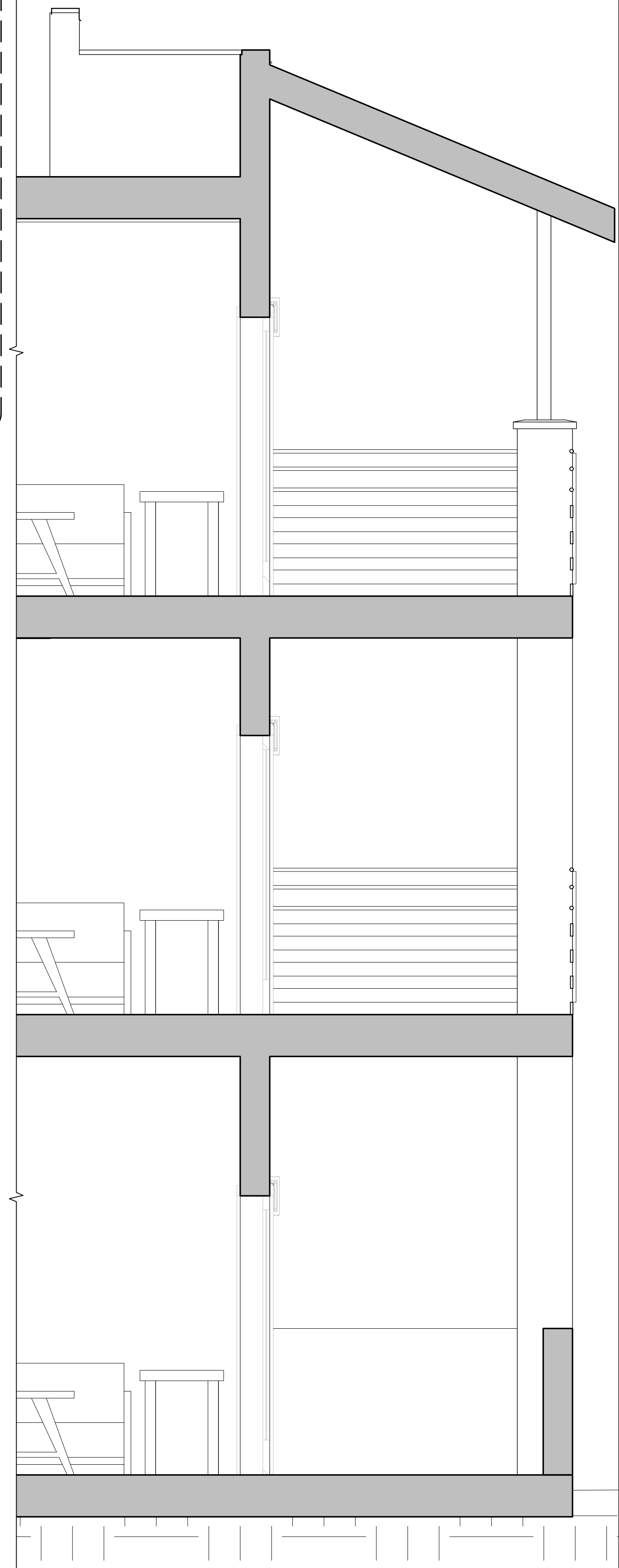
**1** CONCEPTUAL NORTH ELEVATION - NORTH COURT  
1/8" = 1'-0"



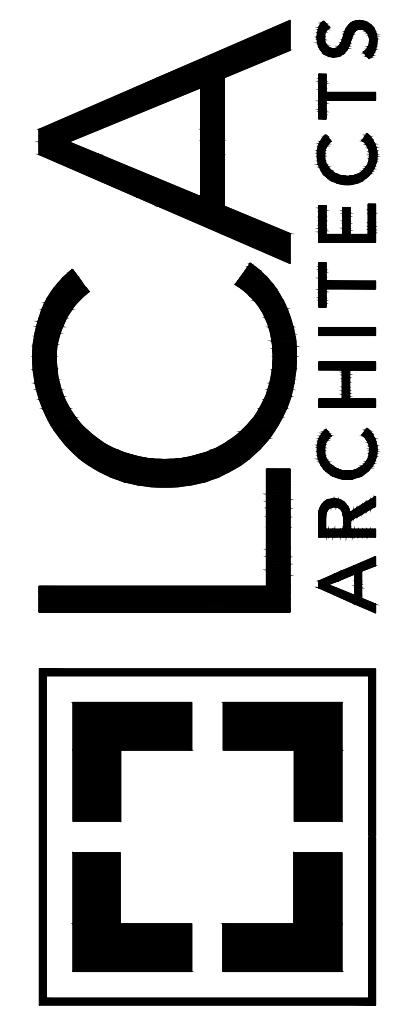
**2** CONCEPTUAL SOUTH ELEVATION - NORTH COURT  
1/8" = 1'-0"



**4** BALCONY ISO.  
NOT TO SCALE

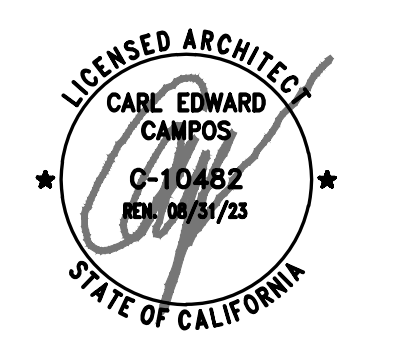


**3** WALL SECTION  
1/2" = 1'-0"



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BUILDING TYPE A ELEVATIONS

SCALE: AS SHOWN  
DATE: 9/19/2022

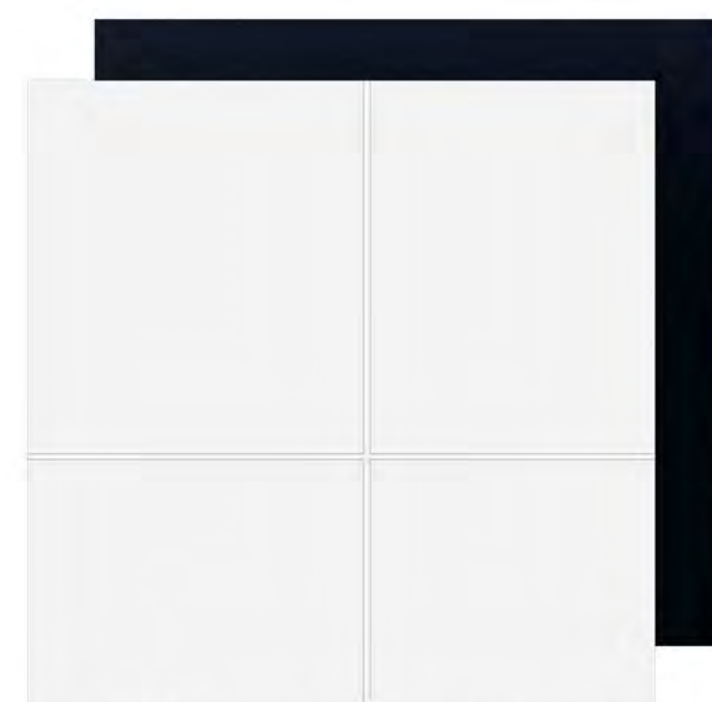
REVISIONS:

PROJECT NO.

**A4.2**  
SHEET OF



1 BUILDING A - WEST COLOR BOARD  
N.T.S.



A HARDI BOARD PANEL

COLOR TO MATCH VALSPAR "POLAR WHITE" 7003-16 OR EQUAL



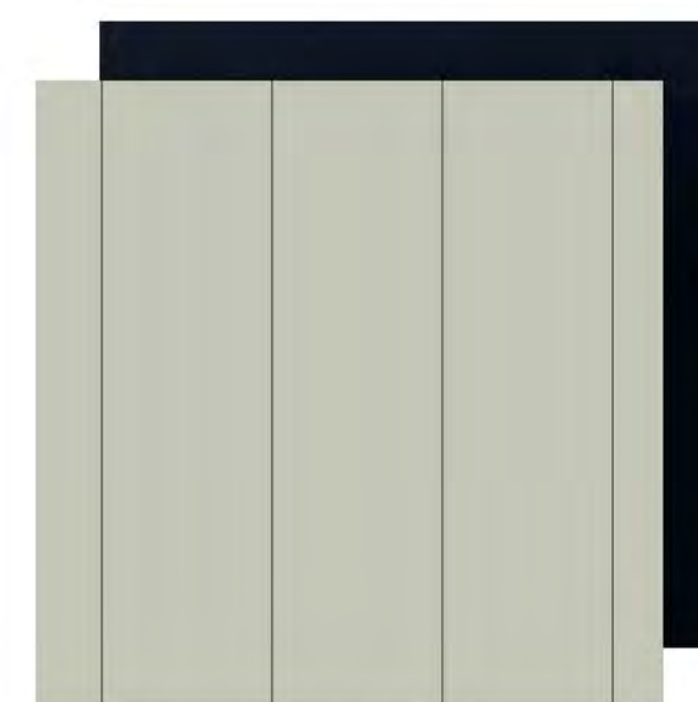
B STUCCO SIDING

COLOR TO MATCH VALSPAR "CHURCHILL HOTEL HAZY YELLOW" 3004-88 OR EQUAL



C HORIZ. LAP SIDING

COLOR TO MATCH JAMES HARDIE "RICH ESPRESSO" OR EQUAL



D METAL ROOFING

COLOR TO MATCH PAC-CLAD "CITYSCAPE" OR EQUAL



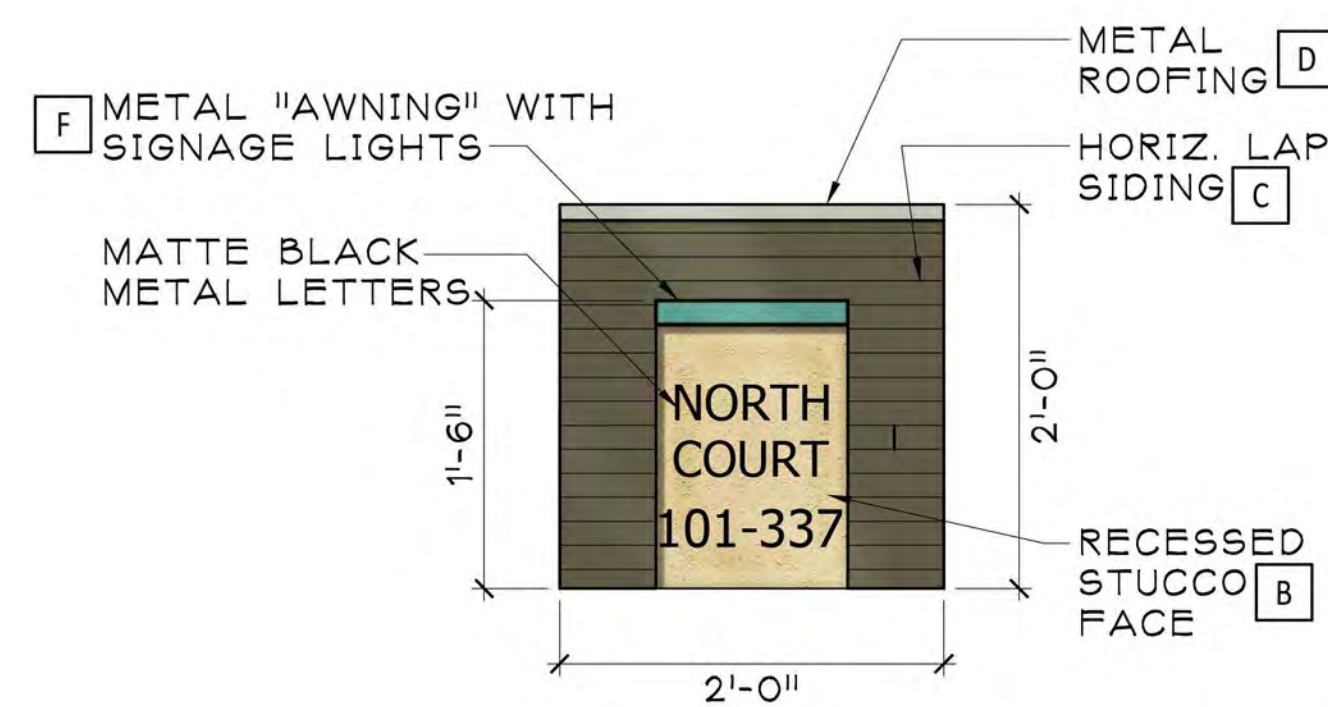
E GARAGE DOOR

COLOR TO MATCH VALSPAR "OREGON COAST" 6007-10 OR EQUAL



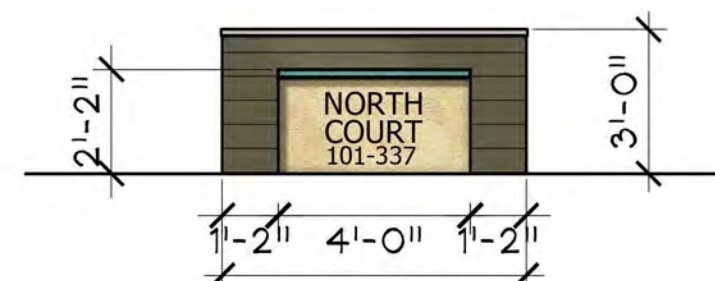
F FLASHING, TRIM BOARDS AND SHADE STRUCTURE

COLOR TO MATCH PAC-CLAD "PATINA GREEN" OR EQUAL



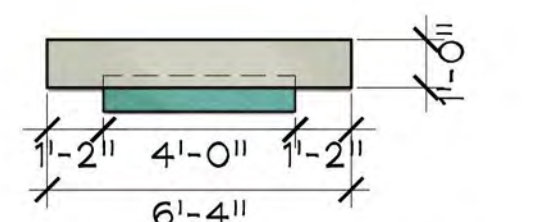
BUILDING WALL SIGN

1"=1'-0"



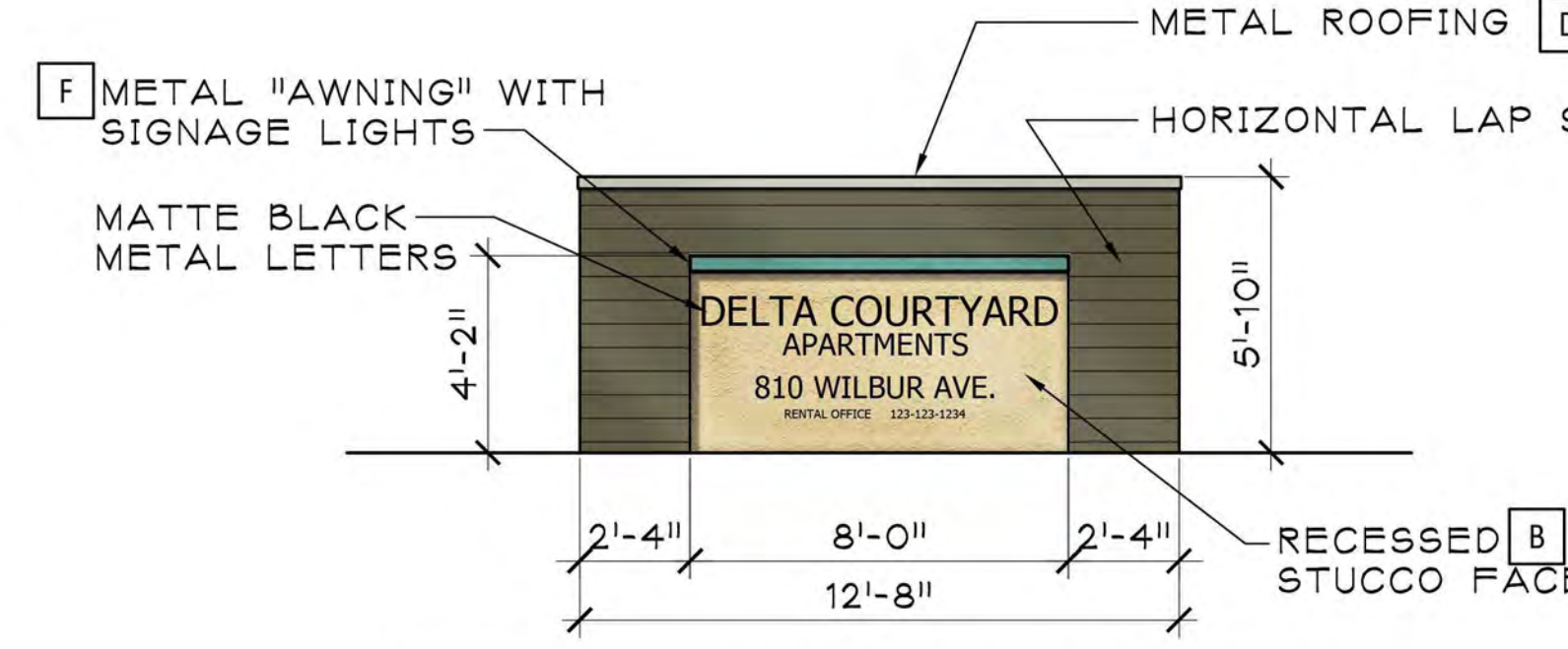
BUILDING MONUMENT SIGN ELEVATION

1/4"=1'-0"



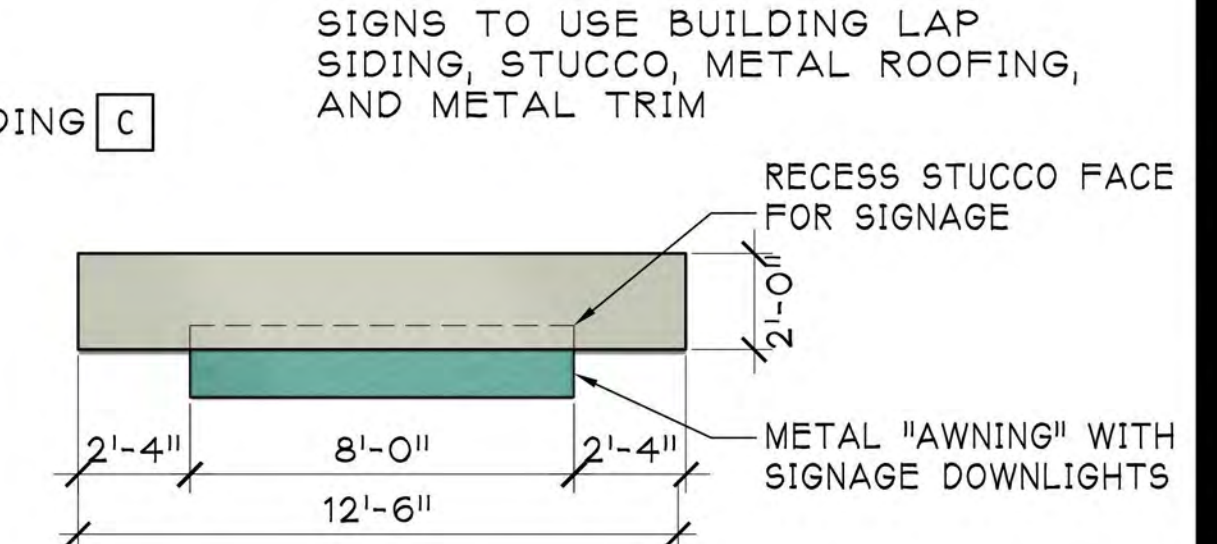
BUILDING MONUMENT SIGN PLAN

1/4"=1'-0"



MONUMENT SIGN ELEVATION

1/4"=1'-0"

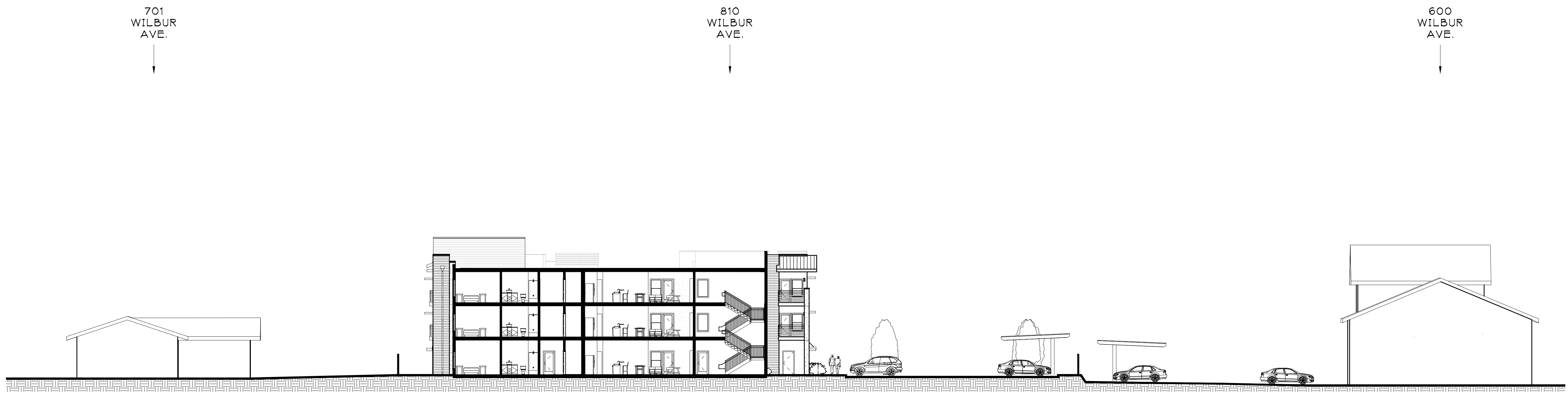


MONUMENT SIGN PLAN

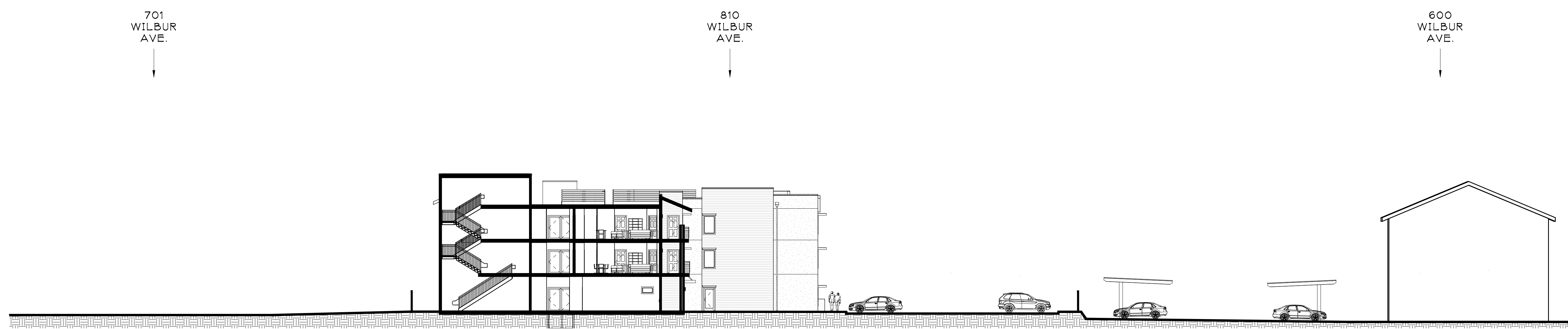
1/4"=1'-0"



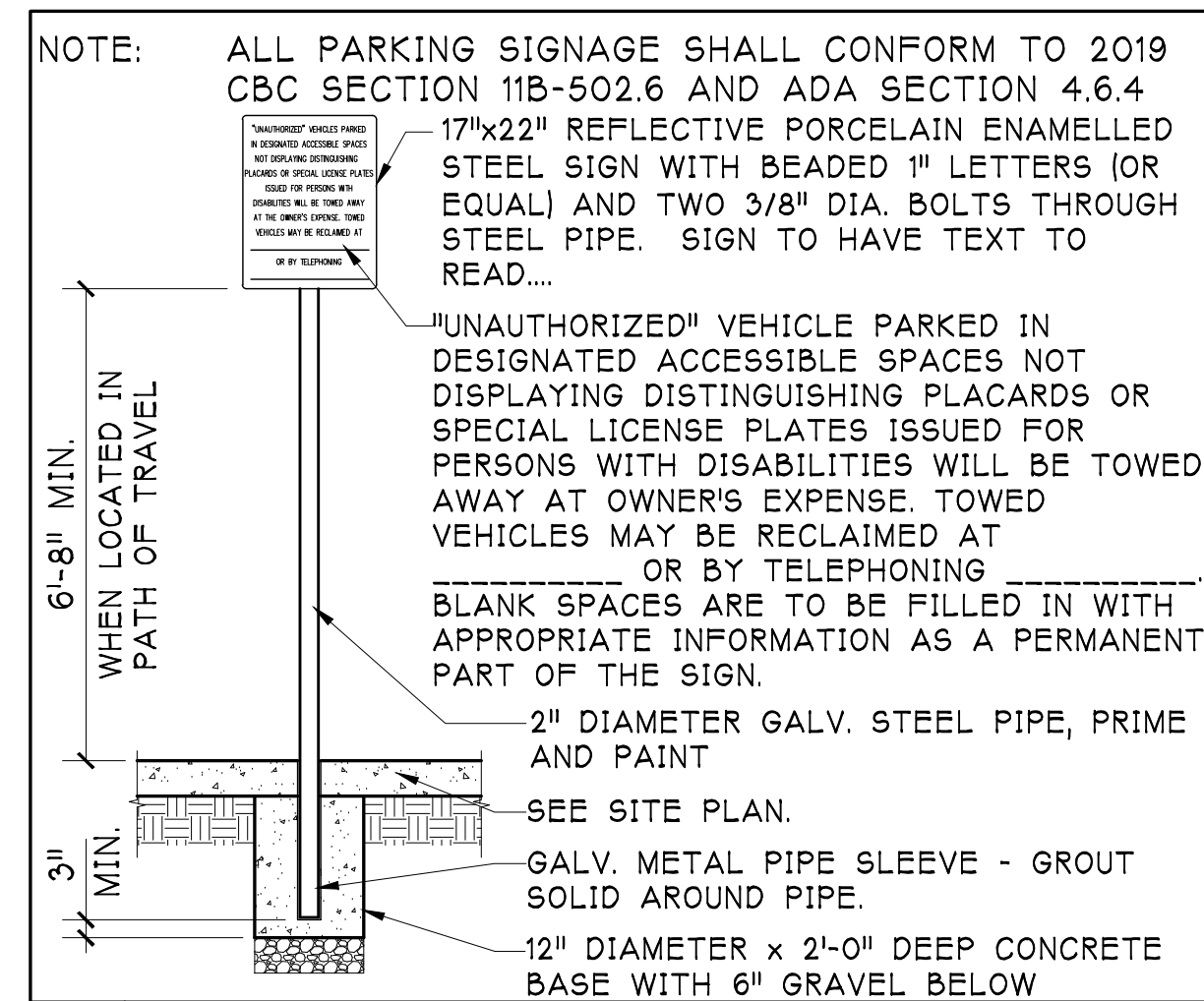
**1** TYPICAL BUILDING SECTION  
 3/16" = 1'-0"



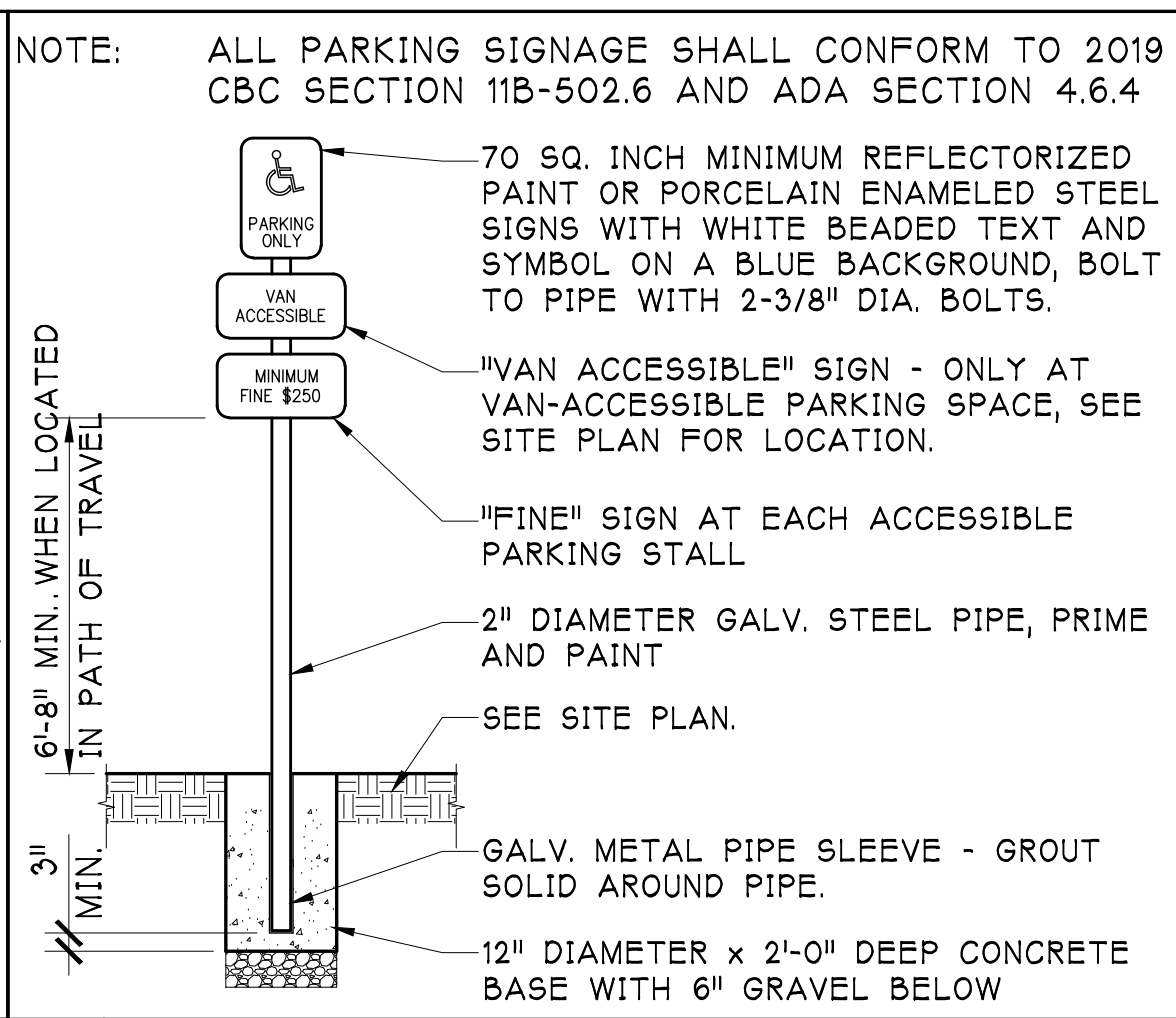
**1 SITE SECTION 1**  
 1/16" = 1'-0"



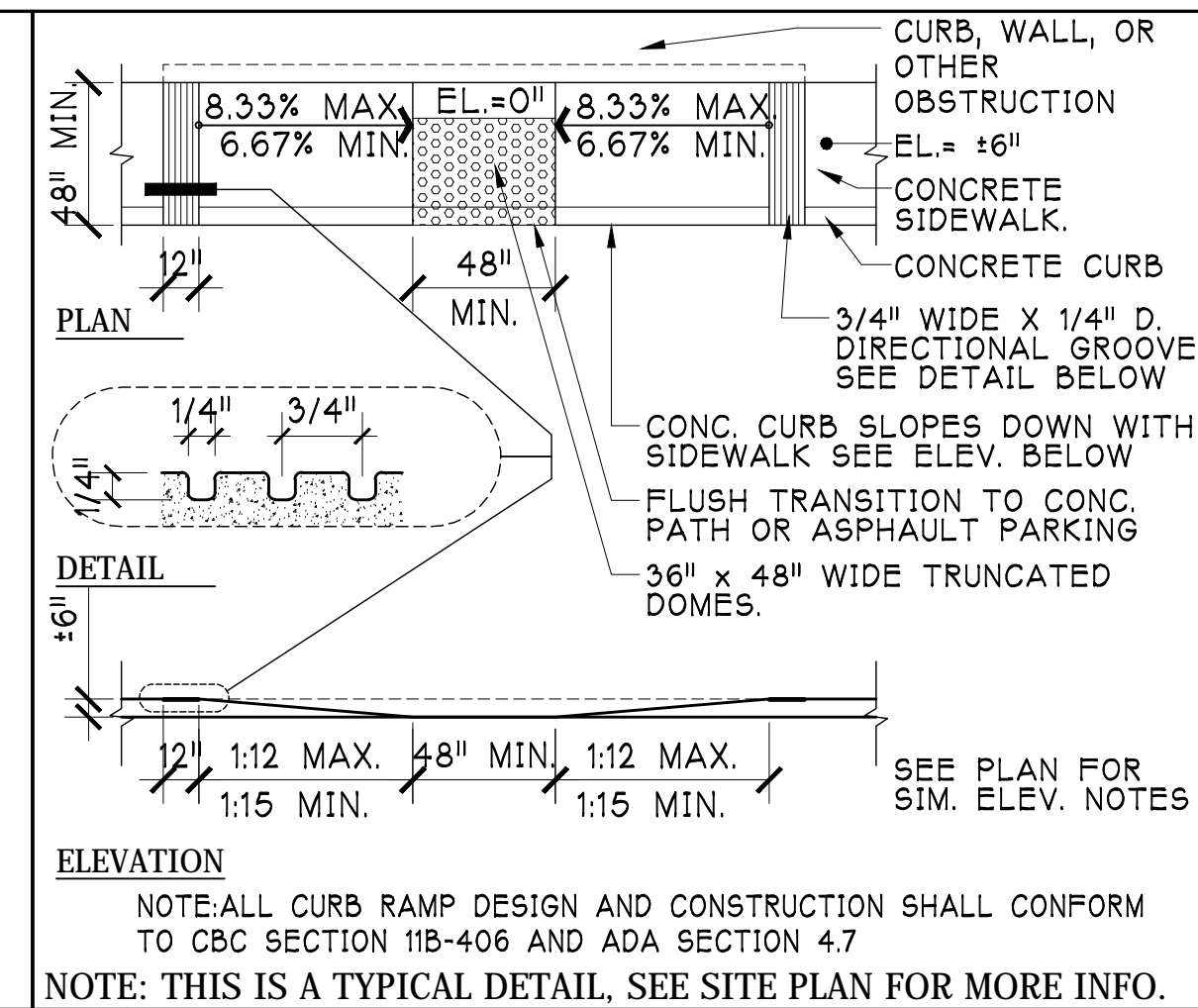
**2 SITE SECTION 2**  
 1/16" = 1'-0"



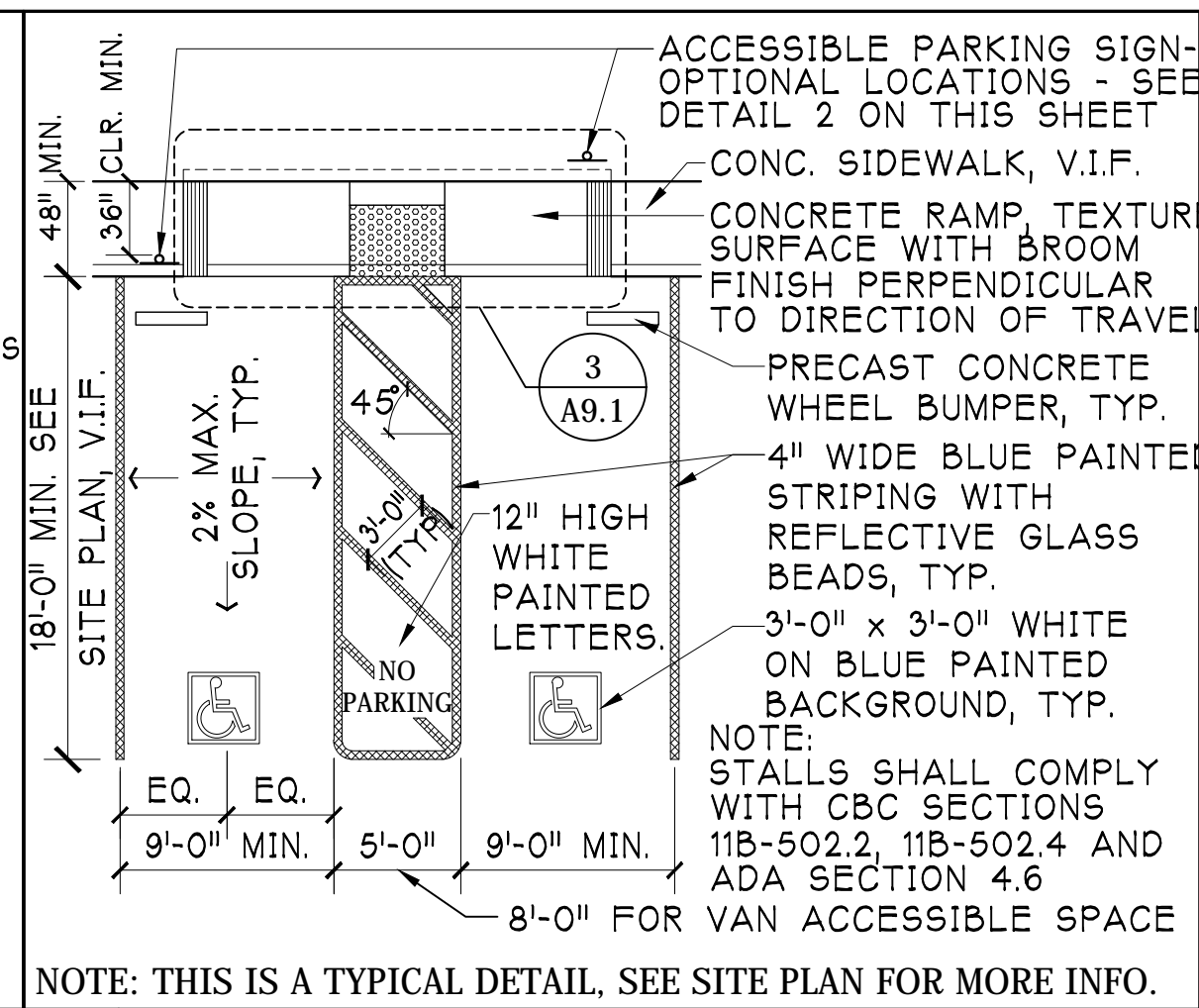
**1** PARKING SIGN AT VEHICLE ENTRY TO PROPERTY  
SCALE: 3/8"=1'-0"



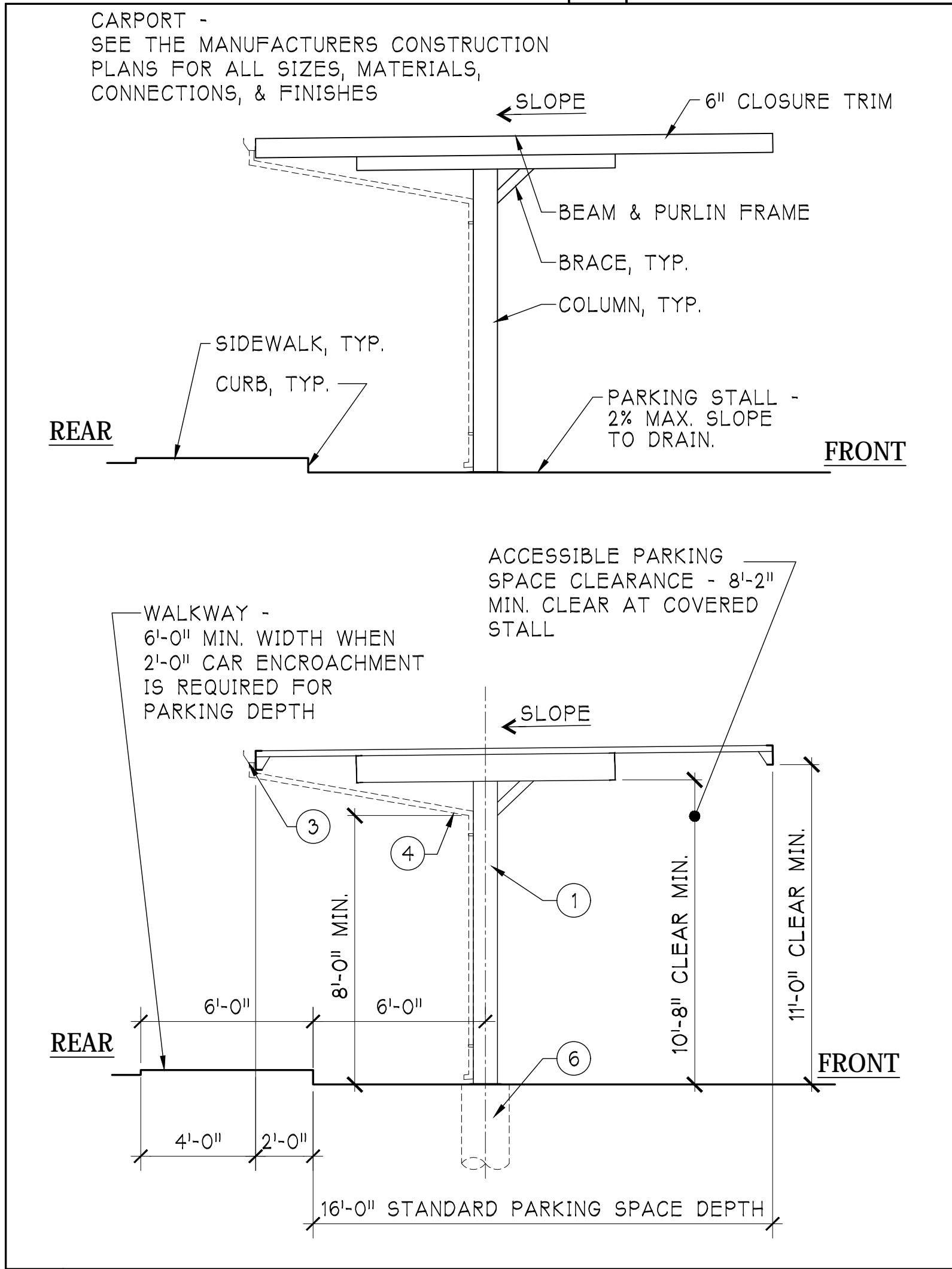
**2** ACCESSIBLE PARKING SPACE SIGN DETAIL  
SCALE: 3/8"=1'-0"



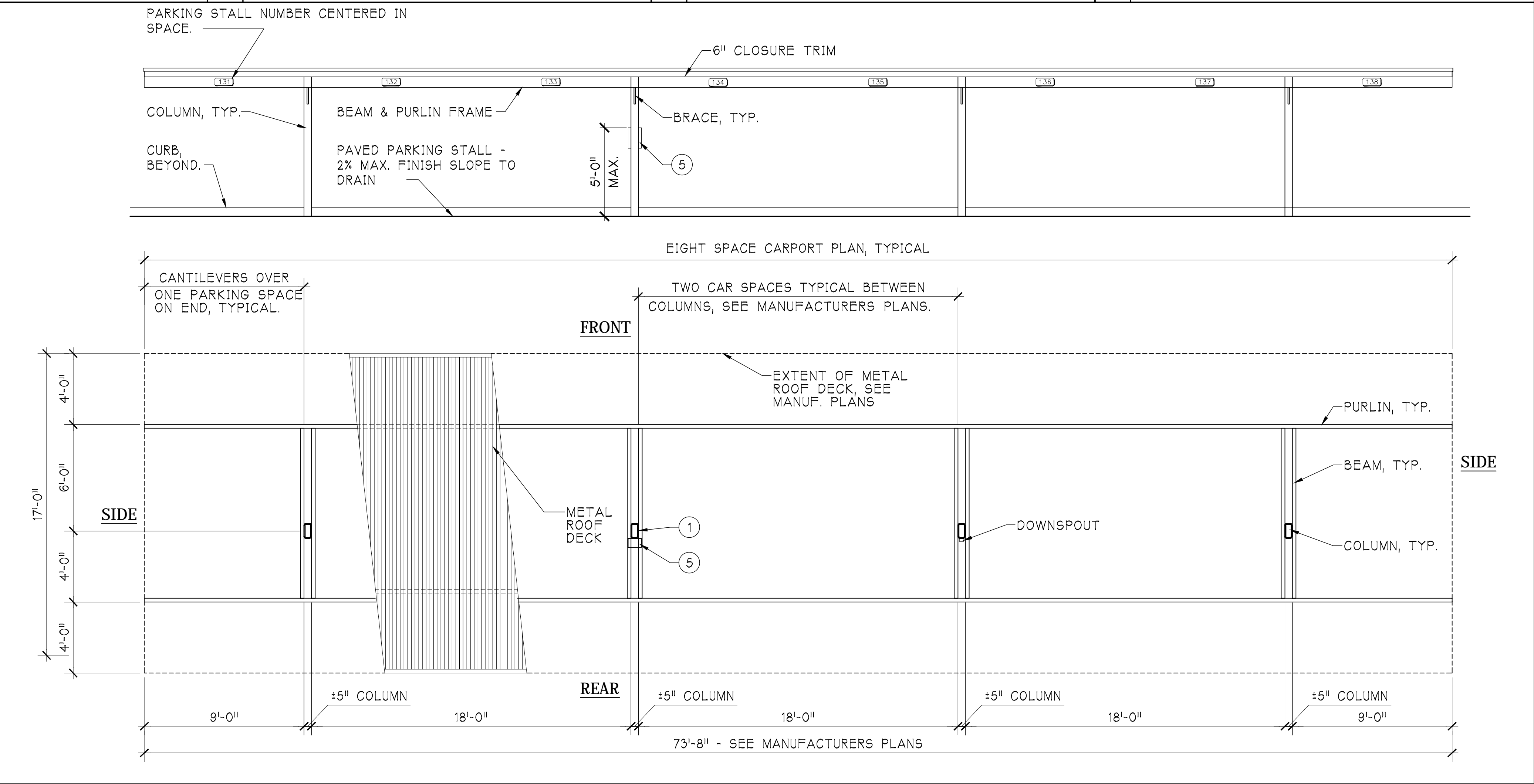
**3** TYPICAL CURB-CUT RAMP DETAIL  
SCALE: 3/16"=1'-0"



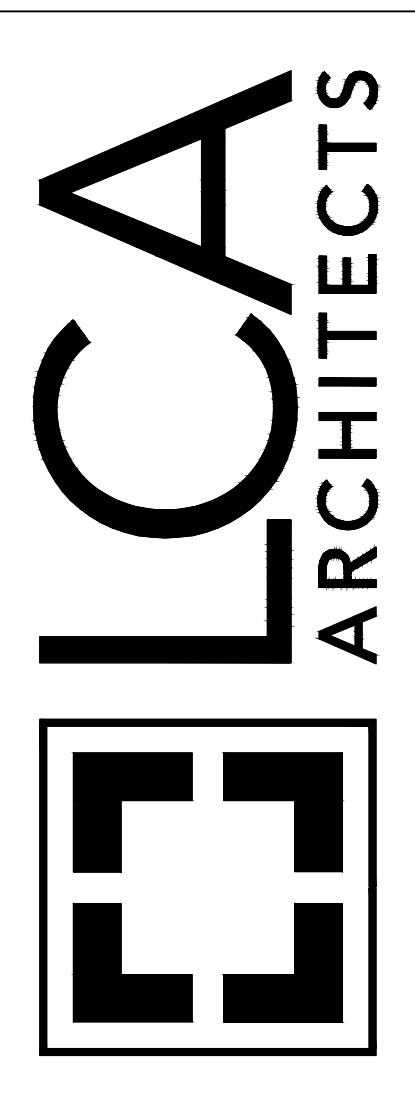
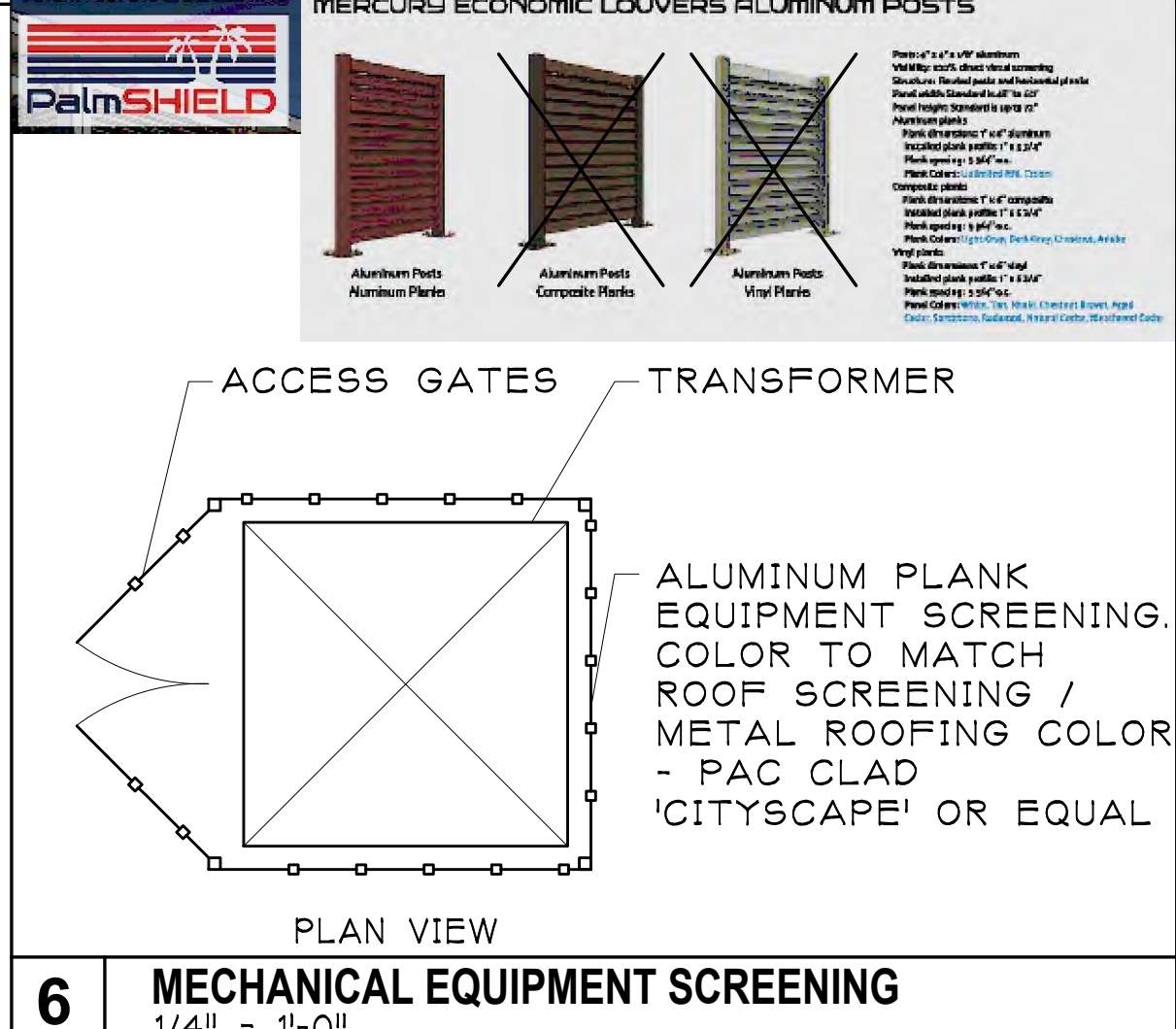
**4** TYPICAL ACCESSIBLE PARKING SPACE DETAIL  
SCALE: 1/8"=1'-0"



**5** CARPORT DETAILS  
SCALE: 1/4"=1'-0"



**6** MECHANICAL EQUIPMENT SCREENING  
SCALE: 1/4"=1'-0"



WWW.LCA-ARCHITECTS.COM  
CARL E. CAMPOS  
DAVID BOGSTAD  
PETER STACKPOLE  
590 YGNACIO VALLEY ROAD, SUITE 310  
WALNUT CREEK, CALIFORNIA 94596  
(925) 944-1628  
1970 BROADWAY, SUITE 800  
OAKLAND, CALIFORNIA 94612  
(510) 272-1060

**810 WILBUR**  
AVENUE APARTMENTS  
ANTIOCH, CALIFORNIA

LICENSED ARCHITECT  
CARL EDWARD CAMPOS  
C-10482  
EX. 01/16/23  
STATE OF CALIFORNIA

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DETAILS

SCALE: AS NOTED  
DATE: 9/19/2022

REVISIONS:

PROJECT NO.

**A7.1**  
SHEET OF

# PRELIMINARY DESIGN PLANS

## "DELTA COURTYARD APARTMENTS"

CITY OF ANTIOCH  
COUNTY OF CONTRA COSTA  
STATE OF CALIFORNIA

### OWNER

810 WILBUR ASSOCIATES LLC  
PO BOX 913  
DIABLO, CA 94528  
(925) 389-1675

### SOILS ENGINEER

CALGEOTECH ENGINEERING CONSULTANTS, INC.  
3329 PINE VALLEY ROAD  
SAN RAMON, CA 94583  
(925) 551-0774

### ARCHITECT

LCA ARCHITECTS  
590 YGNACIO VALLEY ROAD, SUITE 310  
WALNUT CREEK, CA 94596  
(925) 944-1626

### CIVIL ENGINEER

APEX CIVIL ENGINEERING & LAND SURVEYING  
817 ARNOLD DRIVE, SUITE 50  
MARTINEZ, CA 94553  
(925) 476-8499

### GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING STREETS, SURROUNDING LANDSCAPE AND OTHER IMPROVEMENTS WITH SMOOTH TRANSITION IN PAVING, CURBS, GUTTERS, SIDEWALKS, GRADING, ETC., AND TO AVOID ANY ABRUPT OR APPARENT CHANGES IN GRADES OR CROSS SLOPES, LOW SPOTS, OR HAZARDOUS CONDITIONS OR AS MAY OTHERWISE BE DIRECTED BY THE CITY ENGINEER.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARD DETAILS FOR CONSTRUCTION OF IMPROVEMENTS FOR THE CITY OF ANTIOCH, CALIFORNIA, AND SHALL MEET APPROVAL OF THE CITY ENGINEER OF THE CITY OF ANTIOCH.
- CONTRACTOR SHALL COMPLY WITH RULES AND REGULATIONS OF STATE, CITY AND OSHA CONSTRUCTION SAFETY ORDERS.
- ALL ELECTRICAL AND GAS UTILITIES TO BE PROVIDED BY PACIFIC GAS & ELECTRIC CO., AND INSTALLED UNDERGROUND BEFORE CONSTRUCTION OF CURB, GUTTER AND SIDEWALKS. CONTRACTOR TO SUPPLY ONE PRINT OF THE PG&E SERVICES DRAWING TO THE CITY OF ANTIOCH ENGINEERING CONSTRUCTION DIVISION.
- WHERE A CONFLICT OCCURS BETWEEN CITY OF ANTIOCH STANDARD SPECIFICATIONS, STANDARD DETAILS, AND RECOMMENDATIONS BY THE DEVELOPERS ENGINEER AND/OR SOILS ENGINEER, THE MORE STRINGENT SHALL APPLY.
- WHERE PAVEMENT IS TO BE EXTENDED, EXISTING IMPROVEMENT ENDS MUST BE SAW-CUT. ANY A.C. OR P.C.C. PAVEMENT REMOVED MUST BE SAW-CUT OR REMOVED TO AN EXPANSION JOINT.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE CITY ENGINEER OR THE OWNER.
- THE TRASH ENCLOSURE SHALL BE BUILT TO THE STANDARDS SET FORTH IN THE CITY OF ANTIOCH MUNICIPAL CODE.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY & ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER, OR THE CITY OF ANTIOCH PUBLIC WORKS.
- CONTRACTOR SHALL POST EMERGENCY PHONE NUMBERS FOR PUBLIC WORKS, AMBULANCE, POLICE AND FIRE DEPARTMENTS.
- DURING ROUGH GRADING OF THIS PROJECT, CONTRACTOR SHALL COMPENSATE FOR ANY UNDERGROUND UTILITY TRENCH SPOILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EARTHWORK GRADING QUANTITIES PRIOR TO THE START OF THE GRADING OPERATION. APEX CIVIL ENGINEERING & LAND SURVEYING ESTIMATES AN EXPORT OF APPROXIMATELY 13 YARDS IS REQUIRED TO ACHIEVE THIS DESIGN, USING THE BEST INFORMATION AVAILABLE.
- DURING GRADING OPERATIONS, CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES & INTERIM SEDIMENTATION & EROSION CONTROL MEASURES ON-SITE.
- ALL DEBRIS SHALL BE HAULED AND DISPOSED OF OFF-SITE BY CONTRACTOR.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT APEX CIVIL ENGINEERING & LAND SURVEYING AT (925) 476-8499 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
- EXISTING GROUND TOPOGRAPHY IS FROM A SURVEY DATED NOVEMBER 30, 2013 PREPARED BY APEX CIVIL ENGINEERING & LAND SURVEYING.
- NO WORK SHALL COMMENCE UNTIL A GRADING PERMIT IS OBTAINED FROM THE CITY OF ANTIOCH.
- ENCROACHMENT PERMITS REQUIRED FOR WORK WITHIN EXISTING PUBLIC RIGHT-OF WAY SHALL BE OBTAINED BY THE CONTRACTOR.
- FOR DETAILS NOT SHOWN ON THESE PLANS, REFER TO CITY OF ANTIOCH STANDARD DRAWINGS & SPECIFICATIONS CURRENT EDITION. COPIES OF SAID PLANS AND SPECIFICATIONS ARE AVAILABLE FROM THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE CITY ENGINEER OR APEX CIVIL ENGINEERING & LAND SURVEYING.
- NO WORK SHALL BEGIN ON THIS PROJECT PRIOR TO A PRECONSTRUCTION CONFERENCE WITH CITY STAFF. CALL THE PUBLIC WORKS DEPARTMENT TO ARRANGE FOR THIS CONFERENCE.

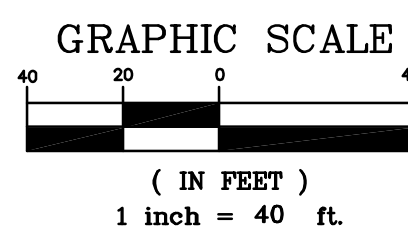
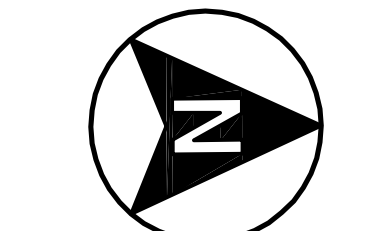
### LEGEND

	BOUNDARY
	ADJACENT PROPERTY LINE
	STORM DRAIN LINE
	EARTH SWALE
	NEW BUILDING
	RETAINING WALL
	EXISTING ASPHALT PAVEMENT
	PROPOSED ASPHALT PAVEMENT
	EXISTING CONCRETE
	PROPOSED CONCRETE
	PLAN SHEET REFERENCE NUMBER

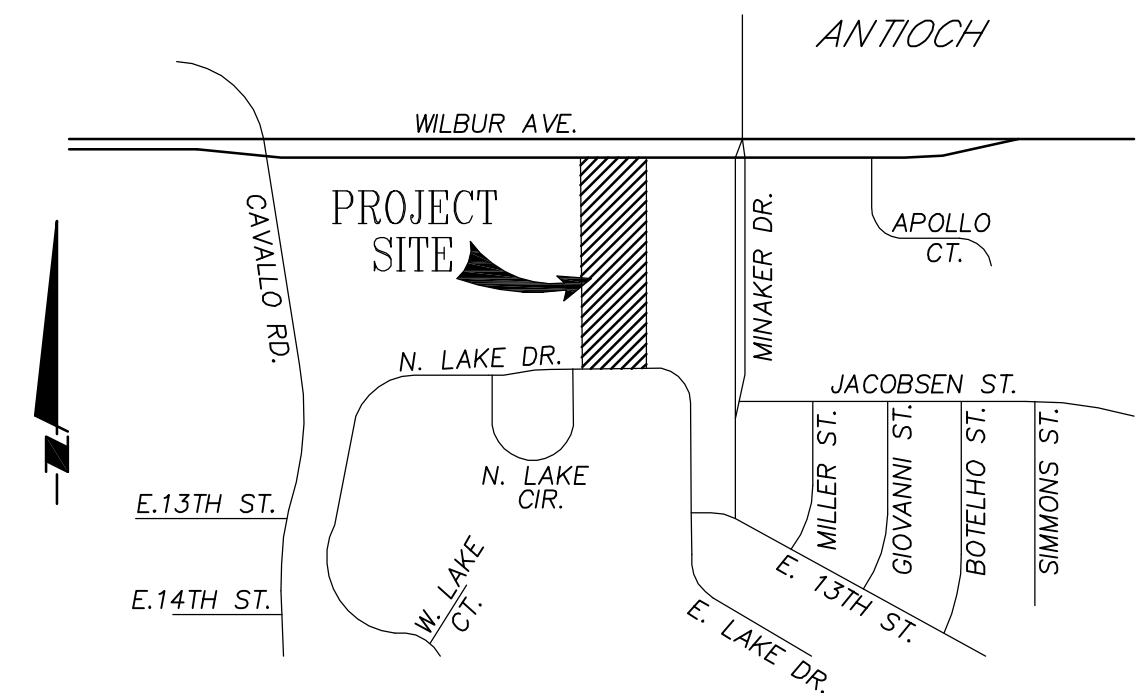
### SHEET INDEX

SHEET No.	DESCRIPTION
1	TITLE SHEET
2	TOPOGRAPHIC SURVEY & DEMOLITION PLAN
3	SECTIONS & DETAILS
4-5	PRELIMINARY GRADING, DRAINAGE & UTILITY DESIGN
6	PRELIMINARY C.3 STORM WATER CONTROL PLAN
7	ENGINEERED CROSS-SECTIONS
8	TRUE CROSS-SECTIONS
9	TRAFFIC SIGNING AND STRIPING PLAN

SITE APN: 065-110-006



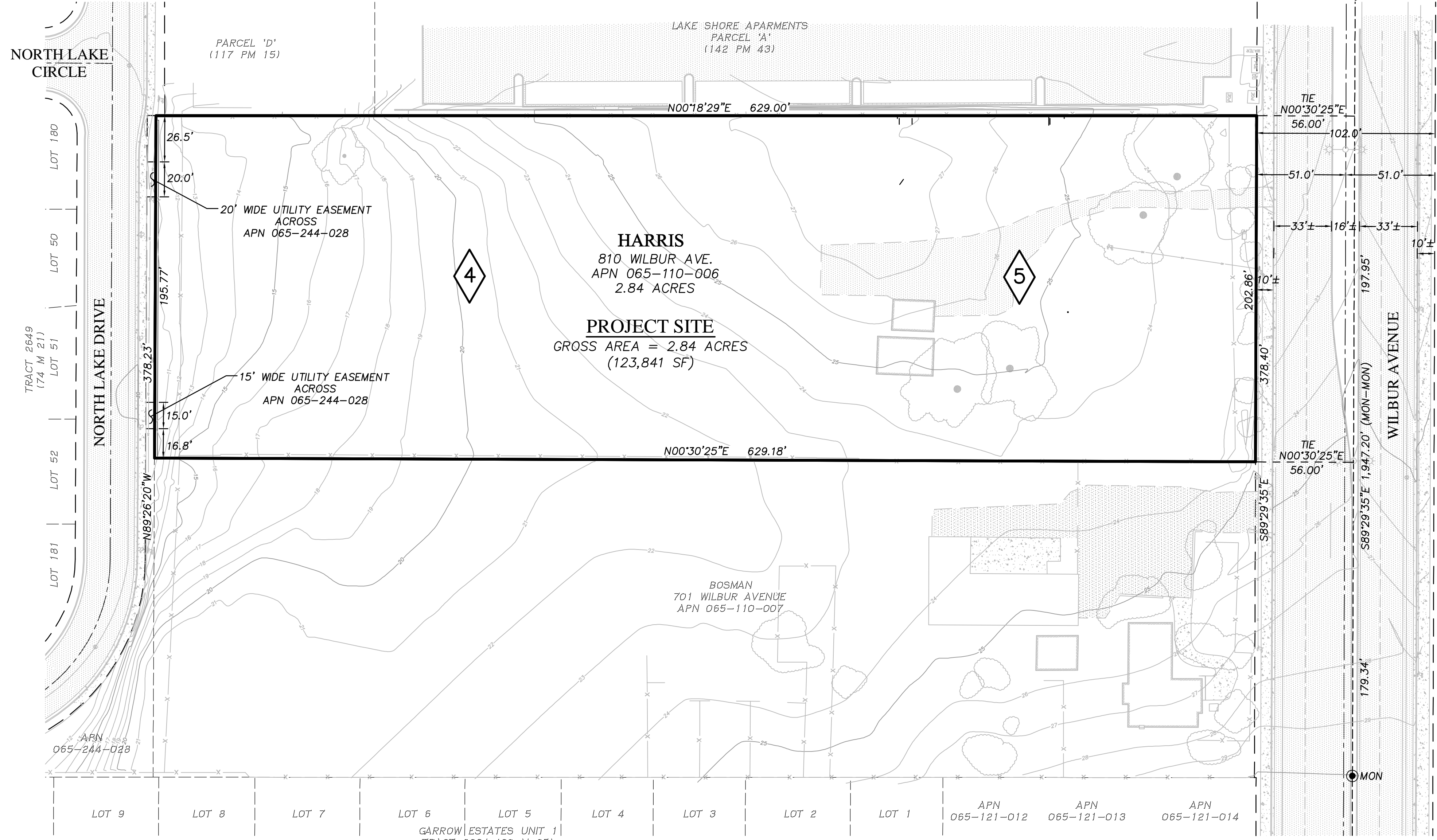
**NOTE:**  
THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES, VERIFY THE LOCATION OF ANY UTILITIES AND EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES DURING CONSTRUCTION.



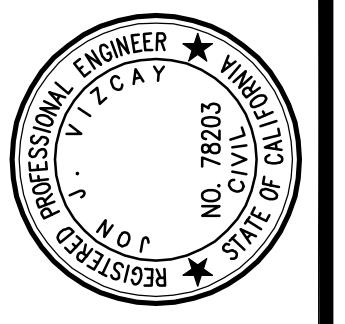
VICINITY MAP  
NOT TO SCALE

### ABBREVIATIONS

AB	- AGGREGATE BASE
AC	- ACRE
AD	- AREA DRAIN
BW	- BOTTOM OF WALL ELEVATION
B/W	- BACK OF WALK
C&G	- CURB & GUTTER
CB	- CATCH BASIN
CC	- CURB CUT
CL	- CENTERLINE
COA	- CITY OF ANTIOCH
CONC	- CONCRETE
CR	- CURB RETURN
CU	- CUBIC
DET	- DETAIL
DIA	- DIAMETER
DWY	- DRIVEWAY
EG	- EXISTING GROUND ELEVATION
ELEV	- ELEVATION
EVAE	- EMERGENCY VEHICLE ACCESS
EX	- EXISTING
FG	- FINISHED GRADE ELEVATION
FH	- FIRE HYDRANT
FL	- FLOW LINE ELEVATION
G	- GRATE ELEVATION
GB	- GRADE BREAK
GV	- GATE VALVE
HP	- HIGH POINT
LF	- LINEAR FEET
LP	- LOW POINT
MAX	- MAXIMUM
MIN	- MINIMUM
OC	- ON CENTER
P	- PAD
PL	- PROPERTY LINE
PAE	- PUBLIC ACCESS EASEMENT
PUE	- PUBLIC UTILITY EASEMENT
PVC	- POLYVINYL CHLORIDE
PVI	- POINT OF VERTICAL INTERSECTION
R/W	- RIGHT OF WAY
S	- SLOPE
SDWK	- SIDEWALK
SD	- STORM DRAIN
SDE	- STORM DRAIN EASEMENT
SDMH	- STORM DRAIN MANHOLE
SDWK	- SIDEWALK
SF	- SQUARE FEET
SNS	- STREET NAME SIGN
SS	- SANITARY SEWER
SSCO	- SANITARY SEWER CLEANOUT
SSE	- SANITARY SEWER EASEMENT
SSMH	- SANITARY SEWER MANHOLE
STA	- STATION
STD	- STANDARD
TC	- TOP OF CURB ELEVATION
TCL	- TOP OF CURB LEFT
TCR	- TOP OF CURB RIGHT
TW	- TOP OF WALL ELEVATION
TYP	- TYPICAL
VC	- VERTICAL CURVE
W	- WATER
WME	- WATER MAIN EASEMENT



KEY MAP  
SCALE: 1" = 40'



817 Arnold Drive, Ste. 50  
Martinez, CA 94553  
Ph: (925) 476-8499  
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NO.	REVISIONS	BY	APP	DATE

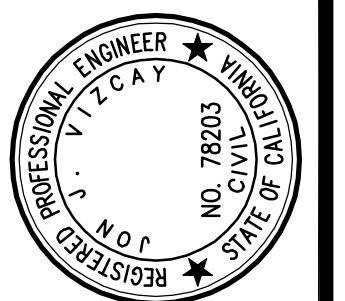
PRELIMINARY DESIGN PLANS  
TITLE SHEET  
"DELTA COURTYARD APARTMENTS"  
810 WILBUR AVENUE, ANTIOCH, CA

SHEET  
1 OF 9  
DATE  
09-19-2022  
PROJECT #: 21037

# TOPOGRAPHIC SURVEY & DEMOLITION PLAN

## "DELTA COURTYARD APARTMENTS"

CITY OF ANTIOCH  
 COUNTY OF CONTRA COSTA  
 STATE OF CALIFORNIA



817 Arnold Drive, Ste. 50  
 Martinez, CA 94553  
 Ph: (925) 476-8499  
 www.apexce.net



### GENERAL DEMOLITION NOTES:

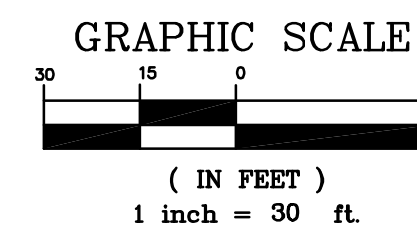
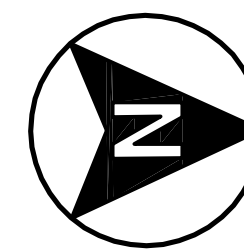
- DEMOLITION PERMIT IS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION. A COPY OF THE DEMOLITION PERMIT IS REQUIRED TO BE ON SITE AT ALL TIMES.
- NOISE-PRODUCING CONSTRUCTION ACTIVITY (INCLUDING PLAYING OF RADIO OR MUSIC) AND GRADING OPERATION SHALL BE LIMITED TO WEEKDAYS (MONDAY THROUGH FRIDAY) EXCEPT CITY HOLIDAYS AND FROM THE HOURS OF 7:00AM TO 5:00PM, SATURDAY AND SUNDAY; NONE, AND SHALL BE PROHIBITED ON STATE AND FEDERAL HOLIDAYS. ALL EQUIPMENT SHALL BE ADEQUATELY MUFFLED AND MAINTAINED. NO CHANGES SHALL BE ALLOWED WITHOUT PRIOR WRITTEN CONSENT OF THE CITY OF ANTIOCH. ALL REQUESTS FOR CHANGES MUST BE MADE A MINIMUM OF 72 HOURS PRIOR TO THE REQUEST FOR CHANGE.
- THE CONSTRUCTION CONTRACTOR AGREES, THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND DEFEND, INDEMNIFY AND HOLD THE DESIGN PROFESSIONAL AND CITY OF ANTIOCH HARMLESS FROM ANY AND ALL LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- THE CONTRACTOR SHALL PROVIDE EMERGENCY TELEPHONE NUMBERS FOR PUBLIC WORKS, AMBULANCE, POLICE, AND FIRE DEPARTMENTS AT THE JOB SITE.
- THE CONTRACTOR SHALL CONTROL DUST BY WATERING EXPOSED SURFACES AS NEEDED. INCREASED WATERING SHALL BE REQUIRED WHEN WIND SPEEDS EXCEED 10 MPH.
- THE PROJECT APPLICANT SHALL SWEEP STREETS DAILY, OR AS NECESSARY, WITH WATER SWEEPERS IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION DRIVES TO PREVENT THE TRACKING OF SOIL, DUST, MUD, OR CONSTRUCTION DEBRIS ON PUBLIC STREETS.
- MUD TRACKED ONTO STREETS OR ADJACENT PROPERTIES SHALL BE REMOVED IMMEDIATELY, STREET SHALL BE SWEEPED WITH A POWER SWEEPER (NOT PRESSURE WASHED) AS DIRECTED BY THE CITY OF ANTIOCH.
- REMOVE ALL EXISTING GAS AND ELECTRICAL LINES WITH EXTREME CAUTION. CALL USA - 811 AT LEAST 48 HOURS BEFORE DIGGING.

### DEMOLITION KEY LEGEND

- EXISTING STRUCTURE TO BE REMOVED
- EXISTING ASPHALT/GRAVEL TO BE REMOVED
- EXISTING UTILITY POLE TO BE REMOVED
- EXISTING ASPHALT (APPROX. 40') TO REMAIN AS ALL-WEATHER CONSTRUCTION ENTRANCE
- EXISTING OVERHEAD LINE TO BE REMOVED
- EXISTING GAS METER AND LINE TO BE REMOVED
- EXISTING WATER METER AND LINE TO BE REMOVED
- EXISTING CHAINLINK FENCE TO BE REMOVED
- EXISTING METAL FENCE TO BE REMOVED (AS NEEDED)
- EXISTING WIRE FENCE TO BE REMOVED

### BENCHMARK

CONTRA COSTA COUNTY BM#3187 A BRASS DISK AT THE NORTH END OF A CONCRETE WALL, EAST OF THE INTERSECTION OF WILBUR AVENUE AND MINAKER DRIVE. ELEVATION = 36.791 (1929 USGS DATUM)

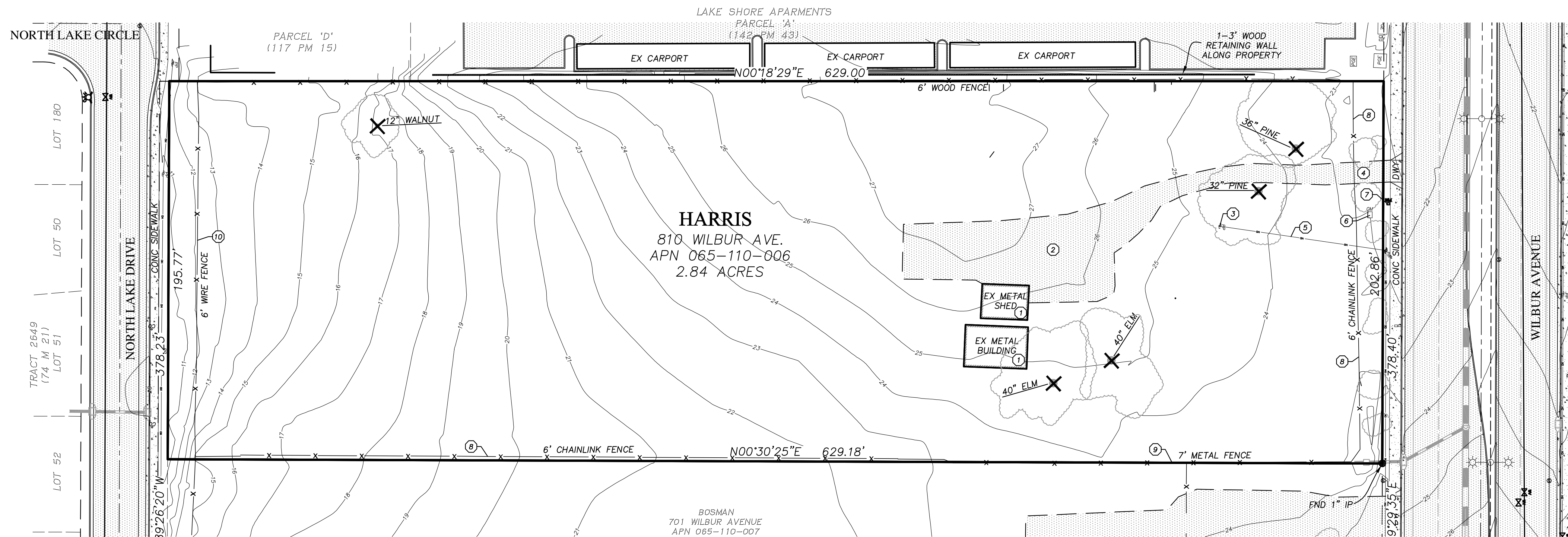


### BASIS OF BEARINGS

EXISTING MONUMENT LINE OF WILBUR AVE. TAKEN AS NORTH 89°29'35" WEST PER CCCO RIGHT OF WAY MAP R/W 7181 BETWEEN FOUND MONUMENTS SHOWN HEREON

### LEGEND

- EX. ASPHALT DRIVEWAY TO SERVE AS ALL-WEATHER CONSTRUCTION ENTRANCE
- TREE TO BE REMOVED

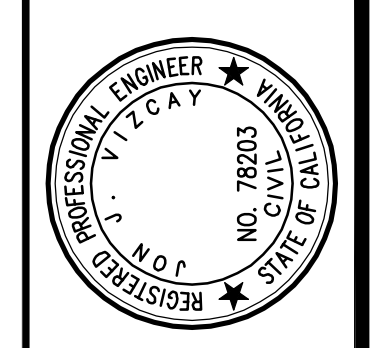


NO.	REVISIONS	BY	APP	DATE

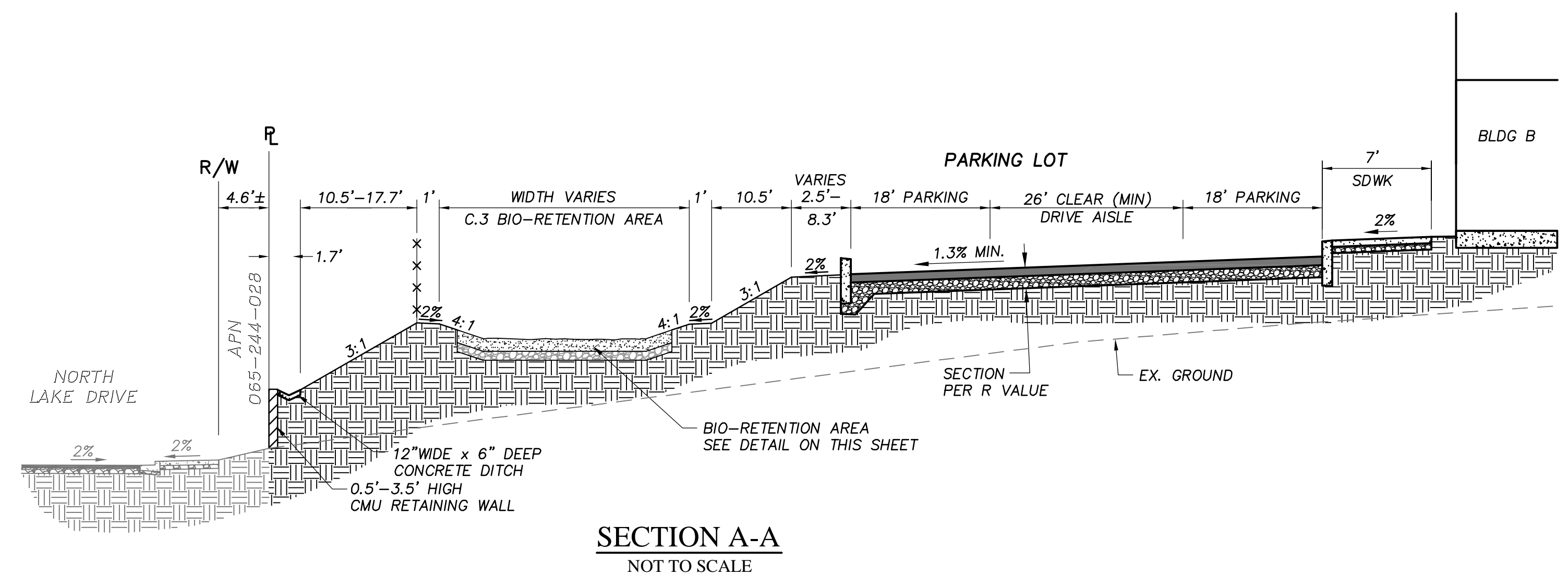
TOPOGRAPHIC SURVEY & DEMOLITION PLAN  
 "DELTA COURTYARD APARTMENTS"  
 810 WILBUR AVENUE, ANTIOCH, CA

SHEET  
 2 OF 9  
 DATE  
 09-19-2022  
 PROJECT #: 21037

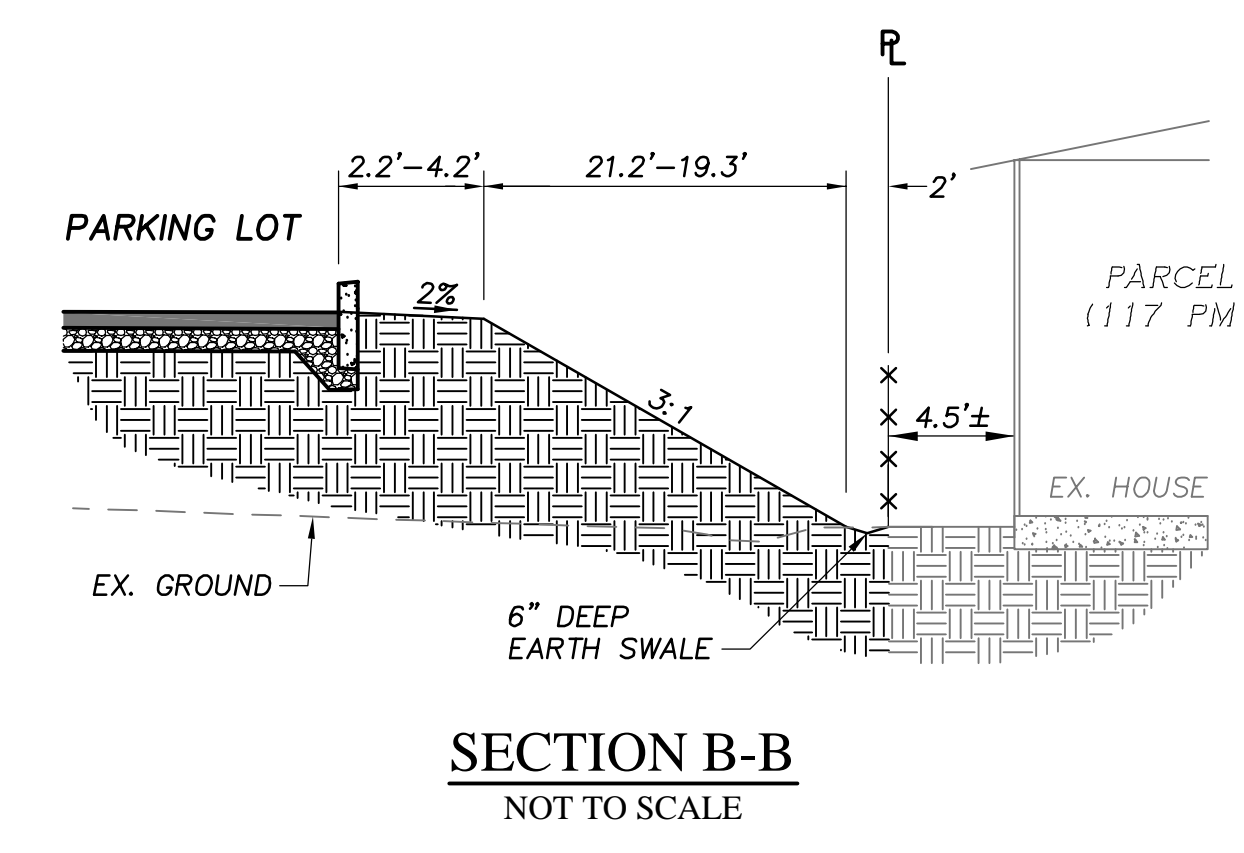




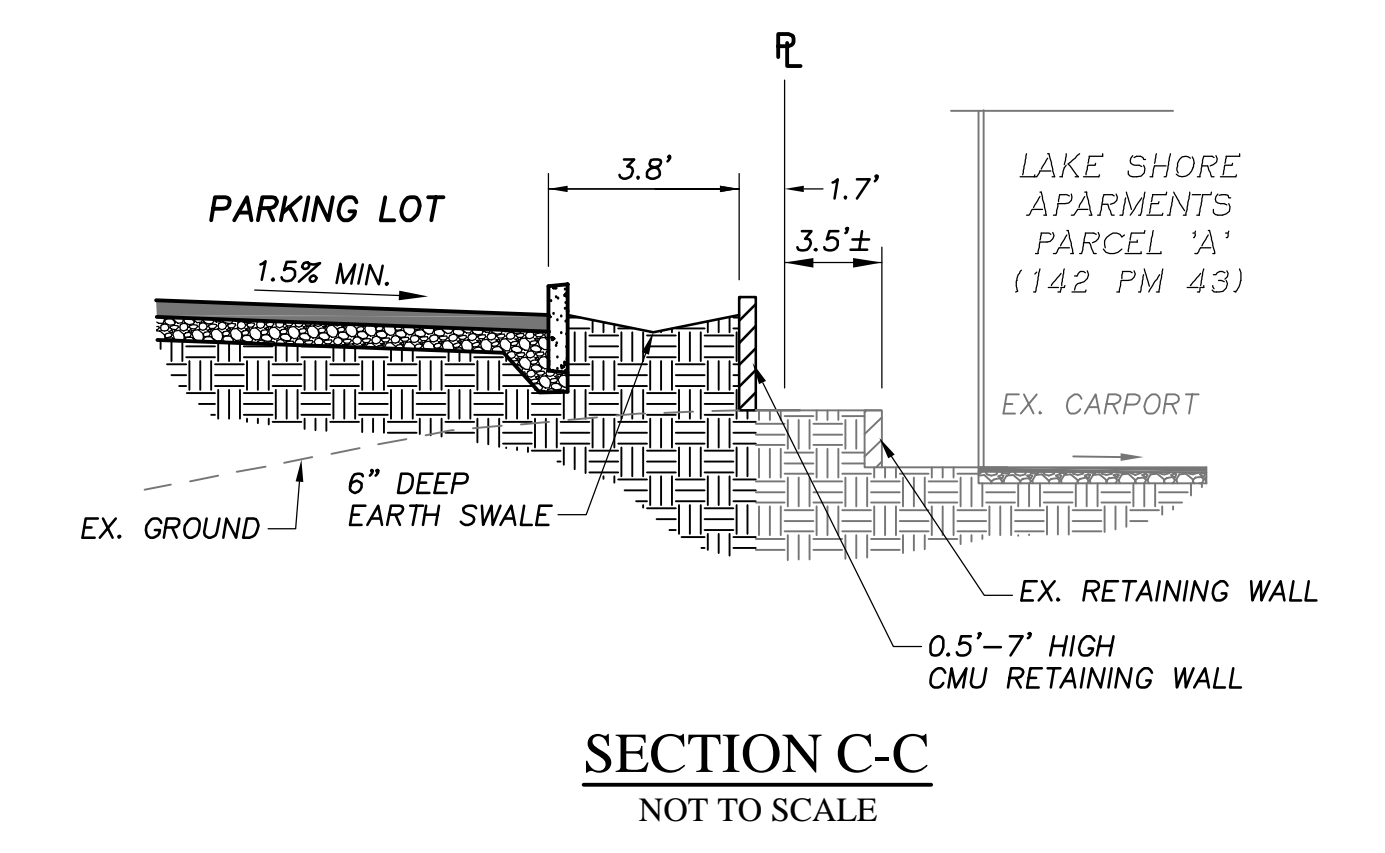
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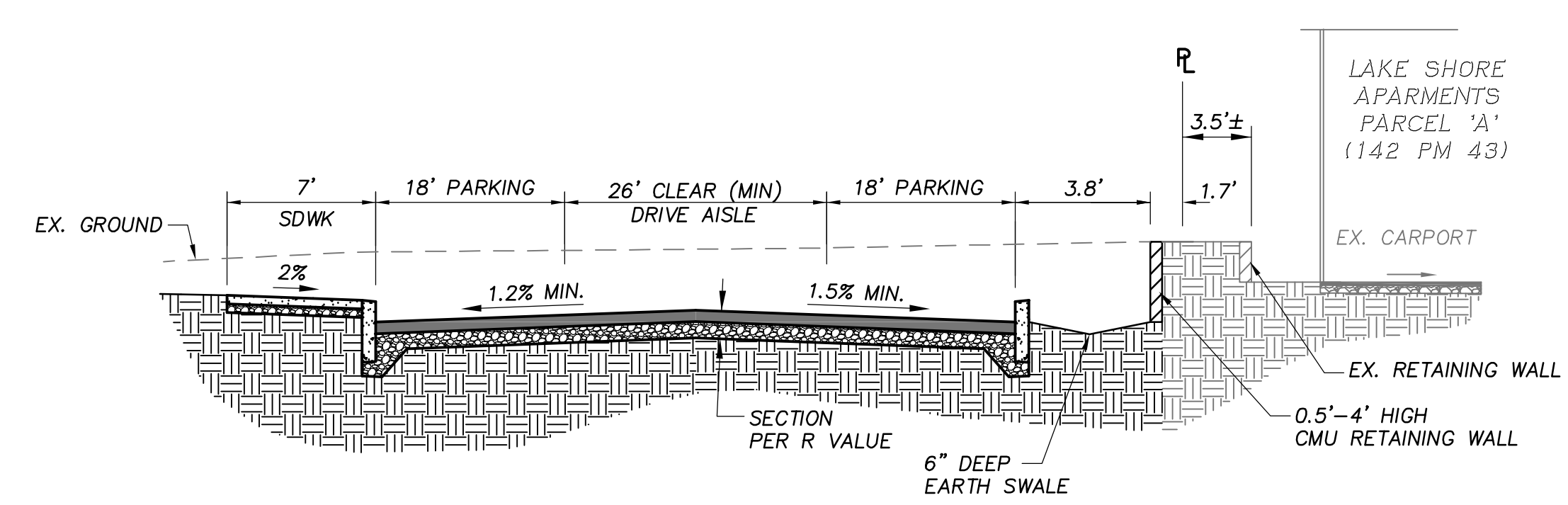
**SECTION A-A**  
NOT TO SCALE



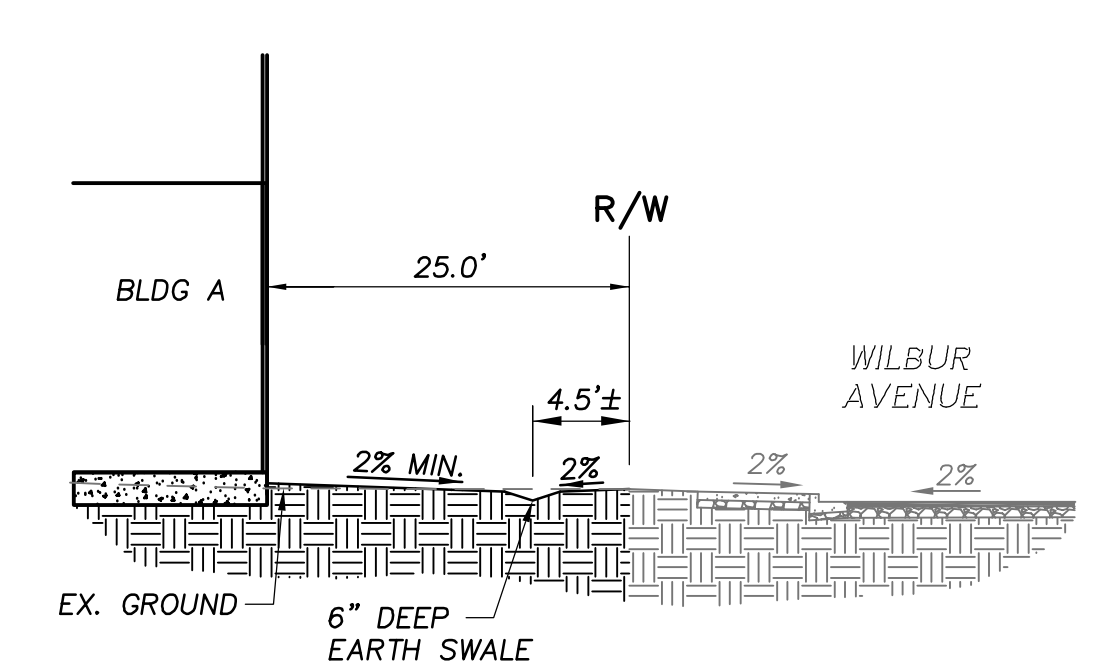
**SECTION B-B**  
NOT TO SCALE



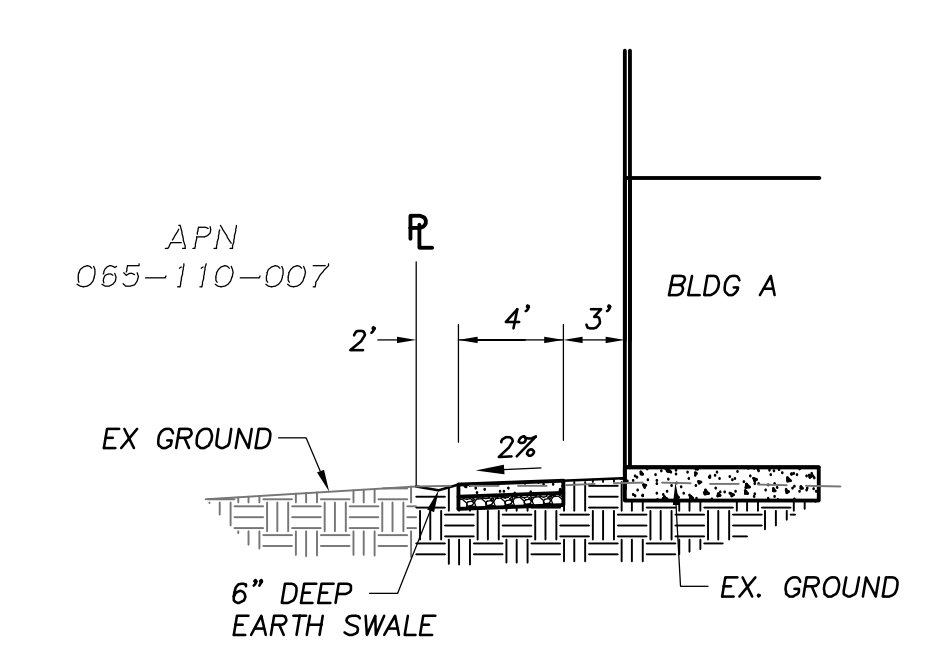
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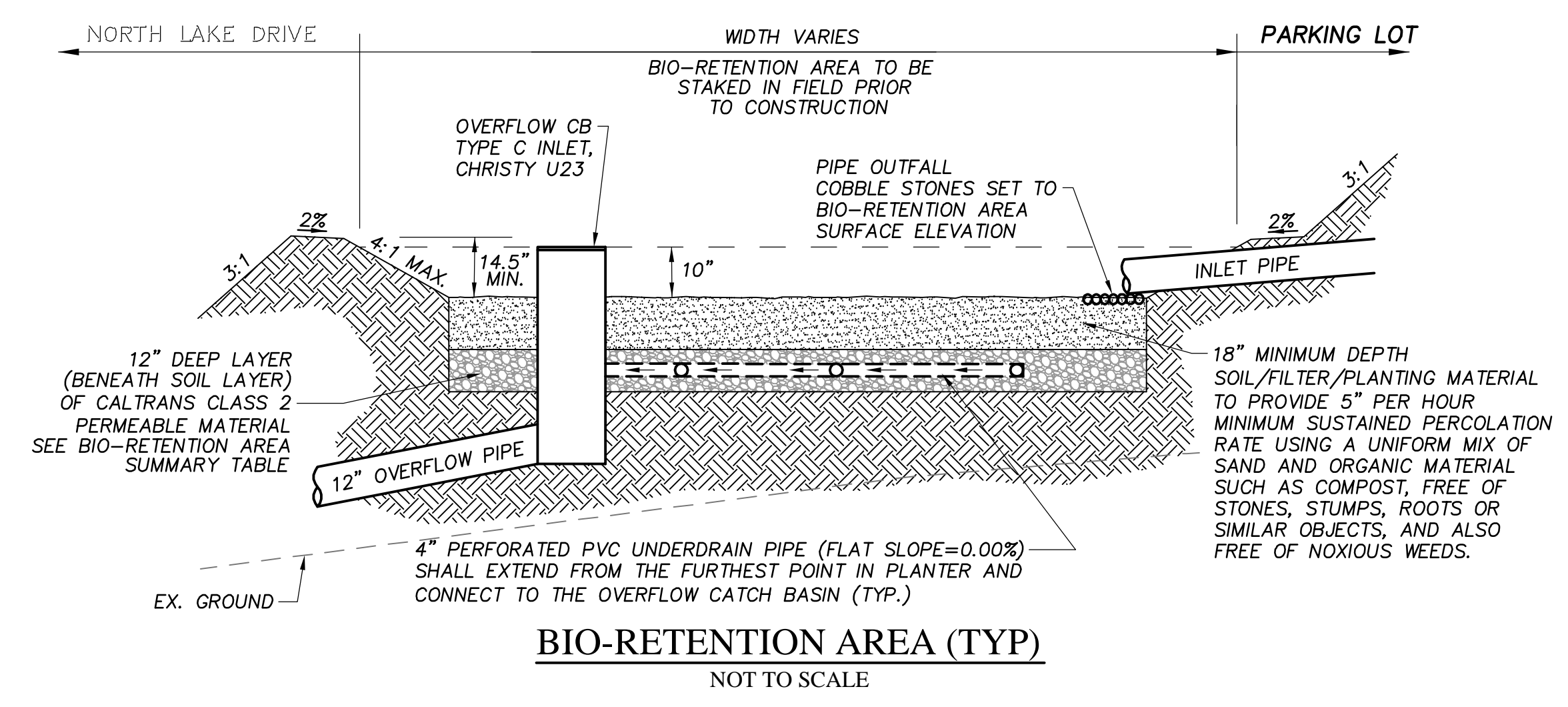
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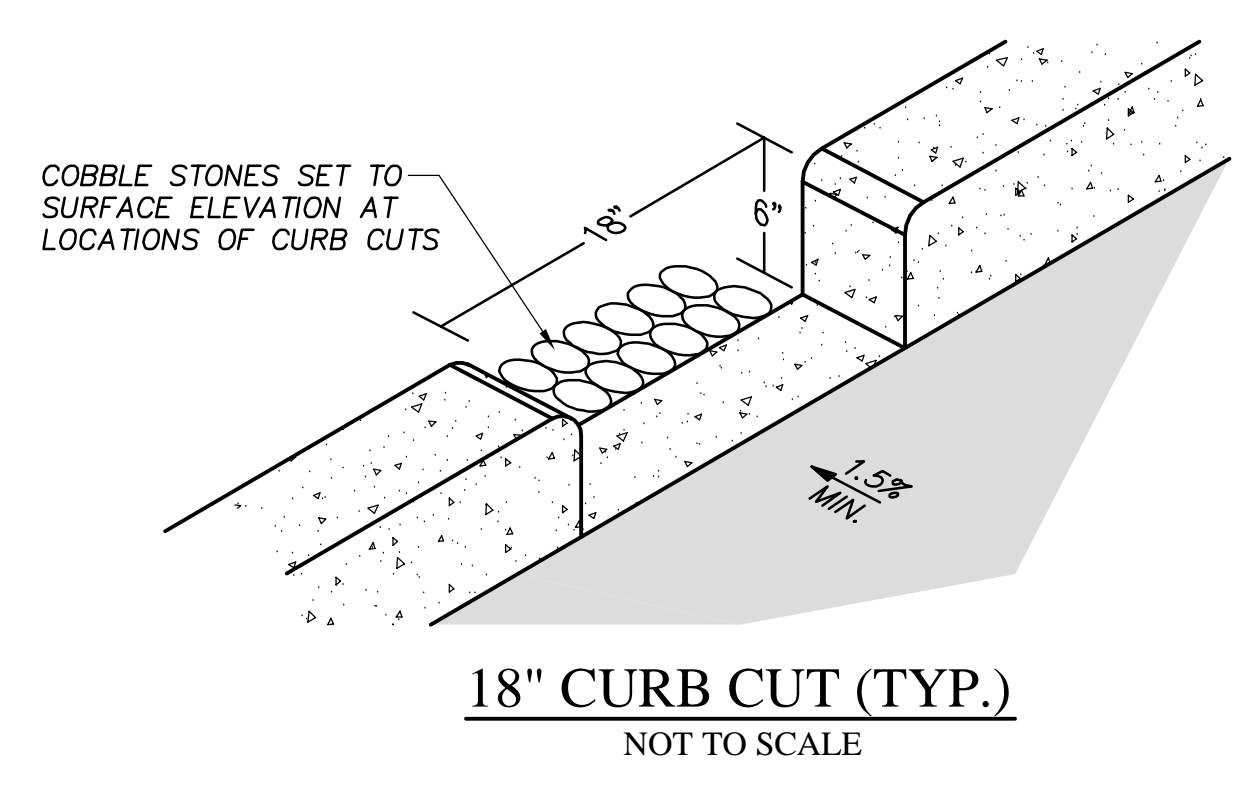
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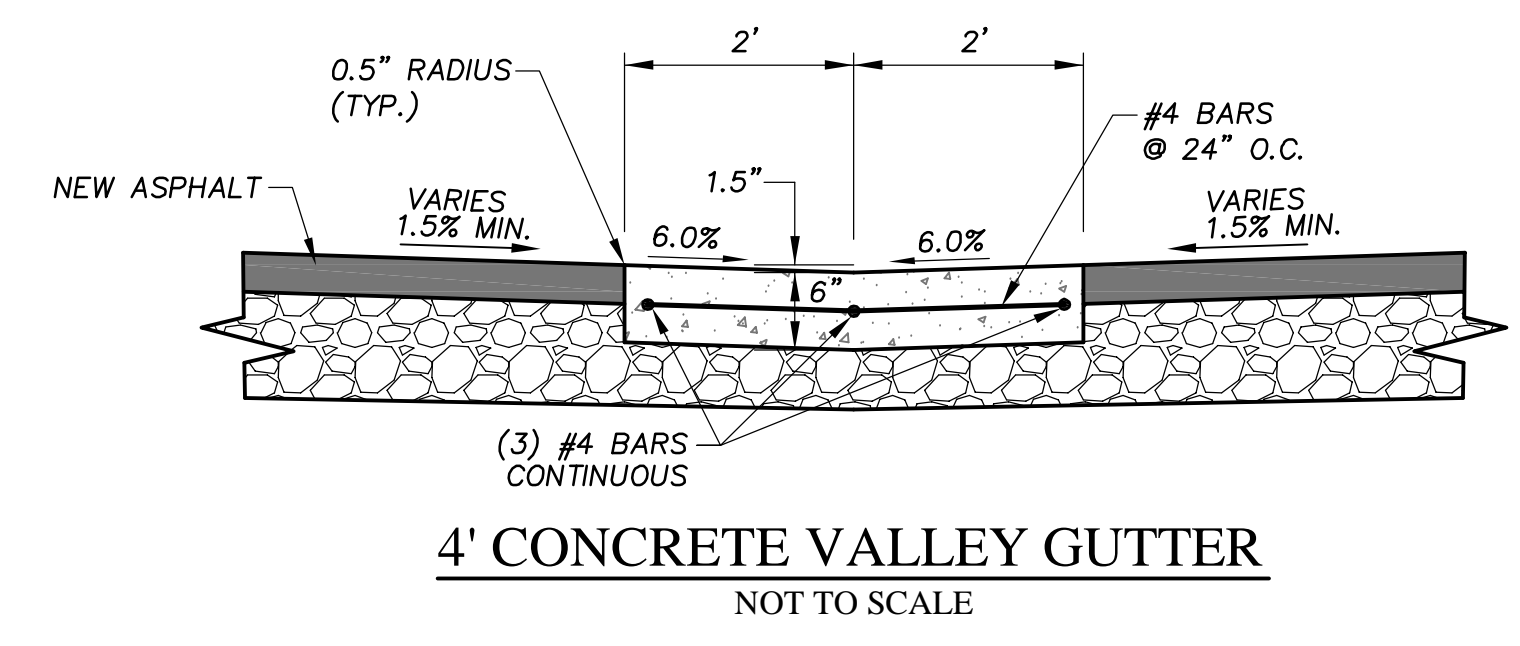
**SECTION F-F**  
NOT TO SCALE



**BIO-RETENTION AREA (TYP)**  
NOT TO SCALE



**18\"/>**



**4\"/>**

NO.	REVISIONS	BY	APP	DATE

SECTIONS & DETAILS  
 "DELTA COURTYARD APARTMENTS"  
 810 WILBUR AVENUE, ANTIOCH, CA

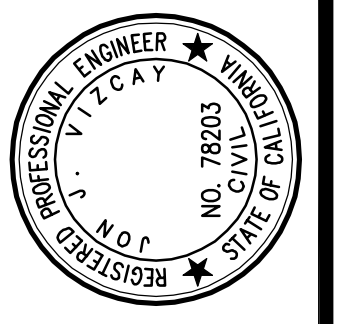
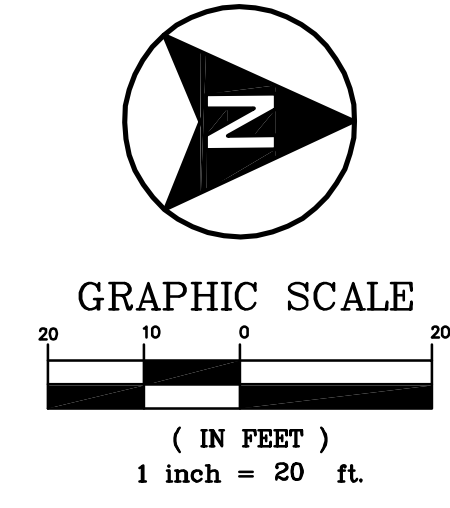
SHEET  
 3 OF 9  
 DATE  
 09-19-2022  
 PROJECT #: 21037

**GRADING QUANTITIES**

CUT	5,490 CU. YDS.
FILL	5,490 CU. YDS.
BALANCED SITE	

TOTAL DISTURBED AREA: 125,107 SF

**SECTIONS NOTE:**  
REFER TO SHEET 3  
FOR SECTIONS A-A THRU F-F  
SEE SHEETS 7 & 8 FOR  
SECTIONS G-G THRU J-J



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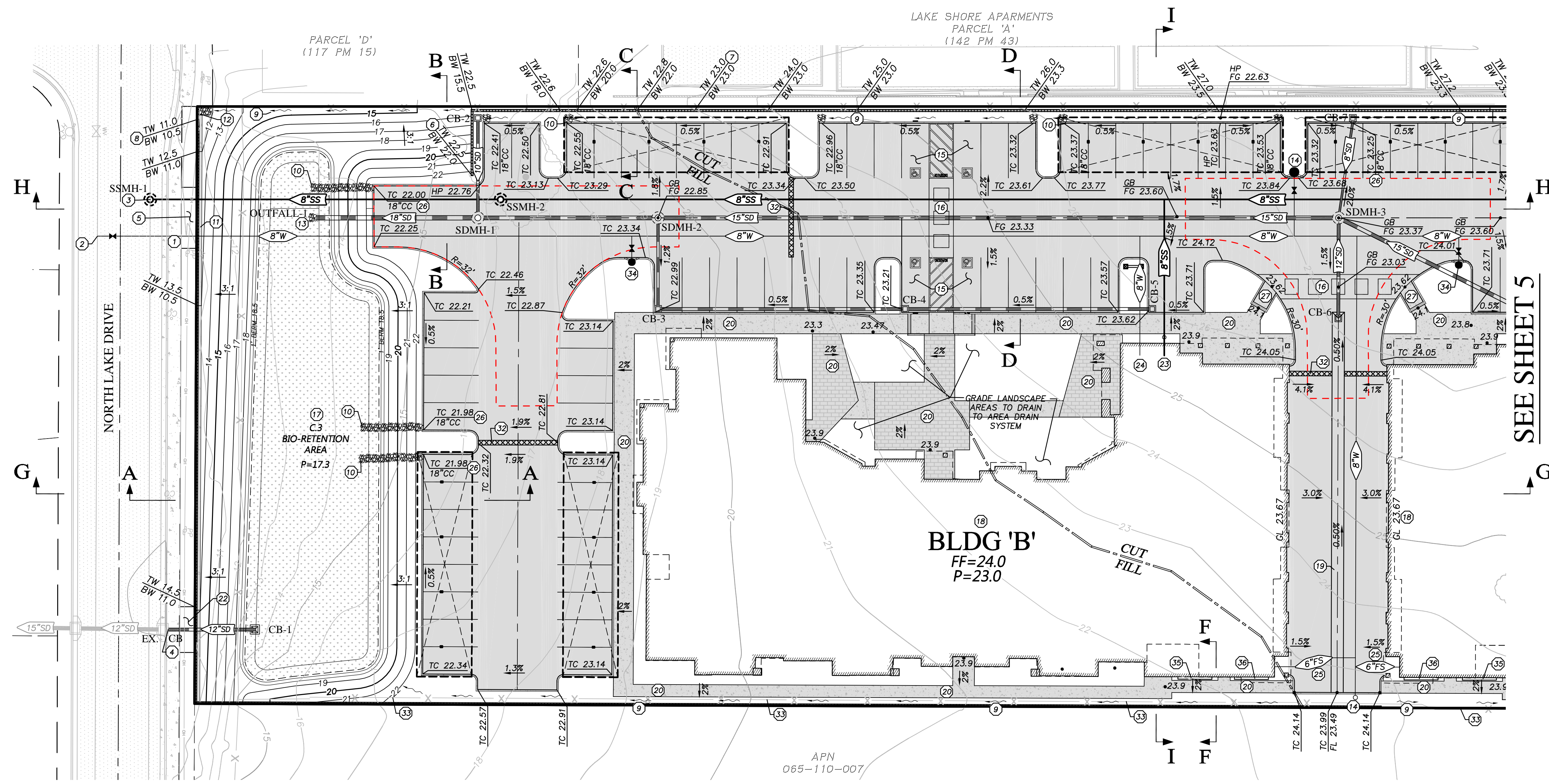
**KEY LEGEND**

- 1 EXISTING SIDEWALK TO REMAIN
- 2 CONNECT TO EX. 10" WATER MAIN
- 3 CONNECT TO EX. 14" SANITARY SEWER MAIN. INSTALL MANHOLE
- 4 CONNECT TO EX. CATCH BASIN
- 5 20' WIDE UTILITY EASEMENT ACROSS APN 065-244-028
- 6 BEGIN RETAINING WALL
- 7 RETAINING WALL TRANSITION/DAYLIGHT
- 8 END RETAINING WALL
- 9 EARTH SWALE (TYP)
- 10 COBBLE STONES FROM CURB CUT DOWN TO BIO-RETENTION AREA SOIL (TYP)
- 11 12" WIDE x 6" DEEP CONCRETE DITCH BEHIND TOP OF WALL
- 12 DAYLIGHT CONCRETE DITCH TO COBBLE STONE AREA
- 13 STORM DRAIN PIPE OUTFALL ON TO COBBLE STONES AT BIO-RETENTION AREA BLOW-OFF
- 14 BLOW-OFF
- 15 ADA ACCESSIBLE PARKING STALLS & ACCESS AISLE
- 16 8' WIDE STRIPED CROSSWALK
- 17 C.3 BIO-RETENTION AREA
- 18 NEW BUILDING. SEE ARCHITECTURAL PLANS
- 19 4' WIDE CONCRETE VALLEY GUTTER. SEE DETAIL ON SHEET 3
- 20 CONCRETE/PAVER WALKWAY
- 21 STRIPED AREA FOR EVA ACCESS THROUGH APN 065-110-007
- 22 15' WIDE UTILITY EASEMENT ACROSS APN 065-244-028
- 23 SEWER CONNECTION TO BUILDING PLUMBING
- 24 WATER CONNECTION TO BUILDING PLUMBING
- 25 FIRE SERVICE TO BUILDING
- 26 18" CURB CUT (TYP). SEE DETAIL ON SHEET 3
- 27 CURB RAMP
- 28 CONNECT TO EX. 12" WATER MAIN
- 29 CONSTRUCT NEW DRIVEWAY APPROACH PER COA STD DET CD-25A
- 30 CONNECT TO EX. SIDEWALK
- 31 EXISTING PROPERTY TO BE DEVELOPED TO PROVIDE EVA ACCESS
- 32 12" BY 3" ASPHALT SPEED BUMP, OR APPROVED EQUAL, FULL WIDTH OF DRIVEWAY (EXCLUDING VALLEY GUTTER)
- 33 EX. FENCE TO BE REMOVED AND NEW FENCE TO BE BUILT ON PROPERTY LINE
- 34 FIRE HYDRANT
- 35 ELECTRICAL METERS
- 36 GAS METERS

**SS/SD STRUCTURE SUMMARY**

STRUCTURE #	GRATE/RIM ELEVATION	FLOW LINE ELEVATION
SSMH-1	10.64	0.16
SSMH-2	22.39	12.93
EX. CB	9.48	5.38
CB-1	18.30	8.50
OUTFALL-1	N/A	17.30
SDMH-1	22.41	17.49
CB-2	21.36	17.66
SDMH-2	22.85	17.79
CB-3	22.49	17.94
CB-4	22.71	18.35
CB-5	23.12	18.76
SDMH-3	23.37	18.91
CB-6	22.88	19.08
CB-7	22.55	19.07

**NOTE:**  
THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES, VERIFY THE LOCATION OF ANY UTILITIES AND EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES DURING CONSTRUCTION.

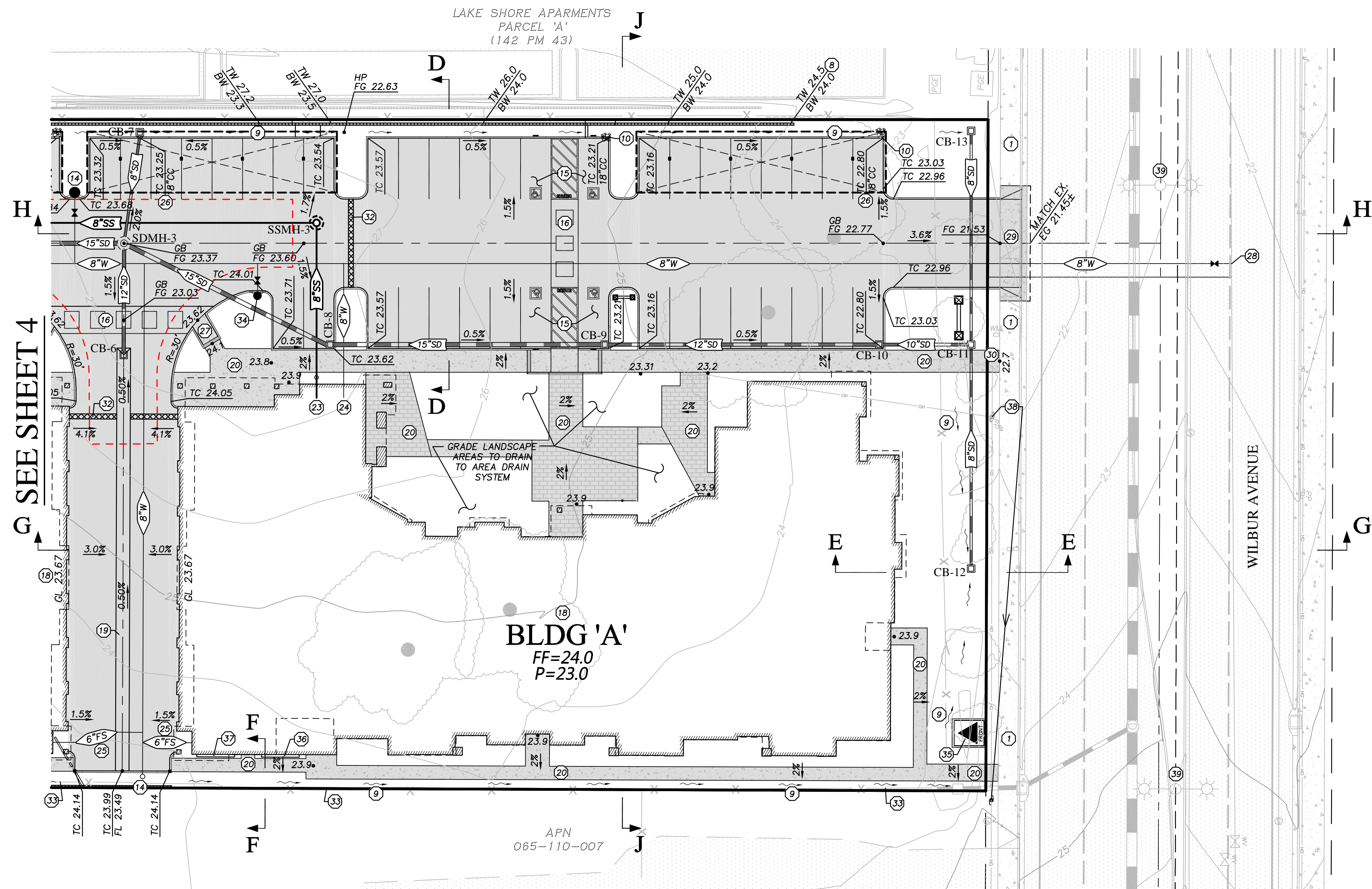


SEE SHEET 5

NO.	REVISIONS	BY	APP	DATE

PRELIMINARY GRADING, DRAINAGE & UTILITY DESIGN  
"DELTA COURTYARD APARTMENTS"  
810 WILBUR AVENUE, ANTIOCH, CA

SHEET  
4 OF 9  
DATE  
09-19-2022  
PROJECT #: 21037



**KEY LEGEND**

- ① EXISTING SIDEWALK TO REMAIN
- ② END RETAINING WALL
- ③ EARTH SWALE (TYP)
- ④ COBBLE STONES AT CURB CUT (TYP)
- ⑫ BLOW-OFF
- ⑮ ADA ACCESSIBLE PARKING STALLS & ACCESS AISLE
- ⑯ 8' WIDE STRIPED CROSSWALK
- ⑰ NEW BUILDING. SEE ARCHITECTURAL PLANS
- ⑱ 4' WIDE CONCRETE VALLEY GUTTER. SEE DETAIL ON SHEET 3
- ⑳ CONCRETE/PAVER WALKWAY
- ㉑ STRIPED AREA FOR EVA ACCESS THROUGH APN 065-110-007
- ㉒ SEWER CONNECTION TO BUILDING PLUMBING
- ㉓ WATER CONNECTION TO BUILDING PLUMBING
- ㉔ FIRE SERVICE TO BUILDING
- ㉕ 18" CURB CUT (TYP). SEE DETAIL ON SHEET 3
- ㉖ CURB RAMP
- ㉗ CONNECT TO EX. 12" WATER MAIN
- ㉘ CONSTRUCT NEW 26' WIDE DRIVEWAY APPROACH PER COA STD DET CD-25A
- ㉙ CONNECT TO EX. SIDEWALK
- ㉚ PROPOSED 20' ACCESS EASEMENT FOR EVA-20' WIDE GRAVEL SURFACE DRIVE
- ㉛ 12" BY 3" ASPHALT SPEED BUMP, OR APPROVED EQUAL, FULL WIDTH OF DRIVEWAY (EXCLUDING VALLEY GUTTER)
- ㉜ EX. FENCE TO BE REMOVED AND NEW FENCE TO BE BUILT ON PROPERTY LINE
- ㉝ FIRE HYDRANT
- ㉞ TRANSFORMER
- ㉟ ELECTRICAL METERS
- ㊱ GAS METERS
- ㊲ RELOCATE EXISTING POWER POLE TO SOUTH PROPERTY LINE
- ㊳ EXISTING STREETLIGHTS

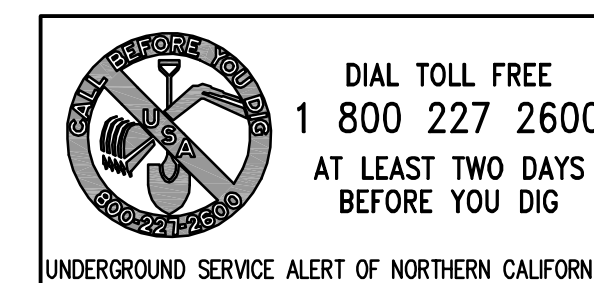
**NOTES:**

1. PROPOSED 26-FOOT WIDE CONCRETE DRIVEWAY APPROACH SHALL BE PER CITY STD DET CD-25A.
2. ALL ON-SITE PROPOSED CURB SHALL BE PER THE DETAIL ON SHEET 3.
3. MONOLITHIC SIDEWALK SHALL BE PER CITY STD DET CD-35.
4. ALL SLOPES SHOWN ARE FOR PAVEMENT OR CONCRETE SURFACES (NOT CURB).
5. PROPOSED FIRE HYDRANT SHALL BE INSTALLED PER CITY STD DET CD-22A AND CD-22B.
6. TRENCH BACKFILL AND SURFACING SHALL BE PER CITY STANDARD.
7. CONNECTION TO EXISTING CATCH BASIN SHALL BE PER CITY STD DET CD-29B.
8. CATCH BASINS SHALL BE A CHRISTY V64 CATCH BASIN OR APPROVED EQUAL.
9. SEWER LATERALS ON-SITE SHALL BE AT 2% MIN. SLOPE PER CITY STD DET CD-23A.
10. WATER LATERALS ON-SITE SHALL MEET CITY WATER STANDARD SPECIFICATIONS.
11. CONSTRUCTION OF STORM WATER BIO-RETENTION AREAS SHALL BE PER DETAIL ON SHEET 3 AND FOLLOW DESIGN PER THE CONTRA COSTA COUNTY STORM WATER C.3 GUIDEBOOK.
12. ANY BROKEN OR DAMAGED CONCRETE, EITHER EXISTING PRIOR TO CONSTRUCTION OR AS A RESULT OF THE CONSTRUCTION, NEEDS TO BE REPLACED TO CITY STANDARD.
13. ALL WALKWAYS AROUND BUILDING SHALL HAVE A MAX. 2% CROSS SLOPE.
14. CONTRACTOR SHALL COORDINATE SHUTOFF OF EXISTING UTILITIES AND REMOVAL OR RELOCATION OF SERVICES, AS REQUIRED.
15. ALL EXISTING TREES TO BE REMOVED UNLESS NOTED TO BE SAVED.
16. FINAL STRUCTURAL SECTION OF ASPHALT AND AB SHALL BE BASED ON ACTUAL R-VALUE TESTS TAKEN DURING CONSTRUCTION.
17. WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT ISSUED BY THE CITY OF ANTIOCH.
18. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING (2% MIN).
19. MAXIMUM 2% SLOPES IN ALL DIRECTIONS IN ADA PARKING AREAS.
20. MAXIMUM 2% CROSS SLOPE AND 5% LONGITUDINAL SLOPE ALONG ADA PATH OF TRAVEL.
21. SEE SHEETS 7 & 8 FOR SECTIONS G-G THRU J-J.

**SS/SD STRUCTURE SUMMARY**

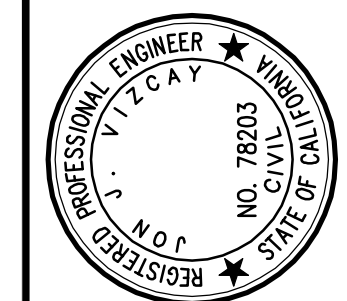
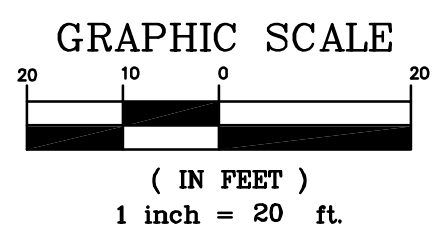
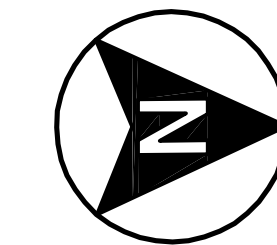
STRUCTURE #	GRATE/RIM ELEVATION	FLOW LINE ELEVATION
SSMH-4	23.48	15.48
SDMH-3	23.37	18.91
CB-6	22.88	19.08
CB-7	22.55	19.07
CB-8	23.12	19.25
CB-9	22.71	19.66
CB-10	22.30	20.07
CB-11	22.80	20.21
CB-12	22.80	20.53
CB-13	22.30	20.53

**SECTIONS NOTE:**  
REFER TO SHEET 3  
FOR SECTIONS A-A THRU F-F  
SEE SHEETS 7 & 8 FOR  
SECTIONS G-G THRU J-J



**NOTE:**

THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES, VERIFY THE LOCATION OF ANY UTILITIES AND EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES DURING CONSTRUCTION.



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NO.	REVISIONS	BY	APP	DATE

PRELIMINARY GRADING, DRAINAGE  
& UTILITY DESIGN  
"DELTA COURTYARD APARTMENTS"  
810 WILBUR AVENUE, ANTIOCH, CA

SHEET  
5 OF 9

DATE  
09-19-2022

PROJECT #: 21037

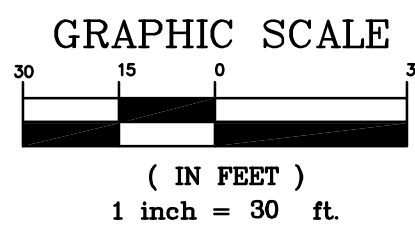
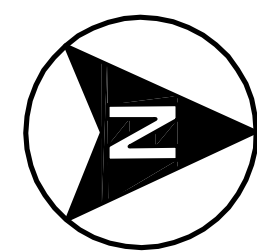
# PRELIMINARY C.3 STORM WATER CONTROL PLAN "DELTA COURTYARD APARTMENTS"

CITY OF ANTIOCH  
COUNTY OF CONTRA COSTA  
STATE OF CALIFORNIA

C.3 BIO-RETENTION AREA SUMMARY

IMP AREA NAME	DMA NAME	DMA AREA (SF)	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	IMP SIZING FACTOR	RAIN ADJUSTMENT FACTOR	MINIMUM AREA (SF)	REQUIRED IMP AREA (SF)	PROPOSED IMP AREA (SF)
BR-1	C/P	49,869	1.0	49,869	0.07	0.907	3,166	5,710	6,267
	R	37,560	1.0	37,560	0.07	0.907	2,385		
	L	24,999	0.1	2,500	0.07	0.907	159		

SELF-TREATING AREA: ST = 5,146 SF  
UNTREATED AREA: 837 SF (0.7%)



### AREA BREAKDOWN

PERVIOUS	
LANDSCAPING:	30,145 SF
BIO-RETENTION AREA:	6,267 SF
IMPERVIOUS	
CONCRETE/ASPHALT:	49,869 SF
ROOFS:	37,560 SF
<b>TOTAL AREA:</b>	<b>123,841 SF</b>

### C.3 STORM WATER CONTROL LEGEND

DRAINAGE MANAGEMENT AREAS (DMA):

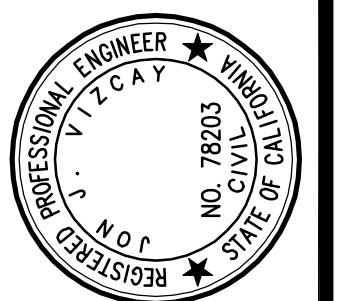
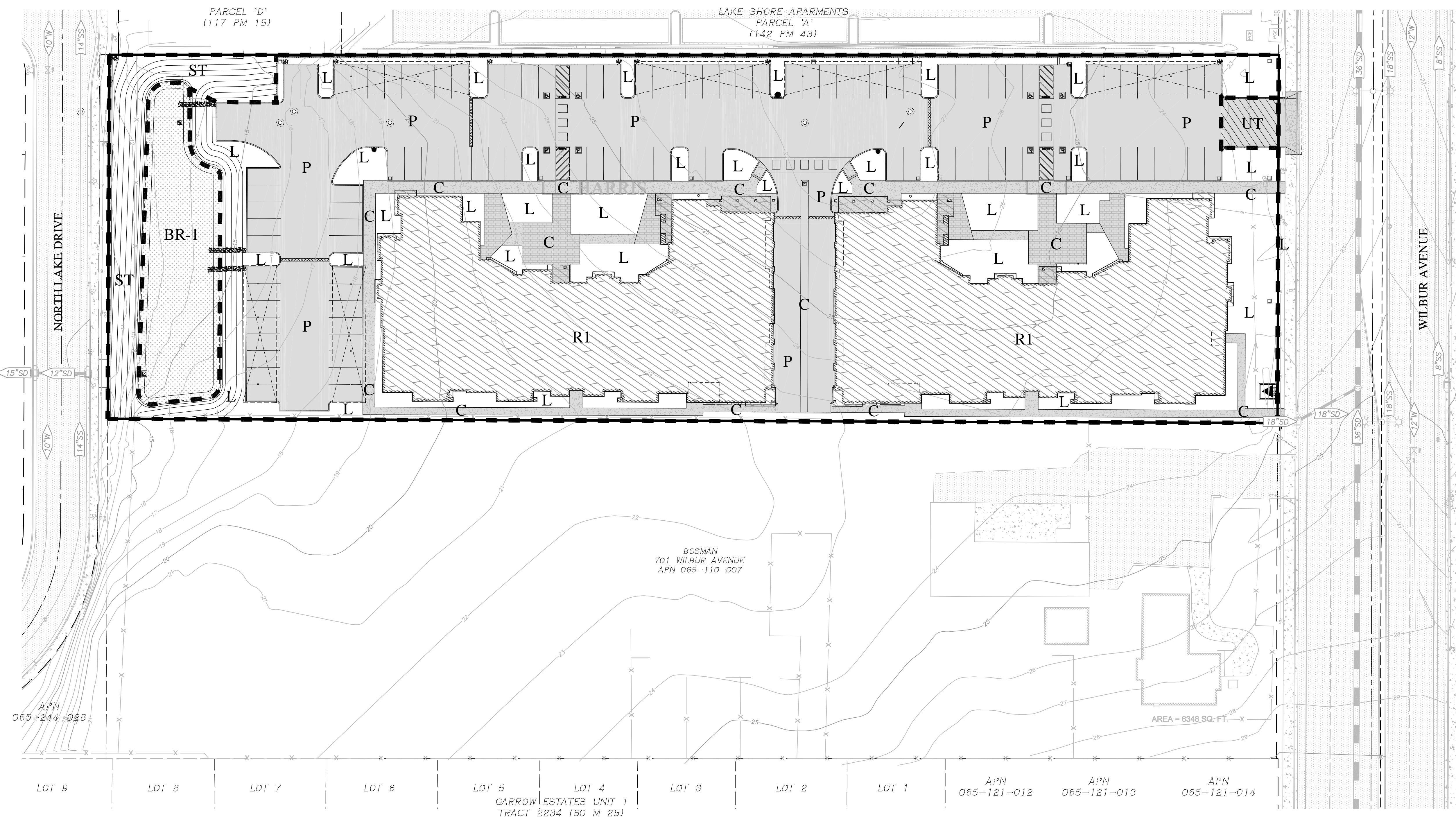
LANDSCAPE AREA	L
SELF-TREATING LANDSCAPE AREA	ST
NEW IMPERVIOUS AREA (PAVEMENT/CONCRETE)	P / C
NEW IMPERVIOUS AREA (ROOFTOP)	R
UNTREATED AREA	UT
C.3 BIO-RETENTION AREA	BR-1

BMP TRIBUTARY BOUNDARY:

### PROJECT DATA FORM

PROJECT NAME/NUMBER	DELTA COURTYARD APMTS.
PROJECT LOCATION	810 WILBUR AVENUE ANTIOCH, CA
NAME OF DEVELOPER	810 WILBUR ASSOCIATES LLC
PROJECT TYPE AND DESCRIPTION	74 APARTMENT UNITS
PROJECT WATERSHED	E. ANTIOCH CREEK WATERSHED
TOTAL PROJECT SITE AREA (ACRES)	2.84 ACRES (123,841 SF)
TOTAL NEW IMPERVIOUS SURFACE AREA (SQ. FT.)	86,287 SF
TOTAL REPLACED IMPERVIOUS SURFACE AREA	1,142 SF
TOTAL PRE-PROJECT IMPERVIOUS SURFACE AREA	1,142 SF
TOTAL POST-PROJECT IMPERVIOUS SURFACE AREA	87,429 SF
RUNOFF REDUCTION MEASURES SELECTED	<input checked="" type="checkbox"/> 1. DISPERSE RUNOFF TO VEGETATED AREA <input type="checkbox"/> 2. PERVIOUS PAVEMENT (PAVERS) <input type="checkbox"/> 3. CISTERNS OR RAIN BARRELS <input checked="" type="checkbox"/> 4. BIO-RETENTION FACILITY OR PLANTER

MEASURES WILL BE IMPLEMENTED TO REDUCE RUNOFF, WHERE POSSIBLE:  
-ROOF RUNOFF IS DISPERSED TO PERVIOUS AREAS OR SHALL DRAIN TO BIO-RETENTION AREA



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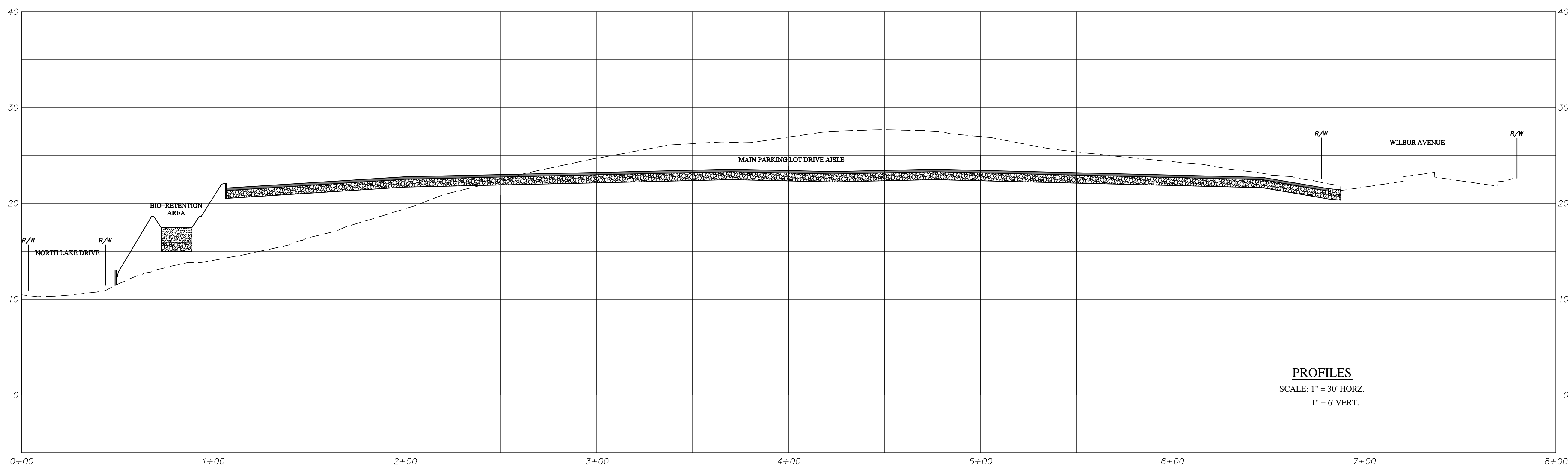


NO.	REVISIONS	BY	APP	DATE

PRELIMINARY C.3  
STORM WATER CONTROL PLAN  
"DELTA COURTYARD APARTMENTS"  
810 WILBUR AVENUE, ANTIOCH, CA

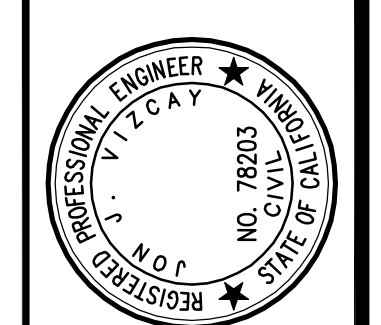


SECTION G-G



**PROFILES**  
SCALE: 1" = 30' HORZ.  
1" = 6' VERT.

SECTION H-H



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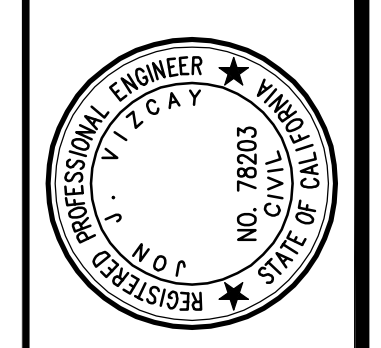
NO.	REVISIONS	BY	APP	DATE

ENGINEERED CROSS-SECTIONS  
"DELTA COURTYARD APARTMENTS"  
810 WILBUR AVENUE, ANTIOCH, CA

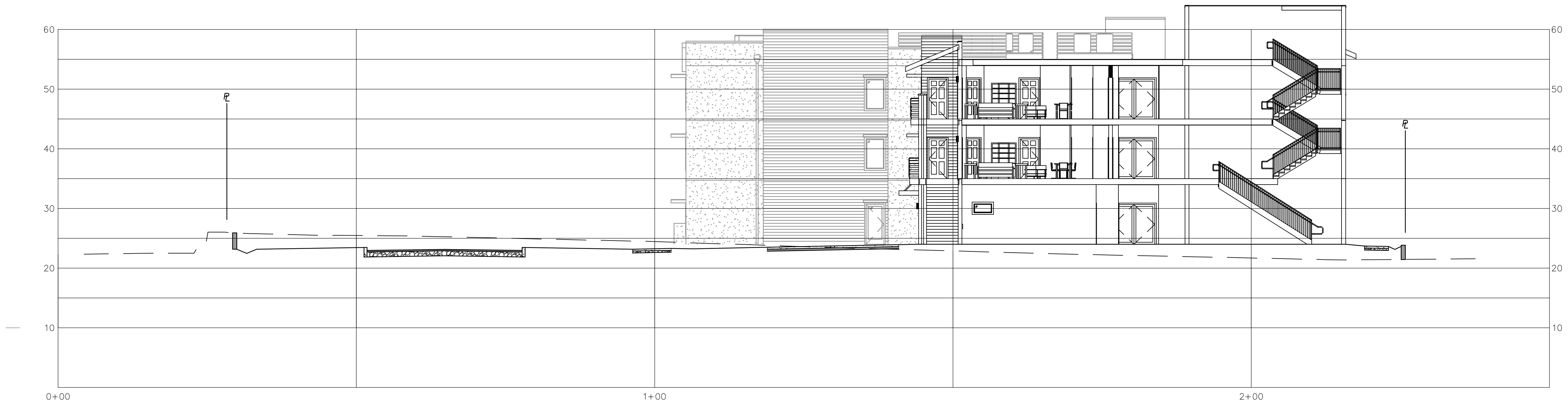
SHEET  
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PROJECT #: 21037



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SECTION I-I

**PROFILES**  
 SCALE: 1" = 10' HORZ.  
 1" = 10' VERT.



SECTION J-J

NO.	REVISIONS	BY	APP	DATE

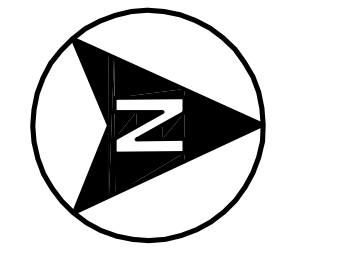
TRUE CROSS-SECTIONS  
 "DELTA COURTYARD APARTMENTS"  
 810 WILBUR AVENUE, ANTIOCH, CA

SHEET  
 8 OF 9  
 DATE  
 09-19-2022  
 PROJECT #: 21037

# TRAFFIC SIGNING AND STRIPING PLAN

## "DELTA COURTYARD APARTMENTS"

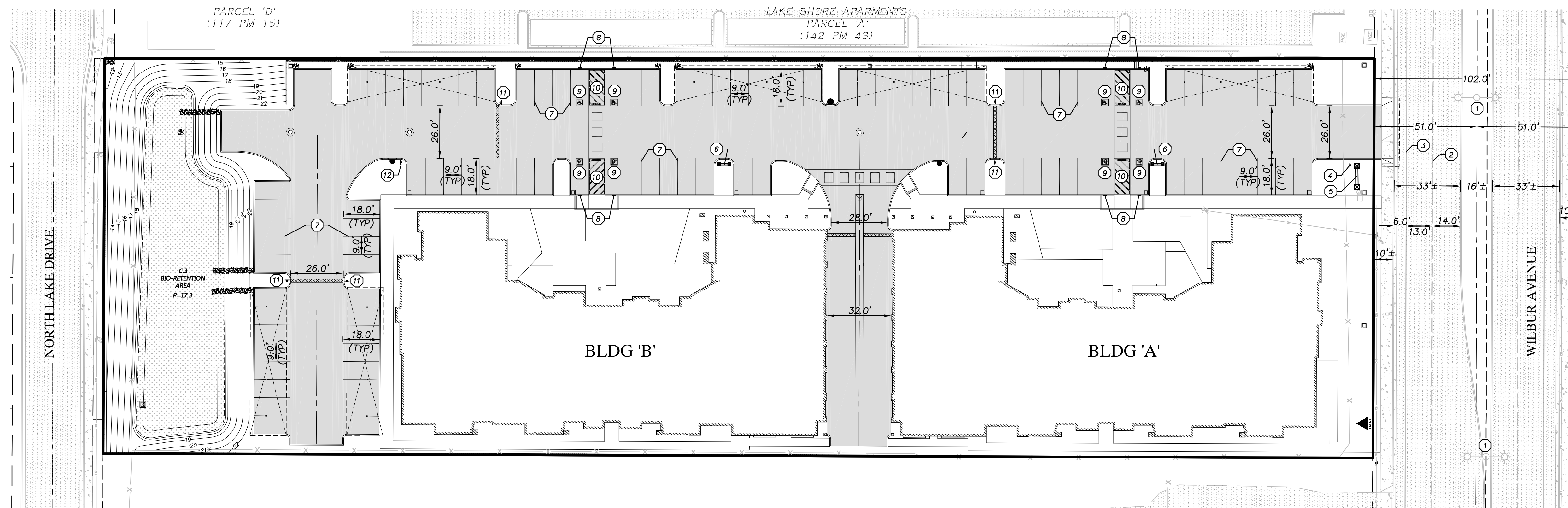
CITY OF ANTIOCH  
 COUNTY OF CONTRA COSTA  
 STATE OF CALIFORNIA



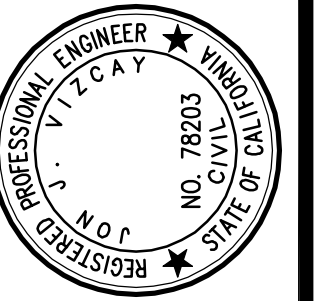
GRAPHIC SCALE  
 ( IN FEET )  
 1 inch = 30 ft.

### KEY LEGEND

- ① EXISTING STREETLIGHT (DOUBLE COBRA-HEAD)
- ② EXISTING 4" THICK DASHED WHITE THERMOPLASTIC STRIPE (DET 8)
- ③ EXISTING 6" THICK WHITE THERMOPLASTIC STRIPE (DET 39)
- ④ "NO LEFT TURN" SIGN R3-2
- ⑤ ENTRANCE MONUMENT SIGN
- ⑥ BUILDING IDENTIFICATION MONUMENT SIGN
- ⑦ 4" THICK WHITE THERMOPLASTIC STRIPING (TYP)
- ⑧ POLE MOUNTED ACCESSIBLE PARKING SPACE SIGN
- ⑨ ADA PARKING STALL SYMBOL (TYP), 9'x18' STALL
- ⑩ 8' WIDE STRIPED ADA ACCESS AISLE
- ⑪ "SPEED HUMP" W17-1
- ⑫ "SPEED HUMP AHEAD" W84 (CA)



BOSMAN  
 701 WILBUR AVENUE  
 APN 065-110-007



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NO.	REVISIONS	BY	APP	DATE

TRAFFIC SIGNING AND STRIPING PLAN  
 "DELTA COURTYARD APARTMENTS"  
 810 WILBUR AVENUE, ANTIOCH, CA

SHEET  
 9 OF 9

DATE  
 09-19-2022

PROJECT #: 21037

# 810 WILBUR AVE APARTMENT

ANTIOCH, CALIFORNIA

## Sheet List Table

Sheet Number	Sheet Title
L-1	PLANT LIST, CHARACTER IMAGES, AND SHEET INDEX
L-2	PLANT PALETTE
L-3	OVERALL SITE, FENCING, AND LIGHTING PLAN
L-4	NORTH COURT ENLARGEMENT
L-5	SOUTH COURT ENLARGEMENT
L-6	HYDROZONE PLAN

## PLANT SCHEDULE

ACCENT TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	
LAG	LAGERSTROEMIA INDICA	GRAPE MYRTLE	24"BOX	L	
PIC	PISTACIA CHINENSIS	CHINESE PISTACHE	24"BOX	L	
COLUMNAR TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	
ACE	ACER RUBRUM 'ARMSTRONG GOLD'	ARMSTRONG RED MAPLE	24"BOX	M	
COURTYARD/PATIO TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	
CER	CERCIS OCCIDENTALIS	WESTERN REDBUD	24"BOX	VL	
COT	COTINUS COGGYGRIA	SMOKE TREE	24"BOX	L	
PARKING TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	
ULM	ULMUS PARVIFOLIA	LACEBARK ELM	24"BOX	M	
SPECIMEN SHADE TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	
OES	OLEA EUROPAEA 'SWAN HILL' TM	SWAN HILL OLIVE	24"BOX	VL	
QUL	QUERCUS LOBATA	VALLEY OAK	24"BOX	L	
STORM WATER TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	
PLA	PLATANUS X ACERIFOLIA 'COLUMBIA'	COLUMBIA LONDON PLANE TREE	24"BOX	M	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
AR	ACACIA REDOLENS	BANK CATCLAW	5 GAL	VL	72" o.c.
AS	ALLIUM SCHOENOPRASUM	COMMON CHIVES	5 GAL	M	24" o.c.
AH	ANIGOZANTHOS X 'HARMONY'	HARMONY YELLOW KANGAROO PAW	5 GAL	L	36" o.c.
BO	BRASSICA OLERACEA	WILD CABBAGE	5 GAL	M	24" o.c.
CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	5 GAL	L	36" o.c.
CV	COPROSMA KIRKII 'VARIEGATA'	CREeping MIRROR PLANT	5 GAL	L	72" o.c.
DG	DIETES GRANDIFLORA 'VARIEGATA'	STRIPED FORTNIGHT LILY	5 GAL	L	36" o.c.
DV	DIETES VEGETA	AFRICAN IRIS	5 GAL	L	36" o.c.
EK	ERIGERON KARVINSKIANUS	SANTA BARBARA DAISY	5 GAL	L	12" o.c.
EF	EUONYMUS FORTUNEI	WINTERCREEPER	5 GAL	M	36" o.c.
FC	FRANGULA CALIFORNICA	CALIFORNIA BUCKTHORN	5 GAL	L	48" o.c.
HY	HEMEROCALLIS X	HYBRID DAYLILY	5 GAL	L	24" o.c.
LA	LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	5 GAL	L	24" o.c.
LI	LOMANDRA LONGIFOLIA 'BREEZE' TM	BREEZE MAT RUSH	5 GAL	M	36" o.c.
LP	LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY'	MAT RUSH	5 GAL	L	36" o.c.
MX	MAHONIA X 'SOFT CARESS'	SOFT CARESS MAHONIA	5 GAL	M	36" o.c.
MD	MUHLBERGIA DUBIA	PINE MUHLY	5 GAL	L	36" o.c.
MF	MYOPORUM PARVIFOLIUM 'FINE LEAF FORM'	TRAILING MYOPORUM	5 GAL	L	60" o.c.
PT	PITTIOSPORUM TENUIFOLIUM	TAWHIWHI	5 GAL	M	48" o.c.
RO	ROSMARINUS OFFICINALIS	ROSEMARY	5 GAL	L	48" o.c.
SB	SALVIA LEUCANTHA 'SANTA BARBARA'	MEXICAN BUSH SAGE	5 GAL	L	48" o.c.
TC	TEUCRIUM FRUTICANS 'COMPACTUM'	COMPACT BUSH GERMANDER	5 GAL	L	36" o.c.
STORM WATER TREATMENT	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
CD	CAREX DIVULSA	EUROPEAN GREY SEDGE	5 GAL	L	24" o.c.
CT	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL	L	36" o.c.
LC	LEYMUS CONDENSATUS 'CANYON PRINCE'	CANYON PRINCE GIANT WILD RYE	5 GAL	L	36" o.c.
MR	MUHLBERGIA RIGENS	DEER GRASS	5 GAL	L	48" o.c.

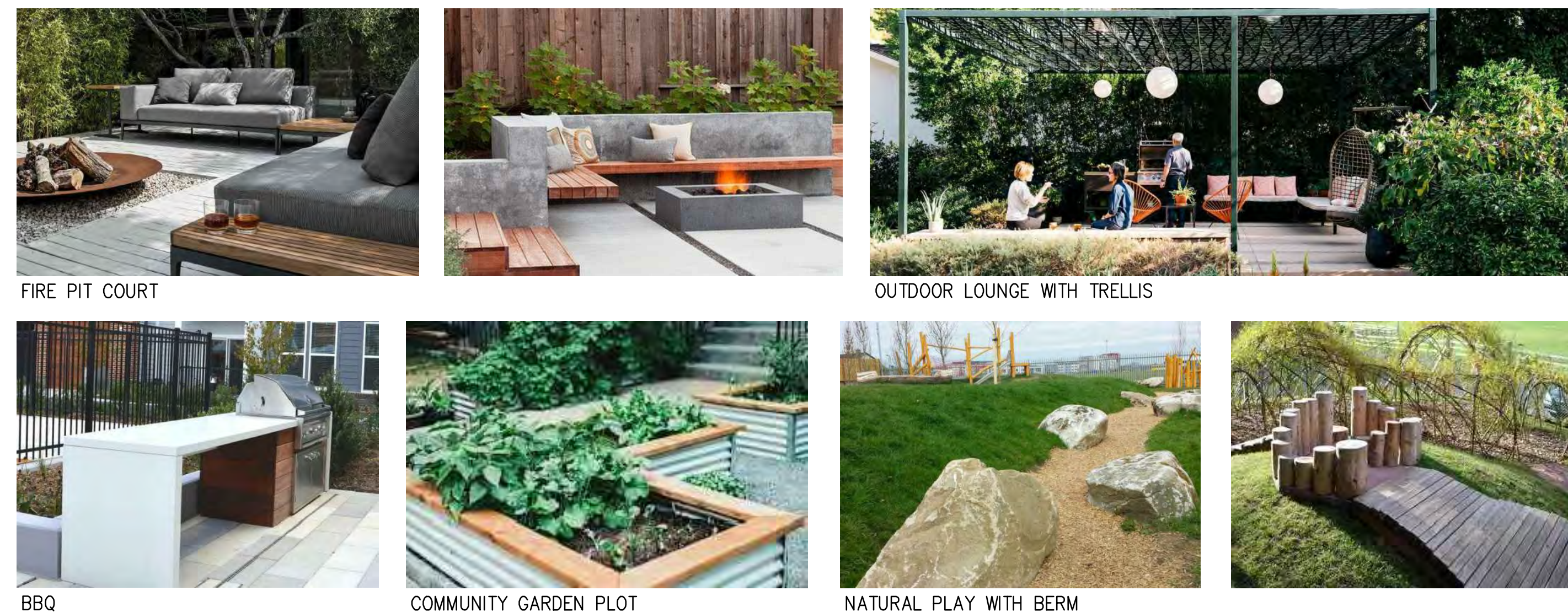
## SITE MATERIAL IMAGES



## PLANTING CHARACTER IMAGES

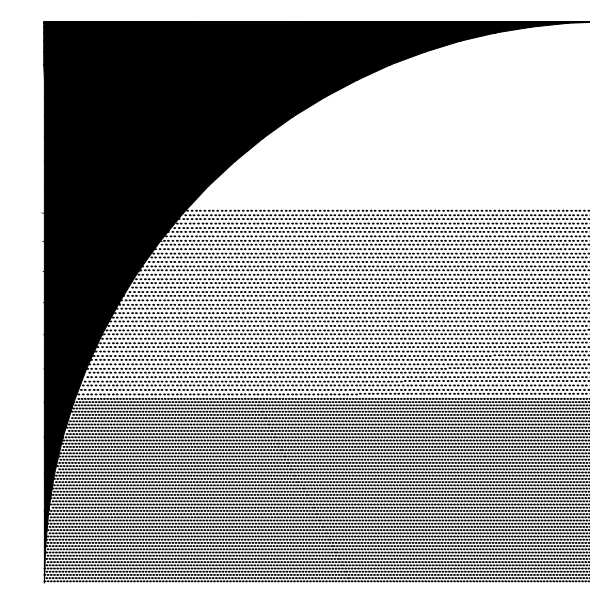


## AMENITY CHARACTER IMAGES



## WATER CONSERVATION STATEMENT

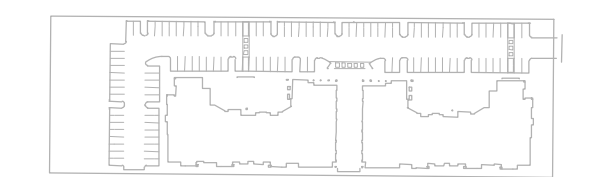
- THE PLANT LIST IS PRELIMINARY IN NATURE. SPECIES SHALL BE ADDED AND SUBTRACTED TO FULFILL THE DESIGN AND HORTICULTURAL REQUIREMENTS AS NECESSARY.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED WITH WATER CONSERVATION IN MIND WHILE ACHIEVING THE GOAL OF EFFECTIVELY AND EFFICIENTLY PROVIDING THE LANDSCAPE WITH WATER BY MEANS OF SPRAY IRRIGATION TO THE SHRUBS/GROUNDCOVER AREAS AND BUBBLERS TO THE TREES.
- THE SPRAY SYSTEM SHALL BE TORO SPRAY HEADS WITH PRESSURE COMPENSATING NOZZLES IN A HEAD TO HEAD LAYOUT TO ACHIEVE AN EVEN LEVEL OF PRECIPITATION THROUGHOUT THE IRRIGATION SYSTEM.
- A STATE-OF-THE-ART IRRIGATION CONTROLLER SHALL BE SPECIFIED FOR THIS PROJECT TO CONTROL THE WATER ALLOCATED TO EACH VALVE GROUPED PER INDIVIDUAL HYDROZONE (BASED ON PLANT TYPE AND EXPOSURE).



**GATES**  
**+ASSOCIATES**  
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## 810 WILBUR AVE APARTMENTS

ANTIOCH CALIFORNIA

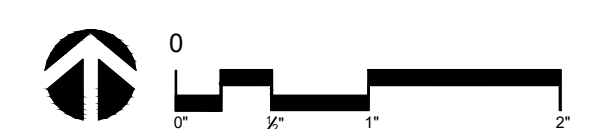


KEY MAP

ISSUE: DESCRIPTION: DATE:

NOT FOR CONSTRUCTION

PROJECT NUMBER: 5928  
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CHECK: JT, KC  
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SCALE:



PLANT LIST, CHARACTER IMAGES, AND SHEET INDEX

L-1



TREES



*Acer rubrum* Red Maple Tree  
*Cotinus coggygia* Smoke Tree  
*Cercis occidentalis* Western Redbud  
*Lagerstroemia indica* Crepe Myrtle  
*Olea e. 'Swan Hill'* Swan Hill Olive



*Pistachia chinensis* Chinese Pistache  
*Platanus a. 'Columbia'* London Plane  
*Quarecus lobata* Valley Oak  
*Ulmus parvifolia* Chinese Elm

SHRUBS AND GROUND COVERS



*Acacia r. 'Prostrata'* Prostrate Acacia  
*Allium schoenoprasum* Chives  
*Anigosanthos spp.* Kangaroo Paw  
*Brassica oleracea* Ornamental Kale  
*Calamagrostis acutiflora* Feather Reed Grass  
*Coprosma k. 'Variegata'* Variegated Mirror Plant  
*Dietes g. 'Variegata'* Variegated Fortnight Lily  
*Dietes vegeta* Fortnight Lily



*Erigeron karvinskianus* Mexican Fleabane  
*Euonymun fortunei* Japanese Euonymun  
*Frangula californica* Coffeeberry  
*Hemerocallis spp.* Evergreen Day Lily  
*Lavandula augustifolia* Lavender  
*Lomandra l. 'Breeze'* Dwarf Mat Rush  
*Lomandra l. Platinum Beauty'* Variegated Dwarf Mat Rush  
*Mahonia e. 'Soft Caress'* Soft Caress Mahonia



*Muhlenbergia dubia* Pine Muhly  
*Myoporun parvifolium* Fine Leaf Form  
*Pittosporum spp.* Pittosporum  
*Rosmainus spp.* Rosemary  
*Salvia leucantha* Santa Barbara Sage  
*Teucrium f. 'Compactum'* Bush Germander

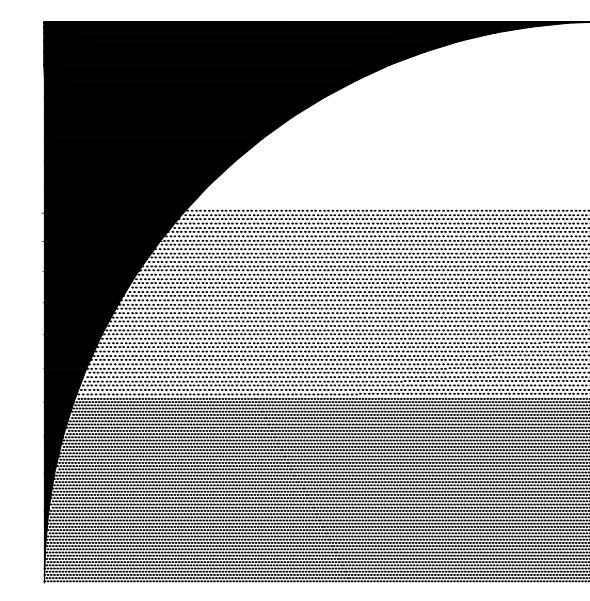
STORM WATER TREATMENT



*Carex divulsa* Grey Sedge  
*Condropetalum t.* Cape Rush



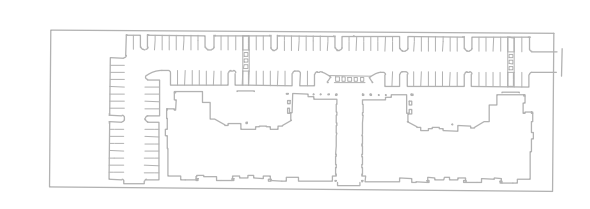
*Leymus condensatus* California Wild Rye  
*Muhlenbergia rigens* Deer Grass



**GATES  
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810 WILBUR  
 AVE  
 APARTMENTS

ANTIOCH  
 CALIFORNIA

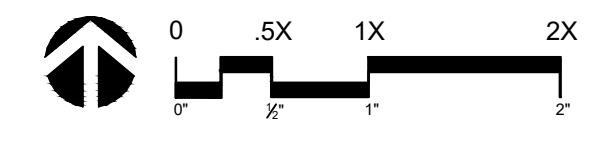


KEY MAP

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 SCALE: SCALE



PLANT PALETTE

L-2

PATH: F:\ANTIOCH\WILBUR AVE APARTMENT\ACAD\SHETS\LDC-C-WILDWG  
 PLOT DATE: 12/7/2021 3:07 PM



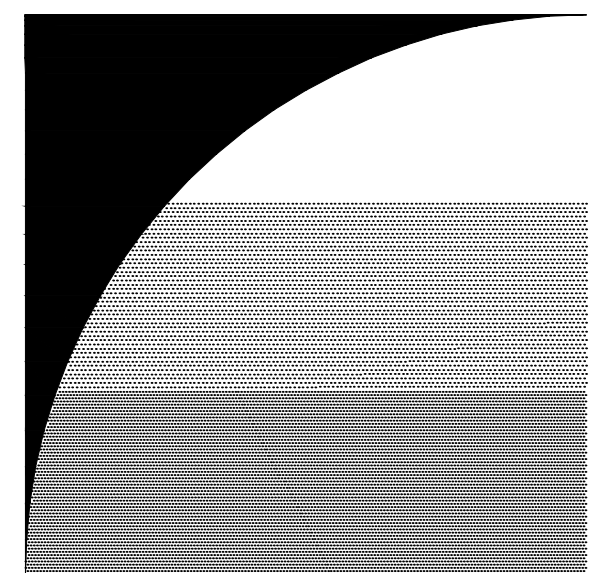
FENCING LEGEND

- x—x—x—x— 6'H WOOD PRIVACY FENCE
- o—o—o—o— 4'H 2-RAIL WOOD FENCE

LIGHTING LEGEND

- PARKING/DRIVE AISLE LIGHT  
 MFR: BEGA OR SIMILAR  
 MODEL: 88 977 LED, 39W WITH INTEGRAL HOUSE  
 SIDE SHIELD LOUVER  
 FINISH: CUSTOM POWDER COAT  
 COLOR: SUPER DURABLE 038/90015 PEARL DARK  
 DRAY BY TIGER DRYLAC POWDER COATINGS  
 POLE: 16'H
- PATHWAY LIGHT  
 MFR: BEGA OR SIMILAR  
 MODEL: 84 238 LED, 11.5W SHIELDED BOLLARD  
 FINISH: CUSTOM POWDER COAT  
 COLOR: SUPER DURABLE 038/90015 PEARL DARK  
 DRAY BY TIGER DRYLAC POWDER COATINGS  
 POLE: 37-1/4"H

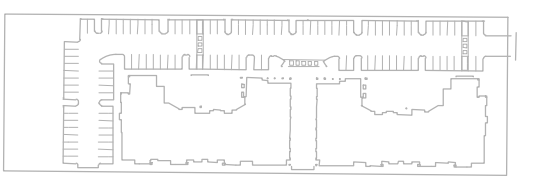
- NOTE:
1. THE PERIMETER LIGHTING WILL BE SHIELDED WITH ADEQUATE ANGLE AND WILL BE DIRECTED TO THE INTERIOR.
  2. THE SITE LIGHTING PLAN IS SUBJECT TO REVISIONS WHEN A PHOTOMETRIC STUDY IS DONE.



**GATES**  
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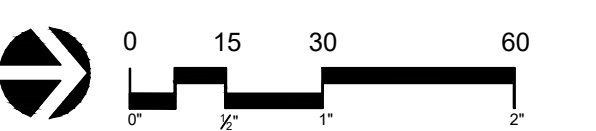


KEY MAP

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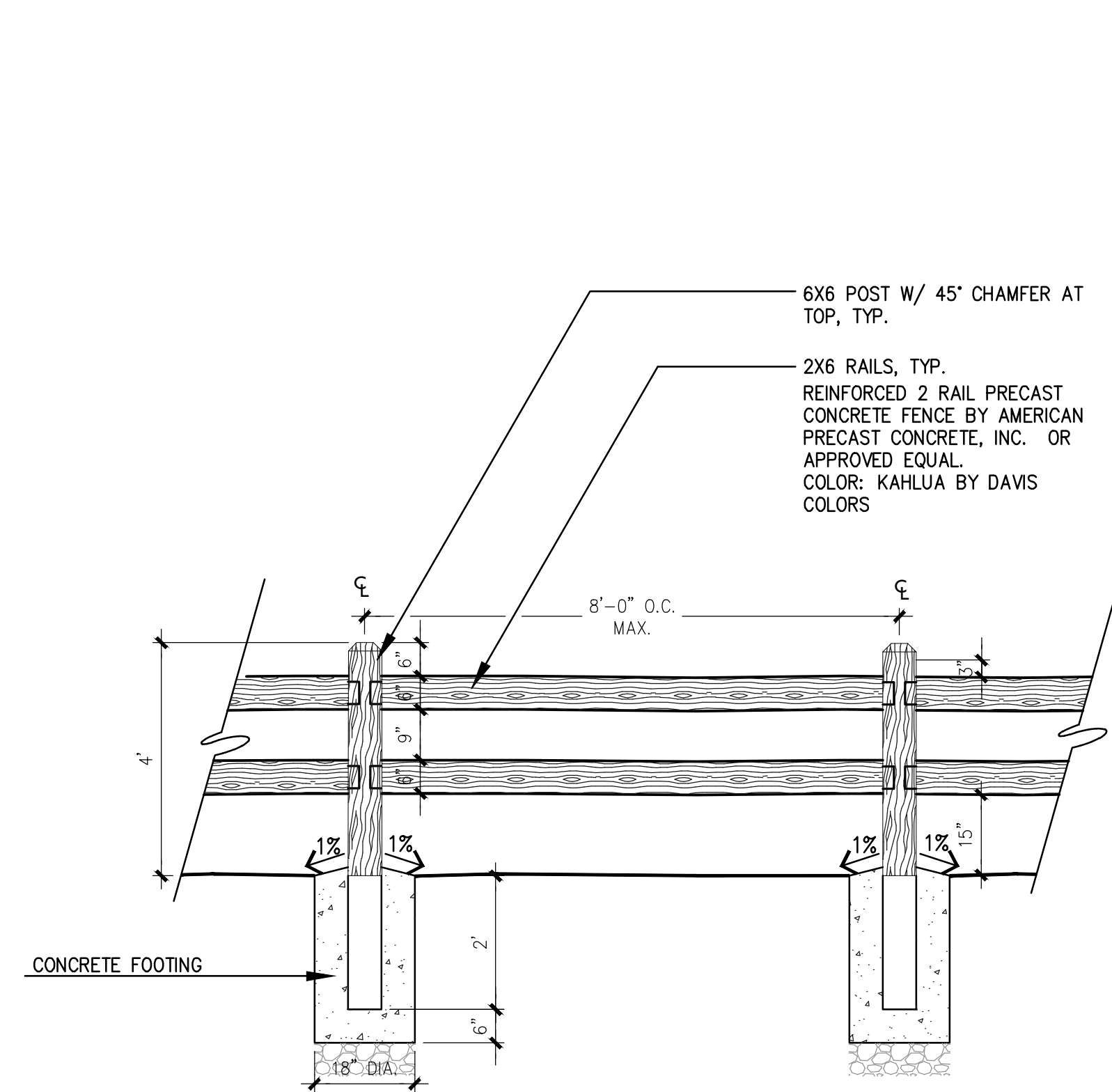
**NOT FOR  
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PROJECT NUMBER:	5928
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DATE:	12-07-2021
SCALE:	1" = 30'-0"

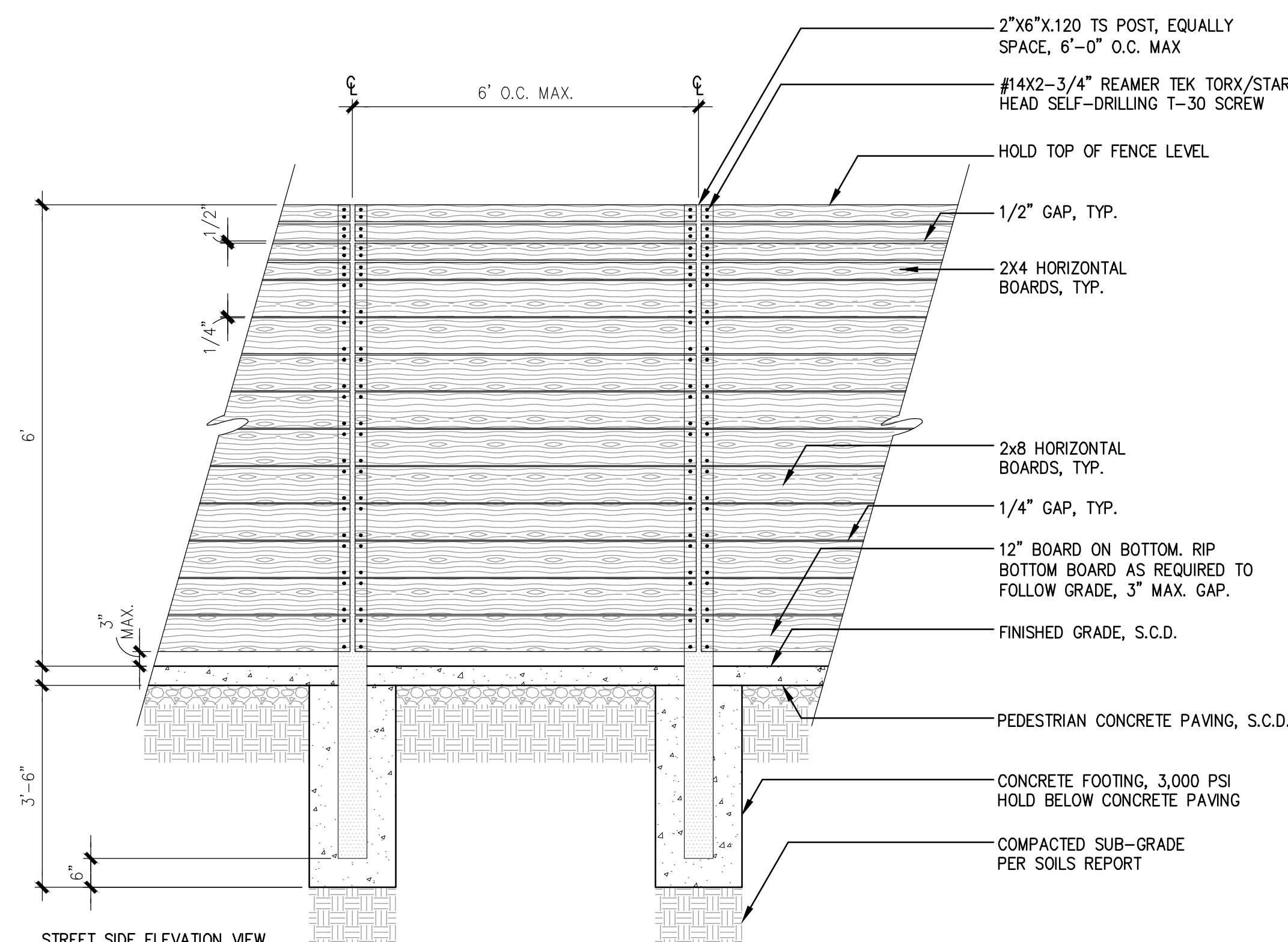


OVERALL SITE, FENCING,  
 AND LIGHTING PLAN

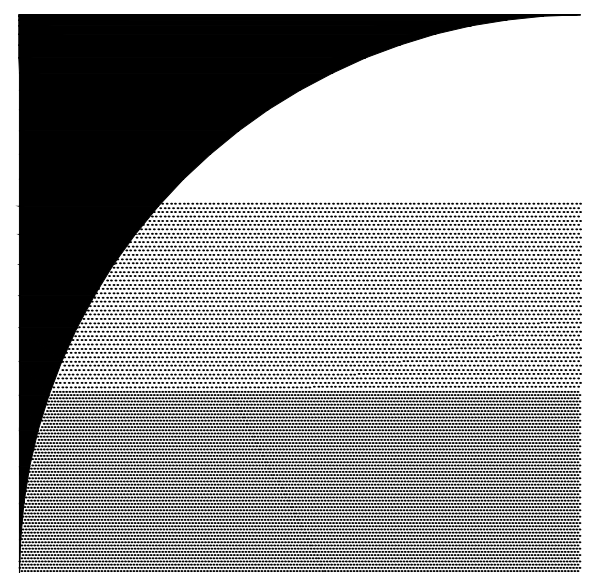
**L-3**



4'H 2-RAIL WOOD FENCE  
 SCALE: 1/2" = 1'-0"



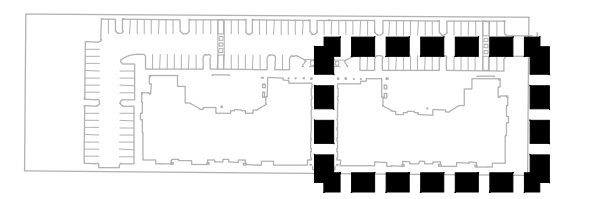
6'H PRIVACY WOOD FENCE  
 SCALE: 1/2" = 1'-0"



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**810 WILBUR  
 AVE  
 APARTMENTS**

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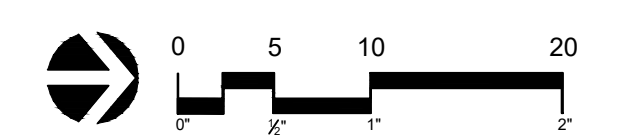


KEY MAP

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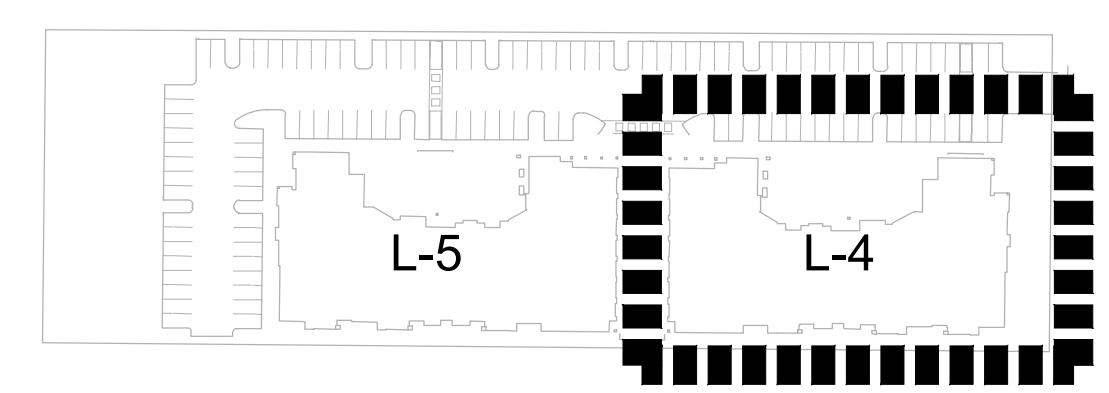
NORTH COURT  
 ENLARGEMENT

**L-4**



MATCHLINE - SEE L-5

REFER TO L-1 FOR PLANT LIST

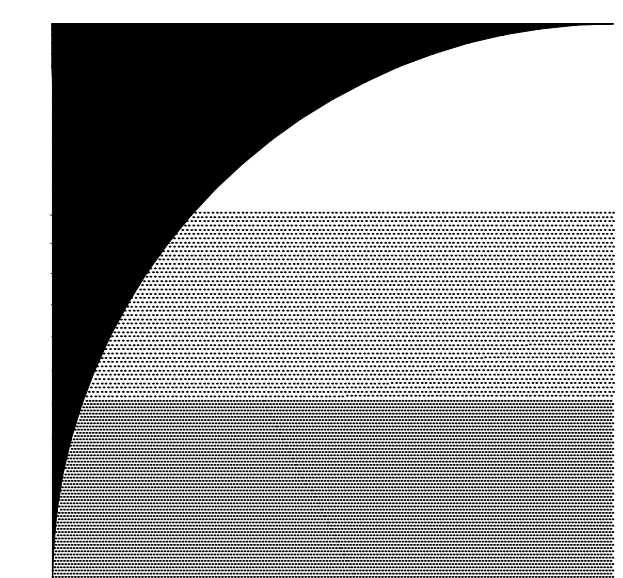


KEY MAP



SEE L-1 FOR PLANT LIST

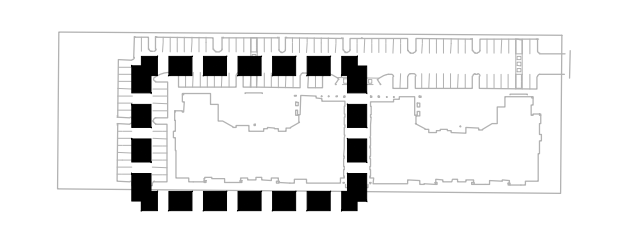
MATCHLINE - SEE L-4



**GATES**  
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**810 WILBUR**  
**AVE**  
**APARTMENTS**

ANTIOCH  
 CALIFORNIA

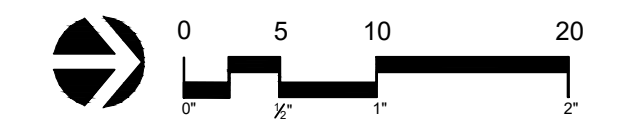


KEY MAP

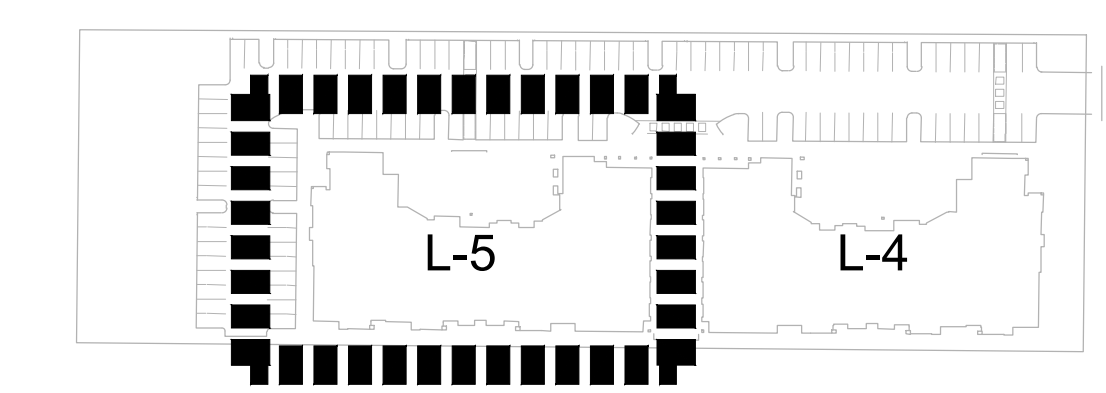
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PROJECT NUMBER:	5928
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DATE:	12-07-2021
SCALE:	1" = 10'-0"

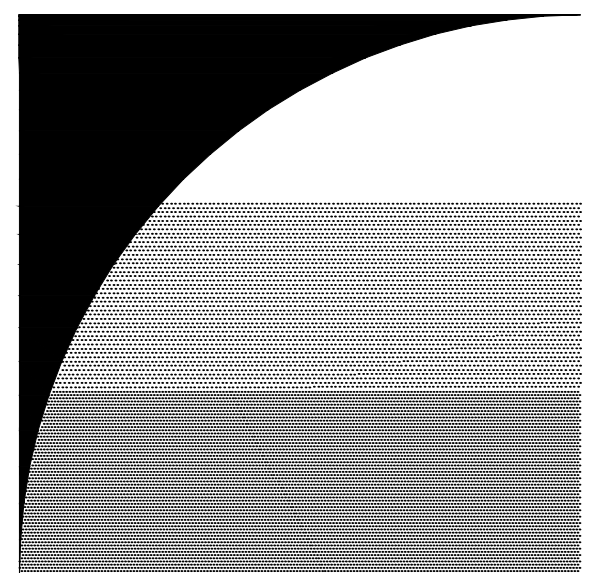


**SOUTH COURT**  
**ENLARGEMENT**



KEY MAP

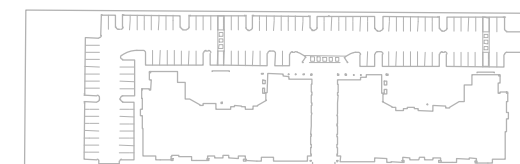
**L-5**



**GATES + ASSOCIATES**  
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**810 WILBUR AVE APARTMENTS**

ANTIOCH CALIFORNIA

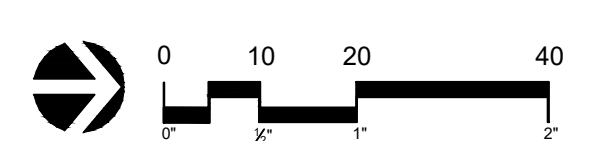


KEY MAP

ISSUE: DESCRIPTION: DATE:

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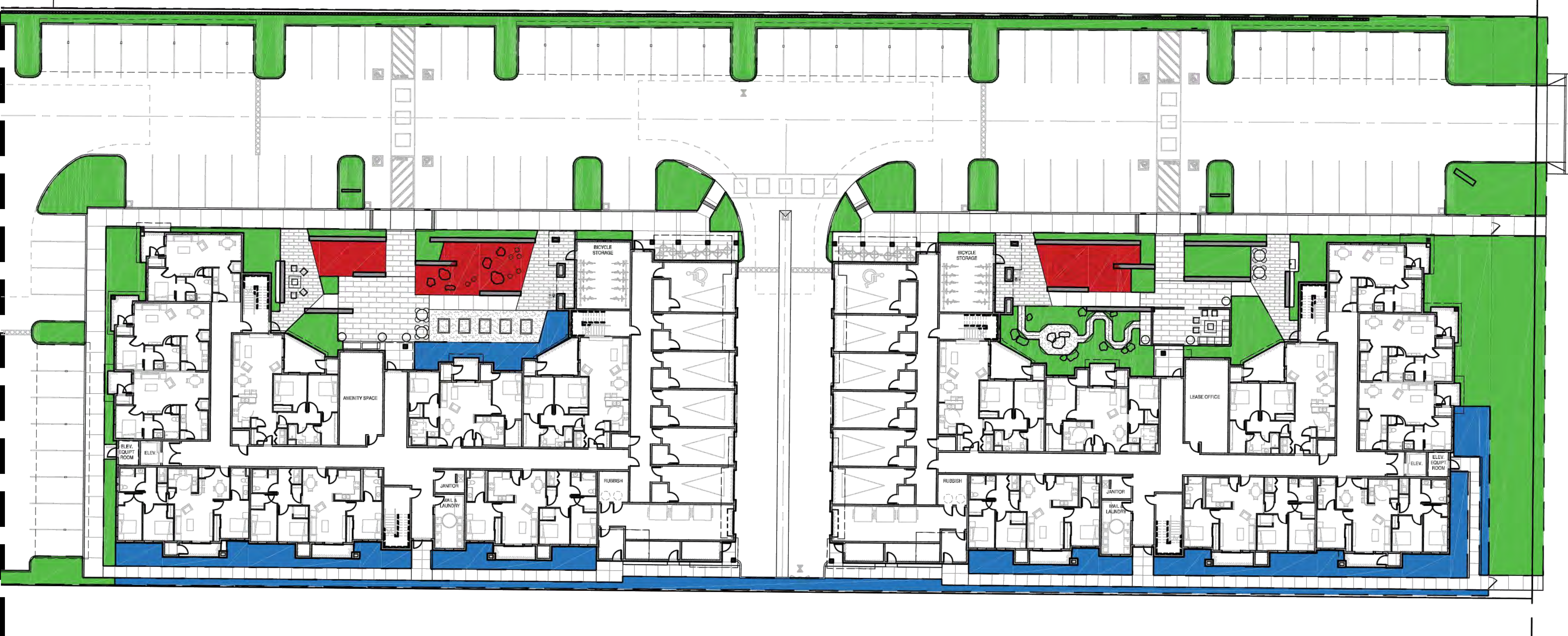
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 DATE: 12-07-2021  
 SCALE: 1" = 20'-0"



HYDROZONE PLAN

**L-6**

MATCHLINE - SEE BOTTOM LEFT

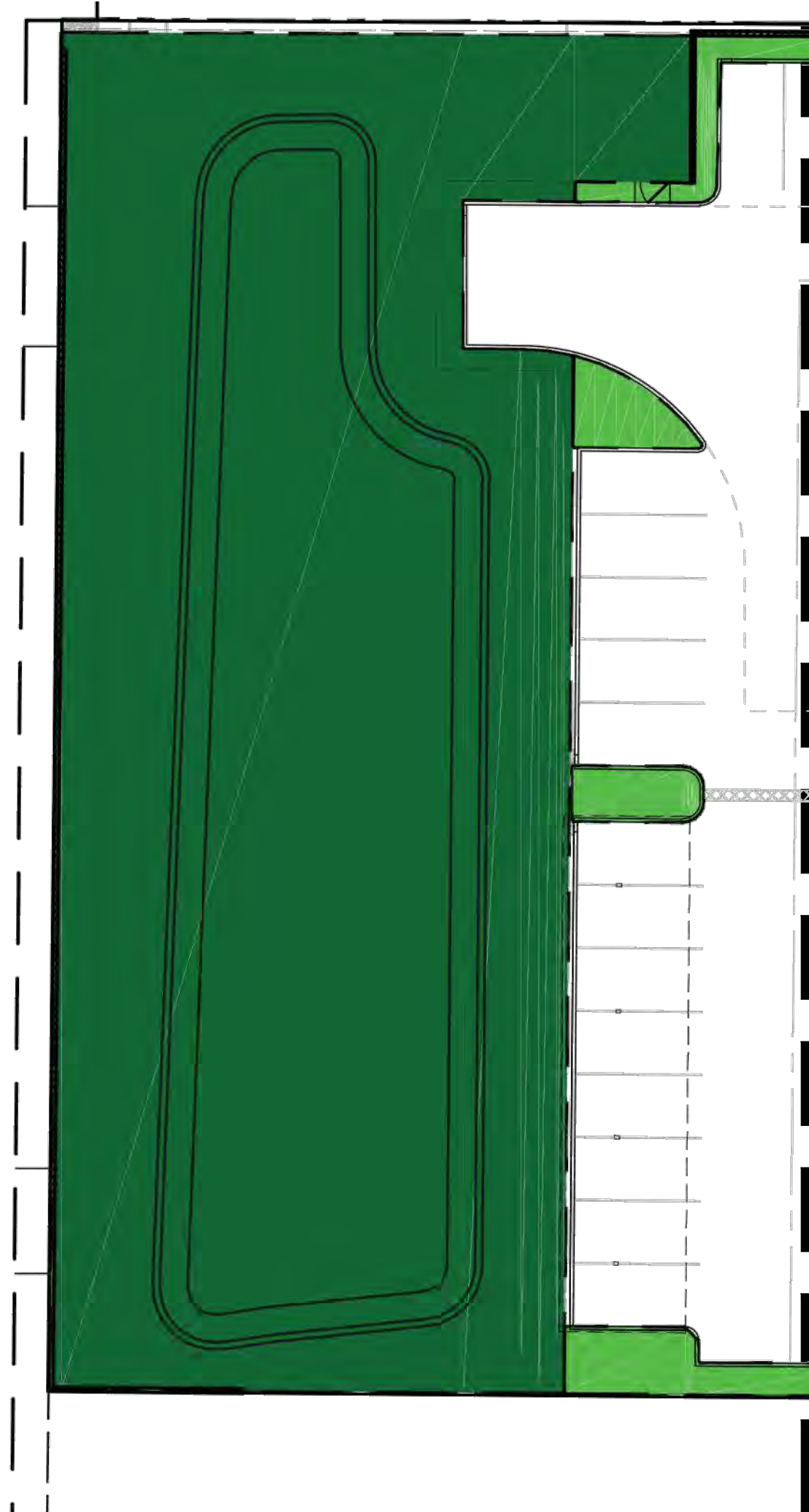


WILBUR AVE

HYDROZONE LEGEND

- LOW SPRAY IRRIGATION
- LOW BUBBLERS/DRIP IRRIGATION
- MODERATE BUBBLERS/DRIP IRRIGATION
- HIGH TURF SPRAY IRRIGATION

MATCHLINE - SEE ABOVE



Water calculation worksheet for the Model Water Efficient Landscape Ordinance AB 1881

Total Landscape Area (sf)	37,632	KL	Landscape Coefficient	Eto	Referenced Evapotranspiration Rate				
Special Landscape Area (SLA)	0	Ks	Species Factor	ETAF	ET Adjustment factor				
Historical Eto for project city	45.4	Kd	Density Factor	LA	Total Landscape area				
Turf Rotor Efficiency	0.75	Kmc	Microclimate Factor	0.62	Conversion factor to gallons				
Flood bubbler Irrigation Efficiency	0.81	IE	Irrigation Efficiency	SLA	Special Landscape Area				
Spray irrigation Efficiency	0.75								
Drip Irrigation Efficiency	0.81	MAWA = (Eto)(0.62)[0.55 x LA + 0.45 x SLA]							
Stream Spray Efficiency	0.75	ETWU = (Eto)(0.62)[(PFxHA / IE) + SLA]							
<b>Maximum Applied Water Use (MAWA)</b>									
	Eto	Conversion	ETAF	LA	(1-ETAF) SLA	Gallons per year			
Total landscape area	45.4	0.62	0.55	37,632	0.45	5,245	649,032		
<b>MAXIMUM APPLIED WATER ALLOWANCE</b>						<b>649,032</b>			
<b>Estimated Total Water Use (ETWU)</b>									
Hydrozone & Irrigation method	Area (sf)	Eto	Ks	Kd	Kmc	KL	IE	Conversion	Gallons per year
Low water use with bubblers / drip irrigation	14,053	45.4	0.3	1	1	0.3	0.81	0.62	146,505
Low water use with spray (Stormwater Treatment)	14,257	45.4	0.3	1	1	0.3	0.75	0.62	160,522
Moderate water use shrubs with bubblers / drip	4,077	45.4	0.5	1	1	0.5	0.81	0.62	70,839
High water use turf with spray	5,245	45.4	0.8	1	1	0.8	0.75	0.62	157,479
<b>Total area</b>									
<b>37,632</b>									
<b>TOTAL WATER APPLIED</b>						<b>535,345</b>			
<b>Difference between MAWA &amp; ETWU</b>						<b>113,687</b>			
<b>% ETWU is under MAWA</b>						<b>17.5%</b>			