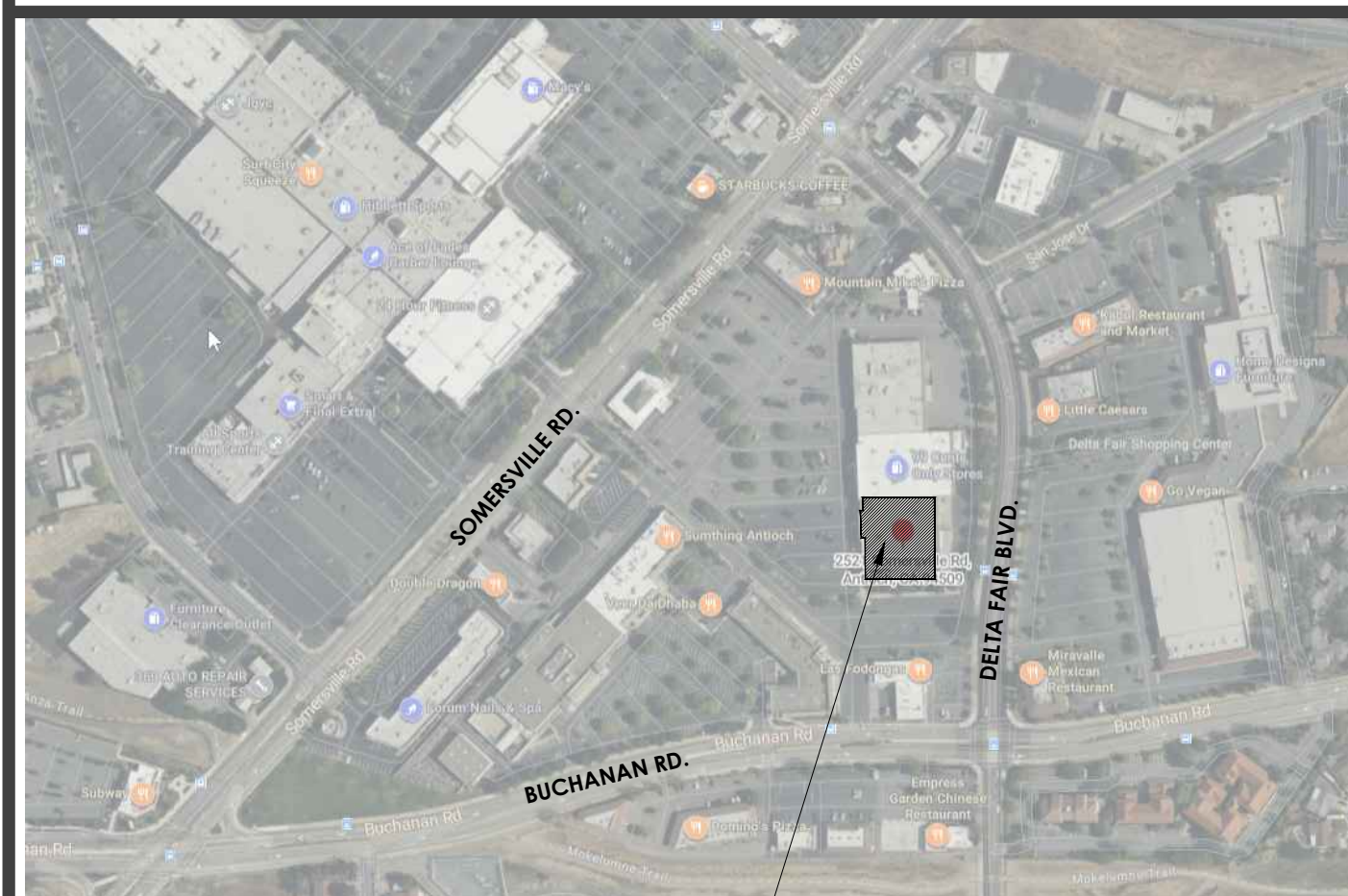


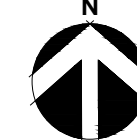
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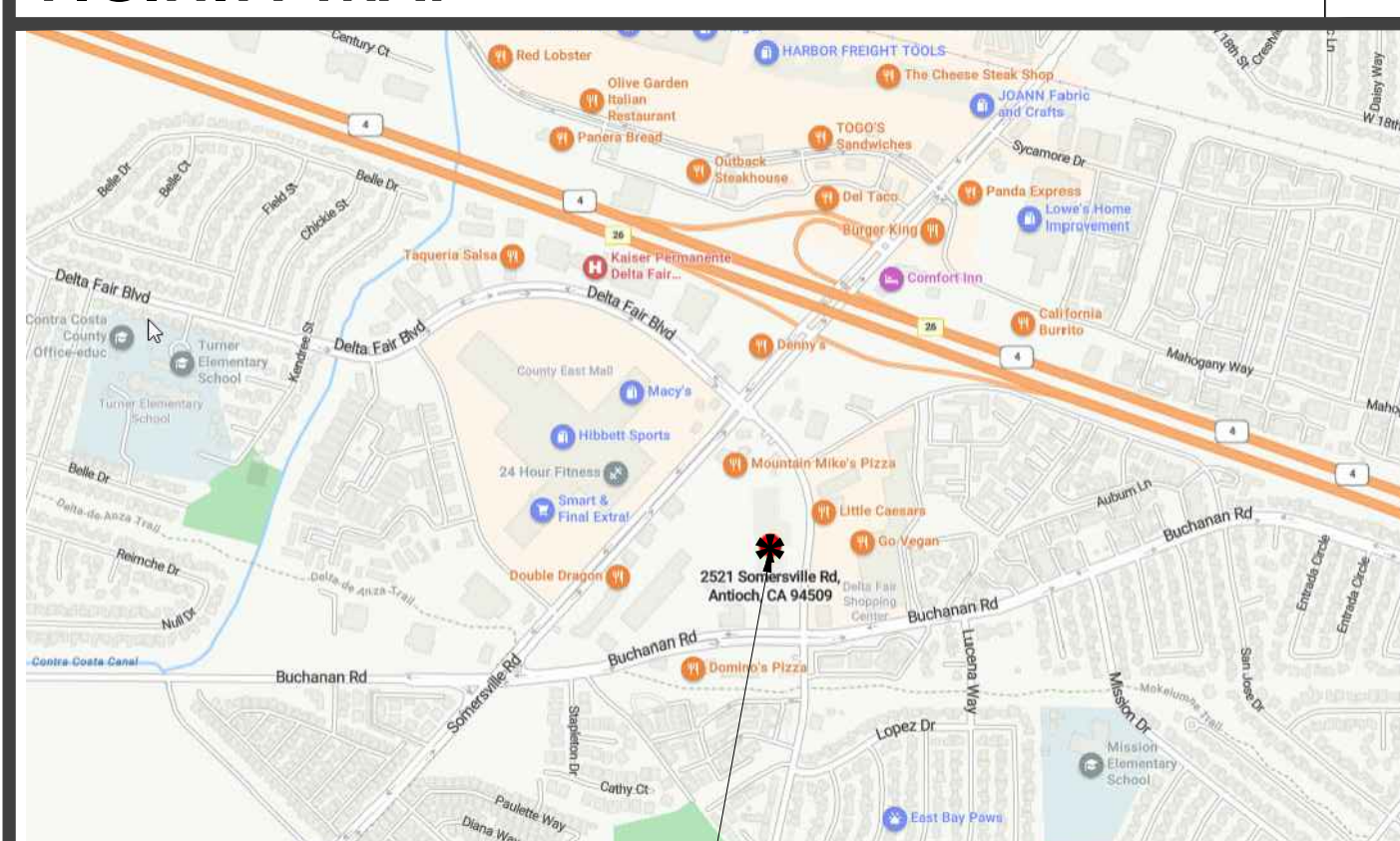
ANTIOCH, CALIFORNIA - STORE NO. 1241 PLANNING APPROVAL



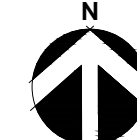
1241 - PROJECT LOCATION



VICINITY MAP 12



1241 - PROJECT LOCATION



PROJECT LOCATION 11



NOT USED 10



NOT USED 09

ADDRESS: 2521 SOMERSVILLE ROAD
ANTIOCH, CALIFORNIA 94509

JURISDICTION: CITY OF ANTIOCH, CALIFORNIA

PARCEL NUMBER: 076-432-008

LEGAL DESCRIPTION: PARCEL MAP 23 PG 13 PCL 1
(FULL DESCRIPTION NOT PROVIDED ON ASSESSORS WEBSITE)

ZONE: C3 - REGIONAL COMMERCIAL DISTRICT

LOT SIZE: 3.45 ACRES

SQUARE FOOTAGE: 28,818

NUMBER OF STORIES: ONE

DEPARTMENT OF PLANNING AND PERMITTING: CITY OF ANTIOCH, CA PLANNING & BUILDING SERVICES DIVISIONS
200 "H" STREET
ANTIOCH, CA 94509
PHONE: (925) 779-7065

CONSTRUCTION TYPE: TYPE III-B - FULLY SPRINKLERED (UNCHANGED)

OCCUPANCY: M - MERCANTILE (UNCHANGED)

PARKING: TOTAL COUNT OF PARKING TO REMAIN UNCHANGED

APPLICABLE CODES:

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- ACCESSIBILITY CODE - 2009 ANSI A 117.1
- CITY OF ANTIOCH ZONING ORDINANCE

PROJECT DESCRIPTION: CUP SUBMITTAL FOR SECONDHAND USE.

PARKING REQUIREMENTS (CITY OF ANTIOCH, CA ZONING ORDINANCE TABLE 9-5.1703.1 OFF STREET PARKING)

RETAIL: - 5/SPACES/1,000 SF OF GROSS FLOOR AREA

SHOPPING CENTER: - 5/SPACES/1,000 SF OF GROSS FLOOR AREA
- 28,818 SF / 1,000 = 29x5 = 145 STALLS REQUIRED
- ACCESSIBLE PARKING SPACES REQUIREMENTS:
51 - 200 SPACES: 6 ACCESSIBLE INCLUDING 1 VAN

EXISTING		PROPOSED	
156	(E) PARKING SPACES	151	(E) PARKING SPACES
4	(E) ADA PARKING	4	(E) ADA PARKING
		5	(N) DESIGNATED DONATION DROP OFF
160 STALLS TOTAL EXISTING		160 STALLS TOTAL PROPOSED	

PROJECT INFORMATION 05

OWNER

RED MOUNTAIN GROUP
1234 EAST SEVENTEENTH STREET
SANTA ANA, CA 92701
CONTACT: GRAHAM ALLCHORN
PHONE: (310) 849-7112
PHONE: GALLCHORN@RMRGINC.COM

TENANT/CONSTRUCTION MANAGER

TVI, INC (dba 2nd AVE.)
11400 SE 6th STREET, SUITE 125
BELLEVUE, WA 98004
CONTACT: CHRIS RECORD
PHONE: (425) 410-2083
EMAIL: CRECORD@SAVERS.COM

ARCHITECT/APPLICANT

KEN MCCRACKEN, ARCHITECT
19401 40TH AVENUE WEST, SUITE 420
LYNNWOOD, WA 98036
CONTACT: KAREN WALLACE
PHONE: (425) 405-7752
EMAIL: KWALLACE@PMDGINC.COM

PROJECT TEAM 03

KEY:

- : ISSUED
- : ISSUED FOR REFERENCE

SHEET #	SHEET TITLE	DATE	ISSUED FOR
	BLANK COVER SHEET - FOR STAMP AND SIGNATURE		
ARCHITECTURAL DRAWINGS			
A00.0	COVER SHEET		
A01.0	SITE PLAN		
A02.0	PROPOSED FLOOR PLAN		
A03.0	EXTERIOR ELEVATIONS		
A03.1	RENDERED EXTERIOR ELEVATIONS		

34 - TOTAL SHEETS

SHEET INDEX 01

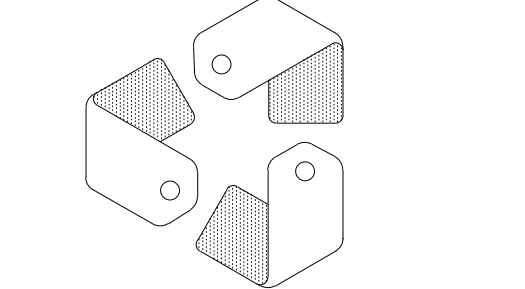
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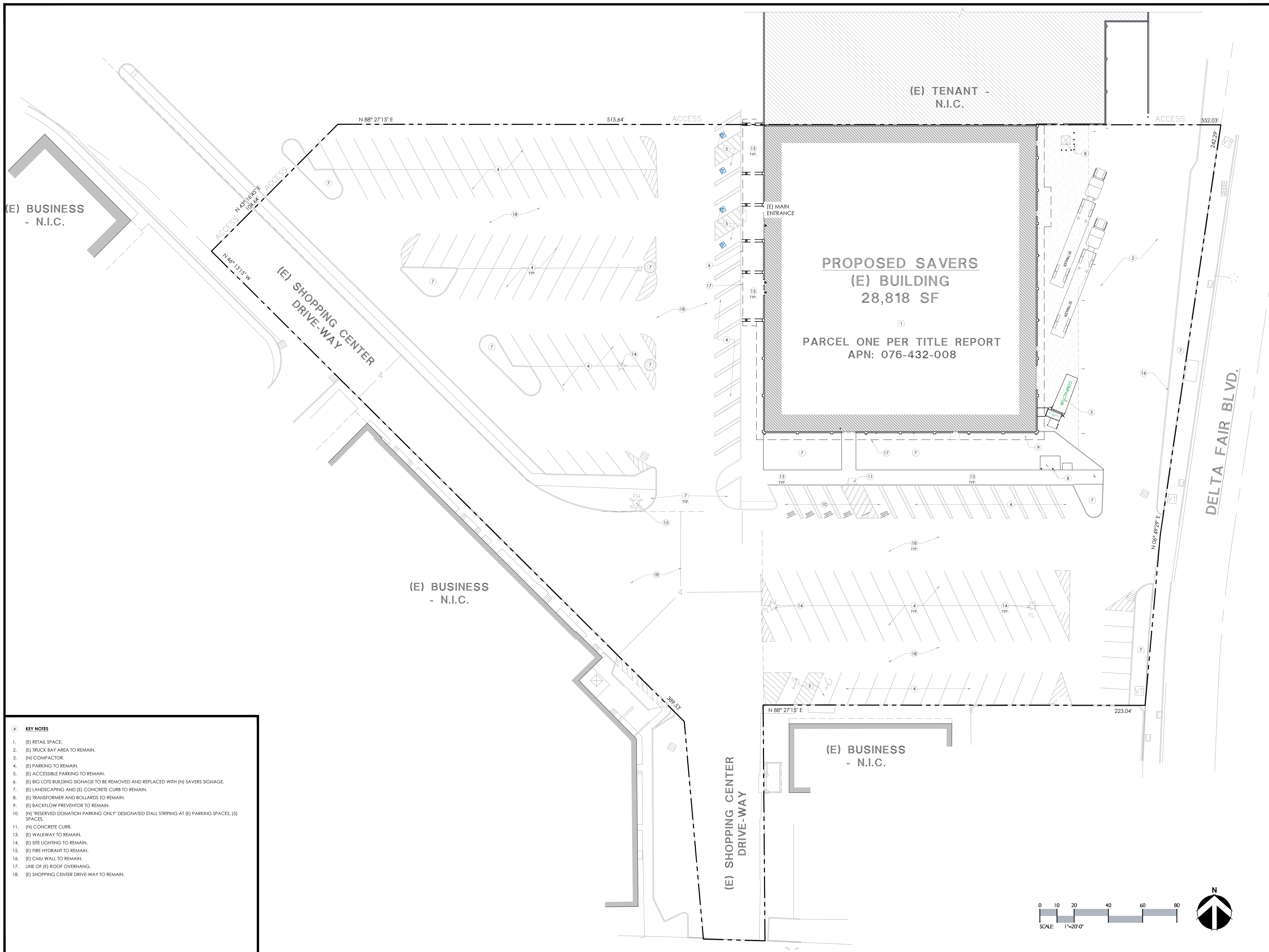
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Sheet Name
COVER SHEET

Sheet Number
A00.0



- KEY NOTES**
1. (E) RETAIL SPACE.
 2. (E) TRUCK BAY AREA TO REMAIN.
 3. (N) COMPACTOR.
 4. (E) PARKING TO REMAIN.
 5. (E) ACCESSIBLE PARKING TO REMAIN.
 6. (E) BIG LOTS BUILDING SIGNAGE TO BE REMOVED AND REPLACED WITH (N) SAVERS SIGNAGE.
 7. (E) LANDSCAPING AND (E) CONCRETE CURB TO REMAIN.
 8. (E) TRANSFORMER AND BOLLARDS TO REMAIN.
 9. (E) BACKFLOW PREVENTOR TO REMAIN.
 10. (N) "RESERVED DONATION PARKING ONLY" DESIGNATED STALL STRIPING AT (E) PARKING SPACES. (S) SPACES.
 11. (N) CONCRETE CURB.
 12. (E) WALKWAY TO REMAIN.
 13. (E) SITE LIGHTING TO REMAIN.
 14. (E) FIRE HYDRANT TO REMAIN.
 15. (E) CMU WALL TO REMAIN.
 16. LINE OF (E) ROOF OVERHANG.
 17. (E) SHOPPING CENTER DRIVE-WAY TO REMAIN.
 18. (E) SHOPPING CENTER DRIVE-WAY TO REMAIN.

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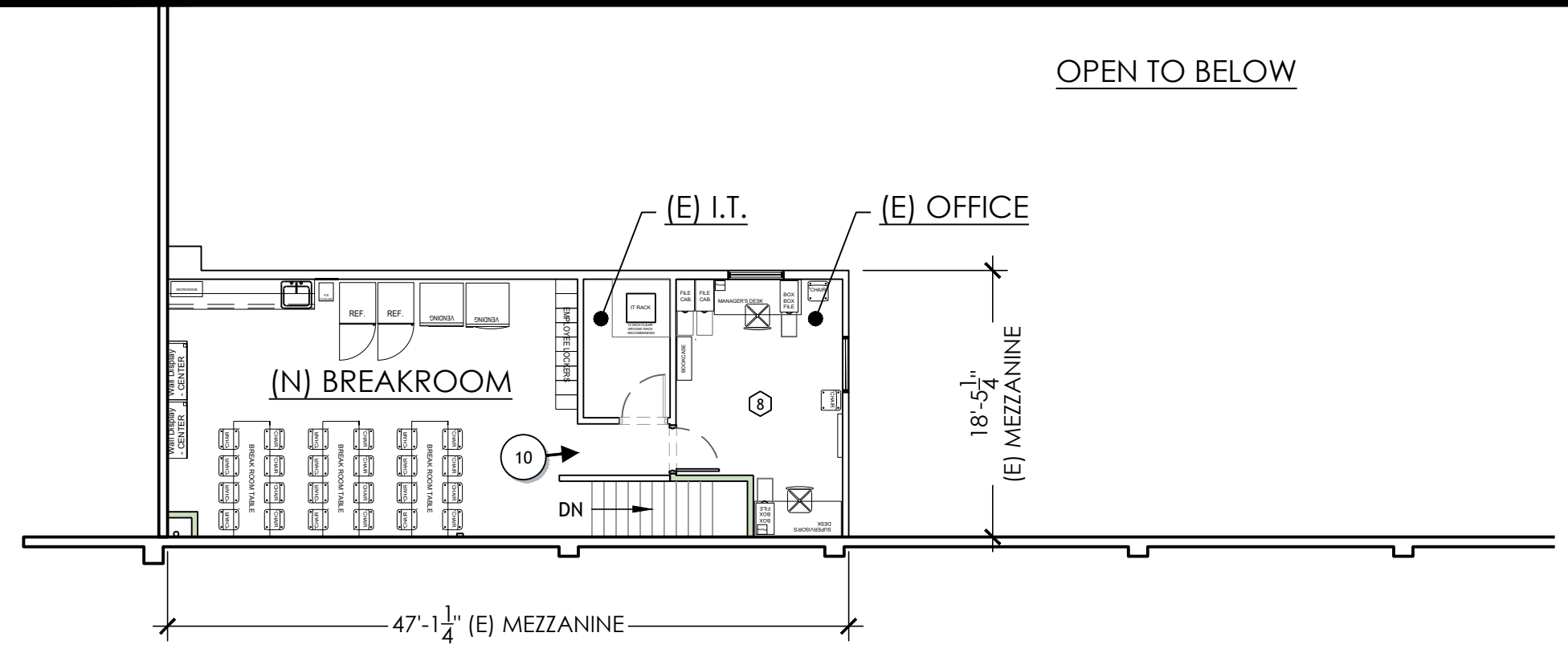
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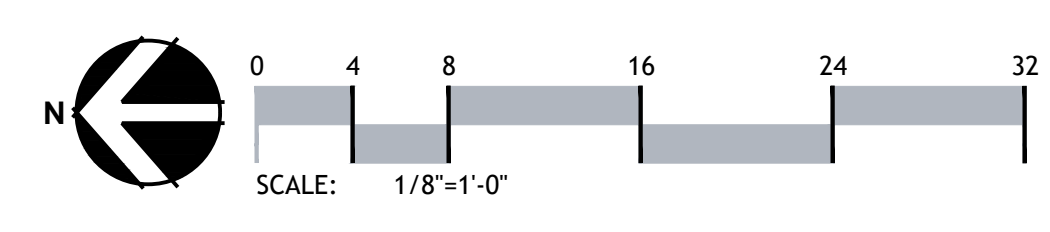
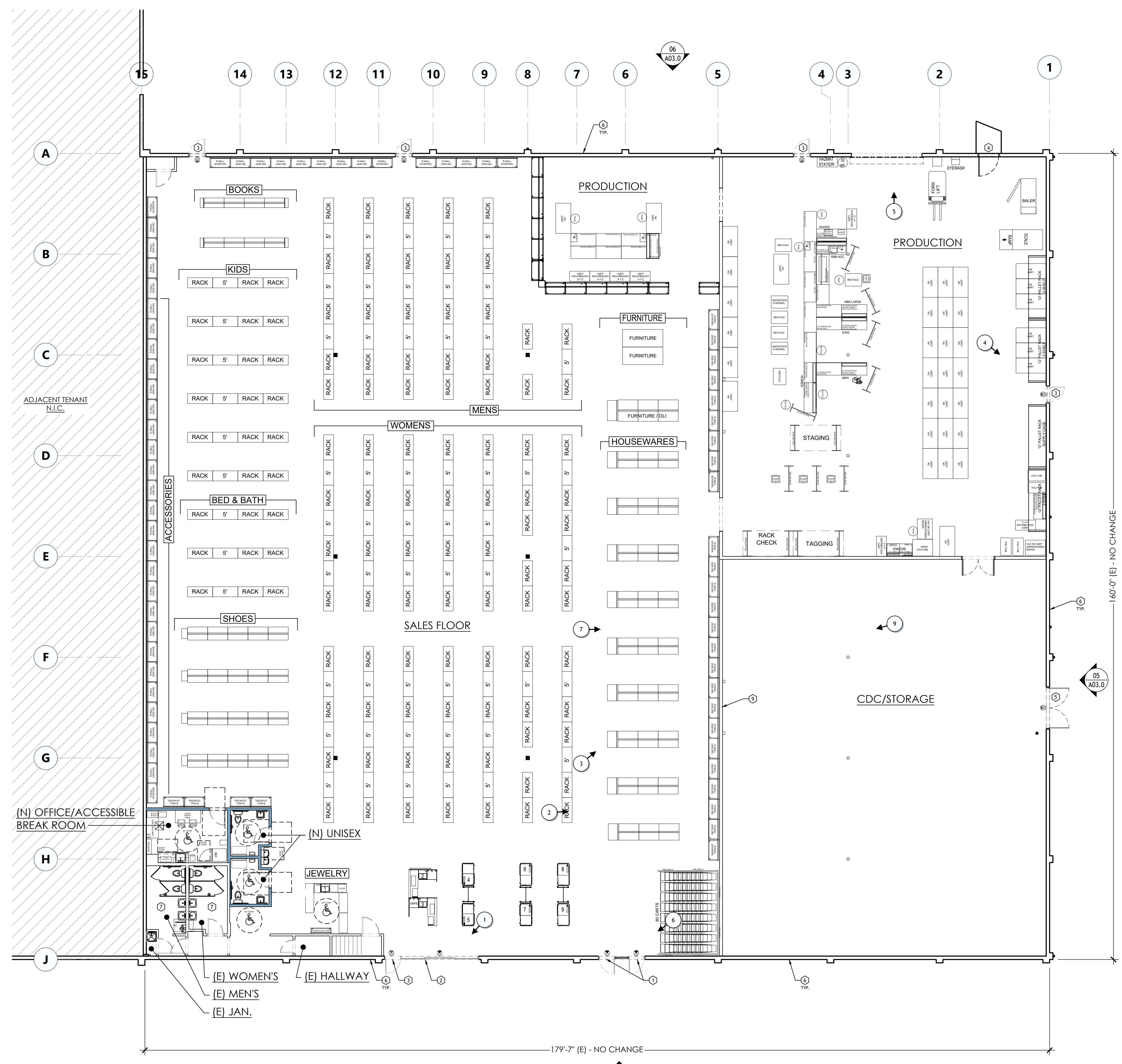
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Sheet Number
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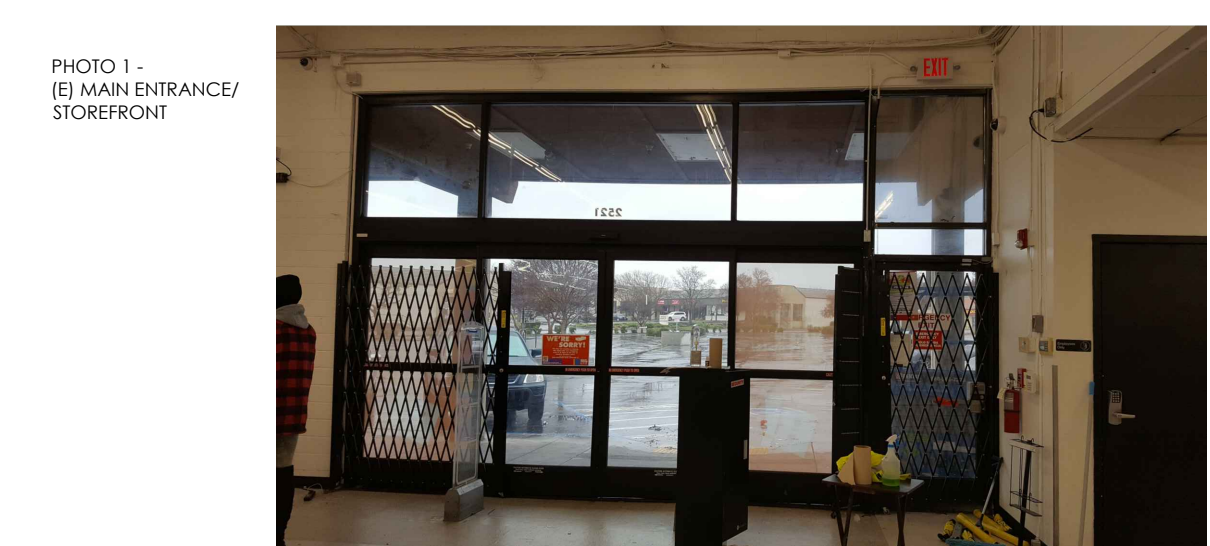
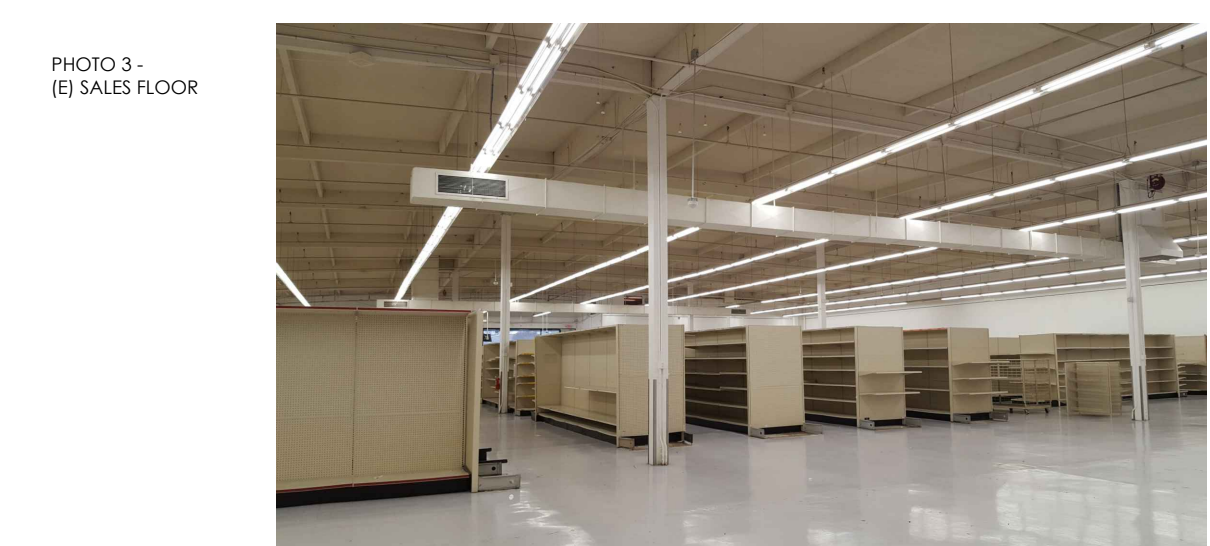
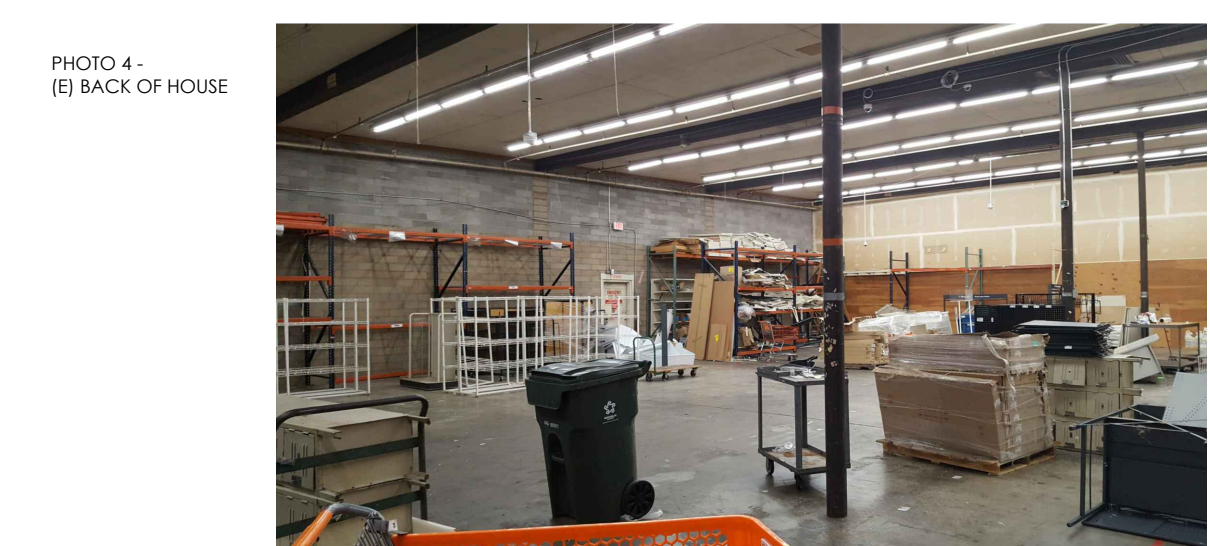
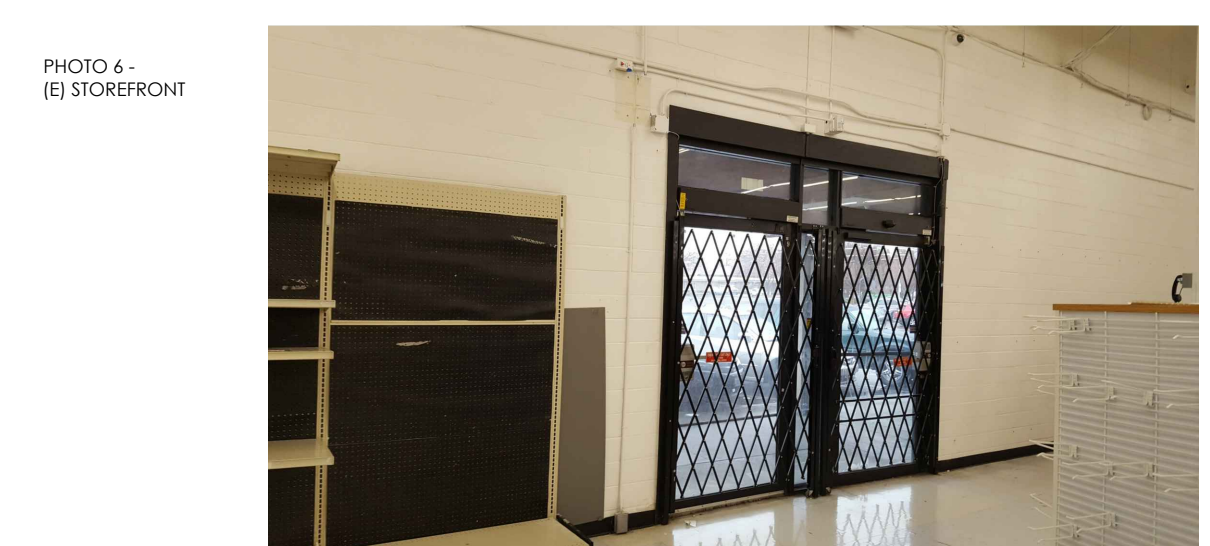
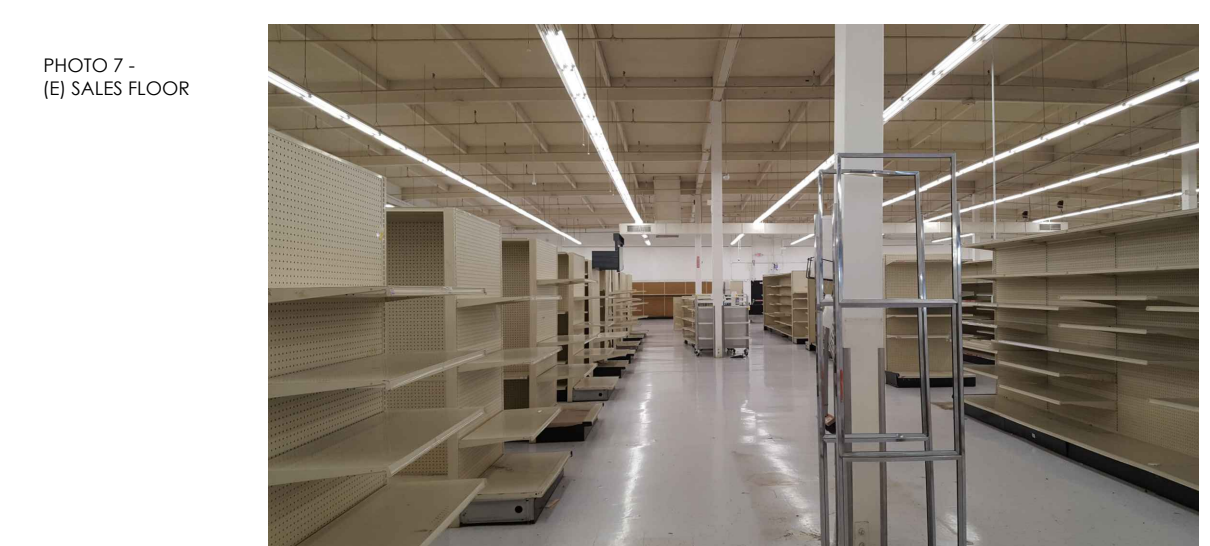
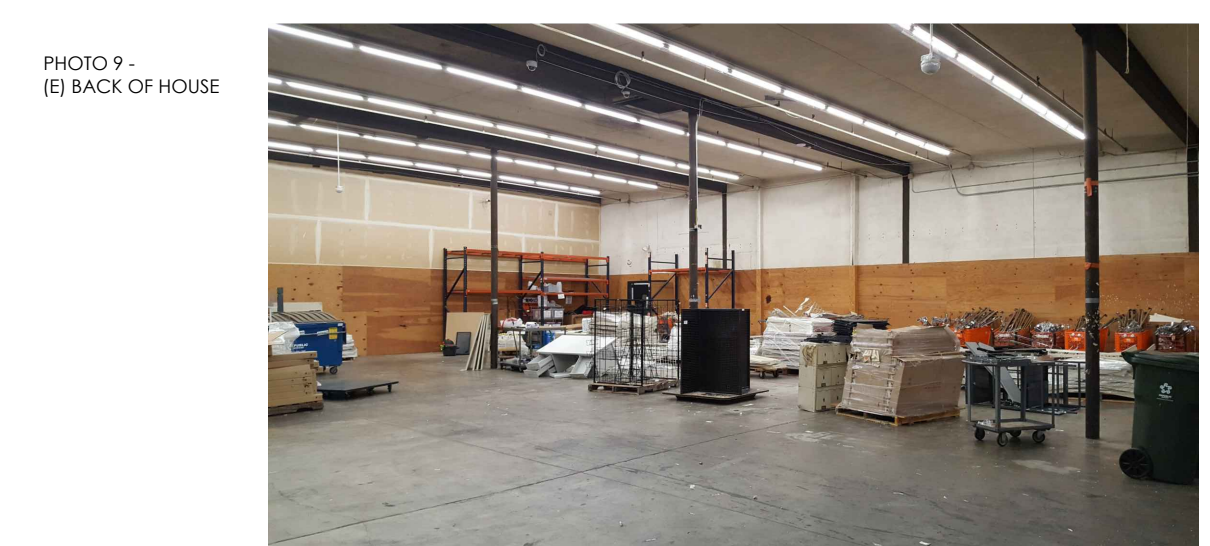
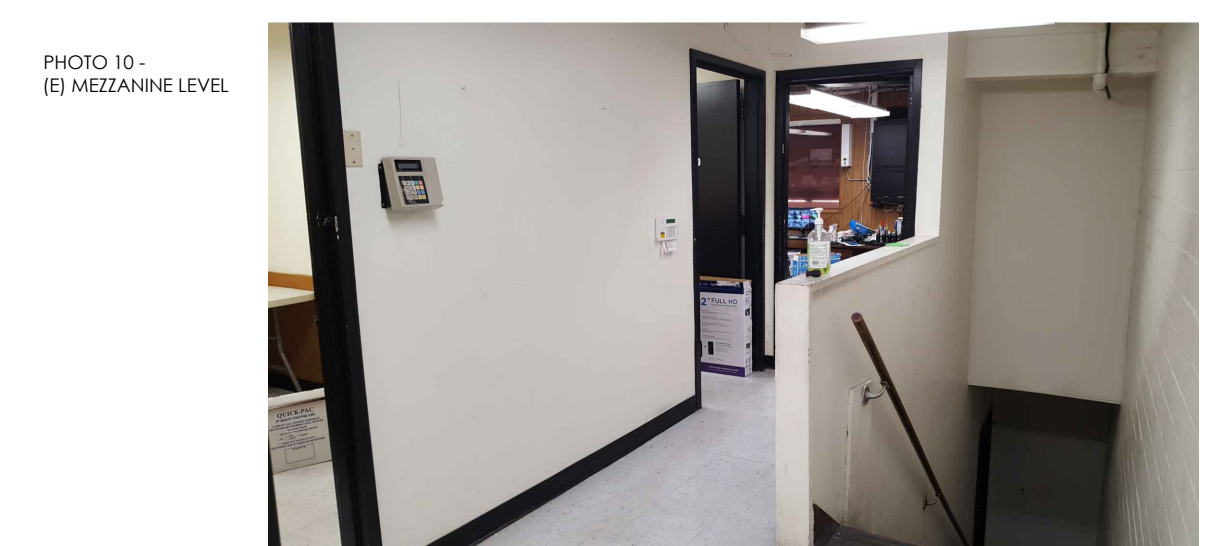


- # KEY NOTES
- (E) MAIN ENTRANCE/STOREFRONT TO REMAIN.
 - (E) STOREFRONT TO REMAIN.
 - (E) EXIT TO REMAIN.
 - (N) 4'-0" DOOR/EGRESS DOOR.
 - (E) 4'-0" GATE REPLACED WITH (N) 6'-0" DOUBLE SWING DOORS.
 - (E) EXTERIOR FACADE AND CONSTRUCTION TO REMAIN. FACADE TO RECEIVE (N) PAINT, FINISH TO MATCH (E) ADJACENT.
 - (E) RESTROOMS TO REMAIN.
 - (E) OFFICES TO REMAIN, (N) FURNITURE AND EQUIPMENT.
 - (E) INTERIOR PARTITION TO BE REMOVED FOR SALES FLOOR AREA.

FLOOR PLAN - MEZZANINE LEVEL 3/32" = 1'-0" 15 KEY NOTES NTS 10



PROPOSED FLOOR PLAN - GROUND LEVEL 3/32" = 1'-0" 05 PHOTOS - EXISTING INTERIORS NOT TO SCALE 01



PHOTOS - EXISTING INTERIORS NOT TO SCALE 01

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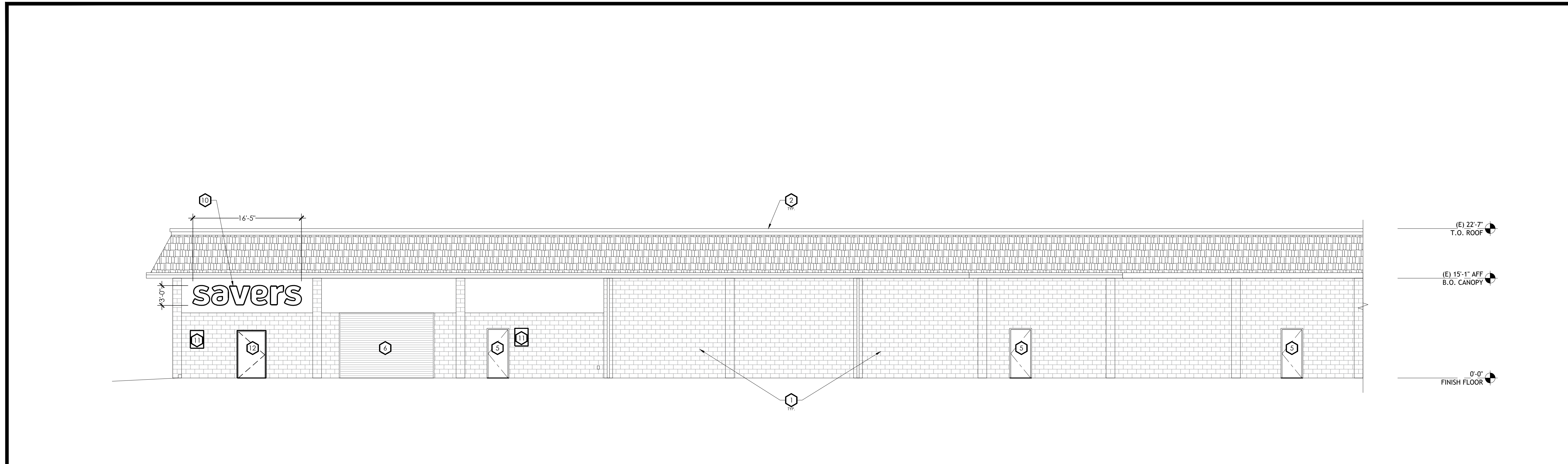
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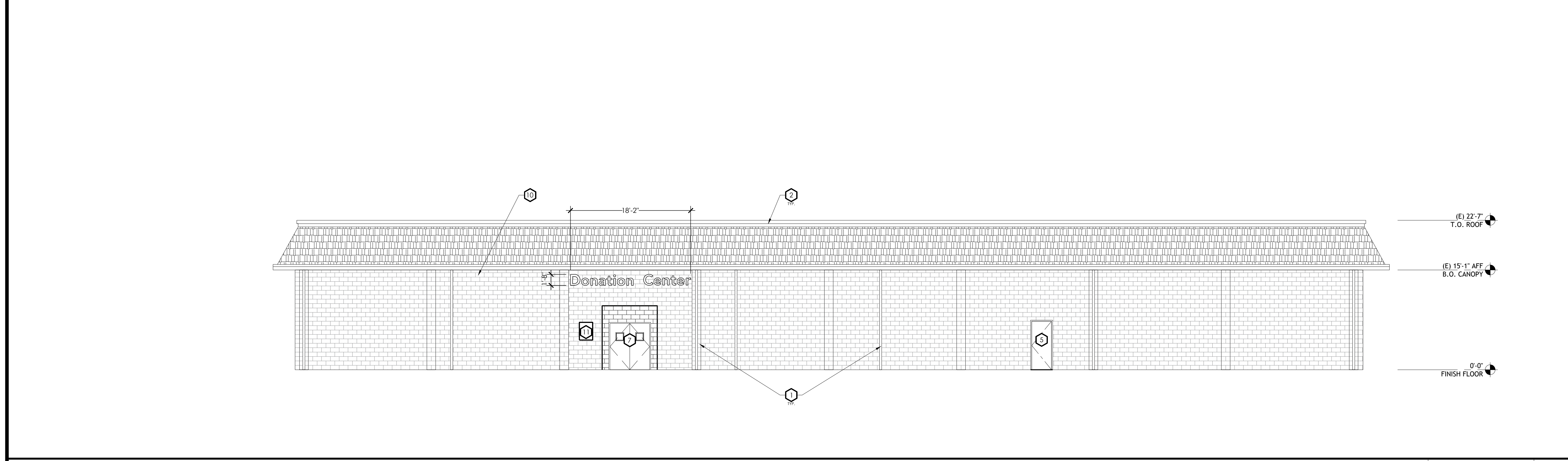
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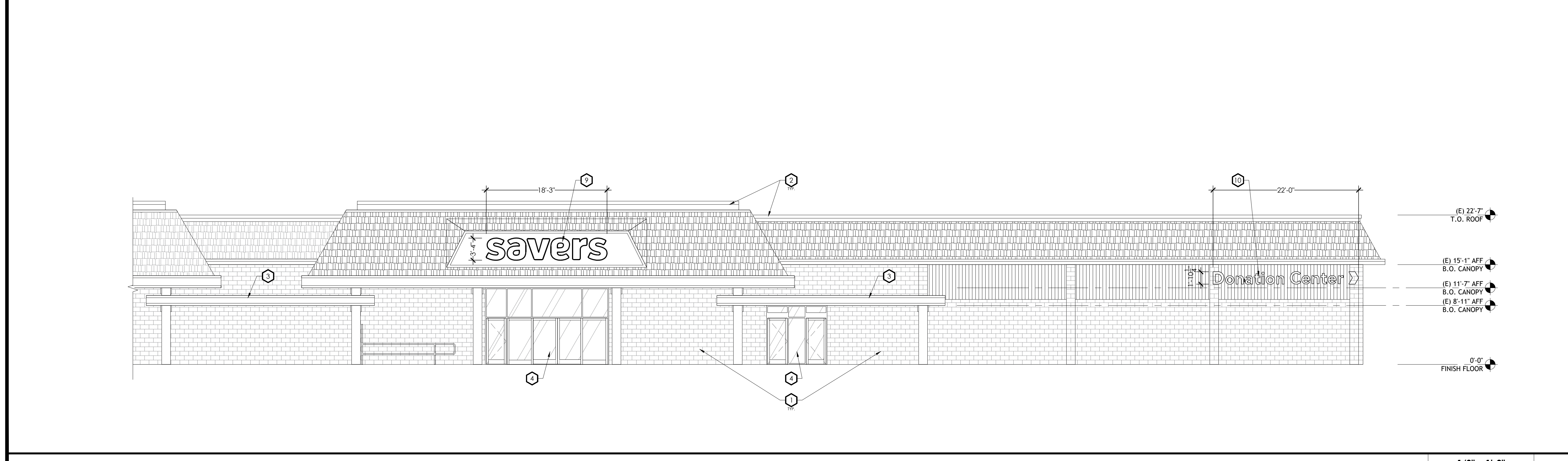
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EXTERIOR ELEVATION - EAST 1/8" = 1'-0" **06**



EXTERIOR ELEVATION - SOUTH 1/8" = 1'-0" **05**




EXTERIOR ELEVATION - WEST 1/8" = 1'-0" **04**


KEY NOTES:

- (E) BUILDING FACADE AND CONSTRUCTION TO REMAIN. PATCH AND REPAIR (E) FACADE AS REQUIRED TO MATCH (E) ADJACENT.
- (E) ROOFING AND PARAPET TO REMAIN.
- (E) AWNING TO REMAIN AND (E) LIGHTING TO REMAIN.
- (E) EXIT/ENTRANCE AND STOREFRONT TO REMAIN.
- (E) MANUAL DOORS TO REMAIN.
- (E) ROLLER DOOR AT (E) TRUCK BAY TO REMAIN.
- (E) 6'-0" GATE REPLACE WITH (N) 6'-0" DOUBLE DOOR. FINISH TO MATCH (E) ADJACENT.
- (E) BIG LOTS SIGNAGE TO BE REPLACED WITH SAVERS BRAND SIGNAGE. SIGNAGE BY SIGN VENDOR.
- (N) SIGNAGE - SIGNAGE BY SIGN VENDOR.
- (N) 'NO DUMPING' SIGN.
- (N) 4'-0" CDC DOOR.

NEW SHINGLE TILE ROOFING:
CETAIN-TEED ASPHALT TILE, SUNRISE CEDAR. PROVIDED AND INSTALLED BY LANDLORD.



SHERWIN WILLIAM PAINT FINISHES:



SW6093 FAMILIAR BEIGE SW6378 CRISP LINEN SW6095 TOASTY

ELEVATION KEY NOTES NTS **03**



PHOTOS - EXISTING EXTERIOR 1/8" = 1'-0" **01**

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Sheet Name
EXTERIOR ELEVATIONS

Sheet Number
A03.0

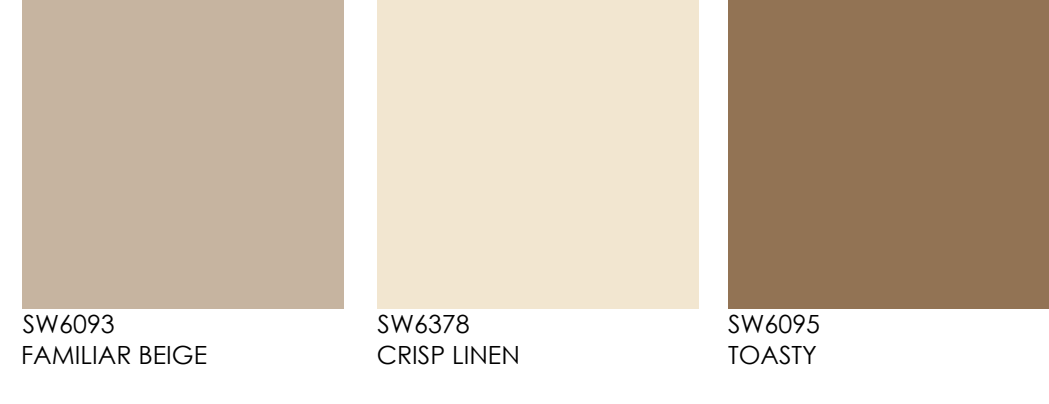
- SW6095 TOASTY
- ASPHALT TILE ROOFING -
SUNRISE CEDAR
- SW6095 TOASTY
- SW6378 CRISP LINEN
- SW6093 FAMILIAR BEIGE



NEW SHINGLE TILE ROOFING:
CERTAIN-TEED ASPHALT TILE, SUNRISE CEDAR, PROVIDED AND INSTALLED BY LANDLORD.



SHERWIN WILLIAM PAINT FINISHES:



RENDERED EXTERIOR ELEVATION - EAST

1/8" = 1'-0"

06

PROPOSED FINISHES

NTS

03

- SW6095 TOASTY
- ASPHALT TILE ROOFING -
SUNRISE CEDAR
- SW6095 TOASTY
- SW6093 FAMILIAR BEIGE



RENDERED EXTERIOR ELEVATION - SOUTH

1/8" = 1'-0"

05



- SW6095 TOASTY
- ASPHALT TILE ROOFING -
SUNRISE CEDAR
- SW6095 TOASTY
- SW6093 FAMILIAR BEIGE
- SW6378 CRISP LINEN



RENDERED EXTERIOR ELEVATION - WEST

1/8" = 1'-0"

04

NOT USED

1/8" = 1'-0"

01

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