TOTS CHILDCARE TENANT IMPROVEMENT 2651 Somersville Rd, Antioch, CA 94509 APN 076-432-025

ABBREVIATIONS - LEGEND SYMBOLS

ABBRE	EVIATIONS - LE
A A/C	Air Conditioning
ADU A.F.F.	Accessory Dwelling Unit Aboce Floor Finish
ALT.	Albernate
amt. Approx. A	Amount pproximate
AVG. B	Average
BD. BTWN. Betw	Board
BLDG. Build	ing
С	Block/Blocking
C.F.M. Cubio CHG.	c Feet Per Minute Change
C.I. CLR.	Cast Iron Clear/Clearance
CLG.	Ceiling
C.M.U. Cond	Centerline crete Masonry Unit
COL. CONC. Cond	Column crete
CONSTR Co	
CTR.	Center
CU. FT. Cub CU. IN. Cubi	it Inch
CU. YD Cub D	ic Yard
DBL DEG.	Double Degree
DEPT. Depa DIAG.	
DIA	Diameter
DIM. DIV.	Dimension Division
D.S. D.W.	Downspout Dumbwaiter/Downspout
E (E)	Existing
EA. ELEC. Electr	Each
ELEV.	Elevation/Elevator
ENCL. Enclo EQ.	Equial
EQUIP. Equi EXIST. Exist	
EXT. F	Exterior
F.D.	Floor Drain
F.G. F.H.	Finish Grade Fire Hydrant
FIN. FLR.	Finish Floor
	Fluorescence Face of Concrete
F.O.F.	Face of Finish
F.O.M. Face F.O.S. Face	of Stud
F.O.S. FS	Finish Surface Finish Surface
FT. FTG.	Foot Footing
F.F.L. G	Finish Floor Level
GA.	Gauge
GAL. GALV. Galva	
GYP. H	Gypsum
H.B. HDR.	Hose Bibb Header
HDRW. Hard HORIZ. Horiz	dware
HP.	Horsepower
HT. I	Height
I.D. IN.	Inside Diameter Inch
INFO. INSUL. Insul	Information ation
INT. J	Interior
JAN.	Janitor
JCT. JT.	Junction Joint
К КІТ.	Kitchen
L LAV.	Lavatory
LB. LF.	Pound Lineal Foot
LIN.	Linear
LT. LT.WT. Light	Light t Weight
M MAX.	Maximun
M.B. M.C.	Machine Bolt Medicine Cabinet
MECH. Mech MED.	
MEZZ. Mezz	anine
MIN.	. Manufacturer Minimum
MISC. MTL	Miscellaneous Metal
N (N)	New
N.G. N.I.C.	Natural Grade Not In Contact
NTS	Not to Scale
Build	ding Grid Lines
(A
(1)	
\bigcirc	
Window No	idow Symbol
	New Window
Existing	E4 Existing Windo
Window No	L/ I to remain
Do	or Symbol
Door No	D. 1 New Door
Existing	Existing Door
Door No	
North	Arrow
	Architectural No
	True North
De	<u>eta</u> il Area Reference
	Area Reference
	A5.1—Page Number
Exterio	or Elevation
A5.7	Page Number
1	🗤 🛸 Elevation Numi

Board On Center Outside Diameter OPNG. Opening ORIG. Original 07 Ounce PERP. Perpendicular PLate P.LAM. Plastic Laminata PLY. WD. Plywood PROJ. Project P.S.F. Pounds Per Square Foot P.S.I. Pounds Per Square Inch PVMT. Pavement P.T.D.F. Pressure Treated Dog Fli Quar QTY. Quantity Riser RAD. Radius RD. Road RFF Refrigerator REINF. nforcement REQ. Required Room RM. R.O. Rough Opening R.T.S. Refer to Structural RCHED. Schedule S.C. Solid Core SECT. Section SHWR. Shower SHT. Shee SIM. Simila SPEC(S) Specification(s) SQ.FT. Square Feet Square S.S. Stainless Stee Street STD. Standard STL. Steel STOR. Storage STRUCT, Structure SYM. Symbo Tread T.O.C. Top of Concrete/Curb TO.C.B. Top of Catch Basin Telephone TEMO. Temperature T&G Tongue and Groove THK Thick Toilet TOIL. T.O.P. Top of Pavement T.O.S. Top of Slab T.O.W. Top of Wall Televisio TYP. Typical UNFIN. Unfinished U.N.O. Unless Noted Otherwise Urinal Vent Vinyl Composition Tile V.C.T. VENT. Ventilate, Ventilating VERT. Vertical V.T.R. Vent Thru Roof Water Closet W.C. WD Wood Water Heater W.H. W.I. Wrought Iron W.R.B. Weather Resistant Barrier WOM. Women WP Waterproofing WSCT. Wainscot With W/O Without ACRONYMS A.N.S.I. American National Standars Institute A.S.T.M. American Society for Testing And Materials C.B.U. California Building Code I.C.B.O. International Conference of Building Officials N.F.P.A. National Fire Protection Association O.S.H.P.D. Occupational Safety and Health Act U.F.C. Uniform Fire Code W.I.C. Woodwork Institute Of California Ceiling Height Ceiling Height Above Finished Floor (8°-0°) Interior Elevation Elevation Number –Sheet Number Revision Cloud Area Reference -Revision Delta –Revision Delta Number Match Line — Sheet Number A5X The Shaded Portion is the Side Considered <u>Room La</u>bel -Room Name Living Room 500 Sq Ft

GENERAL NOTES

- . EXAMINATION OF SITE: The contractor shall thoroughly examine the site and satisfy him/herself as to the conditions under which the work is to be performed. The contractor shall verify at the site all the measurements affecting the work and shall be responsible for the correctness of the same. No extra expense shall be allowed to the Contractor for expenses due to his neglect to examine, or failure to discover, conditions which affect the work.
- . GENERAL OPERATION: the Contractor shall, after consulting with the Owner, Schedule the work so as not to interfere unduly with the neighbors, etc. Contractor shall allay dust by approved means and minimize noise as much as practical. In no case shall the work interfere with existing streets, drives, walks, passageways, neighbors's property, improvements and the like. Protect all in-place construction in connection with the work. Particular attention is directed to but not limited to, such items as street improvements, curbs and gutters, rough grading lines, etc.
- 3. CONTRACTOR USE OF THE PREMISES: Confine operations at the site to areas permitted by law. ordinances, permits, and these Contract Documents. Do not unreasonably encumber premises with materials or equipment.
- Assume all responsibility for protection and safekeeping of all products stored on the premises. Move any stored products which interfere with the operations of the City or other contractor. Obtain and pay for use of additional storage or work area required for operations.
- LIMITS OF WORK: Work zone limits are established on the drawings. All Contractors, Subcontractors, and Tradesman shall coordinate their work with one another within the established limits.
- SEQUENCE OF WORK: in the event any special sequencing of the work is required by the Owner, the Contractor shall arrange a conference before any such work is begun. Contractor shall be responsible and liable for deviations from schedule unless delays are the result of failure of the Owner to abide by the Contractor by acts of nature or God.
- . ORDERS: Place orders for material and equipment immediately on receipt of contract and follow up vigorously to insure adequate and timely supply of work. Perform all tracing and expediting actions and arrange to get workers and subcontractors on job at proper time and avoid delays.
- MEASUREMENTS: Contractor shall verify all dimensions shown on drawings by taking field measurements; proper fit, and attachment of all parts is required. Before commencing work, check all lines and levels indicated and such other work as has been properly completed. Should there be any discrepancies, immediately report in writing to the Architect for correction or adjustment prior to the commencement of any related work. In the event of the Contractor's failure to do so, the Contractor should be fully and solely responsible for the correction or adjustment of any such related work or errors. All dimensions take precedence over scale All dimensions are to face of step, unless otherwise noted, THE

Project Data Project Description: Tots Preschool Tenant Improvement Scope of Work: Alteration Tots Preschool Occupancy: Project Address: 2651 Somersville Rd, Antioch, CA 94509 Project Type: Commercial New Construction or Addition/ Alteration: Alteration Natural Gas: N/A N/A Appliances gas o electric: Exterior Wall Framing Type: CMU Windows and Doors Type: Existing

Slab on grade

Aerial View

Floor Type:

–Square Footage

—Section Number

—Sheet Numbe

Section

Elevation Number



- codes.
- Department for all Building department required inspections. 10. The Contractor shall give all notices and/or comply with all codes, laws, ordinances, rules regulations, and orders of any pertinent public authority bearing on the performance of work and shall notify the Architect if the drawings and specifications are at variance therewith.
- 11. Solely as a convenience to the Owner and Contractor, the Architect may include documents prepared by certain consultants and/or vendors (or incorporate the recommendations of said consultants and/or vendors into documents prepared by the Architect) within the set documents issued by the architect. It is expressly understood that by such issuance, the Architect assumes no liability for the services of said consultants and/or vendors. all work to a degree of skill, efficiency and knowledge which
- 12.CONSTRUCTION QUALITY: the Contractor shall complete is possessed by those of ordinary skill, competency and standing in the particular trade or business for which the Contractor employed in the community. The Construction documents are provided to illustrate the design and general type of construction, material and work commensurate with this type of project throughout.
- 13.COMPLETE PROJECT: The Contract Documents, including working drawings, specifications and schedules, represent the finished structure. Unless otherwise noted, they do not indicate method of construction. Contractor shall supervise and direct work and shall be solely responsible for all construction means, methods, techniques, sequences, and procedures. Observation visits by the Architect shall not include inspections of protective measure or the construction procedures required for same, which are not specifically detailed on drawings shall be similar to those shown, or those detail existing in the field as they occur. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED TO PROVIDE A COMPLETE OPERABLE INSTALLATION WITHIN THE SCOPE OF WORK, BUT IS NOT SPECIFICALLY INCLUDED ON THE PLANS, SHALL BE PERFORMED BY THE CONTRACTOR AT NO EXTRA CHARGE.
- 14.COORDINATION: The General Contractor and each any work. In the event that work commenced with a failure

2.02 Acre Roof Type: Non Attic Lot Size, Gross: Roof Slope: Flat III-B Construction Type: Exterior Wall Siding Material: Glass & Stucco **Project Building Height:** Roofing Material: Concrete Ceiling Height: Stories: Status HVAC System: Existing Total Floor Area SF: 3657 HVAC Cooling and Heating: Yes HVAC Ducted or Ductless: Ductless Total Area Footprint SF: 3657 Location of Ducts: N/A N/A Replacing the (E) duct work: Water Heater Status: N/A Type of the Water Heater: N/A 076-432-025 Assessor's Parcel Number: Lot:

Zone:

CONTRACTOR SHALL NOT SCALE DRAWINGS. 8. RULES AND REGULATIONS: All work and materials shall be in accordance with the latest rules and regulations of the National Board of Underwriters, the latest editions of the National Electrical Code, the National Plumbing Code, latest adopted edition of the California Building Code, all State Title 24 AB. 163 energy Regulations, and all applicable Local and State Laws and Ordinances. Nothing on the drawings shall be constructed to permit work not conforming to these

9. The Contractor shall coordinate with the Building

Subcontractor shall be responsible for verification of all field conditions and dimensions PRIOR to commencement of any work. Contractor shall bring any discrepancies to the Architect's and Owner's attention PRIOR to commencing

to notify both the Architect and Owner, the Subcontractor is solely responsible for any and all corrective measures or errors.

- 15.NOTES: All plans imply the words " the Contractor shall" or "the Contractor shall install". 16.COOPERATION:
- · Contractor and Subcontractors shall coordinate their work with adjacent work and cooperate with other trades so as to facilitate general progress of the work. Each trade shall afford the other trades every reasonable opportunity for installation of their work and storage of their materials. · In as much as building completion within the time limit is dependent upon cooperation of those engaged there in. It is required that each contractor lay out / install his work in a time and manner not to delay or interfere with carrying forward other contractor's work.
- 17.CHANGES: Any proposed changes in the construction should be made to the Architect IN WRITING OR IN DRAWINGS. All changes should be reviewed by the Architect, approved by the Owner, Contractor, Architect and by the Building Official as required.
- 18. Any revision or additional work required by field conditions or local governing authorities shall be brought to the attention of the Architect before proceeding.
- 19. This set of Plans is to be on the Job Site at all times during construction. All work shall be in accordance with the approved plans. NO changes or revisions to the approved plans or specifications shall be permitted unless submitted to and approved by the Building Department. The issuance of a permit shall nor prevent the Building Department from requiring the correction of Errors or Omissions from the approved plans and specifications.
- 20.the issuance or granting of a permit or approval of plans, specifications and computations shall not be construed to be a permit for or an approval of, any violations of any of the codes or of any other ordinance of this jurisdiction. Permits presuming to give permission to violate or cancel the provisions of this code, or other ordinances of the jurisdiction, shall nor be valid.
- 21. These notes apply to all drawings unless otherwise noted or shown. Features of construction shown are typical and shall apply generally throughout similar conditions. Unless otherwise noted, all closets, recesses, columns, projections or other adjacent areas or work within the scheduled areas shall have finishes as scheduled for the respective spaces in which they occur. All omissions or conflicts between the various elements of the working drawings and/or notes shall be brought to the attention of the Architect prior to proceeding with the work involved.
- 22.OWNERSHIP AND USE OF DOCUMENTS: All drawings, specifications, and their content, and copies, there of furnished by The Compcodes Inc and shall remain the property of The Compcodes Inc.
- 23.Anyone supplying labor and/or materials to the project shall carefully examine all subsurfaces to receive work. Any conditions detrimental to the work shall be reported in writing

to the Contractor prior to beginning work. Commencement of work should imply acceptance of all sub-surfaces.

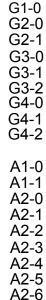
- 24. The contractor shall be responsible for obtaining and paying for all special permits and licenses indicated on the plans and/or by specifications or required by the soils report and/or required by any government agency. The Contractor may need to obtain permits that may include but are not limited to, penetration fire stop systems, fire-resistant joint systems, automatic sprinkler systems, standpipe systems, manual fire alarm systems, emergency and stand by power systems, and door hardware schedules.
- 25.Site address is to be clearly marked in field in such a position as to b plainly visible and legible from the street or road fronting the property.
- 26.Work in public right-of-way requires an "Encroachment Permit" from the Public Works Department.
- 27.All Contractors and Subcontractors must have on file with the Building Department, a list of all such Contractors and Subcontractors with the appropriate current City Business License Numbers.
- 28. The permits shall expire by limitation if work authorized under permit is not commenced within 180 days of the issuance or if the work is suspended for a period exceeding 180 days after the work has commenced.
- 29.Upon completion of the project, new spaces shall be cleaned and put in working order prior to occupancy.

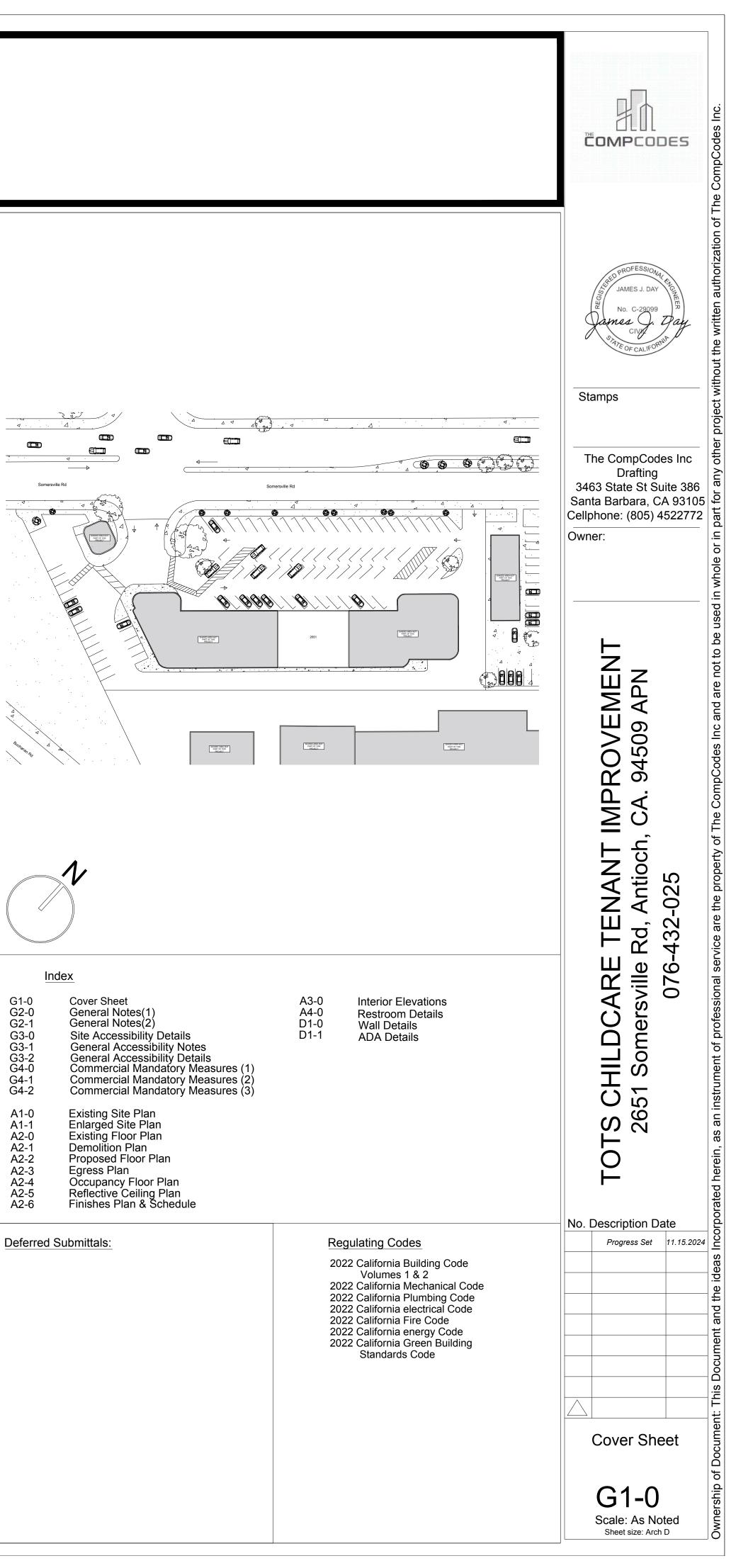
C-3

Vicinity Map









- New construction shall not restrict a live-fool dear and unobstructed access to any water & power distribution facilities (power poles, Pull-boxes, transformers, vaults, pumps, meter s, appurtenances, etc) or know the location of the hook-up. The construction shall not be within ten feet of any powerlines whether or not the lines are located on the property. Failure to comply may cause delay, and/or additional expenses.
- An approved Seismic Gas Shutoff Valve be installed on the fuel gas line on the down-stream side of the utility meter and benignly connected to the exterior or the building structure containing the fuel grasping. (Per ordinance 170.158((It includes Commercial additions TI work over \$10,000.) Separate plumbing permit is required
- Provide ultra-low Flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption
- 4. Provide 70" high non-absorbent wall adjacent to shower and approved shatter-resistant materials for shower enclosure (1115 B 2406.3(5).
- Water heater must be strapped to wall (sec. 507.3, UPC). If applicable. Ducts in a private garage and ducts penetrating the walls and ceiling separating the dwelling unit from the garage shall be constructed of a minimum 0.019-inch (0.48MM) sheet steel and shall have no openings into the garage.
- . If applicable, A copy of the jurisdictional research report and/or conditions of other listings shall be made available at the job site.
- 8. In the event the Owner, the Owner's contractors or subcontractors, or anyone for whom the owner is legally liable and allows commencement of construction prior to obtaining a PERMIT from the jurisdiction, Owner shall assume full responsibility for the results of such construction. Therefore, the Owner agrees to waive any claim against the Architect and to release Karen Wilkins from any liability directly or indirectly from such construction. In addition, the Owner agrees, to the highest extent permitted by law to hold harmless the Architect from any damages, liabilities or costs, including reasonable attorneys fees and cost of defense arising from such damages.
- 9. In addition, the Owner agrees, in any contracts or construction, appropriate language that prohibits the contractor or any subcontractors of any tier, from making copies of the Architect's construction documents without the prior written approval of Karen Wilkins and that further requires the Contractor to indemnify both Architect and the Owner from any liability or cost arising from such changes made without such proper authorization.
- 10. If the project is not built per Architect's plans and specifications in any means, the Owner agrees to waive any claims against the Architect and to release the Architect from any liability for the referenced plans.
- 11. It is understood that the Architect will NOT provide design and construction services related to safety measures of any contractor or subcontractor on the project. Further, it is understood that Architect will NOT provide any supervisory services relating to the construction for the project. Any opinions solicited from Architect relating to any such review or supervisory services shall be considered only as general information and shall not be the basis for any claim against Architect.
- 12. The Owner shall contract an independent inspection and testing agency to review the materials, methods, and means of construction in relation to waterproofing and sound compliance. Architect will provide input into the selection of these consultants. but they will be retained by and report to the Owner.
- The Owner shall use its best efforts to properly construct project in full compliance with the plans and specifications prepared by Architect and must repair any substandard faulty or failing work.
- 14. Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system (R306.3). 15. Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry
- tubs, and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R306.4). 16. Bathtub and shower floors, walls above bathtubs with a shower
- head and shower compartments shall be finished with a non-absorbent surface, Such wall surfaces shall extend to a height of not less than 6 feet above the door. (R307.2). 17. Automatic garage Door openers, if provided, shall be listed in
- accordance with UL325.
- 18. Smoke detectors shall be provided for all dwelling units intended for human occupancy where a permit is required for alterations, repair, or additions. (R314.2).
- 19. Where a permit is required for alterations, repairs or additions, existing dwellings or sleeping units that have attached garages or fuel burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.1. Carbon monoxide alarms shall only be required in the specific dwelling,
- unit, or sleeping unit for which the permit was obtained. (RJ15.2). 20. Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of a room at a height of 30 inches
- above the floor level. (R303.1) 21. Buildings shall have approved address numbers, building numbers, or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. (R319).
- 22. Unit skylights shall be labeled by jurisdictional Approved labeling Agency. Such labels shall state the approved labeling agency name, product designation and performance grade rating. (Research report not required) (R308.69).
- 23. If Applicable, Provide anti-graffiti finish within the first 9 feet, measured from grade, at street exposed walls. 24. Protection of wood and wood-based products from decay shall
- be provided in the locations specified per Section R317.1, by the use of naturally durable wood or wood that is preservative-treated, in accordance with AWPA U1 for the species, product, preservative and end use. Preservatives shall be listed in Section 4 of AWPA U1. 25. Provide ultra-low flush water closets for all new construction.
- GENERAL CONSTRUCTION NOTES
- . The general contractor shall furnish all labor materials, equipment and other items necessary for the completion of all work shown, called for, or reasonably implied by the contract documents except where specifically noted otherwise where work or equipment is indicated "NIC", such work or equipment shall be provided by others, the general contractor shall coordinate and cooperate to effect such installation.
- the general contractor shall carefully examine the site to satisfy himself as to existing conditions, prior to submitting his bid. No claim will be allowed on the bases if his lack of knowledge of existing conditions and of problems arising there from. The general contractor shall review all drawings and specifications to obtain first-hand knowledge of all conditions prior to signing the contract. If found necessary, the general contractors shall requires additional information, clarification, and details to fully understand the project and scope of work.

- 3. The general contractor shall verify all dimensions and conditions of the project prior to commencing work and shall report any discrepancies, inconsistencies, errors and/or omissions to the Architect and the Owner. All requests for clarifications of these drawings shall be directed to the Architect in writing. Site plan dimensions and bearings are to aid in locating the proposed development in reference to the property lines and to any adjacent street. While this site plan is believed to be correct, the Architect assumes no liability for any discrepancy occurring on the drawings by reasons of reliance on the owner's or engineer's documents. All dimensions locating the buildings within the property lines must be verified with civil engineer or surveyor prior to construction. Dimensions, grades, and details shall be verified prior to commencement of construction. Typical details shall apply where specific details (or sections) are not given. Do not scale the drawings. All dimensions specified govern dimensions are nominal and are to the face of objects unless
- specifically noted otherwise. The contract drawings and specifications represent the finished project. They do not indicate the method of construction. The contractor shall supervise and direct the work and shall be solely responsible for all construction means, methods, techniques, sequences and procedures. The contractor shall provide all measures necessary to protect the structure during construction. Such measures shall include, but are not limited to, bracing, shoring, shoring for loads due to construction equipment etc. Observation visits to the site by the Architect does not include observation of the above items.
- The Architect is not responsible for the performance of the general contractor or subcontractors, their errors or omissions nor the safety at the job site. Any non-conforming items found or noted shall be brought to the attention of the Architect and Owner immediately
- All work shall be done in accordance with the highest quality of industry standards and the standards referenced herein. All prefabricated items shall be delivered to the job site complete and ready to install. Assemblies shall be erected rigidly, secured, plumbed, level and aligned true.
- Reference to any detail or drawing is for convenience only and does not limit the application of such drawing or detail. If certain information is noted only on the plans or only on the specifications or only in a detail, then that information shall be valid as if noted on all above mentioned locations.
- All work shall conform to the minimum standards of the current edition of CBC and or CRC. All other regulating codes and
- agencies having jurisdiction over the work shall be complied with. 10. The Architect shall be immediately notified of any discrepancies between these documents and any applicable codes by the agent involved with the governing agency having jurisdiction. the field inspector for such agency has final authority to approve/disapprove project construction and correctness of all code related items.
- 11. Each sub-contractor is considered a specialist in his respective field/trade and shall (prior to submission of bid or performance of work) notify the general contractor or the owner of any work called out in the drawings or specifications which cannot be fully guaranteed or constructed as designed or detailed.
- 2. Where construction details are not shown or noted for any part of the work. Details shall be the same as for other similar first-class work for the trade involved. The owner and Architect shall be immediately notified of any alternate non-standard or untested method(s) proposed.
- The general contractor is responsible for appropriate hook-up of all utilities required to support the work, including temporary and
- 14. The general contractor shall determine locations of utility services in the area, prior to any excavation for work. The general contractor shall also verify any and all utility locations specified or otherwise noted on the drawings. The general contractor is responsible for the protection of an existing underground and overhead utilities.Contractors must call 811 for existing utility locations.
- 15. All delivered and in-place materials remain the responsibility of the contractor for the entire course of construction. Damages or stolen materials shall be replaced by the general contractor at no cost to the owner. All materials shall be securely stored and kept drv before installation
- 16. Lead time for materials and equipment is the responsibility of the general contractor and all subcontractors to order materials, equipment, etc. sufficiently in advance to assure timely construction and/or installation.
- 17. Miscellaneous items of work and materials necessary to complete the project, whether or not mentioned or described in these specifications and allied documents, shall be provided.
- 18. Trade names and manufacturers referred to are primarily to establish quality standards and character of materials. Substitutions/ alternatives may be permitted when approved by the Architect and Owner.
- 19. When the work "provided" is used, it shall mean that such item or service referred to shall be furnished and installed or that the owner shall be furnished an alternative for their approval prior to purchase, fabrication, or construction.
- 20. The general contractor and applicable subcontractors are responsible for and will replace, any damaged or defective equipment or work before final acceptance by the owner. 21. Project plan check fee and initial permit fee is the responsibility of the owner. Subsequent permits, tests, and inspections are the esponsibility of the general contractor.
- 22. The general contractor is responsible for site and structure clean-up. The general contractor assumes sole and complete responsibility for the job site conditions (should there be no general contractor for the project the owner assumes this responsibility) during the course of construction of the project including safety for all persons and property and that this requirement shall apply for and not be limited to normal working hours. The contractor shall defend, indemnify and hold the owner, building tenant and the Architect harmless from any and all liabilities real or alleged in connection with the performance of the work on the project during course of construction and after completion
- 23. All contractors and sub-contractors shall perform all work on this project in compliance with the occupational safety and health regulations of the U.S. department of Labor and the state of California.
- 24. Where shop drawings are requested, there shall be submitted to the Architect 3 copies for her record and the owner's record. By approving and submitting shop drawings and samples, the general contractor thereby represents that he has determined and verified all field measurements, field construction criteria, materials, catalog numbers and similar data, and that he has checked and coordinated each shop drawing and sample with the requirements of the work and of the contract documents.
- 25. Changes to contract documents: alterations or deviations to the project construction documents shall NOT be made without the written approval of the owner and the Architect. 26. Contractors and sub-contractors shall verify with owner any

- modifications or additions to the following minimum insurance requirements
- The liability insurance required for all contractors and subcontractors shall be written, and whatever is required by
- law, and shall include contractual liability insurances. Work shall not commence under this contract until insurances have been obtained and such insurance has been approved by the owner
- If contractor/subcontractor, fail to furnish such required insurance, the owner may secure insurance and retain and deduct the amount of premiums for such insurance from any amounts due under the contract.
- will also maintain property insurance to the full insurable value thereof. However, there shall be no duty on the part of the owner to procure such insurance until five days after receipt or written notice by the contractor to the owner of the amount of insurance required. The policy shall cover all work incorporated in the building, and all materials for incorporation into the building which may be in or about the premises, and shall be made payable to the parties as their respective interest may appear. Fire insurance for the protection of the contractor's buildings, materials nor otherwise covered by insurance of the owner, tools and equipment of the contractor and all similar items not otherwise covered shall be the responsibility of the contractor.
- When applicable contractor shall furnish and maintain protection, fencing and all other required barricades, guardrails, warning signs, steps, lights and all other forms of protection for life, and property as may be necessary and as required by local ordinances and agencies.
- 28. Contractor shall provide dust control throughout entire construction period consisting of intermittent watering and sprinkling as necessary lay dust during construction.
- 29. These drawings and copies thereof are legal instruments of service for the use of the owner and authorized agents, on the designated property only.
- Each trade shall be responsible for knowledge of relative information contained in these documents and the conditions under which each trade will be expected to perform.
- 31. Deviations from these documents necessitated by field conditions shall be brought to the attention of the owner and the Architect immediately.
- 32. The structural, mechanical, plumbing, and electrical drawings are supplementary to the various drawings. Should there be any discrepancy between the various drawing, it shall be brought to the attention of the owner and Architect for clarification.
- 33. The contractor shall coordinate with the owners representative for installation of special manufacturing equipment not shown in these drawings. The contractor shall verify equipment locations with the owner's representative and/or equipment prior to forming the slab, for proper size and location of foundation depressions, drains and wraps.
- 34. The contractor shall consult the electrical mechanical and plumbing drawings and all other drawings for the location of all sleeves needed through wall and floor slabs. Consult with the Architect should any sleeves not noted on the plans be required. Miscellaneous signage shall be under a separate contract,
- unless otherwise noted. Unless otherwise noted, stated manufacturer's items are to be "or equal". Contractor shall verify substitutions with the owner
- prior to bid and/or installation. All equipment and material which is in operating
- removed, shall be maintained as such and retuned as per owner's instructions. 38. It shall be the sole duty and responsibility of the contractor to
- determine means and methods of construction and fabricate and install the work with accepted good practice and procedures and to let the Architect know at the time of bidding if the drawings and 65. Substitute products shall not be ordered or installed without details are not practical or structurally sound in their intent and purpose
- 39. Contractor shall be responsible for installation of all equipment including water heater and all mounting, seismic bracing, and support of such equipment
- 40. All materials provided shall conform to all applicable local, city, state, federal and/or county codes, ordinances and fire regulations. Certificates, and approved fire - retardant flame spread ratings, etc. be obtained and included in the general contractor's submittals.
- 41. Electrical service, wiring, etc. shall comply with applicable electric codes.
- 42. Plumbing shall comply with applicable plumbing codes. 43. Provide ventilation according to applicable mechanical code. Complete air change every fifteen minutes, or as specified by the
- mechanical engineer 44. The contractor shall keep the premises free from the daily accumulation of waste materials or rubbish caused by their
- operations. At the completion of the work, he shall clean all glass, walls, and door surfaces, and vacuum all floor surfaces. 45. Contractor shall provide trash dumpster as required for all
- participating trades to use, in cluding those trades with a direct contract with the owner. 46. the contractor shall be responsible for providing temporary
- utilities (power, lighting, water and restroom facilities) to the job site for use by all construction trades.
- 47. The contractor shall note that there shall be no substitutions for any material where specific manufacturers are specified. Where approved equal or equivalent is used, it shall be understood that the substitute shall be by the judgement and approval of the Architect and the owner, and all request shall be made prior to installation. Contractor shall submit 3 sets of manufacturer's cut sheets or samples and/or (1) reproducible original of drawings for all requested substitution of materials, hardware, millwork, glass partitions, ceiling systems, plumbing fixtures, etc., to the Architect for approval.
- 48. General contractor or his subcontractors shall be responsible for verification and approvals of substitute materials as requested by governing agencies
- 49. brochures of all equipment and furnishings as well as all finish material samples as required, shall be submitted to the Architect without specific request prior to purchase and installation.
- 50. Contractor to provide schedule for performance and date of completion of all work. 51. If the contractor claims that instructions from the architect and/or
- owner involve extra cost under this contract, he shall five written notice there of within 5 days after the receipt of such instructions, and in any event before proceeding to execute the work. No such claim shall be valid unless so made.
- 52. Owner reserves the right to provide and install furnishing, fixtures and equipment which shall require coordination by the contractor for support items such as mechanical and electrical provisions for owner's equipment. Contractor shall coordinate the following, but not limited to:
- a. Coordinate schedule and work of the various equipment to assure efficient and orderly sequence of installation of interdependent construction elements.

GENERAL NOTES

- b. Verify that utility requirements and characteristics of equipment are compatible with building utilities Coordinate work of the various equipment for installing, connection to and placing in service such equipment.
- 53. Contractor is responsible for review of shop drawings, product data, and samples prior to submission, and determination and verification of accuracy of:
- a. Field measurements Field construction criteria
- c. Catalog number and similar data
- conformance with specifications and local authorities having jurisdiction over this project. The owner will maintain his own liability insurance. The owner 54. Notify the Architect in writing, at time of submission, of any deviation from specification's requirements, and identify such
 - deviation clearly on the submittal. 55. Begin no fabrication or work which requires submittals until return of submittal with Architect's approval. If submittal is not approved by the Architect, make all corrections and changes and
 - resubmit all drawings and samples until drawings and materials are approved by the architect. Except when specifically indicated or specified, materials and
 - equipment removed from existing structure shall nor be used in the contract work. 57. for materials and equipment specifically indicated to be reused in
 - the work. Use special care in removal, handing, storage
 - and reinstallation, to assure proper function in the complete work Arrange for transportation and handling of
 - materials and equipment which require off-site restoration or renovation. Pay all cost for such work or give an allowance for providing such work.
 - c. contractor to collect, store, protect, clean and reinstall all finished materials existing on the job site and designated for reuse including but not limited to existing light fixtures.
 - 58. When the specification requires that installation of work shall comply with manufacturer's printed instruction, obtain copies of such instructions from the manufacturer of the product. Maintain one complete set of contract documents at the hob site during
 - installation and until completion and acceptance 59. Handle, install, connect, clean, condition and adjust products in strict accordance with such instructions and in conformity with
 - specified requirements. 60. Should project conditions or specified requirements conflict with manufacturer's instructions consult with Architect for further instruction. Do not proceed with work without such consultation
 - leading to an agreed upon course of action. 61. Do not omit any preparatory step or installation procedure, unless specifically modified or exempted by contract documents.
 - 62. Arrange delivery of products in accordance with construction schedule: coordinate delivery time to avoid conflict with other works and conditions at job site. Deliver products in manufacturer's original sealed containers or packaging, with identifying labels intact and legible. Provide necessary protection and handling methods to prevent soiling and damage to materials or products during transportation. Inspect shipment upon delivery to assure compliance with requirements of
 - contract documents and accepted submittals. 63. Mechanical and electrical equipment, which requires servicing during long term storage shall have complete manufacturer's instructions, accompanying each item with notice of enclosed
 - instructions shown on exterior of package Provide protection of installed products to prevent damage from subsequent operations: a. Provide coverings to protect finished surfaces from
 - damage. Cover projections, wall corners, jambs, sill and soft hits of openings. In area used for traffic and for passage of products in subsequent work.
 - Control traffic to prevent damage to equipment written acceptance of the Architect.
 - 66. Use only cleaning materials recommend by the manufacturer of the product to be cleaned. Use clearing materials only on surfaces recommended try cleaning materials manufacturer
 - 67. Instructions of owner's personnel: 1. Prior to final inspection for acceptance, fully instruct owner's designated personnel on operation. adjustment
 - and maintenance of equipment and systems. c. Operation and maintenance manual shall constitute the basis of instruction. Review contents of manual with personnel in full detail and explain all aspects of operation and maintenance.
 - 68. Furnish to owner a written guarantee against all defects in material and workmanship for one year from the date of acceptance or as specified otherwise by the owner.
 - 69. At completion, adjust all accessories for smooth operation, and clean and polish all surfaces.
 - 70. RE Any changes requested during the course of the project, GC to promptly provide a breakdown of all previously specified work in that area, including the previous subcontractors respective costs, and the GC costs, overhead, and profit, as well as a similar breakdown of the proposed for, all submitted for the architect's and Owner's review.
 - 71. Contractor shall obtain all permits necessary to perform full scope of work. Obtain all necessary inspections and certificate of occupancy.
 - 72. contractor to obtain a permit from the state division of industrial safety for trenches or excavations 5'-0" or deeper.
 - 3. Building occupant to secure permits required by the Fire Department from the Fire Prevention Bureau prior to occupying this buildina
 - Building address numbers shall be easily seen from the street. 75. The general contractor fully understands the scope of work and acknowledges that the construction documents include all necessary drawings, schedules and specifications to perform the
 - 76. Should the owner decide to build their project without a general contractor the Architect will not be held responsible for any portion of the project.
 - 77. In the event the Owner, the Owner's contractors or subcontractors, or anyone for whom the owner is legallyliable permits commencement of construction prior to obtaining a PERMIT from the respectful city. the owner shall assume full responsibility for the results of such construction. Therefore, the Owner agrees to waive any claim against the Architect and to release Karen Wilkins, from any liability arising directly or indirectly from such construction. In addition, the Owner agrees, to the fullest extent permitted by law, to indemnify and hold harmless Architect from any damages, liabilities or costs, including reasonable attorneys' fees and cost of defense, arising from such changes.
 - 78. In addition, the Owner agrees to include in any contracts for construction appropriate language that prohibits the Contractor or any subcontractors of any tier from making any changes or modifications to the Architect's construction documents without the prior written approval of Karen Wilkins and that further equires the contractor to indemnify both Architect and le Owner from any liability or cost arising from such changes made without

such proper authorization

- 79. If the project is not built per Architect's plans and specifications in any means, the Owner agrees to waive any claim against the Architect and to release the Architect from any liability for the reference project.
- 80. It is understood that Architect will not provide design and construction services related to safely measures of any contractor or subcontractor on the project Further, it is understood that Architect will not provide any supervisory services relating to the construction for the project. Any opinions from Architect relating to any such review or supervisory services shall be considered only as general information and shall not be the basis of any claim against Architect.
- The Owner shall contract an independent inspection and testing agency to review the materials, methods, and means of construction in relation to waterproofing and sound compliance. Architect will provide input into the selection of these consultants but they will be retained by and report to the Owner.
- 82. the Owner shall use its best efforts to properly construct project in full compliance with the plans and specifications prepared by Architect and must repair any substandard, faulty or failing work. 83. Always use resilient channels for ceiling between floors and all
- interior walls. 84. For Condominium Projects:
- a. The Owner shall include provisions in the purchase agreement with all buyers of any condominium unit and in the CCR's that Owner shall have the right to effectuate reasonable repairs upon receiving notice of a complaint from any homeowner prior to the filling of any action against anyone involved in the construction. Futher proprietary individual or the Homeowner's Association (HOA) filing any action against the owner or any party involved with the construction, the CC & R's will mandate that the Owner shall have the right, in its sole discretion, to either repair the alleged problem or by the unit(s) back at the reasonable market rate for those units at the time the complaint is made.
- Prior to the issuance of the permit by the building department for the project the Owner shall establish an escrow account in the amount of \$50,000 to be used solely by Architect to offset the expense in defending any lawsuit that any homeowner or Home Owner's Association might file surrounding and actual or alleged construction defect. In the event any construction defect action is filed, Architect shall have full use of the funds in the escrow to draw upon as Architect sees fit to assist in Architect's defense. In the event no construction defect litigation is filed, then the money will revert to the Owner at the expiration of twelve (12) years from substantial completion of the project.
- 85. The contractor shall review the drawings specifications, and site and verify all the dimensions and site conditions prior to beginning the work. The contractor shall report any inconsistencies to the Architect immediately for resolution before
- beginning construction or fabrication or ordering any materials. 86. The contractor shall report any discrepancies between drawings and site conditions to the architect before proceeding the work. The contractor shall verify and coordinate all foundation plan dimension and floor plans and shall be responsible for proper execution of all work.
- 87. The structural, mechanical, electrical, plumbing, and any and all other drawings are supplementary to the architectural drawings. It shall be the responsibility of the contractor to check with the architectural drawings before installation of structural, mechanical, electrical, plumbing, and any and all other work. Any discrepancies between the architect's and the consulting engineer's or designer's drawings and specifications shall be brought to the architect's attention for clarification prior to installation of said work and prior to finalizing the bid for construction.
- 88. Provide galvanic separation between all dissimilar metals. Along with the Agreement between the Owner and Architect, THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201, "GENERAL CONDITIONS OF THE CONTRACT OF CONSTRUCTION" SHALL GOVERN THE WORK IN THIS CONTRACT AS IF WHOLLY INCLUDED IN THESE GENRAL NOTES NOTES:

THE PROVIDED SET OF ARCHITECTURAL DRAWINGS ISA BUILDER'S SET.

FOR THE PURPOSE OF THESE DOCUMENTS AND ALL OTHER DOCUMENTS FURNISHED BY THE ARCHITECTS INC. THE TERM "BUILDER'S SET" SHALL BE DEFINED AS THE FOLLOW ING:

A SET OF ARCHITECTURAL DRAWINGS CONSISTING OF THE MINIMUM NECESSARY PLANS, SECTIONS, ELEVATIONS, DIMENSIONS, SPECIFICATIONS, DETAILS, CALCULATIONS AND NOTES TO ACQUIRE A BUILDING PFRMIT

SPECIFICATIONS Site work

- 1. Demolition, where indicated on the drawings shall be performed in accordance with requirements shown there on.
- 2. Remove all organic matter and delete rious materials from the site. Burning is strictly prohibited.
- Unless shown or specified grater, all finished grades should provide a minimum slope of 2% slope away from all structural footings a minimum of five (5) feet.
- 4. In the event of any loose fill, expansive soil, ground water or other dangerous conditions are encountered during excavations, all foundation work shall cease, and the owner notified.
- Fences over five (5) feet in height and retaining walls over four (4) feet in height measured from the bottom of the footing shall require separate permit.
- Asphaltic Concrete Paving (AC Paving): Unless otherwise specified in the soil's inspection report scarify and recompact the upper six inches of sub-soil a minimum of 90% density prior to placing the base.
- d. Sterilize the soil with aborate chloride compound for
- c. Place 6 inches class ii aggregate base 4 inches thick after compaction having not less than 90%
- d. Asphalt concrete type a is to be placed not less than 2 inches thick after compaction in accordance with all provisions of the "standard specifications" from the State of California, Department of Public Works, Division or fhighways latest revision Portland Cement Concrete Paving
- a. Provide materials for curbs, gutters, and sidewalks in accordance with the requirements for class a concrete (Section 8 & 32) of the county of LA Standard and Specifications. b. Provide Portland cement concrete paving where shown on drawings, as specified herein, as needed for a complete and proper installation
- c. Form: c1. Provide wood and metal form work profiled to suit conditions including adequate bracing to the lines and grades found on the drawing.
- c2. Earth forms will not be permitted for paving d. Subbase aggregate: Maximum Size 1/4" Compacted to 90%

- e. Provide reinforcement which complies with the following as minimum: e1. Reinforcing bars: u.o.n on the drawings, use deformed bars
- for number 3 and larger e2. Welded wire fabric: No 16 welded wire mesh, plain type in
- coiled rolls, unfinished f. For concrete see structural notes
- g. Finishing, texture finish

g1. float to produce a surface level to within 1/4" inch in 2 feet g2. With bristle broom procedure a textured finish, light, medium or coarse as directed by the owner.

h.Beginning immediately after placement, protect concrete from premature drying, excessively hot or cool temperatures and mechanical injury. Surfaces to have waterproofing shall have pits, holes, and cracks filled solid and shall be dry and smooth for application.

- . Cobblestone Stamped Pattern
- i1. To receive a stamped pattern, concrete should receive a small size aggregate such as a pea gravel, $\frac{3}{8}$ inch top size finishing. Follow the normal procedures, however, do not trowel the surface more than once. After the surface is trawled, or floated to the design texture, platform stamping platforms are used. One pad is placed next to the other so that the pattern is accurately aligned, at least two pads are required. the finisher simply steps from one pad to the next stamping the design to a depth of about one inch.
- THERMAL AND MOISTURE PROTECTION
- waterproofing per IBC 230 4.11.5: a. Waterproofing at foundation, retaining, walls, decks, under floor slabs and shall conform with the minimum requirements unless otherwise noted or unless dire condition deem it necessary for a heavier waterproofing application. Notify owner if later
- Surface to receive waterproofing shall receive pits, holes, and cracks filled solid and shall be dry and smooth for application. Manufacturer: use "pacific polymer" for install. See
- manufacturer's recommendations. Insulation
- a. Sound and thermal insulation shall be installed as indicated on the drawings as follows:
- 1. Sound insulation: u.s.g. sound attenuation blankets (or equal) shall be provided around bathrooms, bedrooms, and kitchen, as shown on the drawings. 2. Provide minimum 1/4" inch thick resilient material to
- insulate all plumbing from structure 3. Provide resilient channels on ceilings between the first and
- second floor thermal Insulation
- 1. Install all exterior walls and roof thermal insulations should be installed as shown on drawings (r-19 and R-30) 2. In addition to the R-30 insulation in the roof, provide rigid insulation, as shown on drawings Installation of Insulation
- 1. Exercise extreme care with integral vapor barrier to maintain it continuously 2. Dully insulate all small areas in between close spaces
- framing members. Perform all end matching neatly with all ends fulling snugly or overlapped.
- 4. Cut and finish insulation around pipes, conduits, and outlet boxed as necessary to maintain the integrity of the insulation. 5. Where pipes are located in stud spaces to receive insulation, place insulation between exterior wall and the
- pipe, com pressing insulation be if necessary. 6. Securely fasten langes of insulation to sides of stud and joists with insulation fitting snuggly and tightly against the
- framing members, using staples or nails. Sealants:
- a. Vulkem polyrethane sealants by mameco International, shall be installed by manufacturer's instructions as follows: 1. Vulkem #45 for horizontal joints in concrete slabs and
- 2. Vulkem #116 in vertical joints at doors/windows/jams/frames etc for general purposes
- 3. Joint filler and backing of closed sell neoprene or compressible pre-molded polyethylene foam, strips or rope, shall be installed as required
- Caulking (mastic) equal to horsealwr and co shall be installed pre manufacturer's instructions under exterior metal thresholds, window seals. and iams
- All sealants need to be installed between materials
- Roofina
- a. Roof slope to be 1" per foot minimum IBC 1502 b. All roofing materials class "A", "B" or "C" shall be shown on the drawings, applied in strict conformance with IBC 1505 and
- manufacturer's recommendations and in accordance with the following minimum requirements(see NRCA manual) c. Application shall confirm to IBC 1507
- d. Roof and valley lashing and juncture of roof and vertical surface, flashing, and counter flashing shall be installed per IBC 150 3.2, 1507.3.9, 1507.5.6.
- . Flashing and Sheetmetal

bearing

3. Roof Accessories

approval.

4. Roof Drains

b. Roof Windows

1. Size and shapes per drawings

tight and weather proof installation.

IBC 2415/2610

- a. Fabricate and install flashing and sheet metal in accordance with latest SMACNA standards where applicable b. Pitch pockers, counterflashing, cap and coping flashing, splash pans, gravel stops, facialashing, etc. minimum: 2-gallon
- galvanized steel or as noted on the drawings. c. Drip flashing: Use 22-gallon galvanized steel or as noted on
- the drawings. d. Butyl Sealer: Where it is impractical to use a solder at joints corners, etc. seal with "dap butyl gutter and tap sealer",
- 'cushion -lock d-50-butyl sealer", "haco600" or approved equal in accordance with manufacturer's instructions. e. Galvanized sheet metal: gallon iron or steel sheet, conforming to ASTM A525-67 or A446-67, as required with

f. Dissimilar Metals: where dissimilar metals come in contact,

i. All exposed flashing and metal to be painted color per owner

minimum zinc coating of 1.25 oz/sq. ft. and 0.2% copper

paint the connection with an approved protective coating.

g. Flash and counter -flash all roof to wall conditions and

around all vents and chimney protections through roof

h. Insulate all metal flashing with wood with #15 felt

a. Skylights. Glass or plastic skylights to comply with

3. Skylights shall be mounted on built -in curb 8minimum

aluminum frame in color to match the window frames.

4. All skylights must have an ICC approval and copy of

the same must be on the job site for building inspector

with dual glazing and roller shades sun screening

4" where slope is less than 3:1) as detailed and is anodized

2. Aluminum dad fixed window per "Velux" ner 216 (or equal),

c. Anchor roof accessories securely in place as indicated and in

accordance with manufacturer's recommendations in a manner

which will permit roofing and flashing work to achieve a water

1. Sizes and shapes indicated on the drawings

1/4" nominal thickness acrylic clear tinted

Size the roof drains and overflow per chapter 11 of LAPC 1503.4 Overflow scuppers to be designed per Table 11 - 1 of LAP C. DOORS AND WINDOWS

Provide doors in place complete with finish hardware installed the types, designs, and dimensions shown on the door schedule, as shown on the drawings, and specified herein as needed for a complete and proper installation.

Submit shop drawings for approval of all raised panel doors. Hardware

Submit hardware schedule to owner to review Finishes shall be selected by owner during submittal process, for pricing purpose use "Baldwin". A master keyed system to be specified on submittal

review Window Pricing

a. "Fleetwood" for aluminum windows, equal or better b. "Marvin Integrity" series for clad windows, equal or better "Certain teed" for vinyl windows, equal or better For pricing Purposes see Spec Book

"Timely" = for frames or use equal or better

"Ramco" = for hinges or use equal or better

- "Schlage" = for levers or use equal or better "Norton" = for closers or use equal or better
- "Pemko" = for thresholds or use equal or better
- "Cal Roval" = for doorstops or use equal or better "Von Duprin"= for exit device or use equal or better

INISHES Lath and Plaster

3.

installed

drawing

confirm to latest addition of IBC 718, 2512, Table 2507.2, Table 2511.1.1 and "California Lathing and Plastering Association Reference Specifications"

exterior cement plaster (stucco)

a. Portland cement plaster, mixed in proportion per references, for machine application with integrally colored stucco finish as selected by owner.

Vertical surfaces self-tuning galvanized metal lath laminated back draft diamond mesh "B (U.S.G. or equal) Horizontal surfaced paper backed 3/8" furred galvanized metal rib lath

Masonry or concrete surfaces shall be cleaned with 10% muriatic acid to water solution, rinsed with Clearwater. and receive plaster bonding agent equal to "weld-crete". Apply base code of plaster oven bonding agent, to machine applied codes with finished stucco code as

selected by owner Bullnose: Weld-wire reinforcement with $\frac{1}{8}$ rad. "nose" and 2-1/2" byk wik wound or equal. Install with nails, wire. or residential hotels wire ties to the outside of the lath sufficiently to maintain plumb (fed spec gg-w-461h)

Accessories Casing beads equal to milcor or U.S.G. No 66 to be at all locations where plaster stops against masonry, concrete. wood, or metal surfaces and as otherwise shown or

Expansion joints equal to milcor U.S.G. No 40 or "fryreglet" as indicated.

Removal grounds or screeds as required to maintain exact plaster thickness and place surfaces Finishing: Provide smooth steel trowel (knock-down) finish after

the approved owner sample Precast Concrete

Provide p.c.c. moldings, copings, sill, columns, etc, as shown on drawings. products manufactured by C.D.I. or equal. For installation use manufacturer's specifications or minimum 20 gallon brick ties.

Field cutting (rising diamond blades) may required to fit.

Gvpsum Wallboard Conform to latest edition of IBC 2508. 2508.1 and "American Standard Specifications for the Application and Finishing of Gypsum Wallboard

where type "X" or w/o wallboard is not required. Panels where Type "X" is required

Regular and Type "X" single layer wallboard shall be installed

horizontally staggering end joints. Nail with 5d cooler nails (1/2" wallboard), 6d cooler nails (5/8" wallboard), at 6" o.c. for ceiling and 7" o.c. for walls. Water-resistant (w/r) 1/2" or 5/8" thick equal to U.S.G.

tapereded gesheetrock (regular panels) or fore code "C" (type "X" panels) as required.

Accessories a. metal trim equal to U.S.G. No 402 where wallboard

abuts with other material or terminates b. Corner beads equal to "pla-cor" traditional bullnose No 85 standard No 108 5 arch. at all external corners (or equal). For installation use manufacture specifications Joint tape, bedding, finishing cement, adhesives and laminating compound to be as recommended by sheetrock manufacture and in compliance with UL inc. for fire-resistive rating.

d. Access planel were indicated or required to be equal to milcor "style dw". 22"X30" u.o.n. h.a. Use resilient channels for ceiling between floors and all

 e. interior walls. Gyplap sheathing shall be equal to 1/2" thick U.S.G. gypsum sheathing (trademark gyplap) encased with water-repellant

paper on both faces and long sides. Finish coat: apply smooth finish coat capable of producing a fine finish as approved from samples furnished to the owner. CERAMIC AND STONE TILES

All ceramic and stone tiles shall be 1/4" to 1/2" thick selected by the owner. Installation shall conform to the latest edition of the "handbook for Ceramic Tile Installation " by the tile Council of

America for the following conditions. Exterior wall stone tile veneer (maximum 1/2" thick) shall be installed in accordance with W243 over a wood stud wall. Exterior deck stiles and stone shall be installed over plywood

subfloor group I. ext. grade C.C. type or better conforming to A.P.A. classification and US Product Standard 1-83. over waterproofing with cement mortar in accordance with method F103

Bathtub wall tile shall be installed over an approved "water-resistant" gypsum wall board with organic adhesives in accordance with method B 413-87 or on cement motor in accordance with method B 411.87.

Shower receptors/walls shall be installed with organic adhesives over w/rgyp. Board in accordance with method B 416 or in cement mortar in accordance with method B 414

Tile tub shall be installed in accordance with method B 417 The countertops shall be installed in accordance with method C

Interior tile floors shall be installed per method F141. PAINTING

1. All surfaces to be clean, smooth and dry as required my manufacture instructions for finish being applied.

Back paint all exterior and interior finish lumber and millwork, including door and window frames, trim, cabinet work, etc. on all surfaces to be concealed after installation Prime of stain and seal all exterior and interior wood scheduled

for opaque finish. Apply to all edges, ends, face underside and backside of items to be exposed

Surfaces of miscellaneous iron and steel not embedded in concrete and all surfaces of unprimed plain sheet metal work (not galvanized) shall be primed with zinc chocolate primer

5. Galvanized (zinc) metalwork shall be primed with zinc dust, zinc oxide primei 6. Aluminum and aluminum ally surfaces shall be primed with zinc

chromate primer PLYWOOD

1. the building shall be entirely wrapped in plywood.

2. the Plywood should align with exterior face of shear walls.

Senate Bill 407 (2009) / California Civil Code Sections 1101.1 through 1101.8 2013 California Green Building Standards Code (CALGreen) Section

When Work Triggers SB 407

When the work will trigger plumbing fixture upgrades, the following clarification and interpretation is made for each type of building:

Single-family residential

 All non-compliant plumbing fixtures will be required to be upgraded with water-conserving plumbing fixtures throughout the single-family residential building. [Civil Code Section 1101.4(a)]

Clarification of "Non-Compliant Plumbing Fixture" Please note that according to the definition of "non-compliant

plumbing fixture" in Civil Code Section 1101.3(c), the existing plumbing fixture water usage/flow rate must exceed the

amount shown to be considered non-compliant. If the existing plumbing fixture water usage/flow rate is equal to or lower than the amount shown, it is not required to

be upgraded. Civil Code

Division 2. Property Part 4. Acquisition of Property

Title 4. Transfer

Chapter 2. Transfer of Real Property 1101.1. Except as provided in Section 1101.7, this article shall apply to residential and commercial real property built and available for use on or before January 1, 1994.

1101.2. For the purposes of this article:

(a) "Commercial real property" means any real property that is improved with, or consisting of, a building that is intended for

commercial use, including hotels and motels, that is not a single-family residential real property or a multifamily residential real

(b) "Multifamily residential real property" means any real property that is improved with, or consisting of, a building containing more than one unit that is intended for human habitation, or any mixed residential-commercial buildings or portions thereof that are intended for human habitation. Multifamily residential real property includes residential hotels but does not include hotels and motels that are not

(c) "Noncompliant plumbing fixture" means any of the following: Any toilet manufactured to use more than 1.6 gallons of water per flush

(2) Any urinal manufactured to use more than one gallon of water per flush.

(3) Any showerhead manufactured to have a flow capacity of more than 2.5 gallons of water per minute. (4) Any interior faucet that emits more than 2.2 gallons of water

per minute. (d) "Single-family residential real property" means any real property that is improved with, or consisting of, a building containing

not more than one unit that is intended for human habitation. (e) "Water-conserving plumbing fixture" means any fixture that is in compliance with current building standards applicable to a newly constructed real property of the same type

(f) "Sale or transfer" means the sale or transfer of an entire real property estate or the fee interest in that real property estate and does not include the sale or transfer of a partial interest, including a easehold HSC 116875

(a) No person shall use any pipe, pipe or plumbing fitting or fixture, solder, or flux that is not lead free in the installation or repair of any public water system or any plumbing in a facility providing water for human consumption, except when necessary for the repair of leaded joints of cast iron pipes

regular 1/2" to 5/8" thick equal to U.S.G. tapered edge sheet rock (b)(1) No person shall introduce into commerce any pipe, pipe or plumbing fitting, or fixture intended to convey or dispense water for numan consumption through drinking or cooking that is not lead free, as defined in subdivision (e). This includes kitchen faucets, bathroom faucets, and any other end-use devices intended to convey or dispense water for human consumption through drinking or cooking, but excludes service saddles, backflow preventers for nonpotable services such as irrigation and industrial, and water distribution main

> gate valves that are two inches in diameter and above. (2) Pipes, pipe or plumbing fittings, or fixtures that are used in manufacturing, industrial processing, for irrigation purposes, and any

> other uses where the water is not intended for human consumption through drinking or cooking are not subject to the requirements of paragraph (1). (3) For all purposes other than manufacturing, industrial processing,

or to convey or dispense water for human consumption. "lead free" is defined in subdivision (f).

(c) No person engaged in the business of selling plumbing supplies. except manufacturers, shall sell solder or flux that is not lead free. (d) No person shall introduce into commerce any solder or flux that is not lead free unless the solder or flux bears a prominent label stating that it is illegal to use the solder or flux in the installation or repair of any plumbing providing water for human consumption.

(e) For the purposes of this section, "lead free" means not more than 0.2 percent lead when used with respect to solder and flux and not more than a weighted average of 0.25 percent when used with respect to the wetted surfaces of pipes and pipe fittings, plumbing fittings, and fixtures. The weighted average lead content of a pipe and pipe fitting, plumbing fitting, and fixture shall be calculated by using the following formula: The percentage of lead content within each component that comes into contact with water shall be multiplied by the percent of the total wetted surface of the entire pipe and pipe fitting, plumbing fitting, or fixture represented in each component containing lead. These percentages shall be added and the sum shall constitute the weighted average lead content of the pipe and

pipe fitting, plumbing fitting, or fixture (f) For the purposes of paragraph (3) of subdivision (b), "lead free." consistent with the requirements of federal law, means not more than 0.2 percent lead when used with respect to solder and flux and not more than 8 percent when used with respect to pipes and pipe fittings. With respect to plumbing fittings and fixtures, "lead free

means not more than 4 percent by dry weight after August 6, 2002 unless the department has adopted a standard, based on health effects, for the leaching of lead. (g)(1) All pipe, pipe or plumbing fittings or fixtures, solder, or flux shall

be certified by an independent American National Standards Institute (ANSI) accredited third party, including, but not limited to, NSF International, as being in compliance with this section. (2)(A) The certification described in paragraph (1) shall, at a

minimum, include testing of materials in accordance with the protocols used by the Department of Toxic Substances Control in implementing Article 10.1.2 (commencing with Section 25214.4.3) of Chapter 6.5 of Division 20. (B) The certification required pursuant to this subdivision shall not

interfere with either the department's exercise of its independent authority to protect public health pursuant to this section, or the Department of Toxic Substances Control's exercise of its independent authority to implement Article 10.1.2 (commencing with Section 25214.4.3) of Chapter 6.5 of Division 20.

(3) It is the intent of the Legislature that this subdivision only provide guidance and assistance to the entities that use an independent ANSI accredited third party to demonstrate compliance with this section. Any tests developed by an independent ANSI accredited third party in accordance with this subdivision shall have no weight of authority under California statute

(4) Notwithstanding paragraph (1), the department shall retain its independent authority in administering this article. (h) This section shall become operative on January 1, 2010. The requirement described in subdivision (g) shall not be construed in any manner as to justify a delay in compliance with the lead-free standard set forth in subdivision (e).

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GENERAL PROVIDE FACH BEDROOM BASEMENT AND HABITABLE ATTICS WITH A MINIMUM OF ONE EXTERIOR WINDOW WITH A 44" MAXIMUM CLEAR OPENING HEIGHT, 5.7 SQ. FT. MINIMUM CLEAR OPENABLE AREA MINIMUM 5.0 SQ. FT. AT GRADE FLOOR OPENINGS), 24" MINIMUM CLEAR OPENABLE HEIGHT AND 20" MINIMUM CLEAR WIDTH, OR AN OPENABLE EXTERIOR EXIT DOOR. (CRC R310.2.1 AND CRC R310.2.2) WINDOW WELLS, LADDERS, AND STEPS SHALL COMPLY WITH CRC R310.2.3. BARS, GRILLES, COVERS, ANDS SCREENS SHALL BE RELEASABLE OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF A KEY TOOL SPECIAL KNOWLEDGE OR FORCE GREATER THAN 15I BS TO OPERATE THE EMERGENCY ESCAPE AND RESCUE OPENINGS. (CRC R310.4)

- EACH BATHROOM CONTAINING A BATHTUB. SHOWER OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED WITH ENERGY STAR APPROVED EQUIPMENT (MINIMUM 50CEM) WITH AN INTEGRAL HUMIDISTAT INSTALLED (CRC R303 3.1) PROVIDE ATTIC CROSS VENTILATION: 1/150 OF ATTIC AREA OR 1/300 WITH AT LEAST 40% BUT MORE THAN 50% OF VENTS ARE 3 FT. ABOVE EAVE AND BALANCE IS AT EAVE. AS AN ALTERNATIVE IN CLIMATE ZONE 16 (TRUCKEE REGION). THE NET AREA MAY BE REDUCED TO 1/300 WHEN A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING. BAFFLES ARE REQUIRED AT VENTS FOR INSULATION. PROVIDE MINIMUM OF 1" INCH OF AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING. (CRC R806)
- ENCLOSED RAFTER SPACES SHALL HAVE 1 INCH CLEAR CROSS VENTILATION. (PROPERLY SIZED RAFTERS FOR INSULATION) (CRC UNDER FLOOR CROSS VENTILATION: MINIMUM 1.0 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER FLOOR WHEN A CLASS 1 VAPOR RETARDER IS
- INSTALLED ON THE GROUND SURFACE THE MINIMUM AREA OF VENTILATION MAY BE LIMITED TO 1SO ET FOR FACH 1 500 SOLIARE FEET OF UNDER-FLOOR ONE VENTILATION OPENING SHALL BE WITHIN THREE (3) FEET OF FACH CORNER OF THE BUILDING (CRC R408.1). UNVENTED CRAWL SPACES SHALL COMPLY WITH CRC R408 3 6. THE FOLLOWING AREAS SHALL HAVE SAFETY GLAZING: (CRC R308.4)
- SLIDING/SWINGING GLASS DOORS • GLAZING IN WALLS AND ENCLOSURES FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND SWIMMING POOLS WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE WITHIN THE COMPARTMENT AND WITHIN 60 INCHES HORIZONTALLY OF THE WATER'S EDGE (CRC R308.4.5)
- GLAZING WITHIN A 24" ARC OF A DOOR THAT IS LESS THAN 60 INCHES ABOVE THE FLOOR. GLAZING INSTALLED PERPENDICULAR TO A DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE DOOR ONLY REQUIRES SAFETY GLAZING IF IT IS ON THE HINGE SIDE OF AN INSWING DOOR (CRC R308 4 2) GLAZING WHERE THE EXPOSED AREA IS GREATER THAN 9SQ.FT,
- BOTTOM IS LESS THAN 18 IN. AND AT LEAST 36 IN. ABOVE THE FLOOR. AND ADJACENT TO A WALKING SURFACE WITHIN 60IN. OF THE BOTTOM TREAD OF A STAIRWAY AND LESS THAN 36IN ABOVE THE LANDING
- GLAZING IN GUARDS AND RAILINGS GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN
- 36IN. HORIZONTALLY OF THE WALKING SURFACE LESS THAN 36IN. ABOVE THE WALKING SURFACE PROVIDE LANDINGS AND A PORCH LIGHT AT ALL EXTERIOR DOORS. LANDINGS ARE TO BE MINIMUM 3 FT DEEP X WIDTH OF DOOR. LANDINGS AT REQUIRED EGRESS DOORS MAY STEP DOWN A MAXIMUM OF 7.75 INCHES WHEN THE DOOR DOES NOT SWING OVER THE LANDING AND 1.5 INCHES WHEN DOOR SWINGS ONTO THE LANDING. OTHER THAN REQUIRED EXTERIOR EXIT DOORS MAY HAVE A THRESHOLD OF 7.75 INCHES MAXIMUM: A LANDING IS NOT
- REQUIRED IF A STAIR WITH TWO OR FEWER RISERS IS LOCATED ON THE EXTERIOR SIDE AND THE DOOR DOES NOT SWING OVER THE STAIRWAY. (CRC R311.3-R311.3.2) FOUNDATIONS & CONCRETE SLABS

REBAR GRADES

CONCRETE STRENGTH(S):

- SLOPE DRAINAGE 6" WITHIN THE FIRST 10FT. FROM THE FOUNDATION WALL IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT THE 10FT DISTANCE, A 2-5 PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED AI TERNATIVE METHOD OF DIVERTING THE WATER AWAY FROM THE FOUNDATION. IMPERVIOUS SURFACES SHALL ALSO BE
- SLOPED A MINIMUM OF 2 PERCENT FOR 10FT AWAY FROM STRUCTURES TO AN APPROVED DRAINAGE WAY. (CRC R401.3) FOOTINGS SHALL EXTEND AT LEAST 12 INCHES INTO THE UNDISTURBED GROUND SURFACE. (CRC R403.1.4) UNLESS ERECTED ON SOLID ROCK. TO PROTECT AGAINST FROST AND FREEZING. THE MINIMUM FOUNDATION DEPTH IS 18 INCHES BELOW GRADE IF BETWEEN 4 000-7 000 FOOT ELEVATION AND 24 INCHES BELOW GRADE FOR 7 000 FOOT ELEVATION AND ABOVE EXCEPTION INTERIOR FOOTINGS SHALL BE A MINIMUM OF 12 INCHES BELOW GRADE. (L-V 3.14) STEPPED FOOTINGS SHALL BE USED WHEN SLOPE OF FOOTING
- BOTTOM IS GREATER THAN 1 IN 10 (V: H). CONCRETE SLABS: 3 1/2" MINIMUM (CRC R506.1). SLABS UNDER LIVING AREAS AND GARAGES SHALL BE REINFORCED WITH WIRE 6" X 6", 10 GAUGE X 10 GAUGE WELDED MESH OR EQUIVALENT STEEL REINFORCEMENT AND 4" THICKNESS OF 3/8 MINIMUM GRAVEL UNDER THE CONCRETE SLAB. SEPARATE FROM SOIL WITH A 6 MIL POLYETHYLENE VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES IN LIVING AREAS. A CAPILLARY BREAK SHALL BE INSTALLED WHEN A VAPOR RETARDER IS REQUIRED.
- PROVIDE 18" X 24" FOUNDATION ACCESS THROUGH THE FLOOR OR 16"X24" ACCESS THROUGH A PERIMETER WALL. (CRC R408.4) MINIMUM SILL BOLTING: 1/2" ANCHOR BOLTS OR APPROVED ANCHORS AT 6 FT O C MAXIMUM FOR ONE-STORY (CRC R403 1 6) USE ANCHOR BOLTS AT 4 FT. O.C. MAXIMUM FOR THREE STORY CONSTRUCTION EMBED BOI TS 7" MINIMUM THE ANCHOR BOI TS SHALL BE PLACED IN THE MIDDLE THIRD OF THE WIDTH OF THE PLATE, LOCATE END BOLTS NOT LESS THAN 7 BOLT DIAMETERS, NOR MORE THAN 12" FROM ENDS OF SILL MEMBERS, IN SDC D0 AND ABOVE: PROVIDE 3"X3"X0.229 PLATE WASHERS ON EACH BOLT AT BRACED OR SHEAR WALL LOCATIONS. STANDARD CUT WASHERS SHALL BE PERMITTED FOR ANCHOR BOLTS NOT LOCATED IN BRACED/SHEAR WALL LINES.

CLEARANCES AND TREATMENT FOR WOOD FRAMING WEATHER EXPOSED GLU-LAM, BEAMS AND POSTS SHALL BE

- PRESSURE TREATED OR SHALL BE WOOD OF NATURAL RESISTANCE TO DECAY (CRC R317 1 3 & 5) COLUMNS EXPOSED TO THE WEATHER OR IN BASEMENTS WHEN SUPPORTED ON CONCRETE PIER OR METAL PEDESTALS SHALL BE PRESSURE TREATED OR NATURAL RESISTANCE TO DECAY UNLESS THE PIER/PEDESTALS PROJECT 1" ABOVE CONCRETE OR 6" ABOVE EARTH AND THE EARTH IS COVERED BY AN APPROVED IMPERVIOUS MOISTURE BARRIER. (CRC R317.1.4 EXC. '
- COLUMNS IN ENCLOSED CRAWL SPACES OR UNEXCAVATED AREAS LOCATED WITHIN THE PERIPHERY OF THE BUILDING SHALL BE PRESSURE TREATED OR NATURAL RESISTANCE TO DECAY UNLESS THE COLUMN IS SUPPORTED BY A CONCRETE PIER OR METAL PEDESTAL OF A HEIGHT 8" OR MORE AND THE EARTH IS COVERED BY AN IMPERVIOUS MOISTURE BARRIER. (CRC R317.1.4 EXC. 2)
- DECK POSTS SUPPORTED BY CONCRETE PIERS OR METAL PEDESTALS PROJECTING NOT LESS THAN 1" ABOVE A CONCRETE FLOOR OR 6" ABOVE EXPOSED EARTH. (CRC R317.1.4 EXC. 3)

WALLS POSITIVE POST TO BEAM CONNECTION SHALL BE PROVIDED TO ENSURE AGAINST UPLIFT AND LATERAL DISPLACEMENT. (CRC R502.9 & CBC 2304.9.7)

- ALL FASTENERS USED FOR ATTACHMENT OF SIDING & INTO PRESSURE TREATED LUMBER SHALL BE OF A CORROSION RESISTANT TYPE (CRC R317.3).
- FIRE-BLOCK IN CONCEALED SPACES OF STUD WALLS/PARTITIONS, VERTICALLY AT CEILING/FLOOR LEVELS. HORIZONTALLY AT 10FT. INTERVALS, FIRE-BLOCK AT SOFFITS, DROP CEILINGS/SIMILAR LOCATIONS & IN CONCEALED SPACES AT THE TOP/BOTTOM OF STAIR STRINGERS, (CRC R302.11)
- PROVIDE APPROVED BUILDING PAPER UNDER THE BUILDING SIDING AND APPROVED FLASHING AT EXTERIOR OPENINGS (CRC R703.2) SPECIEY A MINIMUM OF 2 LAYERS OF GRADE D PAPER UNDER STUCCO AND 2 LAYERS OF 15LB FELT (OR EQUIVALENT) UNDER STONE VENEER.
- STUCCO SHALL HAVE A MINIMUM CLEARANCE TO EARTH OF 4 INCHES AND 2 INCHES TO PAVED SURFACES WITH AN APPROVED WEEP SCREED, (CRC R703.7.2.1) MASONRY STONE VENEER SHALL BE FLASHED BENEATH THE FIRST COURSE OF MASONRY AND PROVIDED WITH WEEP HOLES IMMEDIATELY ABOVE THE FLASHING. (CRC R703.8.5 AND R703.8.6)

ROOF

- PROVIDE A MINIMUM 22" X 30" ACCESS OPENING TO ATTIC (CRC R807); MAY BE REQUIRED TO BE 30"X30" TO REMOVE THE LARGEST PIECE OF MECHANICAL EQUIPMENT PER THE CALIFORNIA MECHANICAL CODE
- ROOF DRAINS/GUTTERS REQUIRED TO BE INSTALLED PER THE CALIFORNIA PLUMBING CODE WITH LEAF/ DEBRIS PROTECTION ALSO
- ALL ROOFING SHALL BE TESTED/LISTED CLASS A MINIMUM.

- 4. ASPHALT SHINGLES WITH SLOPED ROOFS 2/12 TO 4/12 SHALL HAVE TWO LAYERS OF UNDERLAYMENT APPLIED PER CRC R905.2.2.
- GARAGE AND CARPORT GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT & ATTIC AREA BY ½ INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGE BENEATH HABITABLE ROOMS SHALL BE SEPARATED BY NOT LESS THAN 5/8" TYPE X GYPSUM BOARD STRUCTURE SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR REQUIRED SEPARATIONS SHALL HAVE 1/3" GYPSUM BOARD INSTALLED MINIMUM DOOR OPENINGS FROM THE GARAGE TO THE DWELLING SHALL BE SOLID WOOD/STEEL DOORS OR HONEYCOMB STEEL DOORS NOT LESS THAN 1 3/8" THICK OR A 20 MINUTE RATED FIRE DOOR. DOORS SHALL BE SELF-CLOSING & SELF-LATCHING, NO OPENINGS DIRECTLY INTO A SLEEPING ROOM FROM THE GARAGE. WHEN THE DWELLING AND GARAGE HAS FIRE SPRINKLERS INSTALLED PER R309.6 AND R313, DOORS INTO THE DWELLING UNIT FROM THE GARAGE ONLY NEED TO BE SELF-CLOSING AND SELF-LATCHING. (CRC R302.5.1 & T-R302.6) (CARPORTS OPEN ON TWO OR MORE SIDES AND NO ENCLOSED AREAS ABOVE DO NOT REQUIRE A SEPARATION)
- DUCTS PENETRATING THE GARAGE TO DWELLING SEPARATION SHALL BE A MINIMUM OF 26 GAUGE WITH NO OPENINGS INTO THE GARAGE. (CRC R302.5.2) PENETRATIONS THROUGH THE GARAGE TO DWELLING SEPARATION WALL (OTHER THAN DUCTS AS LISTED ABOVE) SHALL BE
- FIRE-BLOCKED PER CRC SECTION R302.11. ITEM #4. GARAGE AND CARPORT FLOOR SURFACES SHALL BE NON-COMBUSTIBLE MATERIAL AND SLOPE TO DRAIN TOWARDS THE GARAGE DOOR OPENING (CRC R309 1)
- APPLIANCES AND RECEPTACIES INSTALLED IN GARAGE GENERATING A GLOW, SPARK OR FLAME SHALL BE LOCATED 18" ABOVE FLOOR UNLESS IT IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. PROVIDE PROTECTIVE POST OR OTHER IMPACT BARRIER FROM VEHICLES (CMC 308.0).

STAIRWAYS & RAMPS

- EXTERIOR STAIR STRINGERS MUST BE NATURALLY RESISTANT TO DECAY OR PRESSURE TREATED (CRC R317 1) RISE SHALL BE MAXIMUM 7 75". RUN SHALL BE 10" MINIMUM.
- HEADROOM 6'-8" MINIMUM WIDTH 36" MINIMUM 31 5" BETWEEN A HANDRAIL ON ONE SIDE AND 27" WITH HANDRAILS ON TWO SIDES. VARIATION BETWEEN RISER HEIGHTS 3/8" MAXIMUM A NOSING NOT LESS THAN .75 INCHES BUT NOT MORE THAN 1.25 INCHES SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS WHERE THE TREAD DEPTH IS LESS THAN 11 INCHES. THE LEADING EDGE OF TREADS SHALL PROJECT NOT MORE THAN 1.25 INCHES BEYOND THE TREAD BELOW. OPEN RISERS ARE PERMITTED, PROVIDED THE OPENING BETWEEN THE TREADS DOES NOT PERMIT THE PASSAGE OF A 4" SPHERE. (OPENINGS ARE NOT LIMITED WHEN THE STAIR HAS A RISE OF 30" OR LESS). (CRC R311.7) STAIRWAYS WITH 4 OR MORE RISERS SHALL HAVE A HANDRAIL ON
- ONE SIDE 34" TO 38" ABOVE THE TREAD NOSING. CIRCULAR HANDRAILS SHALL HAVE AN OUTSIDE DIAMETER OF 1.25"-2": IF NOT CIRCULAR. IT SHALL HAVE A PERIMETER DIMENSION OF 4"-6.25" WITH A MAXIMUM CROSS SECTIONAL DIMENSION OF 2.25". SEE R311.7.8.3 ITEM# 2 FOR TYPE II HANDRAILS WITH A PARAMETER OVER 6.25". A MINIMUM CLEARANCE OF 1.5" SHALL BE MAINTAINED FROM THE WALL OR OTHER SURFACE. HANDRAILS SHALL BE RETURNED. TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS (CRC R311 7 8 2) GUARDS SHALL BE 42" MINIMUM HEIGHT (UNLESS ACTING AS A
- HANDRAIL (GUARD FOR A STAIRWAY' THE GUARD HEIGHT MAY BE 34"-38" IN HEIGHT), WITH OPENINGS LESS THAN 4" INCHES CLEAR (GUARDS ON THE OPEN SIDES OF STAIRS MAY HAVE 4 3/8" OPENINGS), (CRC R312) PROVIDE LANDINGS AT THE TOP/BOTTOM OF THE STAIRWAY THE
- WIDTH OF THE STAIRWAY. THE DEPTH OF THE LANDING SHALL BE 36" MINIMUM. (SEE CRC R311.7.6 FOR EXCEPTIONS). USABLE SPACES UNDERNEATH ENCLOSED/UNENCLOSED STAIRWAYS SHALL BE PROTECTED BY A MINIMUM OF 1/2" GYPSUM
- BOARD, (CRC R302.7 RAMPS SERVING THE EGRESS DOOR SHALL HAVE A SLOPE OF NOT MORE THAN 1 UNIT VERTICAL IN 12 UNITS HORIZONTAL (8.3-PERCENT SLOPE) ALL OTHER RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1 UNIT VERTICAL IN 8 UNITS HORIZONTAL (12.5-PERCENT SLOPE). EXCEPTION WHERE IT IS TECHNICALLY INFEASIBLE TO COMPLY BECAUSE OF SITE CONSTRAINTS RAMPS SHALL HAVE A SLOPE OF NOT MORE THAN 1 UNIT VERTICAL IN 8 UNITS HORIZONTAL (12 5-PERCENT SLOPE) (CRC R311 8 1) PROVIDE 3'X3' LANDINGS AT THE TOP AND BOTTOM OF RAMPS WHERE DOORS OPEN ONTO RAMPS, AND WHERE RAMPS CHANGE DIRECTIONS. (CRC R311.8)

- GUARDS ARE REQUIRED IF DECK OR FLOOR IS OVER 30" ABOVE GRADE, MINIMUM 42" HIGH, WITH OPENINGS LESS THAN 4" (CRC R312) GUARDRAILS SHALL BE DESIGNED AND DETAILED FOR LATERAL FORCES ACCORDING TO CRC TABLE 301.5
- PROVIDE DECK LATERAL LOAD CONNECTIONS AT EACH END OF THE DECK AND AT DECK INTERSECTIONS PER CRC R507.2.4 CONNECTORS SHALL HAVE A MINIMUM ALLOWABLE STRESS DESIGN CAPACITY OF 1.500LBS AND INSTALL WITH 24" OF THE END OF THE DECK. 750LB RATED DEVICES ARE ALLOWED (DTT1Z AS EXAMPLE) IF LOCATED EVENLY AT 4 POINTS ALONG THE DECK
- POSTS/COLUMNS SHALL BE RETRAINED AT THE BOTTOM END TO PREVENT LATERAL DISPLACEMENT; CLEARLY SHOW APPROVED POST BASES, STRAPS, ETC TO ACHIEVE THIS PER CRC R407.3
- HARDWARE AND FASTENERS TO BE HOT-DIPPED GALVANIZED STAINLESS STEEL, SILICON BRONZED OR COPPER. (CRC R317.3)

ELECTRICAL

- NO ELECTRICAL PANELS SHALL BE IN CLOSETS OF BATHROOMS. MAINTAIN A CLEARANCE OF 36" INCHES IN FRONT OF PANELS, 30" WIDE OR WIDTH OF EQUIPMENT AND 6'-6" HIGH FOR HEADROOM (CEC
- A CONCRETE-ENCASED ELECTRODE (UFER) CONSISTING OF 20' OF REBAR OR #4 COPPER WIRE PLACED IN THE BOTTOM OF A FOOTING IS REQUIRED FOR ALL NEW CONSTRUCTION. (CEC 250.52(A) BOND ALL METAL GAS AND WATER PIPES TO GROUND. ALL GROUND CLAMPS SHALL BE ACCESSIBLE AND OF AN APPROVED TYPE. (CEC
- ALL 15/20 AMPERE RECEPTACLES INSTALLED PER CEC 210.52 SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (CEC 406.12) ALL BRANCH CIRCUITS SUPPLYING 15/20 AMPERE OUTLETS IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS,
- CLOSETS, HALLWAYS, KITCHENS, LAUNDRY ROOM OR SIMILAR ROOMS/AREAS SHALL BE PROTECTED BY A LISTED COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER (CEC 210 12) PROVIDE A MINIMUM OF ONE 20A CIRCUIT TO BE USED FOR THE LAUNDRY RECEPTACLE. (CEC 210.11(C)(2)) PROVIDE A MINIMUM OF ONE 20A CIRCUIT FOR BATHROOM RECEPTACLE OUTLETS. (CEC
- 210.11(C)(3) PROVIDE AT LEAST 1 OUTLET IN BASEMENTS, GARAGES, LAUNDRY ROOMS, DECKS, BALCONIES, PORCHES AND WITHIN 3' OF THE
- OUTSIDE OF EACH BATHROOM BASIN. (CEC 210.52 (D), (F) & (G)) FURNACES INSTALLED IN ATTICS AND CRAWL SPACES SHALL HAVE AN ACCESS PLATFORM (CATWALK IN ATTICS LIGHT SWITCH AND RECEPTACLE IN THE SPACE. PROVIDE A SERVICE RECEPTACLE FOR THE FURNACE. (CEC 210.63) ALL DWELLINGS MUST HAVE ONE EXTERIOR OUTLET AT THE FRONT
- AND THE BACK OF THE DWELLING. (CEC 210.52(E)) GARAGE RECEPTACLES SHALL NOT SERVE OUTLETS OUTSIDE THE GARAGE. A MINIMUM OF 1 RECEPTACLE SHALL BE PROVIDED FOR EACH CAR SPACE. (210.52(G)(1)) 10. A 15/20 AMP RECEPTACLE SHALL BE INSTALLED WITHIN 50FT OF
- ELECTRICAL SERVICE EQUIPMENT. (CEC 210.64) KITCHENS, DINING ROOMS, PANTRIES, BREAKFAST NOOKS, AND SIMILAR AREAS MUST HAVE A MINIMUM OF TWO 20A CIRCUITS
- KITCHEN PANTRY BREAKFAST NOOKS DINING ROOMS AND SIMILAR AREAS COUNTER OUTLETS MUST BE INSTALLED IN EVERY COUNTER SPACE 12" INCHES OR WIDER, NOT GREATER THAN 4' O.C., WITHIN 24" INCHES OF THE END OF ANY COUNTER SPACE AND NOT HIGHER THAN 20" ABOVE COUNTER. (CEC 210.52 (C)) ISLAND COUNTER SPACES SHALL HAVE AT LEAST 1 RECEPTACLE OUTLET UNLESS A RANGE TOP OR SINK IS INSTALLED THAN 2 RECEPTACLES MAY BE REQUIRED. 1 RECEPTACLE IS REQUIRED FOR PENINSULAR COUNTER SPACES. RECEPTACLES SHALL BE LOCATED BEHIND KITCHEN SINKS IF THE COUNTER AREA DEPTH BEHIND THE SINK IS MORE THAN 12" FOR STRAIGHT COUNTERS AND 18" FOR CORNER INSTALLATIONS.
- (CEC FIGURE 210.52(C)(1)) RECEPTACLES SHALL BE INSTALLED AT 12' O.C. MAXIMUM IN WALLS STARTING AT 6' MAXIMUM FROM THE WALL END. WALLS LONGER THAN TWO FEET SHALL HAVE A RECEPTACLE. HALLWAY WALLS LONGER THAN 10 FT SHALL HAVE A RECEPTACLE IN HALLWAYS. (CEC 210 52(A))
- RECEPTACLES SHALL NOT BE INSTALLED WITHIN OR DIRECTLY OVER A BATHTUB OR SHOWER STALL. (CEC 406.9(C) LIGHT PENDANTS. CEILING FANS LIGHTING TRACKS FTC SHALL NOT BE LOCATED WITHIN 3FT HORIZONTALLY AND 8FT VERTICALLY ABOVE A SHOWER AND/OR BATHTUB THRESHOLD. (CEC 410.10(D))
- 14 ALL LIGHTING/FAN FIXTURES LOCATED IN WET OR DAMP LOCATIONS SHALL BE RATED FOR THE APPLICATION (CEC 410 10) GFCI OUTLETS ARE REQUIRED: FOR ALL KITCHEN RECEPTACLES THAT ARE DESIGNED TO SERVE COUNTERTOP SURFACES, SHWASHERS, BATHROOMS, IN UNDER-FLOOR SPACES OR BELOW GRADE LEVEL. IN EXTERIOR OUTLETS, WITHIN 6' OF A AUNDRY/UTILITY/WET BAR INKS. LAUNDRY AREAS. AND IN ALL GARAGE OUTLETS INCLUDING OUTLETS DEDICATED TO A SINGLE

16. CARBON-MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS WITH FUEL-BURNING APPLIANCES OR WITH ATTACHED GARAGES (CRC R315):

DEVICE OR GARAGE DOOR OPENER (CEC 210.8).

- OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS
- ALTERATIONS, REPAIRS, OR ADDITIONS EXCEEDING 1,000 DOLLARS (MAY BE BATTERY OPERATED) SMOKE ALARMS SHALL BE INSTALLED (CRC (R314):
- IN EACH ROOM USED FOR SLEEPING PURPOSES OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE
- VICINITY OF BEDROOMS. IN EACH STORY, INCLUDING BASEMENTS. SHALL NOT BE INSTALLED WITHIN 20FT HORIZONTALLY OF COOKING
- APPLIANCES AND NO CLOSER THAN 3FT TO MECHANICAL REGISTERS, CEILING FANS AND BATHROOM DOORS WITH A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE DETECTOR (314.3(4)).
- ALTERATIONS, REPAIRS, OR ADDITIONS EXCEEDING 1,000 DOLLARS (MAY BE BATTERY OPERATED) ALL SMOKE AND CARBON-MONOXIDE ALARMS SHALL BE HARDWIRED WITH A BATTERY BACKUP (SMOKE ALARMS SHALL HAVE A 10-YEAR
- SEALED BATTERY), (CRC R314.4 & R315.1.2) 19 ALL 15/20 AMPERE RECEPTACIES IN WET LOCATIONS SHALL HAVE IN-USE (BUBBLE) COVERS INSTALLED ALL RECEPTACLES IN WET LOCATIONS SHALL ALSO BE LISTED WEATHER-RESISTANT TYPE. (CEC 406.9(B)(1)

PLUMBING

- 1. UNDERFLOOR CLEANOUTS SHALL NOT BE MORE THAN 5 FEET FROM AN UNDERFLOOR ACCESS. ACCESS DOOR OR TRAP DOOR. (CPC ABS PIPING SHALL NOT BE EXPOSED TO DIRECT SUNLIGHT UNLESS
- PROTECTED BY WATER BASED SYNTHETIC LATEX PAINTS. (CPC 312 13)
- PVC PIPING SHALL NOT BE EXPOSED TO DIRECT SUNLIGHT UNLESS PROTECTED BY WATER BASED SYNTHETIC LATEX PAINT 04" THICK WRAP OR OTHERWISE PROTECTED FROM UV DEGRADATION. (CPC
- THE ADJACENT SPACE NEXT TO SHOWERS WITHOUT THRESHOLDS SHALL BE CONSIDERED A "WET LOCATION" WHEN USING THE CRC, CBC, AND THE CEC, (CPC 408.5) SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A
- MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES (32" BY 32") AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. THE REQUIRED AREA AND DIMENSIONS SHALL BE MEASURED AT A HEIGHT EQUAL TO THE TOP OF THE THRESHOLD AND SHALL BE MAINTAINED TO A POINT OF NOT LESS THAN 70" ABOVE THE SHOWER DRAIN OUTLET. (CPC 408.6) PROVIDE CURTAIN ROD OR DOOR A MINIMUM OF 22" IN WIDTH (CPC 408.5), SHOWERS AND TUBS WITH SHOWERS REQUIRE A NON-ABSORBENT SURFACE UP TO 6' ABOVE THE FLOOR. (CRC R307.2)
- WATER HEATERS: PROVIDE PRESSURE RELIEF VALVE WITH DRAIN TO OUTSIDE FOR WATER HEATER (CPC 504 6) PROVIDE SEISMIC STRAPPING IN THE UPPER & I OWER THIRD OF THE WATER HEATER A MINIMUM OF 4" ABOVE CONTROLS (CPC 507 2) THE WATER HEATER SHALL BE OF AN INSTANTANEOUS TYPE OR THE FOLLOWING SHALL BE PROVIDED (NEW CONSTRUCTION ONLY) (CEC 150(N)): A 120V RECEPTACLES PROVIDED WITHIN 3FT
- A CATEGORY III OR IV VENT, OR A STRAIGHT (WITHOUT BENDS) TYPE CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN
- HE BASE OF THE WATER HEATER GAS SUPPLY LINE WITH A MINIMUM 200.000 BTU/HR DEDICATED CAPACITY FOR THE WATER HEATER
- DOMESTIC HOT WATER LINES SHALL BE INSULATED. INSULATION SHALL BE THE THICKNESS OF THE PIPE DIAMETER UP TO 2" IN SIZE AND MINIMUM 2" THICKNESS FOR PIPES LARGER THAN 2" IN DIAMETER. (CPC 609.11)
- A 3-INCH GRAVITY DRAIN SHALL BE PROVIDED AT THE LOW POINT OF UNDERFLOOR SPACES, INSTALLED SO AS TO PROVIDE 1/4-INCH PER FOOT GRADE AND TERMINATE AT AN EXTERIOR POINT OF THE BUILDING PROTECTED FROM BLOCKAGE THE OPENING SHALL BE SCREENED WITH A CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS OF 1/4-INCH IN DIMENSION, LENGTHS OF THE GRAVITY DRAINS OVER 10 FEET IN LENGTH SHALL BE FIRST APPROVED BY THE BUILDING OFFICIAL. (L-V 8.9)
- WATER HEATERS LOCATED IN ATTICS. CEILING ASSEMBLIES AND RAISED FLOOR ASSEMBLIES SHALL SHOW A WATER-TIGHT CORROSION RESISTANT MINIMUM 1 1/2" DEEP PAN UNDER THE WATER HEATER WITH A MINIMUM ¾ INCH DRAIN TO THE EXTERIOR OF THE BUILDING, (CPC 507.5)
- WATER CLOSET SHALL BE LOCATED IN A SPACE NOT LESS THAN 30" IN WIDTH (15" ON EACH SIDE) AND 24" MINIMUM CLEARANCE IN FRONT. (CPC 402.5) THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM A
- BATHTUB OR WHIRLPOOL BATHTUB FILLER SHALL NOT EXCEED 120 DEGREES F. (CPC 418) PROVIDE ANTI-SIPHON VALVES ON ALL HOSE BIBS (CPC 603.5.7) FLOOR DRAINS SHALL BE PROVIDED WITH A TRAP PRIMER. (CPC
- 14. MAXIMUM WATER FLOW RATES. (CGBSC 4.303.1): WATER CLOSETS: 1 28GPE
- URINALS: 125GPF KITCHEN FAUCETS: 1.8GPM @ 60PSI
- LAVATORY FAUCETS: 1.2PGM @ 60PSI

SHOWERHEADS: 2GPM MECHANICAL WOOD BURNING APPLIANCES SHALL BE ONE OF THE FOLLOWING A PELLET-FUELED WOOD BURNING HEATER. A U.S. EPA PHASE II CERTIFIED WOOD BURNING HEATER. AN APPLIANCE OR FIREPLACE DETERMINED TO MEET THE U.S. EPA PARTICULATE MATTER EMISSION STANDARD OF LESS THAN 7.5 GRAMS PER HOUR FOR A NON-CATALYTIC WOOD FIRED APPLIANCE

- OR 4.1 GRAMS PER HOUR FOR A CATALYTIC WOOD FIRED APPLIANCE AND IS APPROVED IN WRITING BY THE APCO ALL NEWLY INSTALLED GAS FIREPLACES SHALL BE DIRECT VENT AND SEALED-COMBUSTION TYPE. (CMC 912.2)
- ANY INSTALLED WOOD STOVE OR PELLET STOVE SHALL HAVE A ERMANENT NSPS LABEL CERTIFYING EMISSION LIMITS TOP CHIMNEY MUST EXTEND A MINIMUM OF 2 FT. ABOVE ANY PART
- OF THE BUILDING WITHIN 10 FT. (CMC 802.5.4) FIREPLACES SHALL HAVE CLOSABLE METAL OR GLASS DOORS. HAVE
- COMBUSTION AIR INTAKE DRAWN FROM THE OUTSIDE AND HAVE A
- READILY ACCESSIBLE FLUE DAMPENER CONTROL. CONTINUOUS BURNING PILOT LIGHTS ARE PROHIBITED. (CEC 150.0(E)) PROVIDE COMBUSTION AIR FOR ALL GAS FIRED APPLIANCES PER CMC CHAPTER 7.
- GAS VENTS PASSING THROUGH AN INSULATED ASSEMBLY SHALL HAVE A METAL INSULATION SHIELD A MINIMUM 2" ABOVE INSULATION. (509627)GAS WATER HEATER AND FURNACE ARE NOT ALLOWED IN AREAS
- OPENING INTO BATHROOMS CLOSETS OR BEDROOMS UNLESS INSTALLED IN A CLOSET EQUIPPED WITH A LISTED GASKETED DOOR ASSEMBLY AND A LISTED SELF-CLOSING DEVICE WITH ALL COMBUSTION AIR OBTAINED FROM THE OUTDOORS. (CPC 504)
- ROOF TOP EQUIPMENT ON ROOFS WITH OVER 4/12 SLOPE SHALL HAVE A LEVEL 30"X30" WORKING PLATFORM. (CMC 304.2) EXHAUST OPENINGS TERMINATING TO THE OUTDOORS SHALL BE
- COVERED WITH A CORROSION RESISTANT SCREEN 1/4"-1/2" IN
- OPENING SIZE (NOT REQUIRED FOR CLOTHES DRYERS), (CMC 502.1) VENT DRYER TO OUTSIDE OF BUILDING (NOT TO UNDER-FLOOR AREA). VENT LENGTH SHALL BE 14 MAXIMUM. SHALL TERMINATE A MINIMUM OF 3' FROM THE PROPERTY LINE AND ANY OPENING INTO THE BUILDING, (CMC 504.4.2)
- ENVIRONMENTAL AIR DUCTS SHALL NOT TERMINATE LESS THAN 3' TO A PROPERTY LINE, 10' TO A FORCED AIR INLET, 3' TO OPENINGS INTO THE BUILDING AND SHALL NOT DISCHARGE ON TO A PUBLIC (CMC 502.2.1) PROVIDE MINIMUM 100 SQUARE INCHES MAKE-UP AIR FOR CLOTHES
- DRYERS INSTALLED IN CLOSETS. (CMC 504.4.1(1)) HEATING SYSTEM IS REQUIRED TO MAINTAIN 68 DEGREES AT 3 FT ABOVE FLOOR LEVEL AND 2FT FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS. (CRC R303.9)

ENERGY CODE

CODE 150.0(K)1A)

CODE 150.0(K)1B)

- ALL DUCTS IN CONDITIONED SPACES MUST INCLUDE R-4.2 INSULATION. (CALIFORNIA ENERGY CODE 150.1(C)9) INSULATE THE FIRST 5' OF HOT/COLD WATER LINES, ALL LINES 3/4 INCH IN DIAMETER OR LARGER, ALL RECIRCULATION PIPING, PIPING TO STORAGE TANKS AND ALL HOT WATER PIPES TO KITCHEN IXTURES FROM THE WATER HEATER. (CALIFORNIA ENERGY CODE
- ISOLATION WATER VALVES REQUIRED FOR INSTANTANEOUS WATER HEATERS 6.8KBTU/HR AND ABOVE VALVES SHALL BE INSTALLED ON BOTH COLD AND HOT WATER LINES. EACH VALVE WILL NEED A HOSE BIB OR OTHER FITTING ALLOWING FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED. (CEC 110.3(C)7) ALL LUMINAIRES MUST BE HIGH EFFICACY (CALIFORNIA ENERGY

THE MAXIMUM NUMBER OF BLANK ELECTRICAL BOXES INSTALLED

MORE THAN 5 FEET ABOVE THE FLOOR IS LIMITED TO THE NUMBER

OF BEDROOMS. THE BLANK BOXES SHALL BE SERVED BY A DIMMER.

VACANCY SENSOR OR FAN SPEED CONTROL. (CALIFORNIA ENERGY

GENERAL NOTES CONTINUED 6. LUMINARIES RECESSED IN INSULATED CEILINGS MUST MEET THESE EQUIPMENT. STRUCTURAL COMPONENTS, STRUCTURAL DESIGN

- REQUIREMENTS (CALIFORNIA ENERGY CODE 150.0(K)1C); THEY MUST BE RATED FOR DIRECT INSULATION CONTACT (IC). THEY MUST BE CERTIFIED AS AIRTIGHT (AT) CONSTRUCTION. THEY MUST HAVE A SEALED GASKET OR CAULKING BETWEEN THE HOUSING AND CEILING TO PREVENT FLOW OF HEATED OR COOLED AIR OUT OF LIVING AREAS AND INTO THE CEILING CAVITY THEY MAY NOT CONTAIN A SCREW BASE SOCKETS THEY SHALL CONTAIN A JA8 COMPLIANT LIGHT SOURCE IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE
- CONTROLLED BY A VACANCY SENSOR. (CALIFORNIA ENERGY CODE 50.0(K)2J) JOINT APPENDIX A (JA8) CERTIFIED LAMPS SHALL BE CONSIDERED HIGH EFFICACY. JA8 COMPLIANT LIGHT SOURCES SHALL BE CONTROLLED BY A VACANCY SENSOR OR DIMMER. (EXCEPTION <70SF CLOSETS AND HALLWAY) (CALIFORNIA ENERGY CODE
- 150.0(K)2K) UNDER-CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS. (CALIFORNIA ENERGY CODE 150.0(K)2L) ALL EXTERIOR LIGHTING SHALL BE HIGH EFFICACY. BE CONTROLLED BY A MANUAL ON/OFF SWITCH AND HAVE ONE OF THE FOLLOWING CONTROLS (THE MANUAL SWITCH SHALL NOT OVERRIDE THE
- AUTOMATIC CONTROL DEVICE): (CALIFORNIA ENERGY CODE 150 0(K)3A) PHOTO-CONTROL AND MOTION SENSOR PHOTO-CONTROL AND AUTOMATIC TIME SWITCH CONTROL
- ASTRONOMICAL TIME CLOCK CONTROL TURNING LIGHTS OFF DURING THE DAY ALL HIGH EFFICACY LIGHT FIXTURES SHALL BE CERTIFIED AS
- "HIGH-EFFICACY" LIGHT FIXTURES BY THE CALIFORNIA ENERGY COMMISSION CONTRACTOR SHALL PROVIDE THE HOMEOWNER WITH A LUMINAIRE
- SCHEDULE GIVING THE LAMPS USED IN THE LUMINAIRES INSTALLED. (CALIFORNIA ENERGY CODE 10-103(B)) PROJECT SHALL MEET THE MINIMUM VENTILATION AND ACCEPTABLE INDOOR AIR QUALITY REQUIREMENTS PER ASHRAE STANDARD 62.2. WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING THE WHOLE BUILDING VENTILATION AIRFLOW REQUIRED. THIS IS SUBJECT TO HERS TESTING. THE FOLLOWING LABEL MUST BE ATTACHED TO THE FAN SWITCH: "TO MAINTAIN MINIMUM LEVELS OF OUTSIDE AIR VENTILATION REQUIRED FOR GOOD HEALTH. THE FAN CONTROL SHOULD BE ON AT ALL TIMES WHEN THE BUILDING IS
- OCCUPIED, UNLESS THERE IS SEVERE OUTDOOR AIR CONTAMINATION." (CALIFORNIA ENERGY CODE 150.0(O))
- WILDLAND URBAN INTERFACE (WUI) BUILDINGS CONSTRUCTED AFTER JANUARY 1, 2008
- EXTERIOR WALL COVERINGS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT, HEAVY TIMBER, LOG WALL OR FIRE RESISTIVE CONSTRUCTION, (CRC R337.7) EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE FOUNDATION
- TO THE ROOF AND TERMINATE AT 2 INCH NOMINAL SOLID BLOCKING BETWEEN RAFTERS AND OVERHANGS. (CRC R337.7.3.1) OPEN/ENCLOSED ROOF FAVES AND SOFEITS EXTERIOR PORCH
- CEILINGS FLOOR PROJECTIONS UNDER-FLOOR AREAS AND UNDERSIDES OF APPENDAGES TO COMPLY WITH IGNITION RESISTANT CONSTRUCTION REQUIREMENTS. (CRC R337.5-9) (SHOW COMPLIANCE ON THE PLANS).
- SPACES CREATED BETWEEN ROOF COVERINGS AND ROOF DECKING SHALL BE FIRE STOPPED BY APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72LB MINERAL SURFACED NONPERFORATED CAP SHEET COMPLYING WITH ASTM D 3909. (CRC R337.5.2) VALLEY FLASHING SHALL BE NOT LESS THAN 26AWG AND INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72LB MINERAL
- SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909 AND AT LEAST 36 INCHES WIDE RUNNING THE FULL LENGTH. (CRC R337.5.3) ATTIC GABLE AND EAVES ABOVE 12FT AND UNDER-FLOOR 6. VENTILATION SHALL BE PROVIDED WITH FULLY COVERED METAL
- WIRE MESH, VENTS, OR OTHER MATERIALS THAT HAVE A MINIMUM 1/16 INCH AND MAXIMUM 1/8 INCH OPENINGS, NON-COMBUSTIBLE AND CORROSION RESISTANT, ALL OTHER EAVE VENTS SHALL BE LISTED/APPROVED TO RESIST THE INTRUSION OF FLAME AND BURNING (CRC R337 6)
- EXTERIOR GLAZING SHALL HAVE A MINIMUM OF ONE-TEMPERED PANE GLASS BLOCK HAVE A FIRE RESISTIVE RATING OF 20 MINUTES. OR BE TESTED TO MEET PERFORMANCE REQUIREMENTS OF SEM STANDARD 12-7A-2. (CRC R337.8.2) EXTERIOR DOORS INCLUDING GARAGE DOORS SHALL BE
- NONCOMBUSTIBLE, IGNITION RESISTANT MATERIAL, MINIMUM 1 3/8 INCH SOLID CORE, MINIMUM 20 MINUTE FIRE RESISTIVE RATING OR SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1. (CRC R337.8.3) THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES
- AND STAIRS WITHIN 10FT OF GRADE LEVEL SHALL BE IGNITION RESISTANT MATERIAL, EXTERIOR FIRE RETARDANT TREATED WOOD OR NONCOMBUSTIBLE MATERIAL. (CRC R337.9)
- GREEN BUILDING PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION, ONE OR MORE OF THE FOLLOWING MEASURES SHALL BE IMPLEMENTED TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE (CGBSC 4.106.2);
- RETENTION BASINS OF SUFFICIENT SIZE SHALL BE UTILIZED TO RETAIN STORM WATER ON SITE WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, COLLECTION POINT, GUTTER, OR SIMILAR DISPOSAL METHOD. WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM.
- WATTLE OR OTHER METHOD APPROVED BY THE ENFORCING AGENCY ALL NEW RESIDENTIAL CONSTRUCTION WITH ATTACHED PRIVATE GARAGES SHALL HAVE THE FOLLOWING FOR FLECTRIC VEHICLE (EV)
- CHARGING STATIONS (CGBSC 4.106.4): INSTALL A MINIMUM 1-INCH CONDUIT CAPABLE OF SUPPLYING A 208/240V BRANCH CIRCUIT TO A SUITABLE BOX LOCATION FOR EV
- CHARGING. THE OTHER END SHALL TERMINATE TO THE MAIN SERVICE AND/OR SUBPANEL THE MAIN PANEL AND/OR SUBPANEL SHALL BE OF SUFFICIENT SIZE TO INSTALL A 40-AMPERE DEDICATED BRANCH CIRCUIT. THE
- DEDICATED OVERCURRENT PROTECTION SPACE SHALL BE LABELED "EV CAPABLE MULTIPLE SHOWER HEADS SERVING A SINGLE SHOWER SHALL HAVE A COMBINED FLOW RATE OF 2GPM OR THE SHOWER SHALL BE
- DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. (CGBSC 4.303.1.3.2) RESIDENTIAL PROJECTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SQUARE FEET SHALL COMPLY WITH EITHER A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER
- RESOURCES' MODEL WATER FEEICIENT LANDSCAPE ORDINANCE (MWELO) WHICHEVER IS MORE STRINGENT AUTOMATIC IRRIGATION SYSTEM CONTROLLERS INSTALLED AT TIME OF FINAL INSPECTION SHALL HAVE WEATHER OR SOIL BASED CONTROLLERS AND/OR WEATHER BASED CONTROLLERS WITH RAIN SENSORS, SOIL MOISTURE BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT. (CGBSC 4.304)
- RECYCLE AND/OR REUSE A MINIMUM OF 65 PERCENT OF NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE. (CGBSC
- AT TIME OF FINAL INSPECTION, A BUILDING OPERATION AND MAINTENANCE MANUAL, COMPACT DISC, ETC SHALL BE PROVIDED CONTAINING THE FOLLOWING: (CGBSC 4.410) DIRECTIONS THAT MANUAL SHALL REMAIN ONSITE FOR THE LIFE OF
- THE BUILDING OPERATION AND MAINTENANCE INSTRUCTIONS FOR EQUIPMENT APPLIANCES, ROOF/YARD DRAIN-AGE, IRRIGATION SYSTEMS, ETC INFORMATION FROM LOCAL UTILITY. WATER AND WASTE RECOVERY
- PROVIDERS PUBLIC TRANSPORTATION AND CARPOOL OPTIONS MATERIAL REGARDING IMPORTANCE OF KEEPING HUMIDITY LEVELS BETWEEN 30-60 PERCENT
- INFORMATION REGARDING ROUTINE MAINTENANCE PROCEDURES STATE SOLAR ENERGY INCENTIVE PROGRAM INFORMATION A COPY OF ANY REQUIRED SPECIAL INSPECTION VERIFICATIONS THAT WERE REQUIRED (IF ANY)
- THE PROJECT SHALL MEET MINIMUM POLLUTANT CONTROL REQUIREMENTS FOR ADHESIVES, SEALANTS, CAULKS, PAINTS, CARPET, RESILIENT FLOORING SYSTEMS, ETC. (CGBSC 4.504)
- DUCT OPENINGS RELATED TO HVAC SYSTEMS SHALL BE COVERED WITH TAPE. PLASTIC. SHEET METAL OR OTHER METHODS TO REDUCE THE AMOUNT OF WATER. DUST AND DEBRIS WHICH MAY ENTER THE SYSTEM. (CGBSC 4.504.1)
- GENERAL NOTES BASED ON THE 2019 CALIFORNIA BUILDING STANDARD CODES. THIS IS NOT AN ALL INCLUSIVE LIST OF CODE REQUIREMENTS SPECIFIC TO THE PROJECT. REFERENCE APPLICABLE SHEETS AND SPECIFIC AREAS OF THE PLANS FOR LOCATIONS OF FIXTURES/

CRITERIA. BUILDING FINISHES AND OTHER COMPONENTS SPECIFIC TO THE PROJECT CONSTRUCTION.

Project Name:							Date:
Project Location:							Complete
Project Manager:							
Waste Hauler:							Signature
Waste naulei.	A		В		С	D	Signature
	-	nsert w	eight totals in	to prop	er category be		Notes:
Waste Material Type	Recycled		Reused		Diverted	Non-Recycled (Disposed)	
Asphalt		+		=			
Asphalt Shingles		+		=			
Brick (broken)		+		=			
Cardboard		+		=			
Carpet/Carpet Pad		+		=			
Concrete		+		=			
Gypsum Board (Drywall)		+		=			
Masonry		+		=			
Metals		+		=			
Pallets		+		=			
Plastic		+		=			
Wood (engineered)		+		=			
Wood (solid sawn)		+		=			
Office Waste		+		=			
Other		+		=			
Other		+		=			
Other		+		=			

Step 1 - Insert weight totals into Columns A, B, and D where appropriate.

<u>Step 2</u> - Add Column A to Column B and insert total into Column C for total diverted weight.

Step 3 - Add each column down and enter totals in the boxes provided. If Column C is larger than Column D (on the summary sheet), compliance with 65 percent waste re

If multiple worksheets are used, transfer column totals from each worksheet to the summary shee For additional instructions and information, please see reverse.

Project Name:							Date:
Project Location:							Comple
Project Manager:							compie
Waste Hauler:							Signatu
	А		В		С	D	Signato
		bic foo		totals i	nto proper cate		Notes:
Waste Material Type	Recycled		Reused		Diverted	Non-Recycled (Disposed)	
Asphalt		+		=			
Asphalt Shingles		+		=	-		
Brick (broken)		+		=			
Cardboard		+		=			
Carpet/Carpet Pad		+		=			
Concrete		+		=			
Gypsum Board (Drywall)		+		=			
Masonry		+		=			
Metals		+		=			
Pallets		+		=			
Plastic		+		=			
Wood (engineered)		+		=			
Wood (solid sawn)		+		=			
Office Waste		+		=	-		
Other		+		=			
Other		+		=			
Other		+		=			
Total:		+		=			

Step 1 - Insert volume totals into Columns A, B, and D where appropriate.

Step 2 - Add Column A to Column B and insert total into Column C for total diverted volume.

Step 3 - Add each column down and enter totals in the boxes provided.

If Column C is larger than Column D (on the summary sheet), compliance with 65 percent waste re If multiple worksheets are used, transfer column totals from each worksheet to the summary shee For additional instructions and information, please see reverse.

Instructions for Weight or Volume Method:

- Choose which method of construction waste tracking to be used throughout the pr the Volume Method, but do not use different methods on the same worksheet.
- To minimize confusion, use the same unit of measure and do not mix pounds and worksheet. It is easiest to stay with the same unit of measure for the entire project
- Enter construction waste materials that are to be recycled under Recycled (Column A).
- Enter construction waste materials that are to be reused under Reused (Column B).
- Enter construction waste materials that will not get recycled or reused under Non-Recycled/Disposed (Column D).
- Add amounts from Column A to amounts from Column B and enter the total under Diverted (Column C).
- Add amounts in each Column (A, B, C, and D) and enter these sums into Total boxes.
- If the Diverted amount (Column C) is greater than the Non-Recycled/Disposed amount (Column D), compliance with the construction waste reduction requirement of at least 65 percent per Section 4.408.1 has been achieved.
- When more than one worksheet is used, transfer the data onto the Weight or Volume Summary Worksheet at the completion of the project.

Examples of weights and volumes of some typical construction waste materials*

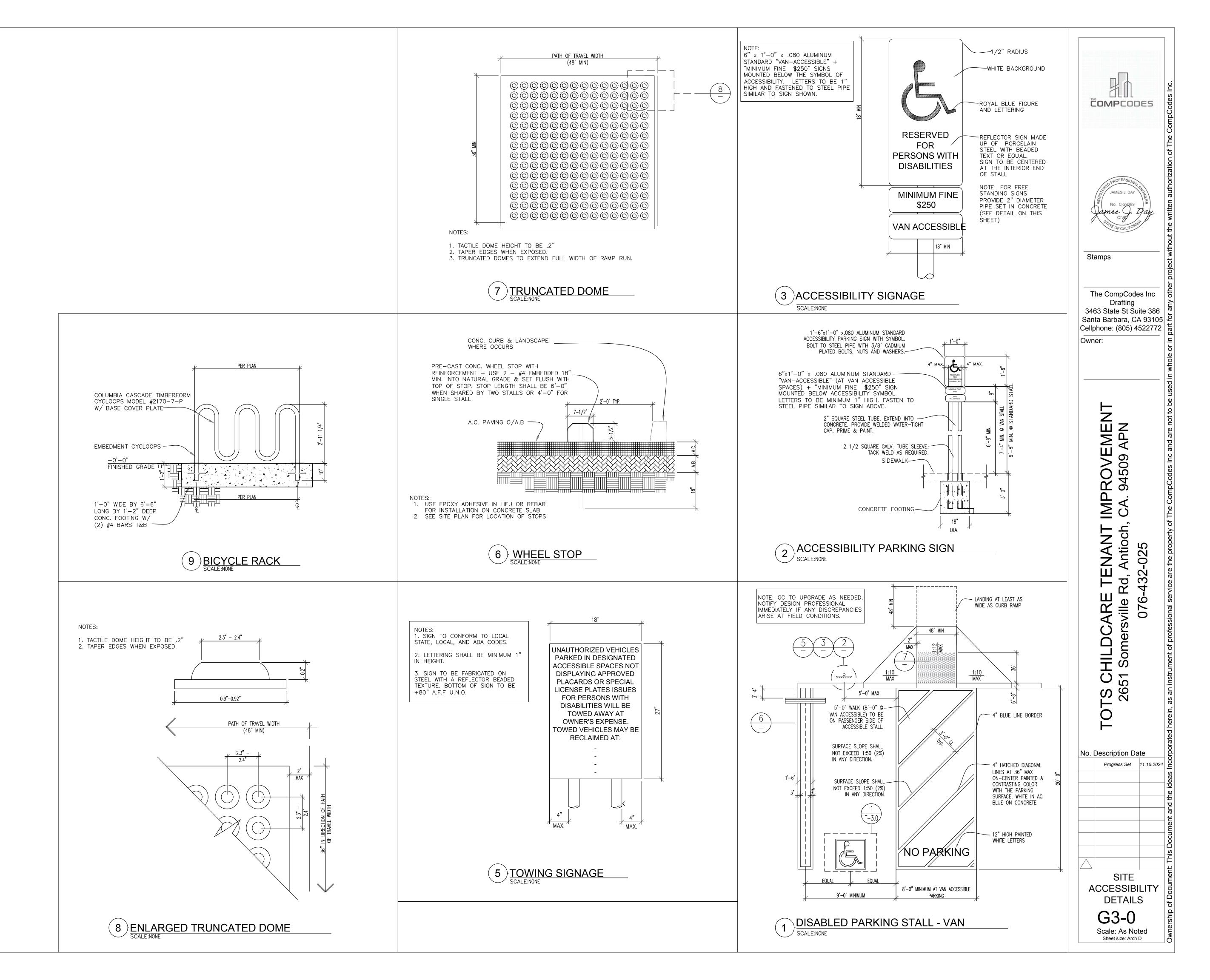
Material	Range of pounds per cubic yard	Typical pounds per cubic yard	Typical cubic yards per ton
Asphalt roofing material	250-460	360	5.5
Asphalt - paving	1300-2200	1750	1.1
Cardboard	70-135	85	23.5
Concrete	1300-2200	1750	1.1
Gypsum Drywall	315-470	400	5
Metals	220-1940	540	3.7
Wood	200-540	499	5

* Source: Sacramento Regional Solid Waste Authority

Standard Conversions: 1 cubic yard equals 27 cubic feet 1 ton equals 2000 pounds

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11B-603 TOILET AND BATHING ROOMS SHALL BE IDENTIFIED BY A GEOMETRIC SYMBOL COMPLYING WITH 11B-703.7.2.6 TOILET AND BATHING ROOM GEOMETRIC SYMBOLS. WHERE EXISTING TOILET ROOMS OR BATHING ROOMS DO NOT COMPLY WITH 11B-6-3 TOILET AND BATHING ROOMS. DIRECTIONAL SIGNS INDICATING THE LOCATION OF THE NEAREST COMPLIANT TOILET ROOM OR BATHING ROOM WITHIN THE FACILITY SHALL BE PROVIDED. SIGNS SHALL COMPLY WITH 11B-703.5 VISUAL CHARACTERS AND SHALL INCLUDED THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 11BN-703.7.2.1 ISA. WHERE EXISTING TOILET ROOMS OR BATHING ROOMS DO NOT COMPLY WITH 11B-603 TOILET AND BATHING ROOMS, THE TOILET ROOMS OR BATHING ROOMS COMPLYING WITH 11B-603 TOILET AND BATHING ROOMS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 11B-703.7.2.1 ISA. WHERE CLUSTERED SINGLE USER TOILET ROOMS OR BATHING FACILITIES ARE PERMITTED TO USE EXCEPTIONS TO 11B-213.2 TOILET AND BATHING ROOMS, TOILET ROOMS OR BATHING FACILITIES COMPLYING WITH 11B-603 TOILET AND BATHING ROOMS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 11B-703.7.2.1. UNLESS ALL TOILET ROOMS AND BATHING FACILITIES COMPLYING WITH 11B-603 TOILET AND BATHING ROOMS. EXISTING BUILDINGS THAT HAVE BEEN REMODELED TO PROVIDE SPECIFIC TOILET ROOMS OR BATHING ROOMS FOR PUBLIC USE THAT COMPLY WITH THESE BUILDING STANDARDS SHALL HAVE THE LOCATION OF AND THE DIRECTIONS TO THESE ROOMS POSTED IN OR NEAR THE BUILDING LOBBY OR ENTRANCE ON A SIGN COMPLYING WITH 11B-703.5 VISUAL CHARACTERS, INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 11B-703.7.2.1. ISA.

20. ENTRANCES LEADING TO TOILET ROOMS AND BATHING ROOMS COMPLYING WITH

21. PICTOGRAMS SHALL COMPLY WITH THE FOLLOWING: a. PICTOGRAMS SHALL HAVE A FIELD HEIGHT OF 6 INCHES MINIMUM. CHARACTERS

- AND BRAILLE SHALL NO BE LOCATED IN THE PICTOGRAM FIELD. b. PICTOGRAMS AND THEIR FIELD SHALL HAVE A NON-GLARE FINISH. PICTOGRAMS SHALL CONTRAST WITH THEIR FIELD WITH EITHER A LIGHT PICTOGRAM ON A DARK FIELD OR A DARK PICTOGRAM ON A LIGHT FIELD. C. PICTOGRAMS SHALL HAVE TEXT DESCRIPTORS LOCATED DIRECTLY BEI OW THE
- PICTOGRAM FIELD. TEXT DESCRIPTORS SHALL COMPLY WITH 11B-703.2 RAISED CHARACTERS, 11B-703.3 BRAILLE AND 11B-703.4 INSTALLATION HEIGHT AND I OCATION d. THE INSTALLATION HEIGHT AND LOCATION OF PICTOGRAM SIGN SHALL BE PER
- 22. SYMBOLS SHALL COMPLY WITH THE FOLLOWING:

11B-703 4 1

- a. DOORWAYS LEADING TO TOILET ROOMS AND BATHING ROOMS SHALL BE IDENTIFIED BY A GEOMETRIC SYMBOL COMPLYING WITH 11B-703 7 2 6 TOILET AND BATHING FACILITIES GEOMETRIC SYMBOLS. THE SYMBOL SHALL BE MOUNTED AT 58 INCHES MINIMUM AND 60 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED FROM THE CENTERLINE OF THE SYMBOL, WHERE A DOOR IS PROVIDED, THE SYMBOL SHALL BE MOUNTED 1 INCH OF THE VERTICAL CENTERLINE
- OF THE DOOR. b. A TRIANGLE SYMBOL SHALL BE LOCATED AT ENTRANCES TO MEN'S TOILET AND BATHING FACILITIES AND IT SHALL BE IDENTIFIED BY AN EQUILATERAL TRIANGLE. 1 INCHES THICK WITH EDGES 12 INCHES LONG AND A VERTEX POINTING UPWARD THE TRIANGLE SYMBOL SHALL CONTRAST WITH THE DOOR, EITHER LIGHT ON A
- DARK BACKGROUND OR DARK ON ALIGHT BACKGROUND c. A CIRCLE SYMBOL SHALL BE LOCATED AT ENTRANCES TO WOMEN'S TOILET AND BATHING FACILITIES AND IT SHALL BE IDENTIFIED BY A CIRCLE, INCH AND 12 INCHES IN DIAMETER. THE CIRCLE SYMBOL SHALL CONTRAST WITH THE DOOR EITHER LIGHT ON A DARK ON A LIGHT BACKGROUND.
- d. A COMBINED CIRCLE AND TRIANGLE SYMBOL SHALL BE LOCATED AT ENTRANCES TO UNISEX TOILET AND BATHING FACILITIES AND SHALL BE SHALL BE IDENTIFIED BY A CIRCLE, 1 4 INCH THICK AND 12 INCHES IN DIAMETER WITH A INCH THICK TRIANGLE WITH A VERTEX POINTING UPWARD SUPERIMPOSED ON THE CIRCLE AND WITH THE 1/2-INCH DIAMETER. THE TRIANGLE SYMBOL SHALL CONTRAST WITH THE CIRCLE SYMBOL. EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND

WASHING MACHINE AND CLOTHES DRYERS

23. WASHING MACHINES AND CLOTHES DRYER'S OPERABLE PARTS MUST COMPLY WITH SECTION 11B-309 OPERABLE PARTS.

24. TOP LOADING MACHINES SHALL HAVE THE DOOR TO THE LAUNDRY COMPARTMENT LOCATED 35 INCHES MAXIMUM ABOVE THE FINISH FLOOR. FRONT LOADING MACHINES SHALL HAVE THE BOTTOM OF THE OPENING TO THE LAUNDRY COMPARTMENT LOCATED 15 INCHES MINIM AND 36 INCHES MAXIMUM ABOVE THE FINISH FLOOR.

F. COMMUNICATION ELEMENTS AND FEATURES

FIRE ALARM SYSTEM

1. WHERE FIRE ALARM SYSTEMS AND CARBON MONOXIDE ALARM SYSTEM PROVIDE AUDIBLE ALARM COVERAGE, ALARMS SHALL COMPLY WITH 11B-215 FIRE ALARM SYSTEMS

2. ALARMS IN PUBLIC USE AREAS AND COMMON USE AREAS SHALL COMPLY WITH 702 CHAPTER 9. SECTION 907.5.2.3.1.

3. WHERE EMPLOYEE WORK AREAS HAVE AUDIBLE ALARM COVERAGE, THE WIRING SYSTEM SHALL BE DESIGNED SO THAT VISIBLE ALARMS COMPLYING WITH 702 CHAPTER 9. SECTION 907.5.2.3.1.

4. FIRE ALARM SYSTEMS SHALL HAVE PERMANENTLY INSTALLED AUDIBLE AND VISIBLE ALARMS COMPLYING WITH NFPA 72 (1999 OR 2002 EDITION) (INCORPORATED BY REFERENCE, SEE "REFERENCED STANDARDS" IN CHAPTER 1), EXCEPT THAT THE MAXIMUM ALLOWABLE SOUND LEVEL OF AUDIBLE NOTIFICATION APPLIANCE. IN ADDITION, ALARMS IN GUEST ROOMS REQUIRED TO PROVIDE COMMUNICATION FEATURES SHALL COMPLY WITH SECTIONS 4-3 AND 4-4 OF NFPA 72 (1999 EDITION), AND CHAPTER 9, SECTIONS 907.5.2.1 AND 907.5.2.3.

ASSISTIVE LISTENING SYSTEMS

5. ASSISTIVE LISTENING SYSTEMS SHALL BE PROVIDED IN ASSEMBLY AREAS, INCLUDING CONFERENCE AND MEETING ROOMS, USED FOR THE PURPOSE OF ENTERTAINMENT, EDUCATIONAL OR CIVIC GATHERINGS, OR SIMILAR PURPOSES.

NOTE: ASSEMBLY AREAS INCLUDE, BUT ARE NOT LIMITED TO, CLASSROOMS, LECTURE HALLS, COURTROOMS, PUBLIC MEETING ROOMS, PUBLIC HEARING ROOMS, LEGISLATIVE CHAMBERS, MOTION PICTURE HOUSES, AUDITORIA, THEATERS, PLAYHOUSES, DINNER THEATERS, CONCERT HALLS, CENTERS FOR THE PERFORMING ARTS, AMPHITHEATERS, ARENAS, STADIUMS, GRANDSTANDS, OR CONVENTION CENTERS.

6 ASSISTIVE LISTENING SYSTEM SHALL PROVIDE AN AMPLIFICATION SYSTEM LITHIZING TRANSMITTERS. RECEIVERS. AND COUPLING DEVICES TO BYPASS THE ACOUSTICAL SPACE BETWEENA SOUND SOURCE AND A LISTENER BY MEANS OF INDUCTION LOOP RADIO FREQUENCY, INFRARED, OR DIRECT-WIRED EQUIPMENT

7. WHERE A BUILDING CONTAINERS MORE THAN ONE ASSEMBLY AREA UNDER MANAGEMENT, THE TOTAL NUMBER OF REQUIRED RECEIVERS MAY BE CALCULATED USING THE TOTAL NUMBER OF SEATS IN THE ASSEMBLY AREAS PROVIDED THAT ALL RECEIVERS ARE USABLE WITH ALL SYSTEMS.

8. TWENTY-FIVE PERCENT MINIMUM OF RECEIVERS PROVIDED FOR ASSISTIVE LISTENING SYSTEMS, BUT NO FEWER THAN TWO, SHALL BE HEARING-AID COMPATIBLE EXCEPT WHEN ALL SEATS IN AN ASSEMBLY AREA ARE SERVED BY MEANS OF AN INDUCTION LOOP.

9. WHEN ASSITIVE-LISTENING SYSTEMS ARE LIMITED TO SPECIFIC AREAS OR SEATS, SUCH AREAS OR SEATS SHALL BE WITHIN A 50-FOOT VIEWING DISTANCE OF THE STAGE OR PLAYING AREA AND SHALL HAVE A COMPLETE VIEW OF THE STAGE OR PLAYING ARE. 10. PERMANENTLY INSTALLED ASSISTIVE-LISTENING SYSTEMS ARE REQUIRED IN AREAS (1) THEY HAVE FIXED SEATING AND (2A) THEY ACCOMMODATE AT LEAST 50 PERSONS OR (2B)

THEY HAVE AUDIO-AMPLIFICATION SYSTEMS, EXCEPT THOSE USED EXCLUSIVELY FOR PAGING AND/OR BACKGROUND MUSIC. 11. PORTABLE ASSISTIVE-LISTENING SYSTEMS MAY SERVE MORE THAN ONE CONFERENCE

OR MEETING ROOMS IF AN ADEQUATE NUMBER OF ELECTRICAL OUTLETS OR OTHER SUPPLEMENTARY WIRING IS PROVIDED AND PERMANENTLY INSTALLED SYSTEMS ARE NOT

12. RECEIVERS REQUIRED FOR USE WITH AND ASSISTIVE LISTENING SYSTEM SHALL INCLUDE A1/8 INCH STANDARD MONO JACK.

13. RECEIVERS REQUIRED TO BE HEARING AID COMPATIBLE SHALL INTERFACE WITH TELECOILS IN HEARING AIDS THROUGH THE PROVISION OF NECK LOOPS.

14. ASSISTIVE LISTENING SYSTEMS SHALL BE CAPABLE OF PROVIDING A SOUND PRESSURE LEVEL FROM 110-118 DB WITH A DYNAMIC RANGE ON THE VOLUME CONTROL OF 50 DB.

15. SIGNAL-TO-NOISE RATIO FOR INTERNALLY GENERATED NOISE IN ASSISTIVE LISTENING

SYSTEM SHALL BE 18 DB MINIMUM. 16. PEAK CLIPPING SHALL NOT EXCEED 18 DB OF CLIPPING RELATIVE TO THE PEAKS OF

17. TWO-WAY COMMUNICATION SYSTEMS THAT ARE PROVIDED TO GAIN ADMITTANCE TO A BUILDING OR FACILITY OR TO RESTRICTED AREAS WITHIN A BUILDING OR FACILITY SHALL

INCHES LONG MINIMUM 18. COMMON USE OR PUBLIC USE SYSTEM INTERFACE OF COMMUNICATIONS SYSTEMS BETWEEN A RESIDENTIAL DWELLING UNIT AND A SITE, BUILDING, OR FLOOR ENTRANCE

SHALL INCLUDE THE CAPABILITY OF SUPPORTING VOICE AND TTY COMMUNICATION WITH THE RESIDENTIAL DWELLING UNIT INTERFACE. 19. RESIDENTIAL DWELLING UNIT SYSTEM INTERFACE OF COMMUNICATIONS SYSTEM

BETWEEN A RESIDENTIAL DWELLING UNIT AND A SITE, BUILDING, OR FLOOR ENTRANCE SHALL INCLUDE A TELEPHONE JACK CAPABLE OF SUPPORTING VOICE AND TTY COMMUNICATION WITH THE COMMON USE OR PUBLIC USE SYSTEM INTERFACE.

PROVIDE BOTH AUDIBLE AND VISUAL SIGNALS. HANDSET CORDS, IF PROVIDED. SHALL BE 29

50. FOR PERPENDICULAR RAMPS, WHERE PROVIDED, CURB RAMP FLARES SHALL NOT BE STEEPER THAN 1:10.

CURB RAMPS, BLENDED TRANSITIONS AND ISLANDS

51. THE RUNNING SLOPE OF THE CURB RAMP SEGMENTS SHALL BE IN-LINE WITH THE DIRECTION OF SIDEWALK TRAVEL. RAMP RUNS HALL HAVE A RUNNING SLOPE NOT STEEPER THAN. 1:12 (8.33%).

49. PERPENDICULAR RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12

52. A TURNING SPACE 48 INCHES MINIMUM BY 48 INCHES SHALL BE PROVIDED AT THE BOTTOM OF THE CURB RAMP. THE SLOPE OF THE TURNING SPACE IN ALL DIRECTIONS SHALL BE 1:48 MAXIMUM (2.083%).

53. BLENDED TRANSITION RAMPS HALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:20

54. CURB RAMPS AND THE FLARED SIDES OD CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES. PARKING SPACES, OR PARKING ACCESS AISLES CURB RAMPS AT MARKET CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS EXCLUDING ANY FLARED SIDES

55. THE CLEAR WIDTH OF CURB RAMP RUNS (EXCLUDING ANY FLARED SIDES), BLENDED TRANSITIONS. AND TURNING SPACES SHALL BE 48 INCHES MINIMUM.

56 LANDINGS SHALL BE PROVIDED AT THE TOPS OF CURB RAMPS AND BI ENDED. TRANSITIONS (PARALLEL CURB RAMPS SHALL NOT BE REQUIRED TO COMPLY). THE LANDING CLEAR LENGTH SHALL BE 48 INCHES MINIMUM. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE CURB RAMP. EXCLUDING ANY FLARED SIDES. OR THE BLENDED TRANSITION LEADING TO THE LANDING. THE SLOPE OF THE LANDING IN ALL DIRECTIONS SHALL BE 1:48 (2.083%)

57. GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMP RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACES. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.

58. THE CROSS SLOPE OF CURB RAMPS AND BLENDED TRANSITIONS SHALL BE 1:48 (2.083%) MAXIMUM.

59. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO AND WITHIN 24 INCHES OF THE CURB RAMP SHALL NOT BE STEEPER THAN 1:20 (5%). THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS, AND STREETS SHALL BE AT THE SAME LEVEL.

60. THE BOTTOM OF DIAGONAL CURB RAMPS SHALL HAVE A CLEAR SPACE 48 INCHES MINIMUM OUTSIDE ACTIVE TRAFFIC LANES OF THE ROADWAY, DIAGONAL CURB RAMPS PROVIDED AT MARKED CROSSING SHALL PROVIDE THE 48 INCHES MINIMUM CLEAR SPACE WITHIN THE MARKING

61. CURB RAMPS AND BLENDED TRANSITIONS SHALL HAVE DETECTABLE WARNING COMPLYING WITH 11B-705 DETECTABLE WARNINGS.

62. RAISED ISLANDS IN CROSSINGS SHALL BE CUT THROUGH LEVEL WITH THE STREET OR HAVE CURB RAMPS AT BOTH SIDES. THE CLEAR WIDTH OF THE ACCESSIBLE ROUTE AT ISLANDS SHALL BE 60 INCHES WIDE MINIMUM. WHERE CURB RAMPS ARE PROVIDED. THEY SHALL COMPLY WITH 11B-406 CURB RAMPS, BLENDED TRANSITIONS AND ISLANDS. LANDINGS COMPLYING WITH 11B-406.5.3 LANDINGS AND THE ACCESSIBLE ROUTE SHALL BE PERMITTED TO OVERLAP. ISLANDS SHALL HAVE DETECTABLE WARNING COMPLYING WITH 11B-705 DETECTABLE WARNINGS AND DETECTABLE DIRECTIONAL TEXTURE.

D. GENERAL SITE AND BUILDING ELEMENTS

1. WHERE PARKING SPACES ARE PROVIDED, ACCESSIBLE PARKING SPACES SHALL BE PROVIDED IN NUMBERS AND KIND REQUIRED PER SECTION 11B-208 PARKING SPACES. 2. WHERE PASSENGER LOADING ZONES, DROP-OFF ZONES, AND/OR BUS STOPS ARE

PROVIDED ACCESSIBLE PASSENGER LOADING ZONES, DROP-OFF ZONES, AND/OR BUS STOPS ARE REQUIRED

3. WHERE ELECTRIC VEHICLE CHARGING STATIONS (EVCS) ARE PROVIDED, THEY SHALL COMPLY WITH SECTION 11B-812 AS REQUIRED BY SECTION.

4. EVCS COMPLYING WITH SECTION 11B-812 THAT SERVE A PARTICULAR BUILDING OR FACILITY SHALL BE LOCATED ON AN ACCESSIBLE ROUTE TO AN ENTRANCE COMPLYING WITH SECTION 11B-206.4. WHERE EVCS DO NOT SERVE A PARTICULAR BUILDING OR FACILITY, EVCS COMPLYING WITH SECTION 11B-812 SHALL BE LOCATED ON AN ACCESSIBLE ROUTE TO AN ACCESSIBLE PEDESTRIAN ENTRANCE OF THE EV CHARGING FACILITY.

E. PLUMBING FIXTURE AND FACILITIES

DRINKING FOUNTAINS 1. DRINKING FOUNTAINS SHALL COMPLY WITH SECTIONS 11B-307 PROTRUDING OBJECTS AND 11B-602 GENERAL REQUIREMENTS

2. UNITS SHALL HAVE A CLEAR FLOOR OR GROUND SPACE COMPLYING WITH SECTION 11B-305 CLEAR FLOOR OR GROUND SPACE POSITIONED FOR A FORWARD APPROACH AND CENTERED ON THE UNIT, KNEE AND TOE CLEARANCE COMPLYING WITH SECTION 11B-306

KNEE AND TOE CLEARANCE SHALL BE PROVIDED 3. SPOUT OUTLETS SHALL BE 36 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND.

4. THE SPOUT SHALL BE LOCATED 15 INCHES MINIMUM FROM THE VERTICAL SUPPORT AND 5 INCHES MAXIMUM FROM THE FRONT EDGE OF THE UNIT, INCLUDING BUMPERS.

5. THE SPOUT SHALL PROVIDE A FLOW OF WATER 4 INCHES HIGH MINIMUM AND SHALL BE LOCATED 5 INCHES MAXIMUM FROM THE FRONT OF THE UNIT. THE ANGLE OF THE WATER STEAM SHALL BE MEASURED HORIZONTALLY RELATIVE TO THE FRONT FACE OF THE UNIT WHERE SPOUTS ARE LOCATED LESS THAN 3 INCHES FROM THE FRONT OF THE UNIT. THE ANGLE OF THE WATER STREAM SHALL BE 30 DEGREES MAXIMUM. WHERE SPOUTS ARE LOCATED BETWEEN 3 INCHES AND 5 INCHES MAXIMUM FROM THE FRONT OF THE UNIT, THE ANGLE OF THE WATER STEAM SHALL BE 15 DEGREES MAXIMUM.

6. SPOUT OUTLET OF DRINKING FOUNTAINS FOR STANDING PERSONS SHALL BE 38 INCHES MINIMUM AND AND 43 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND.

7. WALL AND POST-MOUNTED CANTILEVERED DRINKING FOUNTAIN SHALL BE 18 INCHES MINIMUM AND 19 INCHES MAXIMUM IN DEPTH. 8. ALL DRINKING FOUNTAIN SHALL EITHER BE LOCATED COMPLETELY WITHIN ALCOVES,

POSITIONED COMPLETELY BETWEEN WING WALLS, OR OTHERWISE POSITIONED POSITIONED SO AS NOT TO ENCROACH INTO PEDESTRIAN WAYS. THE PROTECTED AREA WITHIN SUCH A DRINKING FOUNTAIN IN LOCATED SHALL BE 32 INCHES WIDE AND 18 INCHES DEEP MINIMUM, AND SHALL COMPLY WITH SECTION 11B-305.7 MANEUVERING CLEARANCE. WHEN USED, WING WALLS OR BARRIERS SHALL PROJECT HORIZONTALLY AT LEAST AS FAR AS THE DRINKING FOUNTAIN AND TO WITHIN 6 INCHES VERTICALLY FROM THE FLOOR OR GROUND SURFACE.

TOILET AND BATHING ROOM CLEARANCES

9. DOOR TO UNISEX TOILET ROOMS AND UNISEX BATHING ROOMS SHALL HAVE PRIVACY LATCHES.

10. MORROWS LOCATED ABOVE THE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITHIN THE BOTTOM EDGE OF THE REFLECTING SURFACE 40 INCHES MAXIMUM ABOVE MAXIMUM THE FINISH FLOOR OR GROUND. MIRRORS NOT LOCATED ABOVE THE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 35 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND.

11. COAT HOOKS SHALL BE LOCATED WITHIN ONE OF THE REACH RANGES SPECIFIED IN SECTION 11B-308. SHELVES SHALL BE LOCATED 40 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FINISH FLOOR, MEDICINE CABINETS SHALL BE LOCATED WITH A USABLE SHELF NO HIGHER THAN 44 INCHES MAXIMUM ABOVE THE FINISH FLOOR.

12. WHERE TOWEL OR SANITARY NAPKIN DISPENSERS, WASTE RECEPTACLES, OR OTHER ACCESSORIES ARE PROVIDED IN TOILET FACILITIES. AT LEAST ON OF EACH TYPE SHALL BE LOCATED ON AN ACCESSIBLE ROUTE. ALL OPERABLE PARTS. INCLUDING COIN SLOTS. SHALL BE 40 INCHES MAXIMUM ABOVE THE FINISH FLOOR. BABY CHANGING STATION ARE NOT REQUIRED TO COMPLY WITH SECTION 11B-603.5 (SEE EXCEPTION).

WATER CLOSETS AND TOILET COMPARTMENTS

13. FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC. HAND OPERATED FLUSH CONTROLS SHALL COMPLY WITH SECTION 11B-309.4 OPERATION EXCEPT THEY SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET EXCEPT IN AMBULATORY ACCESSIBLE COMPARTMENTS COMPLYING WITH SECTION 11B-604.8.2 AMBULATORY ACCESSIBLE COMPARTMENTS.

14.TOILET PAPER DISPENSERS SHALL COMPLY WITH SECTION 11B-309.4 OPERATION AND SHALL BE 7 INCHES MINIMUM AND 9 INCHES MAXIMUM IN FRONT OF THE WATER CLOSET MEASURED TO THE CENTERLINE OF THE DISPENSER. THE OUTLET OF THE DISPENSER SHALL BE BELOW THE GRAB BAR, 19 INCHES MINIMUM ABOVE THE FINISH FLOOR AND SHALL NOT BE LOCATED BEHIND THE GRAB BARS. DISPENSERS SHALL NOT BE OF THE TYPE THAT CONTROL DELIVERY OR THAT DOES NOT ALLOW CONTINUOUS PAPER FLOW.

15. SANITARY NAPKIN DISPOSAL UNITS, IF PROVIDED, SHALL COMPLY WITH SECTION 11B-309.4 SHALL BE WALL MOUNTED AND LOCATED ON THE SIDEWALL BETWEEN THE REAR WALL OF THE TOILET AND THE TOILET PAPER DISPENSER, ADJACENT TO THE TOILET PAPER DISPENSER. THE DISPOSAL UNIT SHALL BE LOCATED BELOW THE GRAB BAR WITH THE OPENING OF THE DISPOSAL UNIT 19 INCHES MINIMUM (483 MM)ABOVE THE FINISH FLOOR.

16. URINAL SHALL BE THE STALL-TYPE OR THE WALL-HUNG TYPE WITH THE RIM 17 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. URINALS SHALL BE 12 INCHES DEEP MINIMUM MEASURED FROM THE FACE OF THE URINAL RIM TO THE BACK OF THE FIXTURES.

17. FLUSH CONTROLS SHALL BE OPERATED OR AUTOMATIC. HAND OPERATED FLUSH CONTROLS SHALL COMPLY WITH SECTION 11B-309 OPERABLE PARTS EXCEPT THAT FLUSH CONTROL SHALL BE MOUNTED AT A MAXIMUM HEIGHT OF 44 INCHES ABOVE THE FINISH

18. FOR LAVATORIES AND SINKS, A CLEAR FLOOR SPACE COMPLYING WITH SECTION 11B-305 CLEAR FLOOR OR GROUND SURFACE POSITIONED FOR A FORWARD APPROACH, AND KNEE AND TOE CLEARANCE COMPLYING WITH SECTION 11B-306 KNEE AND TOE CLEARANCE SHALL BE PROVIDED.

19.LAVATORIES AND SINKS SHALL BE INSTALLED WITH THE FRONT OF THE HIGHER OF THE RIM OR COUNTER SURFACE 34 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND.

7. DOORWAYS LESS THAN 36 INCHES WIDE WITHOUT DOORS OR GATES, SLIDING DOORS, OR FOLDING DOORS SHALL HAVE MANEUVERING CLEARANCES COMPLYING WITH TABLE 11B-404.2.4.2. 8. MANEUVERING CLEARANCES FOR FORWARD APPROACH SHALL BE PROVIDED WHEN ANY

OBSTRUCTION WITHIN 18 INCHES OF THE LATCH SIDE AN INTERIOR DOORWAY, OR WITHIN 24 INCHES OF THE LATCH SIDE OF AN EXTERIOR DOORWAY. PROJECTS MORE THAN 8 INCHES BEYOND THE FACE OF THE DOOR, MEASURED PERPENDICULAR TO THE FACE OF THE DOOR OR GATE.

9. THRESHOLDS, IF PROVIDED AT DOORWAYS, SHALL BE INCH HIGH HIGH MAXIMUM. RAISED THRESHOLDS AND CHANGES IN LEVEL AT DOORWAY SHALL COMPLY WITH 11B-302 FLOOR OR GROUND SURFACES AND 11B-303 CHANGES IN LEVEL

10. HANDLES, PULL, LATCHES, LOCKS AND OTHER OPERABLE PARTS ON DOORS AND GATES SHALL COMPLY WITH 11B-309.4 OPERATION. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES MINIMUM AND 44 INCHES MAXIMUM ABOVE THE FLOOR OR GROUND. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.

11. THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR GATE OTHER THAN FIRE DOOR SHALL BE AS FOLLOWS

A. INTERIOR HINGED DOORS: 5 POUNDS MAXIMUM. B. SLIDING OR FOLDING DOORS: 5 POUND MAXIMUM

C. REQUIRED FIRE DOORS: THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY NOT TO EXCEED 15 POUNDS D. EXTERIOR HINGED DOORS: 5 POUNDS MAXIMUM

12. SWINGING DOOR AND GATE SURFACES WITHIN 10 INCHES OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN THESE SURFACES SHALL BE WITHING INCH OF THE SAME PLANE AS THE OTHER AND BE FREE OF SHARP OR ABRASIVE EDGES. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAPPED.

RAMPS

13. RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12 (8.33%)

14. CROSS SLOPE OF RAMP RUNS SHALL NOT BE STEEPER THAN 1:48 (2.083%) 15. FLOOR OR GROUND SURFACES OF RAMP RUNS SHALL COMPLY WITH 11B-302 FLOOR OF GROUND SURFACES. CHANGES IN LEVEL OTHER THAN THE RUNNING SLOPE AND CROSS

SLOPE ARE NOT PERMITTED ON RAMP RUNS. 16. THE CLEAR WIDTH OF RAMP RUN SHALL BE 48 INCHES MINIMUM.

17. THE RISE FOR ANY RAMP RUN SHALL BE 30 INCHES MAXIMUM.

18. RAMPS SHALL HAVE LANDING AT THE TOP AND THE BOTTOM OF EACH RAMP RUN. 19. LANDING SHALL COMPLY WITH 11B-302 FLOOR OR GROUND SURFACE, CHANGES IN

LEVEL ARE NOT PERMITTED 20. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING

21. TOP LANDINGS SHALL BE 60 INCHES WIDE MINIMUM.

22. THE LANDING CLEAR LENGTH SHALL BE 60 INCHES LONG MINIMUM.

23. BOTTOM LANDING SHALL EXTEND 72 INCHES MINIMUM IN THE DIRECTION OF RAMP RUN. 24. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HAVE A CLEAR LANDING 60 INCHES MINIMUM BY 72 INCHES MINIMUM IN THE DIRECTION OF DOWNWARD TRAVEL FROM THE UPPER RAMP RUN.

25. WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING, MANEUVERING CLEARANCES REQUIRED BY 11B-404-2.4 AND 11B-404.3.2 SHALL BE PERMITTED TO OVERLAP THE REQUIRED LANDING AREA. DOORS WHEN FULLY OPEN, SHALL NOT REDUCE THE MINIMUM DIMENSION OF THE RAMP LANDING TO LESS THAN 42 INCHES.

26. RAMP RUNS SHALL HAVE COMPLIANT HANDRAILS PER 11B-505 HANDRAILS. 27. EDGE PROTECTION COMPLYING WITH 11B-405.9.2 CURB OR BARRIER SHALL BE PROVIDED ON EACH SIDE OF RAMP RUNS AND AT EACH SIDE OF RAMP LANDINGS.

28. A CURB OR BARRIER SHALL BE PROVIDED THAT PREVENTS THE PASSAGE OF A 4 INCH DIAMETER SPHERE, WHERE ANY PORTION OF THE SPHERE IS WITHIN 4 INCH OF THE FINISH FLOOR OR GROUND SURFACE. TO PREVENT WHEEL ENTRAPMENT, THE CURB OR BARRIER SHALL PROVIDE A CONTINUOUS AND UNINTERRUPTED BARRIER ALONG THE LENGTH OF THE

29. LANDING SUBJECT TO WET CONDITIONS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF WATER. HANDRAILS

30. HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF STAIRS AND RAMPS.

31 HANDRAILS SHALL BE CONTINUOUS WITHIN THE FULL LENGTH OF EACH STAIR FLIGHT OR RAMP RUN. INSIDE HANDRAILS ON SWITCHBACK OR DOGLEG STAIRS AND RAMPS SHALL BE CONTINUOUS BETWEEN FLIGHTS OR RUMS

32. TOP OF GRIPPING SURFACES OF HANDRAILS SHALL BE 34 INCHES MINIMUM AND 34 INCHES MAXIMUM VERTICALLY ABOVE WALKING SURFACES, STAIR NOSINGS, AND RAMP SURFACES. HANDRAILS SHALL BE AT A CONSISTENT HEIGHT ABOVE WALKING SURFACES, STAIR NOSINGS, AND RAMP SURFACES.

33. CLEARANCE BETWEEN HANDRAIL GRIPPING SURFACES AND ADJACENT SURFACE SHALL BE 1 **2** INCHES MINIMUM. HANDRAILS MAY BE LOCATED IN THE RECESS IS 3 INCHES MAXIMUM DEEP AND 18 INCHES MINIMUM CLEAR ABOVE THE TOP OF THE HANDRAIL

34. HANDRAIL GRIPPING SURFACE SHALL BE CONTINUOUS ALONG THEIR LENGTH AND SHALL NOT BE OBSTRUCTED ALONG THEIR TOPS OR SIDES. THE BOTTOMS OF HANDRAIL GRIPPING SURFACES SHALL NOT BE OBSTRUCTED FOR MORE THAN 20 PERCENT OF THEIR LENGTH. WHERE PROVIDED, HORIZONTAL PROJECTIONS SHALL OCCUR BELOW THE BOTTOM OF THE HANDRAIL-GRIPPING SURFACE.

35. HANDRAIL GRIPPING SURFACE WITH A CIRCULAR CROSS SECTION SHALL HAVE AND OUTSIDE DIAMETER OF 1₂1INCHES MINIMUM AND 2 INCHES MAXIMUM. 36. HANDRAIL GRIPPING SURFACES WITH A NON-CIRCULAR CROSS SECTION SHALL HAVE A

PERIMETER DIMENSION OF 4 INCHES MINIMUM AND & INCHES MAXIMUM, AND A CROSS-SECTION DIMENSION OF 241INCHES MAXIMUM.

37. HANDRAIL GRIPPING SURFACES SHALL EXTEND BEYOND AND IN THE SAME DIRECTION OF STAIR FIGHTS AND RAMP RUNS IN ACCORDANCE WITH SECTION 11B-505.10 HANDRAIL EXTENSIONS.

38. RAMP HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 112 INCHES MINIMUM BEYOND THE TOP AND BOTTOM OF RAMP RUNS. EXTENSIONS SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT RAMP RUN.

39. AT THE TOP OF A STAIR FIGHT, HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING FOR 12 INCHES MINIMUM BEGINNING DIRECTLY ABOVE THE FIRST RISER NOSING. EXTENSIONS SHALL RETURN TO A WALL, GUARD, OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF A ADJACENT STAIR FIGHT.

40. AT THE BOTTOM OF A STAIR FIGHT, HANDRAILS SHALL EXTEND AT THE SLOPE OF THE STAIR FLIGHT FIR A HORIZONTAL DISTANCE EQUAL TO ONE TREAD DEPTH BEYOND THE LAST RISER NOSING THE HORIZONTAL EXTENSION OF A HANDRAIL SHALL BE 12 INCHES LONG MINIMUM AND A HEIGHT EQUAL TO THAT OF THE SLOPING PORTION OF THE HANDRAIL AS MEASURED ABOVE THE STAIR NOSINGS. EXTENSION SHALL RETURN TO A WALL. GUARD OR THE LANDING SURFACE, OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT.

STAIRWAY

41. A STAIR DEFINED AS A CHANGE IN ELEVATION, CONSISTING OF ONE OR MORE RISERS. 42. ALL STEPS ON A FLIGHT OF STAIR SHALL HAVE UNIFORM RISER HEIGHTS AND UNIFORM TREAD DEPTHS. RISERS SHALL BE 4 INCHES HIGH MINIMUM AND 7 INCHES HIGH MAXIMUM TREADS SHALL BE 11 INCHES DEEP MINIMUM. CURVED STAIRWAY WITH WINDER TREADS ARE PERMITTED AT STAIRS WHICH ARE NOT PART OF A REQUIRED MEANS OF EGRESS. (SEE EXCEPTIONS).

44. INTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND LOWER TREAD MARKED BY A TRIPE PROVIDING CLEAR VISUAL CONTRAST. EXTERIOR STAIR SHALL HAVE THE UPPER

APPROACH AND ALL TREADS MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST

THE STRIPE SHALL BE A MINIMUM OF 2 INCHES WIDE TO A MAXIMUM OF 4 INCHES WIDE

PLACED PARALLEL TO, AND NOT MORE THAN 1 INCH FROM, THE NOSE OF THE STEP OR

UPPER APPROACH. THE STRIPE SHALL EXTEND THE FULL WIDTH OF THE ORT UPPER

45. THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BENCH

TREAD AT AN ANGLE OF 30 DEGREES MAXIMUM FROM VERTICAL. THE PERMITTED

PROJECTION OF THE NOSING SHALL EXTEND 14 INCHES OVER THE TREAD BELOW.

46. STAIR SHALL HAVE HANDRAILS COMPLYING WITH SECTION 11B-505 HANDRAILS.

MAXIMUM. NOSINGS THAT PROJECT BEYOND RISERS SHALL HAVE THE UNDERSIDE OF THE

47.STAIR TREADS AND LANDINGS SUBJECT TO WET CONDITIONS SHALL BE DESIGNED TO

48. FLOOR IDENTIFICATION SIGNS REQUIRED BY CHAPTER 10, SECTION 1022.9 COMPLYING

VISUAL CHARACTERS SHALL BE LOCATED AT THE LANDING OF EACH FLOOR LEVEL. PLACED

TWO OR MORE STORIES IN HEIGHT TO IDENTIFY THE FLOOR LEVEL. AT THE EXIT DISCHARGE

THE IDENTIFYING FLOOR LEVEL. THE OUTSIDE DIAMETER OF THE STAR SHALL BE THE SAME

LEVEL. THE SIGN SHALL INCLUDE A RAISED FIVE POINTED STAR LOCATED TO THE LEFT TO

ADJACENT TO THE DOOR ON THE LATCH SIDE. IN ALL ENCLOSED STAIRWAYS IN BUILDING

WITH SECTIONS 11B-703.1 SIGNS GENERAL, 11B-703.2 RAISER CHARACTERS, 11B-703.5

LEADING EDGE CURVED OR BEVELED. RISERS SHALL BE PERMITTED TO SLOPE UNDER THE

APPROACH AND SHALL BE OF MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE

OTHER TREADS OF THE STAIR. A PAINTED STRIPE SHALL BE ACCEPTABLE. GROOVES SHALL

43. OPEN RISERS ARE NOT PERMITTED.

NOT BE USED TO SATISFY THIS REQUIREMENT.

PREVENT TO ACCUMULATION OF WATER.

AS THE HEIGHT OF THE RAISED CHARACTERS.

A. APPLICATION AND ADMINISTRATION

1. PUBLIC ACCOMMODATIONS SHALL MAINTAIN IN OPERABLE.

B. BUILDING BLOCKS

FLOOR OR GROUND SERVICES 1. FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT.

2 CARPET OR CARPET THE SHALL BE SECURELY ATTACHED AND SHALL HAVE A FIRM CUSHION. PAD. OR BACKING OR NO CUSHION OR PAD. CARPET TILE SHALL HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE, OR LEVEL CUT/UNCUT PILE TEXTURE. PILE HEIGHT SHALL BE21INCH MAXIMUM.

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HANGES IN LEVEL 3. VERTICAL CHANGES IN LEVEL FOR FLOOR OR GROUND SURFACES MAY BENCH HIGH MAXIMUM AND WITHOUT EDGE TREATMENT. CHANGES IN LEVEL GREATER THANNCH AND NOT EXCEEDING21INCH IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER

4. CHANGE IN LEVEL GREATER THAN 1NCH IN HEIGHT SHALL BE RAMPED AND SHALL COMPLY WITH THE REQUIREMENTS OF 11B-405 RAMPS OR 11B-406 CURB RAMPS AS APPLICABLE.

5. ABRUPT CHANGES IN LEVEL EXCEEDING 4 INCH IN A VERTICAL DIMENSION BETWEEN WALKS. SIDEWALKS OR OTHER PEDESTRIAN WAYS AND ADJACENT SURFACES OR FUTURES SHALL BE IDENTIFIED BY WARNING CURBS AT LEAST 6 INCHES IN HEIGHT ABOVE THE WALK OR SIDEWALK SURFACE OR BY GUARDS OR HANDRAILS WITH A GUIDE RAIL CENTERED 2 INCHES MINIMUM AND 4 INCHES MAXIMUM ABOVE THE SURFACE OF THE WALK OR SIDEWALK. THESE REQUIREMENTS DO NOT APPLY BETWEEN A WALK OR SIDEWALK AND AN ADJACENT STREET OR DRIVEWAY.

TURNING SPACE 6. CIRCULAR TURNING SPACES SHALL BE A SPACE OF 60 INCHES DIAMETER MINIMUM AND MAY INCLUDE KNEE AND TOE CLEARANCE COMPLYING WITH 11B-306 KNEE AND TOE CLEARANCE.

7. T-SHAPED TURNING SPACES SHALL BE A T-SHAPED SPACE WITHIN A 60 INCH SQUARE MINIMUM WITH ARMS AND BASE 36 INCHES WIDE MINIMUM EACH ARM OF THE T SHALL BE CLEAR OF OBSTRUCTIONS 12 INCHES MINIMUM IN EACH DIRECTION AND THE BASE SHALL BE CLEAR OF OBSTRUCTIONS 24 INCHES MINIMUM

KNEE AND TOE CLEARANCE

8 FOR LAVATORIES AND BUILT-IN DINING AND WORK SURFACES REQUIRED TO BE ACCESSIBLE, TOE CLEARANCE SHALL BE PROVIDED THAT IS 30 INCHES IN WIDTH AND 9 INCHES ABOVE THE FINISH FLOOR OR GROUND FOR A DEPTH OF 19 INCHES MINIMUM

9 TOF CLEARANCE SHALL EXTEND 19 INCHES MAXIMUM UNDER LAVATORIES FOR TOILET AND BATHING FACILITIES AND 25 INCHES MAXIMUM UNDER OTHER ELEMENTS.

10. AT LAVATORIES IN TOILET AND BATHING FACILITIES. KNEE CLEARANCE SHALL BE PROVIDED THAT IN 30 INCHES IN WIDTH FOR A DEPTH OF 11 INCHES AT 9 INCHES ABOVE THE FINISH FLOOR OR GROUND AND FOR A DEPTH OF 8 INCHES AT 27 INCHES ABOVE THE FINISH FLOOR OR GROUND INCREASING TO 29 INCHES HIGH MINIMUM ABOVE THE FINISH FLOOR OR GROUND AT THE FRONT EDGE OF A COUNTER WITH A BUILT-IN LAVATORY OR AT THE FRONT EDGE OF A WALL-MOUNTED LAVATORY FIXTURE.

11. AT DINING AND WORK SURFACES REQUIRED TO BE ACCESSIBLE, KNEE CLEARANCE SHALL BE PROVIDED THAT IS 30 INCHES IN WIDTH AT 27 INCHES ABOVE THE FINISH FLOOR OR GROUND FOR A DEPTH OF A LEAST 19 INCHES.

PROTRUDING OBJECTS

12. EXCEPT FOR HANDRAILS OBJECTS WITH LEADING EDGES MORE THAN 27 INCHES AND LESS THAN 80 INCHES ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE NO MORE THAN 4 INCHES HORIZONTALLY INTO THE CIRCULATION PATH. HANDRAILS MAY PROTRUDE 42 INCHES MAXIMUM.

13. FREESTANDING OBJECTS MOUNTED ON POSTS OR PYLONS SHALL OVERHANG CIRCULATION PATHS NO MORE THAN 1 NCHES WHEN LOCATED FROM 27 TO 80 INCHES ABOVE THE FINISH FLOOR OR GROUN

14. PROTRUDING OBJECTS SHALL NO REDUCE THE CLEAR WIDTH REQUIRED FOR ACCESSIBLE ROUTES.

15 LOWEST EDGE OF A SIGN OR OTHER OBSTRUCTION, WHEN MOUNTED BETWEEN POSTS OR PYLONS SEPARATED WITH A CLEAR DISTANCE GREATER THAN 12 INCHES, SHALL BE LESS THAN 27 INCHES OR MORE THAN 80 INCHES ABOVE THE FINISH FLOOR OR GROUND

16. VERTICAL CLEARANCE SHALL BE AT LEAST 80 INCHES HIGH ON CIRCULATION PATHS EXCEPT AT DOOR CLOSERS AND DOOR STOPS, WHICH MAY BE 78 INCHES MINIMUM ABOVE THE FINISH FLOOR OR GROUND.

17. GUARDRAILS OR OTHER WITH A LEADING EDGE LOCATED 27 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SHALL BE PROVIDED WHERE THE VERTICAL CLEARANCE ON CIRCULATION PATHS IS LESS THAN 80 INCHES HIGH

18. WHERE A GUY SUPPORT IS USED WITHIN EITHER THE WIDTH OF A CIRCULATION PATH OR 24 INCHES MAXIMUM OUTSIDE OF A CIRCULATION PATH, A VERTICAL GUY BRACE, SIDEWALK GUY OR SIMILAR SHALL BE USED TO PREVENT A HAZARD OR AN OVERHEAD

OBSTRUCTION. REACH RANGES

19. ELECTRICAL CONTROLS AND SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF A

ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES OR COOLING, HEATING AND VENTILATING EQUIPMENT SHALL BE LOCATED WITHIN ALLOWABLE REACH RANGES. LOW REACH SHALL BE MEASURED TO THE BOTTOM OF THE OUTLET BOX AND HIGH REACH SHALL BE MEASURED TO THE TOP OF THE OUTLET

20. ELECTRICAL RECEPTACLE OUTLETS ON BRANCH CIRCUITS OF 30 AMPERES OR LESS

AND COMMUNICATION SYSTEM RECEPTACLES SHALL BE LOCATED WITHIN ALLOWABLE REACH RANGES. LOW REACH SHALL BE MEASURED TO THE BOTTOM OF THE OUTLET

BOX AND HIGH REACH SHALL BE MEASURED TO THE TOP OF THE OUTLET BOX. 21. HIGH FORWARD REACH THAT IS UNOBSTRUCTED SHALL BE 48 INCHES MAXIMUM AND

THE LOW FORWARD REACH SHALL BE 15 INCHES MINIMUM ABOVE THE FINISH FLOOR OR

22. HIGH FORWARD REACH SHALL BE 48 INCHES MAXIMUM WHERE THE REACH DEPTH IS 20 INCHES OR LESS AND 44 INCHES MAXIMUM WHERE THE REACH DEPTH EXCEEDS 20

INCHES. HIGH FORWARD REACH SHALL NOT EXCEED 25 INCHES IN DEPTH. 23. HIGH SIDE REACH SHALL BE 48 INCHES MAXIMUM AND THE LOW SIDE REACH SHALL BE 15 INCHES MINIMUM ABOVE THE FINISH FLOOR WHERE THE SIDE REACH IS UNOBSTRUCTED OR THE DEPTH OF ANY OBSTRUCTION DOES NOT EXCEED 10 INCHES.

24. HIGH SIDE REACH SHALL BE 46 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND WHERE THE HIGH SIDE REACH IS OVER AND OBSTRUCTION MORE THAN 10

INCHES BUT NOT MORE THAN 24 INCHES IN DEPTH.

25. OBSTRUCTIONS FOR HIGH SIDE REACH SHALL BE NOT EXCEED 34 INCHES IN HEIGHT AND 24 INCHES IN DEPTH.

26. OBSTRUCTED HIGH SIDE REACH FOR THE TOP OF WASHING MACHINES AND CLOTHES DRYERS SHALL BE PERMITTED TO BE 36 INCHES MAXIMUM ABOVE THE FINISH FLOOR

27. OBSTRUCTED HIGH SIDE REACH FOR THE OPERABLE PARTS OF FUEL DISPENSERS SHALL BE PERMITTED TO BE 54 INCHES MAXIMUM MEASURED FROM THE SURFACE OF

THE VEHICULAR WAY WHERE FUEL DISPENSERS ARE INSTALLED ON EXISTING CURB.

OPERABLE PARTS

28. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. FORCE REQUIRED TO

ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAXIMUM.

DOORS, DOORWAYS, AND GATES

SHALL NOT EXCEED 4 INCHES.

WITH 11B-404.2.4.1

FEDERAL STANDARD

DETERMINED BY:

C. ACCESSIBLE ROUTES

C. ACCESSIBLE ROUTES

DETECTABLE WARNINGS AND DETECTABLE DIRECTIONAL TEXTURE

CONTRAST PERCENT= [(B1-B2) / B1] X 100 WHERE

1. DETECTABLE WARNING SURFACE SHALL BE YELLOW AND APPROXIMATE FS 33538 OF

2. DETECTABLE WARNING SURFACES SHALL PROVIDED A 70 PERCENT MINIMUM VISUAL

3. DOORS, DOORWAYS, AND GATES PROVIDING USER PASSAGE SHALL BE PROVIDED IN

4. DOORS, DOORWAYS, AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL

5. DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES MINIMUM. CLEAR

OPENINGS OF DOORWAYS WITH SWINGING DOOR SHALL BE MEASURED BETWEEN THE

SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR OPENING WIDTH LOWER THAN

FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. OPENINGS

MINIMUM. THERE SHALL PROVIDE A CLEAR OPENING OF 36 INCHES MINIMUM. THERE

34 INCHES ABOVE THE FINISH FLOOR OR GROUND. PROJECTIONS INTO THE CLEAR

6. SWINGING DOORS AND GATES SHALL HAVE MANEUVERING CLEARANCES COMPLYING

OPENING WIDTH BETWEEN 34 INCHES AND 80 INCHES ABOVE THE FINISH OR GROUND

MORE THAN 24 INCHES DEEP SHALL PROVIDE A CLEAR OPENING OF 36 INCHES

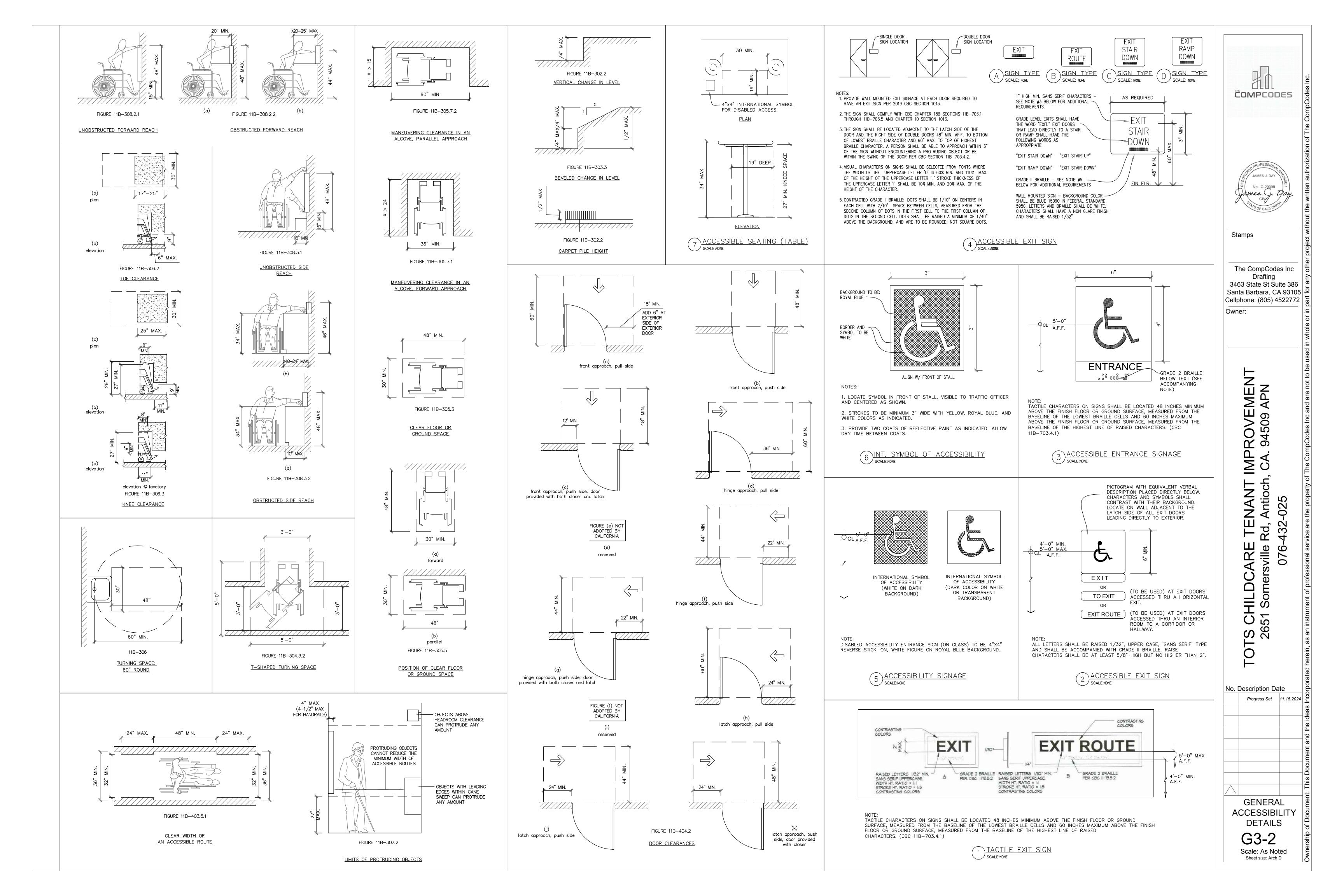
B1 = LIGHT REFLECTANCE VALUE (LRV) OF THE LIGHTER AREA AND

B2 = LIGHT REFLECTANCE VALUE (LRV) OF THE DARKER AREA

ACCORDANCE WITH 11B-206.5 DOORS, DOORWAYS, AND GATES.

MPLY WITH 11B-404 DOORS, DOORWAYS, AND GATES.

CONTRAST WITH ADJACENT WALKING SURFACES. CONTRACTS IN PERCENT SHALL BE



California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

																	RCHITECT, ENGI PECTOR ETC.)
	CHAPTER 3	Y N/A RESPON. PARTY			Y N/A RESPO	5.106.5.3.3 Use of ALMS shall be per	f automatic load manag mitted for EVCS. When A	ement systems (A LMS is installed, th	LMS). ne required electric	cal load capacitv	Y N/A RESPON. PARTY	MAXIMUM ALLOWABLE GLARE RATING ₅ (G)					-
	GREEN BUILDING SECTION 301 GENERAL		5.106.2 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTULAND. Comply with all lawfully enacted stormwater discharge regulations for projects more of land, or (2) disturb less than one acre of land but are part of a larger common	s that (1) disturb one acre or		specified in Section 5.106.5.3.1 for eac EVSE controlled by		when serviced by minimum 30 ampe	an EVSE controlle eres to an EV when	ed by an ALMS. Each In charging one vehicle		MAXIMUM ALLOWABLE GLARE RATING ₅ (G) MAXIMUM ALLOWABLE	N/A	G1 G	2	G3	G4
	301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the		Note: Projects that (1) disturb one acre or more of land, or (2) disturb less than one a larger common plan of development or sale must comply with the post-construction results are the post-construction results are the post-construction results are the post-construction results.	equirements detailed in the		5.106.5.3.4 Access	sible EVCS.					GLARE RATING 5 (G)	N/A	G0 G	1	G1	Gź
	application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.		applicable National Pollutant Discharge Elimination System (NPDES) General permit Associated with Construction and Land Disturbance Activities issued by the State Wa the Lahontan Regional Water Quality Control Board (for projects in the Lake Tahoe H	ater Resources Control Board or		Code, Chapter 11B	talled, accessible EVSC s 3, Section 11B-228.3. ions_refer to Caltrans Tra			the <i>California Building</i> 1 (Zero Emission Vehicle		MAXIMUM ALLOWABLE GLARE RATING ₅ (G)	N/A	G0 G	0	G1	G
	301.3 NONRESIDENTIAL ADDITIONS AND ALTERATIONS. [BSC-CG] The provisions of individual sections of Chapter 5 apply to newly constructed buildings, building additions of 1,000 square		The NPDES permits require postconstruction runoff (post-project hydrology) to match (pre-project hydrology) with the installation of postconstruction stormwater management			Signs and Paveme	ent Markings) or its succe	ssor(s).				MAXIMUM ALLOWABLE GLARE RATING 5 (G)	N/A	G0 G	o	G0	G
	feet or greater, and/or building alterations with a permit valuation of \$200,000 or above (for occupancies within the authority of California Building Standards Commission). Code sections relevant to additions and alterations shall only apply to the portions of the building being added or altered within the scope of the permitted work.		permits emphasize runoff reduction through on-site stormwater use, interception, eval through nonstructural controls, such as Low Impact Development (LID) practices, and Stormwater volume that cannot be addressed using nonstructural practices is require	potranspiration, and infiltration d conversation design measures.		5.106.5.4 Electric Vehicle Construction shall comply v equipment (EVSE). Constru- spaces shall also comply w	with section 5.106.5.4.1 t ruction for warehouses, g	o facilitate future in rocery stores and r	stallation of electri etail stores with pla	anned off-street loading		1. IESNA Lighting Zones 0 and <i>Code</i> and Chapter 10 of the <i>Cal</i>	ifornia Administr	ative Code.			
	A code section will be designated by a banner to indicate where the code section only applies to newly constructed buildings [N] or to additions and/or alterations [A]. When the code section applies to both, no banner will be used.		practices and be approved by the enforcing agency. Refer to the current applicable permits on the State Water Resources Control Board w www.waterboards.ca.gov/constructionstormwater. Consideration to the stormwater ru should be given during the initial design process for appropriate integration into site d	Inoff management measures		section is n a. Whe b. Whe	-by-case basis where the not feasible based upon c ere there is no local utility ere the local utility is unab	ne of the following power supply. le to supply adequa	conditions: ate power.	·		 For property lines that abut p considered to be 5 feet beyond i property lines that abut public ro centerline of the public roadway section. 	he actual proper adways and pub	ty line for purpose of deter lic transit corridors, the pro	mining comp perty line m	pliance with ay be consid	this section idered to b
	301.3.1 Nonresidential additions and alterations that cause updates to plumbing fixtures only:		5.106.4 BICYCLE PARKING. For buildings within the authority of California Building specified in Section 103, comply with Section 5.106.4.1. For buildings within the auth			addition	ere there is evidence suita nal local utility infrastructu ion 5.106.5.3, may advers	re design requirem	ents, directly relate	ted to the implementation		3. General lighting luminaires in ratings. Decorative luminaries lo					
	Note: On and after January 1, 2014, certain commercial real property, as defined in Civil Code Section 1101.3, shall have its noncompliant plumbing fixtures replaced with appropriate water-conserving plumbing fixtures under specific circumstances. See Civil Code Section 1101.1 <i>et seq.</i> for definitions, types of commercial real property affected, effective dates, circumstances necessitating replacement of noncompliant plumbing fixtures, and duties and responsibilities for		Architect pursuant to Section 105, comply with Section 5.106.4.2 5.106.4.1 Bicycle parking. [BSC-CG] Comply with Sections 5.106.4.1.1 and applicable local ordinance, whichever is stricter.			When EVSE(s) is/are Electrical Code and a 5.106.5.4.1 Electric vehicle c	e installed, it shall be in a as follows: charging readiness requ	ccordance with the	e California Building	g Code, the California		5.106.8.1 Facing- Backlight Luminaries within 2MH of a p					
	 and duties and responsibilities for equirements of Section 5.408 shall be required for additions and alterations whenever a permit is required for work. 		5.106.4.1.1 Short-term bicycle parking. If the new project or an addit to generate visitor traffic, provide permanently anchored bicycle racks wi entrance, readily visible to passers-by, for 5% of new visitor motorized ve added, with a minimum of one two-bike capacity rack. Exception: Additions or alterations which add nine or less visitor	ithin 200 feet of the visitors' ehicle parking spaces being		installed at the time of c specifications shall inclu	demolition when adding E (s) and adequate capacity construction in accordanc ude but are not limited to,	for transformers(second transformers) with the California the following:	s), service panels(s a Electrical Code.	s) or subpanel(s) shall be Construction plans and		and shall comply with the bac the nearest point of that prop Exception: Corners. If t to the luminaire, then the directly behind the lumina	klight rating spec erty line. vo property lines luminaire may b aire. The luminair	ified in Table 5.106.8 base (or two segments of the sa e oriented so that the inters e shall still use the distanc	d on the ligh ame property section of the	ting zone an line) have e two lines (t	nd distance equidistant the corner)
	301.4 PUBLIC SCHOOLS AND COMMUNITY COLLEGES. (see GBSC) 301.5 HEALTH FACILITIES. (see GBSC) SECTION 302 MIXED OCCUPANCY BUILDINGS		5.106.4.1.2 Long-term bicycle parking. For new buildings with tenant tenant tenant-occupants, provide secure bicycle parking for 5 percent of the ten	spaces that have 10 or more		requiremen installation 2. The constru	ruction documents shall in	accommodate the dicate on or more	dedicated branch (circuits for the future		lines to determine the red 5.106.8.2 Facing-Glare. For luminaires covered by 5.1	-	-	r extends int	o the front h	nemisphere
	302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.		spaces with a minimum of one bicycle parking facility. 5.106.4.1.3 For additions or alterations that add 10 or more tenant-occup provide secure bicycle parking for 5 percent of the tenant vehicular parki minimum of one bicycle parking facility.			charging di raceway(s) 5.106.5.4.1	ading space(s) reserved ispensers, and a pathway) or busway(s) to the char 1 s) or busway(s) originating	reserved for routing routing cabinet(s) and	ng of conduit from d dispenser(s) as s	the termination of the shown in Table		2MH of the luminaire then the 5.106.8 based on the lighting hemisphere.	luminaire shall o	comply with the more string	ent glare rati	ing specified	d in Table
	SECTION 303 PHASED PROJECTS 303.1 PHASED PROJECTS. For shell buildings and others constructed for future tenant improvements,		5.106.4.1.4 For new shell buildings in phased projects provide secure bid anticipated tenant-occupant vehicular parking spaces with a minimum of	f one bicycle parking facility.		where pote proximity to vehicles. 4. The racewa	ential future medium-and o the potential future loca ay(s) or busway(s) shall t	heavy-duty EVSE to tion of the charging be sufficient size to	will be located and gequipments for m carry the minimun	d shall terminate in close nedium- and heavy-duty m additional system load		Note: [N] 1.See also <i>California Buildi</i> parking facilities and walkw 2.Refer to Chapter 8 (Comp A-1, <i>California Energy Cod</i>	ays. bliance Forms, W	orksheets and Reference			
	 only those code measures relevant to the building components and systems considered to be new construction (or newly constructed) shall apply. 303.1.1 Initial Tenant improvements. The provisions of this code shall apply only to the initial tenant improvements to a project. Subsequent tenant improvements shall comply with the scoping provisions in 		 5.106.4.1.5 Acceptable bicycle parking facility for Sections 5.106.4.1.2, 5 be convenient from the street and shall meet one of the following: 1. Covered, lockable enclosures with permanently anchored racks 				re location of the charging					3. Refer to the <i>California B</i> 5.106.10 GRADING AND PAVIN manage all surface water flow	uilding Code for r G. Construction	requirements for additions plans shall indicate how si	te grading or	a drainage	system wil
	Section 301.3 non-residential additions and alterations.		 Lockable bicycle rooms with permanently anchored racks; or Lockable, permanently anchored bicycle lockers. 			TABLE 5.106.5.4.1 R						water include, but are not lim	ted to, the follow	ing:			
	HCD Department of Housing and Community Development BSC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety		 Note: Additional information on recommended bicycle accommod Sacramento Area Bicycle Advocates. 5.106.4.2 Bicycle parking. [DSA-SS] For public schools and community colleged 	-		REQUIREMENTS FO	OR MEDIUM- AND	HEAVY-DUT	Y EVSE [N]	ADDITIONAL		 Water collection and disp French drains. Water retention gardens. Other water measures w 		a water away from building	s and aid in d	aroundwater	r recharge
r	OSHPD Office of Statewide Health Planning and Development LR Low Rise HR High Rise AA Additions and Alterations		5.106.4.2.1 and 5.106.4.2.2 5.106.4.2.1 Student bicycle parking. Provide permanently anchored b accessed with a minimum of four two-bike capacity racks per new buildir	ng.		BUILDING TYPE	BUILDING SIZE (SQ.	FT.) OFF-S	STREET F	CAPACITY REQUIRED (KVA) OR RACEWAY &			s and alterations S]. Shade Trees	not altering the drainage p s shall be planted to compl	oath. / with Section	ns 5.106.12.	2.1, 5.106.1
			5.106.4.2.2 Staff bicycle parking. Provide permanent, secure bicycle with a minimum of two staff bicycle parking spaces per new building. Access shall be convenient from the street or staff parking area and shall meet of the street or staff parking area and shall meet of the street or staff parking area and shall meet of the street or staff parking area and shall meet of the street or staff parking area and shall meet of the street or staff parking area and shall meet of the street of	parking conveniently accessed ceptable bicycle parking facilities one of the following:				LOADING		BUSWAY AND RANSFORMER & PANEL		5.106.12.1 Surface parking to provide shade over 50 per	aintain tree healt areas. Shade tre	h shall comply with Sectior ee plantings, minimum #10	5.304.6.		
	NONRESIDENTIAL MANDATORY MEASURES DIVISION 5.1 PLANNING AND DESIGN		 Covered, lockable enclosures with permanently anchored racks Lockable bicycle rooms with permanently anchored racks; or Lockable, permanently anchored bicycle lockers. 	s for bicycles;		Grocery	10,000 to 90,000	3 or (or 2 Greater	200 400		Exceptions: Surfa	ce parking area o with Table A5.1	covered by solar photovolt 106.11.2.2 in Appendix A5	aic shade str shall be per	ructures with mitted in wh	h roofing 10le or in p
	SECTION 5.101 GENERAL 5.101.1 SCOPE		5.106.5.3 Electric vehicle (EV) charging. [N] Construction to provide electric veh electric vehicle charging shall comply with Section 5.106.5.3.1 and shall be provide regulations in the California Building Code and the California Electrical Code.	icle infrastructure and facilitate ed in accordance with			Greater than 90,00	1	Greater or 2	400 200		5.106.12.2 Landscape areas	. Shade tress pl		ainer size or	equal shall	be installe
	The provisions of this chapter outline planning, design and development methods that include environmentally responsible site selection, building design, building siting and development to protect, restore and enhance the environmental quality of the site and respect the integrity of adjacent properties.		Exceptions: 1. On a case-by-case basis where the local enforcing agency h	nas determined compliance with		Retail	Greater than 135,0	3 or (Greater Greater	400 400		provide shade of 20% of the I Exceptions: Playfie		d sport activity are not inclu	uded in the to	otal area cal	lculation.
	SECTION 5.102 DEFINITIONS 5.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)		this section is not feasible based upon one of the following c a. Where there is no local utility power supply b. Where the local utility is unable to supply adequate pow	ver.		Warehouse	20,000 to 256,000	D	or 2 Greater	200 400		5.106.12.3. Hardscape area provide shade over 20 percer Exceptions:			ainer size or	r equal shall	be installe
	CUTOFF LUMINAIRES. Luminaires whose light distribution is such that the candela per 1000 lamp lumens does not numerically exceed 25 (2.5 percent) at an angle of 90 degrees above nadir, and 100 (10 percent) at a vertical angle of 80 degrees above nadir. This applies to all lateral angles around the luminaire.		c. Where there is evidence suitable to the local enforceme local utility infrastructure design requirements, directly r Section 5.106.5.3, may adversely impact the constructio 2. Parking spaces accessible only by automated mechanical ca	elated to the implementation of on cost of the project.			Greater than 256,0	00 1 or (Greater	400		 Walks, hardscape areas materials that comply wind of shade tree planting. 	th Table A5.106.	11.2.2 in Appendix A5 sha	II be permitte	ed in whole	or in part
	LOW-EMITTING AND FUEL EFFICIENT VEHICLES. Eligible vehicles are limited to the following:		required to comply with this code section 5.106.5.3.1 EV capable spaces.			5.106.8 LIGHT POLLUTION RE with the following:		,	-			2. Designated and marked DIVISION 5.2 ENI	RGY EFF		ot included ii	n the total ar	ea calcula
	 Zero emission vehicle (ZEV), enhanced advanced technology PZEV (enhanced AT ZEV) or transitional zero emission vehicles (TZEV) regulated under CCR, Title 13, Section 1962. High-efficiency vehicles, regulated by U.S. EPA, bearing a fuel economy and greenhouse gas rating od 9 oe 		 [N] EV capable spaces shall be provided in accordance with Table 5.1 requirements: 1. Raceways complying with the California Electrical Code and diameter shall be provided and shall originate at a service particle. 	no less that 1-inch (25 mm)		Section 10-114 of the	ments in the California En California Administrative s defined in IES TM-15-1 ngs as defined in Californi	Code; and 1 (shown in Table A	-1 in Chapter 8);			SECTION 5.201 GENER 5.201.1 Scope [BSC-CG]. Califor standards in this code, the Califor	rnia Energy Cod	fe [DSA-SS]. For the purp nission will continue to add	oses of man pt mandator	datory energ y building sta	gy efficien andards.
	10 as regulated under 40 CFR Section 600 Subpart D. NEIGHBORHOOD ELECTRIC VEHICLE (NEV). A motor vehicle that meets the definition of "low-speed vehicle"		the area, and shall terminate in close proximity to the propose and into a suitable listed cabinet, box,enclosure or equivaler used to serve multiple EV charging spaces.	sed location of the EV capable		Chapter 8) and 4. Allowable BUG ratings	-	wn in Table 5.106.	8, [N] or Comply w			DIVISION 5.3 WA			CONSE	RVATIO	ON
	either in Section 385.5 of the Vehicle Code or in 49CFR571.500 (as it existed on July 1, 2000), and is certified to zero-emission vehicle standards. TENANT-OCCUPANTS. Building occupants who inhabit a building during its normal hours of operation as permanent		 A service panel or subpanel (s) shall be provided with panel capacity for a dedicated 208/240 volt, 40-ampere minimum to capable space, with delivery of 30-ampere minimum to an in 	branch circuit for each EV Istalled EVSE at each EVCS.			t qualify as exceptions in \$	Sections 130.2 (b) a	and 140.7 of the Ca	alifornia Energy Code.		SECTION 5.301 GENER 5.301.1 Scope. The provisions o and in wastewater conveyance.		ll establish the means of c	onserving wa	iter use indo	ors, outdo
	occupants, such as employees, as distinguished from customers and other transient visitors. VANPOOL VEHICLE. Eligible vehicles are limited to any motor vehicle, other than a motortruck or truck tractor, designed for carrying more than 10 but not more than 15 persons including the driver, which is maintained and used		 The electrical system and any on-site distribution transformer to supply full rated amperage at each EV capable space. The service panel or subpanel circuit directory shall identify protective devices space(s) as "EV CAPABLE". The racewar 	the reserved overcurrent		Custom lighting	nting. e meeting the requirement g features as allowed by the rials, designs and method	ne local enforcing a				SECTION 5.302 DEFINI 5.302.1 Definitions. The following	g terms are defin				*
	primarily for the nonprofit work-related transportation of adults for the purpose of ridesharing. Note: Source: Vehicle Code, Division 1, Section 668		permanently and visibly marked as "EV CAPABLE." Note: A parking space served by electric vehicle supply equipment or	designed as a future EV			h less than 6,200 initial lur					EVAPOTRANSPIRATION ADJU reference evapotranspiration that the amount of water that needs to	adjusts for plant t	factors and irrigation efficie	adjustment fa ncy, which a	actor when a le two major	pplied to influence
	ZEV. Any vehicle certified to zero-emission standards. SECTION 5.106 SITE DEVELOPMENT		charging space shall count as at least one standard automobile parkin complying with any applicable minimum parking space requirements e agency. See vehicle Code Section 22511.2 for further details.			TABLE 5.106.8 [N] M			GHT,			FOOTPRINT AREA [DSA-SS]. T not including exterior areas such	is stairs, covered	l walkways, patios and deo	ks.		
	5.106.1 STORM WATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB LESS THAN ONE ACRE OF LAND. Newly constructed projects and additions which disturb less than one acre of land, and are not part of a larger common plan of development or sale, shall prevent the pollution of storm water runoff from the construction		TABLE 5.106.5.3.1									METERING FAUCET. A self-clos volume or cycle duration can be fi GRAYWATER. Pursuant to Heal	xed or adjustable	ð.			•
	 activities through one or more of the following measures: 5.106.1.1 Local ordinance. Comply with a lawfully enacted storm water management and/or erosion control ordinance. 		TOTAL NUMBER OF ACTUAL PARKING SPACES CAPABLE SPACES	NUMBER OF EVCS (EV CAPABLE SPACES PROVIDED WITH EVSE)^2		ALLOWABLE RATING MAXIMUM ALLOWABLE BACKLIGHT RATING 3		E LZ1 ZONE L				has not been contaminated by an bodily wastes, and does not prese operating wastes. "Graywater" in washbasins, clothes washing mad	/ toilet discharge nt a threat from o cludes, but is not	, has not been affected by contamination by unhealthe limited to wastewater from	infectious, co ul processing bathtubs, sł	ontaminated, g, manufactu nowers, bath	d, or unhea turing, or hroom
	5.106.1.2 Best Management Practices (BMPs). Prevent the loss of soil through wind or water erosion by implementing an effective combination of erosion and sediment control and good housekeeping BMPs.		0-9 0 10-25 2 26-50 8	0 0		Luminaire greater than 2 mounting heights (MH) from property line	N/A No	Limit No Lim	it No Limit	No Limit		dishwashers. MODEL WATER EFFICIENT LAI	IDSCAPE ORDI	NANCE (MWELO). The C	alifornia ordi	nance regula	lating land
	 Soil loss BMPs that should be considered for implementation as appropriate for each project include, but are not limited to, the following: a. Scheduling construction activity during dry weather, when possible. 		51-75 13	3		Luminaire back hemisphere is 1-2 MH from property line	N/A E	B2 B3	B4	B4		design, installation and maintenan landscapes greater than 2500 squ climatological parameters.					
	 b. Preservation of natural features, vegetation, soil, and buffers around surface waters. c. Drainage swales or lined ditches to control stormwater flow. d. Mulching or hydroseeding to stabilize disturbed soils. e. Erosion control to protect slopes. 		76-100 17 101-150 25 151-200 35	4 6 9		Luminaire back hemisphere is 0.5-1 MH from property line Luminaire back hemisphere is	N/A	31 B2	ВЗ	B3		MODEL WATER EFFICIENT LAI (California Code of Regulations, T maintenance practices. Local age as effective as the MWELO.	itle 23, Division 2	2, Chapter 2.7), regulating	andscape de	esign, install	lation and
	 f. Protection of storm drain inlets (gravel bags or catch basin inserts). g. Perimeter sediment control (perimeter silt fence, fiber rolls). h. Sediment trap or sediment basin to retain sediment on site. i. Stabilized construction exits. 		201 AND OVER 20% of total ¹ 1. Where there is insufficient electrical supply.	25% of EV capable spaces ¹		less than 0.5 MH from property line		30 B0	B1	B2		as effective as the MWELO. POTABLE WATER. Water that is Water Standards. See definition in	drinkable and m the California P	neets the U.S. Environmen lumbing Code, Part 5.	al Protection	n Agency (EF	PA) Drinki
	 j. Wind erosion control. k. Other soil loss BMPs acceptable to the enforcing agency. 2. Good housekeeping BMPs to manage construction equipment, materials, non-stormwater discharges 		 Where there is insufficient electrical supply. The number of required EVCS (EV capable spaces provided with the total number of required EV capable spaces shown in column 2. 	EVSE) in column 3 count towards		UPLIGHT RATING (U) For area lighting ₃	N/A U	JO UO	U0	UO		POTABLE WATER. [HCD] Wate U.S. Environmental Protection Ag	r that is satisfacto ency (EPA) Drink	ory for drinking, culinary, a king Water Standards and	nd domestic he requireme	purposes, a ents of the H	nd meets lealth Aut
	 and wastes that should be considered for implementation as appropriate for each project include, but are not limited to, the following: a. Dewatering activities. b. Material handling and waste management. 		5.106.5.3.2 Electric vehicle charging stations (EVCS) EV capable spaces shall be provided with EVSE to create EVCS in the r 5.106.5.3.1. The EVCS required by Table 5.106.5.3.1 may be provided v Level 2 and Direct Current Fast Charging (DCFC), except that at least of	with EVSE in any combination of		For all other outdoor lighting,including decorative luminaires		J1 U2	U3	UR		Having Jurisdiction. RECYCLED WATER. Water white controlled use that would not other treated to remove waste matter at	rwise occur [Wat	er Code Section 13050 (n)	. Simply put		
	 c. Building materials stockpile management. d. Management of washout areas (concrete, paints, stucco, etc.). e. Control of vehicle/equipment fueling to contractor's staging area. f. Vehicle and equipment cleaning performed off site. g Spill prevention and control. 		One EV charger with multiple connectors capable of charging multiple E permitted if the electrical load capacity required by Section 5.106.5.3.1 for	Vs simultaneously shall be								SUBMETER. [HCD 1] A seconda unit within a multiunit residential s 1954.202 (g) and Water code Sec	ry device beyond tructure or mixed	a meter that measures wa -use residential and comm	ter consump		
	 g Spill prevention and control. h. Other housekeeping BMPs acceptable to the enforcing agency. 		The installation of each DCFC EVSE shall be permitted to reduce the miccapable spaces without EVSE by five and reduce proportionally the requ	inimum number of required EV								WATER BUDGET. Is the estimate water allowance calculated in accordinance (MWELO).	ed total landscap	e irrigation water use which			
DISCLAIMER:T	IS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORN	NIA GREEN BUILL	service panel or subpanel.			ED ON AN INDIVIDUAL PROJECT BASIS	S AND MAY BE MODIFIED BY	THE END USER TO	MEET THOSE INDIVI	IDUAL NEEDS. THE END US	SER ASSUMES AL	L RESPONSIBILITY ASSOCIATED WITH	THE USE OF THIS	DOCUMENT, INCLUDING VER	RIFICATION W	ITH THE FULL	L CODE.

		Y N//	A RESPON.	5.106.5.3.3 Use of a							Υþ
	JRB ONE OR MORE ACRES OF		PARTY	ALMS shall be perm specified in Section	itted for EVCS. \	When ALMS is	installed, the red	uired electric			+
r discharge regulations for projects nd but are part of a larger common				5.106.5.3.1 for each EVSE controlled by a	an ALMS shall d	eliver a minimu	im 30 amperes to	o an EV wher			
and, or (2) disturb less than one a				and shall deliver a m		while simultane	ously charging n	nultiple EVs.			
omply with the post-construction re System (NPDES) General permit Activities issued by the State Wa	for Stormwater Discharges			5.106.5.3.4 Accessi When EVSE is instal	lled, accessible l		provided in acco	rdance with t	he California Buildii	ng	
for projects in the Lake Tahoe H				Code, Chapter 11B, Note: For EVCS sign	ns, refer to Caltra	ans Traffic Ope	erations Policy Di	rective 13-01	(Zero Emission Ve	hicle	
(post-project hydrology) to match				Signs and Pavement			ad been relative	FN 1			
stormwater use, interception, eval Development (LID) practices, and	potranspiration, and infiltration			5.106.5.4 Electric Vehicle (Construction shall comply wi equipment (EVSE). Construct	th section 5.106	.5.4.1 to facilita	ite future installa	tion of electric		ding	
nonstructural practices is require				spaces shall also comply wit Exceptions:						ung	
Water Resources Control Board v				1. On a case-b			forcing agency h e following cond		ed compliance with	this	
Consideration to the stormwater ru appropriate integration into site d				a. Where b. Where	e there is no loca the local utility	al utility power s is unable to su	supply. pply adequate po	ower.			
he authority of California Building				additiona	l local utility infra	astructure desig		directly relate	ed to the implement	ation	
.4.1. For buildings within the auth ion 5.106.4.2	ority of the Division of the State			When EVSE(s) is/are	installed, it shall		act the construct ace with the Calif			nia	
oly with Sections 5.106.4.1.1 and ser.	5.106.4.1.2; or meet the			Electrical Code and as		_					
ng. If the new project or an addit	ion or alteration is anticinated			5.106.5.4.1 Electric vehicle ch with planned off-street loadin	g spaces.	-				ores	
anently anchored bicycle racks wi for 5% of new visitor motorized vo	thin 200 feet of the visitors'			 [N] In order to avoid future de raceways(s) or busway(s)) and adequate of	capacity for trai	nsformers(s), ser	vice panels(s) or subpanel(s) sh		
capacity rack.				installed at the time of con specifications shall includ	le but are not lim	ited to, the foll				anu	
g. For new buildings with tenant					in Table 5.106.5				circuits for the future	е	
le parking for 5 percent of the ten parking facility.	ant-occupant vehicular parking			2. The construct	ction documents				ent to the planned ging cabinets and		
that add 10 or more tenant-occup				charging dis	pensers, and a p	oathway reserv		conduit from t	he termination of th	ne	
cent of the tenant vehicular parki	ng spaces being added, with a			5.106.5.4.1			., .	.,	el(s) serving the are	ea	
hased projects provide secure bio	cycle parking for 5 percent of the			where poten	tial future mediu	m-and heavy-o	luty EVSE will be	located and	shall terminate in c edium- and heavy-	lose	
arking spaces with a minimum of				vehicles. 4. The raceway	/(s) or busway(s)) shall be suffic	ient size to carry	the minimum	additional system	ŕ	
facility for Sections 5.106.4.1.2, 5 meet one of the following:	5.106.4.1.3, and 5.106.4.1.4 shall								s shown in Table		
with permanently anchored racks	s for bicycles;									C	
ermanently anchored racks; or red bicycle lockers.				TABLE 5.106.5.4.1 RA				OWFR		ן ן	
ecommended bicycle accommod ates.	lations may be obtained from			REQUIREMENTS FO							
blic schools and community colle	eges comply with Sections										
	sgee, comply with occurring								ADDITIONAL CAPACITY		
Provide permanently anchored t ke capacity racks per new buildir				BUILDING TYPE	BUILDING SIZ	ZE (SQ. FT.)	NUMBER O	ET FO	EQUIRED (KVA) OR RACEWAY &	0	
vide permanent, secure bicycle							LOADING SPA		BUSWAY AND RANSFORMER &		
aff parking area and shall meet o									PANEL		
with permanently anchored racks ermanently anchored racks; or	s for bicycles;				10,000 to	90,000	1 or 2		200	4	
ed bicycle lockers.				Grocery	Greater tha	n 90 000	3 or Greate		400		
nstruction to provide electric veh 5.106.5.3.1 and shall be provide						*	1 or 2	21	200	11	
California Electrical Code.				Retail	10,000 to	135,000	3 or Greate	er	400	1	
ere the local enforcing agency h	as determined compliance with				Greater thar	n 135,000	1 or Greate	er	400		
ased upon one of the following c utility power supply					20,000 to 2	256.000	1 or 2		200		
s unable to supply adequate power supply adequate pow				Warehouse	20,000 10 1	200,000	3 or Greate	ər	400		
e design requirements, directly r adversely impact the construction	elated to the implementation of				Greater thar	n 256,000	1 or Greate	er	400		
only by automated mechanical ca										1	
code section			1	5.106.8 LIGHT POLLUTION REI with the following:	DUCTION. [N]. I	Outdoor lightir	ig systems shall i	be designed a	and installed to com	ріу	
ded in accordance with Table 5.1	06.5.3.1 and the following			1. The minimum requirement Section 10-114 of the Ca				ones 0-4 as d	efined in Chapter 10	D,	
he California Electrical Code and				2. Backlight (B) ratings as 3. Uplight and Glare rating	defined in IES TI	M-15-11 (show	n in Table A-1 in		2 A and 120 2 P in		
and shall originate at a service pa te in close proximity to the propos	sed location of the EV capable			Chapter 8) and 4. Allowable BUG ratings r		-					
binet, box,enclosure or equivaler harging spaces.				lawfully enacted pursual							
el (s) shall be provided with panel 8/240 volt, 40-ampere minimum t	pranch circuit for each EV			Exceptions: [N]							
ry of 30-ampere minimum to an in any on-site distribution transforme				 Luminaires that q Emergency lighti 		ons in Sections	130.2 (b) and 14	40.7 of the Ca	lifornia Energy Cod	le.	
ge at each EV capable space. Inel circuit directory shall identify	the reserved overcurrent			 Building facade n Custom lighting f 	neeting the requi						
as "EV CAPABLE". The raceway				Alternate materia 5. Luminaires with I	als, designs and i	methods of cor	struction.	· · · · · · · · · · · · · · · · · · ·			
tric vehicle supply equipment or	designed as a future EV										
one standard automobile parkin m parking space requirements e	g space only for the purpose of										
511.2 for further details.	,,,,,,,			TABLE 5.106.8 [N] MA			BACKLIGHT	,			
				UPLIGHT AND GLARE	(BUG) RATI	NGS 1,2					
MBER OF REQUIRED EV	NUMBER OF EVCS (EV			ALLOWABLE RATING	ZONE	LIGHTING ZONE LZ1	LIGHTING ZONE LZ2	LIGHTING ZONE LZ3	LIGHTING ZONE LZ4		
CAPABLE SPACES	CAPABLE SPACES PROVIDED WITH EVSE)^2			MAXIMUM ALLOWABLE	LZ0						
0	0			BACKLIGHT RATING 3					 		
2	0			Luminaire greater than 2 mounting heights (MH) from	N/A	No Limit	No Limit	No Limit	No Limit		
8	2			property line Luminaire back hemisphere is							
13	3 4			1-2 MH from property line	N/A	B2	B3	B4	B4		
25	6			Luminaire back hemisphere is 0.5-1 MH from property line	N/A	B1	B2	В3	В3		
35	9			Luminaire back hemisphere is							
20% of total ¹	25% of EV capable spaces ¹			less than 0.5 MH from property line	N/A	B0	B0	B1	B2		
al supply. / capable spaces provided with	EVSE) in column 3 count towards										
ble spaces shown in column 2.	Lyon in column 3 count towards			UPLIGHT RATING (U) For area lighting ₃	N/A	UO	UO	UO	UO		
ions (EVCS)	anada ya badha da an 🚽 🖂 🗤			For all other outdoor							
	with EVSE in any combination of			lighting,including decorative luminaires	N/A	U1	U2	U3	UR		
g (DCFC), except that at least o	ne Level 2 EVSE shall be					1					
s capable of charging multiple E	Vs simultaneouslv shall be										
quired by Section 5.106.5.3.1 for											
er.											
all be permitted to reduce the mi	inimum number of required EV uired electrical load capacity to the										
a reduce proportionally the requ											- 1

NOT APPLICABLE RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.) SPON PARTY

IAXIMUM ALLOWABLE SLARE RATING ₅ (G)					
IAXIMUM ALLOWABLE SLARE RATING 5 (G)	N/A	G1	G2	G3	G4
IAXIMUM ALLOWABLE SLARE RATING 5 (G)	N/A	G0	G1	G1	G2
IAXIMUM ALLOWABLE ELARE RATING ₅ (G)	N/A	G0	G0	G1	G1
IAXIMUM ALLOWABLE GLARE RATING 5 (G)	N/A	G0	G0	G0	G1

5.106.8.1 Facing- Backlight

5.106.8.2 Facing-Glare.

Note: [N]

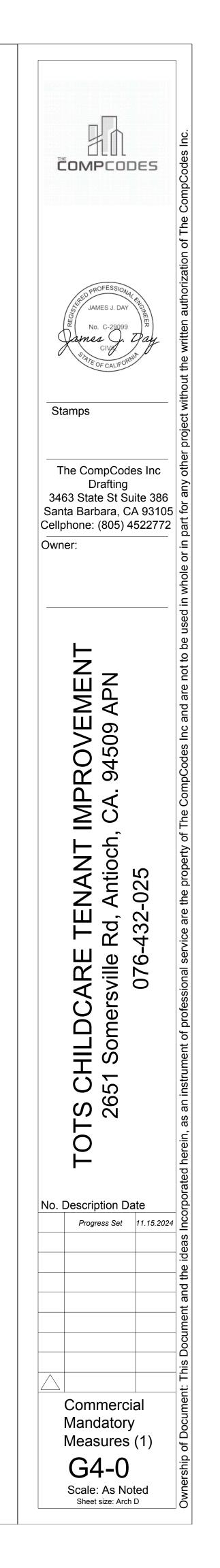
- Swales. 2. Water collection and disposal systems.
- French drains.
- 4. Water retention gardens.

Exceptions:

SECTION 5.201 GENERAL

DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION

SECTION 5.302 DEFINITIONS



California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y N/A RESPON. PARTY				
PANT			Y N/A R	ESPON. PARTY
	SECTION 5.303 INDOOR WATER USE			
	5.303.1 METERS. Separate submeters or metering devices s 503.1.1 and 503.1.2.	nall be installed for the uses described in Sections		
	5.303.1.1 Buildings in excess of 50,000 square feet.	Separate submeters shall be installed as follows: nant space within the building projected to consume		SECTION 5.402 DEFINITIO 5.402.1 DEFINITIONS. The following
	more than 100 gal/day (380 L/day), including,	but not limited to, spaces used for laundry or cleaners, office, laboratory, or beauty salon or barber shop.		ADJUST. To regulate fluid flow rate a a damper.
	following subsystems:	ding tenants are unfeasible, for water supplied to the		BALANCE. To proportion flows within according to design quantities.
	 Makeup water for evaporative coolers 	e flow through is greater than 500 gpm (30 L/s). greater than 6 gpm (0.04 L/s). gy input more than 500,000 Btu/h (147 kW).		BUILDING COMMISSIONING. A syst process, including verifying and docum
	5.303.1.2 Excess consumption. A separate submeter	or metering device shall be provided for any tenant		tested, operated and maintained to me
	within a new building or within an addition that is projec			ORGANIC WASTE. Food waste, gree soiled paper waste that is mixed in with
	5.303.3 WATER CONSERVING PLUMBING FIXTURES AND urinals) and fittings (faucets and showerheads) shall comply w			TEST. A procedure to determine quar SECTION 5.407 WATER RE
	5.303.3.1 Water Closets. The effective flush volume of flush. Tank-type water closets shall be certified to the p Specification for Tank-Type toilets.			5.407.1 WEATHER PROTECTION. Pr California Building Code Section 1402 ordinance, whichever is more stringen
	Note: The effective flush volume of dual flush toilets is two reduced flushes and one full flush.	defined as the composite, average flush volume of		5.407.2 MOISTURE CONTROL. Empl
		e flush volume of wall-mounted urinals shall not exceed		5.407.2.1 Sprinklers. Design an 5.407.2.2 Entries and opening
	0.125 gallons per flush. 5.303.3.2.2 Floor-mounted Urinals. The effecti not exceed 0.5 gallons per flush.	ve flush volume of floor-mounted or other urinals shall		rain to prevent water intrusion in 5.407.2.2.1 Exterior doc
1 🗆 🔤	5.303.3.3 Showerheads. [BSC-CG]	shall have a maximum flow rate of not more than 1.9		intrusion by using nonab such openings plus at lea
	5.303.3.3.1 Single showerhead. Showerheads gallons per minute at 80 psi. Showerheads shall WaterSense Specification for Showerheads.	shall have a maximum flow rate of not more than 1.8 be certified to the performance criteria of the U.S. EPA		 An installed aw The door is pro The door is rec
		shower. When a shower is served by more than one owerheads and/or other shower outlets controlled by a		4. Other methods
	single valve shall not exceed 1.8 gallons per min allow only one shower outlet to be in operation a	ute at 80 psi, or the shower shall be designed to t a time.		5.407.2.2.2 Flashing. In
	Note: A hand-held shower shall be considered a	i snowernead.		SECTION 5.408 CONSTRU RECYCLING
	5.303.3.4 Faucets and fountains.			5.408.1 CONSTRUCTION WASTE MA non-hazardous construction and demo
	more than 0.5 gallons per minute at 60 psi.	avatory faucets shall have a maximum flow rate of not		meet a local construction and demolitie
	gallons per minute at 60 psi. Kitchen faucets may	all have a maximum flow rate of not more than 1.8 / temporarily increase the flow above the maximum rate, i, and must default to a maximum flow rate of 1.8 gallons		5.408.1.1 Construction waste demolition waste management of
	per minute at 60 psi.			 Identifies the construct usage, recycling, reus Determines if constru
	gallons per minute/20 [rim space (inches) at 60 p	-		bulk mixed (single str 3. Identifies diversion factor
		shall not deliver more than 0.20 gallons per cycle. ns. Metering faucets for wash fountains shall have a		 Specifies that the am by weight or volume,
	maximum flow rate of not more than 0.20 gallons	per minute/20 [rim space (inches) at 60 psi].		5.408.1.2 Waste Management documentation that the percenta
	Note: Where complying faucets are unavailable, reduction.	aerators or other means may be used to achieve		complies with this section. Note: The owner or contractor
		e California Code of Regulations, Title 20 (Appliance		will be diverted by a waste man Exceptions to Sections 5.408.
	Efficiency Regulations), Section 1605.1 (h)(4) Ta (d)(7), and shall be equipped with an integral aut	ble H-2, Section 1605.3 (h)(4)(A), and Section 1607 omatic shutoff.		1. Excavated soil and la
		d code section have been reprinted from the <i>California</i> cy Regulations), Section 1605.1 (h)(4) and Section		 Alternate waste reduct facilities capable of ca 3. Demolition waste meet
	TABLE H-2			and markets. 5.408.1.3 Waste stream reduc
	STANDARDS FOR COMMERCIAL			not exceed two pounds per squa as approved by the enforcing ag
	VALUES MANUFACTURED ON O			5.408.1.4 Documentation. Doc compliance with Sections 5.408
	PRODUCT CLASS [spray force in ounce force (ozf)]	MAXIMUM FLOW RATE (gpm)		necessary and shall be accessit
	Product Class 1 (\leq 5.0 ozf) Product Class 2 (> 5.0 ozf and \leq 8.0 ozf)	1.00		1. Sample forms found i
	Product Class 3 (> 8.0 ozf)	1.28		located www.dgs.ca. Resources-List-Folde management plan.
	5.303.4 COMMERCIAL KITCHEN EQUIPMENT.			Mixed construction ar
	5.303.4.1 Food Waste Disposers. Disposers shall eit when the disposer is not in use (not actively grinding fo	od waste/no-load) or shall automatically shut off after no		2. Mixed construction an Resources Recycling 5.408.2 UNIVERSAL WASTE. [A] Ac provisions in Section 301.3 for nonresi
	5.303.4.1 Food Waste Disposers. Disposers shall eit	od waste/no-load) or shall automatically shut off after no no more than 8 gpm of water.		2. Mixed construction at Resources Recycling 5.408.2 UNIVERSAL WASTE. [A] A provisions in Section 301.3 for nonresi items such as fluorescent lamps and b Universal Waste materials are disposed
	 5.303.4.1 Food Waste Disposers. Disposers shall eit when the disposer is not in use (not actively grinding fo more than 10 minutes of inactivity. Disposers shall use Note: This code section does not affect local jurisdiction installation. 5.303.5 AREAS OF ADDITION OR ALTERATION. For those 	od waste/no-load) or shall automatically shut off after no no more than 8 gpm of water. n authority to prohibit or require disposer		2. Mixed construction ar Resources Recycling 5.408.2 UNIVERSAL WASTE. [A] A provisions in Section 301.3 for nonresi items such as fluorescent lamps and b Universal Waste materials are dispose materials shall be included in the const
	 5.303.4.1 Food Waste Disposers. Disposers shall eit when the disposer is not in use (not actively grinding fo more than 10 minutes of inactivity. Disposers shall use Note: This code section does not affect local jurisdiction installation. 5.303.5 AREAS OF ADDITION OR ALTERATION. For those Building Standards Commission as specified in Section 103, t to new fixtures in additions or areas of alteration to the building the section of the building standards commission as specified in Section 103, t to new fixtures in additions or areas of alteration to the building standards commission as specified in the building standards commission as specified in Section 103, t to new fixtures in additions or areas of alteration to the building standards commission as specified in the building standards commission as specified in Section 103, t to new fixtures in additions or areas of alteration to the building standards commission as specified in the building standards commission as specified in Section 103, t to new fixtures in additions or areas of alteration to the building standards commission as specified in Section 103, t to new fixtures in additions or areas of alteration to the building standards commission as specified in Section 103, t to new fixtures in additions or areas of alteration to the building standards commission as specified in Section 103, t to new fixtures in additions or areas of alteration to the building standards commission as specified in Section 103, t to new fixtures in additions or areas of alteration to the building standards commission as specified in Section 103, t to new fixtures in additions or areas of alteration to the building standards commission as specified in Section 103, t to new fixtures in addition specified in Section 103, t to new fixtures in addition specified in Section 103, t to new fixtures in addition specified in Section 103, t to new fixtures in addition specified in Section 103, t to new fixtures in additing specified in Section 103, t to new fixtures in	od waste/no-load) or shall automatically shut off after no no more than 8 gpm of water. n authority to prohibit or require disposer e occupancies within the authority of the California he provisions of Section 5.303.3 and 5.303.4 shall apply g.		2. Mixed construction at Resources Recycling 5.408.2 UNIVERSAL WASTE. [A] A provisions in Section 301.3 for nonresi items such as fluorescent lamps and b Universal Waste materials are disposed materials shall be included in the consi Note: Refer to the Universal W 5.408.3 EXCAVATED SOIL AND LAN vegetation and soils resulting primarily
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	 5.303.4.1 Food Waste Disposers. Disposers shall eit when the disposer is not in use (not actively grinding fo more than 10 minutes of inactivity. Disposers shall use Note: This code section does not affect local jurisdiction installation. 5.303.5 AREAS OF ADDITION OR ALTERATION. For those Building Standards Commission as specified in Section 103, the new fixtures in additions or areas of alteration to the buildin 5.303.6 STANDARDS FOR PLUMBING FIXTURES AND FIT in accordance with the California Plumbing Code, and shall m of the California Plumbing Code and in Chapter 6 of this code SECTION 5.304 OUTDOOR WATER USE 	od waste/no-load) or shall automatically shut off after no no more than 8 gpm of water. n authority to prohibit or require disposer e occupancies within the authority of the California he provisions of Section 5.303.3 and 5.303.4 shall apply g. TINGS. Plumbing fixtures and fittings shall be installed eet the applicable standards referenced in Table 1701.1		2. Mixed construction at Resources Recycling 5.408.2 UNIVERSAL WASTE. [A] A provisions in Section 301.3 for nonresi items such as fluorescent lamps and b Universal Waste materials are disposed materials shall be included in the consi Note: Refer to the Universal W 5.408.3 EXCAVATED SOIL AND LAN vegetation and soils resulting primarily material may be stockpiled on site unt
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DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING VERIFICATION WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT. INCLUDING VERIFICATION WITH THE FULL CODE.

IONS

ng terms are defined in Chapter 2 (and are included here for reference) and air patterns at the terminal equipment, such as to reduce fan speed or adjust

nin the distribution system, including sub-mains, branches and terminals,

stematic quality assurance process that spans the entire design and construction umenting that building systems and components are planned, designed, installed meet the owner's project requirements.

reen waste, landscape and pruning wste, nonhazardous wood waste, and food vith food waste.

antitative performance of a system or equipment

RESISTANCE AND MOISTURE MANAGEMENT Provide a weather-resistant exterior wall and foundation envelope as required by 02.2 (Weather Protection), manufacturer's installation instructions or local

nploy moisture control measures by the following methods.

and maintain landscape irrigation systems to prevent spray on structures.

ngs. Design exterior entries and/or openings subject to foot traffic or wind-driven into buildings as follows:

oor protection. Primary exterior entries shall be covered to prevent water absorbent floor and wall finishes within at least 2 feet around and perpendicular to least one of the following:

awning at least 4 feet in depth. protected by a roof overhang at least 4 feet in depth.

recessed at least 4 feet. ds which provide equivalent protection.

Install flashings integrated with a drainage plane.

UCTION WASTE REDUCTION, DISPOSAL AND

MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65% of the nolition waste in accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3; or ition waste management ordinance, whichever is more stringent.

te management plan. Where a local jurisdiction does not have a construction and

t ordinance, submit a construction waste management plan that: ruction and demolition waste materials to be diverted from disposal by efficient

euse on the project or salvage for future use or sale. ruction and demolition waste materials will be sorted on-site (source-separated) or facilities where construction and demolition waste material collected will be taken. mount of construction and demolition waste materials diverted shall be calculated e, but not by both.

nt Company. Utilize a waste management company that can provide verifiable ntage of construction and demolition waste material diverted from the landfill

or shall make the determination if the construction and demolition waste material nagement company

8.1.1 and 5.408.1.2:

land-clearing debris

luction methods developed by working with local agencies if diversion or recycle compliance with this item do not exist. neeting local ordinance or calculated in consideration of local recycling facilities

uction alternative. The combined weight of new construction disposal that does quare foot of building area may be deemed to meet the 65% minimum requirement

ocumentation shall be provided to the enforcing agency which demonstrates 08.1.1, through 5.408.1.3. The waste management plan shall be updated as sible during construction for examination by the enforcing agency.

d in "A Guide to the California Green Building Standards Code (Nonresidential)" a.gov/BSC/Resources/Page-Content/Building-Standards-Commission-

der/CALGreen may be used to assist in documenting compliance with the waste and demolition debris processors can be located at the California Department of ng and Recovery (CalRecycle).

Additions and alterations to a building or tenant space that meet the scoping esidential additions and alterations, shall require verification that Universal Wast ballast and mercury containing thermostats as well as other California prohibited sed of properly and are diverted from landfills. A list of prohibited Universal Waste nstruction documents.

Waste Rule link at: http://www.dtsc.ca.gov/universalwaste/

AND CLEARING DEBRIS. 100 percent of trees, stumps, rocks and associated rily from land clearing shall be reused or recycled. For a phased project, such ntil the storage site is developed.

or off-site, of vegetation or soil contaminated by disease or pest infestation.

disease or pest infestation is suspected, contact the County Agricultural follow its direction for recycling or disposal of the material. pest and/or disease quarantine zones, consult with the California Department of re. (www.cdfa.ca.gov)

G MAINTENANCE AND OPERATIONS

NTS. Provide readily accessible areas that serve the entire building and are and collection of non-hazardous materials for recycling, including (at a minimum) plastics, organic waste, and metals or meet a lawfully enacted local recycling

s that meet and apply for the exemption in Public Resources eq. shall also be exempt from the organic waste portion of this section.

itions conducted within a 12-month period under single or multiple permits, % or more in floor area, shall provide recycling areas on site.

within a tenant space resulting in less than a 30% increase in the tenant space

Space allocation for recycling areas shall comply with Chapter 18, Part 3, purces Code. Chapter 18 is known as the California Solid Waste Reuse and

use by local agencies may be found in Appendix A of the document at the

5.410.2 COMMISSIONING. [N] New buildings 10,000 square feet and over. For new buildings 10,000 square feet and over, building commissioning shall be included in the design and construction processes of the building project to verify that the building systems and components meet the owner's or owner representative's project requirements. Commissioning shall be performed in accordance with this section by trained personnel with experience on projects of comparable size and complexity. For I-occupancies that are not regulated by OSHPD or for I-occupancies and L-occupancies that are not regulated y the California Energy Code Section 100.0 Scope, all requirements in Sections 5.410.2 through 5.410.2.6 shall apply.

Note: For energy-related systems under the scope (Section 100) of the California Energy Code, including heating, ventilation, air conditioning (HVAC) systems and controls, indoor lighting systems and controls, as well as water heating systems and controls, refer to California Energy Code Section 120.8 for commissioning requirements Commissioning requirements shall include:

- 1. Owner's or Owner representative's project requirements. Basis of design.
- Commissioning measures shown in the construction documents.
- 4. Commissioning plan. 5. Functional performance testing
- 6. Documentation and training. 7. Commissioning report.

Exceptions:

- 1. Unconditioned warehouses of any size.
- 2. Areas less than 10,000 square feet used for offices or other conditioned accessory spaces within unconditioned warehouses
- 3. Tenant improvements less than 10,000 square feet as described in Section 303.1.1. 4. Open parking garages of any size, or open parking garage areas, of any size, within a structure.
- Note: For the purposes of this section, unconditioned shall mean a building, area, or room which does not provide heating and or air conditioning.

Informational Notes:

1. IAS AC 476 is an accreditation criteria for organizations providing training and/or certification of commissioning personnel. AC 476 is available to the Authority Having Jurisdiction as a reference for qualifications of commissioning personnel. AC 476 des not certify individuals to conduct functional performance tests or to adjust and balance systems.

2. Functional performance testing for heating, ventilation, air conditioning systems and lighting controls must be performed in compliance with the California Energy Code.

5.410.2.1 Owner's or Owner Representative's Project Requirements (OPR). [N] The expectations and requirements of the building appropriate to its phase shall be documented before the design phase of the project begins. This documentation shall include the following:

- Environmental and sustainability goals.
- Building sustainable goals. 3. Indoor environmental guality requirements.
- 4. Project program, including facility functions and hours of operation, and need for after hours operation 5. Equipment and systems expectations.
- 6. Building occupant and operation and maintenance (O&M) personnel expectations.

5.410.2.2 Basis of Design (BOD). [N] A written explanation of how the design of the building systems meets the OPR shall be completed at the design phase of the building project. The Basis of Design document shall cover the following systems:

- Renewable energy systems.
- 2. Landscape irrigation systems. Water reuse system.

5.410.2.3 Commissioning plan. [N] Prior to permit issuance a commissioning plan shall be completed to document how the project will be commissioned. The commissioning plan shall include the following: General project information.

Commissioning goals.

- 3. Systems to be commissioned. Plans to test systems and components shall include: An explanation of the original design intent.
- Equipment and systems to be tested, including the extent of tests
- Functions to be tested
- Conditions under which the test shall be performed. e. Measurable criteria for acceptable performance.
- Commissioning team information

5. Commissioning process activities, schedules and responsibilities. Plans for the completion of commissioning shall be included.

5.410.2.4 Functional performance testing. [N] Functional performance tests shall demonstrate the correct installation and operation of each component, system and system-to-system interface in accordance with the approved plans and specifications. Functional performance testing reports shall contain information addressing each of the building components tested, the testing methods utilized, and include any readings and adjustments

5.410.2.5 Documentation and training. [N] A Systems Manual and Systems Operations Training are required, including Occupational Safety and Health Act (OSHA) requirements in California Code of Regulations (CCR), Title 8, Section 5142, and other related regulations.

5.410.2.5.1 Systems manual. [N] Documentation of the operational aspects of the building shall be completed within the systems manual and delivered to the building owner or representative. The systems manual shall include the following:

- 1. Site information, including facility description, history and current requirements.
- 2. Site contact information. 3. Basic operations and maintenance, including general site operating procedures, basic
- troubleshooting, recommended maintenance requirements, site events log. 4. Major systems.
- 5. Site equipment inventory and maintenance notes.
- 6. A copy of verifications required by the enforcing agency or this code. 7. Other resources and documentation, if applicable.

5.410.2.5.2 Systems operations training. [N] A program for training of the appropriate maintenance staff for each equipment type and/or system shall be developed and documented in the commissioning

- report and shall include the following: 1. System/equipment overview (what it is, what it does and with what other systems and/or
 - equipment it interfaces).
- 2. Review and demonstration of servicing/preventive maintenance.
- 3. Review of the information in the Systems Manual. Review of the record drawings on the system/equipment.

5.410.2.6 Commissioning report. [N] A report of commissioning process activities undertaken through the design and construction phases of the building project shall be completed and provided to the owner or representative

5.410.4 TESTING AND ADJUSTING. New buildings less than 10,000 square feet. Testing and adjusting of systems shall be required for new buildings less than 10,000 square feet or new systems to serve an addition or alteration subject to Section 303.1.

5.410.4.2 (Reserved)

Note: For energy-related systems under the scope (Section 100) of the California Energy Code, including heating, ventilation, air conditioning (HVAC) systems and controls, indoor lighting system and controls, as well as water heating systems and controls, refer to California Energy Code Section 120.8 for commissioning requirements and Sections 120.5, 120.6, 130.4, and 140.9(b)3 for additional testing requirements of specific systems.

5.410.4.2 Systems. Develop a written plan of procedures for testing and adjusting systems. Systems to be included for testing and adjusting shall include at a minimum, as applicable to the project:

- 1. Renewable energy systems.
- Landscape irrigation systems. 3. Water reuse systems.

5.410.4.3 Procedures. Perform testing and adjusting procedures in accordance with manufacturer's specifications and applicable standards on each system.

5.410.4.3.1 HVAC balancing. In addition to testing and adjusting, before a new space-conditioning system serving a building or space is operated for normal use, the system shall be balanced in accordance with the procedures defined by the Testing Adjusting and Balancing Bureau National Standards; the National Environmental Balancing Bureau Procedural Standards; Associated Air Balance Council National Standards or as approved by the enforcing agency.

NOT APPLICABLE

RESPONSIBLE PARTY (ie: ARCHITECT. ENGINEER VNER. CONTRACTOR, INSPECTOR ETC.)

COMPCODES

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Owner:

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The CompCodes Inc

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3463 State St Suite 386

Cellphone: (805) 4522772

Santa Barbara, CA 93105

5.410.4.4 Reporting. After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services.

5.410.4.5 Operation and maintenance (O & M) manual. Provide the building owner or representative with detailed operating and maintenance instructions and copies of guaranties/warranties for each system. O & M instructions shall be consistent with OSHA requirements in CCR, Title 8, Section 5142, and other related regulations.

5.410.4.5.1 Inspections and reports. Include a copy of all inspection verifications and reports required by the enforcing agency.

DIVISION 5.5 ENVIRONMENTAL QUALITY

5.501.1 SCOPE. The provisions of this chapter shall outline means of reducing the quantity of air contaminants that are odorous, irritating, and/or harmful to the comfort and well-being of a building's installers, occupants and neighbors

SECTION 5.502 DEFINITIONS

SECTION 5.501 GENERAL

N/A RESPO

5.502.1 DEFINITIONS. The following terms are defined in Chapter 2 (and are included here for reference)

A-WEIGHTED SOUND LEVEL (dBA). The sound pressure level in decibels as measured on a sound level meter using the internationally standardized A-weighting filter or as computed from sound spectral data to which A-weighting adjustments have been made.

ARTERIAL HIGHWAY. A general term denoting a highway primarily for through traffic usually on a continuous route.

1 BTU/HOUR. British thermal units per hour, also referred to as Btu. The amount of heat required to raise one pound of water one degree Fahrenheit per hour, a common measure of heat transfer rate. A ton of refrigeration is 12,000 Btu the amount of heat required to melt a ton (2,000 pounds) of ice at 32⁰ Fahrenheit.

COMMUNITY NOISE EQUIVALENT LEVEL (CNEL). A metric similar to the day-night average sound level (Ldn), except that a 5 decibel adjustment is added to the equivalent continuous sound exposure level for evening hours (7pm to 10pm) in addition to the 10 dB nighttime adjustment used in the Ldn.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, timber, prefabricated wood I-ioists or finger-jointed lumber, all as specified in California Code of Regulations (CCR), Title 17, Section 93120.1(a).

Note: See CCR, Title 17, Section 93120.1.

DAY-NIGHT AVERAGE SOUND LEVEL (Ldn). The A-weighted equivalent continuous sound exposure level for a 24-hour period with a 10 dB adjustment added to sound levels occurring during nighttime hours (10p.m. to 7 a.m.).

DECIBEL (db). A measure on a logarithmic scale of the magnitude of a particular quantity (such as sound pressure, sound power, sound intensity) with respect to a reference quantity.

ELECTRIC VEHICLE (EV). An automotive-type vehicle for on-road use, such as passenger automobiles, buses, trucks, vans, neighborhood electric vehicles, electric motorcycles, and the like, primarily powered by an electric motor that draws current from a rechargeable storage battery, fuel cell, photovoltaic array, or other source of electric current. Plug-in hybrid electric vehicles (PHEV) are considered electric vehicles. For purposes of the California Electrical Code, off-road, self-propoelled electric vehicles, such as industrial trucks, hoists, lifts, transports, golf carts, airline ground support equipment, tractors, boats, and the like, are not included.

ELECTRIC VEHICLE CHARGING STATION(S) (EVCSj). One or more spaces intended for charging electric vehicles.

ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE). The conductors, including the ungrounded, grounded, and equipment grounding conductors and the electric vehicle connectors, attachment plugs, and all other fittings, devices, power outlets, or apparatus installed specifically for the purpose of transferring energy between the premises wiring and the electric vehicle.

ENERGY EQUIVALENT (NOISE) LEVEL (Leg). The level of a steady noise which would have the same energy as the fluctuating noise level integrated over the time of period of interest

EXPRESSWAY. An arterial highway for through traffic which may have partial control of access, but which may or may not be divided or have grade separations at intersections.

FREEWAY. A divided arterial highway with full control of access and with grade separations at intersections. GLOBAL WARMING POTENTIAL (GWP). The radiative forcing impact of one mass-based unit of a given greenhouse gas relative to an equivalent unit of carbon dioxide over a given period of time. Carbon dioxide is the reference compound with a GWP of one.

GLOBAL WARMING POTENTIAL VALUE (GWP VALUE). A 100-year GWP value published by the Intergovernmental Panel on Climate Change (IPCC) in either its Second Assessment Report (SAR) (IPCC, 1995); or its Fourth Assessment A-3 Report (AR4) (IPCC, 2007). The SAR GWP values are found in column "SAR (100-yr)" of Table 2.14.; the AR4 GWP values are found in column "100 yr" of Table 2.14.

HIGH-GWP REFRIGERANT. A compound used as a heat transfer fluid or gas that is: (a) a chlorofluorocarbon, a ndrochlorofluorocarbon, a hydrofluorocarbon, a perfluorocarbon, or any compound or blend of compounds, with a GWP value equal to or greater than 150, or (B) any ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82, sec.82.3 (as amended March 10, 2009).

LONG RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, with a radius 1.5 times the pipe diameter.

LOW-GWP REFRIGERANT. A compound used as a heat transfer fluid or gas that: (A) has a GWP value less than 150, and (B) is not an ozone depleting substance as defined in Title 40 of the Code of Federal Regulations, Part 82. sec.82.3 (as amended March 10, 2009).

MERV. Filter minimum efficiency reporting value, based on ASHRAE 52.2-1999.

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base REactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to nundreths of a gram (g O³/g ROC).

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).

PSIG. Pounds per square inch, guage.

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere

SCHRADER ACCESS VALVES. Access fittings with a valve core installed.

SHORT RADIUS ELBOW. Pipe fitting installed between two lengths of pipe or tubing to allow a change of direction, with a radius 1.0 times the pipe diameter.

SUPERMARKET. For the purposes of Section 5.508.2, a supermarket is any retail food facility with 8,000 square feet or more conditioned area, and that utilizes either refrigerated display cases, or walk-in coolers or freezers connected o remote compressor units or condensing units.

VOC. A volatile organic compound broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a)

Note: Where specific regulations are cited from different agencies such as SCAQMD, ARB, etc., the VOC definition included in that specific regulation is the one that prevails for the specific measure in question.

SECTION 5.503 FIREPLACES

5.503.1 FIREPLACES. Install only a direct-vent sealed-combustion gas or sealed wood-burning fireplace, or a sealed woodstove or pellet stove, and refer to residential requirements in the California Energy Code, Title 24, Part 6, Subchapter 7, Section 150. Woodstoves, pellet stoves and fireplaces shall comply with applicable local ordinances.

5.503.1.1 Woodstoves. Woodstoves and pellet stoves shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits.

SECTION 5.504 POLLUTANT CONTROL

5.504.1 TEMPORARY VENTILATION. The permanent HVAC system shall only be used during construction if necessary to condition the building or areas of addition or alteration within the required temperature range for material and equipment installation. If the HVAC system is used during construction, use return air filters with a Minimum Efficiency Reporting Value (MERV) of 8, based on ASHRAE 52.2-1999, or an average efficiency of 30% based on ASHRAE 52.1-1992 Replace all filters immediately prior to occupancy, or, if the building is occupied during alteration, at the conclusion of construction.

5.504.3 Covering of duct openings and protection of mechanical equipment during construction. At the time of rough installation and during storage on the construction site until final startup of the heating, cooling and ventilation equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of dust, water and debris which hav enter the system.

AIA California 2022 CALIFORNIA GR NONRESIDENTIAL MANDAT

	504.4.6. 5.504.4.1 Adhesives, sealants and caulks. Adhesives, sea	lants, and caulks used on the project shall most	GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXE		
	the requirements of the following standards: 1. Adhesives, adhesive bonding primers, adhesive prime			CURRENT VOC LIMIT	
	comply with local or regional air pollution control or air qu	ality management district rules where		400	
	applicable, or SCAQMD Rule 1168 VOC limits, as shown products also shall comply with the Rule 1168 prohibition	on the use of certain toxic compounds	ALUMINUM ROOF COATINGS	400	
	(chloroform, ethylene dichloride, methylene chloride, per aerosol products as specified in subsection 2, below.	chloroethylene and trichloroethylene), except for	BASEMENT SPECIALTY COATINGS	400	
	• •		BITUMINOUS ROOF COATINGS	50	
	Aerosol adhesives, and smaller unit sizes of adhesive units of product, less packaging, which do not weigh mor		BITUMINOUS ROOF PRIMERS	350	
	than 16 fluid ounces) shall comply with statewide VOC si prohibitions on use of certain toxic compounds, of <i>Califor</i>	tandards and other requirements, including	BOND BREAKERS	350	
	with Section 94507.		CONCRETE CURING COMPOUNDS	350	
			CONCRETE/MASONRY SEALERS	100	
	TABLE 5.504.4.1 - ADHESIVE VOC LIMIT _{1,2}		DRIVEWAY SEALERS	50	
	Less Water and Less Exempt Compounds in Grams per Lite	r	DRY FOG COATINGS	150	
	ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT	FAUX FINISHING COATINGS	350	
	INDOOR CARPET ADHESIVES	50	FIRE RESISTIVE COATINGS	350	
	CARPET PAD ADHESIVES	50	FLOOR COATINGS	100	
	OUTDOOR CARPET ADHESIVES	150	FORM-RELEASE COMPOUNDS	250	
	WOOD FLOORING ADHESIVES	100	GRAPHIC ARTS COATINGS (SIGN PAINTS)	500	
	RUBBER FLOOR ADHESIVES	60	HIGH-TEMPERATURE COATINGS	420	
	SUBFLOOR ADHESIVES	50	INDUSTRIAL MAINTENANCE COATINGS	250	
	CERAMIC TILE ADHESIVES	65			
ł	VCT & ASPHALT TILE ADHESIVES	50	LOW SOLIDS COATINGS	120	
			MAGNESITE CEMENT COATINGS	450	
	DRYWALL & PANEL ADHESIVES	50	MASTIC TEXTURE COATINGS	100	
	COVE BASE ADHESIVES	50	METALLIC PIGMENTED COATINGS	500	
	MULTIPURPOSE CONSTRUCTION ADHESIVES	70	MULTICOLOR COATINGS	250	
	STRUCTURAL GLAZING ADHESIVES	100	PRETREATMENT WASH PRIMERS	420	
	SINGLE-PLY ROOF MEMBRANE ADHESIVES	250	PRIMERS, SEALERS, & UNDERCOATERS	100	
	OTHER ADHESIVES NOT SPECIFICALLY LISTED	50	REACTIVE PENETRATING SEALERS	350	
	SPECIALTY APPLICATIONS		RECYCLED COATINGS	250	
	PVC WELDING	510			
	CPVC WELDING	490		50	
	ABS WELDING	325	RUST PREVENTATIVE COATINGS	250	
	PLASTIC CEMENT WELDING	250	SHELLACS:		
	ADHESIVE PRIMER FOR PLASTIC	550	CLEAR	730	
			OPAQUE	550	
	CONTACT ADHESIVE	80	SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100	
	SPECIAL PURPOSE CONTACT ADHESIVE	250			
	STRUCTURAL WOOD MEMBER ADHESIVE	140	STAINS	250	
	TOP & TRIM ADHESIVE	250	STONE CONSOLIDANTS	450	
	SUBSTRATE SPECIFIC APPLICATIONS		SWIMMING POOL COATINGS	340	
	METAL TO METAL	30	TRAFFIC MARKING COATINGS	100	
	PLASTIC FOAMS	50	TUB & TILE REFINISH COATINGS	420	
	POROUS MATERIAL (EXCEPT WOOD)	50	WATERPROOFING MEMBRANES	250	
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	WOOD	30	WOOD COATINGS	275	
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	FIBERGLASS 1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSIMITH THE HIGHEST VOC CONTENT SHALL BE ALLOWE 2. FOR ADDITIONAL INFORMATION REGARDING METHICONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COADDISTRICT RULE 1168, www.arb.ca.gov/DRDB/SC/CURHTM TABLE 5.504.4.2 - SEALANT VOC LIMIT Less Water and Less Exempt Compounds in Grams per Lite SEALANTS ARCHITECTURAL MARINE DECK NONMEMBRANE ROOF ROADWAY SINGLE-PLY ROOF MEMBRANE OTHER SEALANT PRIMERS ARCHITECTURAL NONPOROUS POROUS MODIFIED BITUMINOUS MARINE DECK OTHER SEALANT PRIMERS ARCHITECTURAL NONPOROUS POROUS MODIFIED BITUMINOUS MARINE DECK OTHER S.504.4.3 Paints and coatings. Architectural paints and coating the ARB Architectural Coatings Suggested Control Measure, as tringent local limits apply. The VOC content limit for coatings ticoatings actegories listed in Table 5.504.4.3 shall be determine or Nonflat-High Gloss coating, based on its gloss, as defined in ROC in Section 94522(a)(3) and other requirements, incl coatings and ozone depleting substances, in Section PACING, based on its gloss, as defined in	80 STRATES TOGETHER, THE ADHESIVE D. ODS TO MEASURE THE VOC STAIR QUALITY MANAGEMENT AL/R1168.PDF r CURRENT VOC LIMIT 250 760 300 250 450 420 500 775 500 760 300 250 410 250 420 250 430 250 420 State of the second s	 WOOD PRESERVATIVES ZINC-RICH PRIMERS GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & I THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIT THE TABLE. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED ARCHITECTURAL COATINOS SUGGESTED CONTROL MEASURE, FE FROM THE AIR RESOURCES BOARD. 5.504.4.3.2 Verification. Verification of compliance with the enforcing agency. Documentation may include, but Manufacturer's product specification Field verification of on-site product container 5.504.4.1 Carpet Systems. All carpet installed in the building interior shall meet the requir Health, "Standard Method for the Testing and Evaluation of V Sources Using Environmental Chambers." Version 1.2, Janua Specifications 01350). See California Department of Public Health's website for certif https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB// 5.504.4.4.1 Carpet cushion. All carpet cushion installe requirements of the California Department of Public Health's website for chambers," Version 1.2, January 2017 (Emission testing 01350). See California Department of Public Health's website for https://www.cdph.ca.gov/Programs/CCDPHP/DE 5.504.4.5 Composite wood products. Hardwood plywood, pl composite wood products used on the interior or exterior of th formaldehyde as specified in ARB's Air Toxics Control Measus seq.). Those materials not exempted under the ATCM must m Table 5.504.4.5. 5.504.4.5.3 Documentation. Verification of compliance requested by the enforcing agency. Documentation sha 1. Product carefifications and specifications. Chain of custody certifications. Product Subled and invoiced as meeting the Comp CCR, Title 17, Section 93120, et seq.). Exterior grade products marked as meeting	350 340 EXEMPT COMPOUNDS MITS ARE LISTED IN SUBSEQUENT COLUL BY THE CALIFORNIA AIR RESOURCES BC E. 1, 2008. MORE INFORMATION IS AVAIL h this section shall be provided at the reis not limited to, the following: s rements of the California Department of olatile Organic Chemical Emissions from ary 2017 (Emission testing labs. IAQ/Pages/VOC.aspx#material d in the building interior shall meet the alth, "Standard Method for the Testing at a Indoor Sources Using Environmental g method for California Specifications or certification programs and testing labs. CODC/EHLB/IAQ/Pages/VOC.aspx#material d in the building interior shall meet the realith, "Standard Method for the Testing at coDC/EHLB/IAQ/Pages/VOC.aspx#material g method for California Specifications or certification programs and testing labs. CODC/EHLB/IAQ/Pages/VOC.aspx#material d include at least one of the following: osite Wood Products regulation (see at or PS-2 standards of the ZS 2269 or European 636 3S LLION CURRENT LIMIT 0.05 <td colsp<="" td=""></td>	

	SURES,	SH	EET 3 (January 2023)		Y = YES N/A = NOT APPLICABLE RESPON. PARTY = RESPONSIBLE PARTY (ie: ARCHITECT, ENGINE OWNER, CONTRACTOR, INSPECTOR ETC.)	ER,	計
		Y N/A RESPON PARTY	5.504.4.6 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area	Y N/A RESPON. PARTY	5.508.2 Supermarket refrigerant leak reduction. New commercial refrigeration systems shall comply with the	Ĕomi	PCODES
G, LESS WATER & LESS EXEMPT COMPOUND	DS RRENT VOC LIMIT		receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specifications 01350)		provisions of this section when installed in retail food stores 8,000 square feet or more conditioned area, and that utilize either refrigerated display cases, or walk-in coolers or freezers connected to remote compressor units or condensing units. The leak reduction measures apply to refrigeration systems containing high-global-warming potential (high-GWP) refrigerants with a GWP of 150 or greater. New refrigeration systems include both new facilities and the		
	400		See California Department of Public Health's website for certification programs and testing labs.		replacement of existing refrigeration systems in existing facilities.		
6	400		https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx#material		Exception: Refrigeration systems containing low-global warming potential (low-GWP) refrigerant with a GWP value less than 150 are not subject to this section. Low-GWP refrigerants are nonozone-depleting refrigerants that include ammonia, carbon dioxide (CO ₂), and potentially other refrigerants.		
	50 350		5.504.4.6.1 Verification of compliance. Documentation shall be provided verifying that resilient flooring materials meet the pollutant emission limits.		5.508.2.1 Refrigerant piping. Piping compliant with the California Mechanical Code shall be installed to be		POFESSIO.
	350		5.504.4.7 Thermal insulation Comply with the requirements of the California Department of Public Health, "Standard Method of the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers,		accessible for leak protection and repairs. Piping runs using threaded pipe, copper tubing with an outside diameter (OD) less than 1/4 inch, flared tubing connections and short radius elbows shall not be used in refrigerant systems except as noted below.	Little JAI	AMES J. DAY
S	350 100		"Version 1.2, January 1.2, January 2017 (Emission testing method for California Specification 01350). See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx#material		5.508.2.1.1 Threaded pipe. Threaded connections are permitted at the compressor rack.	Dame	o. C-29099
	50 150		5.504.4.7.1 Verification of compliance. Documentation shall be provided verifying that thermal insulation materials meet the pollutant emission		5.508.2.1.2 Copper pipe. Copper tubing with an OD less than 1/4 inch may be used in systems with a refrigerant charge of 5 pounds or less.	STATE	OF CALIFORNIA
	350		limits. 5.504.4.8 Acoustical ceiling and wall panels.		5.508.2.1.2.1 Anchorage. One-fouth-inch OD tubing shall be securely clamped to a rigid base to keep vibration levels below 8 mils.		
	350 100		Comply with the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, " Version 1.2, January 2017 (Emission testing method for California Specification 01350).		5.508.2.1.3 Flared tubing connections. Double-flared tubing connections may be used for pressure controls, valve pilot lines and oil.	Stamps	
	250		See California Department of Public Health's website for certification programs and testing labs.		Exception: Single-flared tubing connections may be used with a multiring seal coated with industrial sealant suitable for use with refrigerants and tightened in accordance with manufacturer's		
PAINTS)	500 420		5.504.4.8.1 Verification of compliance. Documentation shall be provided verifying that acoustical finish materials meet the pollutant emission limits.		recommendations. 5.508.2.1.4 Elbows. Short radius elbows are only permitted where space limitations prohibit use of	The Cer	
TINGS	250 120		5.504.5.3 Filters. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) or 13. MERV 13 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of	f	long radius elbows. 5.508.2.2 Valves. Valves Valves and fittings shall comply with the <i>California Mechanical Code</i> and as	D	mpCodes
	450		the same value shall be included in the operation and maintenance manual. Exceptions: Existing mechanical equipment.		follows. 5.508.2.2.1 Pressure relief valves. For vessels containing high-GWP refrigerant, a rupture disc shall	Santa Bart	
S	100 500		5.504.5.3.1 Labeling. Installed filters shall be clearly labeled by the manufacturer indicating the MERV rating.		be installed between the outlet of the vessel and the inlet of the pressure relief valve. 5.508.2.2.1.1 Pressure detection. A pressure gauge, pressure transducer or other device shall	Cellphone:	(805) 452;
3	250 420		 5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL. Where outdoor areas are provided for smoking, prohibit smoking within 25 feet of building entries, outdoor air intakes and operable windows and within the building as 		be installed in the space between the rupture disc and the relief valve inlet to indicate a disc rupture or discharge of the relief valve.		
ATERS	100		already prohibited by other laws or regulations; or as enforced by ordinances, regulations or policies of any city, county, city and county, California Community College, campus of the California State University, or campus of the University of California, whichever are more stringent. When ordinances, regulations or policies are not in place, post		5.508.2.2.2 Access valves. Only Schrader access valves with a brass or steel body are permitted for use.		
S	350 250		signage to inform building occupants of the prohibitions.		5.508.2.2.2.1 Valve caps. For systems with a refrigerant charge of 5 pounds or more, valve caps shall be brass or steel and not plastic.		
	50		 SECTION 5.505 INDOOR MOISTURE CONTROL 5.505.1 INDOOR MOISTURE CONTROL. Buildings shall meet or exceed the provisions of California Building Code, CCR, Title 24, Part 2, Sections 1202 (Ventilation) and Chapter 14 (Exterior Walls). For additional measures, see 		5.508.2.2.2 Seal caps. If designed for it, the cap shall have a neoprene O-ring in place.		
	250		Section 5.407.2 of this code.		5.508.2.2.2.1 Chain tethers. Chain tethers to fit ovr the stem are required for valves designed to have seal caps.		_
	730 550		 SECTION 5.506 INDOOR AIR QUALITY 5.506.1 OUTSIDE AIR DELIVERY. For mechanically or naturally ventilated spaces in buildings, meet the minimum requirements of Section 120.1 (Requirements For Ventilation) of the California Energy Code, or the applicable local 		Exception: Valves with seal caps that are not removed from the valve during stem operation.	Щ	Ч
UNDERCOATERS	100		 code, whichever is more stringent, and Division 1, Chapter 4 of CCR, Title 8. 5.506.2 CARBON DIOXIDE (CO₂) MONITORING. For buildings or additions equipped with demand control 		5.508.2.3 Refrigerated service cases. Refrigerated service cases holding food products containing vinegar and salt shall have evaporator coils of corrosion-resistant material, such as stainless steel; or be coated to prevent corrosion from these substances.		
	250		 ventilation, CO₂ sensors and ventilation controls shall be specified and installed in accordance with the requirements of the California Energy Code, Section 120(c)(4). 		5.508.2.3.1 Coil coating. Consideration shall be given to the heat transfer efficiency of coil coating to		509
	450 340		 5.506.3 Carbon dioxide (CO2) monitoring in classrooms. (DSA-SS) Each public K-12 school classroom, as listed in Table 120.1-A of the <i>California Energy Code</i>, shall be an intervention of the school classroom as the failure of the school classroom as the school classroom as the failure of the school classroom as the school classroom as the failure of the school classroom as the school clas		maximize energy efficiency. 5.508.2.4 Refrigerant receivers. Refrigerant receivers with capacities greater than 200 pounds shall be fitted		945
	100		 equipped with a carbon dioxide monitor or sensor that meets the following requirements: 1. The monitor or sensor shall be permanently affixed in a tamper-proof manner in each classroom between 3 an 6 feet (914 mm and 1829 mm) above the floor and at least 5 feet (1524 mm) away from door and operable 	d	with a device the indicates the level of refrigerant in the receiver. 5.508.2.5 Pressure testing. The system shall be pressure tested during installation prior to evacuation and		<
	420 250		 windows. When the monitor or sensor is not integral to an Energy Management Control System (EMCS), the monitor or sensor shall display the carbon dioxide readings on the device. When the sensor is integral to an EMCS, the 		charging. 5.508.2.5.1 Minimum pressure. The system shall be charged with regulated dry nitrogen and		Ö
	275 350		 carbon dioxide readings shall be available to and regularly monitored by facility personnel. 3. A monitor shall provide notification though a visual indicator on the monitor when the carbon dioxide levels in the classroom have exceeded 1,100ppm. A sensor integral to an EMCS shall provide notification to facility 	e	appropriate tracer gas to bring system pressure up to 300 psig minimum. 5.508.2.5.2 Leaks. Check the system for leaks, repair any leaks, and retest for pressure using the same		ch,
	340		 personnel through a visual and/or audible indicator when the carbon dioxide levels in the classroom have exceeded 1,100ppm. The monitor or sensor shall measure carbon dioxide levels at minimum 15- minute intervals and shall maintain 	a	gauge. 5.508.2.5.3 Allowable pressure change. The system shall stand, unaltered, for 24 hours with no more		tio(
NG, INCLUDING WATER & EXEMPT COMPOL ECT UNLESS REVISED LIMITS ARE LISTED			 record of previous carbon dioxide measurements of not less than 30 days duration. 5. The monitor or sensor used to measure carbon dioxide levels shall have the capacity to measure carbon dioxid levels with a range of 400ppm to 2000ppm or greater. 	e	 than a +/- one pound pressure change from 300 psig, measured with the same gauge. 5.508.2.6 Evacuation. The system shall be evacuated after pressure testing and prior to charging. 	Ž	An
FROM THOSE SPECIFIED BY THE CALIFOR D CONTROL MEASURE, FEB. 1, 2008. MORI			The monitor or sensor shall be certified by the manufacturer to be accurate within 75ppm at 1,000ppm carbon dioxide concentration and shall be certified by the manufacturer to require calibration no more frequently than		5.508.2.6.1 First vacuum. Pull a system vacuum down to at least 1000 microns (+/- 50 microns), and	Ψ	d, ,
cation of compliance with this section sh	nall be provided at the request of		once every 5 years. SECTION 5.507 ENVIRONMENTAL COMFORT		hold for 30 minutes. 5.508.2.6.2 Second vacuum. Pull a second system vacuum to a minimum of 500 microns and hold for 30		Ϋ́ς
ntation may include, but is not limited to, uct specification n-site product containers			 5.507.4 ACOUSTICAL CONTROL. Employ building assemblies and components with Sound Transmission Class (STC) values determined in accordance with ASTM E 90 and ASTM E 413, or Outdoor-Indoor Sound Transmission Class (OITC) determined in accordance with ASTM E 1332, using either the prescriptive or performance method in 		minutes. 5.508.2.6.3 Third vacuum. Pull a third vacuum down to a minimum of 300 microns, and hold for 24 hours		ille
rior shall meet the requirements of the C	California Donartmont of Public		Section 5.507.4.1 or 5.507.4.2.		with a maximum drift of 100 microns over a 24-hour period.	A A	LSV
ting and Evaluation of Volatile Organic Coers." Version 1.2, January 2017 (Emission 1.2, January 2017)	Chemical Emissions from Indoor		Exception: Buildings with few or no occupants or where occupants are not likely to be affected by exterior noise, as determined by the enforcement authority, such as factories, stadiums, storage, enclosed parking structures and utility buildings.		CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS		ne
Health's website for certification program	and testing labs.		Exception: [DSA-SS] For public schools and community colleges, the requirements of this section and all subsections apply only to new construction.		702 QUALIFICATIONS 702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper		Sor
CDPHP/DEODC/EHLB/IAQ/Pages/VOC	interior shall meet the		5.507.4.1 Exterior noise transmission, prescriptive method. Wall and roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall meet a composite STC		installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems.		5
Department of Public Health,"Standard M Chemical Emissions from Indoor Sources ry 2017 (Emission testing method for Ca	s Using Environmental		rating of at least 50 or a composite OITC rating of no less than 40, with exterior windows of a minimum STC of 40 or OITC of 30 in the following locations:		Examples of acceptable HVAC training and certification programs include but are not limited to the following: 1. State certified apprenticeship programs.		265
ublic Health's website for certification pr	ograms and testing labs.		 Within the 65 CNEL noise contour of an airport. Exceptions: 		 Public utility training programs. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. Programs sponsored by manufacturing organizations. 		• •
/Programs/CCDPHP/DEODC/EHLB/IAC	Q/Pages/VOC.aspx#material		 Ldn or CNEL for military airports shall be determined by the facility Air Installation Compatible Land Use Zone (AICUZ) plan. 		 Other programs acceptable to the enforcing agency. 702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the 		
 Bardwood plywood, particleboard and e interior or exterior of the buildings shall 	d medium density fiberboard		 Land Use Zone (AICOZ) plan. Lan or CNEL for other airports and heliports for which a land use plan has not been developed shall be determined by the local general plan noise element. 		responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to		
in Toxics Control Measure (ATCM) for C under the ATCM must meet the specifie	omposite Wood (17 CCR 93120 et		 Within the 65 CNEL or Ldn noise contour of a freeway or expressway, railroad, industrial source or fixed-guideway source as determined by the Noise Element of the General Plan. 		other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:	No. Descrip	ption Date
Verification of compliance with this section ency. Documentation shall include at leas			5.507.4.1.1. Noise exposure where noise contours are not readily available. Buildings exposed to a noise level of 65 dB L _{eq} - 1-hr during any hour of operation shall have building, addition or alteration		 Certification by a national or regional green building program or standard publisher. Certification by a statewide energy consulting or verification organization, such as HERS raters, building program auditors. 	Progr	ress Set 1
pecifications. ons.	-		exterior wall and roof-ceiling assemblies exposed to the noise source meeting a composite STC rating o at least 45 (or OITC 35), with exterior windows of a minimum STC of 40 (or OITC 30).		performance contractors, and home energy auditors.3. Successful completion of a third party apprentice training program in the appropriate trade.4. Other programs acceptable to the enforcing agency.		
ed as meeting the Composite Wood Proc 20, et seq.). rked as meeting the PS-1 or PS-2 stand	lards of the		5.507.4.2 Performance Method. For buildings located as defined in Section 5.507.4.1 or 5.507.4.1.1, wall an roof-ceiling assemblies exposed to the noise source making up the building or addition envelope or altered envelope shall be constructed to provide an interior noise environment attributable to exterior sources that does		Notes:		
on, the Australian AS/NZS 2269 or Euro o the enforcing agency.	opean 636 3S		not exceed an hourly equivalent noise level (Leq-1Hr) of 50 dBA in occupied areas during any hour of operation 5.507.4.2.1 Site Features. Exterior features such as sound walls or earth berms may be utilized as		 Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate 		
			appropriate to the building, addition or alteration project to mitigate sound migration to the interior. 5.507.4.2.2 Documentation of Compliance. An acoustical analysis documenting complying interior		homes in California according to the Home Energy Rating System (HERS). [BSC-CG] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent		
INS IN PARTS PER MILLION			sound levels shall be prepared by personnel approved by the architect or engineer of record.		shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a		
RE	O.05		5.507.4.3 Interior sound transmission. Wall and floor-ceiling assemblies separating tenant spaces and tenant spaces and public places shall have an STC of at least 40.		agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.		
CORE	0.05		Note: Examples of assemblies and their various STC ratings may be found at the California Office of Noise Control: www.toolbase.org/PDF/CaseStudies/stc_icc_ratings.pdf.		Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.		mercial
	0.09 0.11		 SECTION 5.508 OUTDOOR AIR QUALITY 5.508.1 Ozone depletion and greenhouse gas reductions. Installations of HVAC, refrigeration and fire suppression equipment shall comply with Sections 5.508.1.1 and 5.508.1.2. 	n	703 VERIFICATIONS		datory sures (3
D2 ROM THOSE SPECIFIED BY THE CALIFORNIA			 5.508.1.1 Chlorofluorocarbons (CFCs). Install HVAC, refrigeration and fire suppression equipment that do no contain CFCs. 	t	703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or		4 -2
SITE WOOD AS TESTED IN ACCORDANCE W					special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate		т-С

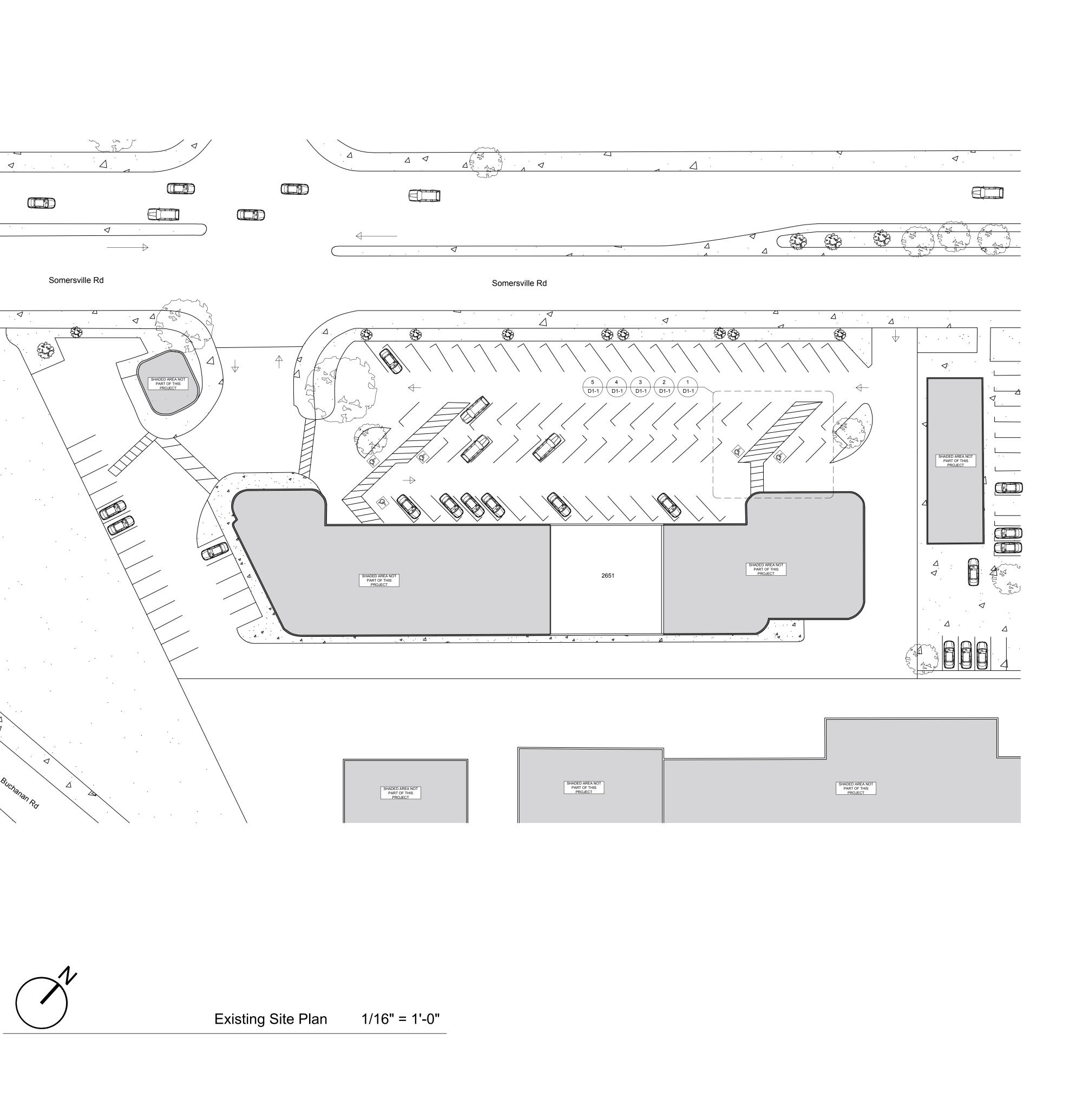
ECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

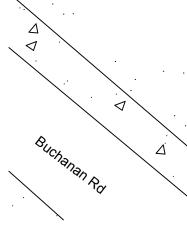
SITE PLAN NOTES & SYMBOL LEGEND

SYMBOL	DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
01 00	GENERAL
01 01	LOT LINE
01 02	SETBACK LINE
02 00	EXISTING CONDITIONS
02 01	(E) DRIVEWAY
02 02	(E) PUBLIC SIDEWALK
02 03	(E) TREE
02 04	(E) SKYLIGHT
02 05	(E) LAWN
02 06	(E) SOLAR PANELS
02 07	(E) LOCATION CENTRAL HVAC

GENERAL SITE NOTES

- 1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. IF DIMENSIONAL ERRORS OCCUR, CONTRACTOR SHALL NOTIFY THE ARCHITECTED PRIOR TO COMMENCING THAT PORTION OF THE WORK.
- 2. DURING GRADING IF THE PROPERTY CORNERS ARE DISTURBED, ALTERED, OR TAMPERED WITH THE GRADING CONTRACTOR SHALL HAVE THE PROPERTY CORNERS RESET BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR AT COMPLETION OF GRADING. ALL COST SHALL BE BORNE BY THE GRADING CONTRACTOR.
- 3. THE CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING BUILDING CORNERS, PERFORMING ALL LAYOUT WORK, SETTING ALL LINES, GRADES, RADIO, ETC. OR ANY OTHER POINTS NECESSARY FOR HIS WORK.
- 4. LOCATION OF UTILITIES BASED ON BEST INFORMATION AVAILABLE, AND MAY NOT BE COMPLETE OR ACCURATE. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES.
- 5. ALL DIMENSIONS, SETBACKS, AND PROPERTY BOUNDARIES SHOWN HERE MAY ONLY BE CONSIDERED TO BE APPROXIMATE, CONTRACTOR BEARS FULL RESPONSIBILITY FOR VERIFICATION OF ALL SETBACKS OR EASEMENTS BEFORE BEGINNING CONSTRUCTION.
- 6. ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THE SITE PLAN.
- 7. SOILS PREPARATION AND SITE GRADING SHALL BE INSPECTED BY THE SOILS ENGINEER OR ENGINEERING GEOLOGIST OF RECORD DURING THE GRADING OPERATIONS. THE ENGINEER SHALL CERTIFY THE WORK AS BEING DONE IN ACCORDANCE WITH THE APPROVED RECOMMENDATIONS IF NEEDED, PRIOR TO PLACEMENT OF BUILDING FOUNDATIONS.
- 8. ALL SITE WORK, DRAINAGE SYSTEMS AND FOUNDATIONS AND OTHER SOIL CONSIDERATIONS SHALL CONFORM TO THE RECOMMENDATIONS OF THE REPORT AND ANY SUBSEQUENT RECOMMENDATIONS MADE BY THE SOIL ENGINEER OF RECORD. FOUNDATION EXCAVATIONS SHALL BE REVIEWED AND APPROVED BY SOIL ENGINEER OF RECORD PRIOR TO PLACEMENT OF FORMS AND REINFORCEMENT.
- 9. OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.





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SHADED AREA NOT PART OF THIS PROJECT	SHADED AREA NOT PART OF THIS PROJECT	

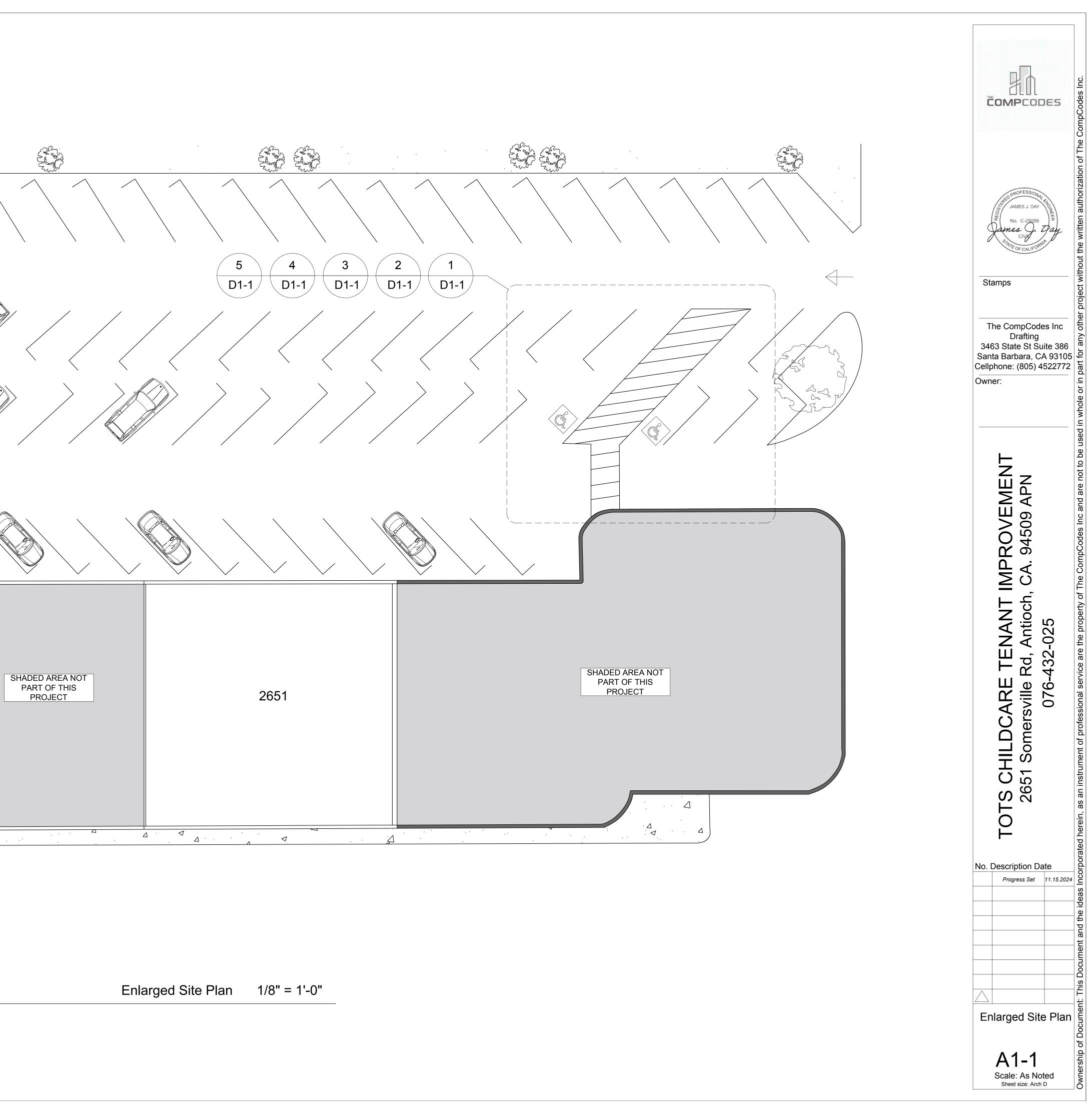
COMPCODES JAMES J. DA No. C-29099 ames (Stamps The CompCodes Inc Drafting 3463 State St Suite 386 Santa Barbara, CA 93105 📮 Cellphone: (805) 4522772 Owner: SOVEMENT 94509 APN 94 **IMPR**(\triangleleft \mathbf{O} TENANT IN Rd, Antioch, (-432-025 ď ARE 076 Somersville TOTSCHILDC/ 2651 Somer No. Description Date Progress Set 11.15.2024 Existing Site Plan A1-0 Scale: As Noted Sheet size: Arch D

SITE PLAN NOTES & SYMBOL LEGEND

SYMBOL	DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
01 00	GENERAL
01 01 02	LOT LINE SETBACK LINE
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- 6. ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THE SITE PLAN.
- 7. SOILS PREPARATION AND SITE GRADING SHALL BE INSPECTED BY THE SOILS ENGINEER OR ENGINEERING GEOLOGIST OF RECORD DURING THE GRADING OPERATIONS. THE ENGINEER SHALL CERTIFY THE WORK AS BEING DONE IN ACCORDANCE WITH THE APPROVED RECOMMENDATIONS IF NEEDED, PRIOR TO PLACEMENT OF BUILDING FOUNDATIONS.
- 8. ALL SITE WORK, DRAINAGE SYSTEMS AND FOUNDATIONS AND OTHER SOIL CONSIDERATIONS SHALL CONFORM TO THE RECOMMENDATIONS OF THE REPORT AND ANY SUBSEQUENT RECOMMENDATIONS MADE BY THE SOIL ENGINEER OF RECORD. FOUNDATION EXCAVATIONS SHALL BE REVIEWED AND APPROVED BY SOIL ENGINEER OF RECORD PRIOR TO PLACEMENT OF FORMS AND REINFORCEMENT.
- 9. OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.



FLOOR PLAN NOTES & SYMBOL LEGENDSYMBOLDESCRIPTION(NOT ALL SYMBOLS NECESSARY ON THIS SHEET)

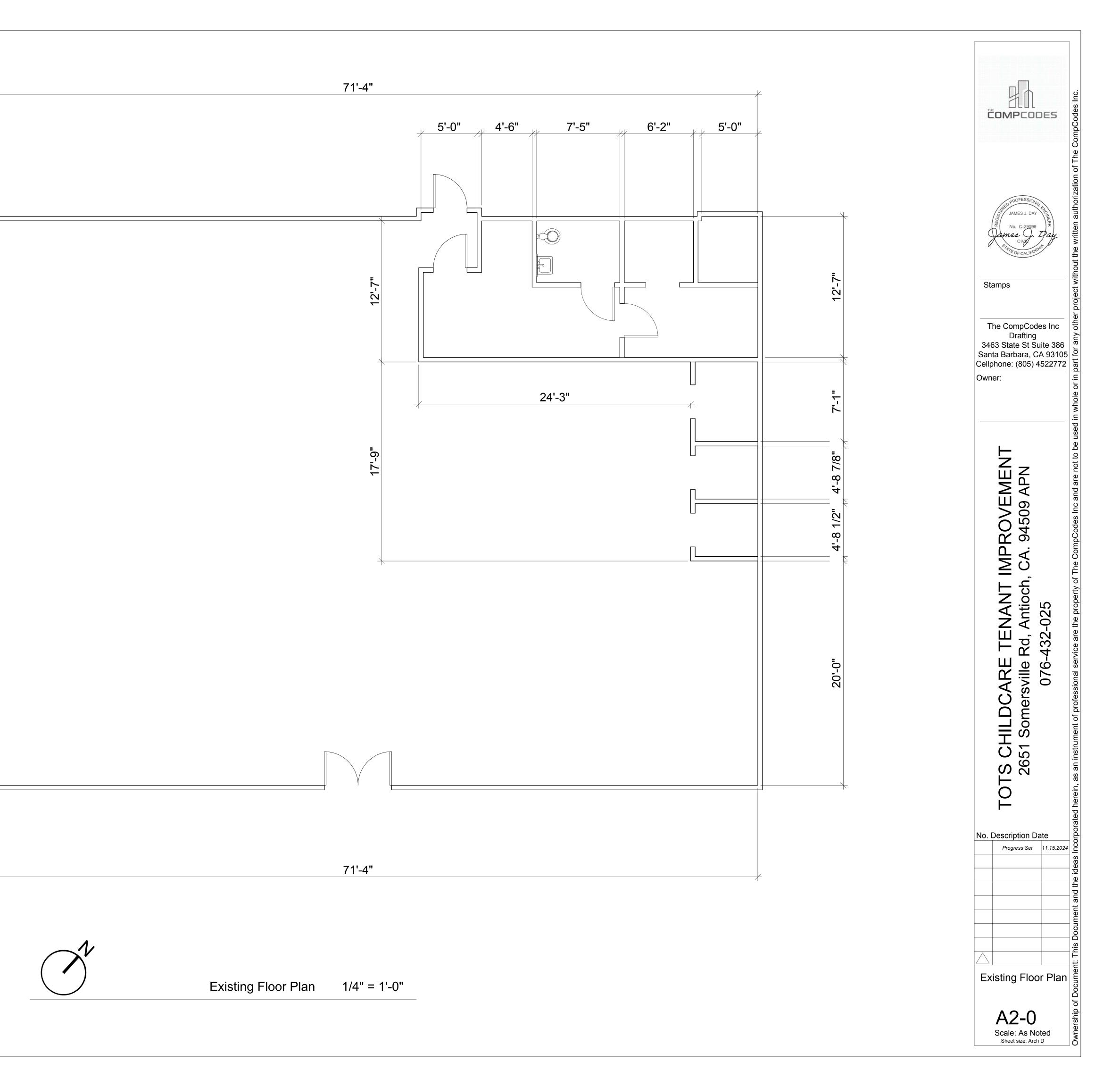
STIVIBUL	DES
01 00	GENER
01 01	EAVE A
01 02	LINE OF
02 00	SITE
02 01	(E) COL

GENERAL EAVE ABOVE LINE OF FRAMING BELOW

(E) COLUMN TO BE REMOVED

FLOOR PLAN NOTES

- 1. ALL NEW INTERIOR WALLS TO BE 2x4
- 2. ALL PLUMBING WALLS TO BE 2x6
- 3. ALL PLUMBING FIXTURES LOCATION TO BE V.I.F. W/ OWNER PRIOR INSTALLATION
- 4. PROVIDE PVC VENTS TYP. FOR MECH. EQUIPMENT
- 5. ALL EXHAUST FANS MUST VENT DIRECTLY TO THE EXTERIOR
- 6. ALL FURNACES SHALL BE PROVIDED WITH AN ELECTRICAL DISCONNECT SWITCH
- 7. CUTS, NOTCHES AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER, GLUE-LAMINATED MEMBERS OR I-JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED.



FLOOR PLAN NOTES & SYMBOL LEGEND

SYMBOL	DESCRIPTION	(NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
01 00	GENERAL	
01 01	EAVE ABOVE	
01 02	LINE OF FRAMING BELOW	
02 00	SITE	
02 01	(E) COLUMN TO BE REMOVED	

FLOOR PLAN NOTES

- 1. ALL NEW INTERIOR WALLS TO BE 2x4
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WALL LEGEND

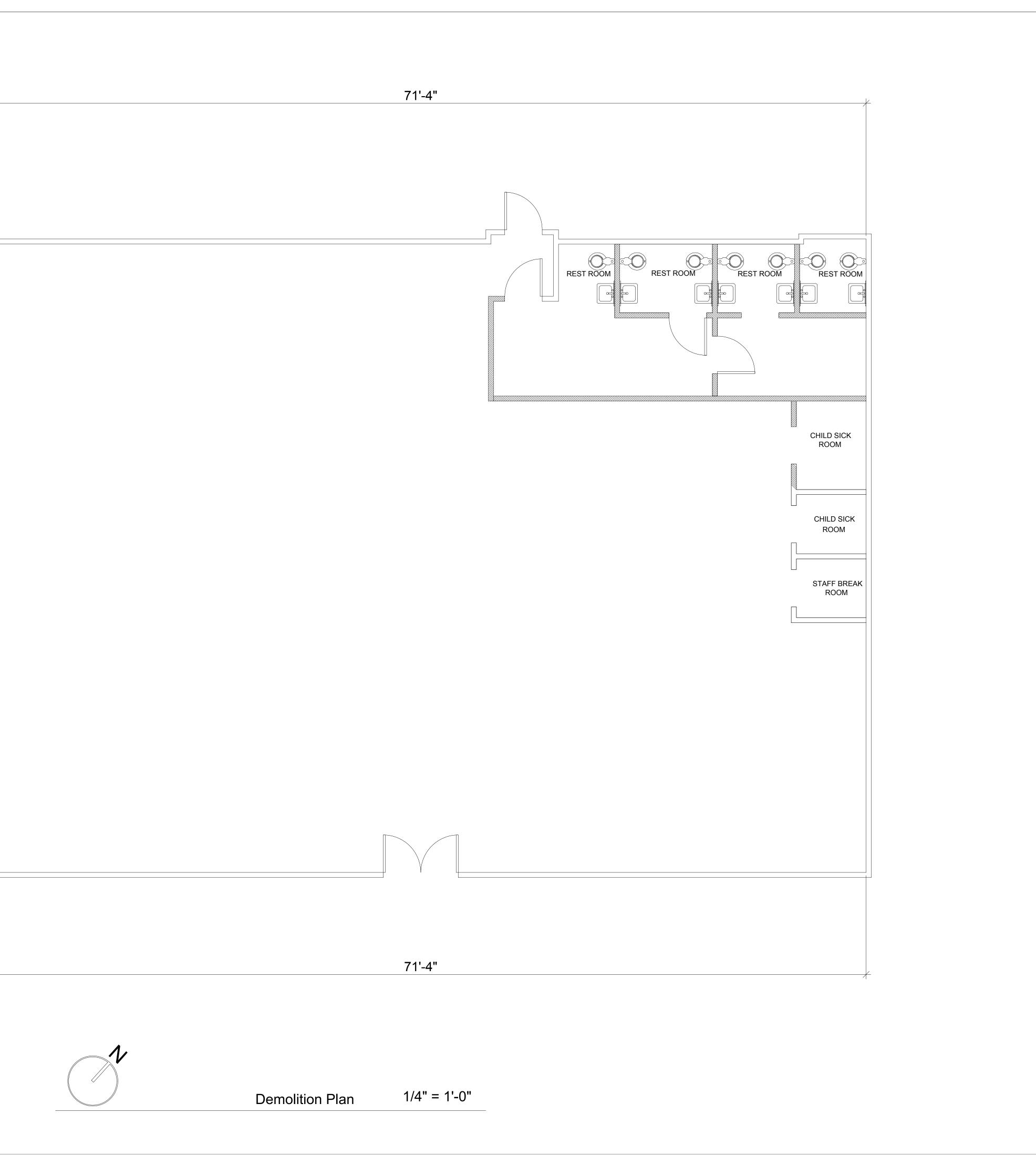
SYMBOL

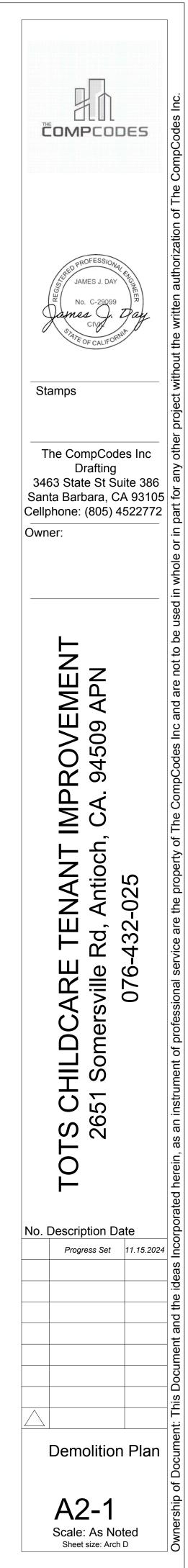
DESCRIPTION (NOT ALL SYMBOLS ARE NECESSARY ON THIS SHEET) (E) WALL TO REMAIN NEW WALL REMOVE WALL REMOVE COLUMN

DEMOLITION GENERAL NOTES

G.C. SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND REPORT DISCREPANCIES BACK TO CONSTRUCTION MANAGEMENT. ALL FLOORING, CEILING AND OTHER FINISHES SHALL BE REMOVED AND SURFACES PREPARED FOR NEW FINISHES. ALL UN-USED PLUMBING SHALL BE REMOVED BACK TO MAIN DISTRIBUTION AND CAPPED AIR WATER TIGHT. ALL UNUSED BELOW SLAB SHALL BE REMOVED TO BELOW FLOOR AND CAPPED AIR WATER TIGHT. DO NOT ABANDON DOMESTIC WATER IN PLACE. RE-USE ALL ELECTRICAL COMPONENTS WHERE COMPATIBLE WITH NEW DESIGN. ALL RE-USED TO BE WARRANTED AS NEW. REPLACE EXISTING AS NEEDED. ALL UN-USED TO BE REMOVED BACK TO PANEL. DO NOT ABANDON ANY ELECTRICAL IN PLACE. ALL LIGHTING SHALL BE NEW PER PLAN.

EXISTING HVAC TO BE FIELD VERIFIED AND RE-USED WHERE IN GOOD CONDITION. REFURBISH TO LIKE NEW IN PLACE. REPLACE AS NEEDED BASED ON CONDITION. ANY COMPATIBLE DUCT MA BE RE-USE. CLEAN, RE-SEAL, RE-INSULATE AS NEEDED IF RE-USED. G.C. TO COORDINATE WITH SUB CONTRACTORS AS NEEDED FOR DIFFERED SUBMITTAL OF FIRE ALARM AND FIRE SPRINKLER SYSTEMS. RE-USE COMPONENTS WHERE COMPLIANT AND MODIFY EXISTING SYSTEMS WHERE POSSIBLE.





FLOOR PLAN NOTES & SYMBOL LEGEND

SYMBOL	DESCRIPTION	(NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
01 00	GENERAL	
01 01	EAVE ABOVE	
01 02	LINE OF FRAMING BELOW	
02 00	SITE	
02 01	(E) COLUMN TO BE REMOVED	

WALL LEGEND

SYMBOL	DESCRIPTION (NOT ALL SYMBOLS ARE NECESSARY ON THIS SHEET)
	(E) WALL TO REMAIN
	NEW WALL
	REMOVE WALL
	REMOVE COLUMN
	NEW 7' MODULAR WALL

FLOOR PLAN NOTES

- 1. ALL NEW INTERIOR WALLS TO BE 2x4 UNO ALL PLUMBING AND EXTERIOR WALLS TO BE 2x6 ALL INTERIOR DOOR TO BE SET 4" FROM WALL UNO PROVIDE VAPOR BARRIER ON THE WARM SIDE OF EXTERIOR WALLS IN BATHROOMS. 5. ALL PLUMBING FIXTURES LOCATION TO BE V.I.F. W/ OWNER PRIOR INSTALLATION 6. PROVIDE PVC VENTS TYP. FOR MECH. EQUIPMENT FOLLOWING: ALL EXHAUST FANS MUST VENT DIRECTLY TO THE EXTERIOR 8. ALL FURNACES SHALL BE PROVIDED WITH AN ELECTRICAL DISCONNECT 9. CUTS, NOTCHES AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER. GLUE-LAMINATED MEMBERS OR I-JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED. 10. ALL EXITS ARE TO BE OPENABLE FROM INSIDE WITHOUT THE USE OF A DOWNSPOUTS. KEY OR SPECIAL KNOWLEDGE. 11. NO HAZARDOUS MATERIALS WILL BE STORED WITHIN THE BUILDING WHICH EXCEED THE QUANTITIES LISTED IN CBC TABLES 307.1 (1) & 307.1
- 12. ENHANCED DURABILITY AND REDUCED MAINTENANCE. 4 406 1 RODENT PROC ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR. CONCRETE MASONRY ORA SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- 13. 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING 4.408.1 CONSTRUCTION WASTE MANAGEMENT RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 6S PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2. 4.408.3 OR 4.408.4. OR MEET A MORE STRINGENT LOCAL CONSTRUCTION A ND DEMOLITION WASTE MANAGEMENT ORDINANCE EXCEPTIONS: • EXCAVATED SOIL AND LAND-CLEARING DEBRIS. ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY WORKING
- WITH LOCAL AGENCIES IF DIVER.; ION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO THE JOBSITE. • THE ENFORCING AGENCY MAY MAKE EXCEPTIONS TO THE REQUIREMENTS OF THIS SECTION WHEN ISOLATED JOB SITES ARE 22. ALL INTERIOR AND EXTERIOR STAIR HANDRAILS TO COMPLY WITH
- DIVER.: ION FACILITY. 14. 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN CONFORMANCE WITH 24. GUARDS (SECTION R312): ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING
- CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY. 15. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE SEPARATED) OR BULK MIXED (SINGLE
- STREAM) 16. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL COLLECTED WILL BE TAKEN. 17. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE
- GENERATED. 18. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH. 19. 4.408.3 WASTE MANAGEMENT COMPANY UTILIZE A WASTE MANAGEMENT COMPANY, APPROVED BY THE ENFORCING
- AGENCY, WHICH CAN PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION WASTE MATERIAL DIVERTED FROM THE LANDFILL COMPILES WITH SECTION 4.408.1. THE OWNER OR CONTRACTOR MAY MAKE THE DETERMINATION
- IF THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE DIVERTED BY A WASTE MANAGEMENT COMPANY. 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE (LR)
- PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS, WHICH DO NOT EXCEED 3.41BS./SQ.FT. OF THE BUILDING AREA SHALL MEET THE MÍNIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF
- CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS, WHICH DO NOT EXCEED 2 POUNDS PER SQUARE FOOT OF THE BUILDING AREA, SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4 408 1 20. 4.408.5 DOCUMENTATION DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTION
- 4.408.2, ITEMS 1 THROUGH 5, SECTION 4.408.3 OR SECTION 4 408 4 NOTES: 1.SAMPLE FORMS FOUND IN "A GUIDE TO THE CALIFORNIA GREEN BUILDING STANDARDS CODE (RESIDENTIAL)" LOCATED WWW/HCD.CA.GOV/CALGREEN.HTML MAY BE USED TO ASSIST IN DOCUMENTING COMPLIANCE WITH THIS SECTION.
- 2. MIXED CONSTRUCTION AND DEMOLITION DEBRIS (C & D) PROCESSORS CAN BE LOCATED AT THE CALIFORNIA DEPARTMENT OF RESOURCES RECYCLING AND RECOVERY (CAIRECYCLE).
- 21. 4.410.1 OPERATION AND MAINTENANCE MANUAL AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC,

WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING: 1. DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE. 2. OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE a. EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, HOTOVOLTAIC SYSTEMS, ELECTRIC VEHICLE CHARGER.;, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT. b. ROOF AND YARD DRAINAGE, INCLUDING GUTTER.; AND c. SPACE CONDITIONING SYSTEMS, INCLUDING

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CONDENSERS AND AIR FILTERS. d. LANDSCAPE IRRIGATION SYSTEMS. e. WATER REUSE SYSTEMS. 3. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE ECOVERY PROVIDERS ON METH

RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS. 4. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA. 5. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN NTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE

RELATIVE HUMIDITY LEVEL IN THAT RANGE. 6. INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER 7. INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING

WATER AT LEAST S FEET AWAY FROM THE FOUNDATION. 8. INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES. INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC. 9. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE. 10. A COPY OF ALL SPECIAL INSPECTIONS, VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.

LOCATED IN AREAS BEYOND THE HAUL BOUNDARIES OF THE CRC R311.7.9 DIVER.:ION FACILITY. 23. PROVIDE JAMES HARDIE RENDERED WATER-RESISTIVE BARRIER HOUSE WRAP AS PER CRC R703.2

> A)SHALL BE PROVIDED FOR THOSE PORTIONS OF OPEN-SIDED WALKING SURFACES THAT ARE LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW. B)SHALL HAVE A HEIGHT OF 42" (MAY BE 34" ALONG THE SIDES OF STAIRS).

C)OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4". THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT A STAIR SHALL BE LESS D)SHALL BE DETAILED TO SHOW CAPABILITY TO RESIST A

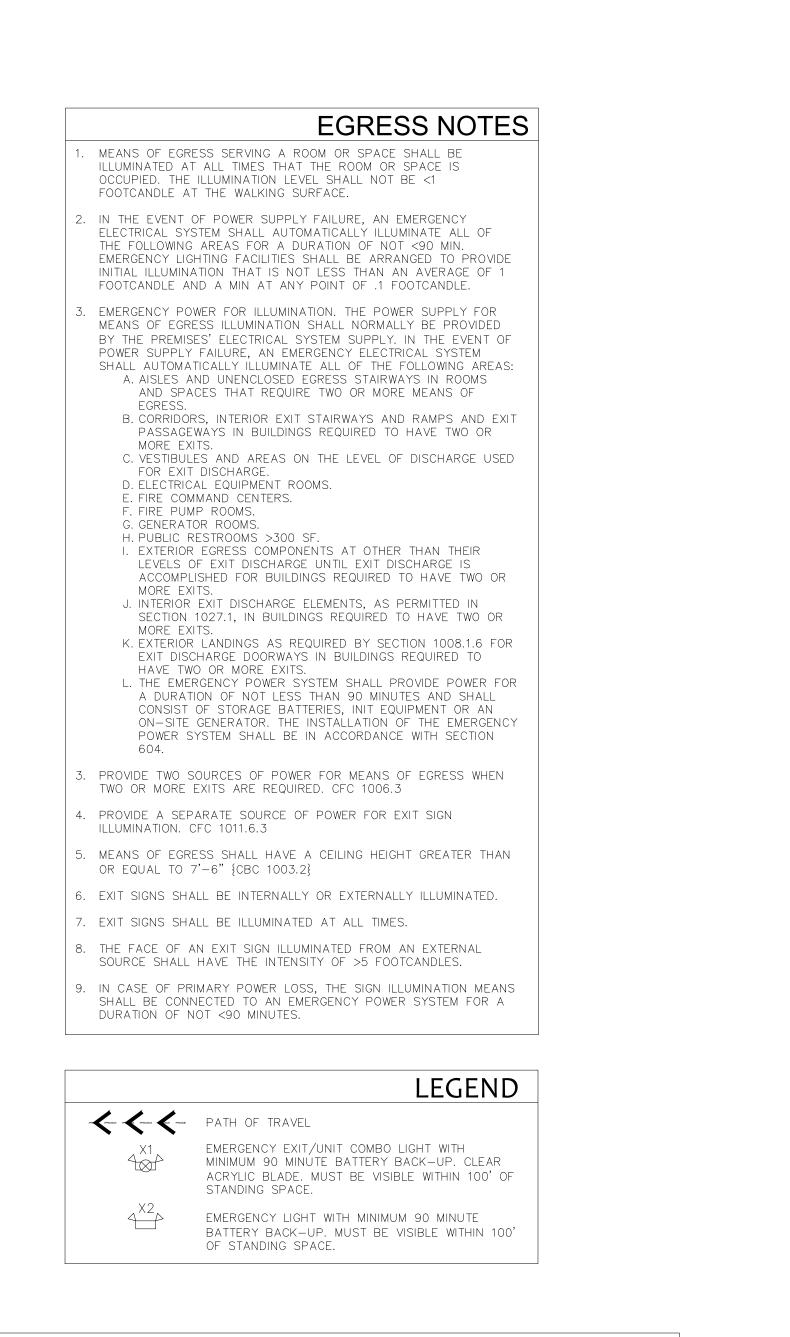
CONCENTRATED LOAD OF 200 POUNDS IN ANY DIRECTION ALONG THE TOP RAIL AND 50 PSF FOR INFILL COMPONENTS. CALCULATIONS MAY BE REQUIRED. TABLE R301.5. 25. PROVIDE STAIRWAY AND LANDING DETAILS. SECTION R311.7. A)MAXIMUM RISE IS 7-3/4" AND MINIMUM RUN IS 10", MEASURED

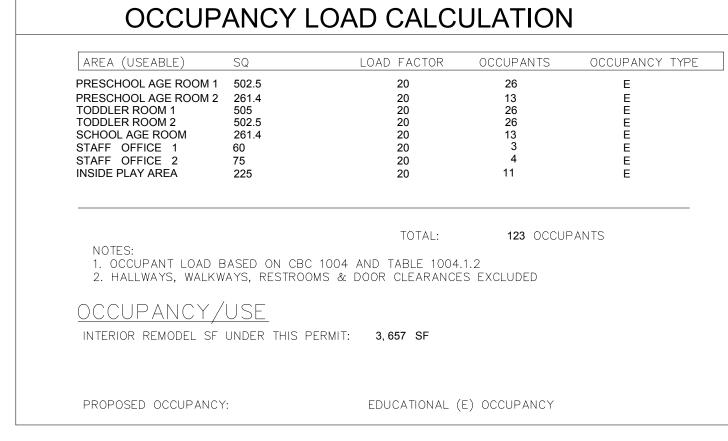
- FROM THE NOSING PROJECTION. WHERE THERE IS NO NOSING, THE MINIMUM RUN IS 11". B)MINIMUM HEADROOM IS 6'-8". C)MINIMUM WIDTH IS 36".
- D)THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.
- 26. OPEN RISERS ARE ONLY PERMITTED IF THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE. SECTION R311.7.5.1.
- 27. A NOSING (BETWEEN 3/4" AND 1-1/4") SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS.EXCEPTION: NO NOSING IS REQUIRED IF THE TREAD DEPTH IS AT LEAST 11 INCHES. SECTIONR311.7.5.3.
- 28. HANDRAILS (SECTION R311.7.8): A)SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY WITH FOUR OR MORE RISERS. B)HANDRAILS AND EXTENSIONS SHALL BE 34" TO 38" ABOVE NOSING OF TREADS AND BE CONTINUOUS. C)THE HAND GRIP PORTION OF ALL HANDRAILS SHALL BE NOT LESS THAN 1-1/4 INCHES NORMORE THAN 2 INCHES IN
- CROSS-SECTIONAL DIMENSION. SEE SECTION R311.7.8.3 FOR ALTERNATIVES. D)HANDRAILS ADJACENT TO WALLS SHALL HAVE AT LEAST 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL. E)ENDS OF HANDRAILS SHALL BE RETURNED OR SHALL HAVE
- ROUNDED TERMINATIONS ORBENDS. 29. EVERY STAIRWAY LANDING SHALL HAVE A DIMENSION, MEASURED IN THE DIRECTION OF TRAVEL, AT LEAST EQUAL TO THE STAIRWAY WIDTH. IF A DOOR OCCURS AT THE LANDING, SUCH DIMENSIONS NEED NOT EXCEED 36 INCHES. SECTION R311.7.6. EXCEPTION: AT THE TOP OF AN INTERIOR FLIGHT OF STAIRS, PROVIDED A DOOR DOES NOT SWING OVER THE STAIRS. 30. SHADED AREA INDICATES AREA TO REMAIN UNCHANGED AND NOT PART
- OF THE SCOPE OF THIS PROJECT. ACCORDING TO CBC TABLE 1006.2.1 OUR SPACE IS A SPRINKLERED GROUP B OCCUPANCY ALLOWING 100 FT OF TRAVEL TO AN EXIT.OUR MAX TRAVEL LENGHT IS 92 FT THEREFORE ONLY REQUIRING ONE

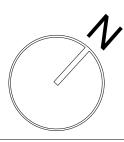


Proposed Floor Plan 1/4" = 1'-0"









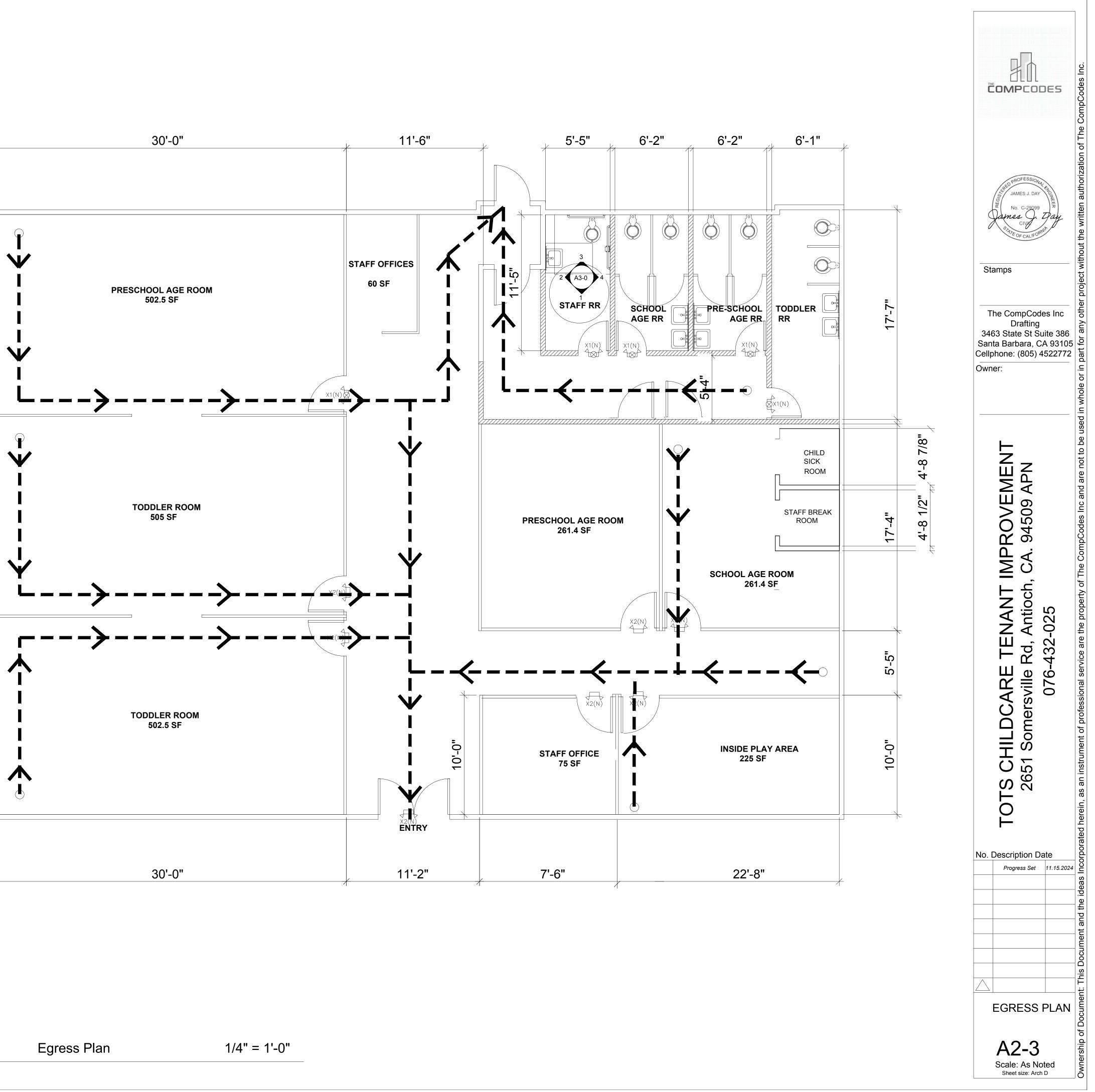
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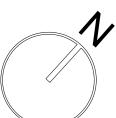
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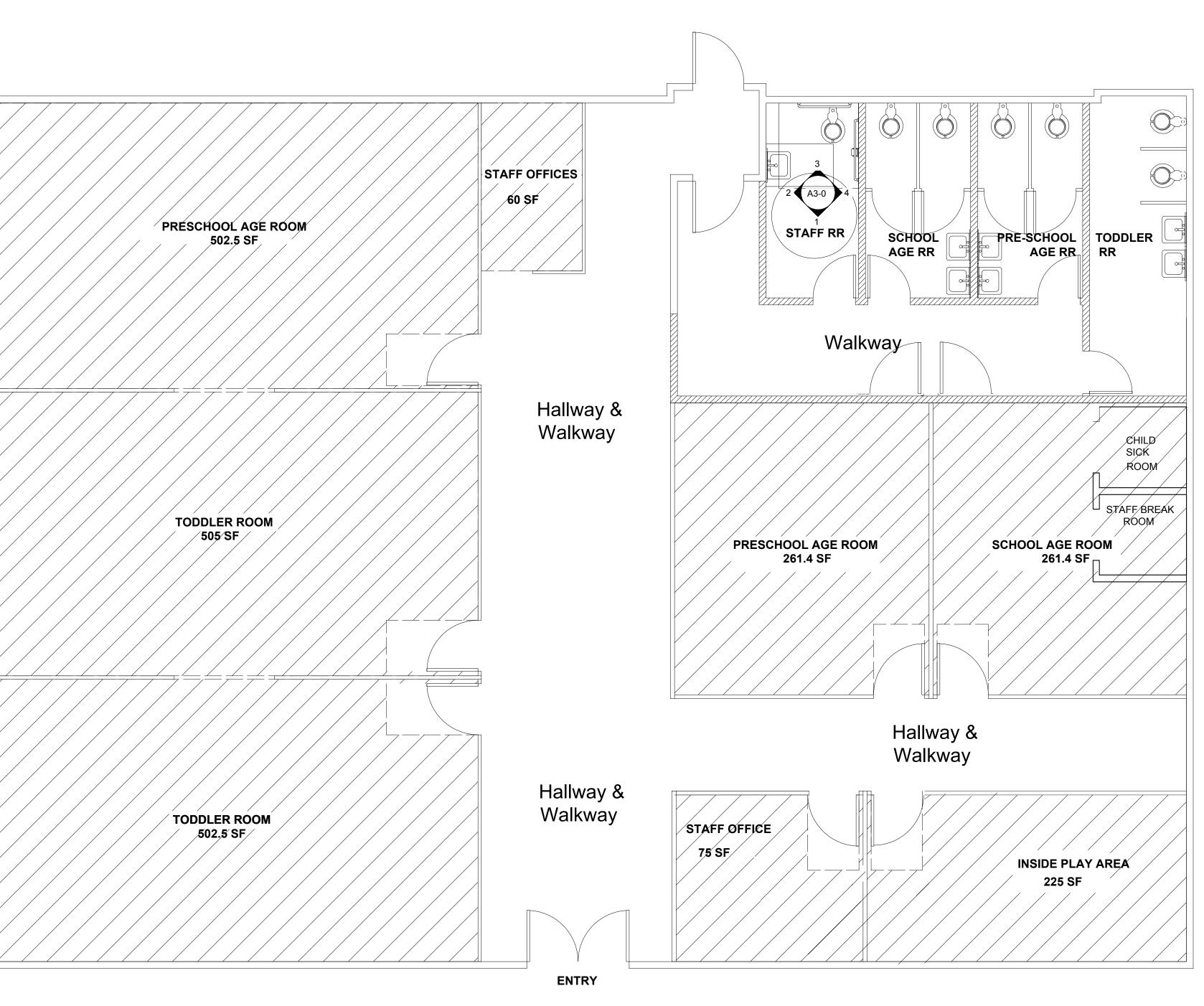
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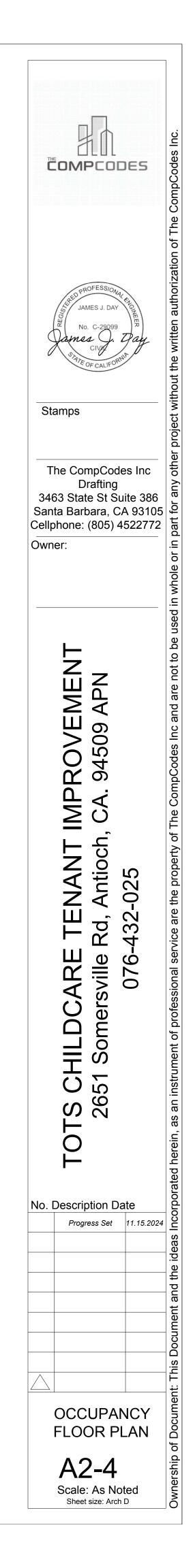
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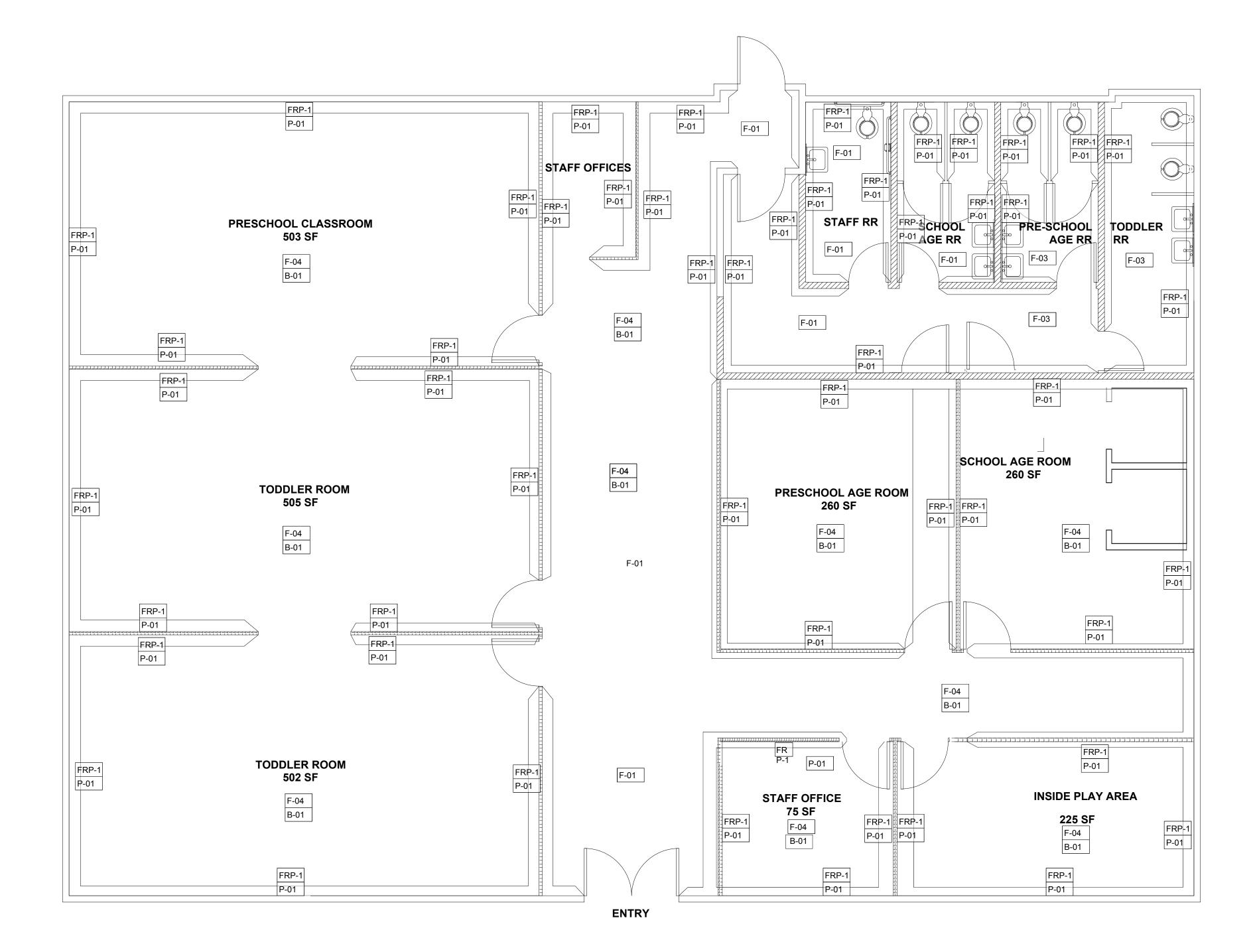


PRESCHOOL AGE ROOM 2 261.4 2 TODDLER ROOM 1 505 2 TODDLER ROOM 2 502.5 2 SCHOOL AGE ROOM 2 261.4 2 STAFF OFFICE 1 60 2 STAFF OFFICE 2 75 2 INSIDE PLAY AREA 225 2	20 26 20 13 20 26 20 26 20 13 20 3 20 4 20 11	E E E E E E
NOTES: 1. OCCUPANT LOAD BASED ON CBC 1004 AND TA		
		CCUPANTS
OCCUPANCY/USE INTERIOR REMODEL SF UNDER THIS PERMIT: 3,657	57 SF	

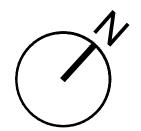








CDDE	MATERIAL	SPECIFICATION
F-01	Existing Tile Flooring	_
F-02	Vinyl Plank	Duralux Performance
F-03	New Epoxy Flooring	TBD-INSTALER
F-04	Carpet	Georgia Carpet
P-01	Existing Paint	Sherwin Williams
FRP- 1	FRP	Marlite
	<u> </u>	
C-01	Acoustical Ceiling Panel	Existing
C-02	Gypsum Board	By GC
8-01	Rubber Base	Armstrong Flooring
B-02	Vinyl Base	By GC
5		ROOM
NΠ	NAME	
1	PRESCHOOL CLASSROOM	1
2	TODDLER ROOM 1	
3	TODDLER ROOM 2	
3	TODDLER ROOM 2 PRESCHOOL AGE ROOM	
4	PRESCHOOL AGE ROOM	
4	PRESCHOOL AGE ROOM	
4 5 6	PRESCHOOL AGE ROOM SCHOOL AGE ROOM STAFF ROOM 1	
4 5 6 7	PRESCHOOL AGE ROOM SCHOOL AGE ROOM STAFF ROOM 1 STAFF ROOM 2	
4 5 6 7 8	PRESCHOOL AGE ROOM SCHOOL AGE ROOM STAFF ROOM 1 STAFF ROOM 2 STAFF ROOM 3	
4 5 6 7 8 9	PRESCHOOL AGE ROOM SCHOOL AGE ROOM STAFF ROOM 1 STAFF ROOM 2 STAFF ROOM 3 STAFF RESTROOM	



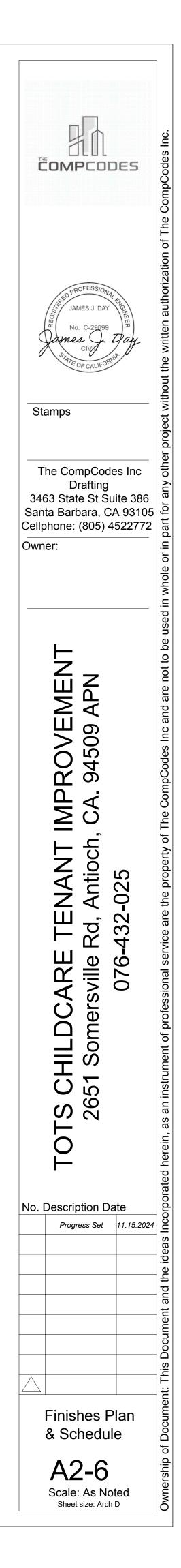
Proposed Finishes Plan

1/4" = 1'-0"

MATERIA		SH SPECIFICATIONS
LOR/FINISH	SIZE	NDTES
	WALLS	& FLOOR
_	_	Existing to remain. Clean & repair to a 'like new' finish.
Beige	7"×48"	Waterproof 5mm thick
D-INSTALER	_	- TBD-INSTALER
3 - Cobalt	_	Pentz Quicksilver 20 3040B Commercial Carpet - Verify with Client
SW7006 White) - emi-Gloss	_	-
P100	48″×96″	Install per manufacturer specifications.
	CEII	_ING
-	_	Clean, Repair, & Replace as needed to a 'like new' condition.
By GC		
	BA	SE
ommercial .ack Base	4″ High	Or Approved Equal. Verify with Client.
atch field)	XXX	Min. 4" high on wall. Match with Field vinyl.

FINISH SCHEDULE

	WAI				
NORTH	EAST	SOUTH	WEST	FLOOR	CEILING
P-01, FRP-1	P-01, FRP-1	P-01	P-01	F-04, B-01	C-02
_	P-01	P-01	P-01, FRP-1	F-04, B-01	C-02
P-01	P-01, FRP-1	P-01, FRP-1	_	F-04, B-01	C-02
P-01	P-01	_	P-01, FRP-1	F-04, B-01	C-02
P-01	P-01	-	_	F-04, B-01	C-02
P-01, FRP-1	P-01, FRP-1	P-01, FRP-1	P-01	F-04, B-01	C-02
P-01, FRP-1	P-01, FRP-1	P-01, FRP-1	P-01	F-04, B-01	C-02
P-01	P-01	P-01	P-01	F-04, B-01	C-02
P-01	P-01	P-01	P-01	F-01	C-01
P-01, FRP-1	P-01	P-01	P-01	F-01	C-01
P-01, FRP-1	P-01	P-01	P-01, FRP-1	F-01	C-01
P-01, FRP-1	P-01, FRP-1	P-01, FRP-1	P-01	F-01	C-01



			3'-0" MIN 1'-6" MAX	$\frac{3^{1}-6^{n}}{MIN}$		
PRESCHOOL AGE RESTROOM - A	1/4" = 1'-0" 1	PRESCHOOL AGE RESTROOM - B 1/4" =	'-0" 2	PRESCHOOL AGE RESTROOM - C 1/4" = 1'-0"	B PRESCHOOL AGE RESTROOM - D 1/4" =	
DIMENSIONS TOILET CENTERING FROM WALL TOILET SEAT HEIGHT GRAB BAR HEIGHT (TOP OF BAR) TOILET PAPER DISPENSER HEIGH TOILET PAPER IN FRONT OF TOIL DISPENSER OR MIRROR BOTTOM REFLECTING SURFACE HEIGHT LAVATORY/ SINK TOP HEIGHT LAVATORY/ SINK KNEE CLEARAN URINAL LIP HEIGHT URINAL FLUSH HANDLE HEIGHT	ADULT AG 17-18 17-19 33-36 IT IT	15-18 12-15 12 15-17 12-15 11-12 25-27 20-25 18-20 1. 17-19 14-17 .) 7-9 (CL) 7-9 (CL) X 40 MAX 40 MAX 40 MAX 31 MAX X 31 MAX A 24 MIN PARALLEL APPROACH PERMITTED X 17 MAX X 44 MAX 44 MAX 44 MAX X 36 MAX				
DRINKING FOUNTAIN KNEE CLEA RAMP/ STAIR HANDRAIL HEIGHT						

1/4" = 1'-0" 4	HENDERAL CONDOCORES The CompCodes Inc Drafting 3463 State St Suite 386 Santa Barbara, CA 93105 Cellphone: (805) 45227772 Owner:
	The CompCodes Inc Drafting 3463 State St Suite 386 Santa Barbara, CA 93105 Cellphone: (805) 4522772 Owner:
	TOTS CHILDCARE TENANT IMPROVEMENT TOTS CHILDCARE TENANT IMPROVEMENT 2651 Somersville Rd, Antioch, CA. 94509 APN 2651 Somersville Rd, Antioch, CA. 94509 APN 076-432-025 Corporated herein, as an instrument of professional service are the property of The CompCodes Inc and are not to
	No. Description Date Progress Set 11.15.2024 Interior Elevations A3-O Scale: As Noted Scale: As Noted Sheet size: Arch D

				1	<u> </u>	1		RESTROOM	
MIRROR	P	PURSE HOOK @ DOOR	\bigcirc	SOAP DISPENSER		PAPER TOWEL DISPENSER	M	TAMPON/SANITARY NAPKIN DISPOSAL	
1/1								2'-7"	
1	<u>~</u>	v —			5		÷.		
40" MAX TO REFLECTIVE	L ACE	48" HIGH MAX.		40" HIGH MAX. TO PARTS PARTS	*	40" HIGH MAX. TO PARTS	*	3, - 9, - 19,	
REFL T A 4			FF	40" MAX OPER PAI	FF	40" MAX DER	FF	۰ ۱	FF
TES:	•	NOTES:		NOTES:	•	NOTES:	•	NOTES:	
SUPPLIED & ALLED		GC SUPPLIED & INSTALLED		GC SUPPLIED & INSTALLE	D	GC SUPPLIED & INSTALLE	D	WOMEN'S RESTROOM C GC SUPPLIED & INSTA	
PECIFICATION:		SPECIFICATION:		SPECIFICATION:		SPECIFICATION:		SPECIFICATION:	
BRICK: #B-165 (243	36)	BOBRICK #B-6717 - STAINLESS STEEL		BOBRICK: #B-4112		BOBRICK: #B-3944		BOBRICK #B-353 FLUSH-MOUNTED; STA STEEL	INLESS
								SIEEL	

