

REMODELING/ ALTERATION OF EXISTING BUILDING

2511 DELTA FAIR BLVD. ANTIOCH CA, 94509

OWNER/S: RUBEN HERRERA

APN: 070-110-170-000

REVISIONS

BY



DESIGNERS

3028 Cherry St, Antioch
CA 94509.
Cell Phone: (510-600-9356)
Email: Gemmagqe@gmail.com



COVER SHEET

SHEET NAME:

REMODELING/ALTERATION OF EXISTING BUILDING

RUBEN HERRERA

2511 DELTA FAIR BLVD ANTIOCH, CA 94509

(510)-600-9356 /GEMMAGQE@GMAIL.COM

DATE:

04/24/2025

SCALE:

AS NOTED

DRAWING BY :

GEMMA GARCIA

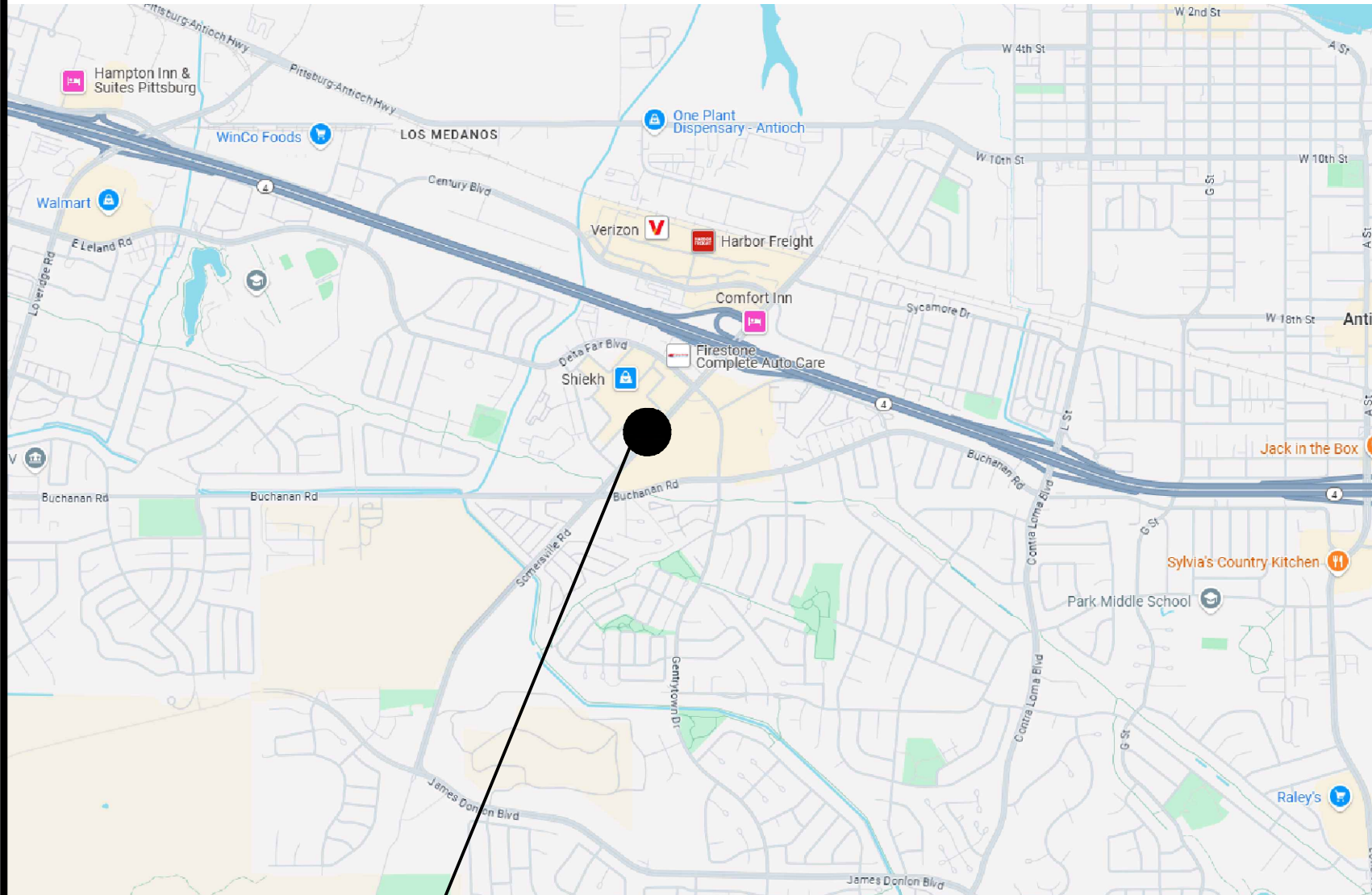
JOB FILE :

(A-01) ANTIOCH CA

SHEET # :

A-01

AREA MAP



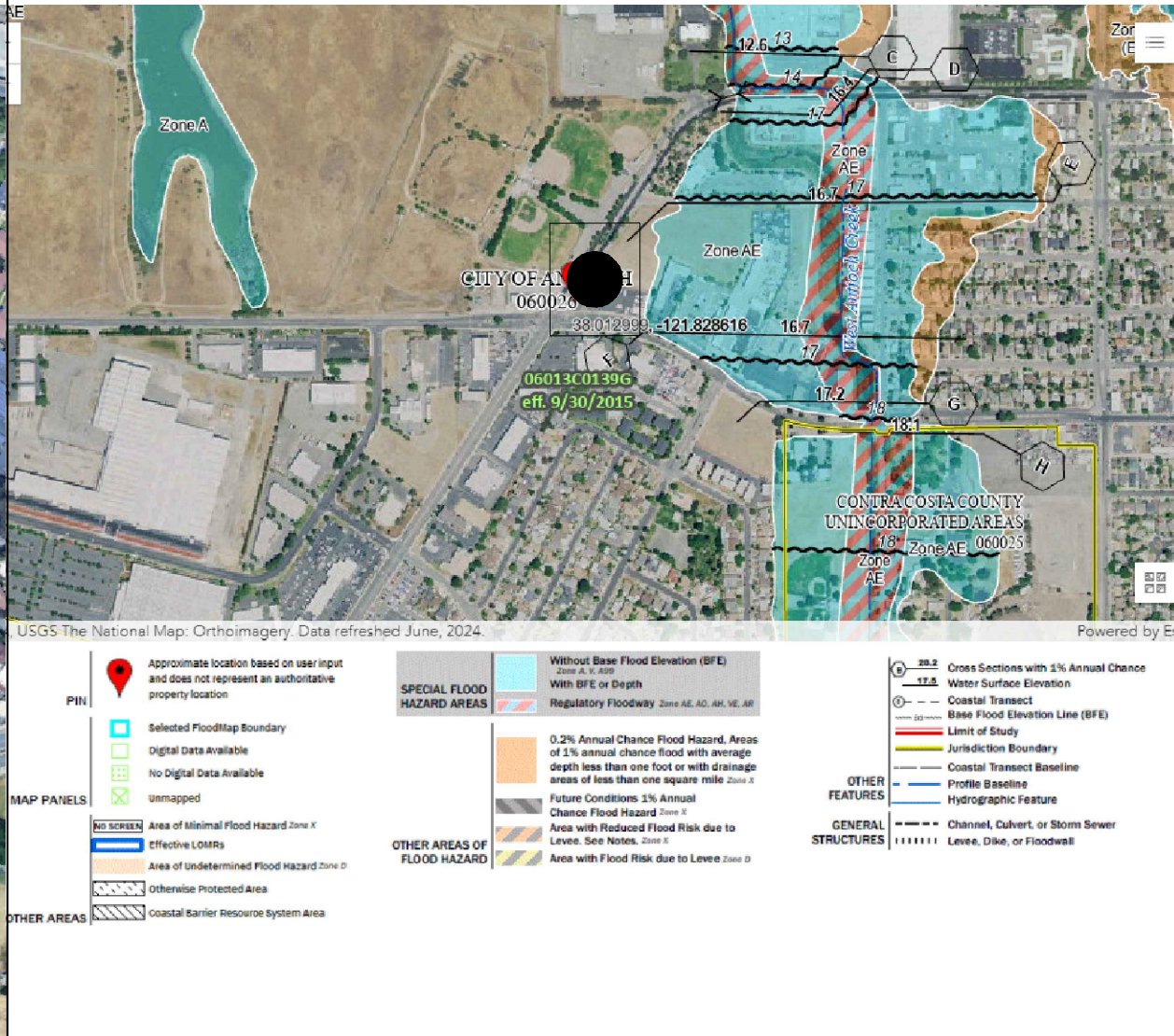
SITE:
2511 DELTA FAIR BLVD.
ANTIOCH, CA 94509

VICINITY MAP



SITE:
2511 DELTA FAIR BLVD.
ANTIOCH, CA 94509

FLOOD MAP



DRAWING INDEX

ARCHITECTURAL

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APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA ELECTRIC CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA GREEN BUILDING CODE

2022 CITY OF ANTIOCH PLANNING & ZONING CODE

BUILDING DATA

OWNER: RUBEN HERRERA

CONTACT: 925-339-0222

APN 070-110-170-000 OCCUPANCY LOAD - BASED ON PARKING SPACES
ZONING TBD PARKING SPACES: 170
LOT AREA 159,240 SF (4) OCCUPANTS PER (1) PARKING SPACE: 680 FIXED SEATS /4 = 170 PARKING SPACES
EXISTING BLDG AREA 28,984 SF
BUILDING LEVELS 2 LEVELS
BUILDING HAS SPRINKLER
CONSTRUCTION TYPE V-A
OCCUPANCY CLASSIFICATION A-3 (ASSEMBLY GROUP)

SCOPE OF WORK

REMODELING /ALTERATION OF EXISTING BUILDING
ADDITION OF NEW OFFICE SPACES & NEW LOBBY

GENERAL NOTES

THESE NOTES ARE ARRANGED ACCORDING TO THE FOLLOWING DIVISIONS AS A CONVENIENCE TO THE CONTRACTOR. GENERAL NOTES ARE NOT LIMITED BY THEIR DIVISION HEADING AND APPLY AS NECESSARY THROUGHOUT THE ENTIRE PROJECT.

1. CODES

A) ALL CONTRACTORS WORK SHALL CONFORM TO THE 2022 CALIFORNIA BUILDING, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE CODES, AMERICANS WITH DISABILITIES ACT, AND ALL OTHER APPLICABLE CODES, OR THOSE ADOPTED BY CITY OF ANTIOCH. GOVERNING AUTHORITIES AND CODES TAKE PRECEDENCE OVER DRAWINGS AND SPECIFICATIONS. REPORT DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

2. READING THE PLANS

A) DIMENSIONS SHALL GOVERN ON WORKING DRAWINGS. DO NOT SCALE DRAWINGS.
B) IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE NOTES OR SPECIFICATIONS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR.
C) SHOULD CONFLICTS OCCUR BETWEEN THE DRAWINGS AND SPECIFICATIONS, DRAWINGS SHALL GOVERN IN MATTERS OF DIMENSION OR QUANTITY; SPECIFICATIONS SHALL GOVERN IN MATTERS OF MATERIALS OR FINISHES.
D) IN CASE OF DISCREPANCIES OR CONFLICTS IN INFORMATION OR REQUIREMENTS WITHIN THE DRAWINGS, WITHIN THE SPECIFICATIONS, OR BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE MOST EXPENSIVE REQUIREMENT SHOWN OR SPECIFIED SHALL BE THE BASIS OF THE CONTRACT.

3. PRIOR TO CONSTRUCTION

A) PRIOR TO CONSTRUCTION AND GRADING, VERIFY ALL EXISTING CONDITIONS AND CONTACT UTILITY COMPANIES AND AFFECTED CITY AGENCIES. CONTACT "UNDERGROUND SERVICE ALERT" PHONE: (800) 642-2444.
B) THE CONTRACTOR SHALL THOROUGHLY REVIEW PLANS AND EXISTING SITE CONDITIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES, ERRORS OR OMISSIONS PRIOR TO CONSTRUCTION.

4. SITE WORK

A) THE CIVIL ENGINEER IS RESPONSIBLE FOR PROVIDING THE FOLLOWING INFORMATION:

- 1) FINISHED AND EXISTING GRADES
- 2) ALL SITE DRAINAGE
- 3) SIZES AND TYPE OF CURB AND GUTTERS
- 4) SITE DIMENSION AND SETBACKS

B) VERIFY DIMENSIONS, GRADES, ELEVATIONS AND CRITICAL LOCATIONS, SUCH AS STRUCTURAL SUPPORTS, BEFORE COMMENCING WORK AFFECTED BY THEM. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

5. JOB SITE

- A) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL THE EXPENSE FOR REPAIR OR REPLACEMENT OF UTILITIES AND/OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTIONS WITH THE EXECUTION OF WORK.
- B) CONTRACTOR SHALL PROVIDE TEMPORARY PROJECT OFFICE, TELEPHONE, FAX MACHINE, SECURITY FENCE, WATER, POWER, AND TOILET FACILITIES. COORDINATE LOCATIONS WITH ALL APPROPRIATE AGENCIES. CONTRACTOR'S FIELD OFFICE SHALL ALSO CONTAIN A CURRENT COPY OF GOVERNING BUILDING CODE(S).
- C) CITY APPROVED PLANS SHALL BE KEPT IN A PLAN BOX IN THE FIELD OFFICE AND SHALL NOT BE USED BY WORKERS. ALL CONSTRUCTION SETS SHALL BE KEPT UP TO DATE, AND REFLECT THE SAME INFORMATION. THE CONTRACTOR SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF PLANS AND SPECIFICATIONS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT.
- D) CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETE.
- E) CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND ORDERLY MANNER. NO RADIOS, ALCOHOL, OR CONTROLLED SUBSTANCES ARE ALLOWED ON THE JOB SITE. ALL DEBRIS SHALL BE REMOVED FROM PREMISES, AND ALL AREAS SHALL BE LEFT IN A BROOM-CLEAN CONDITION ON A DAILY BASIS.

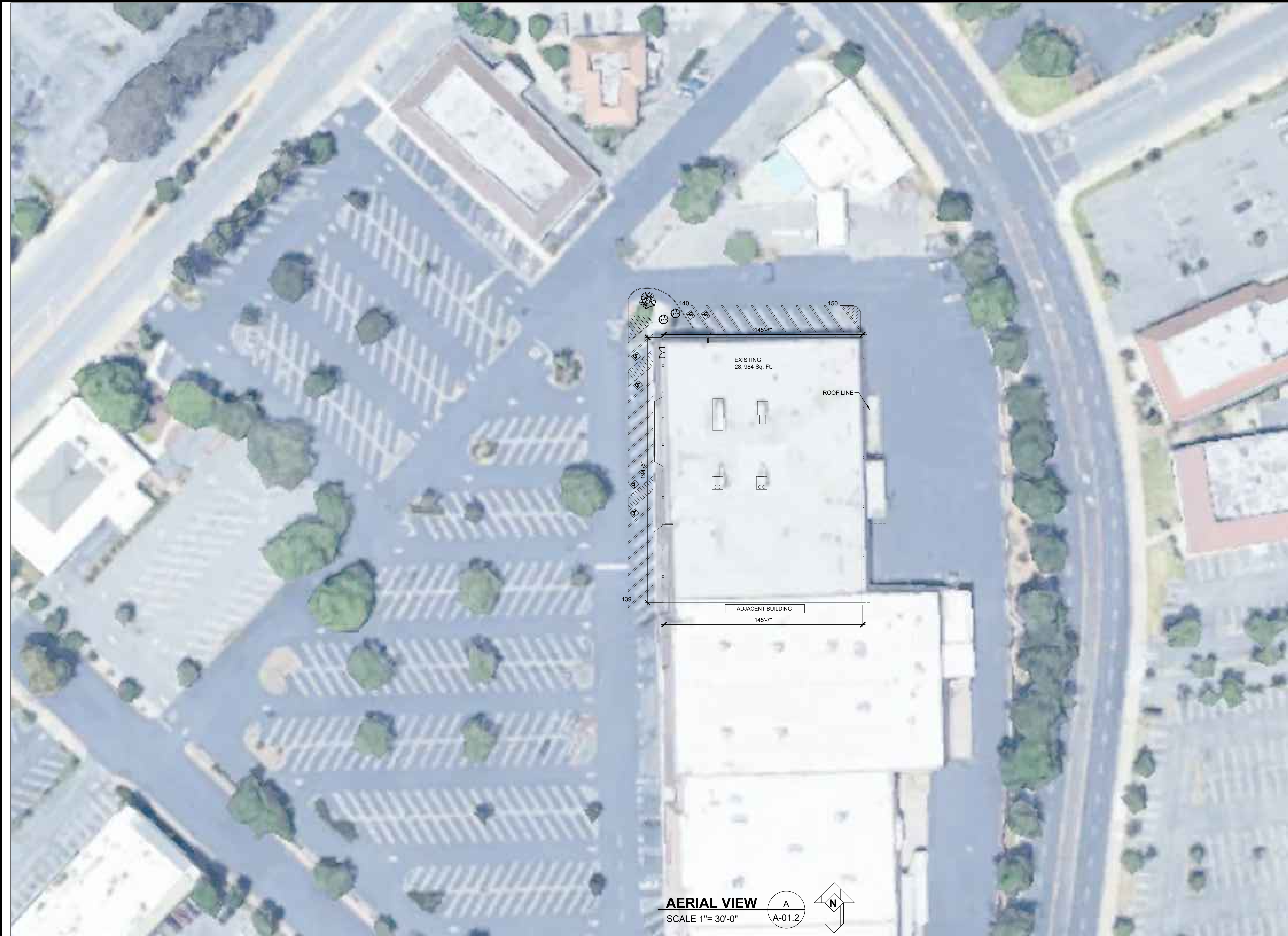
6. COMMUNICATION

- A) FIELD CONFIRMATION OF DISCREPANCIES SHALL BE RECORDED ON A REPRODUCIBLE DOCUMENT AND IMMEDIATELY TRANSMITTED TO ENGINEER FOR PROJECT RECORD, COORDINATION, AND NECESSARY RESOLUTION PRIOR TO CONTINUING WORK.
- B) THE GENERAL CONTRACTOR SHALL PROVIDE OR MAKE AVAILABLE A COMPLETE SET OF CONSTRUCTION DOCUMENTS (INCLUDING DRAWINGS AND SPECIFICATIONS) TO EVERY SUBCONTRACTOR BIDDING ANY PORTION OF THIS PROJECT. THE CONSTRUCTION DOCUMENTS SHALL NOT BE SEPARATED INTO DISCIPLINES (ENGINEERIAL, MECHANICAL, ELECTRICAL, ETC.) FOR PURPOSE OF SUBCONTRACTOR BIDDING. THE GENERAL CONTRACTOR SHALL REQUIRE BIDDING SUBCONTRACTOR TO REVIEW THE ENTIRE SET OF CONSTRUCTION DOCUMENTS TO OBTAIN CLARITY ON THE COMPLETE SCOPE OF THEIR WORK AND REFER TO CROSS DISCIPLINE DRAWINGS FOR FULL COORDINATION OF WORK WITH OTHER TRADES, AND TO BE AWARE OF ALL WORK WHICH DOES NOT APPEAR WITHIN THE PARTICULAR DISCIPLINE'S DRAWINGS FOR THE PARTICULAR TRADE. FURTHERMORE, THE GENERAL CONTRACTOR SHALL INSURE THAT EACH SUBCONTRACTOR WORKING ON THE PROJECT MAINTAINS A FULL SET OF CONSTRUCTION DOCUMENTS THROUGHOUT THE CONSTRUCTION OF THE PROJECT.

7. COMPLETION

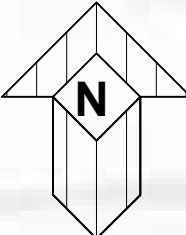
- A) ONE SET OF EQUIPMENT OPERATING AND MAINTENANCE MANUALS PER UNIT SHALL BE SUBMITTED TO OWNER UPON COMPLETION OF PROJECT, PRIOR TO REQUEST FOR FINAL PAYMENT.
- B) CONTRACTOR SHALL ASSIST OWNER IN OBTAINING "CERTIFICATE OF OCCUPANCY" OR "OCCUPANCY PERMIT" AS NECESSARY.





AERIAL VIEW
SCALE 1"= 30'-0"

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A-01.2



| REVISIONS | BY |
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AERIAL VIEW

SHEET NAME:

PROJECT NAME: REMODELING/ALTERATION OF EXISTING BUILDING
OWNER/REPRESENT: RUBEN HERRERA
PROJECT ADDRESS: 2511 DELTA FAIR BLVD ANTIOCH, CA 94509
CONTACT PHONE/EMAIL: (510)-600-9356 /GEMMAGQE@GMAIL.COM

DATE: 04/24/2025

SCALE: AS NOTED

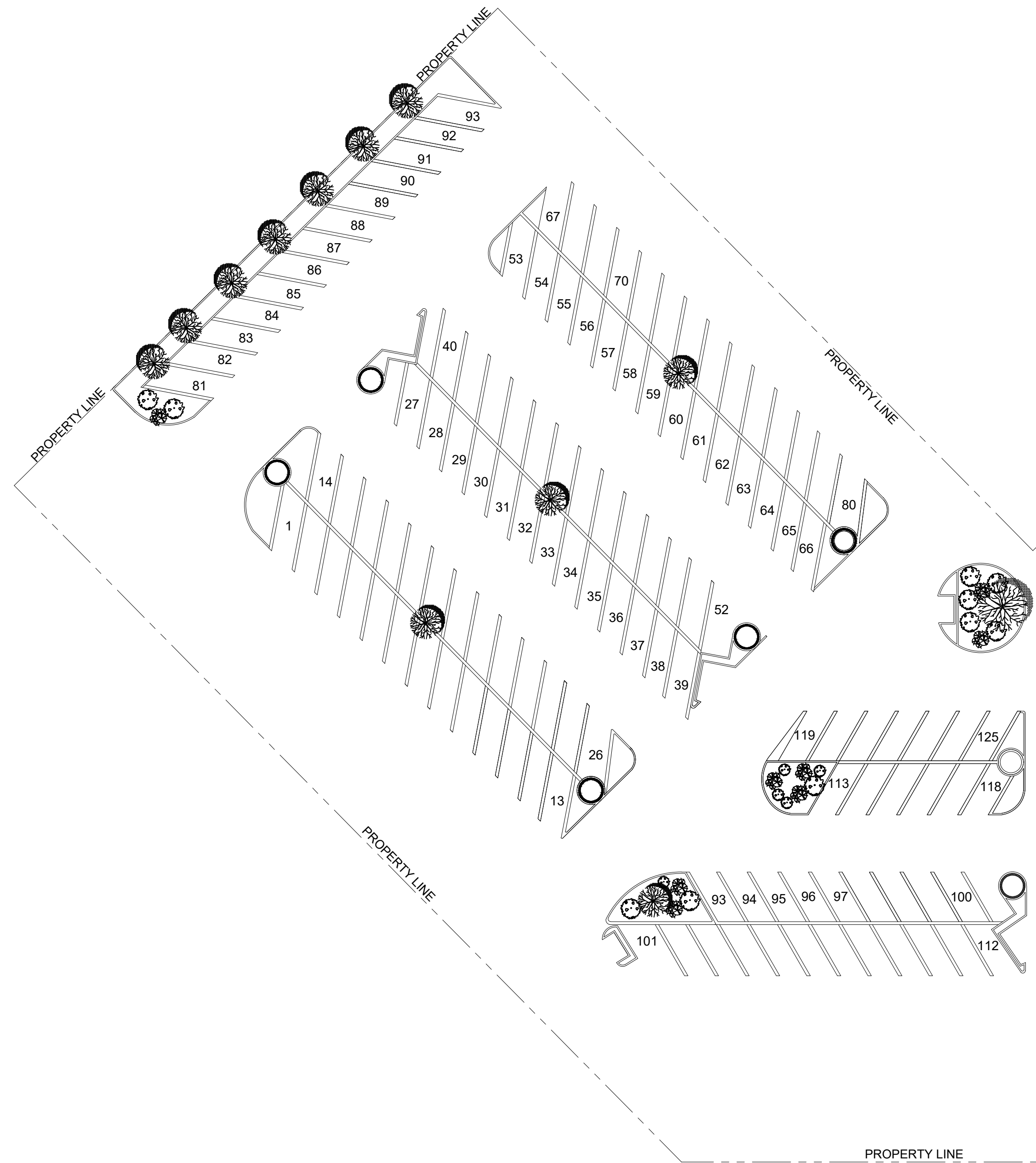
DRAWING BY :
GEMMA GARCIA

JOB FILE :
(A-01.2) ANTIOCH CA

SHEET # :

A-01.2

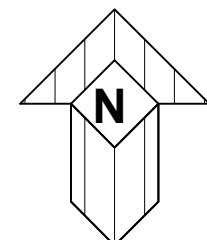
SITE



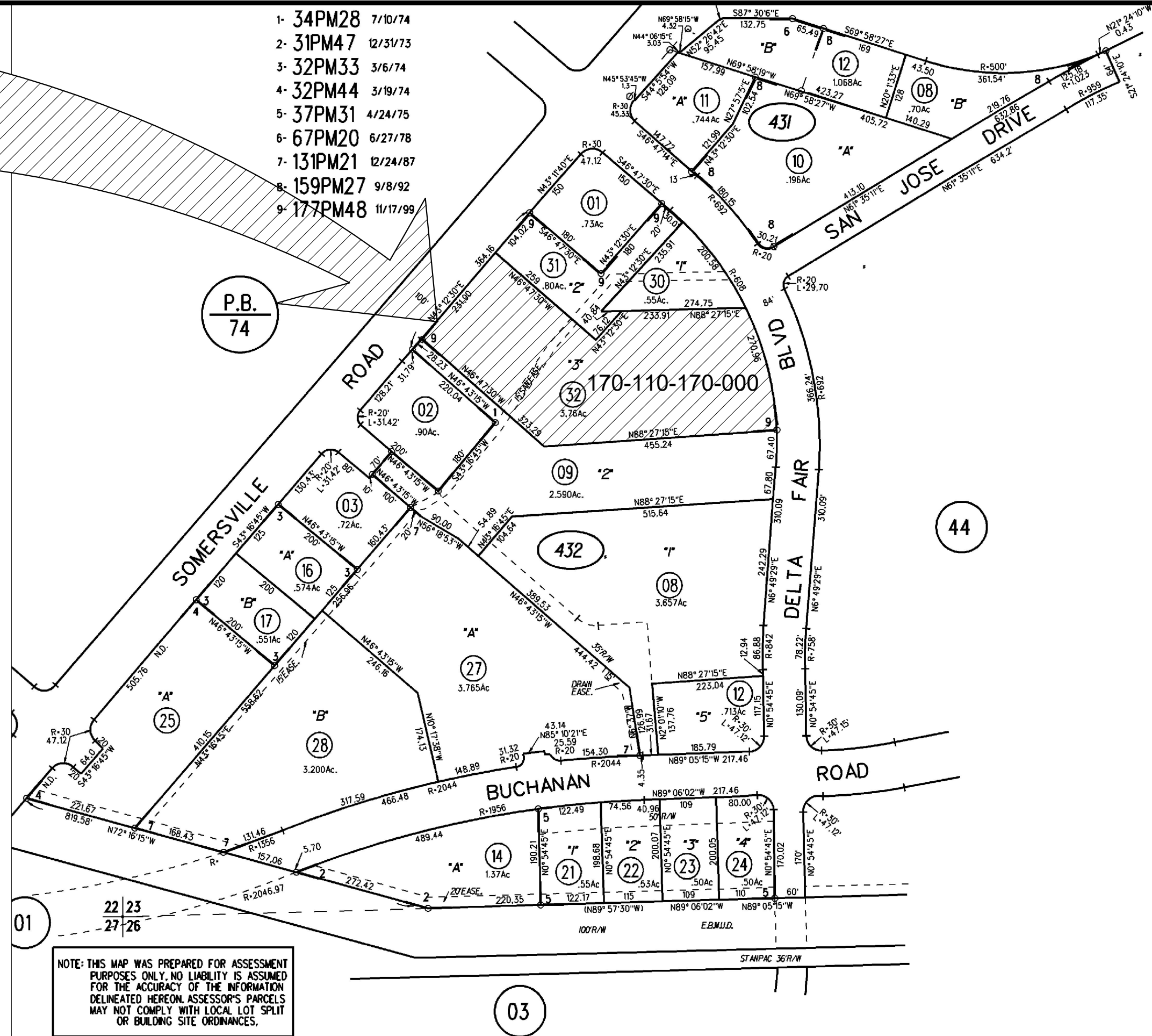
EXISTING SITE PLAN

SCALE 1"= 30'-0"

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A-02



PARCEL MAP

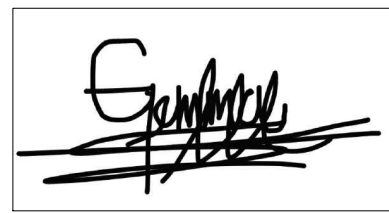


FM PG 27 5/19/72
ASSESSOR'S MAP
BOOK 76 PAGE
CONTRA COSTA COUNTY

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EXISTING SITE PLAN

SHEET NAME:

PROJECT NAME: REMODELING/ALTERATION OF EXISTING BUILDING
OWNER/REPRESENT: RUBEN HERRERA
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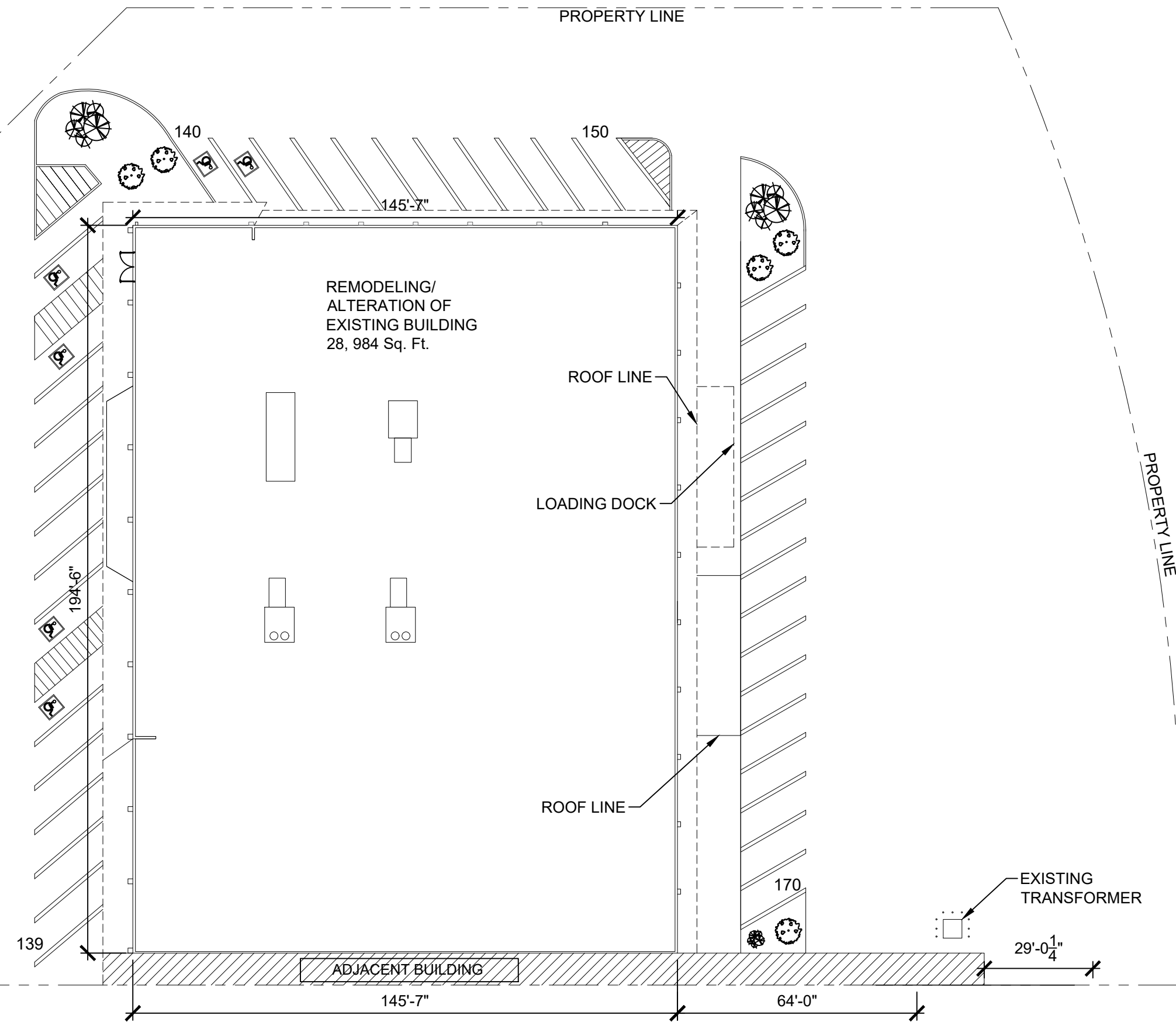
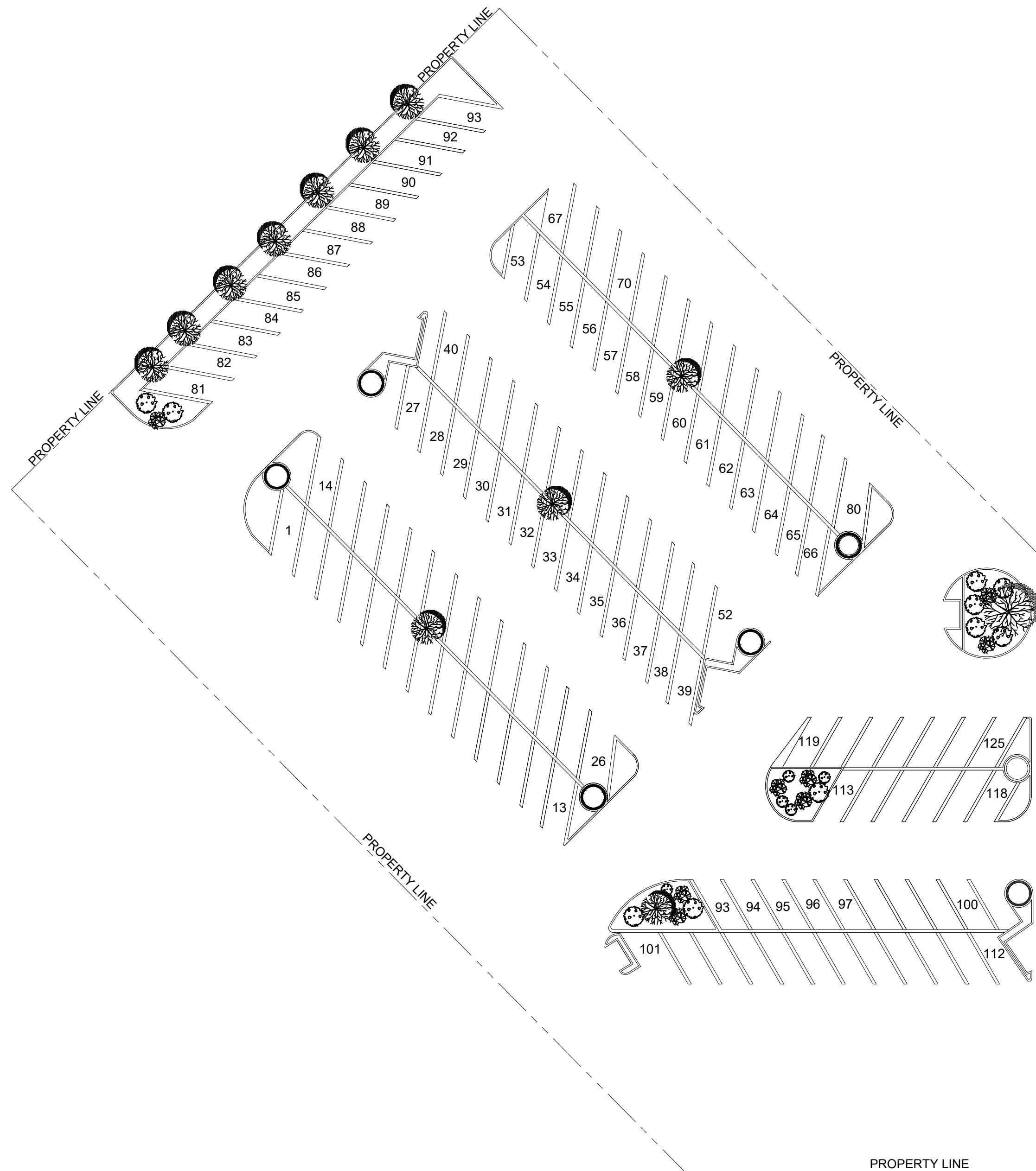
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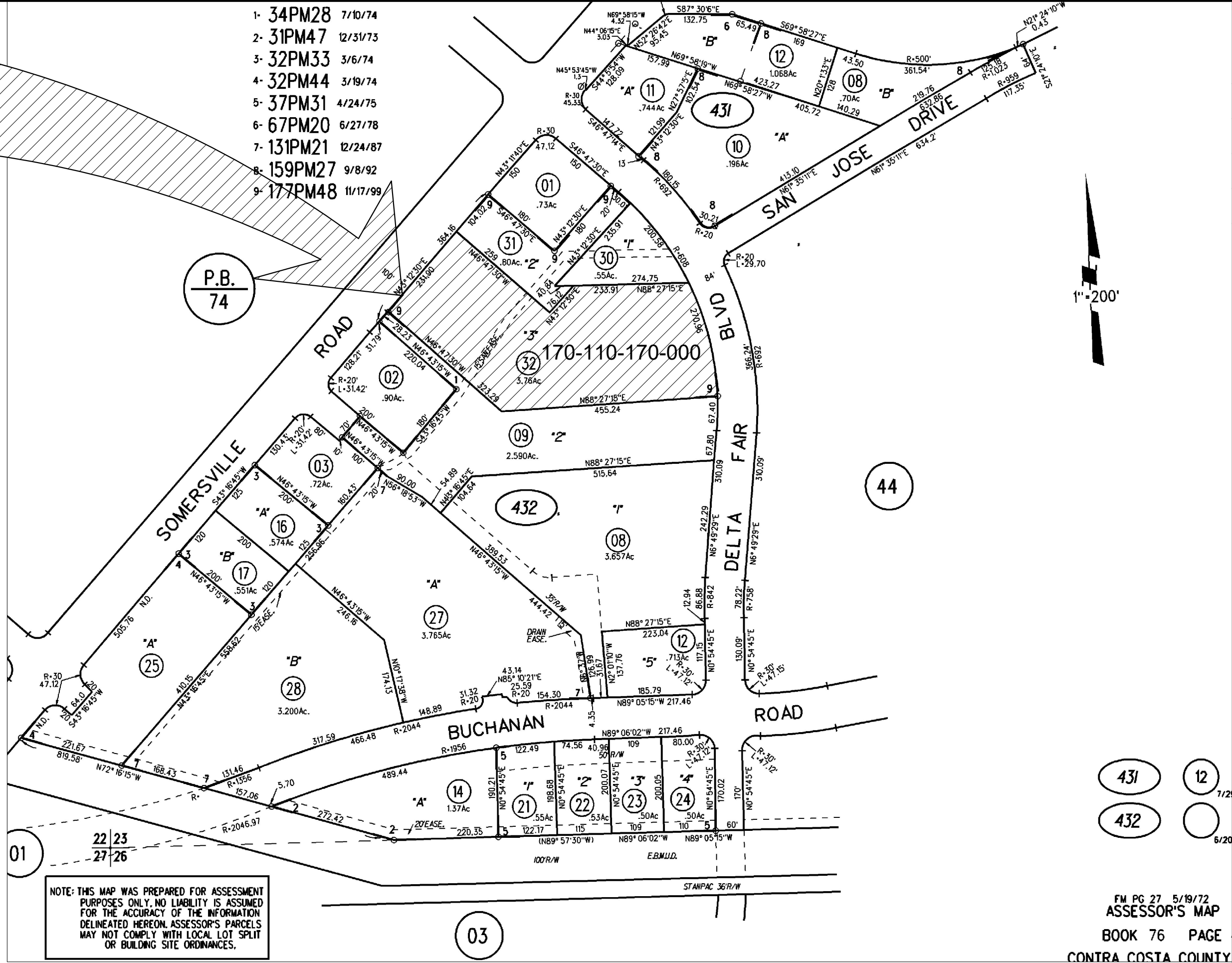
SHEET #:

A-02

SITE



PARCEL MAP



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PROPOSED SITE PLAN

SHEET NAME:

PROJECT NAME: REMODELING/ALTERATION OF EXISTING BUILDING
OWNER/REPRESENT: RUBEN HERRERA
PROJECT ADDRESS: 2511 DELTA FAIR BLVD ANTIOCH, CA 94509
CONTACT PHONE/EMAIL: (510) 600-9356 /GEMMAGQE@GMAIL.COM

DATE: 04/24/2025

SCALE: AS NOTED

DRAWING BY: GEMMA GARCIA

JOB FILE: (A-02.1) ANTIOCH CA

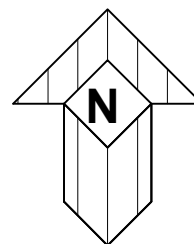
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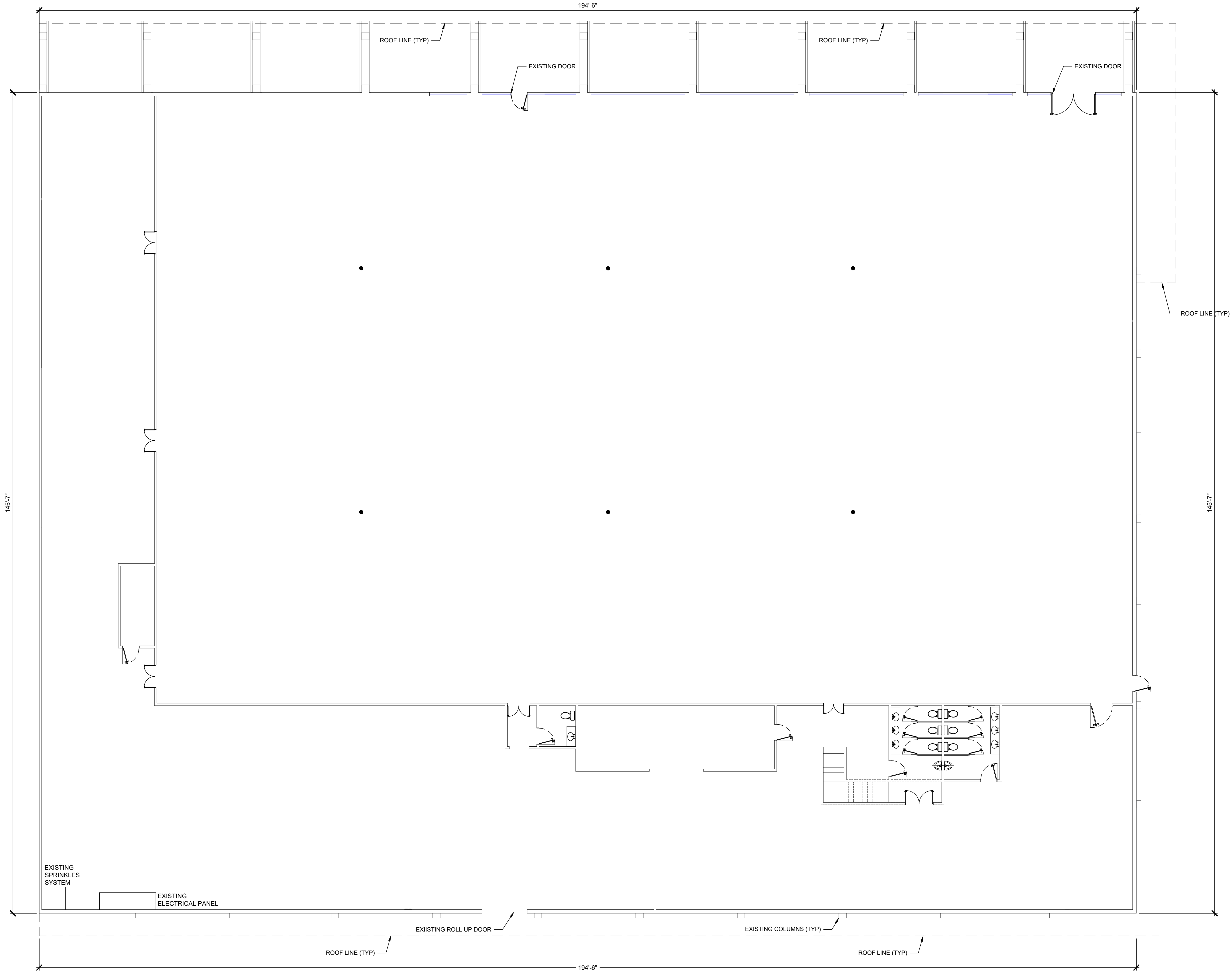
A-02.1

PROPOSED SITE PLAN

SCALE 1"= 30'-0"

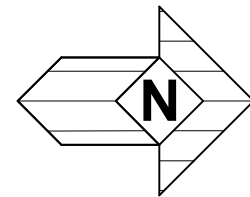
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A-02.1





EXISTING FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"

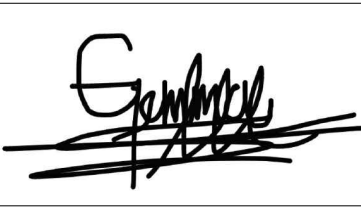
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A-03



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SHEET NAME:
EXISTING FIRST FLOOR PLAN

PROJECT NAME: **REMODELING/ALTERATION OF EXISTING BUILDING**
OWNER/REPRESENT: **RUBEN HERRERA**
PROJECT ADDRESS: **2511 DELTA FAIR BLVD ANTIOCH, CA 94509**
CONTACT PHONE/EMAIL: **(510)-600-9356 /GEMMAGQE@GMAIL.COM**

DATE: **04/24/2025**

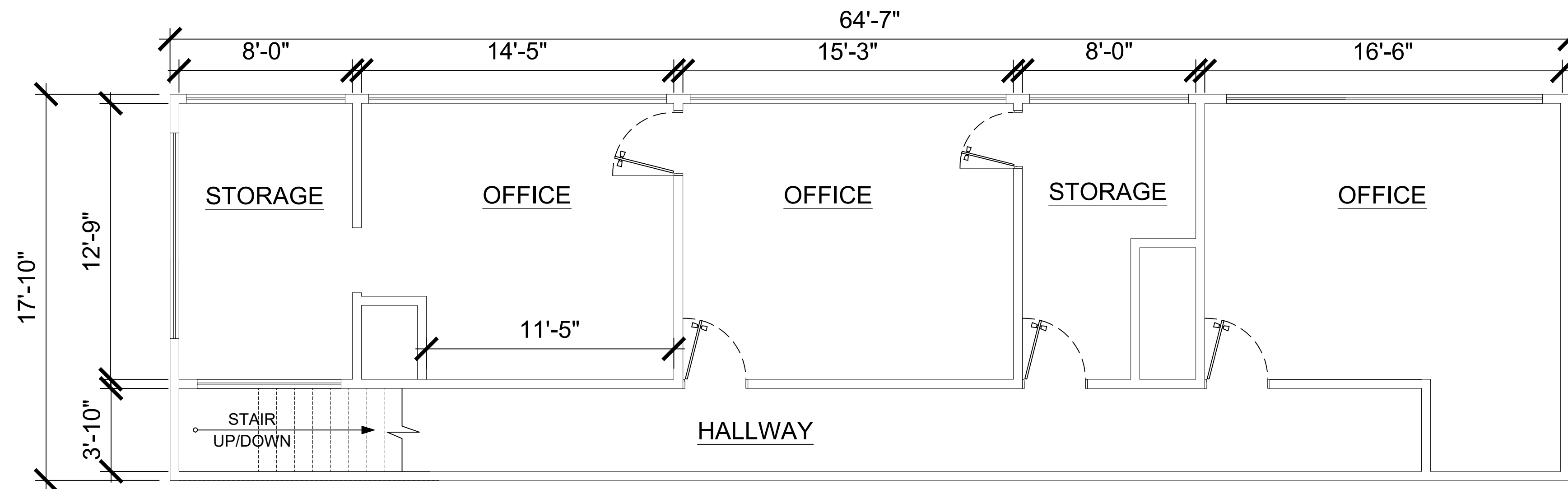
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GEMMA GARCIA

JOB FILE :
(A-03) ANTIOCH CA

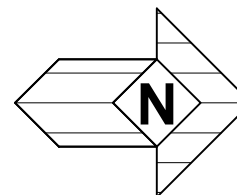
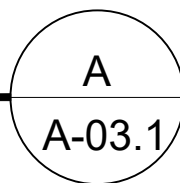
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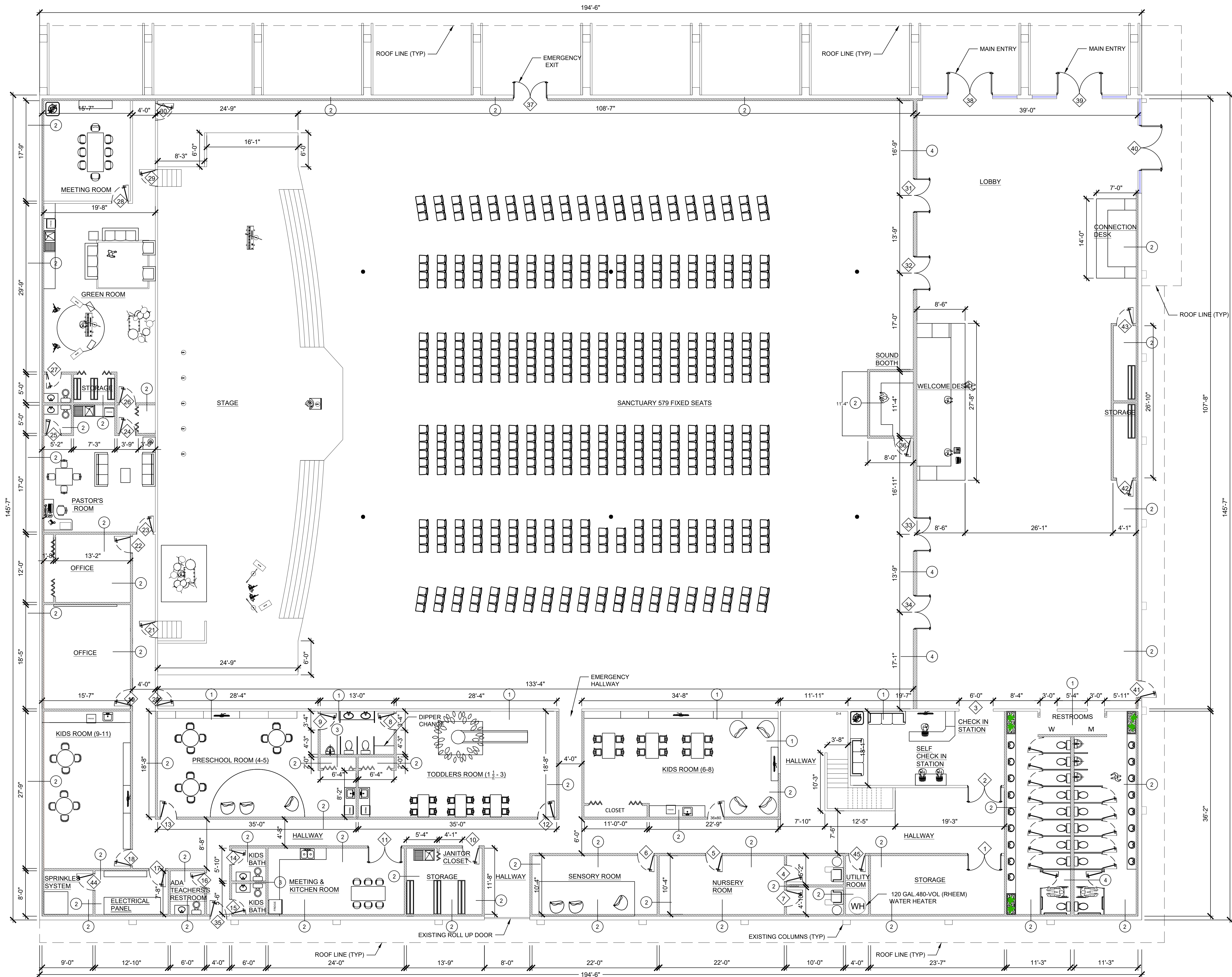


EXISTING SECOND FLOOR PLAN

SCALE 1/8" = 1'-0"



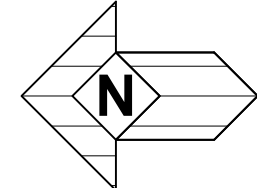
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| <div> DESIGNERS 3028 Cherry St, Antioch CA 94509. Cell Phone: (510)-600-9356 Email: Gemmagqe@gmail.com</div> | |
| <div></div> | |
| SHEET NAME: EXISTING SECOND FLOOR PLAN | |
| <div><div>PROJECT NAME: REMODELING/ALTERATION OF EXISTING BUILDING</div><div>OWNER/REPRESENT: RUBEN HERRERA</div><div>PROJECT ADDRESS: 2511 DELTA FAIR BLVD ANTIOCH, CA 94509</div><div>CONTACT PHONE/EMAIL: (510)-600-9356 /GEMMAGQE@GMAIL.COM</div></div> | |
| DATE: 04/24/2025 | |
| SCALE: AS NOTED | |
| DRAWING BY : GEMMA GARCIA | |
| JOB FILE : (A-03.1) ANTIOCH CA | |
| SHEET # : A-03.1 | |



PROPOSED FIRST FLOOR PLAN

SCALE 1/8" = 1'-0"

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A-04



| WALL LEGEND | |
|-------------|-------------------|
| 1 | EXISTING WALL 2X6 |
| 2 | NEW WALL 2X4 STUD |
| 3 | NEW WALL 2X6 STUD |
| 4 | NEW WALL 2X8 STUD |

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DESIGNERS

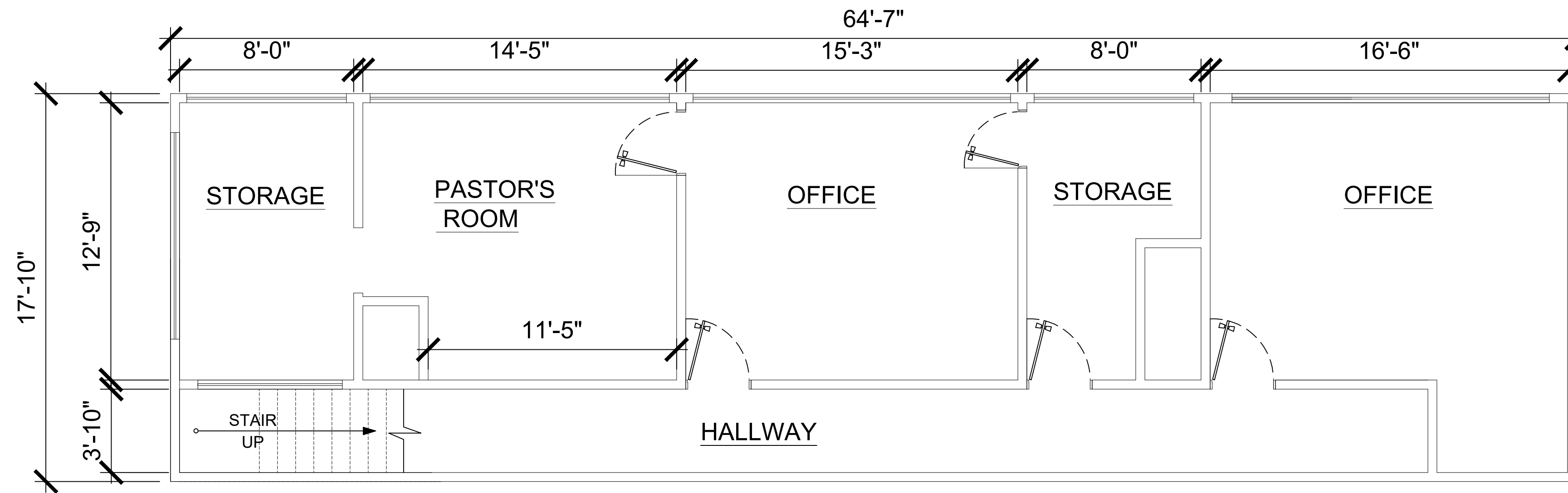
3028 Cherry St, Antioch
CA 94509.
Cell Phone: (510)-600-9356
Email: Gemmagqe@gmail.com

PROPOSED FIRST FLOOR PLAN

| | |
|----------------------|--|
| PROJECT NAME: | REMODELING/ALTERATION OF EXISTING BUILDING |
| OWNER/REPRESENT: | RUBEN HERRERA |
| PROJECT ADDRESS: | 2511 DELTA FAIR BLVD ANTIOCH, CA 94509 |
| CONTACT PHONE/EMAIL: | (510)-600-9356 / GEMMAGQE@GMAIL.COM |

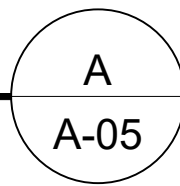
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| SCALE: | AS NOTED |
| DRAWING BY: | GEMMA GARCIA |
| JOB FILE: | (A-04) ANTIOCH CA |
| SHEET #: | |



A-04

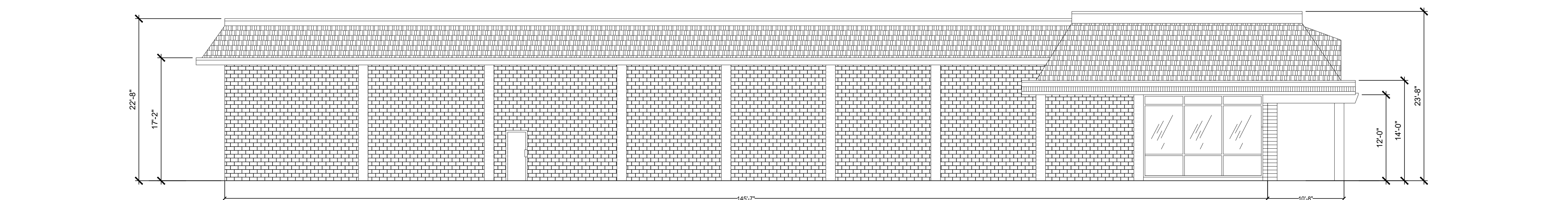


PROPOSED SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"



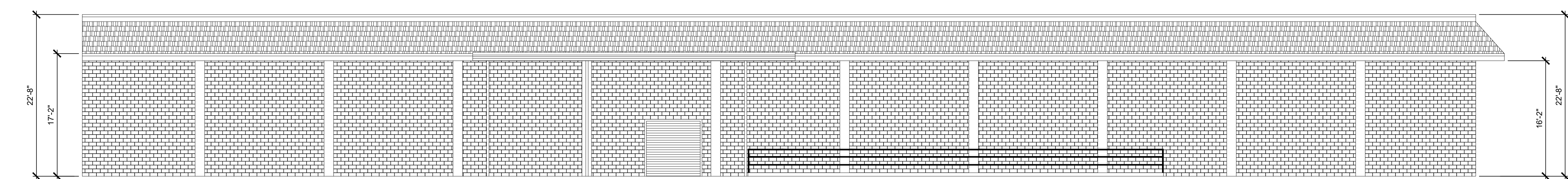
| REVISIONS | BY |
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| <div> DESIGNERS 3028 Cherry St, Antioch CA 94509. Cell Phone: (510-600-9356) Email: Gemmagqe@gmail.com</div> | |
| <div></div> | |
| SHEET NAME: PROPOSED SECOND FLOOR OPLAN | |
| <div><div>PROJECT NAME: REMODELING/ALTERATION OF EXISTING BUILDING</div><div>OWNER/REPRESENT: RUBEN HERRERA</div><div>PROJECT ADDRESS: 2511 DELTA FAIR BLVD ANTIOCH, CA 94509</div><div>CONTACT PHONE/EMAIL: (510)-600-9356 /GEMMAGQE@GMAIL.COM</div></div> | |
| DATE: 04/24/2025 | |
| SCALE: AS NOTED | |
| DRAWING BY : GEMMA GARCIA | |
| JOB FILE : (A-05) ANTIOCH CA | |
| SHEET # : A-05 | |



EXISTING NORTH ELEVATION

SCALE : 1/8" = 1'-0"

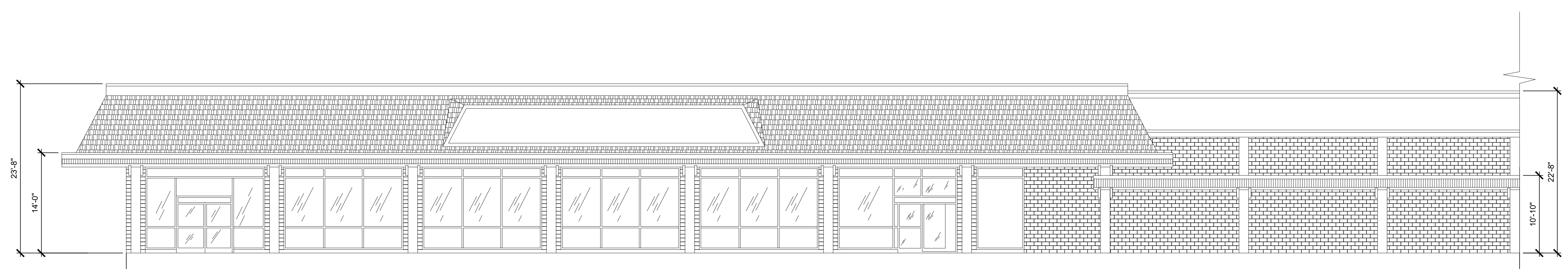
A
A-06



EXISTING EAST ELEVATION

SCALE : 1/8" = 1'-0"


B
A-06



EXISTING WEST ELEVATION

SCALE : 1/8" = 1'-0"

C
A-06

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| <div></div> | |
| SHEET NAME: EXISTING NORTH,EAST & WEST ELEVATION | |
| PROJECT NAME: REMODELING/ALTERATION OF EXISTING BUILDING | |
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| PROJECT ADDRESS: | 2511 DELTA FAIR BLVD ANTIOCH, CA 94509 |
| CONTACT PHONE/EMAIL: | (510)-600-9356 /GEMMAGQE@GMAIL.COM |
| DATE: | 04/24/2025 |
| SCALE: | AS NOTED |
| DRAWING BY : | GEMMA GARCIA |
| JOB FILE : | (A-06) ANTIOCH CA |
| SHEET # : | A-06 |



PROPOSED FRONT ELEVATIONS

| REVISIONS | BY |
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| <div></div> | |
| PROPOSED NORTH & WEST ELEVATION RENDERS | |
| PROJECT NAME: REMODELING/ALTERATION OF EXISTING BUILDING OWNER/REPRESENT: RUBEN HERRERA PROJECT ADDRESS: 2511 DELTA FAIR BLVD ANTIOCH, CA 94509 CONTACT PHONE/EMAIL: (510)-600-9356 /GEMMAGQE@GMAIL.COM | |
| DATE: 04/24/2025 | |
| SCALE: AS NOTED | |
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| JOB FILE: (A-07) ANTIOCH CA | |
| SHEET #: | |
| A-07 | |