

PROJECT TEAM

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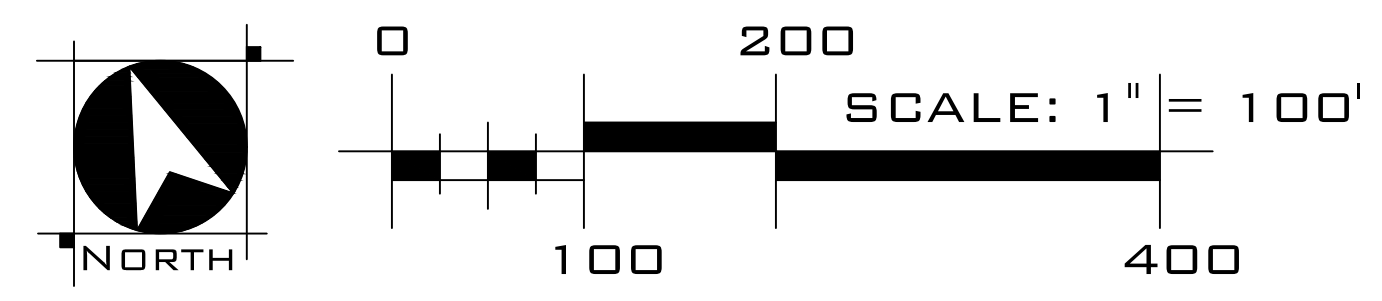
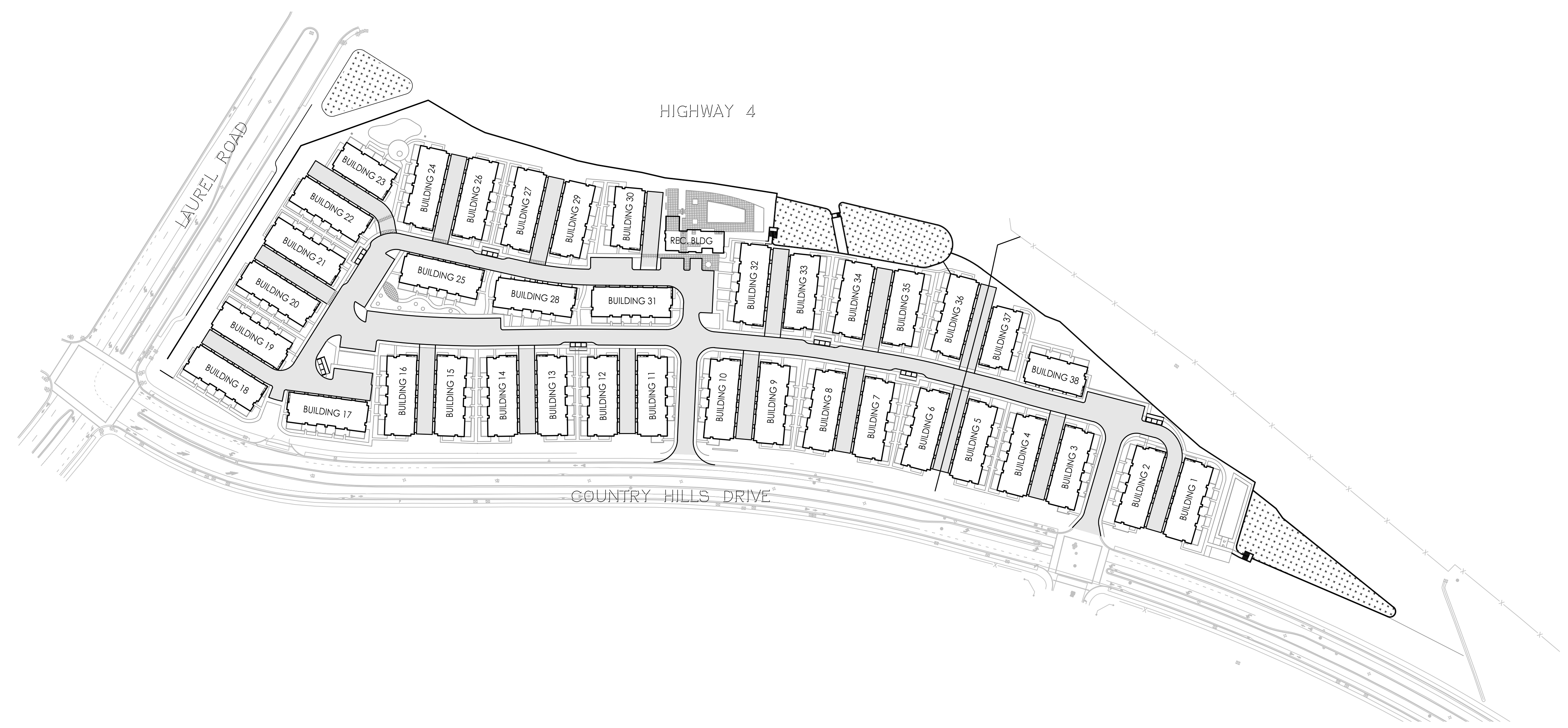
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SHEET INDEX

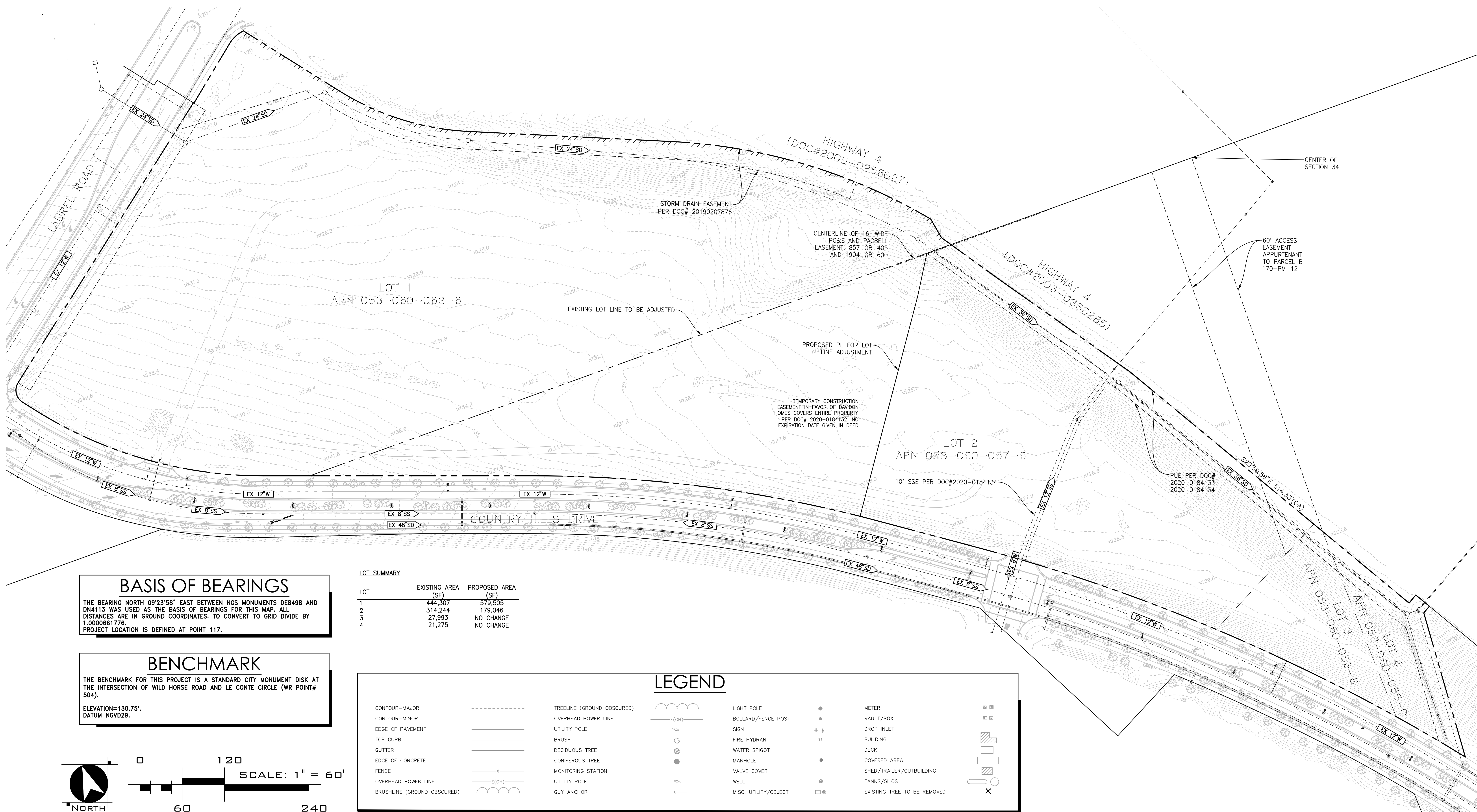
- C1 TITLE SHEET
- C2 EXISTING CONDITIONS
- C3 PRELIMINARY SITE PLAN
- C4 STREET SECTIONS
- C5 ENGINEERED & TRUE CROSS SECTIONS
- C6 PRELIMINARY GRADING & DRAINAGE PLAN
- C7 STORMWATER CONTROL PLAN
- C8 PRELIMINARY UTILITY PLAN
- C9 TRAFFIC SIGNING & STRIPING PLAN
- C10 TRUCK TURNS



LAUREL RD & COUNTRY HILLS DR DEVELOPMENT
 ANTIOCH, CALIFORNIA
 JANUARY 2023 (REVISED MARCH 24, 2023)

TITLE SHEET
 C1

WOOD RODGERS
 BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
 4670 WILLOW ROAD, SUITE 125 Tel 925.847.1556
 Pleasanton, CA. 94588 Fax 925.847.1557



BASIS OF BEARINGS

THE BEARING NORTH 09°23'58" EAST BETWEEN NGS MONUMENTS DE8498 AND DN4113 WAS USED AS THE BASIS OF BEARINGS FOR THIS MAP. ALL DISTANCES ARE IN GROUND COORDINATES. TO CONVERT TO GRID DIVIDE BY 1.0000661776. PROJECT LOCATION IS DEFINED AT POINT 117.

BENCHMARK

THE BENCHMARK FOR THIS PROJECT IS A STANDARD CITY MONUMENT DISK AT THE INTERSECTION OF WILD HORSE ROAD AND LE CONTE CIRCLE (WR POINT# 504).
ELEVATION=130.75'.
DATUM NGVD29.

LOT SUMMARY

LOT	EXISTING AREA (SF)	PROPOSED AREA (SF)
1	444,307	579,505
2	314,244	179,046
3	27,993	NO CHANGE
4	21,275	NO CHANGE

LEGEND

CONTOUR-MAJOR	-----	TREELINE (GROUND OBSCURED)		LIGHT POLE	*	METER	
CONTOUR-MINOR	-----	OVERHEAD POWER LINE	E(OH)	BOLLARD/FENCE POST	+	VAULT/BOX	
EDGE OF PAVEMENT	=====	UTILITY POLE		SIGN	+	DROP INLET	
TOP CURB	=====	BRUSH		FIRE HYDRANT	+	BUILDING	
GUTTER	=====	DECIDUOUS TREE		WATER SPIGOT	+	DECK	
EDGE OF CONCRETE	=====	CONIFEROUS TREE		MANHOLE	+	COVERED AREA	
FENCE	-----	MONITORING STATION		VALVE COVER	+	SHED/TRAILER/OUTBUILDING	
OVERHEAD POWER LINE	-----	UTILITY POLE		WELL	+	TANKS/SILOS	
BRUSHLINE (GROUND OBSCURED)	-----	GUY ANCHOR		MISC. UTILITY/OBJECT	+	EXISTING TREE TO BE REMOVED	X

LAUREL RD & COUNTRY HILLS DR DEVELOPMENT
ANTIOCH, CALIFORNIA
JANUARY 2023 (REVISED MARCH 24, 2023)

EXISTING CONDITIONS
C2

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PROJECT NOTES

NUMBER OF LOTS
4 LOTS

ASSESSOR'S PARCEL NUMBERS
053-060-042-4, 053-060-057-6, 053-060-056-8, 053-060-055-0

SITE AREA
18.5 AC. (GROSS)
14.1 AC. (NET)

AVERAGE DENSITY
11.4 DU/AC. (GROSS)

EXISTING USE
VACANT

PROPOSED USE
RESIDENTIAL/COMMERCIAL

GENERAL PLAN
CN - COMMUNITY RETAIL

EXISTING/PROPOSED ZONING
P-D

FIRE DEPARTMENT
CONTRA COSTA COUNTY FIRE PROTECTION DISTRICT

SEWER
CITY OF ANTIOCH - ON-SITE PRIVATE

WATER
CITY OF ANTIOCH - ON-SITE PRIVATE

GAS & ELECTRICITY
PG&E

CABLE
COMCAST

FLOOD ZONES
ZONE X (MAP 06013C0355G - MARCH 21, 2017)

BUILDINGS*	BUILDINGS	TOTAL UNITS
6-PLEX (ELEVATION 1A)	5	30
6-PLEX (ELEVATION 1B)	3	18
6-PLEX (ELEVATION 2A)	11	66
6-PLEX (ELEVATION 2B)	11	66
5-PLEX (ELEVATION 3B)	4	20
4-PLEX (ELEVATION 4A)	4	16
TOTAL	38	216

UNITS*	UNITS
1 (2BD)	60
2 (3 BD)	76
2X (3 BD)	4
3 (3 BD)	76
TOTAL	216

DENSITY	
TOTAL UNITS	216
TOTAL SITE AREA	18.5±
NET SITE AREA**	14.1±
NET DENSITY	15.3 DU
GROSS DENSITY	11.6 DU

NOTES:
 * SEE ARCHITECTURAL SHEETS FOR COMPREHENSIVE PLAN MIX BREAKDOWN AND AREAS
 ** NET IS TAKEN FROM TOE OF SLOPE AS DEFINED BY CONCEPTUAL GRADING ANALYSIS

PARKING SUMMARY

PARKING REQUIRED	
2BD - 1.5 SPACES/UNIT	90
3BD - 2 SPACES/UNIT	312
GUEST PARKING - 0.2 SPACES/UNIT	43
TOTAL REQUIRED	445

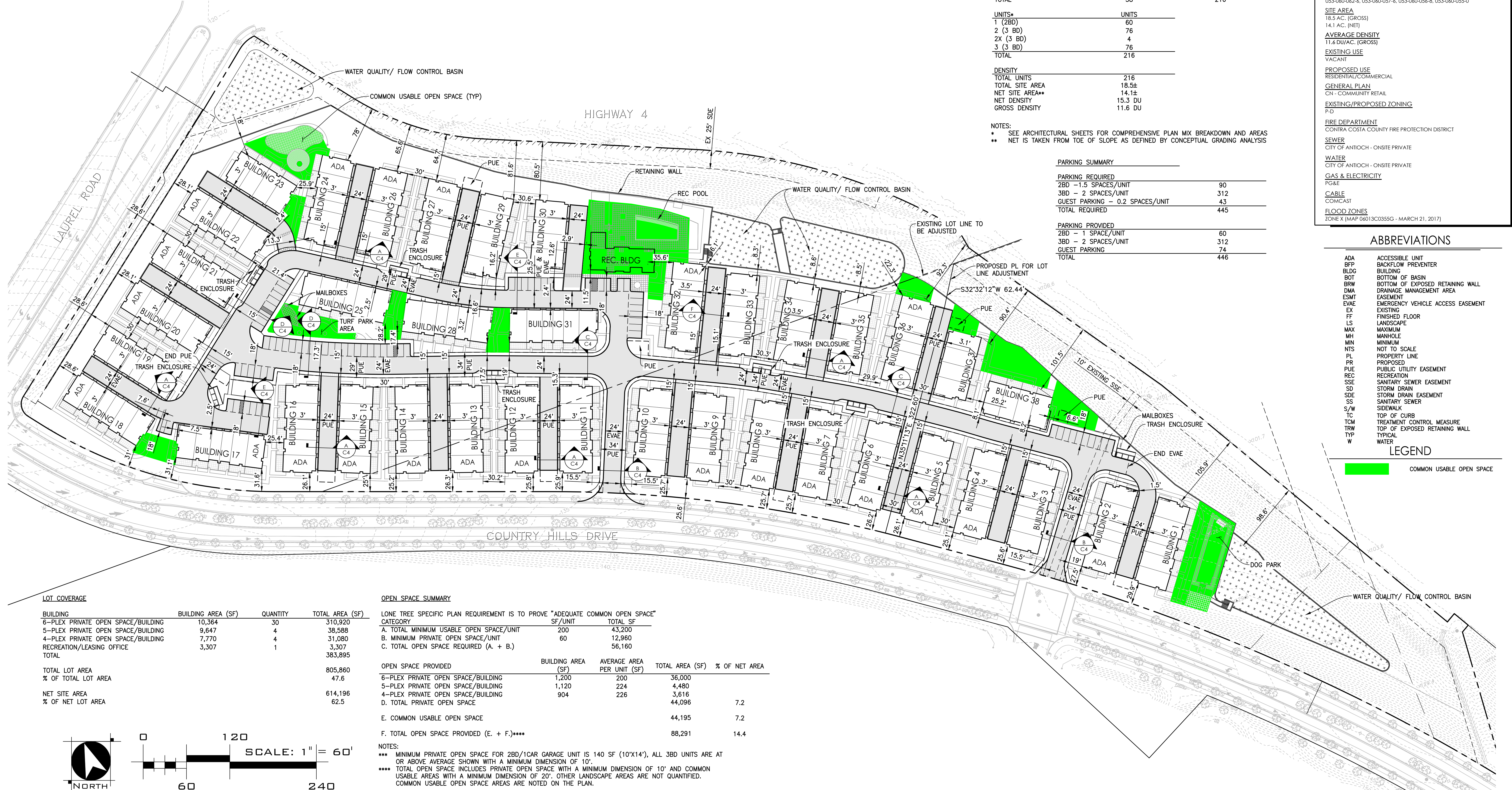
PARKING PROVIDED	
2BD - 1 SPACES/UNIT	60
3BD - 2 SPACES/UNIT	312
GUEST PARKING	74
TOTAL	446

ABBREVIATIONS

- ADA ACCESSIBLE UNIT
- BFP BACKFLOW PREVENTER
- BLDG BUILDING
- BOT BOTTOM OF BASIN
- BRW BOTTOM OF EXPOSED RETAINING WALL
- DMA DRAINAGE MANAGEMENT AREA
- ESMT EASEMENT
- EVAE EMERGENCY VEHICLE ACCESS EASEMENT
- EX EXISTING
- FF FINISHED FLOOR
- LS LANDSCAPE
- MAX MAXIMUM
- MH MANHOLE
- MIN MINIMUM
- NTS NOT TO SCALE
- PL PROPERTY LINE
- PR PROPOSED
- PUE PUBLIC UTILITY EASEMENT
- REC RECREATION
- SSE SANITARY SEWER EASEMENT
- SD STORM DRAIN
- SDE STORM DRAIN EASEMENT
- SS SANITARY SEWER
- S/W SIDEWALK
- TC TOP OF CURB
- TCM TREATMENT CONTROL MEASURE
- TRW TOP OF EXPOSED RETAINING WALL
- TYP TYPICAL
- W WATER

LEGEND

COMMON USABLE OPEN SPACE



LOT COVERAGE

BUILDING	BUILDING AREA (SF)	QUANTITY	TOTAL AREA (SF)
6-PLEX PRIVATE OPEN SPACE/BUILDING	10,364	30	310,920
5-PLEX PRIVATE OPEN SPACE/BUILDING	9,647	4	38,588
4-PLEX PRIVATE OPEN SPACE/BUILDING	7,770	4	31,080
RECREATION/LEASING OFFICE	3,307	1	3,307
TOTAL			383,895

TOTAL LOT AREA	805,860
% OF TOTAL LOT AREA	47.6
NET SITE AREA	614,196
% OF NET LOT AREA	62.5

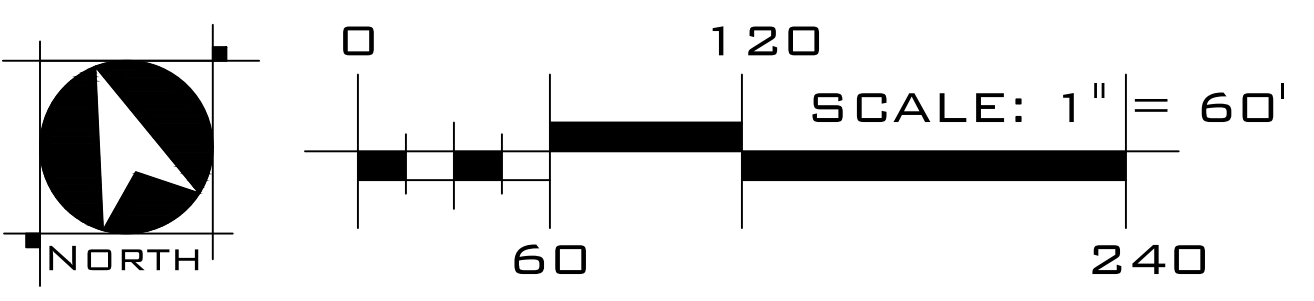
OPEN SPACE SUMMARY

LONE TREE SPECIFIC PLAN REQUIREMENT IS TO PROVE "ADEQUATE COMMON OPEN SPACE"

CATEGORY	SF/UNIT	TOTAL SF
A. TOTAL MINIMUM USABLE OPEN SPACE/UNIT	200	43,200
B. MINIMUM PRIVATE OPEN SPACE/UNIT	60	12,960
C. TOTAL OPEN SPACE REQUIRED (A. + B.)		56,160

OPEN SPACE PROVIDED	BUILDING AREA (SF)	AVERAGE AREA PER UNIT (SF)	TOTAL AREA (SF)	% OF NET AREA
6-PLEX PRIVATE OPEN SPACE/BUILDING	1,200	200	36,000	
5-PLEX PRIVATE OPEN SPACE/BUILDING	1,120	224	4,480	
4-PLEX PRIVATE OPEN SPACE/BUILDING	904	226	3,616	
D. TOTAL PRIVATE OPEN SPACE			44,096	7.2
E. COMMON USABLE OPEN SPACE			44,195	7.2
F. TOTAL OPEN SPACE PROVIDED (E. + F.)****			88,291	14.4

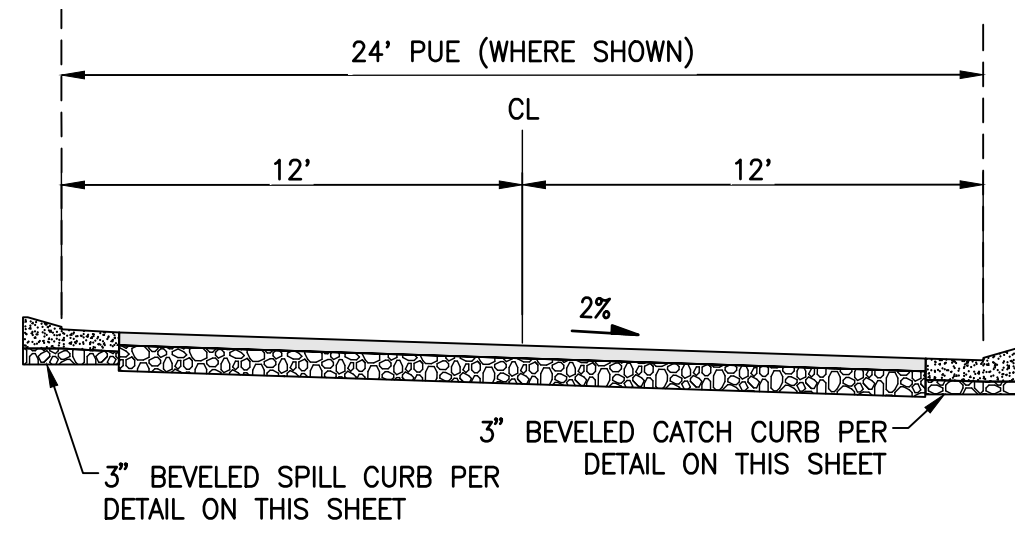
NOTES:
 *** MINIMUM PRIVATE OPEN SPACE FOR 2BD/1CAR GARAGE UNIT IS 140 SF (10'X14'), ALL 3BD UNITS ARE AT OR ABOVE AVERAGE SHOWN WITH A MINIMUM DIMENSION OF 10'.
 **** TOTAL OPEN SPACE INCLUDES PRIVATE OPEN SPACE WITH A MINIMUM DIMENSION OF 10' AND COMMON USABLE AREAS WITH A MINIMUM DIMENSION OF 20'. OTHER LANDSCAPE AREAS ARE NOT QUANTIFIED. COMMON USABLE OPEN SPACE AREAS ARE NOTED ON THE PLAN.



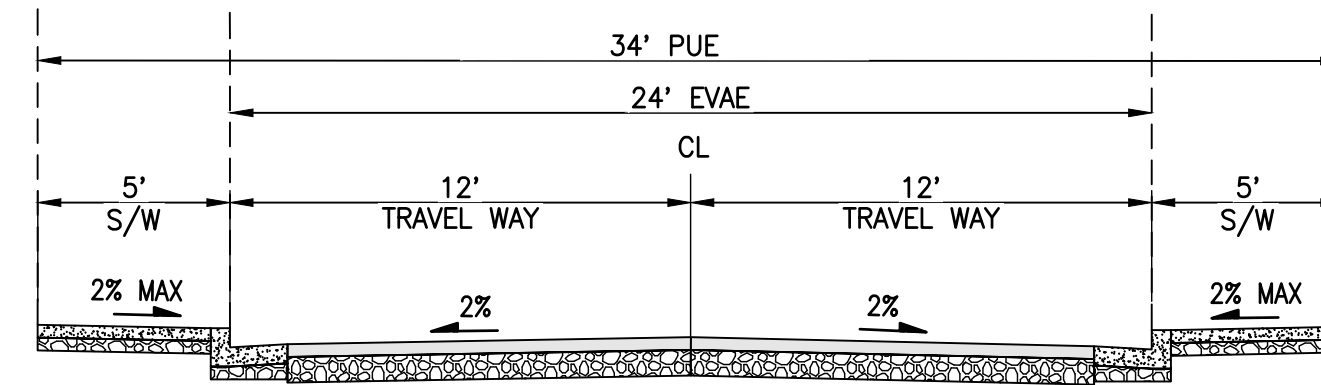
LAUREL RD & COUNTRY HILLS DR DEVELOPMENT
 ANTIOCH, CALIFORNIA
 JANUARY 2023 (REVISED MARCH 24, 2023)

PRELIMINARY SITE PLAN
 C3

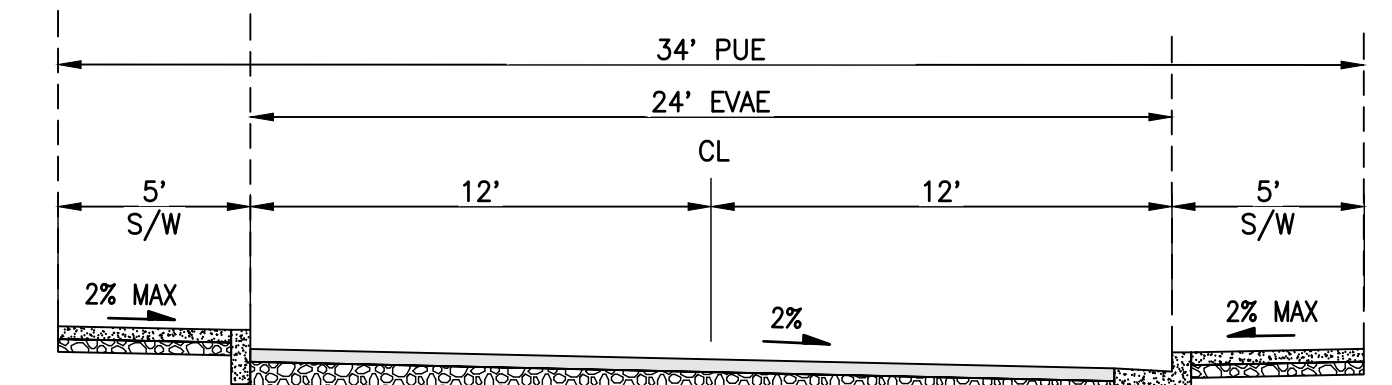
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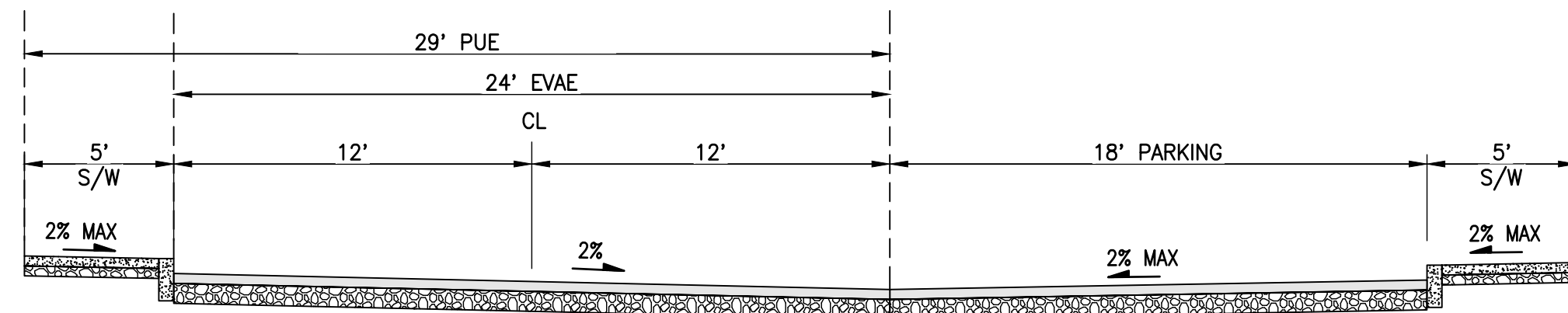
SECTION A
NTS



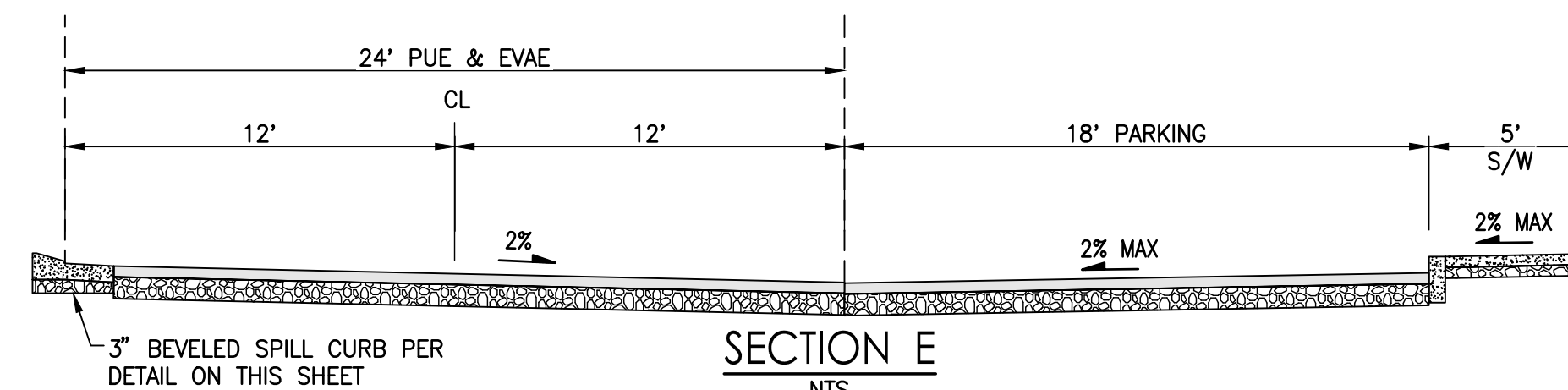
SECTION B
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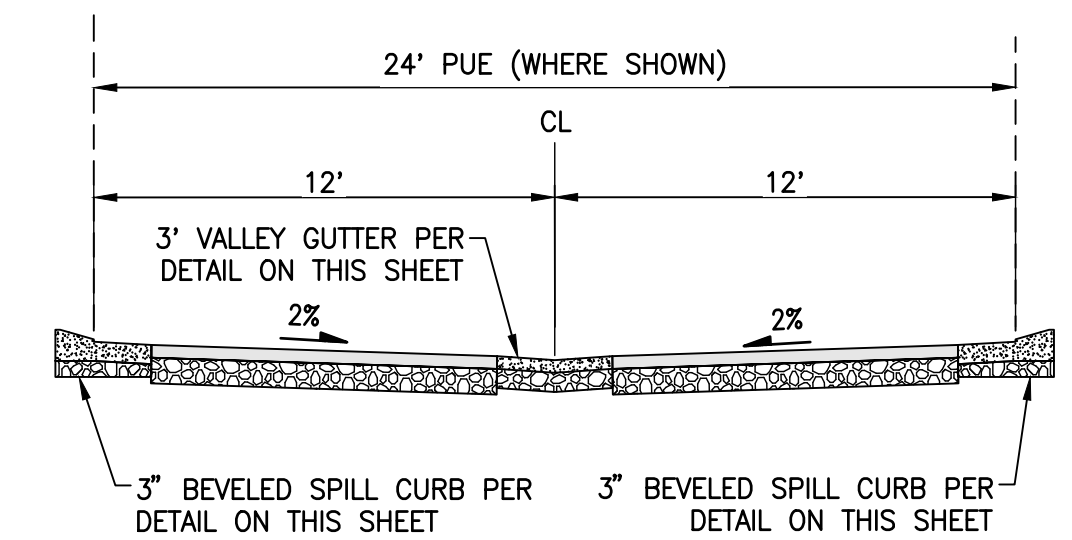
SECTION C
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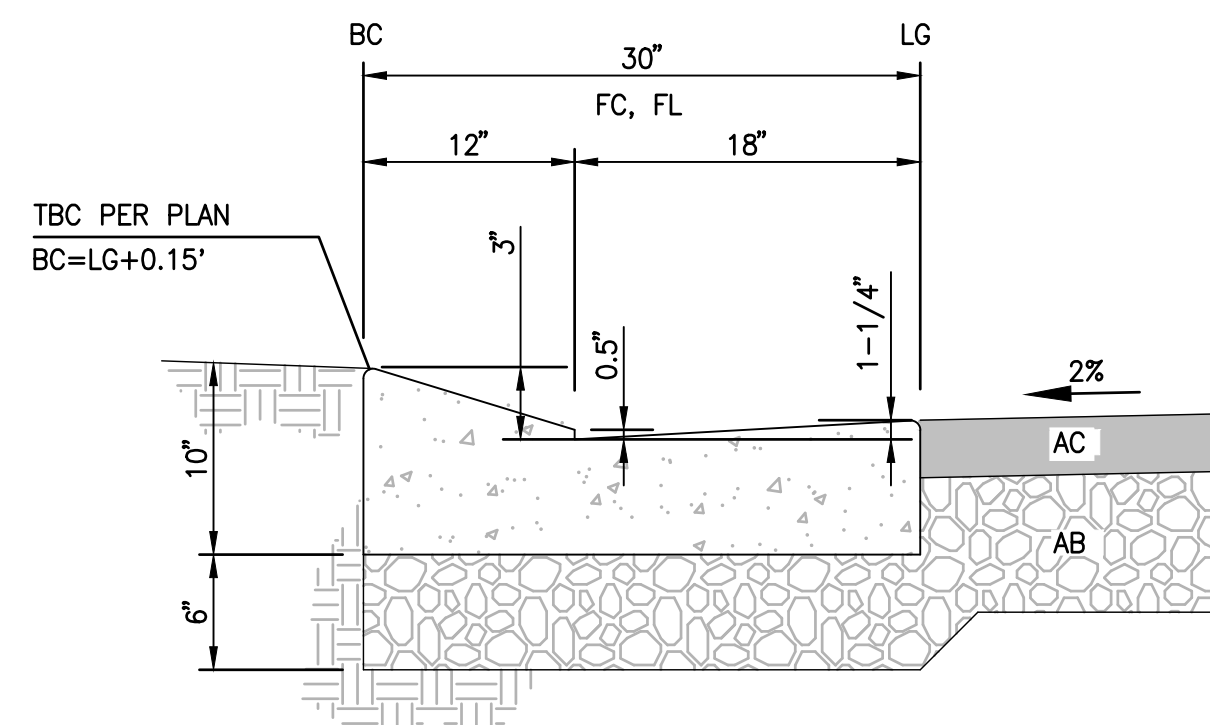
SECTION D
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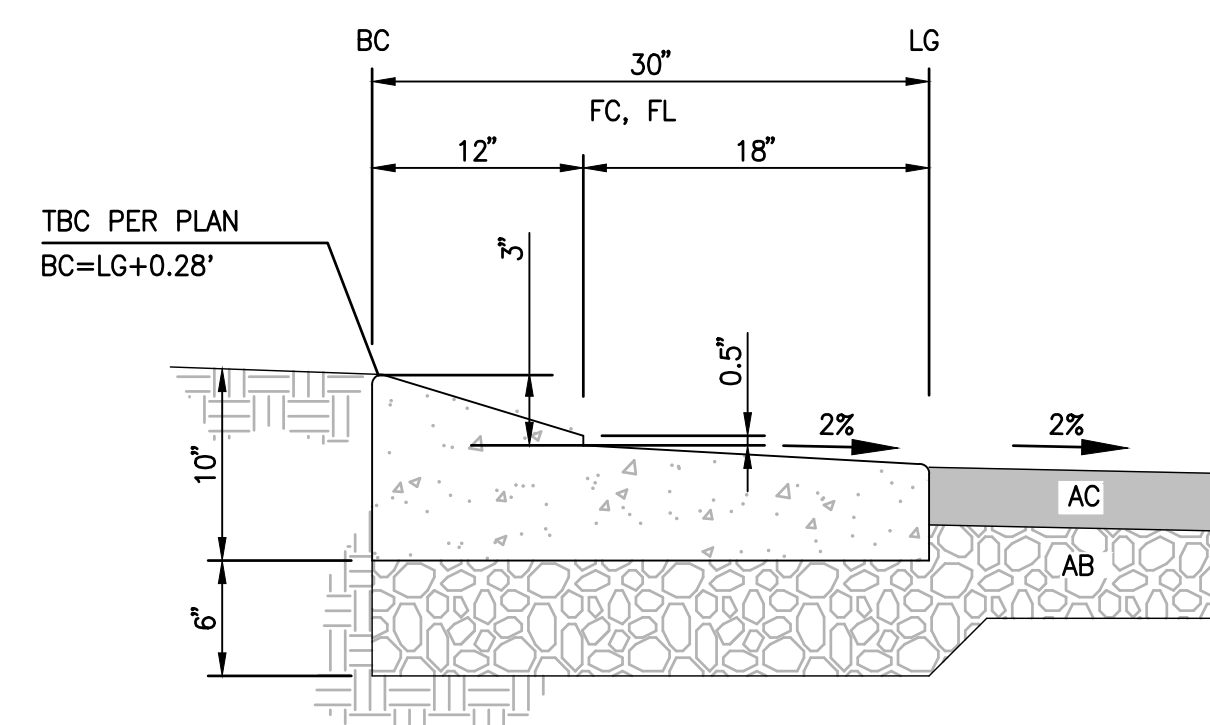
SECTION E
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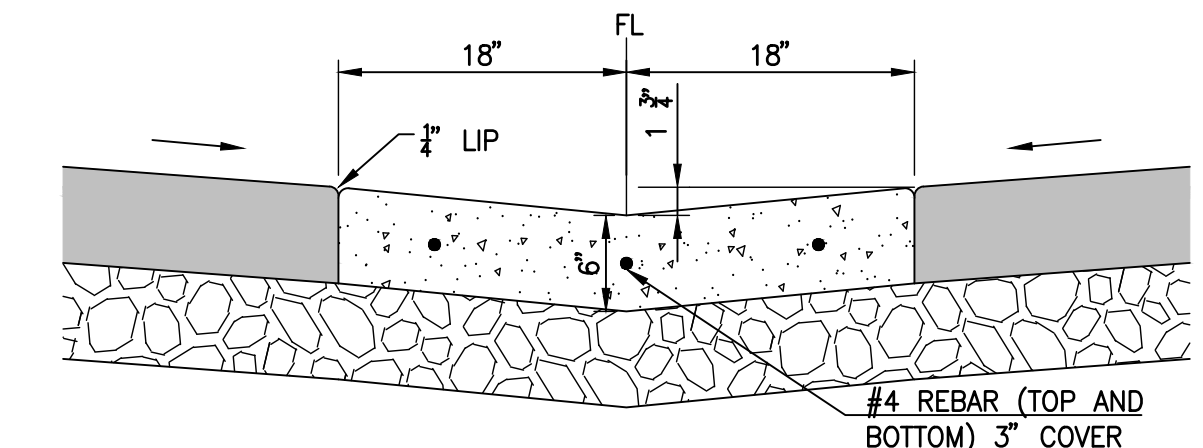
SECTION F
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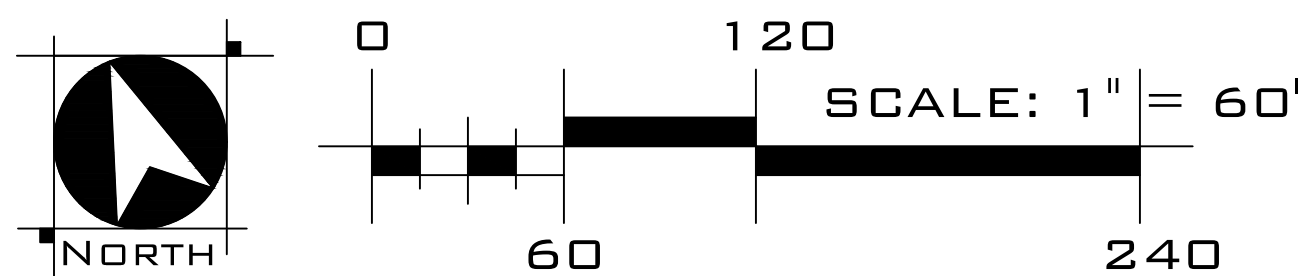
3" BEVELED SPILL CURB AT DRIVEWAYS
NTS



3" BEVELED CATCH CURB AT DRIVEWAYS
NTS



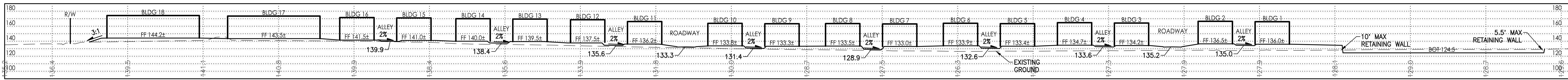
3' VALLEY GUTTER
NTS



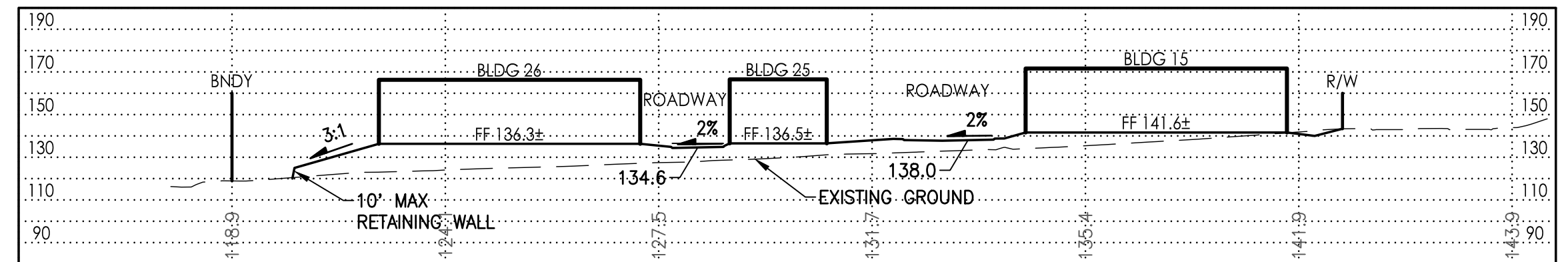
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ANTIOCH, CALIFORNIA
JANUARY 2023 (REVISED MARCH 24, 2023)

STREET SECTIONS
C4

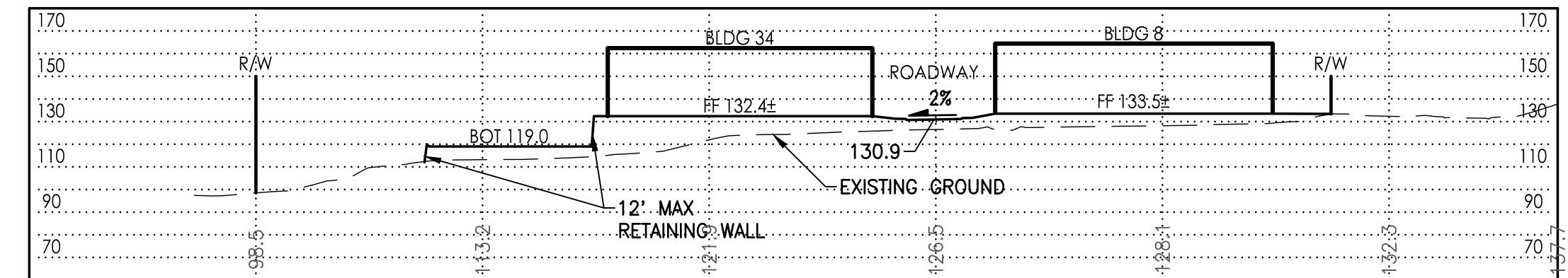
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SECTION 1
SCALE: 1"=60'

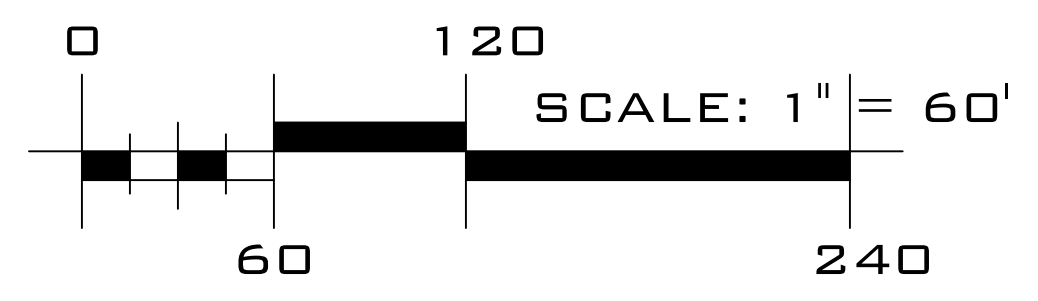
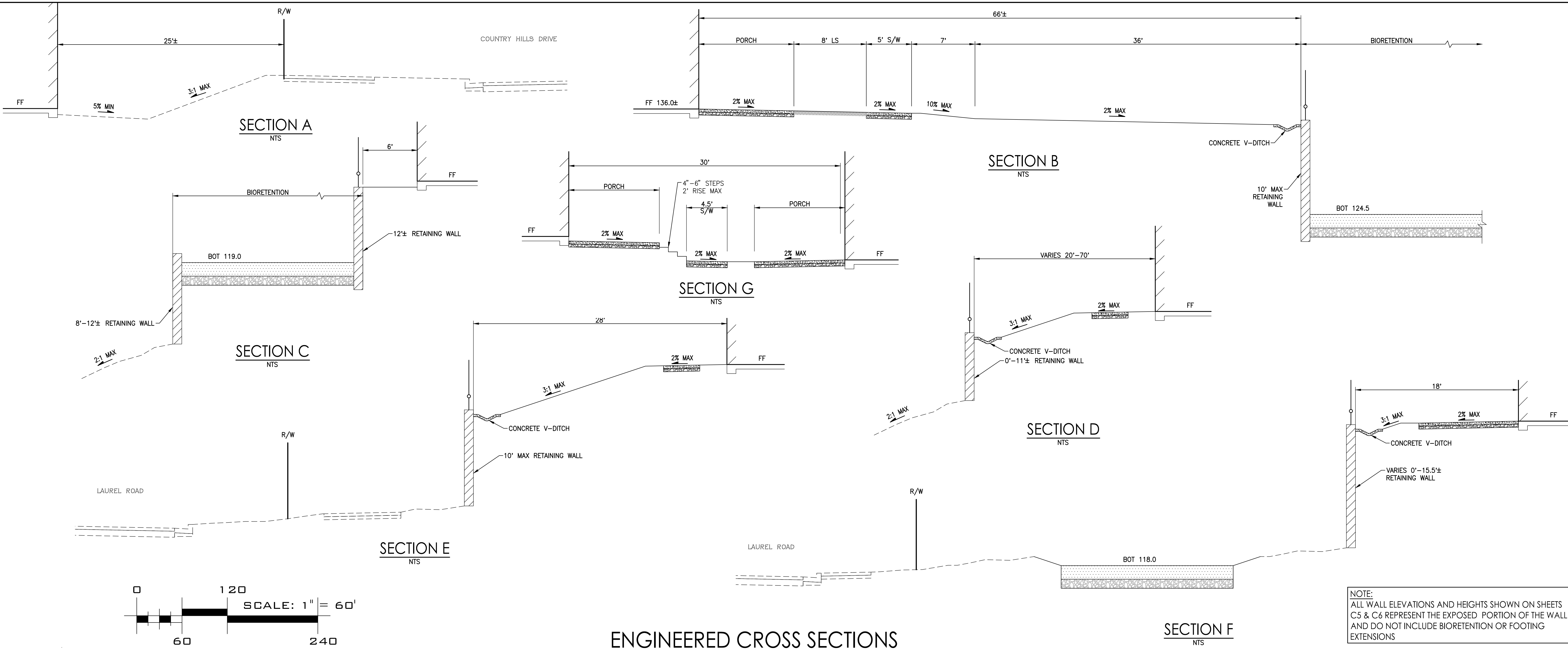


SECTION 2
SCALE: 1"=60'



SECTION 3
SCALE: 1"=60'

TRUE CROSS SECTIONS



NOTE:
ALL WALL ELEVATIONS AND HEIGHTS SHOWN ON SHEETS
C5 & C6 REPRESENT THE EXPOSED PORTION OF THE WALL
AND DO NOT INCLUDE BIORETENTION OR FOOTING
EXTENSIONS

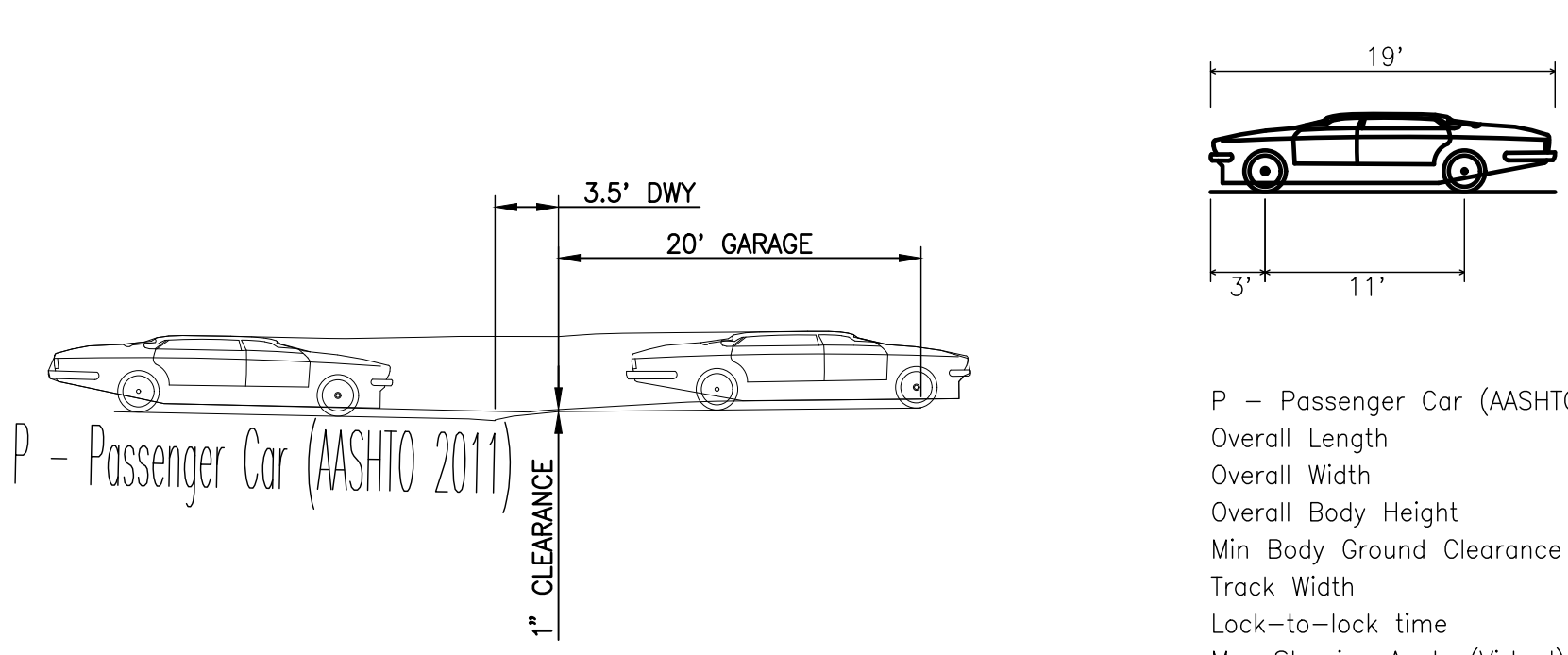
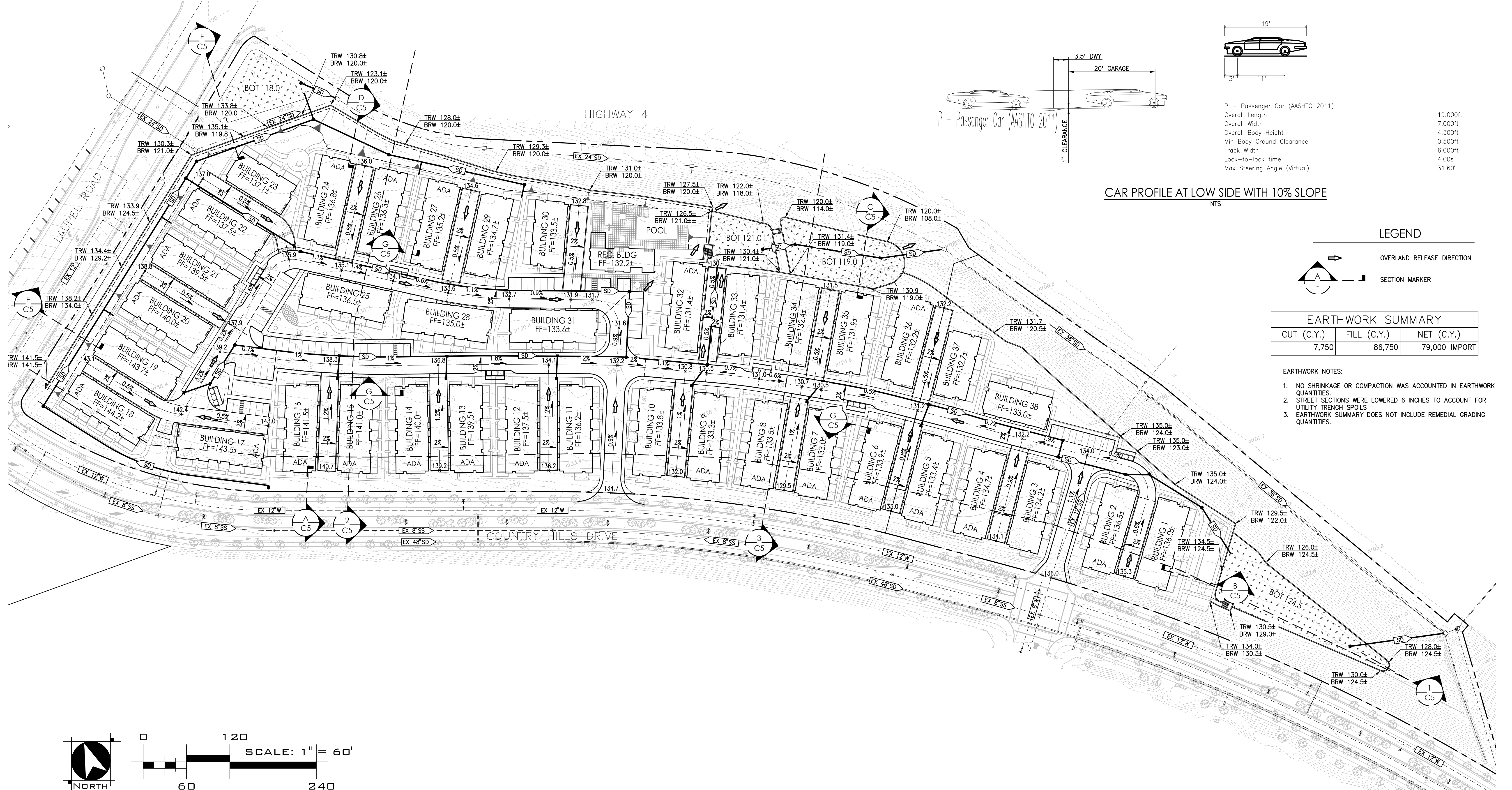
ENGINEERED CROSS SECTIONS

SECTION F
NTS

LAUREL RD & COUNTRY HILLS DR DEVELOPMENT
ANTIOCH, CALIFORNIA
JANUARY 2023 (REVISED MARCH 24, 2023)

ENGINEERED & TRUE CROSS SECTIONS
C5

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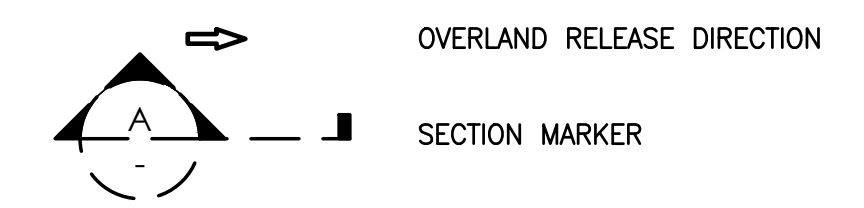


P - Passenger Car (AASHTO 2011)

Overall Length	19.000ft
Overall Width	7.000ft
Overall Body Height	4.300ft
Min Body Ground Clearance	0.500ft
Track Width	6.000ft
Lock-to-lock time	4.00s
Max Steering Angle (Virtual)	31.60°

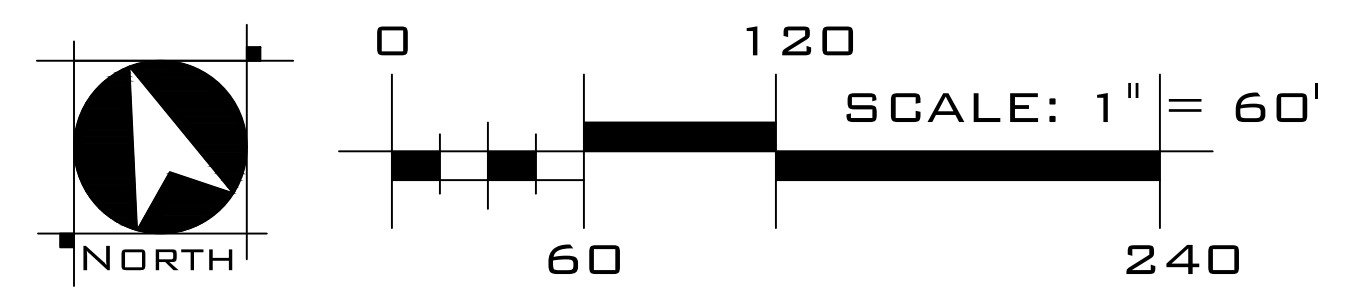
CAR PROFILE AT LOW SIDE WITH 10% SLOPE
NTS

LEGEND



EARTHWORK SUMMARY		
CUT (C.Y.)	FILL (C.Y.)	NET (C.Y.)
7,750	86,750	79,000 IMPORT

- EARTHWORK NOTES:
- NO SHRINKAGE OR COMPACTION WAS ACCOUNTED IN EARTHWORK QUANTITIES.
 - STREET SECTIONS WERE LOWERED 6 INCHES TO ACCOUNT FOR UTILITY TRENCH SPOILS.
 - EARTHWORK SUMMARY DOES NOT INCLUDE REMEDIAL GRADING QUANTITIES.



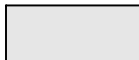
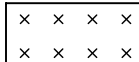



LAUREL RD & COUNTRY HILLS DR DEVELOPMENT
ANTIOCH, CALIFORNIA
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PRELIMINARY GRADING & DRAINAGE PLAN
C6

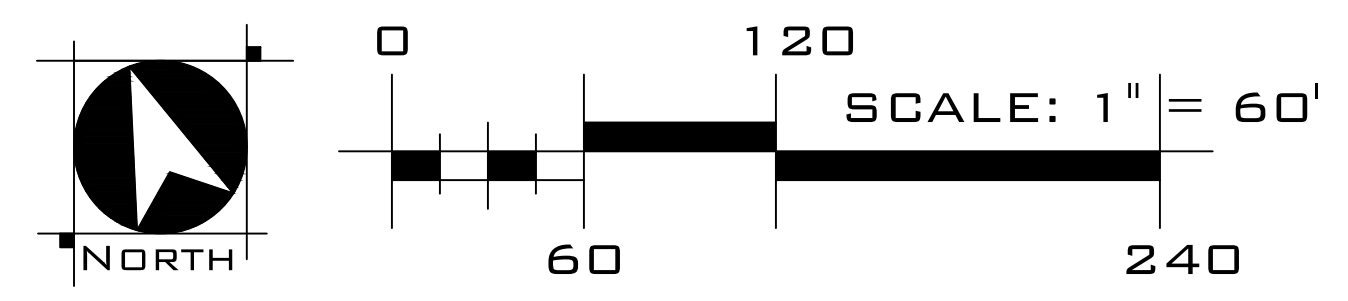
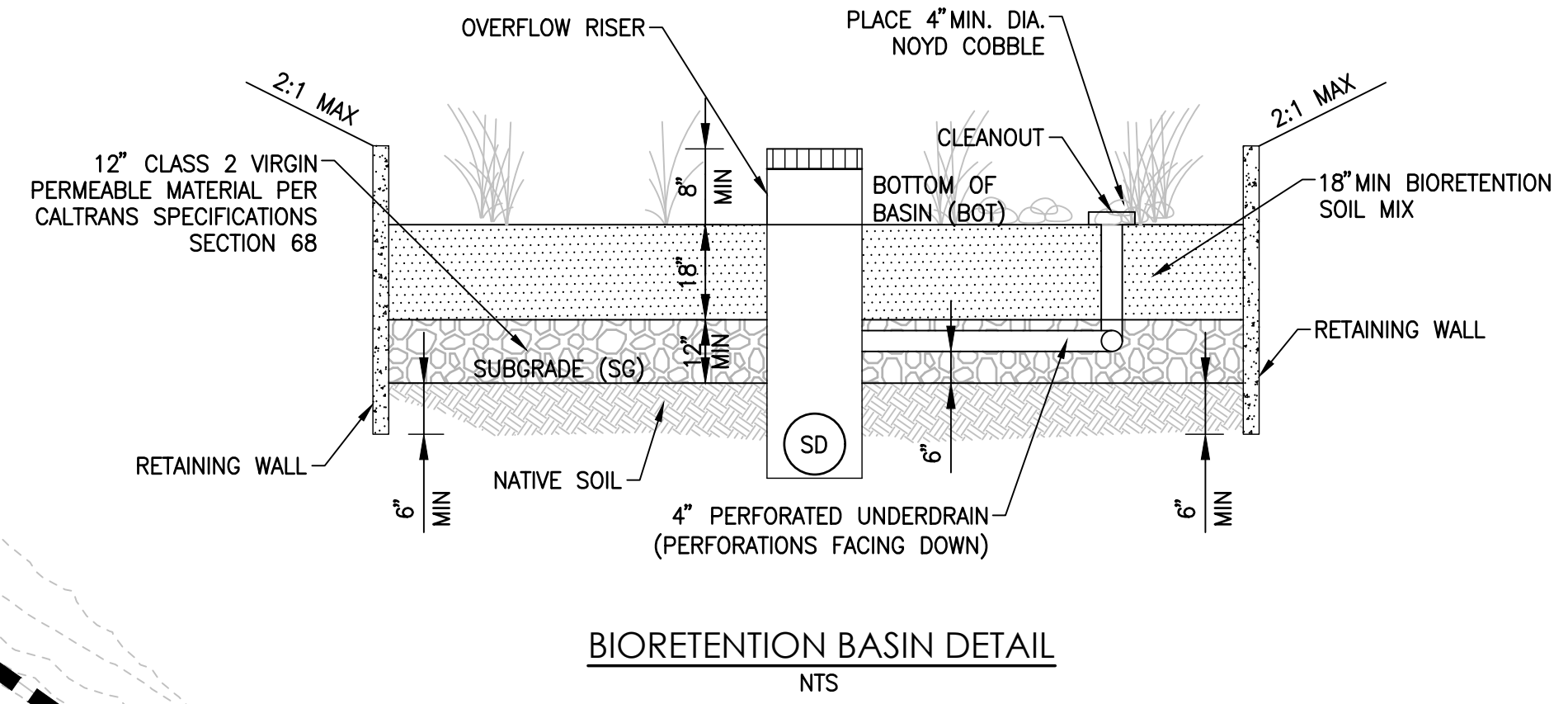
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DRAINAGE MANAGEMENT AREA (DMA) SUMMARY									
DMA	TOTAL DRAINAGE AREA (SF)	TOTAL IMPERVIOUS AREA (ROOFS AND PAVEMENT) (SF)	TOTAL PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	REQUIRED TREATMENT AREA (4%) (SF)	PROVIDED TREATMENT AREA (SF)	REQUIRED FLOW-CONTROL VOLUME (CF)	PROVIDED FLOW-CONTROL VOLUME (CF)	TREATMENT MEASURE
1	320,760	234,155	86,605	242,815	9,713	17,130	36,032	37,000	BIORETENTION
2	95,540	69,745	25,800	72,324	2,893	6,685	10,732	10,963	BIORETENTION
3	275,785	127,593	47,192	132,312	5,292	13,445	19,634	21,512	BIORETENTION
4	175,440	0	175,440	-	-	-	-	-	SELF-TREATING

- LEGEND**
-  ASPHALT PAVING
 -  BIORETENTION
 -  DMA BOUNDARY
 -  DRAIN INLET
 -  STORM DRAIN MANHOLE

NOTES:
 1. ALL TREATMENT MEASURES AND TECHNICAL REQUIREMENTS FOR THIS PROJECT ARE BASED ON THE CONTRA COSTA CLEAN WATER PROGRAM C.3 GUIDEBOOK, 7TH EDITION
 2. REQUIRED TREATMENT AREA WAS CALCULATED USING THE CONTRA COSTA CLEAN WATER PROGRAM IMP SIZING TOOL SOFTWARE.



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 ANTIOCH, CALIFORNIA
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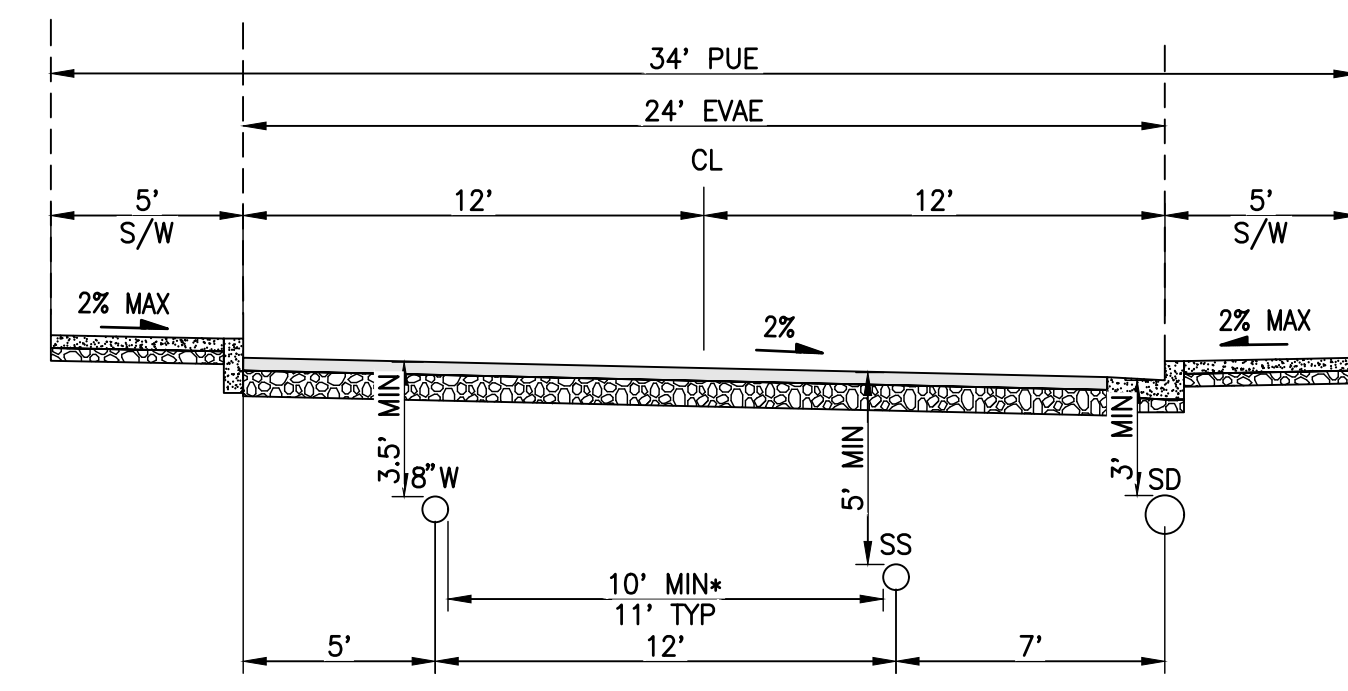
STORMWATER CONTROL PLAN
 C7

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LEGEND

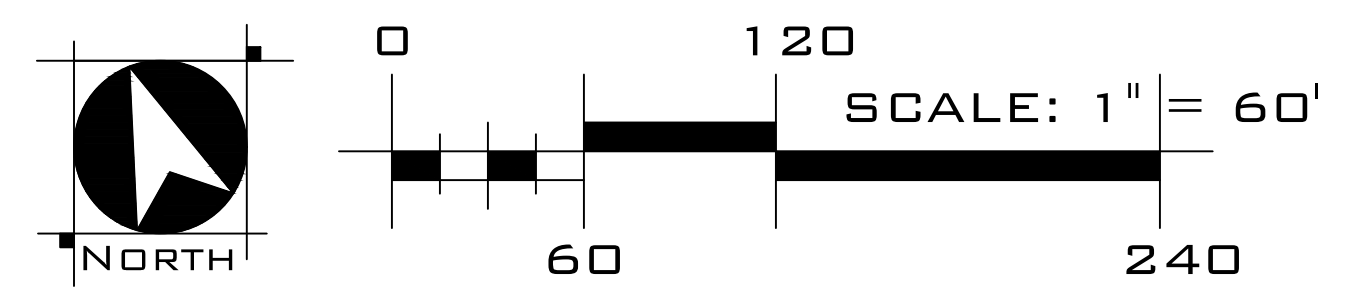
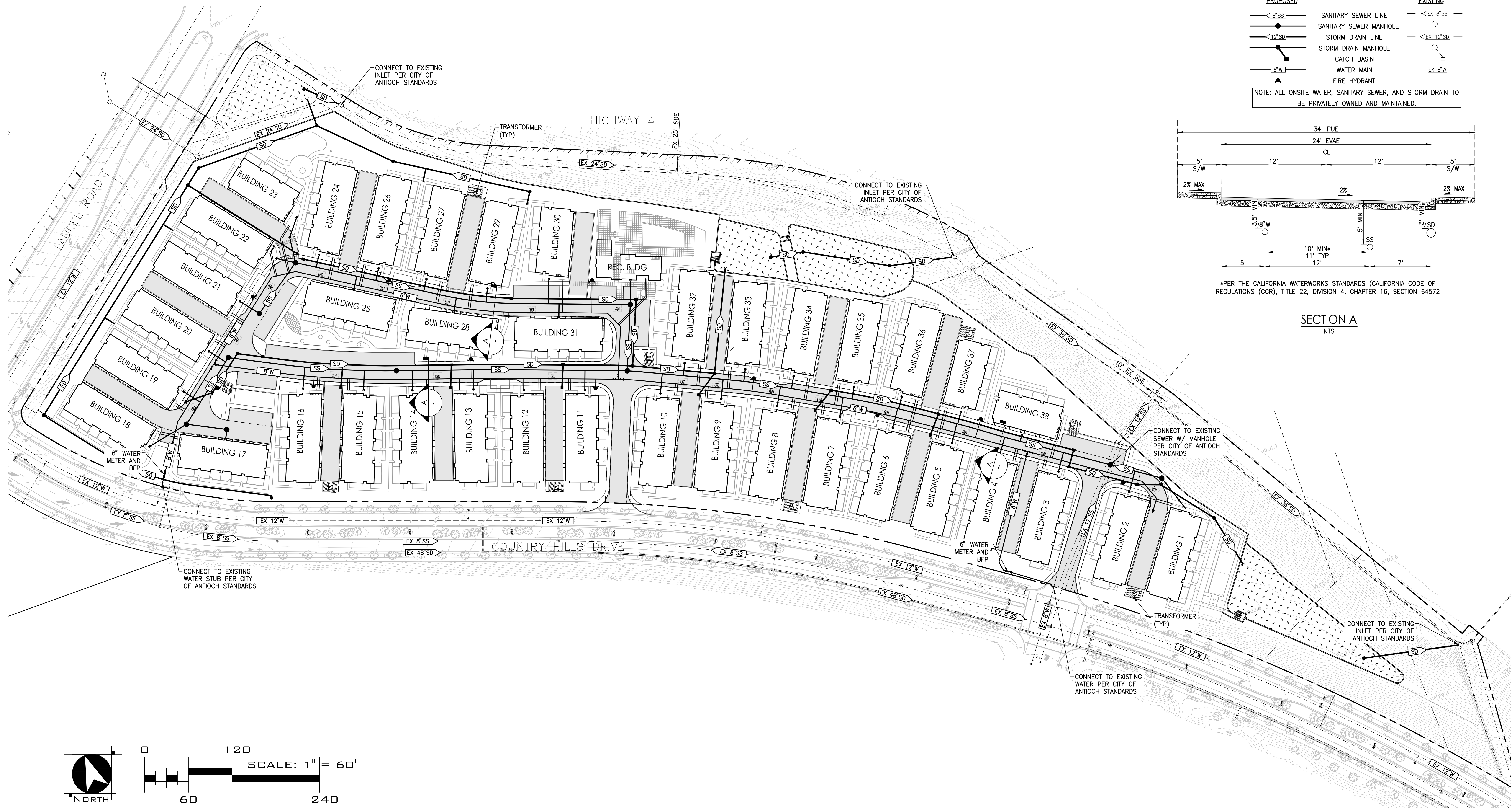
PROPOSED	EXISTING

NOTE: ALL ONSITE WATER, SANITARY SEWER, AND STORM DRAIN TO BE PRIVATELY OWNED AND MAINTAINED.



*PER THE CALIFORNIA WATERWORKS STANDARDS (CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 22, DIVISION 4, CHAPTER 16, SECTION 64572

SECTION A
NTS

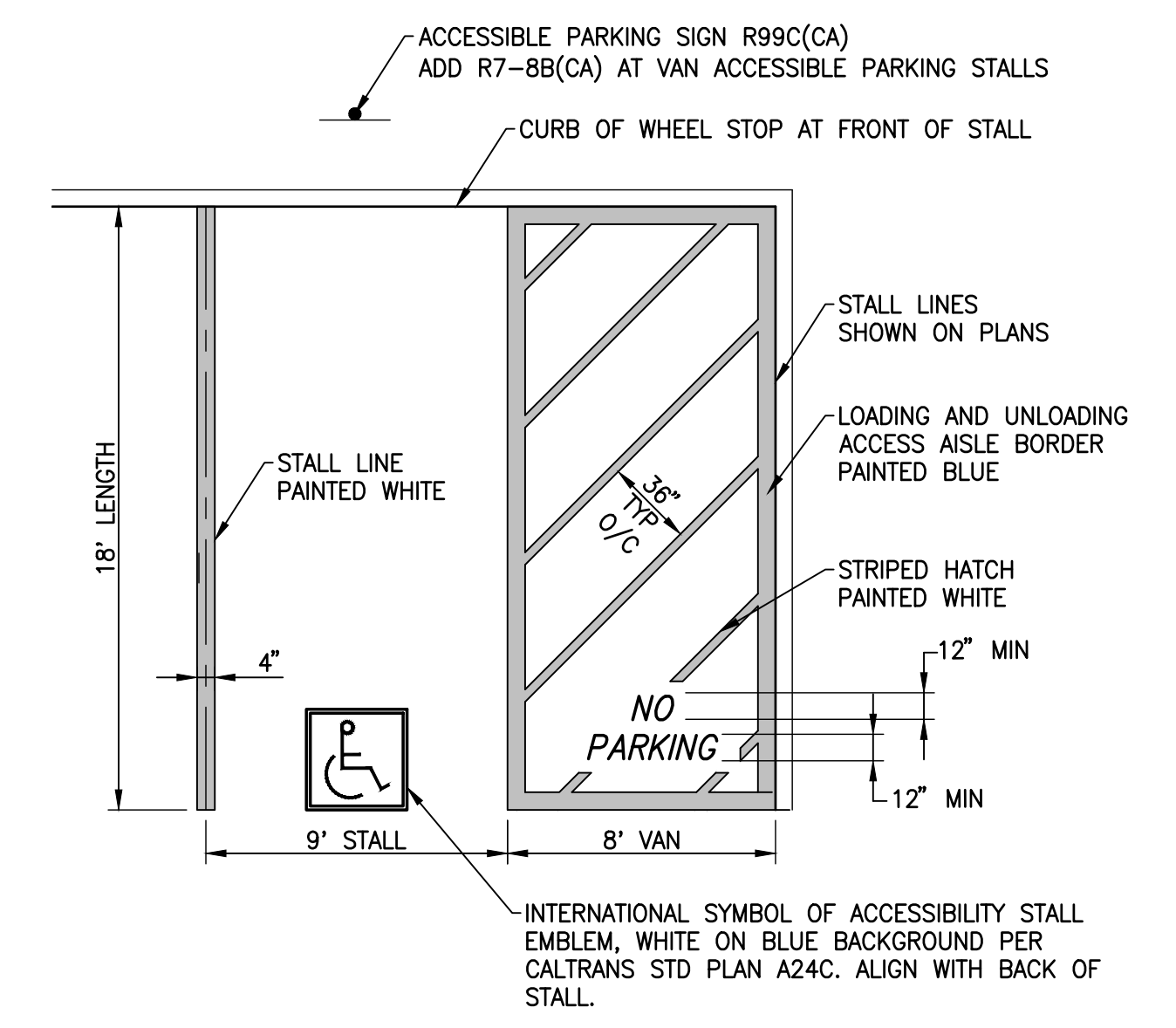
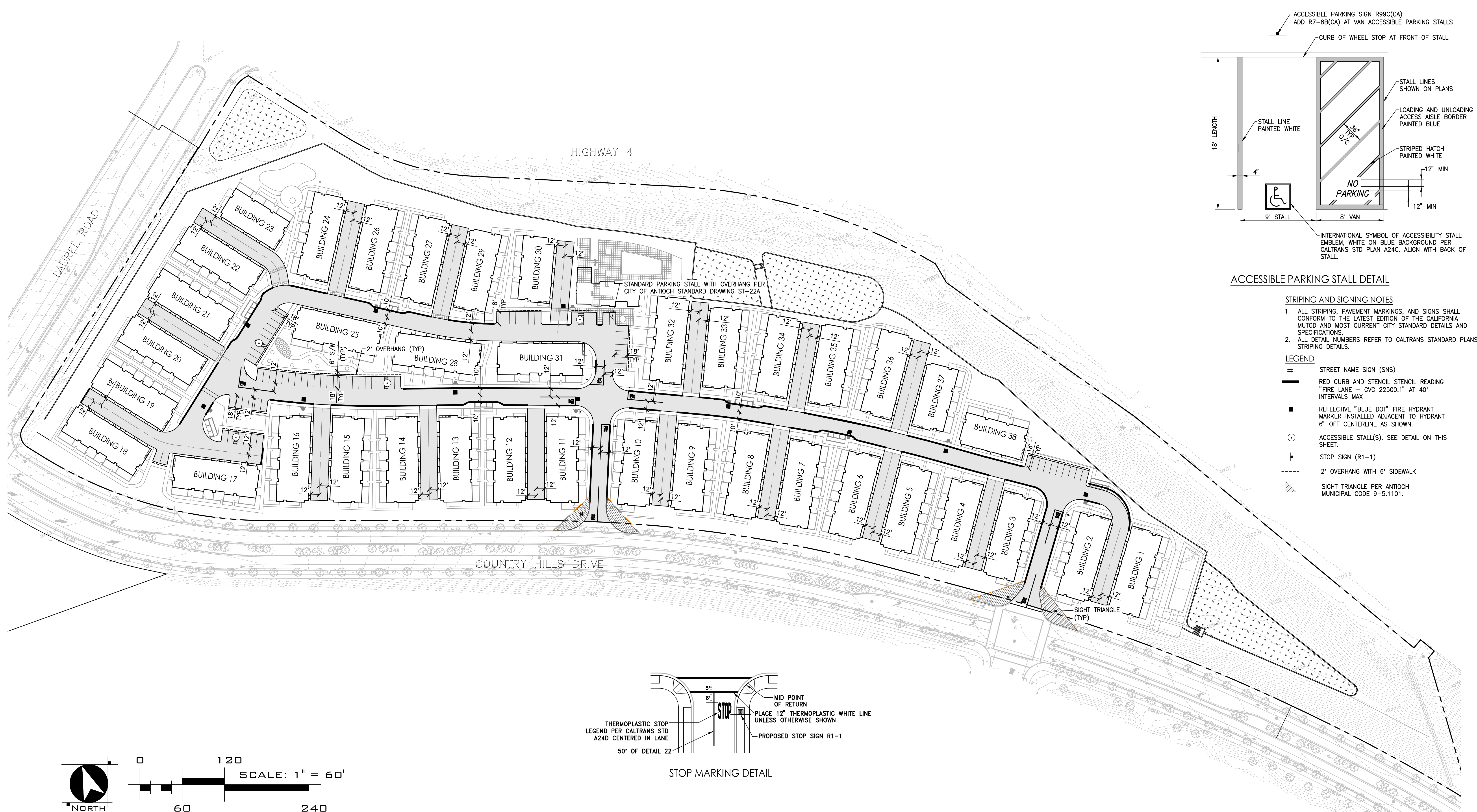


LAUREL RD & COUNTRY HILLS DR DEVELOPMENT
ANTIOCH, CALIFORNIA
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PRELIMINARY UTILITY PLAN
C8

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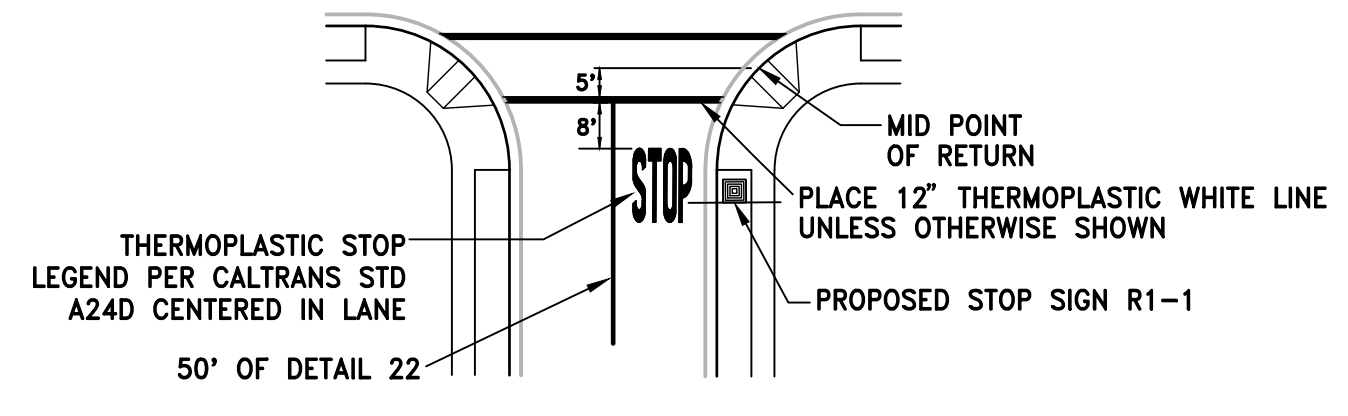
ACCESSIBLE PARKING STALL DETAIL

STRIPING AND SIGNING NOTES

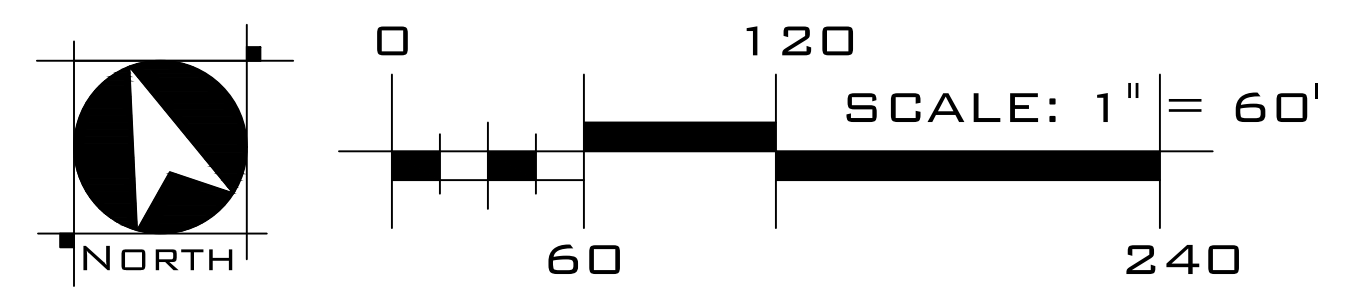
1. ALL STRIPING, PAVEMENT MARKINGS, AND SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA MUTCD AND MOST CURRENT CITY STANDARD DETAILS AND SPECIFICATIONS.
2. ALL DETAIL NUMBERS REFER TO CALTRANS STANDARD PLANS STRIPING DETAILS.

LEGEND

- # STREET NAME SIGN (SNS)
- RED CURB AND STENCIL STENCIL READING "FIRE LANE - CVC 22500.1" AT 40' INTERVALS MAX
- REFLECTIVE "BLUE DOT" FIRE HYDRANT MARKER INSTALLED ADJACENT TO HYDRANT 6" OFF CENTERLINE AS SHOWN.
- ACCESSIBLE STALL(S). SEE DETAIL ON THIS SHEET.
- ⊥ STOP SIGN (R1-1)
- - - 2' OVERHANG WITH 6" SIDEWALK
- ▲ SIGHT TRIANGLE PER ANTIOCH MUNICIPAL CODE 9-5.1101.



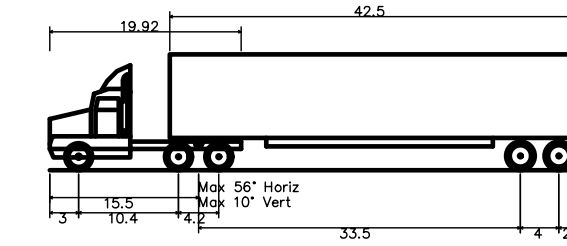
STOP MARKING DETAIL



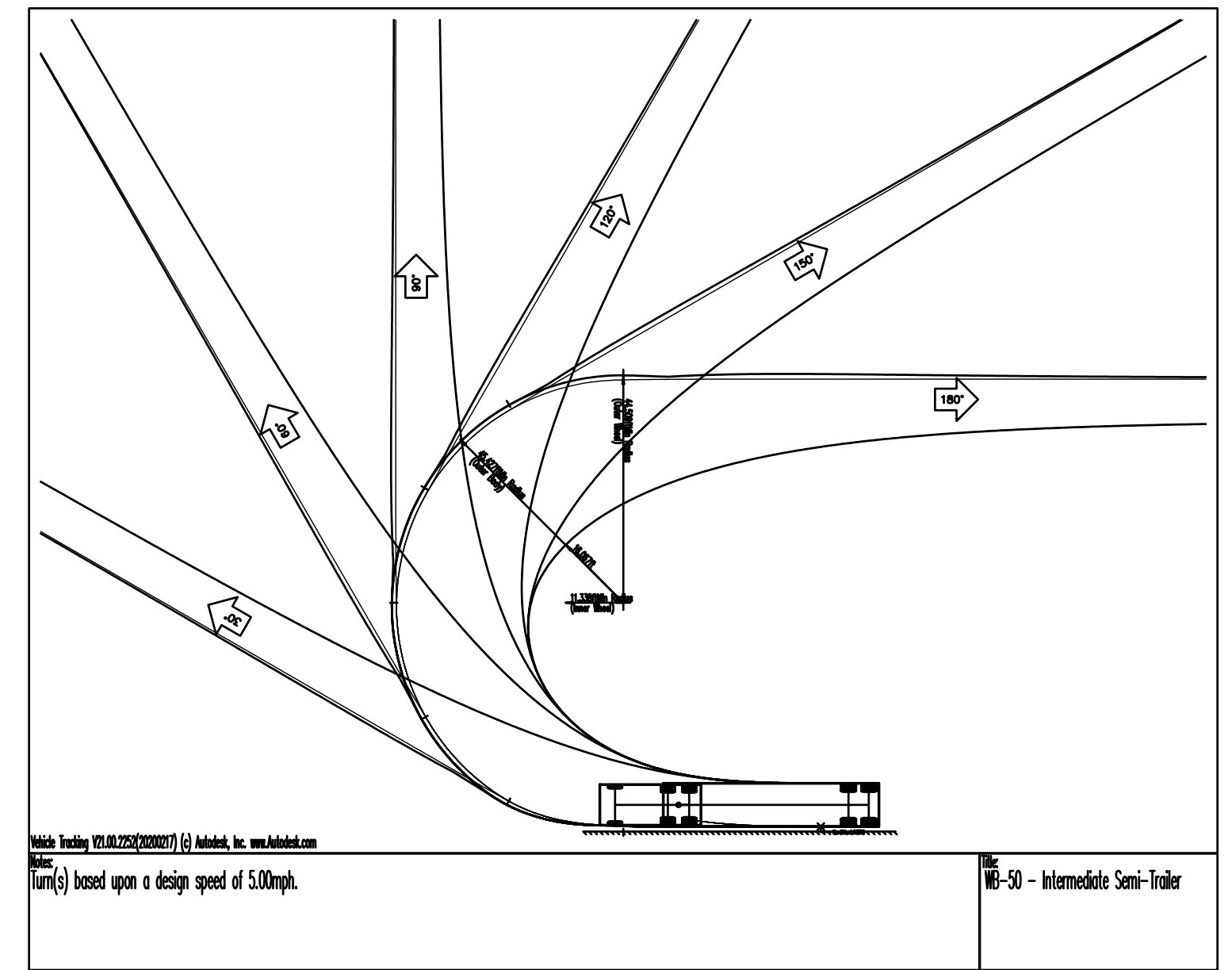
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ANTIOCH, CALIFORNIA
JANUARY 2023 (REVISED MARCH 24, 2023)

TRAFFIC SIGNING & STRIPING PLAN
C9

WOOD RODGERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
4670 WILLOW ROAD, SUITE 125 Tel 925.847.1556
Pleasanton, CA. 94588 Fax 925.847.1557

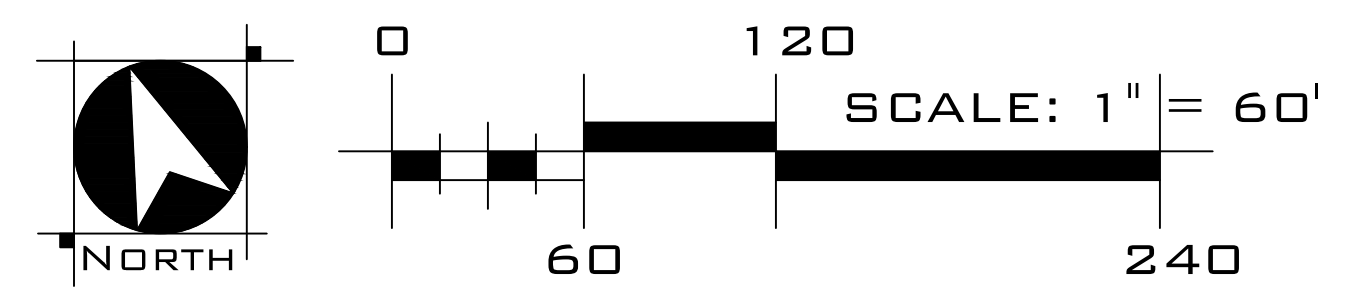


WB-50 - Intermediate Semi-Trailer
 Overall Length 55.00ft
 Overall Width 8.50ft
 Overall Body Height 12.05ft
 Min Body Ground Clearance 6.34ft
 Max Tractor Width 8.50ft
 Lock-to-lock time 6.00s
 Max Steering Angle (Virtual) 17.90



LEGEND

FIRE HYDRANT



LAUREL RD & COUNTRY HILLS DR DEVELOPMENT
 ANTIOCH, CALIFORNIA
 JANUARY 2023 (REVISED MARCH 24, 2023)

TRUCK TURNS
 C10

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