

**PLANNING COMMISSION
RESOLUTION NO. 2022-02**

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ANTIOCH
RECOMMENDING THE CITY COUNCIL CERTIFY THE
ADDENDUM TO THE ENVIRONMENTAL IMPACT REPORT FOR THE GENERAL
PLAN AMENDMENT, ZONING MAP AMENDMENT, ZONING TEXT AMENDMENT
AND OBJECTIVE DESIGN STANDARDS FOR COMMERCIAL INFILL HOUSING
POLICIES**

WHEREAS, the City of Antioch (“City”) applied for and received a \$310,000 grant from a program authorized by Senate Bill (SB) 2, the Building Homes and Jobs Act;

WHEREAS, this funding source provides local governments with reimbursement grants and technical assistance to prepare plans and process improvements that achieve streamlined housing approvals, facilitate housing affordability (particularly for lower- and moderate-income households), and accelerate housing production;

WHEREAS, City staff used this funding to create General Plan and zoning policies to support high-density residential development on underutilized commercial sites;

WHEREAS, a Request for Proposals was issued and PlaceWorks was selected to complete the project and the process commenced in January 2021;

WHEREAS, the scope includes amending the Antioch General Plan and the Zoning Code to create a new Commercial Infill Housing (CIH) Overlay District and CIH Objective Design Standards to provide key, objective requirements for the development of multifamily residential and mixed-use development within the City’s CIH Overlay District;

WHEREAS, the proposed CIH Overlay District is intended to allow for the streamlined development of medium- and high-density residential and mixed-use projects on infill sites that have been identified through an infill housing study process and are typically vacant and/or underutilized commercial areas of the city;

WHEREAS, ten (10) sites have been identified and are proposed to have the CIH Overlay District designation on the Zoning Map;

WHEREAS, draft Zoning Code amendments were prepared for the CIH Overlay District were drafted and detail specific development standards for the District;

WHEREAS, the proposed CIH Objective Design Standards are written to have no subjective judgment by a public official and compliance is verified through a checklist;

WHEREAS, the City, as lead agency under the California Environmental Quality Act (“CEQA”), has completed the Addendum to the General Plan Environmental Impact Report (“Final EIR” or “EIR”) for the Project;

WHEREAS, the purpose of this Addendum is to analyze the impacts of the proposed project, herein referred to as the “Modified Project”, as required pursuant to the provisions of CEQA and the State CEQA Guidelines;

WHEREAS, the Modified Project does not increase amount of development potential or extend beyond the boundaries analyzed in the Certified EIR;

WHEREAS, the Modified Project is a programmatic, policy-level change that does not propose specific development projects;

WHEREAS, when specific development projects occur on these sites, they would be subject to applicable environmental review pursuant with CEQA;

WHEREAS, this document contains the City’s certification of the EIR and its CEQA findings. The Final EIR has State Clearinghouse No. 2003072140;

WHEREAS, the Planning Commission held a public hearing and considered all public comments received, the presentation by City staff, the staff report, and all other pertinent documents regarding the proposed request; and

WHEREAS, a public hearing notice was published in the East County Times and posted in three public places pursuant to California Government Code Section 65090 on February 25, 2022 for the public hearing held on March 16, 2022.

NOW, THEREFORE, BE IT RESOLVED AND DETERMINED that the Planning Commission recommends that the City Council of the City of Antioch finds as follows:

1. The foregoing recitals are true and correct.
2. Substantial changes are not proposed to the Modified Project that would require major revisions to the 2003 Environmental Impact Report (EIR) due to the involvement of new significant environmental effects or a substantial increase in the severity of a previously identified effect.
3. Substantial changes have not occurred with respect to the circumstances under which the project is undertaken requiring major revisions to the 2003 Environmental Impact Report (EIR) due to the involvement of new significant environmental effects or a substantial increase in the severity of a previously identified effect.
4. There is no new information of substantial importance which was not known and could not have been known at the time the 2003 Environmental Impact Report (EIR) was certified showing any of the following:

- a. The project will have a new significant effect not previously discussed in the 2003 Environmental Impact Report (EIR).
- b. The project will not cause any significant effect examined in the 2003 Environmental Impact Report (EIR) to be substantially more severe.
- c. The mitigation measures in the 2003 Environmental Impact Report (EIR) and adopted in the CEQA Findings remain feasible.
- d. There are no mitigation measures or alternatives which are considerably different from those analyzed in the 2003 Environmental Impact Report (EIR) that would substantially reduce one or more significant effects on the environment.

BE IT FURTHER RESOLVED that the Addendum to the 2003 Environmental Impact Report (EIR) is hereby **RECOMMENDED FOR ADOPTION** pursuant to the California Environmental Quality Act.


I HEREBY CERTIFY that the foregoing resolution was adopted by the Planning Commission of the City of Antioch at a regular meeting thereof held on the 16th day of March, 2022, by the following vote:

AYES: Gutilla, Hills, Lutz, Martin, Motts, Riley, Schneiderman

NOES:

ABSTAIN:

ABSENT:


Forrest Ebbs (Jul 18, 2022 14:15 PDT)

Forrest Ebbs
Secretary to the Planning Commission

March 2022 | Addendum to Environmental Impact Report
State Clearinghouse Number 2003072140

Antioch General Plan Update EIR Addendum No. 2

City of Antioch

Prepared for:

City of Antioch

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1. Introduction

1.1 BACKGROUND, PURPOSE, AND SCOPE

The California Environmental Quality Act (CEQA), Public Resources Code Sections 21000 et seq. and the State CEQA Guidelines (California Code of Regulations Sections 15000 et. seq.), recognizes that between the date an environmental document is completed and the date the project is fully implemented, one or more of the following changes may occur: 1) the project may change; 2) the environmental setting in which the project is located may change; 3) laws, regulations, or policies may change in ways that impact the environment; and/or 4) previously unknown information can arise. Before proceeding with a project, CEQA requires the lead agency to evaluate these changes to determine whether or not they affect the conclusions in the environmental document.

This document is an Addendum to the Environmental Impact Report (EIR) for the General Plan Update (Antioch General Plan), State Clearinghouse (SCH) No. 2003072140, certified on November 24, 2003 (2003 EIR). An Addendum to the Certified EIR was completed in October 2017 (Addendum No. 1), for a General Plan Amendment which updated the General Plan Land Use Element including the overall General Plan buildout numbers. Together the 2003 EIR and Addendum No. 1 are considered the “Certified EIR” and the Antioch General Plan and the General Plan Land Use Element Update are considered the “Approved Project.” This document is the second Addendum to the Certified EIR.

The purpose of this Addendum is to analyze the impacts of the proposed project, herein referred to as the Modified Project, as required pursuant to the provisions of CEQA and the State CEQA Guidelines. The Modified Project does not increase amount of development potential or extend beyond the boundaries analyzed in the Certified EIR. Pursuant to the provisions of CEQA and the State CEQA Guidelines, the City of Antioch is the lead agency charged with the responsibility of deciding whether or not to approve the proposed action.

1.2 ENVIRONMENTAL PROCEDURES

Pursuant to Section 21166 of CEQA and Section 15162 of the State CEQA Guidelines, when an Environmental Impact Report (EIR) has been certified or a negative declaration adopted for a project, no subsequent EIR or negative declaration shall be prepared for the project unless the lead agency determines that one or more of the following conditions are met:

- Substantial project changes are proposed that will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;

1. Introduction

- Substantial changes would occur with respect to the circumstances under which the project is undertaken that require major revisions to the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or
- New information of substantial importance that was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified, or the negative declaration was adopted shows any of the following:
 - a) The project will have one or more significant effects not discussed in the previous EIR or negative declaration.
 - b) Significant effects previously examined will be substantially more severe than identified in the previous EIR.
 - c) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponent declines to adopt the mitigation measures or alternatives.
 - d) Mitigation measures or alternatives that are considerably different from those analyzed in the previous EIR would substantially reduce one or more significant effects on the environment, but the project proponent declines to adopt the mitigation measures or alternatives.

Where none of the conditions specified in Section 15162¹ are present, the lead agency must determine whether to prepare an Addendum or whether no further CEQA documentation is required (CEQA Guidelines Section 15162[b]). An Addendum is appropriate where some minor technical changes or additions to the previously certified EIR are necessary, but there are no new or substantially more severe significant impacts (CEQA Guidelines Section 15164).

In accordance with the CEQA Guidelines, the City has determined that an Addendum to the Certified EIR is the appropriate environmental clearance for the Modified Project. This Addendum reviews the changes proposed by the Modified Project and examines whether, as a result of any changes or new information, a subsequent EIR may be required. This examination includes an analysis of the provisions of Section 21166 of CEQA and Section 15162 of the State CEQA Guidelines and their applicability to the Modified Project. This Addendum relies on the attached environmental analysis, which addresses environmental checklist issues section by section. The checklist includes findings as to the physical environmental impact of the Modified Project in comparison with the findings of the Certified EIR.

¹ See also Section 15163 of the State CEQA Guidelines, which applies the requirements of Section 15162 to supplemental EIRs.

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2.1 LOCATION AND SETTING

The City of Antioch is located in Contra Costa County in the San Francisco Bay Area. It encompasses approximately 50 square miles including its city boundaries and larger sphere of influence. State Highway 4, which runs east to west, bisects the city, and connects it to Interstate 680 and western Contra Costa County. The city is bordered by the San Joaquin River to the north, the cities of Oakley and Brentwood to the east, unincorporated Contra Costa County to the south, and the city of Pittsburg to the west.

2.2 STUDY AREA

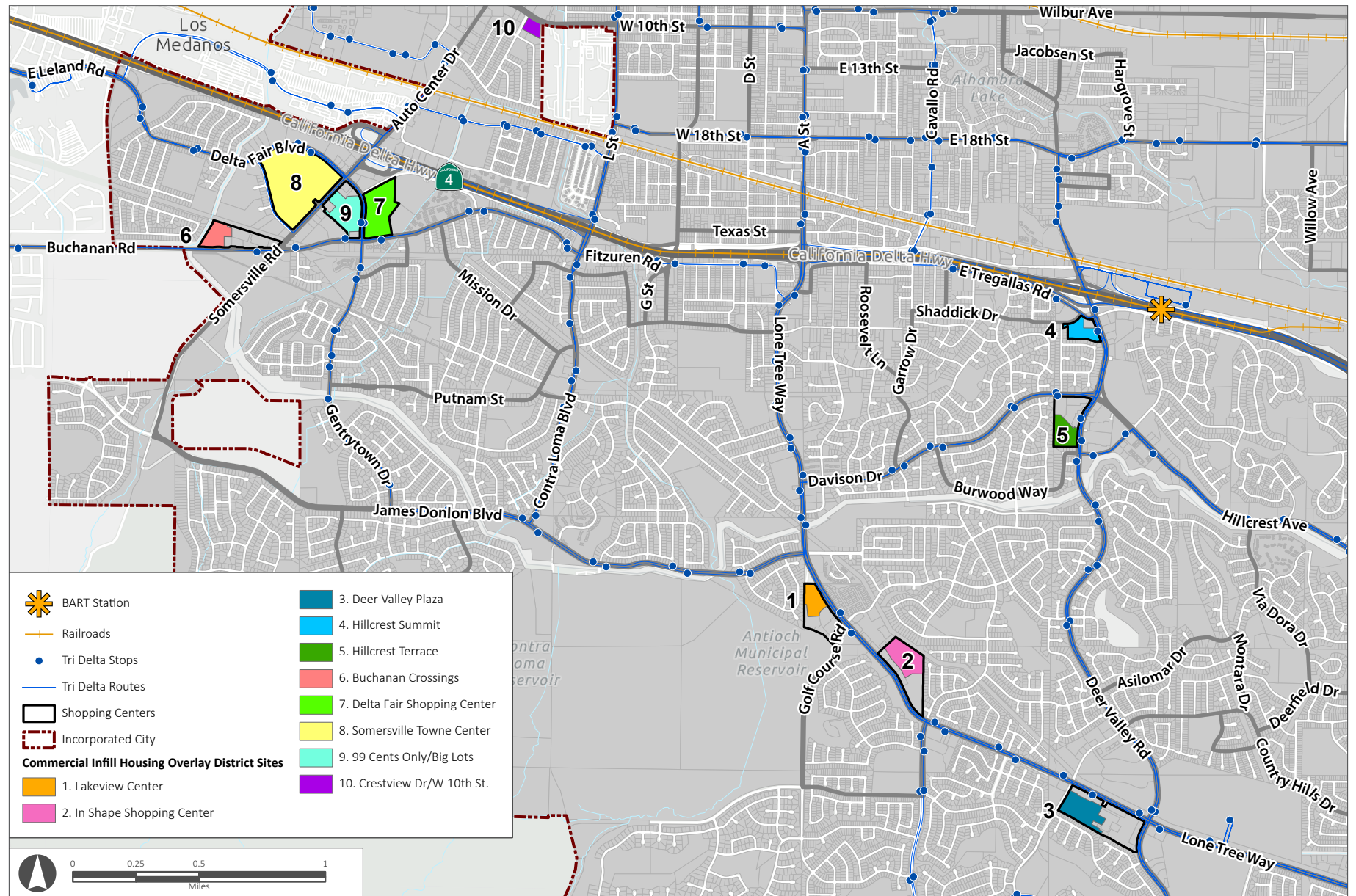
The study area is the same area covered by the General Plan, which encompasses the entirety of the city and the City's sphere of influence, as well as unincorporated Contra Costa County lands to the south of Antioch that bear a relationship to the City's long-term planning. While State law permits the inclusion of such lands in a community's general plan, Antioch asserts land use control only over lands actually within the City's jurisdiction.

2.3 PROPOSED CHANGES

The proposed Modified Project consists of the following revisions to the Approved Project, which are described in more detail below. In summary, the proposed Modified Project consists of amending the Antioch General Plan and the Zoning Code to create a new Commercial Infill Housing (CIH) Overlay District and CIH Objective Design Standards to provide key, objective requirements for the development of multifamily residential and mixed-use development within the City's CIH Overlay District. The proposed CIH Overlay District is intended to allow for the streamlined development of medium- and high-density residential and mixed-use projects on infill sites that have been identified through an infill housing study process and are typically vacant and/or underutilized commercial areas of the city. The ten sites that have been identified throughout the city are shown on Figure 1, *Commercial Infill Housing Overlay District Sites*. Unlike design guidelines, the proposed CIH Objective Design Standards are written to have "no personal or subjective judgment by a public official and is uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant and the public official prior to submittal."

The Modified Project is a programmatic, policy-level change that does not propose specific development projects. When specific development projects occur on these sites, they would be subject to applicable environmental review pursuant with CEQA, if applicable.

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Source: PlaceWorks, 2021.

Figure 1
Commercial Infill Housing Overlay District Sites

2. Project Description

2.3.1 Amendments to the General Plan

The Modified Project would add or revise the following three sections of the Land Use Element chapter of the Antioch General Plan:

1. A new policy direction would be added as new Section 4.4.8 of the Land Use Element chapter:
4.4.8 Commercial Infill Housing. As part of a strategic infill housing study process, the City has designated specific sites within Antioch to allow for the streamlined development of high-quality medium- and high-density residential and mixed-use projects. These infill sites are typically vacant and/or underutilized commercial areas of the city.
 - a. **Purpose and Primary Issues**

Commercial infill housing allows residential development in commercial land use designations, which can also serve the following issues:

 - a. Revitalize partially built or struggling commercial developments that have commercial vacancies and relocation of commercial activity to other parts of the city.
 - b. Incentivize residential and mixed-use development through streamlining/expediting the planning approval process.
 - c. Contribute to the citywide need for more housing through the building of medium- and high-density housing.
 - d. Allow for existing commercial sites to be developed with high quality residential development to address housing needs and redevelopment of underutilized sites.
 - b. **Policy Direction**

The following policies shall guide development of commercial infill housing projects:

 - a. Allow property owners to develop housing on the infill site if the site is a minimum of 20,000 square feet, the site is vacant and/or underutilized, and has an existing commercial land use designation.
 - b. Appropriate land uses include medium density housing, high density housing, vertical mixed use, and horizontal mixed use.
 - c. The underlying/base zoning for overlay sites will remain and may be redeveloped with commercial or other uses as currently allowed.
 - d. The minimum residential development intensity shall be 12 dwelling units per acre.
 - e. Residential densities of 12 to 35 dwelling units per gross developable acre are allowed. Densities of up to 50 dwelling units per gross developable acre are allowed with a use permit.
 - f. Building heights of two to four stories (up to 45 feet) are allowed. Building heights above four stories or 45 feet shall require a use permit.
 - g. Commercial infill housing projects shall satisfy the Objective Design Standards in the Commercial Infill Housing Objective Design Standards document.
 - h. Encourage demolition or repurposing of underutilized commercial development on the site to accommodate for new high quality residential or mixed-use development.
 - i. Create a pedestrian-oriented environment within and immediately outside of the development.

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- j. Provide convenient access to circulation networks of various modes of travel, including vehicle, pedestrian, bike, and transit outside of the site.
 - k. Provide internal circulation for bikes, vehicles, and pedestrians that connect these circulation networks outside of the development on adjacent streets and sidewalks.
 - l. Where possible, site entries near transit stops and facilitate vehicular access along major arterials.”
2. Add additional text, shown as underlined text, to Section 4.4.1.2 of the Land Use Element chapter:
4.4.1.2 Commercial Land Use Designations. The General Plan land use map identifies two commercial land use designations, which, along with commercial development within Focus Areas, will provide a broad range of retail and commercial services for existing and future residents and businesses. Permitted maximum land use intensities are described for each designation. Maximum development intensities are stated as the maximum floor area ratio (FAR) within the project site. “Floor area ratio” is determined by dividing the total proposed building area of a development project by the square footage of the development site prior to any new dedication requirements. In addition to these commercial land use designations, residential and mixed-use development of a minimum of 12 dwelling units per gross developable acre may be allowed on commercial infill sites. See the Commercial Infill Housing description within the Land Use Element for more details.”
3. The following changes would be made to Table 4.A, *Appropriate Land Use Types*, of the Land Use Element chapter:
- a. Add row: “Commercial Infill Housing. As defined and regulated by the Antioch Municipal Code.”
 - b. Checkmark columns: “Medium Density Residential,” “High Density Residential,” “Mixed Use,” and “Mixed Use/Medical Facility” with reference to note #9.
 - c. Add note #9 under Table 4.A: “Commercial infill housing is allowed only within the Commercial Infill Housing Overlay District.”

2.3.2 Required Amendments to the Municipal Code

2.3.2.1 ZONING AMENDMENTS

The Modified Project would add the following text to the Title 9, *Planning and Zoning*, Chapter 5, *Zoning*, of the Municipal Code:

- The following definition would be added to Section 9-5.203, *Definitions*: “Commercial Infill Housing. Strategic, streamlined development of high-quality medium- and high-density residential and mixed-use projects sited on vacant and/or underutilized infill sites in commercial areas of the city.”
- The following text would be added to Section 9-5.301, *Districts Established and Defined*: “(EE) CIH Commercial Infill Housing Overlay District. This overlay district provides sites suitable for the development of high-quality medium- and high-density residential and mixed-use projects on infill sites in commercial areas of the city when compatible with the Commercial Infill Housing description in the Land Use Element of the Antioch General Plan. This overlay district allows residential development at a

2. Project Description

minimum of 12 dwelling units per gross acre. This overlay district is consistent with the Commercial Infill Housing General Plan description.”

- The following text would be added to the end of Section 9-5.3801, *Summary of Zoning Districts*: “CIH Commercial Infill Housing Overlay District.”
- Table 9-5.3803, *Table of Land Use Regulations*, would be amended as follows:
 - Add “CIH¹⁴”
 - For “Day-care: large family (§ 9-5.3818)” row, add A under CIH column.
 - For “Day-care: small family (§ 9-5.3817)” row, add P under CIH column.
 - For “Home occupations” row, add P under CIH column.
 - For “Multiple-family: condominium, apartment, town-house (§ 9-5.3820)” row, add “P¹⁵, U¹⁶” under CIH column.
 - Add footnote #14: “14. In the Commercial Infill Housing Overlay District, allowable commercial uses and standards remain as determined by the underlying zoning.”
 - Add footnote #15: “15. Up to 35 units/acre and building height of four stories or 45 feet permitted by right subject to compliance with all other applicable standards.”
 - Add footnote #16: “16. 35 to 50 units/acre and building height above 45 feet permitted with approval of a use permit.”
- The following row would be added to Table 9-5.601, *Height, Area & Setback Regulations for Primary Structure*, of Article 6, *Height and Area Regulations* and Table: “CIH: In Compliance with the Commercial Infill Housing Overlay District Objective Design Standards Document.”
- The following section would be added at the end of Article 38, *Land Use Regulations*, within Chapter 5, *Zoning*, of Title 9, *Planning and Zoning*:

“The Commercial Infill Housing (CIH) Overlay District will comply with the following standards and regulations. Any standards not included in this section will comply with the site’s underlying zoning standards.

(A) Site Qualification. Sites shown within the CIH Overlay District on the Antioch Zoning Map are qualified by-right for development of infill housing and can submit an application to the Planning Department for ministerial review. For sites outside of the CIH Overlay District, a rezone of the site to be included in the CIH Overlay District is required with approval from City Council prior to submitting an application to the Planning Department.

(B) Residential Density. Residential development under 12 dwelling units per acre shall not be permitted within the CIH Overlay District. Residential development of 12 to 35 dwelling units per acre are allowed by-right. Development over 35 dwelling units per acre require the approval of a use permit.

(C) Off-street Parking Required. Off-street parking requirements shall follow the requirements in Table 9-5.1703.1, *Off-Street Parking Required*.

(D) Building Height. Development of two to four stories (up to 45 feet in building height) shall be allowed by-right. Development higher than four stories (more than 45 feet in building height) shall require the approval of a use permit.

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(E) Objective Design Standards. Development shall comply with the objective design standards contained in the City’s Commercial Infill Housing Overlay District Objective Design Standards document.

(F) Review Process. Applications for residential or mixed-use development on qualified Commercial Infill Housing Overlay District sites shall be submitted to the Planning Department for ministerial processing and must include an application packet and design plans. Applications will be processed administratively by staff and reviewed for conformance with the Commercial Infill Housing Overlay District Objective Design Standards.”

- The following definition would be added to Section 9-5.203, *Definitions*: “Story” means a portion of a building between the surface of any floor and the surface of the floor next above it, or, if there is no floor above it, the space between such floor and the ceiling next above it. A story also includes a basement, cellar, or unused under-floor space if the finished floor level directly above such space is more than six (6) feet above the ground adjacent to the building for more than fifty percent (50%) of the total perimeter.
- Section 9-5.3601, *Zoning Map*, would include a revision to include the Commercial Infill Housing (CIH) Overlay District to the Zoning Map as shown in Figure 1, *Commercial Infill Housing Overlay District Sites*.

2.3.2.2 COMMERCIAL INFILL HOUSING OVERLAY DISTRICT OBJECTIVE DESIGN STANDARDS

The Modified Project would introduce the CIH Overlay District Objective Design Standards to provide key, objective requirements and application and approval process for the multifamily residential and mixed-use development within the CIH Overlay District. Unlike design guidelines, objective design standards are written to have “no personal or subjective judgment by a public official and is uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant and the public official prior to submittal.” In other words, the goal of these objective design standards is to provide a clear and straight forward application and approval process for multifamily housing construction within the CIH Overlay District.

The full text of the proposed CIH Overlay District Objective Design Standards is included as Appendix A of this Addendum. These would include standards for the following project features:

- Site Design
 - Site Entries
 - Street Frontage
 - Context Sensitivity
 - Access and Parking
 - Service Access, Trash, and Storage Facilities
 - Open Space Areas
- Building Design
 - Building Massing and Articulation
 - Entryways

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- Building Materials and Finishes
- Windows/Glazing
- Projecting Elements
- Roofs
- Landscaping
 - Plantings
 - Walls and Fences
- Lighting
- Signage

2.3.3 Buildout Potential

Table 2.3-1, *Antioch General Plan Buildout Numbers*, shows the total General Plan buildout as was revised by the General Plan Amendment that was analyzed in the Addendum No. 1 (2017) to the Certified EIR. The General Plan Amendment analyzed in the Addendum No. 1 (2017) reduced the total amount of single-family and multi-family residential units, and the total square footage of commercial/office and business park/industrial land uses, proposed in the General Plan. As the Modified Project is relevant to residential, commercial, and mixed-use land uses, Table 2.3-1, *Antioch General Plan Buildout Numbers*, only shows the General Plan buildout numbers for residential, commercial, and mixed-use land uses, as well as focus areas that include these land uses. Buildout numbers for other land uses such as industrial (business park), public institutional, and open space are not included in this table as they are not relevant to the Modified Project.

The Modified Project evaluated in this Addendum would not alter (increase or decrease) the buildout that was analyzed in the Certified EIR and subsequent Addendum No. 1 (2017). Rather, it would allow for reallocation of residential land uses to areas within the city that have been determined to be typically vacant and/or underutilized commercial areas. Furthermore, the Modified Project is a policy document that does not propose specific development and only addresses future development potential on designated sites.

Table 2.3-2, *Standards for Density and Development Intensity*, shows the standards for density and development intensity that would be allowed under the Modified Project. The sites identified in Table 2.3-2 do not correspond to the Focus Areas identified in Table 2.3-1.

As shown between the buildout numbers in Table 2.3-1 and the maximum proposed development capacity in Table 2.3-2, the number of residential units that would be allowed in the CIH Overlay District would be well within the existing buildout numbers.

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TABLE 2.3-1 ANTIOCH GENERAL PLAN BUILDOUT NUMBERS

Land Use / Focus Areas	Single-Family Residential (Dwelling Units)	Multi-Family Residential (Dwelling Units)	Commercial/Office (Square Feet)
Residential			
Estate Residential	915	--	--
Low Density Residential	4,944	--	--
Medium Low Density Residential	22,333	--	--
Medium Density Residential	831	1,247	--
High Density Residential	--	4,817	--
Residential Subtotal	29,023	6,064	--
Commercial			
Convenience Commercial	--	--	341,449
Neighborhood Community Commercial	--	--	4,563,853
Office	--	--	7,059,981
Commercial Subtotal	--	--	11,965,283
Mixed Use	--	279	606,885
Focus Areas			
A Street Interchange	124	--	2,110,165
East Lone Tree Specific Plan	1,100	250	1,135,000
Eastern Waterfront Employment	12	248	268,051
Ginochio Property	400		
Downtown Specific Plan	1,065	1,221	3,927,420
Roddy Ranch	600	100	225,000
Hillcrest Station Area Specific Plan	--	2,500	2,500,000
Sand Creek	3,537	433	1,240,000
Western Antioch Commercial	--	358	9,224,280
Western Gateway	--	460	215,216
Focus Area Subtotal	6,839	5,570	20,845,130
Overall Total	35,862	11,913	33,417,298

Notes:

Figures indicated represent the maximum permitted development intensity. The actual yield of future development is not guaranteed by the General Plan, but is dependent upon appropriate responses to General Plan policies. The ultimate development yield may be less than the maximums stated in this table.

Figures include buildout within the General Plan Study Area, which encompasses the entirety of the city and the sphere of influence as well as lands to the south of Antioch that bear a relationship to the City's long-term planning.

Source: City of Antioch General Plan, 2003, updated 2017.

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TABLE 2.3-2 STANDARDS FOR DENSITY AND DEVELOPMENT INTENSITY

No.	Site Name	Acreage	General Plan	Zoning	Allowable FAR	Assumed Housing Type	Assumed Residential Density	Existing Dev. Capacity	Proposed Dev. Capacity
1*	Lakeview Center	5.3	Neighborhood/Community Commercial	Planned Development (Commercial/Office)	0.4	For-sale townhomes	15 dua	92,347.2 sf NCC	80 units
2*	In-Shape Shopping Center	8.9	Office/ Neighborhood/Community Commercial	Planned Development (Shopping Center)	0.5 (Office) 0.4 (NCC)	MF stacked rental	30 dua	193,842 sf office	267 units
3	Deer Valley Plaza	9.8	Neighborhood/Community Commercial	Planned Development (Shopping Center)	0.4	For-sale townhomes	15 dua	61,600 sf movie theater ¹	147 units
4*	Hillcrest Summit	4.9	Neighborhood/Community Commercial	Planned Development (Commercial/Office)	0.4	Rental garden apt., stacked flats	30 dua	85,377.6 sf NCC	147 units
5*	Hillcrest Terrace	6.3	Mixed Use	Planned Development (Commercial/Office)	0.5	MF stacked rental	30 dua	137,214 sf commercial/office	189 units
6*	Buchanan Crossings	5.4	Western Antioch Commercial Focus Area	Planned Development (Shopping Center)	0.5	For-sale townhomes	15 dua	117,612 sf commercial	81 units
7	Delta Fair Shopping Center	14.7	Western Antioch Commercial Focus Area	Regional Commercial (C-3)	0.5	MF stacked	30 dua	242,699 sf commercial ²	221 units; 100,697 sf commercial to remain ³
8	Somersville Towne Center	40.9	Western Antioch Commercial Focus Area	Regional Commercial (C-3)	0.5	For-sale townhomes	30.2 dua	501,259 sf commercial retail ⁴	720 units; 123,816 sf gf retail (including remaining commercial); 20,000 sf office ⁵
9	99 Cents Only/Big Lots	10.0	Western Antioch Commercial Focus Area	Regional Commercial (C-3)	0.5	MF stacked	30 dua	85,305 sf commercial ⁶	113 units; 57,175 sf commercial to remain
10*	Crestview Dr/ West 10 th Street	2.3	Western Antioch Commercial Focus Area	Neighborhood/Community Commercial (C-2)	0.5	High-density MF rental, podium project	50 dua	50,094 sf commercial	115 units

Notes: dua = dwelling units per acre; sf = square feet; apt. = apartment; gf = gross feet; NCC = Neighborhood/Community Commercial; MF = multi-family

* Currently vacant and/or undeveloped

¹ <https://www.loopnet.com/Listing/4204-Lone-Tree-Way-Antioch-CA/17665333/>

² Measured building footprints from ArcGIS.

³ Assumes northern three buildings on-site to remain.

⁴ http://yamm.finance/wiki/Somersville_Towne_Center.html

⁵ Master Plan Sheet from LCA Architects.

⁶ <https://www.loopnet.com/Listing/2511-Somersville-Rd-Antioch-CA/8194312/>

<https://www.commercialcafe.com/commercial-property/us/ca/antioch/2515-somersville-road/>

Source: City of Antioch.

2. Project Description

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3. Environmental Analysis

As detailed in Section 2.3, *Proposed Changes*, the Modified Project would predominantly consist of increased density on ten specific infill sites throughout the city that are typically vacant and/or underutilized commercial areas and associated objective design standards to provide key, objective requirements and application and approval process for future development on these sites.

CEQA identifies and analyzes the significant effects on the environment, where “significant effect on the environment” means a substantial or potentially substantial adverse change in any of the physical condition (CEQA Guidelines Section 15382). The proposed changes under the Modified Project, which does not increase the development potential evaluated under the Certified EIR, are analyzed below.

3.1 AESTHETICS

3.1.1 Impacts Associated with the Modified Project

Would the proposed project:

Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
a) Have a substantial adverse effect on a scenic vista?	LTS	Yes	No	No	No
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	LTS	Yes	No	No	No
c) In non-urbanized areas, substantially degrade the existing visual character or quality of the site and its surroundings, or in an urbanized area, conflict with applicable zoning and other regulations governing scenic quality?	LTS	Yes	No	No	No
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	LTS/M	Yes	No	No	No

Key: NI = no impact; LTS = less than significant; LTS/M = less than significant with mitigation; SU = significant and unavoidable

Comments:

The proposed Modified Project would reduce the amount of commercial development and increase the residential density within the CIH Overlay District. Because there is no change in the height or FAR of the

3. Environmental Analysis

commercial, residential, and mixed-use land use types applicable to the proposed Modified Project, implementing this proposed change would not result in building heights beyond what is established in the Approved Project. In addition, these sites include infill development only. The increase in residential density in the CIH Overlay District would result in changes at the policy level and does not include specific development proposals. For this reason, and due to the project location (not in the viewshed of a scenic highway) and because no height increases would occur, the proposed increased density in the CIH Overlay District under the proposed Modified Project have no impact on scenic vistas and scenic resources within a state scenic highway. The Certified EIR concluded that there would be a less-than-significant impact from light and glare, with mitigation, as a result of implementation of the Approved Project. Mitigation included revisions to the General Plan to incorporate policies addressing light and glare impacts. Residential land uses result in less light and glare than commercial land uses, and therefore would not result in new sources of light and glare beyond what was evaluated in the Certified EIR. Accordingly, the proposed Modified Project would not result in a new impact or a substantial increase in magnitude of the existing impacts with respect to aesthetics.

3.2 AGRICULTURE AND FORESTRY RESOURCES

3.2.1 Impacts Associated with the Modified Project

Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	NI	Yes	No	No	No
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	NI	Yes	No	No	No
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))?	NI	Yes	No	No	No
d) Result in the loss of forest land or conversion of forest land to non-forest use?	2018 CEQA Checklist Question	Yes	No	No	No

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Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?	2018 CEQA Checklist Question	Yes	No	No	No

Key: NI = no impact; LTS = less than significant; LTS/M = less than significant with mitigation; SU = significant and unavoidable

Comments:

The Certified EIR concluded that the General Plan Update would have no impact on agricultural and forestry resources. The proposed Modified Project would propose policy changes that would result in reduced commercial development and increased residential density in the CIH Overlay District, on sites that are currently designated as commercial or office use, that would not result in additional development beyond what was analyzed in the Certified EIR. Given that the City has no important farmland or forestland, none of the proposed changes are applicable to agriculture or forest resources. Thus, no impacts would occur.

3.3 AIR QUALITY

3.3.1 Impacts Associated with the Modified Project

Would the proposed project:

Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
a) Conflict with or obstruct implementation of the applicable air quality plan?	SU	Yes	No	No	No
b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?	LTS	Yes	No	No	No
c) Expose sensitive receptors to substantial pollutant concentrations?	LTS	Yes	No	No	No

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Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
d) Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?	LTS	Yes	No	No	No

Key: NI = no impact; LTS = less than significant; LTS/M = less than significant with mitigation; SU = significant and unavoidable

Comments:

The Bay Area Air Quality Management District (BAAQMD) is responsible for developing the Clean Air Plan for the San Francisco Bay Area.² The certified EIR determined that the Approved Project would have significant and unavoidable long-term air quality impacts associated with the BAAQMD’s Clean Air Plan due to the increase in vehicle miles traveled (VMT) per population, as well as the resulting nitrogen oxides (NO_x) emissions that would exceed the project-level operation thresholds. Implementation of the proposed Modified Project to accommodate more infill housing in the CIH Overlay District would result in a net decrease in vehicle trips compared with existing commercial zone, as shown in the *Trip Generation Study* included as Appendix B of this Addendum.³ As mobile source emissions would generate the majority of criteria air pollutants, the decrease in vehicle trips would result in a decrease in operation-related emissions as well. Therefore, operation of the proposed Modified Project would not have the potential to substantially affect housing, employment, and population projections within the Bay Area, which is the basis of the Clean Air Plan projections. The proposed Modified Project would therefore not result in a new impact or substantial increase in magnitude of the existing impacts related to conflict with or obstruct implementation of the applicable air quality plan.

There are no changes in long-term emissions associated with the Modified Project. Therefore, no new significant impact or substantially more severe significant impacts than those identified in the Certified EIR would occur for operational impacts. The Certified EIR determined that the construction emissions of the Approved Project would be less than significant with implementation of the General Plan policies, which identified the BAAQMD best management practices and regulations required to reduce fugitive dust and manage hazardous materials during construction. Future development projects which may occur under the Modified Project would be required to comply with these policies and regulations, which would contribute to further reduction of GHG emissions and potential health risk to people. Therefore, the Modified Project

² Bay Area Air Quality Management District (BAAQMD). 2017, April. 2017 Clean Air Plan: Spare the Air, Cool the Climate. https://www.baaqmd.gov/~/_media/files/planning-and-research/plans/2017-clean-air-plan/attachment-a_-proposed-final-cap-vol-1-pdf.pdf?la=en

³ W-Trans, 2021. *Draft Trip Generation Study of SB 2 Infill Sites in Antioch*.

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would not result in a new impact or substantial increase in magnitude of the existing impacts related to cumulatively considerable net increase of any criteria pollutants.

Neither the Approved Project or the Modified Project would involve the type of development that would generate substantial odors or be subject to odors that would affect a substantial number of people. The type of facilities that are considered to have objectionable odors from their operation include wastewater treatments plants, compost facilities, landfills, solid waste transfer stations, fiberglass manufacturing facilities, paint/coating operations (e.g., auto body shops), dairy farms, petroleum refineries, asphalt batch plants, chemical manufacturing, and food manufacturing facilities. Residential or mixed-use buildings that would be allowed in the CIH Overlay District are not associated with foul odors that constitute a public nuisance.

Overall, the proposed Modified Project would not result in a new impact or a substantial increase in magnitude of the air quality impacts that were analyzed in the Certified EIR.

3.4 BIOLOGICAL RESOURCES

3.4.1 Impacts Associated with the Modified Project

Would the proposed project:

Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	LTS	Yes	No	No	No
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	LTS	Yes	No	No	No

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Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
c) Have a substantial adverse effect on federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	LTS	Yes	No	No	No
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	LTS	Yes	No	No	No
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	LTS	Yes	No	No	No
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	NI	Yes	No	No	No

Key: NI = no impact; LTS = less than significant; LTS/M = less than significant with mitigation; SU = significant and unavoidable

Comments:

The proposed Modified Project would not change the Certified EIR study area boundaries and would not change the size or extent of disturbed areas that were analyzed in the Certified EIR. It would also only affect designated infill sites that are currently intended for commercial or office use to allow the development of residential and mixed-use projects on these sites and would not impact sensitive wildlife or habitat areas. As with the Approved Project, no biological resources would be impacted by the proposed Modified Project.

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3.5 CULTURAL AND TRIBAL CULTURAL RESOURCES

3.5.1 Impacts Associated with the Modified Project

Would the proposed project:

Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
a) Cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5?	LTS	Yes	No	No	No
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5?	LTS/M	Yes	No	No	No
d) Disturb any human remains, including those interred outside of formal cemeteries?	LTS	Yes	No	No	No
e) Cause a substantial adverse change in the significance of a Tribal Cultural Resource, defined in Public Resources Code Section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American Tribe, and that is: <ul style="list-style-type: none"> Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k), or A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resource Code Section 5024.1. In applying the criteria set forth in subdivision (c) of the Public Resource Code Section 5024.1 for the purposes of this paragraph, the lead agency shall consider the significance to a California Native American tribe. 	2018 CEQA Checklist Question	N/A	No	No	No

Key: NI = no impact; LTS = less than significant; LTS/M = less than significant with mitigation; SU = significant and unavoidable

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Comments:

The Certified EIR concluded that there would be a less-than-significant impact on archaeological resources, including those of Native Americans, with mitigation, as a result of implementation of the Approved Project. Mitigation included oversight by appropriate Indian Band or Tribe, test-level research prior to issuance of grading permits, approval of research design, and completion of excavation programs or treatment programs. The proposed Modified Project is a policy change that would not change the scale or location of overall ground disturbing activities that could occur as a result of future projects in the CIH Overlay District. As a policy-level project that would allow for residential and mixed-use land uses on currently designated commercial and office land uses, the proposed Modified Project would not adversely impact historical or, tribal and non-tribal archaeological resources, as well as tribal and non-tribal human remains beyond what was evaluated in the Certified EIR. It does not affect areas outside of what was analyzed in the Certified EIR, and future development projects on sites affected by the proposed Modified Project would still be required to follow all applicable regulations pertaining to cultural resources (for example, regulations for if potential cultural resources or human remains are found on-site during development such as Public Resources Code 5097.98 and California Health and Safety Code 7050.5, among others), as under the Approved Project. Therefore, the proposed Modified Project would not result in a new impact or a substantial increase in magnitude of the existing impacts. Furthermore, future development projects would be required to follow applicable State and local regulations pertaining to discovery of potential tribal cultural resources (including the Native American Graves Protection and Repatriation Act, and the California Health and Safety Code 7050 and 7052, and regulations requiring consultation with tribes as necessary). Combined with the fact that the proposed Modified Project does not include specific development proposals or impact areas outside those included in the Certified EIR, the proposed changes from the Modified Project would not result in a new impact or a substantial increase in magnitude of the existing impacts in relation to cultural or tribal cultural resources.

3. Environmental Analysis

3.6 ENERGY

3.6.1 Impacts Associated with the Modified Project

Would the proposed project:

Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?	2018 CEQA Checklist Question	N/A	No	No	No
b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?	2018 CEQA Checklist Question	N/A	No	No	No

Key: NI = no impact; LTS = less than significant; LTS/M = less than significant with mitigation; SU = significant and unavoidable

Comments:

The proposed Modified Project is a policy-level project that would not affect existing energy related plans, policies, or regulations. Potential future development that could under the proposed Modified Project would generate energy use through electricity use and fuel consumption. However, future development under the proposed Modified Project would result in a net decrease of daily vehicle trips when compared to the Approved Project, which would reduce operational transportation energy (see Appendix B, *Trip Generation Study*, of this Addendum).⁴ In addition, future development would be required to comply with existing policies, plans, and regulations pertaining to energy efficiency, such as the Building and Energy Efficiency Standards of the California Public Resources Code. In addition, potential future development would also be required to comply with the General Plan policies and mitigation measures in the Certified EIR pertaining to energy.

Therefore, as with potential future development under the Approved Project, the proposed Modified Project would not result in wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation, or conflict with or obstruct a state or local plan for renewable energy or energy efficiency. The Modified Project would not result in a new impact or a substantial increase in magnitude of the existing impacts in relation to energy.

⁴ W-Trans, 2021. *Draft Trip Generation Study of SB 2 Infill Sites in Antioch*.

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3.7 GEOLOGY AND SOILS

3.7.1 Impacts Associated with the Modified Project

Would the proposed project:

Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
a) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:	--	--	--	--	--
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map, issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.	NI	Yes	No	No	No
ii) Strong seismic ground shaking?	LTS/M	Yes	No	No	No
iii) Seismic-related ground failure, including liquefaction?	LTS/M	Yes	No	No	No
iv) Landslides?	LTS	Yes	No	No	No
b) Result in substantial soil erosion or the loss of topsoil?	LTS	Yes	No	No	No
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	LTS/M	Yes	No	No	No
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	LTS	Yes	No	No	No
e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	NI	N/A	No	No	No
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	LTS/M	Yes	No	No	No

Key: NI = no impact; LTS = less than significant; LTS/M = less than significant with mitigation; SU = significant and unavoidable

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Comments:

The proposed Modified Project, would introduce revisions that would change the type of development potential from commercial to residential and mixed-use projects in the CIH Overlay District and would not introduce new adverse physical impacts related to seismic ground shaking, ground failure, liquefaction, landslides, soil erosion, or expansive soils compared to the Approved Project. The Certified EIR concluded that there would be a less-than-significant impact on geology and soils, with mitigation, as a result of implementation of the Approved Project. Mitigation included revisions to the General Plan to incorporate policies addressing potential geology and soils impacts. In addition, future development would be required to comply with State and local regulations to minimize geology and soil related hazards. Implementation of the General Plan policies, and Certified EIR mitigation measures, and compliance with State regulations would still apply under the proposed Modified Project. Therefore, the proposed Modified Project would not result in a new impact or a substantial increase in magnitude of the existing impacts related to geology and soils.

3.8 GREENHOUSE GAS EMISSIONS

3.8.1 Impacts Associated with the Modified Project

Would the proposed project:

Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	2018 CEQA Checklist Question	N/A	No	No	No
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	2018 CEQA Checklist Question	N/A	No	No	No

Key: NI = no impact; LTS = less than significant; LTS/M = less than significant with mitigation; SU = significant and unavoidable

Comments:

The proposed Modified Project is a policy-level project that would not affect GHG emissions directly, but potential future development under the proposed Modified Project would generate greenhouse gas (GHG) emissions from transportation, natural gas and purchased energy, water use and wastewater and solid waste generation. The proposed Modified Project would not exceed the development potential evaluated in the Certified EIR and would result in a net decrease of daily vehicle trips, which would reduce vehicle trip

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related GHG emissions, as shown in the *Trip Generation Study* in Appendix B of this Addendum. Accordingly, the proposed changes from the Modified Project would not result in an increase in magnitude of the existing GHG emissions under the Approved Project.

Construction of future development allowed under the proposed Modified Project would generate GHG emissions from vehicle trips generated by future development (e.g., employees), energy use (indirectly from purchased electricity use, and directly through fuel consumed for building heating), area sources (e.g., landscaping equipment used on-site, consumer products, coatings), water/wastewater generation, and waste disposal. Since the amount of commercial development proposed within the CIH Overlay District would decrease if replaced with residential and mixed-use projects, the proposed Modified Project would not result in substantially greater impacts to GHG emissions with regards to construction.

The Modified Project would not conflict with plans, policies, or regulations adopted for the purpose of reducing GHG emissions as follows:

- *California Air Resources Board Scoping Plan* (CARB Scoping Plan). This plan is California's GHG reduction strategy to achieve the state's GHG emissions reduction target established by Senate Bill (SB) 32, which is 40 percent below 1990 levels by year 2030.⁵ While the CARB Scoping Plan is applicable to State agencies and is not directly applicable to cities/counties and individual projects, it has been the primary tool that is used to develop performance-based and efficiency-based CEQA criteria and GHG reduction targets for climate action planning efforts. Statewide strategies to reduce GHG emissions in the latest CARB Scoping Plan include implementing SB 350, which expands the Renewables Portfolio Standard to 50 percent by 2030 and doubles energy efficiency savings; expanding the Low Carbon Fuel Standard to 18 percent by 2030; and continuing to implement SB 375 with Statewide measures that have been adopted since Assembly Bill (AB) 32 and SB 32 were adopted. For example, as utility companies comply with the State's renewable portfolio standards, individual developments, like future development that would be allowed under the proposed Modified Project, that use the energy generated by the utility companies will be using energy sources that are compliant with the renewable portfolio standards. Like the Approved Project, the proposed Modified Project's GHG emissions would be reduced through compliance with statewide measures that have been adopted and would not conflict with the above statewide strategies identified to implement the CARB Scoping Plan.
- *Plan Bay Area*. This plan provides transportation and environmental strategies to continue to meet the regional transportation-related GHG reduction goals of SB 375.⁶ An overarching goal of the regional plan is to concentrate development in areas where there are existing services and infrastructure rather than allocate new growth to outlying areas where substantial transportation investments would be necessary to achieve the per capita passenger vehicle, vehicle miles traveled, and associated GHG

⁵ California Air Resources Board, 2017. California's 2017 Climate Change Scoping Plan: The Strategy for Achieving California's 2030 Greenhouse Gas Target. https://www.arb.ca.gov/cc/scopingplan/2030sp_pp_final.pdf.

⁶ Metropolitan Transportation Commission (MTC) and Association of Bay Area Governments (ABAG). Plan Bay Area 2050. 2021, <https://www.planbayarea.org/plan-bay-area-2050-1>.

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emissions reductions. Residential and mixed-use projects development that could occur under the proposed Modified Project would be infill development that would increase residential and mixed-use projects land use intensity in the CIH Overlay District.

- *Antioch Community Climate Action Plan (CCAP) and Climate Action Resiliency Plan (CARP)*. Adopted by the City Council in May 2011, the Antioch CCAP provides direction of potential programs and actions that the city can use to reach GHG emission reduction targets over the next 40 years.⁷ The CCAP includes strategies that focus on green building, renewable energy, transportation and land use, education, and waste management to achieve 2020 level reductions. The CARP, adopted in May 2020, provides an update to the CCAP by adding resilience (responding to climate challenges) into the planning to continue to reduce community and municipal GHG emissions.⁸ Future development allowed under the proposed Modified Project would be required to comply with the City’s CCAP and CARP strategies, including the aforementioned design features. Furthermore, the proposed Modified Project would be required to comply with the most current Building and Energy Efficiency Standards of the California Public Resources Code, Title 24, Part 6.

For the reasons described above, the proposed Modified Project would not result in a new impact or a substantial increase in magnitude of the existing impacts related to GHG emissions.

3.9 HAZARDS AND HAZARDOUS MATERIALS

3.9.1 Impacts Associated with the Modified Project

Would the proposed project:

Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	LTS	Yes	No	No	No
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	LTS	Yes	No	No	No

⁷ Antioch, City of. 2011, May. City of Antioch Community Climate Action Plan (CCAP). <https://www.antiochca.gov/fc/environment/climate/Antioch%20CCAP%20Final.pdf>

⁸ Antioch, City of. 2020, May. City of Antioch Climate Action Resilience Plan (CARP). <https://www.antiochca.gov/environmental-resources/climate-change/>

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Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	LTS	Yes	No	No	No
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	LTS	Yes	No	No	No
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	NI	Yes	No	No	No
f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	LTS	Yes	No	No	No
g) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	LTS	Yes	No	No	No

Key: NI = no impact; LTS = less than significant; LTS/M = less than significant with mitigation; SU = significant and unavoidable

Comments:

The proposed Modified Project would not increase risks related to hazards or hazardous materials relative to the Approved Project. The proposed Modified Project does not include any changes to land use designations that would have the potential to result in a new or greater impact related to hazards or hazardous materials from that evaluated in the Certified EIR because residential land uses use less hazardous materials, nor do they store substantial quantities of hazardous materials. Like the Approved Project, potential future development allowed under the proposed Modified Project would be required to comply with State and local regulations related to minimizing the effects of hazards and the release of hazardous materials. Therefore, the proposed Modified Project would not result in a new impact or a substantial increase in magnitude of the existing impacts related to hazards and hazardous materials.

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3.10 HYDROLOGY AND WATER QUALITY

3.10.1 Impacts Associated with the Modified Project

Would the proposed project:

Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
a) Violate any water quality standards or waste discharge requirements?	LTS	Yes	No	No	No
b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?	LTS	Yes	No	No	No
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would: i) result in substantial erosion or siltation on- or off-site; ii) substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or of-site; iii) create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or iv) impede or redirect flood flows?	LTS/M	Yes	No	No	No
d) In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?	LTS	Yes	No	No	No
e) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?	2018 CEQA Checklist Question	N/A	No	No	No

Key: NI = no impact; LTS = less than significant; LTS/M = less than significant with mitigation; SU = significant and unavoidable

3. Environmental Analysis

Comments:

The proposed Modified Project would not generate additional units beyond what was evaluated in the Certified EIR; therefore, additional impacts to water quality during construction with the clearing and grading of sites resulting in the release of sediments, oil and grease, and other chemicals to receiving water bodies are not expected. Additionally, the ten identified infill sites with the potential for increased density under the proposed Modified Project are located in already developed areas of the city on sites that are typically vacant and/or underutilized commercial areas. Therefore, like the Approved Project, potential future development under the proposed Modified Project would occur in areas already covered with impervious surfaces and no additional runoff potential would occur. Like the Approved Project, the future development allowed under the proposed Modified Project would be required to comply with State and local regulations related to minimizing the effects of water pollutants and hazards associated with hydrology and flooding. The Certified EIR concluded that there would be a less-than-significant impact on hydrology and water quality, with mitigation, as a result of implementation of the Approved Project. Mitigation included revisions to the General Plan to incorporate policies addressing potential impacts specifically associated with the alteration of the San Joaquin River from revitalization and development of Rodgers Point. Accordingly, the proposed Modified Project would not result in increased development that could have a potential adverse impact on the hydrology and water quality of the project area, including with obstruction of a water quality control plan or sustainable groundwater management plan. Therefore, the proposed Modified Project would not result in a new impact or a substantial increase in magnitude of the existing impacts with respect to hydrology and water quality.

3.11 LAND USE AND PLANNING

3.11.1 Impacts Associated with the Modified Project

Would the proposed project:

Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
a) Physically divide an established community?	LTS	Yes	No	No	No
b) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?	NI	Yes	No	No	No

Key: NI = no impact; LTS = less than significant; LTS/M = less than significant with mitigation; SU = significant and unavoidable

3. Environmental Analysis

Comments:

The proposed Modified Project would allow for the development of residential and mixed-use land uses on designated sites that are already developed and are currently zoned for commercial and office land uses. Implementation of the proposed Modified Project would not involve any structures, land use designations, or other features (e.g., freeways, railroad tracks) that would physically divide an established community. The type of anticipated development associated with the proposed Modified Project would be restricted to the existing urbanized environment. In addition, all other applicable regulations and General Plan policies pertaining to land use and planning would still apply. Therefore, there would be no impacts regarding conflicts with applicable plans, policies, or regulations adopted for the purpose of avoiding or mitigating an environmental effect. Accordingly, the proposed Modified Project would not result in greater impacts than was analyzed in the Certified EIR.

3.12 MINERAL RESOURCES

3.12.1 Impacts Associated with the Modified Project

Would the proposed project:

Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
a) Result in the loss of availability of a known mineral resource that would be a value to the region and the residents of the state?	NI	Yes	No	No	No
b) Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	NI	Yes	No	No	No

Key: NI = no impact; LTS = less than significant; LTS/M = less than significant with mitigation; SU = significant and unavoidable

Comments:

The Certified EIR concluded that the Approved Project would have no impact on mineral resources. The Modified Project would allow residential and mixed-use development in the CIH Overlay District and would not result in additional development beyond what was analyzed in the Certified EIR. Additionally, it would only affect already urbanized areas. Therefore, the proposed Modified Project would also result in no impacts to mineral resources.

3. Environmental Analysis

3.13 NOISE AND VIBRATION

3.13.1 Impacts Associated with the Modified Project

Would the proposed project result in:

Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	LTS/M	Yes	No	No	No
b) Generation of excessive groundborne noise levels?	LTS	Yes	No	No	No
e) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	NI	Yes	No	No	No

Key: NI = no impact; LTS = less than significant; LTS/M = less than significant with mitigation; SU = significant and unavoidable

Comments:

The proposed Modified Project is a policy-level project and does not include specific development proposals. Construction noise of future projects that could occur under the proposed Modified Project, however, would be similar to the impacts described in the Certified EIR. Construction of housing and mixed-use sites would generally include the same types of construction equipment and, therefore, the magnitude of noise levels generated would be similar. Through compliance with the allowable construction hours in the City's noise control ordinance, implementation of the applicable policies in Section 11.6.2, *Noise Policies*, of the General Plan and implementation of Mitigation Measures 4.9.1A and 4.9.1B from the Certified EIR, impacts would continue to be less than significant. In addition, as discussed in the *Trip Generation Study*,⁹ included as Appendix B of this Addendum, development at all sites in the CIH Overlay District would result in a net decrease in vehicle trips compared with the existing development capacity at each site. Therefore, traffic noise would not increase from future development

⁹ W-Trans, 2021. *Draft Trip Generation Study of SB 2 Infill Sites in Antioch*.

3. Environmental Analysis

that could occur under the proposed Modified Project. Operational stationary, such as those from heating, ventilation, and air conditioning units, recreational activities at outdoor common uses areas, and potential truck loading at sites that include retail and commercial uses, noise from the proposed Modified Project would also be similar to the impacts described in the Certified EIR. The proposed Modified Project would not affect the existing policies and regulations pertaining to noise, including the General Plan policies, mitigation measures from the Certified EIR, and standards from the City’s noise control ordinance, and future projects that could occur under the proposed Modified Project would also be subject to these. Therefore, the proposed Modified Project would not result in increased impacts to noise than were analyzed under the Certified EIR.

3.14 POPULATION AND HOUSING

3.14.1 Impacts Associated with the Modified Project

Would the proposed project:

Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	LTS	Yes	No	No	No
b) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?	NI	Yes	No	No	No

Key: NI = no impact; LTS = less than significant; LTS/M = less than significant with mitigation; SU = significant and unavoidable

Comments:

While the proposed Modified Project would allow for the development of housing and mixed-use development within the CIH Overlay District, it would not change the overall build-out numbers from the Approved Project. Therefore, it would not induce substantial population growth, nor population growth greater than was analyzed in the Certified EIR. In addition, the CIH Overlay District would be on sites currently zoned for commercial or office use, so it would not displace existing people or housing, necessitating the construction of replacement housing elsewhere. The proposed Modified Project would instead allow for housing on additional sites than is currently allowed under the existing zoning and land

3. Environmental Analysis

use designations. Accordingly, the proposed changes from the Modified Project would not result in a new impact or a substantial increase in magnitude of the existing impacts in relation to population and housing.

3.15 PUBLIC SERVICES

3.15.1 Impacts Associated with the Modified Project

Would the proposed project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
a) Fire protection?	LTS	Yes	No	No	No
b) Police protection?	LTS	Yes	No	No	No
c) Schools?	LTS	Yes	No	No	No
d) Parks?	LTS	Yes	No	No	No
e) Other public facilities?	LTS	Yes	No	No	No

Key: NI = no impact; LTS = less than significant; LTS/M = less than significant with mitigation; SU = significant and unavoidable

Comments:

Public service providers for fire protection, police protection, and schools in the City of Antioch include the Contra Costa County Fire Protection Department, the Antioch Police Department, and the Antioch Unified School District, respectively, of whom provide public services citywide. The proposed Modified Project would not increase the overall buildout numbers that were analyzed in the Certified EIR and would therefore not create new development potential or other growth inducing opportunities to result in additional impacts to public services, including fire protection, police protection, schools, and libraries. In addition, as public service providers serve the entire city, expanding residential land uses would not result in uneven distribution as could potentially happen if the city was divided into multiple service areas. In addition, the Modified Project is a policy-level project that does not include any specific development proposals. Parks and other public facilities, such as libraries, would also still be available city-wide. Therefore, no new demands for fire, police, school, parks, and libraries would result from the proposed Modified Project.

3. Environmental Analysis

3.16 RECREATION

3.16.1 Impacts Associated with the Modified Project

Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	LTS	Yes	No	No	No
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	LTS	Yes	No	No	No

Key: NI = no impact; LTS = less than significant; LTS/M = less than significant with mitigation; SU = significant and unavoidable

Comments:

The Modified Project does not include recreational facilities or require the construction or expansion of recreational facilities. The proposed Modified Project is a policy-level project that does not change the overall buildout numbers that were analyzed in the Certified EIR result in development in areas outside of the study area of the Approved Project. The same General Plan policies from the Approved Project that would reduce or minimize the effects of future growth on parks and recreational facilities would still apply. The proposed changes would not create new development potential or other growth inducing opportunities to result in additional impacts to the existing recreational facilities, and therefore would not reduce in greater impacts than analyzed in the Certified EIR.

3. Environmental Analysis

3.17 TRANSPORTATION

3.17.1 Impacts Associated with the Modified Project

Would the proposed project:

Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
a) Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle, and pedestrian facilities?	LTS	Yes	No	No	No
c) Conflict or be inconsistent with CEQA Guidelines Section 15064.3, subdivision (b)?	2018 CEQA Checklist Question	N/A	No	No	No
d) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	LTS	Yes	No	No	No
e) Result in inadequate emergency access?	LTS	Yes	No	No	No

Key: NI = no impact; LTS = less than significant; LTS/M = less than significant with mitigation; SU = significant and unavoidable

Comments:

The proposed Modified Project would not include hazardous geometric design features (e.g., a sharp curve or dangerous intersection), that could cause a significant transportation impact as it is a policy-level project that would allow residential and mixed-use land uses in the CIH Overlay District. In addition, as the CIH Overlay District affects ten specific sites throughout the city that are typically vacant and/or underutilized commercial areas, and the proposed Modified Project would not increase the buildout numbers that were analyzed in the Certified EIR, it would not result in inadequate emergency access, or cause inconsistency with CEQA Guidelines Section 15064.3 regarding vehicle miles traveled. In addition, as described in the *Trip Generation Study* in Appendix B of this Addendum, future development under the proposed Modified Project would result in a net decrease of daily vehicle trips, which would reduce vehicle miles traveled.¹⁰ Finally, regulations and policies pertaining to the circulation system of the city, including transit, roadway, bicycle, and pedestrian facilities would still apply as under the Approved Project. Therefore, the proposed

¹⁰ W-Trans, 2021. *Draft Trip Generation Study of SB 2 Infill Sites in Antioch*.

3. Environmental Analysis

Modified Project would not result in transportation impacts greater than those analyzed for the Approved Project.

3.18 UTILITIES AND SERVICE SYSTEMS

3.18.1 Impacts Associated with the Modified Project

Would the proposed project:

Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
a) Require or result in the relocation or construction of water, wastewater treatment or stormwater drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?	LTS/M	Yes	No	No	No
d) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?	LTS	Yes	No	No	No
e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it does not have adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	LTS	Yes	No	No	No
f) Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?	LTS	Yes	No	No	No
g) Comply with federal, State, and local statutes and regulations related to solid waste?	NI	Yes	No	No	No

Key: NI = no impact; LTS = less than significant; LTS/M = less than significant with mitigation; SU = significant and unavoidable

3. Environmental Analysis

Comments:

The Certified EIR determined that implementation of the Approved Project would result in less-than-significant impacts related to utilities and service systems, with mitigation applied with respect to energy infrastructure in the form of policies added to the General Plan to ensure adequate energy resources and efficiency. The proposed Modified Project would increase residential and mixed-use development but would not generate additional units beyond what was evaluated in the Certified EIR. Because there is no new development potential beyond what was already analyzed by the Certified EIR, the proposed Modified Project would not require or result in construction or expansion of any public utilities beyond those required for the Approved Project. Therefore, demands on public utilities or other infrastructure would not change measurably, and the conclusion of the Certified EIR would not change.

3.19 WILDFIRE

3.19.1 Impacts Associated with the Modified Project

If located in or near State responsibility areas or lands classified as very high fire hazard severity zones, would the proposed project:

Environmental Issues	Level of Impact in the 2003 General Plan Update EIR	Same or Reduced Impact as the 2003 General Plan Update EIR	Do the Proposed Changes Involve New or More Severe Impacts?	New Circumstances Involving New or More Severe Impacts?	New Information Requiring New Analysis or Verification?
a) Substantially impair an adopted emergency response plan or emergency evacuation plan?	2018 CEQA Checklist Question	N/A	No	No	No
b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?	2018 CEQA Checklist Question	N/A	No	No	No
c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?	2018 CEQA Checklist Question	N/A	No	No	No
d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?	2018 CEQA Checklist Question	N/A	No	No	No

Key: NI = no impact; LTS = less than significant; LTS/M = less than significant with mitigation; SU = significant and unavoidable

3. Environmental Analysis

Comments:

The proposed Modified Project would not affect lands in a State responsibility areas or lands classified as very high fire hazard severity zones.¹¹ In addition, the proposed Modified Project is a policy-level project affecting only designated infill sites in urbanized areas where potential future development currently exists. Therefore, the proposed Modified Project would not increase in magnitude of wildfire related impacts when compared to the Approved Project.

¹¹ California Department of Fire and Forestry Protection, FHSZ Viewer, <https://egis.fire.ca.gov/FHSZ/>, accessed December 23, 2021.

3. Environmental Analysis

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APPENDIX A
COMMERCIAL INFILL HOUSING
OVERLAY DISTRICT OBJECTIVE
DESIGN STANDARDS



Commercial Infill Housing Overlay District **Objective Design Standards**

March 2022 | **Public Review Draft**



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March 2022 | **Public Review Draft**

Commercial Infill Housing Overlay District **Objective Design Standards**

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1. Introduction

1.1 Purpose and Goals

The Commercial Infill Housing (CIH) Objective Design Standards provide key, objective requirements for the development of multifamily residential and mixed-use development within the City's CIH Overlay District. New infill housing on sites within this overlay district is intended to revitalize underutilized commercial areas as well as increase the city's housing supply.

Unlike design guidelines, objective design standards are written to have "no personal or subjective judgment by a public official and is uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant and the public official prior to submittal." In other words, the goal of these objective design standards is to provide a clear and straight forward application and approval process for multifamily housing construction within the CIH Overlay District.

1.2 User Guide

This document contains objective design standards for five topic areas:

1. **Site design**
2. **Building design**
3. **Landscaping**
4. **Lighting**
5. **Signage**

Each standard type begins with an intent statement, followed by specific standards. The intent statements are provided to help the reader understand the overarching principle behind the standard requirements and do not serve as review criteria.

A checklist listing the objective design standard requirements is provided in the appendix of this document. This checklist should be filled out by the applicant and reviewed by staff to indicate whether the applicant's project meet the requirements for non-discretionary staff review.

1.3 Relationship to State and City Regulations

The following describes how these objective design standards relate to and comply with State and City regulations:

- » **California State Senate Bill (SB) 35.** SB 35 requires the availability of a streamlined ministerial approval process for multifamily residential developments to increase the supply of housing in jurisdictions that have not yet made sufficient progress toward meeting their regional housing need allocation (RHNA). As part of the streamlining process, jurisdictions are required to establish objective design standards for multifamily residential development.
- » **General Plan.** The General Plan's Land Use Element describes the City of Antioch's goal of developing commercial infill housing in underutilized commercial areas of the city. One of the General Plan's policies for guiding development of commercial infill housing projects is the creation and adherence to these CIH Objective Design Standards.
- » **Zoning Ordinance.** All development must comply with the regulations within the City of Antioch's Zoning Ordinance. These objective design standards are applicable to new multifamily housing and mixed-use projects built on parcels within the City of Antioch's CIH Overlay District, identified and described further in the City's Zoning Ordinance.
- » **Citywide Design Guidelines.** Several of these objective design standards are adapted from Antioch's Citywide Design Guidelines for multifamily residential and mixed-use development specific for medium- and high-density residential infill development.

1.4 Review Process

Figure 1 shows the review process of applications for multifamily residential or mixed-use development on approved CIH Overlay District sites. Applications will be submitted to the Planning Department for ministerial processing and must include an application packet and design plans. Only sites within the CIH Overlay District on the Antioch Zoning Map are qualified by-right for development of infill housing and can submit an application to the Planning Department for ministerial review. For sites outside of the CIH Overlay District, a rezone of the site to be included in the CIH Overlay District is required with approval from City Council prior to submitting an application to the Planning Department.

Projects will be processed administratively by staff and reviewed for conformance with these objective design standards. If the project conforms with all applicable objective design standards, the applicant can proceed with submitting a building application for the project.

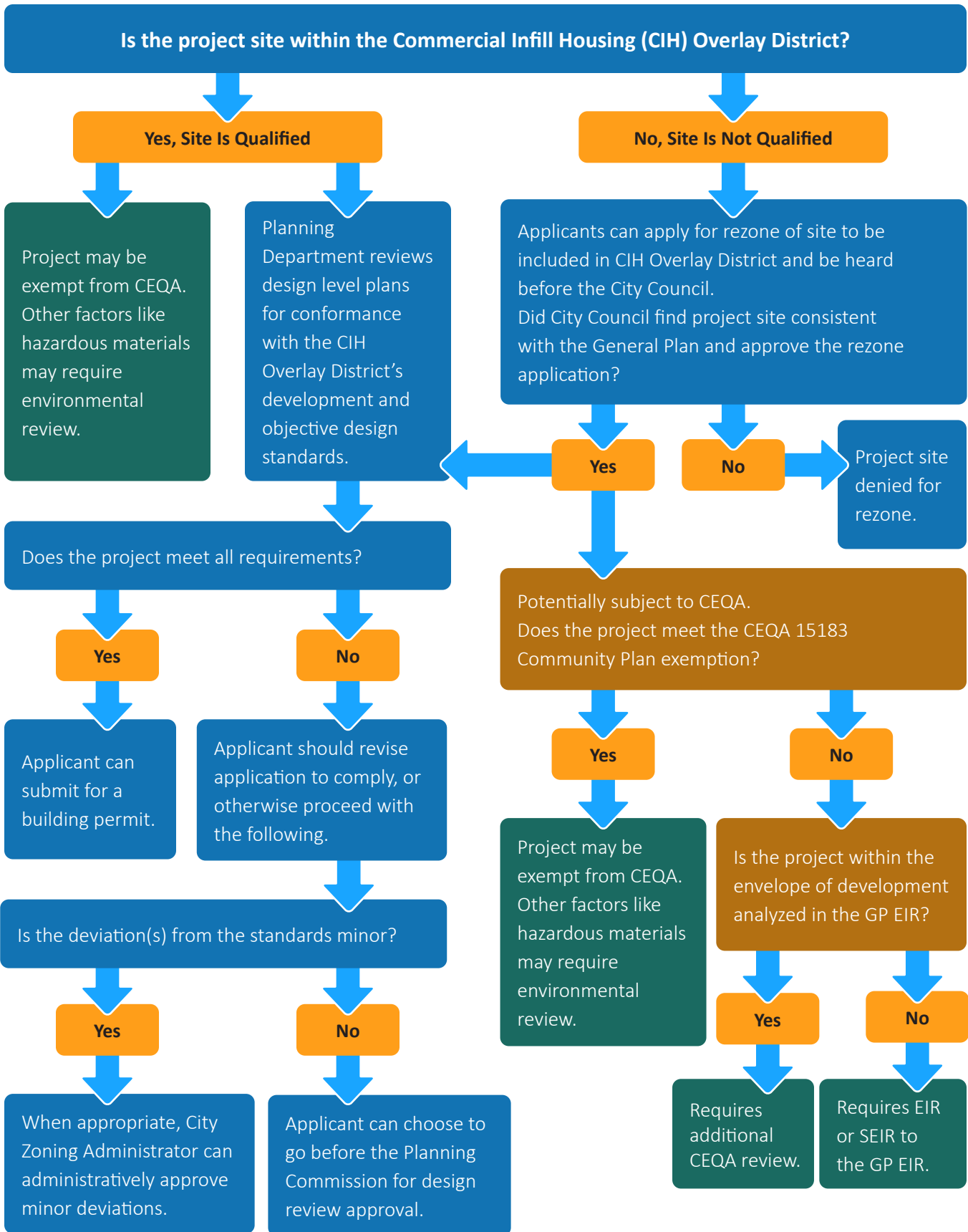
If a project does not meet one or more of the Objective Design Review standards, the applicant can amend their application to comply, or when appropriate, the City of Antioch's Zoning Administrator can administratively approve minor deviations (e.g., when the applicant can demonstrate that site design/layout would be improved or that there is a constraint that would make complying with a standard infeasible given site layout, etc.) from the objective design standards.

For deviations not deemed minor by the Zoning Administrator, the applicant can choose to go before the Planning Commission for design review approval. The project will still be reviewed for conformance with the CIH Objective Design Standards by the Planning Commission while taking into consideration whether the deviation(s) from the standards is appropriate. Regarding compliance with the California Environmental Quality Act (CEQA), a project on a qualified site may be exempt from CEQA unless there are peculiar circumstances that would create a new impact not already identified and mitigated as part of a General Plan Addendum. Other factors like hazardous materials may require environmental review.

If a project site is approved to be added to the CIH Overlay District, the project is potentially subject to CEQA depending on whether the project meets CEQA Section 15183 exemption. If the project meets the exemption, the project may be exempt from CEQA unless there are peculiar circumstances that would create a new impact not already identified and mitigated as part of a General Plan Addendum. Other factors like hazardous materials may require environmental review.

If the project does not meet the CEQA 15183 exemption, the project will either require additional CEQA review or an EIR or Supplemental EIR (SEIR) to the General Plan EIR, depending on whether the project is within the envelope of development analyzed in the General Plan EIR.

Figure 1. Commercial Infill Housing Review Process



2. Development Standards

Table 1 contains the development standards for multifamily residential and mixed-use development within the CIH Overlay District.

Table 1. CIH Overlay District Development Standards

Max. Height ¹	Min. Building Site	Mim. Lot Width		Max. Lot Coverage	Min. Density Allowed ²	Max. Density Allowed	Min. Front Yard	Min. Side Yard		Min. Rear Yard
		Corner	Interior					Corner	Interior	
45 ft. (4 stories)	20,000 sf	65 ft.	60 ft.	80%	12 du per gross developable acre	50 du per gross developable acre	0 ft.	5 ft.	5 ft.	10 ft.

Notes:

1. Building height of up to 45 feet (four stories) are permitted by right subject to compliance with all other applicable standards. Building height above 45 feet is permitted with approval of a use permit.
2. Densities of 12 to 35 dwelling units per gross developable acre are allowed by-right subject to compliance with all other applicable standards. Densities between 35-50 du per gross developable acre are permitted with approval of a use permit.

3. Objective Design Standards

3.1 Site Design Standards

The following standards for site design are specific to the type of development project proposed. The three development types are:

- » **Residential Only.** Residential-only projects are where the entire area of the parcel has a residential use.
- » **Horizontal Mixed Use.** Horizontal mixed-use projects are where a parcel has both commercial and residential uses on the ground floor on different parts of the site. The commercial use may be a planned building(s) or an existing commercial building(s) on the same site.
- » **Vertical Mixed Use/Residential Podium Projects.** Vertical mixed-use projects have commercial uses on the ground floor with residential uses above. Residential podium projects have parking on the ground floor. These two development types are similar, and therefore their design standards are grouped together.



Horizontal mixed-use project with multifamily apartments adjacent to single-story retail.



Vertical mixed-use project with residences above ground-floor retail.



Residential-only townhouse project.



Multifamily residential project with podium parking on the ground floor.

3.1.1 Site Entries

Intent

Provide a welcoming entry to the project and set the stage for a high-quality residential environment.

Main Entry Drive

For sites with Residential-Only projects, one entry into the site shall be developed as a Main Entry Drive from the primary street with the following features:

Standard 3.1.1.A: Curb and Gutter

Curb and gutter shall be provided on both sides of the Main Entry drive from the street curb to a minimum of 50 feet inside the property line.

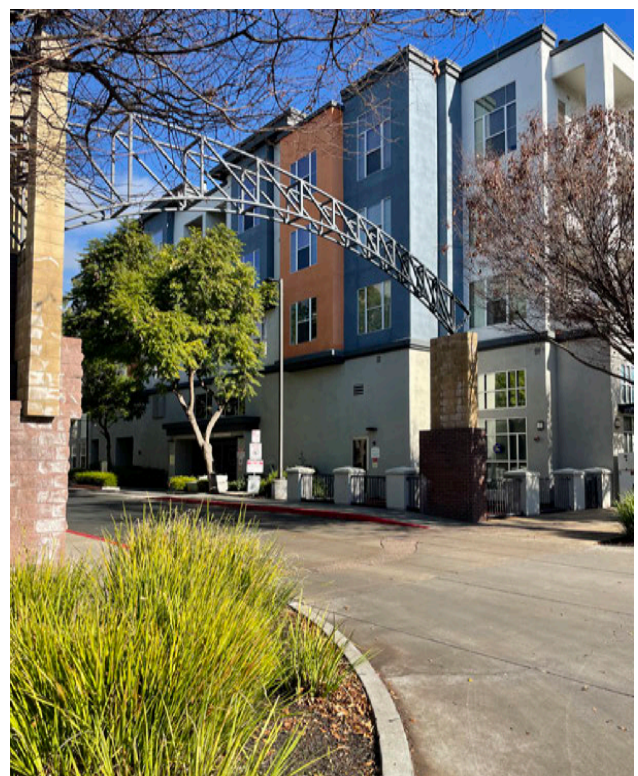
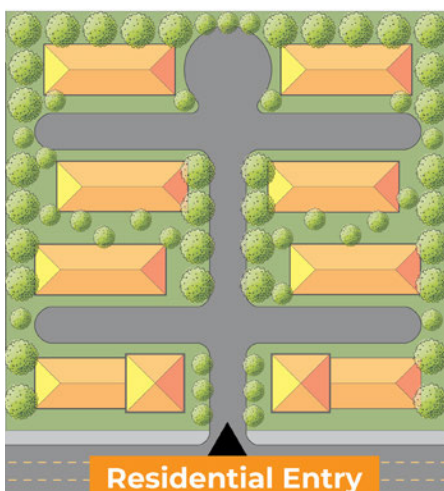
Standard 3.1.1.B: Sidewalk

A 5-foot minimum width sidewalk shall be provided on at least one side of the Main Entry Drive from the street curb to a minimum of 50 feet inside the property line.

Standard 3.1.1.C: Street Lighting

Street lighting on poles 15 to 25 feet high shall be provided on at least one side of the Main Entry Drive from the street curb to a minimum of 50 feet inside the property line.

Figure 2. Main Entry Drive for Residential-Only Project



Entry drives to residential development that incorporate street trees, sidewalks, and streetlights.

Standard 3.1.1.D: Landscaping and Street Trees

Landscaping and street trees shall be provided on both sides of the Main Entry Drive from the street curb to a minimum of 50 feet inside the property line. Street trees shall be no more than 25 feet apart.

Standard 3.1.1.E: Gates

If a gate into the Main Entry Drive of the residential project is needed, the gate and associated fences shall not be located further towards the street than the closest building wall to the street and shall not be solid or opaque. Siting of the gate shall also be coordinated with the City’s Engineering Division and the Contra Costa County Fire Protection District.

Standard 3.1.1.F: Curb Ramps

Public sidewalks that cross the Main Entry Drive shall have accessible curb ramps down to the level of the drive. If a level surface across the drive is provided instead (a speed table), the paving shall be differentiated in color and/or material from the driveway.

Standard 3.1.1.G: Bicycle Facilities

Bicycle facilities into the development shall be provided as part of the Main Entry Drive. These may be Class I separated bicycle paths, Class II bicycle lanes, Class III shared vehicle/bicycle lanes, or Class IV protected bicycle lanes.

New Shared Entry Drive

For sites with Horizontal Mixed-Use projects where there is a single main entry point for commercial and residential uses, this new entry shall be developed as a Shared Entry Drive with the following features:

Standard 3.1.1.H: Independent Roadway

A Shared Entry Drive shall not lead directly into a parking lot for commercial or residential development, rather it shall be an independent roadway from any commercial or residential parking lot, with clearly marked entries into the commercial and residential parking lot from the Shared Entry Drive.

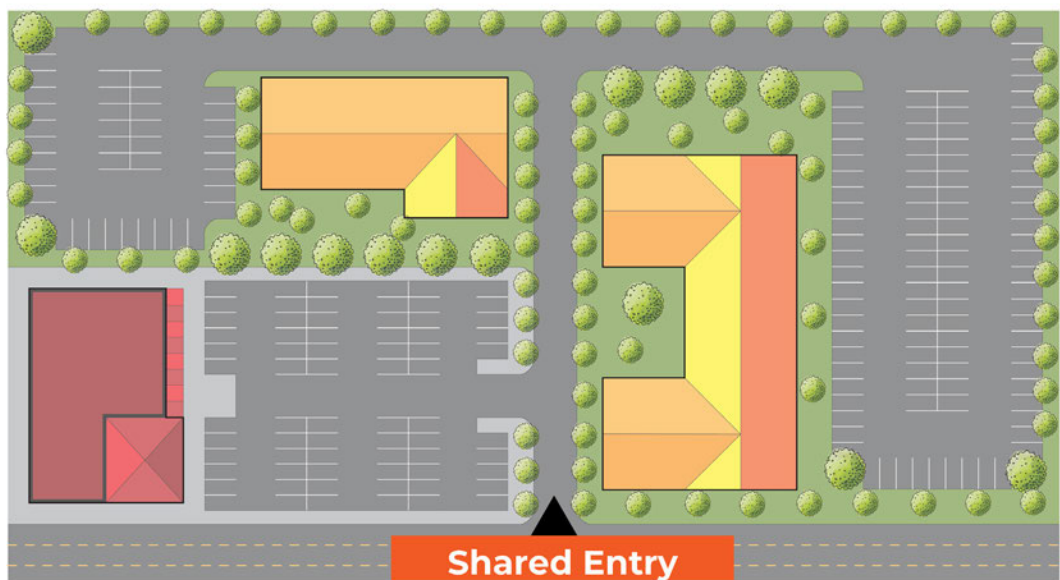
Standard 3.1.1.I: Curb and Gutter

Curb and gutter shall be provided on both sides of the Shared Entry drive from the street curb to a minimum of 50 feet inside the property line.

Standard 3.1.1.J: Sidewalk

A 5-foot minimum width sidewalk shall be provided on both sides of the Shared Entry drive from the street curb to a minimum of 50 feet inside the property line.

Figure 3. New or Enhanced Shared Entry Drive for Horizontal Mixed-Use Project



Standard 3.1.1.K: Street Lighting

Street lighting on poles 15 to 25 feet high shall be provided on at least one side of the Shared Entry drive from the street curb to a minimum of 50 feet inside the property line.

Standard 3.1.1.L: Landscaping and Street Trees

Landscaping and street trees shall be provided on both sides of the Shared Entry drive from the street curb to a minimum of 50 feet inside the property line. Street trees shall be no more than 25 feet apart.

Standard 3.1.1.M: Signage

Signage for commercial or residential development adjacent to the Shared Entry Drive shall be an externally lit monument type sign. Otherwise, signage shall be consistent with the City of Antioch Sign Code.

Enhanced Shared Entry Drive

For existing commercial developments that use an existing entry drive to access new residential development, the entry shall be enhanced with the following features:

Standard 3.1.1.N: Sidewalk

A 5-foot minimum width sidewalk shall be provided on at least one side of the entry drive, leading to a direct entry into the residential portion of the site.

Standard 3.1.1.O: Street Lighting

Street lighting on poles 15 to 25 feet high shall be provided on at least one side of the Shared Entry drive from the street curb to a minimum of 50 feet inside the property line.

Standard 3.1.1.P: Landscaping and Street Trees

Landscaping and street trees shall be provided on at least one side of the Shared Entry drive from the street curb to a minimum of 50 feet inside the property line. Street trees shall be no more than 25 feet apart.

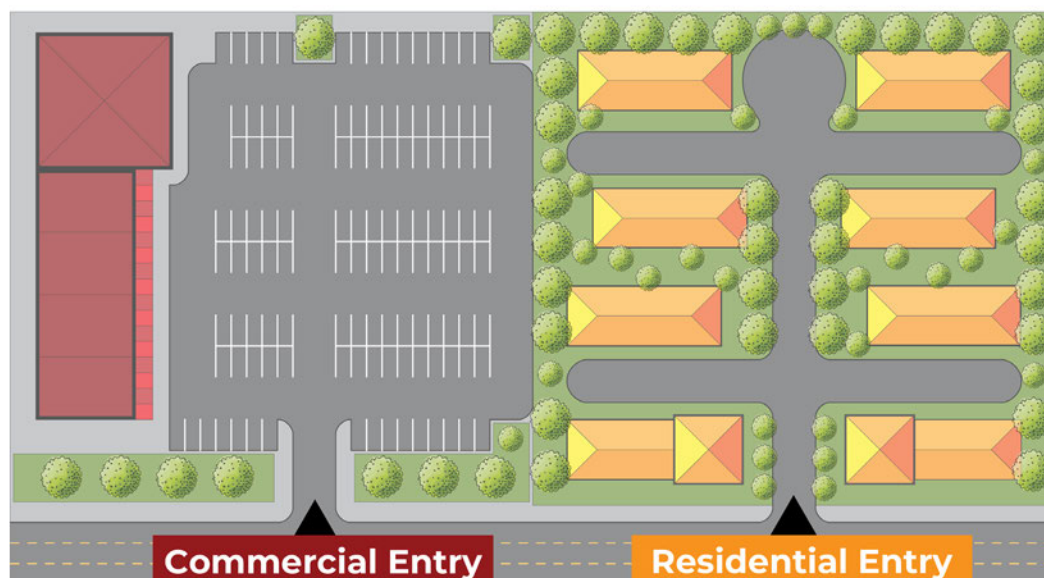
Separate Entry Drive

For Horizontal Mixed-Use projects where there is a separate main entry point for commercial and residential uses, these entries shall be developed as a Separate Entry Drive with the following features:

Standard 3.1.1.Q: Main Entry Drive Compliance

If the Separate Entry Drive serves as a main entry to residential development, the drive shall follow the standards under Main Entry Drive.

Figure 4. Separate Entry Drives for Horizontal Mixed-Use Project



Standard 3.1.1.R: Driveway Widths and Clearances Compliance

If the Separate Entry Drive serves as a main entry to commercial development, the Separate Entry Drive shall follow existing City of Antioch Zoning Ordinance’s Driveway Widths and Clearances requirements for site entries to non-residential uses.

Standard 3.1.1.S: Signage and Landscaping

If the commercial development consists of an existing commercial building(s), the existing entry drive into commercial uses shall be upgraded with new signage and landscaping for a minimum of 50 feet inside the property line. If existing paving is cracked, broken, or damaged, it shall be removed and replaced.

Vertical Mixed Use/Residential Podium Entry Drive

Where a Vertical Mixed-Use or Podium project is developed, the building is generally close to the street property line, and access to parking may be from a driveway directly into the building or within 30 feet of the building. Entries shall be developed with the following features:

Standard 3.1.1.T: ADA Compliance

Driveways shall meet Americans with Disability Act (ADA) accessibility standards where they cross the public sidewalk.

Standard 3.1.1.U: Driveway Widths and Clearances Compliance

Driveways shall be no wider than 20 feet, consistent with the City of Antioch Zoning Ordinance’s Driveway Widths and Clearances requirements for non-residential use.

Standard 3.1.1.V: Pedestrian Entries

At least one pedestrian entry shall lead directly from the sidewalk to the following:

- » Doors leading to each commercial space (Vertical Mixed-Use projects only).
- » Doors leading to an amenity space such as a courtyard, plaza, open space, or seating area.
- » Doors leading into ground-floor lobbies for residential units above.

Secondary Entry Drives

A Secondary Entry Drive Is an additional entry drive, in addition to the Main Entry Drive or Shared Entry Drive, along a secondary street.

Standard 3.1.1.W: Gates

If gates at Secondary Entry Drives into residential projects are provided, the gate and associated fences shall not be located closer than the closest building wall to the street. Siting of the gate shall also be coordinated with the City’s Engineering Division and the Contra Costa County Fire Protection District.

Table 2. Applicable Site Entry Types by Project Type

Project Type	Entry Drive Type				
	Main Entry Drive	Shared Entry Drive (new and enhanced)	Separate Entry Drive	Vertical Mixed Use/Residential Podium Entry Drive	Secondary Entry Drive
Residential Only	✓				✓
Horizontal Mixed Use		✓	✓		✓
Vertical Mixed Use/ Residential Podium				✓	✓

3.1.2 Street Frontage

Intent

Activate and create visual interest along street frontages in order to enhance the public realm.

General

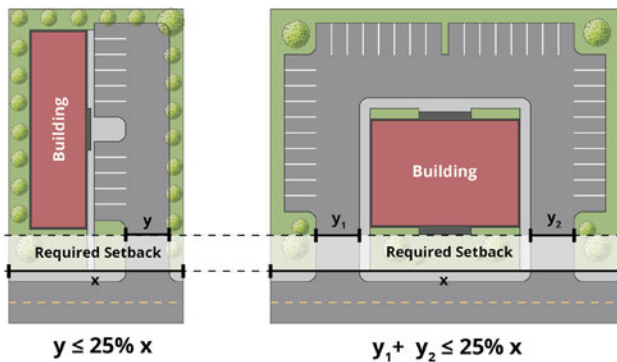
Standard 3.1.2.A: Landscaping Buffer

All residential projects, except Vertical Mixed-Use projects, shall provide a minimum 5-foot-wide landscaping buffer between the sidewalk edge and the building edge.

Standard 3.1.2.B: Maximum Width

The maximum width of parking area within the required front setback, including driveways, open parking, carports, and garages, but excluding underground parking and parking located behind buildings, shall not exceed 25% of the linear street frontage.

Figure 5. Maximum Width of Parking Area within the Front Setback

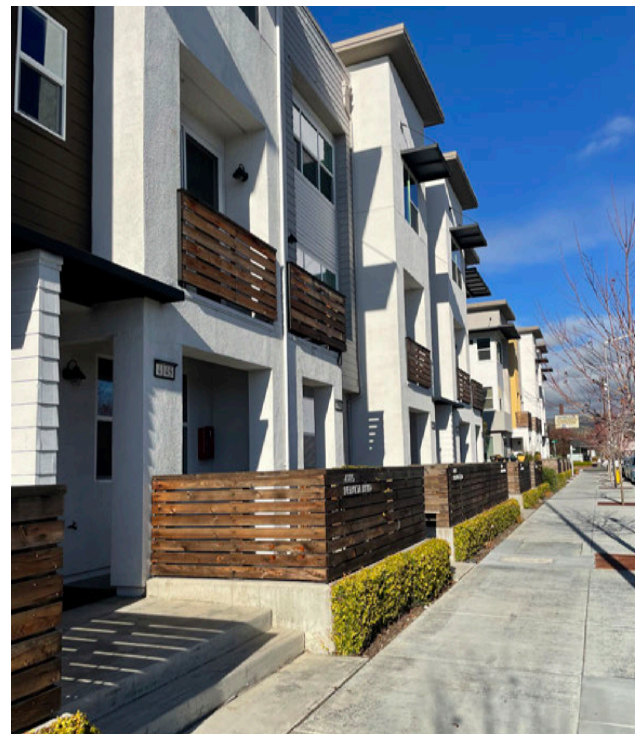


Primary Frontage

The primary frontage of a residential project is the edge of the closest building to the street bordering the property. If there are two streets bordering the property, the street with the Main Entry Drive or Shared Entry Drive is the Primary Frontage. Buildings aligned along the Primary Frontage shall follow these standards:



Landscaping buffer between the sidewalk edge and the building edge along a primary street frontage.



Entry doors to townhouses facing onto the primary street frontage.

Standard 3.1.2.C: Entry Doors

At least one entry door to the residential project at ground level shall face the primary frontage. An exception shall be made for buildings with a courtyard facing the street, where a door may face onto the courtyard.

Standard 3.1.2.D: Surface Parking Siting

Along the Primary Frontage, surface parking shall be located behind the building or to the side. An exception shall be made for accessible parking.

Standard 3.1.2.E: Carports and Tuck-under Parking

Carports and tuck-under parking shall not be visible from the street.

Standard 3.1.2.F: Fencing

No fencing above 36 inches in height shall be placed closer than the building wall nearest to the street.

Secondary Frontage

The secondary frontage of a residential project is the edge of the closest building to any street bordering the property that is not the Primary Frontage. Buildings aligned along the Secondary Frontage shall follow these standards:

Standard 3.1.2.G: Parking Siting

No more than one aisle of parking (66 feet) is allowed between the secondary frontage and the street.

Standard 3.1.2.H: Fencing

Fencing may be placed along the property line at the secondary frontage if it allows transparency through the use of decorative metal and does not create a sight distance obstruction. No chain link fencing is allowed. No solid fencing shall be placed closer to the street than the closest building wall. An exception shall be made for service areas such as trash, utilities, or loading areas.

3.1.3 Context Sensitivity

The following standards provide context sensitivity when projects are adjacent to residential or commercial development. This will ensure that new residential development is harmonious with neighboring residential development, and that new residential development is not negatively affected by existing commercial development.

Intent

For projects adjacent to existing residential properties of no more than two stories, apply design measures that preserve privacy and daylight for residents of those properties, and minimize additional vehicle circulation and parking on existing residential streets.

For projects adjacent to commercial development, apply design measures that promote attractive residential frontages and adequate visual separation for new residential development adjacent to existing and/or future commercial development.

Adjacent to Existing Residential Development**Standard 3.1.3.A: Windows**

Windows facing residences within 15 feet of the property line, shall be arranged, or designed to not create views into adjacent residences. Examples of privacy options include using translucent or louvered windows, creating offset window patterns, and locating windows 5 feet above the floor level. Alternatively, views into adjacent residential shall be screened with dense landscaping between the new development and existing residential property (i.e., Callistemon citrinus (*lemon bottlebrush*), Rhamnus alaternus (*Italian buckthorn*), or Pittosporum tenuifolium (*kohuhu*)) at a minimum mature height of 8 feet.



Multifamily residential building height stepped down near adjacent single-family residence.

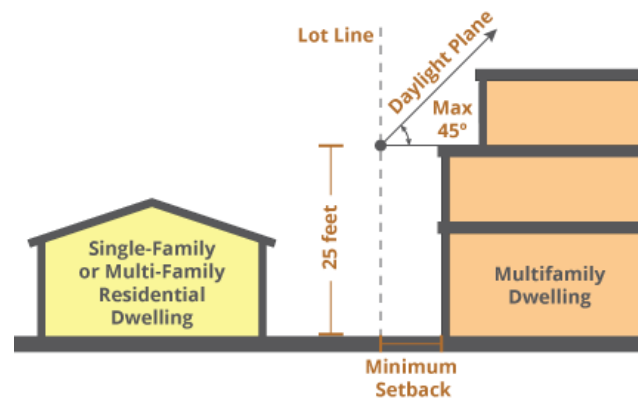
Standard 3.1.3.B: Daylight Plane

No portion of the building volume shall encroach into a daylight plane starting at a point that is 25 feet above the property line abutting any adjacent lot with an existing single-family or multifamily residential dwelling of two stories or less and sloping upward at a 45-degree angle toward the interior of the lot.

Standard 3.1.3.C: Parking

Parking for residents, visitors, and/or employees shall be accommodated onsite in garages, parking areas, or along internal streets to minimize spillover to adjacent residential neighborhoods. Parking and loading/unloading areas shall not create stacking/queuing issues at ingress/egress points.

Figure 6. Daylight Plane Encroachment



Adjacent to Commercial Development

Standard 3.1.3.D: Separation Buffer

At the edge of residential development immediately abutting commercial development and parking areas, one or both of the following shall be provided as separation:

- » A driveway or private street with curb, gutter, and landscape on both sides.
- » A minimum 5-foot-wide continuous landscape barrier with fencing a minimum of six feet high. No chain link fencing is allowed.

Standard 3.1.3.E: Fencing

At the edge of residential development immediately abutting commercial development and parking areas, fencing provided shall have at least one passageway for pedestrians to access the commercial development directly. This passageway may be locked and accessible to residents and safety providers only.

Standard 3.1.3.F: Gate

At the edge of residential development immediately abutting commercial development and parking areas, a gate providing emergency vehicle access may be provided where required by emergency providers. The gate shall be visually permeable to allow views in and out from the access way. No chain link is allowed for the gate.

3.1.4 Access and Parking

Intent

Provide convenient and well-connected access for vehicles into and through the development, and safe and pleasant pedestrian connections into and throughout the development. Minimize the public view of parking and enhance the appearance of parking facilities.

Vehicle Access

Projects shall meet the design standards for Site Entries in Section 3.1.1 as well as the following standards:

Standard 3.1.4.A: Multifamily Complex Internal Circulation

In residential rental apartment and condominium developments with multiple buildings, parking areas shall be accessed through a network of internal streets.

Standard 3.1.4.B: Townhouse Internal Circulation

In townhouse developments, internal circulation shall be via one or more internal streets connecting to alleys where garages are located.



Internal street within a townhouse development leading to an alley with access to garages.

Standard 3.1.4.C: Podium Project Parking Access

In podium projects where parking is underneath residential development, access for parking shall provide visibility or other safety features (e.g., mirrors, cameras, or audible signals) to minimize pedestrian/vehicle conflicts.

Parking Design

Standard 3.1.4.D: Siting

Parking areas shall be located within the development and not along primary frontages. An exception may be made for accessible parking and visitor parking.

Standard 3.1.4.E: Visitor Parking

Where internal street networks are provided, visitor parking shall be permitted as on-street parking on the internal street.



Internal street within residential project with on-street parking.

Standard 3.1.4.F: Screening

Parking along other frontages visible from public streets are allowed if screened from view up to 42 inches from ground plane by landscaping, rolling earth berms (2:1 slope), screen walls, landscaped fencing, or changes in elevation.

Standard 3.1.4.G: Parking Courts

Parking areas shall be divided into a series of connected smaller parking courts separated by landscaping.

Pedestrian and Bicycle Access and Parking

Standard 3.1.4.H: Pedestrian Walkway

A pedestrian walkway shall be provided connecting surface parking areas to main entrances of buildings and the public sidewalk. The walkway shall be clearly marked (e.g., special paving or coloring).

Standard 3.1.4.I: Pedestrian Connections

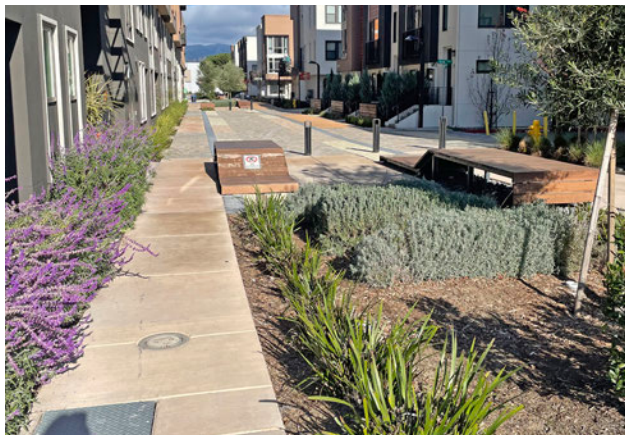
Pedestrian connections shall be incorporated to connect between adjoining residential and commercial projects.

Standard 3.1.4.J: Landscape Buffer

Walkways shall not be sited directly against a building façade but buffered with a landscaped planting area to provide privacy of nearby residences or private open space.

Standard 3.1.4.K: Bicycle Parking

Secure, covered bicycle parking in all residential projects shall be provided.



Landscape buffer between residential entries and pedestrian walkways.



Pedestrian walkway connecting the public sidewalk to residences with bicycle parking.

Standard 3.1.4.L: Bicycle Parking for Podium Projects

For podium projects with commercial ground floors, bicycle racks shall be provided in public view, within 50 feet of building entrances, not blocked by other street furniture or landscaping, and lit by external light sources.

3.1.5 Service Access, Trash, and Storage Facilities

Intent

Provide convenient service access to residential developments. Design and locate trash and storage facilities so that they are not visually obtrusive.

Access

Standard 3.1.5.A: Loading and Service Areas

Loading and service areas shall be concealed from view or shall be located at the rear of the site.

Standard 3.1.5.B: Trash Enclosure Siting

Trash enclosure locations shall not block circulation or driveways.

Design of Trash and Storage Facilities

Standard 3.1.5.C: Screening

When trash enclosures, loading docks, utility equipment, and similar uses are visible from a side street, adjacent commercial development or a neighboring property, they shall be screened using matching materials and/or landscaping with the primary building and surrounding landscaping.



Trash area screened from public view with fencing and gate of matching material and color.

Standard 3.1.5.D: Gates

Gates shall be a solid material. Any openings should be no more than 4 inches apart.

Standard 3.1.5.E: Sizing

Trash enclosures shall be sized to accommodate trash, recycling, and organics containers.

Standard 3.1.5.F: Roof

Trash storage areas shall be covered with a roof or overhang to reduce unsightly views.

Standard 3.1.5.G: Drainage

The trash enclosure pad shall be designed to drain to a pervious surface through indirect soil infiltration in accordance with the Municipal Code and other applicable regulating agencies.

3.1.6 Open Space Areas

Intent

Provide well-designed communal open space areas that are centrally located and designed as “outdoor rooms” with opportunities to relax, socialize, and play.

General

Standard 3.1.6.A: Minimum and Type of Open Space

All multifamily residential developments shall provide a total of 200 square feet of usable open space per unit with a minimum of 50% as common open space and the remaining 50% as either private or common open space. Every development that includes five or more residential units shall provide at least one common open space area. Off-street parking and loading areas, driveways, and service areas shall not be counted as usable open space.

Standard 3.1.6.B: Siting

Open space areas shall not be located directly next to arterial streets, service areas, or adjacent commercial development to ensure they are sheltered from the noise and traffic of adjacent streets or other incompatible uses. Alternatively, a minimum of 10 feet of dense landscaping shall be provided as screening between the open space area and arterial street, service area, or commercial development.

Standard 3.1.6.C : Usability

Open space surfaces shall include a combination of lawn, garden, flagstone, wood planking, concrete, or other serviceable, dust-free surfacing. The slope shall not exceed 10%.

Common Open Space

Standard 3.1.6.D: Minimum Dimensions

Common usable open space located on the ground level shall have no horizontal dimension less than 15 feet. Common upper-story decks shall have no dimension less than ten feet. Roof decks shall have no horizontal dimension less than 15 feet, and no more than 20% of the total area counted as common open space may be provided on a roof.

Standard 3.1.6.E: Visibility

At least one side of the common open space shall border residential buildings with transparent windows and/or entryways.

Standard 3.1.6.F: Pedestrian Walkways

Pedestrian walkways shall connect the common open space to a public right-of-way or building entrance.

Standard 3.1.6.G: Seating

All common open spaces shall include seating. Site furniture shall use graffiti-resistant material and/or coating and skateboard deterrents to retain the site furniture’s attractiveness.

Standard 3.1.6.H: Amenity Features

At least one amenity feature such as a play structure, plaza, sitting area, water feature, gas fireplace, or community garden shall be included in each open space area.

Standard 3.1.6.I: Play Areas

Developments that include 15 or more units of at least one bedroom or more must include children’s play areas and play structures. This requirement does not apply to senior housing developments.



Various multifamily residential developments facing onto common open spaces with seating.

Standard 3.1.6.J: Openness and Buildings

There shall be no obstructions above the open space except for devices to enhance the usability of the space. Buildings and roofed structures with recreational functions (e.g., pool houses, recreation centers, gazebos) may occupy up to 20% of the area counted as common open space.

Private Open Space

Standard 3.1.6.K: Accessibility

Private usable open space shall be accessible to only one living unit by a doorway or doorways to a habitable room or hallway of the unit.

Standard 3.1.6.L: Minimum Dimensions

Private usable open space located on the ground level (e.g., yards, decks, patios) shall have no horizontal dimension less than ten feet. Private open space located above ground level (e.g., porches, balconies) shall have no horizontal dimension less than six feet.

Standard 3.1.6.M: Openness

Above ground-level space shall have at least one exterior side open and unobstructed for at least eight feet above floor level, except for incidental railings and balustrades.

3.2 Building Design Standards

3.2.1 Building Massing and Articulation

Intent

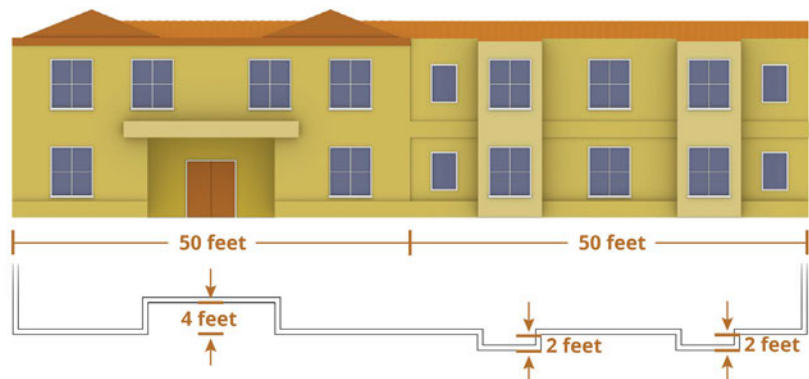
Design buildings to have various points of visual interest through architectural detailing, especially at the pedestrian level, and avoid creating a building with a bulky or monolithic appearance.

General Standards

Standard 3.2.1.A: Massing Breaks

Large building massing shall be articulated to reduce apparent bulk and size. All street-facing facades must include at least one change in plane (projection or recess) at least four feet in depth, or two changes in plane at least two feet in depth, for every 50 linear feet of wall. Such features shall extend the full height of the respective façade of single-story buildings, at least half of the height of two-story buildings, and at least two-thirds of the height of buildings that are three or more stories in height.

Figure 7. Massing Break Articulation



Standard 3.2.1.B: Horizontal Stepback

Buildings over three stories tall shall be designed with a horizontal stepback, at a minimum of 6 feet deep, from the front façade above the third floor. The stepback area may be used for residential terraces. Towers or other similar vertical architectural features do not require a stepback but shall not occupy more than 20% of the front façade.



Mixed-use development with bracket details at the cornice and roof eaves; ground floor height of at least 15 feet high; and distinct top, middle, and base.

Standard 3.2.1.C: Architectural Detail

Building walls along the street frontage shall have architectural detail (e.g., brackets, rafter tails, or dentils) at the cornice or roof eave.

Standard 3.2.1.D: Architectural Design Features

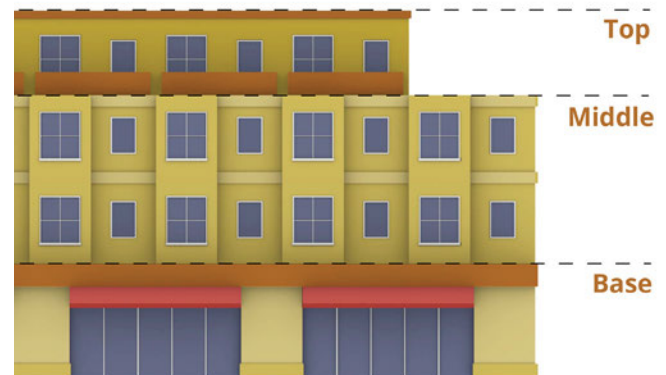
Architectural design features such as window treatments, awnings, moldings, projecting eaves, dormers, and balconies, shall be continued or repeated upon all elevations of a building facing a primary or secondary street, or a common open space.

Standard 3.2.1.E: Façade Articulation

Buildings of three stories or more shall have a clearly defined base and roof edge so that the façade has a distinct base, middle, and top. Elements to articulate a building’s façade shall include:

- » The top of the building shall have one or more of the following: a cornice line with minimum 6-inch overhang; a parapet with minimum 6-inch cap;

Figure 8. Distinct Base, Middle, and Top Façade Articulation



eaves with brackets or other detailing; upper floor setbacks; and/or sloped roof forms.

- » The middle or body of the building shall have a façade made up of regular components including one or more of the following: consistent window pattern; repeating bay windows; regularly spaced pilasters; recesses; or other vertical elements.
- » The base of the building shall have one or more of the following: recessed ground floor; a continuous horizontal element at the top of the ground floor; and enhanced window or entry elements such as awnings or canopies. Where pedestrians have access to the base of the building, high quality, durable, and easy to clean materials and finishes shall be used, such as stone, brick, cementitious board, glass, metal panels, and troweled plaster finishes.
- » The elements comprising the base, middle, and top to the building may be interrupted by a protruding vertical element such as a tower, or a recessed vertical element such as a massing break, an entry, or a courtyard.

Standard 3.2.1.F: Rooflines

Rooflines shall be segmented and varied within an overall horizontal context. Roofline ridges and parapets shall not run unbroken for more than 100 feet. Variation may be accomplished by changing the roof height, offsets, direction of slope, and by including elements such as dormers.



Mixed-use building with varied rooflines to create separate building forms.



Articulated roof line of a townhouse development.

Vertical Mixed Use

Standard 3.2.1.G: Ground Floor Height

For residential buildings with ground floor commercial uses, the floor to floor height of the ground floor shall be at least 15 feet to ensure appropriate scale of the base of the building in relation to the upper floors.

Standard 3.2.1.H: Pedestrian-Oriented Features

For residential buildings with ground floor commercial uses, a minimum of 30 percent of the building frontage facing a public street shall be devoted to pedestrian-oriented features, including storefronts, pedestrian entrances to nonresidential uses, transparent display windows, and landscaping.

Townhouses

Standard 3.2.1.I: Attached Units Limit

For townhouses that face onto a street, the maximum number of attached units per building shall be eight.

Standard 3.2.1.J: Roof Form

No more than four side-by-side units may be covered by one unarticulated roof. Variation may be accomplished by changing the direction of slope, and by including elements such as dormers.

3.2.2 Entryways

Intent

Design entryways to be visually prominent as well as provide weather protection to pedestrians.

General

Standard 3.2.2.A: Primary Building Entries

Primary building entries, including courtyard doors or gates used at multifamily buildings or residential lobbies for mixed use buildings, shall be recessed into entry bays and accented with treatments that add three-dimensional interest to the façades and enhance the sense of entry into the building through one or more of the following treatments:

- » Marked by a taller mass above, such as a modest tower or within a volume that protrudes from the rest of the building surface.
- » Accented by special architectural elements which may include canopies, overhanging roofs, awnings, and trellises.
- » Indicated by a recessed entry or recessed bay in the façade.

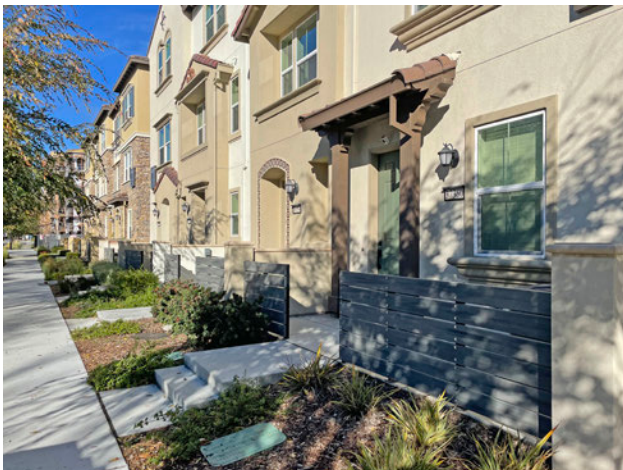
Townhouses

Standard 3.2.2.B: Entry Details

Each entry to a dwelling unit shall be emphasized and differentiated through architectural elements such as porches, stoops, roof canopies, and detailing that provides ground level space. The space next to the porch shall be used for landscaping.

Standard 3.2.2.C: Entry Connections

The space in front of the porch shall lead directly to the sidewalk if facing a street, or lead to common landscaping and pedestrian paths if facing communal space.



Street-facing townhouse developments with porches leading directly to a sidewalk. Each entry also has landscaping and architectural details such as a porch, stoop, and/or roof canopy.

Vertical or Horizontal Mixed Use

Standard 3.2.2.D: Ground Floor Elevation

At street-fronting entrances, the elevation of the retail or commercial ground floor shall be at the grade of the adjacent sidewalk.

Standard 3.2.2.E: Entry Design

Where development includes ground floor commercial uses, ground-floor façades shall be designed to give individual identity to each separate establishment through the use of signage and/or individual awnings.



Entries to ground-floor commercial uses with separate awnings to differentiate separate establishments.

3.2.3 Building Materials and Finishes

Intent

Accentuate building design through quality building materials and attractive finishes.

Standard 3.2.3.A: Appropriate Building Materials

Finish materials shall be materials that are high quality and durable. Appropriate building materials include:

- » Brick, rock, and stone or veneer of these materials
- » Smooth troweled stucco
- » Poured in place concrete
- » Concrete block
- » Cementitious board
- » Wrought iron (in storefronts)
- » Plaster or stucco
- » Ceramic tiles (as a secondary material)
- » Finished and painted wood trim
- » Metal sheet
- » Wood, aluminum, copper, steel, and vinyl clad frames for windows and doors

Standard 3.2.3.B: Brick and Stone Veneer

If used, brick and stone veneer shall be mortared and wrap around corners to give the appearance that they have a structural function and minimize a veneer appearance.

Standard 3.2.3.C: Inappropriate Building Materials

The following materials are inappropriate because they do not uphold the quality or lifespan that is desirable for new development:

- » Mirrored glass, reflective glass, or heavily tinted glass
- » Vinyl siding
- » Vertical wood sheathing such as T-III
- » Plywood or similar wood
- » Hardboard



Residential development with a mix of building materials, including brick veneer.



Mixed-use building with a stone veneer at the ground floor.

3.2.4 Windows/Glazing

Intent

Design and locate windows so that they provide well-proportioned articulation to building façades. In order to impart a human scale, openings should be in a vertical proportion which relates to the human body.

Standard 3.2.4.A: Street Frontage

Building walls along all street frontages shall have windows at all floors above ground level.

Standard 3.2.4.B: Orientation and Proportion

Buildings shall include vertically oriented and proportioned façade openings with windows that have a greater height than width (an appropriate vertical/horizontal ratio ranges from 1.5:1 to 2:1). Where glazed horizontal openings are used, they shall be divided with multiple groups of vertical windows. Smaller windows in utility areas or bathrooms may be horizontally proportioned.

Standard 3.2.4.C: Recess

Along primary and secondary street frontages, window frames shall be recessed and not flush against the walls. In these locations, shaped frames and sills, detailed with architectural elements such as projecting sills, molded surrounds, or lintels, shall be used to enhance window openings and add additional relief.



Vertically oriented and proportioned facade openings/windows with divisions.



Recessed, vertically oriented and proportioned windows with true divided lite divisions on a street-facing facade.

Standard 3.2.4.D: Glazing

Glass shall be clear with a minimum of 88 percent light transmission. Mirrored and deeply tinted glass or applied films that create mirrored windows and curtain walls are prohibited. To add privacy and aesthetic variety to glass, fritted glass, spandrel glass, and other decorative treatments are appropriate.

Standard 3.2.4.E: Subdivision and Mullions

Snap-in muntins shall not be used.

3.2.5 Projecting Elements

Intent

Design projecting elements so that they provide visual interest and articulation of building façades.

Awnings

Standard 3.2.5.A: Frequency

For buildings with ground floor commercial uses, awnings shall be provided over each storefront, located within the individual structural bays.



Awnings differentiate separate commercial establishments on the ground floor.

Standard 3.2.5.B: Projection

Awnings and canopies shall not project more than 6 feet from the façade.

Standard 3.2.5.C: Height

The height of all awnings above the sidewalk shall be consistent, with a minimum clearance of 8 feet provided between the bottom of the valance and the sidewalk. Valances shall not exceed 18 inches in height.

Standard 3.2.5.D: Lighting

If used, lighting for awnings shall be from fixtures located above the awnings. Backlighting of transparent or translucent awnings are not allowed.

Balconies, Decks, and Trellises

Standard 3.2.5.E: Projection

Balconies and decks shall not project more than 6 feet from the façade.

Standard 3.2.5.F: Proportion

The distance between supporting columns, piers, or posts on trellises or balconies shall not exceed their height.



Townhouse balconies projected over garage doors.

Bay Windows

Standard 3.2.5.G: Projection

Bay windows shall not project more than 3 feet from the façade nor exceed 8 feet in length.

Standard 3.2.5.H: Horizontal Separation

If more than one bay window is provided on a façade, there shall be at least 4 feet of horizontal separation between the two bay windows.

Standard 3.2.5.I: Design

Windows shall be provided on all sides of the bay window and consist of a vertical orientation and proportion.

3.2.6 Roofs

Intent

Design rooflines to have visual interest, use roof materials are durable, and ensure that roofing materials/colors and equipment do not become a visual detriment to surrounding properties.

Standard 3.2.6.A: Appropriate Roof Materials

Appropriate types of roof materials include:

- » Slate or fiber cement shingles
- » Clay or concrete tile roofs

- » Coated metal
- » Composite roofing materials made of recycled natural fiber and recycled plastic
- » Tar, gravel, composition, or elastomeric materials (concealed by a parapet/cornice)

Standard 3.2.6.B: Inappropriate Roof Materials

Reflective roofing materials shall not be used on roof surfaces that are visible from either ground level or elevated viewpoints.

Standard 3.2.6.C: Equipment Screening

All roof-mounted mechanical, electrical, and external communication equipment, such as satellite dishes and microwave towers, shall be screened from public view and architecturally integrated into the building design, and consolidated to a minimal number of locations.

Standard 3.2.6.D: Vent Pipes

Vent pipes that are visible from streets, sidewalks, plazas, courtyards, and pedestrian walkways shall be painted to match the color of the roof to make them less conspicuous.

Standard 3.2.6.E: Gutters/Downspouts

All roofs shall include gutters/downspouts that:

- » Drain directly into a cistern, landscaped area, or storm drain system.
- » Match the trim or body color of the façade.
- » Are inconspicuously located, unless consistent with the design of the building's architectural style (e.g., Spanish Revival).

Standard 3.2.6.F: Roof Overhangs

Roof overhangs shall not extend over a neighboring parcel or more than 3 feet over a public sidewalk (unless it covers a balcony that projects more than 3 feet over the sidewalk).

3.3 Landscaping Standards

The following landscaping standards are applicable to residential development. Landscaping standards for commercial development shall also adhere to the Landscaping and Irrigation requirements in the City of Antioch Zoning Ordinance and the Water-Efficient Landscape Ordinance.

3.3.1 Plantings

Intent

Provide well-maintained landscape and plantings that enhance residential buildings and outdoor private and public spaces.

Standard 3.3.1.A: Minimum Landscaped Area

A minimum of 15% of any building site shall be landscaped.

Standard 3.3.1.B: Landscaping of Front Yards

All portions of required front yards, except those areas occupied by pedestrian or vehicular access ways, shall be landscaped.



Landscaping of private front yards and common open space in a residential development.

Standard 3.3.1.C: Materials

Landscaped areas shall incorporate plantings utilizing a three-tier system: (1) grasses and ground covers, (2) shrubs and vines, and (3) trees.



Landscaping using the three-tier system with ground cover, shrubs, and trees.

Standard 3.3.1.D: Design

Landscaping designs shall include one or more of the following planting design concepts:

- » Specimen trees (48-inch box or more) in informal groupings or rows at major focal points.
- » Use of planting to create shadow and patterns against walls.
- » Use of planting to soften building lines and emphasize the positive features of the sit.
- » Use of flowering vines on walls, arbors, or trellises.
- » Trees to create canopy and shade, especially in parking areas and passive open space areas.
- » Berms, plantings, and walls to screen parking lots, trash enclosures, storage areas, utility boxes, etc.

Standard 3.3.1.E: Ground Cover Materials

Ground cover shall be of live plant material. Pervious non-plant materials such as permeable paving, gravel, colored rock, cinder, bark, and similar materials shall not cover more than 10% of the required landscape area. Mulch must be confined to areas underneath shrubs and trees and is not a substitute for ground cover plants.

Standard 3.3.1.F: Size and Spacing

Plants shall be of the following size and spacing at the time of installation:

- » Ground cover plants other than grasses must be at least four-inch pot size. Areas planted in ground cover plants other than grass seed or sod must be planted at a rate of at least one per 12 inches on center.
- » Shrubs shall be a minimum size of one gallon.
- » Trees shall be a minimum of 15 gallons in size with a one-inch diameter at breast height (dbh). At least one specimen tree with a 24-inch or larger box size shall be planted in the landscaped area of the front setback.

Standard 3.3.1.G: Protection from Encroachment

Landscaping shall be protected from vehicular and pedestrian encroachment by raised planting surfaces and the use of curbs. Concrete step areas shall be provided in landscape planters adjacent to parking spaces.

Standard 3.3.1.H: Interference with Utilities

Plant materials shall be placed so that they do not interfere with the lighting of the premises or restrict access to emergency apparatus such as fire hydrants or fire alarm boxes. Trees or large shrubs shall not be planted under overhead lines or over underground utilities if their growth might interfere with such public utilities. Trees and large shrubs shall be placed as follows:

- » A minimum of 6 feet between the center of trees and the edge of a driveway, a water meter, gas meter, and sewer laterals.
- » A minimum of 20 feet between the center of trees and the beginning of curb returns at intersections to keep trees out of the line-of-sight triangle at intersections.
- » A minimum of 15 feet between the center of trees and large shrubs to utility poles and streetlights.
- » A minimum of 8 feet between the center of trees or large shrubs and fire hydrants and fire department sprinkler and standpipe connections.

Standard 3.3.1.I: Staking and Root Barriers

All young trees shall be securely staked with double staking and/or guy-wires. Root barriers shall be required for any tree placed within 10 feet of pavement or other situations where roots could disrupt adjacent paving/curb surfaces.

Standard 3.3.1.J: Automatic Sprinkler Controllers

Automatic sprinkler controllers shall be installed to ensure that landscaped areas will be watered properly. Backflow preventors and anti-siphon valves shall be provided in accordance with current codes.

Standard 3.3.1.K: Sprinkler Heads

Sprinkler heads and risers shall be protected from car bumpers. "Pop-up" heads shall be used near curbs and sidewalks. The landscape irrigation system shall be designed to prevent run-off and overspray.

Standard 3.3.1.L: Enclosures

All irrigation systems shall be designed to reduce vandalism by placing controls in appropriate enclosures.

3.3.2 Wall and Fences

Intent

Design walls and fences to include durable materials, be aesthetically appealing, and not create a monolithic barrier along street frontages. The design of walls and fences, as well as the materials used, should be consistent with the overall development's design.

Standard 3.3.2.A: Inappropriate Fencing

Chain link fencing for fences and gates are not permitted.

Standard 3.3.2.B: High Activity Areas and Street Frontages

Visually penetrable materials (e.g., wrought iron or tubular steel) shall be used in areas of high activity (i.e., pools, playgrounds) and areas adjacent to street frontage.

Standard 3.3.2.C: Material Durability

Wall design and selection of materials shall consider maintenance issues, especially graffiti removal and long-term maintenance. Decorative capstones on stucco walls are required to help prevent water damage from rainfall and moisture.

Standard 3.3.2.D: Visual Interest

Perimeter walls shall incorporate various textures, staggered setbacks, and variations in height in conjunction with landscaping to provide visual interest and to soften the appearance of perimeter walls. Perimeter walls shall incorporate wall inserts and or decorative columns or pilasters to provide relief. The maximum unbroken length of a perimeter wall shall be 50 feet.

Standard 3.3.2.E: Screening and Noise Mitigation

Screen walls, sound walls, and retaining walls shall be used to mitigate noise generators and provide privacy for residents.



Perimeter wall with decorative columns and landscaping to break up and soften its appearance.

3.4 Lighting Standards

3.4.1 Pedestrian Lighting

Intent

Provide lighting that helps create visibility and a safe environment for pedestrians while minimizing visual nuisance like glare. Lighting fixtures should be architecturally compatible with the buildings and from the same “family” with respect to design, materials, color, style, and color of light.

Standard 3.4.1.A: Pedestrian Safety

Areas used by pedestrians shall be illuminated at night to ensure safety. Such areas include:

- » Surface parking lots and parking structures (entrances, elevators, and stairwells)
- » Sidewalks, walkways, and plazas
- » Building entrances (including rear and service entrances)
- » Garbage disposal areas
- » Alleys
- » Automated Teller Machines (ATMs)



Pedestrian-scaled light fixtures to illuminate on-street parking and pedestrian walkways.

Standard 3.4.1.B: Height

The height of luminaries shall not exceed 16 feet in height from grade.

Standard 3.4.1.C: Inappropriate Lighting

No outdoor lights shall be permitted that blink, revolve, flash, or change intensity.

Standard 3.4.1.D: Illumination Level

Exterior doors, aisles, passageways, and recesses shall have a minimum level of light of one foot-candle during evening hours. These lights shall be equipped with vandal-resistant covers.

Standard 3.4.1.E: Street Lighting

Street lighting shall be installed inside the project along the network of internal streets.

Standard 3.4.1.F: Glare

Lighting shall be shielded to minimize glare and not spill over onto adjacent properties.

Standard 3.4.1.G: Concealment

Light sources for wall washing and tree lighting shall be hidden.

3.4.2 Parking Lot Lighting

Intent

Provide lighting that helps create visibility and a safe environment for pedestrians and vehicles while minimizing visual nuisance like glare.



Lighting fixture for residential parking lot.

Standard 3.4.2.A: Height

Surface parking lot lighting fixtures shall not be on poles over 20 feet high.

Standard 3.4.2.B: Illumination Level

Energy-efficient, full-cutoff pole fixtures shall be utilized to provide adequate light levels for safety at parking lots.

Standard 3.4.2.C: Energy Efficiency

High-efficiency technology such as LED lighting with advanced controls shall be utilized to minimize energy consumption of parking lot lighting.

Standard 3.4.2.D: Glare

Parking lot lighting shall be directed away from surrounding buildings and properties using fixtures that minimize light trespass and glare.

3.5 Signage Standards

Signage standards shall be consistent with the City of Antioch Sign Code.

3.5.1 General

Intent

Situate and design signs so that they do not become a visual nuisance nor project onto the public sidewalk.

Standard 3.5.1.A: Appropriate Signage

The following signs shall be permitted:

- » Residential sign, including monument signs
- » Freestanding sign (for residential directional signs only)
- » Awning sign (for retail spaces in mixed use development only)
- » Window sign (for retail spaces in mixed use development only)

3.5.2 Monument Signs

Intent

Provide non-obtrusive signs that are harmonious with the landscape and architectural style of the project.

Standard 3.5.2.A: Location

Monument signs shall be located within a landscaped planter or other landscaped area.



Monument signs located within landscaped areas for residential development.

Standard 3.5.2.B: Sight Obstructions at Intersections

No monument sign greater than 3 feet in height shall be permitted within a clear vision zone at an intersection. Clear vision zones at uncontrolled, non-signalized intersections shall be located within a triangular area bounded by the curb lines and a diagonal line joining points on the curblines located 50 feet back from what would be the point of these curblines’ intersection. At controlled signalized intersections, a triangle having 25-foot tangents at the curblines shall apply. For driveways, a similar clear vision triangle shall be utilized featuring 25-foot tangents at the outside line of the driveway and the curbline.

Standard 3.5.2.C: Frequency

There shall be no more than one monument sign for 600 linear feet of street frontage. For street frontages of more than 600 feet, monument signs shall be no closer than 300 feet from one another.

Standard 3.5.2.D: Base

Monument signs shall include a solid base at least eighteen (18) inches in height.

Table 3. Monument Sign Face Area Standards

Length of Primary Frontage (linear feet)	Maximum Sign Face Area (square feet)	Maximum Height (feet), including base	Maximum Width (feet), including any frame or support structure
<100	25	6	10
100-299	55	8	10
>300	65	8	10

4. Definitions

- » **Residential Only:** Development project where the entire area of the parcel has a residential use, such as townhouses and garden apartments.
- » **Horizontal Mixed Use:** Development project where the parcel has both commercial and residential uses on the ground floor on different parts of the site. The commercial use may be a planned building(s) or an existing commercial building(s) on the same site.
- » **Vertical Mixed Use/Residential Podium Projects:** Development project that has commercial uses on the ground floor with residential uses above.
- » **Residential Podium:** Development project that has parking in an enclosed ground floor parking garage.
- » **Townhouses:** Attached units side-by-side that generally have front doors on one side and garages on the back side. Most townhouses have two-car garages, either two spaces wide or two tandem spaces (end to end). The front doors look onto a public street, private drive, or common open space, while the garages are usually lined up along an alley with garage doors on both sides. This development type typically includes tuck-under garage parking and additional surface parking spaces for visitors.
- » **Multifamily Complex:** Residential rental apartments and/or condominiums with two or three stories and arranged around a common landscaped courtyard. Parking is in the form of surface parking for residents and guests – residents often have covered car ports. Garden apartments also typically have amenities such as a common room or exercise room.
- » **Primary Street:** Street where the highest level of vehicle, pedestrian, and/or bicycle circulation is anticipated for a development project.
- » **Secondary Street:** Non-primary street adjacent to a development project.
- » **Internal Street:** Smaller street or network of streets within a development project that provides internal circulation.
- » **Main Entry Drive:** Drive that provides a single entry into a project site.
- » **Shared Entry Drive:** Drive that provides a single main entry point for commercial and residential uses in a horizontal mixed-use project.
- » **Separate Entry Drive:** Drive that provides a separate main entry point for commercial and residential uses in a horizontal mixed-use project.
- » **Secondary Entry Drive:** Drive that provides an additional entry drive, in addition to the Main Entry Drive or Shared Entry Drive, along a secondary street.
- » **Primary Frontage:** Edge of the closest building to the street bordering the property. If there are two streets bordering the property, the street with the Main Entry Drive or Shared Entry Drive is the Primary Frontage.
- » **Secondary Frontage:** Edge of the closest building to any street bordering the property that is not the primary frontage.
- » **Carport:** Covered structure with open sides, supported by posts, that provides shelter for a single or multiple cars for nearby residential development. Carports are typically used for apartment development.
- » **Tuck-Under Parking:** Ground floor parking spaces that are open but covered by the upper floor of a residential building.
- » **Valance:** The part of an awning that hangs down a short distance from the edge of the awning.
- » **Monument Sign:** A free-standing sign that is mounted to the ground that is often placed at entries to a building or development.

Appendix

Commercial Infill Housing Overlay District Objective Design Standards Checklist

Name of Applicant: _____

Date: _____

Project Address: _____

Project Application # (City staff to fill out): _____

Development Type (check all that apply):

- | | |
|--|---|
| <input type="checkbox"/> Residential Only | <input type="checkbox"/> Horizontal Mixed Use |
| <input type="checkbox"/> Townhouses | <input type="checkbox"/> Vertical Mixed Use |
| <input type="checkbox"/> Multifamily Complex | <input type="checkbox"/> Residential Podium |

Project Site Context (check all that apply):

- Situated adjacent to existing residential development
- Situated adjacent to existing or planned commercial development

Objective Design Standards Checklist Items	Applicant Evaluation			Staff Evaluation By: _____			
	Yes	No	N/A	Yes	No	N/A	Drawing Reference
3.1 Site Design Standards							
3.1.1 Site Entries (fill in all entry drive types that apply)							
Main Entry Drive							
A: Curb and Gutter							
B: Sidewalk							
C: Streetlights							
D: Landscaping and Street Trees							
E: Gates							
F: Curb Ramps							
G: Bicycle Facilities							
New Shared Entry Drive							
H: Independent Roadway							
I: Curb and Gutter							
J: Sidewalk							
K: Street Lighting							
L: Landscaping and Street Trees							
M: Signage							

Objective Design Standards Checklist Items	Applicant Evaluation			Staff Evaluation By: _____			
	Yes	No	N/A	Yes	No	N/A	Drawing Reference
Enhanced Shared Entry Drive							
N: Sidewalk							
O: Street Lighting							
P: Landscaping and Street Trees							
Separate Entry Drives							
Q: Main Entry Drive Compliance							
R: Driveway Widths and Clearances Compliance							
S: Signage and Landscaping							
Vertical Mixed Use/Residential Podium Entry Drive							
T: ADA Compliance							
U: Driveway Widths and Clearances Compliance							
V: Pedestrian Entries							
Secondary Entry Drives							
W: Gates							
3.1.2 Street Frontage							
General							
A: Landscaping Buffer							
B: Maximum Width							
Primary Frontage							
C: Entry Doors							
D: Surface Parking Siting							
E: Carports and Tuck-under Parking							
F: Fencing							
Secondary Frontage							
G: Parking Siting							
H: Fencing							
3.1.3 Context Sensitivity							
Adjacent to Existing Residential Development							
A: Windows							
B: Daylight Plane							
C: Parking							

Objective Design Standards Checklist Items	Applicant Evaluation			Staff Evaluation By: _____			
	Yes	No	N/A	Yes	No	N/A	Drawing Reference
Adjacent to Commercial Development							
D: Separation Buffer							
E: Fencing							
F: Gate							
3.1.4 Access and Parking							
Vehicle Access							
A: Multifamily Complex Internal Circulation							
B: Townhouse Internal Circulation							
C: Podium Project Parking Access							
Parking Design							
D: Siting							
E: Visitor Parking							
F: Screening							
G: Parking Courts							
Pedestrian and Bicycle Access and Parking							
H: Pedestrian Walkway							
I: Pedestrian Connections							
J: Landscape Buffer							
K: Bicycle Parking							
L: Bicycle Parking for Podium Projects							
3.1.5 Service Access, Trash, and Storage Facilities							
Access							
A: Loading and Service Areas							
B: Trash Enclosure Siting							
Design of Trash and Storage Facilities							
C: Screening							
D: Gates							
E: Sizing							
F: Roof							
G: Drainage							

Objective Design Standards Checklist Items	Applicant Evaluation			Staff Evaluation By: _____			
	Yes	No	N/A	Yes	No	N/A	Drawing Reference
3.1.6 Open Space Areas							
General							
A: Minimum and Type of Open Space							
B: Siting							
C: Usability							
Common Open Space							
D: Minimum Dimensions							
E: Visibility							
F: Pedestrian Walkways							
G: Seating							
H: Amenity Features							
I: Play Areas							
J: Openness and Buildings							
Private Open Space							
K: Accessibility							
L: Minimum Dimensions							
M: Openness							
3.2 Building Design Standards							
3.2.1 Building Massing and Articulation							
General Standards							
A: Massing Breaks							
B: Horizontal Stepback							
C: Architectural Detail							
D: Architectural Design Features							
E: Façade Articulation							
F: Rooflines							
Vertical Mixed Use							
G: Ground Floor Height							
H: Pedestrian-Oriented Features							
Townhouses							
I: Attached Units Limit							
J: Roof Form							

Objective Design Standards Checklist Items	Applicant Evaluation			Staff Evaluation By: _____			
	Yes	No	N/A	Yes	No	N/A	Drawing Reference
3.2.2 Entryways							
General							
A: Primary Building Entries							
Townhouses							
B: Entry Details							
C: Entry Connections							
Vertical or Horizontal Mixed Use							
D: Ground Floor Elevation							
E: Entry Design							
3.2.3 Building Materials and Finishes							
A: Appropriate Building Materials							
B: Brick and Stone Veneer							
C: Inappropriate Building Materials							
3.2.4 Windows/Glazing							
A: Street Frontage							
B: Orientation and Proportion							
C: Recess							
D: Glazing							
E: Subdivision and Mullions							
3.2.5 Projecting Elements							
Awnings							
A: Frequency							
B: Projection							
C: Height							
D: Lighting							
Balconies, Decks, and Trellises							
E: Projection							
F: Proportion							
Bay Windows							
G: Projection							
H: Horizontal Separation							
I: Design							

Objective Design Standards Checklist Items	Applicant Evaluation			Staff Evaluation By: _____			
	Yes	No	N/A	Yes	No	N/A	Drawing Reference
3.2.6 Roofs							
A: Appropriate Roof Materials							
B: Inappropriate Roof Materials							
C: Equipment Screening							
D: Vent Pipes							
E: Gutters/Downspouts							
F: Roof Overhangs							
3.3 Landscaping Standards							
3.3.1 Plantings							
A: Minimum Landscaped Area							
B: Landscaping of Front Yards							
C: Materials							
D: Design							
E: Ground Cover Materials							
F: Size and Spacing							
G: Protection from Encroachment							
H: Interference with Utilities							
I: Staking and Root Barriers							
J: Automatic Sprinkler Controllers							
K: Sprinkler Heads							
L: Enclosures							
3.3.2 Wall and Fences							
A: Inappropriate Fencing							
B: High Activity Areas and Street Frontages							
C: Material Durability							
D: Visual Interest							
E: Screening and Noise Mitigation							

Objective Design Standards Checklist Items	Applicant Evaluation			Staff Evaluation By: _____			
	Yes	No	N/A	Yes	No	N/A	Drawing Reference
3.4 Lighting Standards							
3.4.1 Pedestrian Lighting							
A: Pedestrian Safety							
B: Height							
C: Inappropriate Lighting							
D: Illumination Level							
E: Street Lighting							
F: Glare							
G: Concealment							
3.4.2 Parking Lot Lighting							
A: Height							
B: Illumination Level							
C: Energy Efficiency							
D: Glare							
3.5 Signage Standards							
3.5.1 General							
A: Appropriate Signage							
3.5.2 Monument Signs							
A: Location							
B: Illumination							
C: Sight Obstructions at Intersections							
D: Frequency							
E: Base							





CITY OF
ANTIOCH
CALIFORNIA



APPENDIX B
TRIP GENERATION STUDY





January 27, 2022

Mr. Bruce Brubaker, LEED AP
Placeworks
3 MacArthur Place, Suite 1100
Santa Ana, CA 92707

Trip Generation Study of SB 2 Infill Sites in Antioch

Dear Mr. Brubaker;

As requested, W-Trans has prepared a comparison of changes in the trip generation potential for ten sites in Antioch. The purpose of this letter is to document the potential changes to vehicle trip generation for each study location currently under consideration for future economic development. The following sites have been identified by the City of Antioch as having such future development potential.

1. Lakeview Center
2. In-Shape Shopping Center
3. Deer Valley Plaza
4. Hillcrest Summit
5. Hillcrest Terrace
6. Buchanan Crossings
7. Delta Fair Shopping Center
8. Somersville Towne Center
9. 99 Cents Only/Big Lots
10. Crestview Drive/West 10th Street

Trip Generation

The vehicle trip generation for each site was estimated using standard rates published by the Institute of Transportation Engineers (ITE) in *Trip Generation Manual*, 11th Edition, 2021 for "Single Family Attached Housing" (ITE LU #215), "Multifamily Housing (Low-Rise)" (ITE LU #220), "Multifamily Housing (Mid-Rise)" (ITE LU #221), "Movie Theater" (ITE LU #445), "General Office Building" (ITE LU #710), "Shopping Center (>105k)" (ITE LU #820), and "Shopping Plaza (40-150k)" (ITE LU #821). Vehicle trips were estimated for the existing development capacity at every site. This includes sites which are presently vacant and not currently producing any vehicle trips.

Pass-by Trips

Some portion of traffic associated with retail land uses would be drawn from existing traffic on adjacent roadways. These vehicle trips are not considered "new," but would instead be comprised of drivers who are already driving on the adjacent street system and choose to make an interim stop and are referred to as "pass-by." The percentage of these pass-by trips was based on information provided in the *Trip Generation Manual*, 11th Edition, Institute of Transportation Engineers, 2021. Since the *Manual* does not provide a pass-by trip percentage for either the daily or a.m. peak hour, the pass-by trip percentages for the p.m. peak hour were applied for the daily and a.m. peak hour trips.

A summary of the anticipated change in vehicle trips at each site is provided in Table 1.

Table 1 – Trip Generation Summary													
Site No.	Site Name <i>Land Use</i>	Units	Daily		AM Peak Hour				PM Peak Hour				
			Rate	Trips	Rate	Trips	In	Out	Rate	Trips	In	Out	
#1	Lakeview Center												
Ex	Shopping Plaza (40-150k)	92.374 ksf	67.52	-6,237	1.73	-160	-99	-61	5.19	-479	-235	-244	
Ex	<i>Pass-by Adjustment</i>	40%		2,495		64	40	24		192	94	98	
Fu	Single Family Attached	80 du	7.20	576	0.48	38	12	26	0.57	46	26	20	
	Net Change			-3,166		-58	-47	-11		-241	-115	-126	
#2	In-Shape Shopping Center												
Ex	General Office Building	193.842 ksf	10.84	-2,101	1.52	-295	-259	-36	1.44	-279	-47	-232	
Fu	MF Housing (Low Rise)	267 du	6.74	1,800	0.40	107	26	81	0.51	136	86	50	
	Net Change			-301		-188	-233	45		-143	39	-182	
#3	Deer Valley Plaza												
Ex	Movie Theater	61.600 ksf	78.09	-4,810	n/a	n/a	n/a	n/a	6.17	-380	-357	-23	
Fu	Single Family Attached	147 du	7.20	1,058	0.48	71	22	49	0.57	84	48	36	
	Net Change			-3,752		71	22	49		-296	-309	13	
#4	Hillcrest Summit												
Ex	Shopping Plaza (40-150k)	85.377 ksf	67.52	-5,765	1.73	-148	-92	-56	5.19	-443	-217	-226	
Ex	<i>Pass-by Adjustment</i>	40%		2,306		59	37	22		177	87	90	
Fu	MF Housing (Low-Rise)	147 du	6.74	991	0.40	59	14	45	0.51	75	47	28	
	Net Change			-2,468		-30	-41	11		-191	-83	-108	
#5	Hillcrest Terrace												
Ex	General Office Building	137.214 ksf	10.84	-1,487	1.52	-209	-184	-25	1.44	-198	-34	-164	
Fu	MF Housing (Low Rise)	189 du	6.74	1,274	0.40	76	18	58	0.51	96	61	35	
	Net Change			-213		-133	-166	33		-102	27	-129	
#6	Buchanan Crossings												
Ex	Shopping Plaza (40-150k)	117.612 ksf	67.52	-7,941	1.73	-203	-126	-77	5.19	-610	-299	-311	
Ex	<i>Pass-by Adjustment</i>	40%		3,176		81	50	31		244	120	124	
Fu	Single Family Attached	81 du	7.20	583	0.48	39	12	27	0.57	46	26	20	
	Net Change			-4,182		-83	-64	-19		-320	-153	-167	
#7	Delta Fair Shopping Center												
Ex	Shopping Center (>150k)	242.699 ksf	37.01	-8,982	0.84	-204	-126	-78	3.4	-825	-396	-429	
Ex	<i>Pass-by Adjustment</i>	29%		2,605		59	37	23		239	115	124	
Fu	MF Housing (Low Rise)	221 du	6.74	1,490	0.40	88	21	67	0.51	113	71	42	
Fu	Shopping Plaza (40-150k)	100.697 ksf	67.52	6,799	1.73	174	108	66	5.19	523	256	267	
Fu	<i>Pass-by Adjustment</i>	40%		-2,720		-70	-43	-26		-209	-102	-107	
	Net Change			-808		47	-3	52		-159	-56	-103	

Table 1 – Trip Generation Summary

Site No.	Site Name <i>Land Use</i>	Units	Daily		AM Peak Hour				PM Peak Hour			
			Rate	Trips	Rate	Trips	In	Out	Rate	Trips	In	Out
#8 Somersville Towne Center												
Ex	Shopping Center (>150k)	501.259 ksf	37.01	-18,552	0.84	-421	-261	-160	3.4	-1704	-818	-886
Ex	<i>Pass-by Adjustment</i>	19%		3,525		80	50	30		324	155	168
Fu	Single Family Attached Hsg	720 du	7.20	5,184	0.48	346	107	239	0.57	410	234	176
Fu	Shopping Plaza (40-150k)	123.816 ksf	94.49	11,699	3.53	437	271	166	9.03	1118	537	581
Fu	<i>Pass-by Adjustment</i>	19%		-2,223		-83	-51	-32		-212	-102	-110
Fu	General Office Building	20 ksf	10.84	217	1.52	30	27	3	1.44	29	5	24
Net Change				-150		389	143	246		-35	11	-47
#9 99 Cents Only/Big Lots												
Ex	Shopping Plaza (40-150k)	85.305 ksf	67.52	-5,760	1.73	-148	-91	-57	5.19	-443	-217	-226
Ex	<i>Pass-by Adjustment</i>	40%		2,304		59	36	23		177	87	90
Fu	MF Housing (Low Rise)	113 du	6.74	762	0.40	45	11	34	0.51	58	36	22
Fu	Shopping Plaza (40-150k)	57.175 ksf	67.52	3,860	1.73	99	61	38	5.19	297	145	152
Fu	<i>Pass-by Adjustment</i>	40%		-1,544		-40	-24	-15		-119	-58	-61
Net Change				-378		15	-7	23		-30	-7	-23
#10 Crestview Dr/West 10th St												
Ex	Shopping Plaza (40-150k)	50.094 ksf	67.52	-3,382	1.73	-87	-54	-33	5.19	-260	-127	-133
Ex	<i>Pass-by Adjustment</i>	40%		1,353		35	22	13		104	51	53
Fu	MF Housing (Mid-Rise)	115 du	4.54	522	0.37	43	10	33	0.39	45	27	18
Net Change				-1,507		-9	-22	13		-111	-49	-62

Notes: Ex = Existing Land Use; Fu = Estimated Future Land Use Potential; ksf = 1,000 square feet; du = dwelling unit; MF = Multifamily; Hsg = Housing; n/a = not available

Thank you for giving W-Trans the opportunity to provide these services. Please call if you have any questions.

Sincerely,



Kenny Jeong, PE
Senior Engineer

MES/kbj/ANT014.L2




Mark Spencer, PE
Senior Principal





Resolution 2022-02 CIH EIR

Final Audit Report

2022-07-18

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