



Council Chambers
200 H Street
Antioch, CA 94509

Closed Session - 4:00 P.M.
Special Meeting/Study Session - 5:15 P.M.
Regular Meeting - 7:00 P.M.

ANNOTATED AGENDA

for

MAY 28, 2019

Antioch City Council

SPECIAL AND REGULAR MEETING

**Including the Antioch City Council
acting as Housing Successor to the
Antioch Development Agency**

Sean Wright, Mayor
Joyann Motts, Mayor Pro Tem
Monica E. Wilson, Council Member
Lamar Thorpe, Council Member
Lori Ogorchock, Council Member

Arne Simonsen, CMC, City Clerk
James D. Davis, City Treasurer

Ron Bernal, City Manager
Thomas Lloyd Smith, City Attorney

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Notice of Availability of Reports

This agenda is a summary of the actions proposed to be taken by the City Council. For almost every agenda item, materials have been prepared by the City staff for the Council's consideration. These materials include staff reports which explain in detail the item before the Council and the reason for the recommendation. The materials may also include resolutions or ordinances which are proposed to be adopted. Other materials, such as maps and diagrams, may also be included. All of these materials are available at the City Clerk's Office, City Hall, 200 H Street, Antioch, CA 94509, during normal business hours for inspection and (for a fee) copying. Copies are also made available at the Antioch Public Library for inspection. Questions on these materials may be directed to the staff member who prepared them, or to the City Clerk's Office, who will refer you to the appropriate person.

Notice of Opportunity to Address Council

The public has the opportunity to address the Council on each agenda item. To address the Council, fill out a yellow Speaker Request form, available on each side of the entrance doors, and place in the Speaker Card Tray. See the Speakers' Rules on the inside cover of this Agenda. Comments regarding matters not on this Agenda may be addressed during the "Public Comments" section.

4:01 P.M. ROLL CALL – CLOSED SESSIONS – for Council Members – *All Present*

PUBLIC COMMENTS for Closed Sessions – *None*

CLOSED SESSIONS:

- 1) **CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION** significant exposure to litigation pursuant to paragraph (2) of Subdivision (d) of Government Code Section 54956.9: (1 potential case).

Direction given to City Attorney

- 2) **CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION** deciding whether to initiate litigation pursuant to paragraph (4) of Subdivision (d) of Government Code Section 54956.9: (1 potential case).

No reportable action

- 3) **CONFERENCE WITH REAL PROPERTY NEGOTIATORS** pursuant to California Government Code section 54956.8: Orton/Libitzky owned Assessor's Parcel Numbers (APN No.'s): 066-110-009; 074-040-035; 066-101-001. City and Agency Negotiator, City Manager Ron Bernal; Parties – Orton/Libitzky, Antioch Marina LLC.

No reportable action

- 4) **CONFERENCE WITH REAL PROPERTY NEGOTIATORS** pursuant to California Government Code section 54956.8: City and Agency Negotiator, City Manager Ron Bernal; Parties – City Ventures.

No reportable action

5:17 P.M. ROLL CALL – SPECIAL MEETING/STUDY SESSION – for Council Members – *All Present*

PLEDGE OF ALLEGIANCE

STUDY SESSION

STAFF REPORT

1. GENERAL FUND BUDGET DEVELOPMENT 2019-21

Direction given to staff

Recommended Action: It is recommended that the City Council provide feedback and direction regarding the budget development information provided for fiscal years 2019-21.

6:35 P.M.

CONTINUE SPECIAL MEETING/STUDY SESSION AFTER REGULAR MEETING

7:05 P.M.

ROLL CALL – REGULAR MEETING – for City /City Council Members acting as Housing Successor to the Antioch Development Agency – ***All Present***

PLEDGE OF ALLEGIANCE

2. PROCLAMATION

- Recognizing June as LGBT Pride Month, June 2019

Motion to continue to the next meeting, 5/0

Recommended Action: It is recommended that the City Council approve the proclamation.

STAFF REPORT

ANNOUNCEMENTS OF CIVIC AND COMMUNITY EVENTS

PUBLIC COMMENTS – *Members of the public may comment only on unagendized items. The public may comment on agendized items when they come up on this Agenda.*

CITY COUNCIL COMMITTEE REPORTS/COMMUNICATIONS

MAYOR’S COMMENTS

3. *CONSENT CALENDAR for City /City Council Members acting as Housing Successor to the Antioch Development Agency*

A. APPROVAL OF COUNCIL MINUTES FOR APRIL 23, 2019

Approved, 5/0

Recommended Action: It is recommended that the City Council approve the Meeting Minutes.

STAFF REPORT

B. APPROVAL OF SPECIAL MEETING MINUTES FOR APRIL 30, 2019

Approved, 5/0

Recommended Action: It is recommended that the City Council approve the Special Meeting Minutes.

STAFF REPORT

C. APPROVAL OF COUNCIL MINUTES FOR MAY 14, 2019

Continued, 5/0

Recommended Action: It is recommended that the City Council continue the Meeting Minutes to the next meeting.

STAFF REPORT

D. APPROVAL OF COUNCIL WARRANTS

Approved, 5/0

Recommended Action: It is recommended that the City Council approve the warrants.

STAFF REPORT

E. APPROVAL OF TREASURER’S REPORT FOR APRIL 2019

Approved, 5/0

Recommended Action: It is recommended that the City Council approve the report.

CONSENT CALENDAR for City /City Council Members acting as Housing Successor to the Antioch Development Agency – Continued

- F. SECOND READING - AMCAL FAMILY/SENIOR APARTMENTS (Z-18-01, UP-18-04, AR-18-06, PW-357-RA-57) (*Introduced on 05/14/19*)

Ord. No. 2166-C-S adopted, 5/0

Recommended Action: It is recommended that the City Council adopt the Ordinance approving a rezone of the project site from Planned Development (PD-08-06) to High Density Residential (R-25) and Senior Housing Overlay District (SH).

STAFF REPORT

- G. RESOLUTION ESTABLISHING THE APPROPRIATIONS LIMIT FOR THE 2019-20 FISCAL YEAR

Reso No. 2019/76 adopted, 5/0

Recommended Action: It is recommended that the City Council adopt the resolution establishing the appropriations limit for the 2019-20 Fiscal Year pursuant to California Constitution Article XIII B.

STAFF REPORT

- H. PREWETT PARK CONCRETE IMPROVEMENTS, PHASE II (P.W. 567-7) – ACCEPTANCE OF WORK/NOTICE OF COMPLETION

Reso No. 2019/77 adopted, 5/0

Recommended Action: It is recommended that the City Council adopt a resolution increasing the existing contract with Mercoza in the amount of \$1,280, accepting work and authorizing the Public Works Director/City Engineer to file a Notice of Completion for the Prewett Park Concrete Improvements, Phase II project.

STAFF REPORT

- I. FAWN HILL WAY WATER MAIN REPLACEMENT (P.W. 503-17) – ACCEPTANCE OF WORK/NOTICE OF COMPLETION

Reso No. 2019/78 adopted, 5/0

Recommended Action: It is recommended that the City Council adopt a resolution increasing the existing contract with R.J. Gordon Construction, Inc. in the amount of \$14,851.59 for a total contract of \$1,411,576.59, accepting work and authorizing the Public Works Director/City Engineer to file a Notice of Completion for the Fawn Hill Way Water Main Replacement project.

STAFF REPORT

- J. FIRST AMENDMENT TO THE CONSULTING SERVICES AGREEMENT WITH HARRIS AND ASSOCIATES FOR ON-CALL PLAN REVIEW SERVICES

Reso No. 2019/79 adopted, 5/0

Recommended Action: It is recommended that the City Council adopt a resolution approving the first amendment to the Consulting Services Agreement with Harris & Associates for on-call plan review services increasing the existing contract by \$48,660 for an amount not to exceed \$177,413.

STAFF REPORT

CONSENT CALENDAR for City /City Council Members acting as Housing Successor to the Antioch Development Agency – Continued

K. ANNUAL WATER TREATMENT CHEMICALS PURCHASE

Reso No. 2019/80 adopted, 5/0

Recommended Action: It is recommended that the City Council adopt a resolution authorizing the City Manager, or his designee, to approve chemical purchase orders with: Chemtrade Chemicals; Industrial Solutions Services; Thatcher Company of California; Univar; and Solvay Fluoride in an amount not to exceed \$1,099,675 for the period of July 1, 2019 through June 30, 2020.

STAFF REPORT

City of Antioch Acting as Housing Successor to the Antioch Development Agency

L. APPROVAL OF HOUSING SUCCESSOR WARRANTS

Approved, 5/0

Recommended Action: It is recommended that the City Council approve the warrants.

STAFF REPORT

PUBLIC HEARING / CITY OF ANTIOCH COUNCIL MEMBERS ACTING AS HOUSING SUCCESSOR TO THE ANTIOCH DEVELOPMENT AGENCY

4. PROPOSED UPDATES TO THE MASTER FEE SCHEDULE EFFECTIVE JULY 1, 2019

Reso No. 2019/81 adopted, 5/0

STAFF REPORT

It is recommended that the City Council adopt the resolution approving updates to the Master Fee Schedule effective July 1, 2019.

5. PROPOSED BOND ISSUANCE BY THE CALIFORNIA MUNICIPAL FINANCE AUTHORITY ("CMFA") TO AMCAL ANTIOCH FUND, L.P. TO CREATE 394 UNITS OF MULTIFAMILY RENTAL HOUSING KNOWN AS THE ANTIOCH FAMILY AND SENIOR APARTMENTS

Reso No. 2019/82 adopted, 5/0

Recommended Action: It is recommended that the City Council take the following actions:

STAFF REPORT

- 1) Conduct the public hearing under the requirement of TEFRA and the Internal Revenue Code of 1986, as amended (the "Code").
- 2) Adopt the Resolution approving the Joint Exercise of Powers Agreement with the California Municipal Finance Authority (CMFA) and issuance of the Bonds by CMFA in an amount not to exceed \$120,000,000 (the "Bonds"), to assist in financing the costs of the acquisition, construction, improvement and equipping of a 394-unit multifamily rental housing project located at 3560 East 18th Street, Antioch California, and are generally known as Antioch Family and Senior Apartments (the "Project").

PUBLIC HEARING / CITY OF ANTIOCH COUNCIL MEMBERS ACTING AS HOUSING SUCCESSOR TO THE ANTIOCH DEVELOPMENT AGENCY – Continued

6. CONSIDERATION OF RECOMMENDATIONS WHICH COMPRISE THE 2019-20 ACTION PLAN, UTILIZING COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG) AND HOUSING SUCCESSOR AGENCY (AGENCY) FUNDS

Reso No. 2019/83 adopted with changes AND

Recommended Action: 1) It is recommended that the City Council adopt the Resolution approving the funding recommendations of the CDBG Subcommittee and the draft fiscal year (FY) 2019-20 Action Plan.

Reso No. 2019/84 adopted with changes, 5/0

2) It is recommended that the Housing Successor to the Antioch Development Agency adopt the Resolution approving the funding recommendations of the CDBG subcommittee and the Housing Successor funding for homeless services, housing rehabilitation and first-time homebuyer programs and subsidies outlined in the 2019-20 Action Plan.

STAFF REPORT

7. ACORN BUSINESS PARK (PD-18-02, UP-18-09, AR-18-09, PW-357-301-19)

Recommended Action: It is recommended that the City Council take the following actions:

Reso No. 2019/85 adopted, 5/0

1) Adopt the Resolution approving the Acorn Business Park Initial Study/Mitigated Negative Declaration, Mitigation Monitoring and Reporting Program and Errata for the Project.

To 06/11/19 for adoption, 5/0

2) Introduce the Ordinance approving a rezone of the project site from Planned Business Center (PBC) and Regional Commercial (C-3) to Planned Development District (PD-18-02).

Reso No. 2019/86 adopted, 5/0

3) Adopt the Resolution approving a Vesting Tentative Map/Final Development Plan, Use Permit and Design Review for Subsection B subject to conditions of approval (UP-18-09, AR-18-09, PW-357-301-19).

STAFF REPORT

COUNCIL REGULAR AGENDA

8. APPROVING A RESOLUTION SUPPORTING THE CITY'S PARTICIPATION IN THE 2020 CENSUS EFFORTS TO ENSURE A COMPLETE AND ACCURATE COUNT OF ANTIOCH RESIDENTS

Recommended Action: It is recommended that the City Council take the following actions:

Reso No. 2019/87 adopted, 5/0

1) Adopt a resolution supporting the City's participation in the 2020 Census.

STAFF REPORT

- 2) Discuss and appoint a Council member or staff member to be the City's point of contact on the Census effort.

COUNCIL REGULAR AGENDA – Continued

9. RESOLUTION TO FORM A CANNABIS AD HOC COMMITTEE

***Reso No. 2019/88 adopted
Appointing Council Members Wilson and Thorpe
For the duration of eight (8) months,
5/0***

Recommended Action: It is recommended that the City Council take the following actions:

- 1) Adopt a resolution to form the Cannabis Ad Hoc Committee;
- 2) Discuss and confirm the appointment of two (2) members for the Cannabis Ad Hoc Committee; and
- 3) Discuss and confirm the duration of the Cannabis Ad Hoc Committee.

STAFF REPORT

PUBLIC COMMENT

STAFF COMMUNICATIONS

COUNCIL COMMUNICATIONS AND FUTURE AGENDA ITEMS – *Council Members report out various activities and any Council Member may place an item for discussion and direction on a future agenda. Timing determined by Mayor and City Manager – no longer than 6 months.*

9:24 P.M. ADJOURNMENT OF REGULAR MEETING to Break

9:34 P.M. CONTINUATION OF SPECIAL MEETING/STUDY SESSION

ROLL CALL – SPECIAL MEETING/STUDY SESSION – for Council Members – ***All Present***

STUDY SESSION

1. GENERAL FUND BUDGET DEVELOPMENT 2019-21

Direction given to staff

Recommended Action: It is recommended that the City Council provide feedback and direction regarding the budget development information provided for fiscal years 2019-21.

PUBLIC COMMENT



STAFF REPORT TO THE CITY COUNCIL

DATE: Special Meeting of May 28, 2019

TO: Honorable Mayor and Members of the City Council

SUBMITTED BY: Dawn Merchant, Finance Director

REVIEWED BY: Ron Bernal, City Manager

SUBJECT: General Fund Budget Development 2019-21

RECOMMENDED ACTION

It is recommended that the City Council provide feedback and direction regarding the budget development information provided for fiscal years 2019-20.

FISCAL IMPACT

The fiscal impact of this budget is outlined in this report and attachments.

DISCUSSION

The purpose of this study session is to do a final review of the General Fund budget that incorporates all feedback and additional positions recommended at the last General Fund budget study session.

At the April 9th study session, Council added the following additional staffing to the proposed budget:

1. One (1) additional Animal Control Attendant for a total of 2 added positions – net General Fund cost of \$16,910 in FY20 and \$38,602 in FY21 (offset by part-time help savings).
2. Three (3) CSO's at a General Fund cost of \$175,635 in FY20 and \$386,865 in FY21.
3. One (1) additional Police Records Technician (for a total of 2 added positions) at a General Fund cost of \$49,503 in FY20 and \$107,267 in FY21.
4. One (1) Office Assistant position at the Animal Shelter at a General Fund cost of \$37,909 in FY20 and \$83,688 in FY21.

A revised staffing table follows on the next page.

ADDED STAFFING IN PROPOSED BUDGET

Department/ Position Request	FY19/20 General Fund	FY19/20 Other Funds	FY20/21 General Fund	FY20/21 Other Funds
	Amount	Amount	Amount	Amount
Community Development				
General Laborer (2)	\$ 88,250	\$ -	\$ 191,990	\$ -
PTH Savings	(17,500)	-	(35,000)	-
Code Enforcement Officer (4)	264,292	-	576,980	-
Contract Officer Savings	(125,000)	-	(250,000)	-
Reclassify General Laborers	19,575	-	21,200	-
Assistant Planner	66,308	-	144,765	-
Development Services Tech (1)	61,565	-	140,920	-
PTH Savings	(12,000)	-	(24,000)	-
Total Community Dev.	\$ 345,490	\$ -	\$ 766,855	\$ -
Police				
Crime Analyst	\$ 72,915	\$ -	\$ 159,515	\$ -
DVM	128,987	-	288,184	-
PTH Savings	(37,000)	-	(74,000)	-
Animal Care Attendant (2)	63,820	-	137,204	-
PTH Savings	(30,000)	-	(60,000)	-
Office Assistant (Animal Shelter)	37,909	-	83,688	-
CSO's (3)	175,635	-	386,865	-
Records Technician (2)	99,005	-	214,534	-
Police Officers (6) = 110 sworn	1,091,103	-	1,156,258	-
Police Officers (2) = 112 sworn	189,712	-	425,500	-
Police Officers (3) = 115 sworn	-	-	638,250	-
Total Police	\$ 1,792,086	\$ -	\$ 3,355,998	\$ -
Information Systems				
Computer Technician	\$ -	\$ -	\$ -	\$ 115,328
Public Works				
Engineer	\$ 16,436	\$ 49,310	\$ 35,714	\$ 107,142
Administrative Assistant (2)	-	90,850	-	196,524
Landscape Maintenance Wkr	26,320	26,320	57,682	57,682
Water Treatment Maint. Wkr.	-	58,708	-	134,540
Facility Maintenance Wkr.	26,320	26,320	58,491	58,491
Freeze Deputy Director	(43,011)	(202,769)	(46,389)	(218,689)
Total Public Works	\$ 26,065	\$ 48,739	\$ 105,498	\$ 335,690
Recreation				
Reclassify Specialists	\$ 26,190	\$ -	\$ 44,366	\$ -
Office Assistant	37,909	-	83,688	-
Total Recreation	\$ 64,099	\$ -	\$ 128,054	\$ -
City Manager				
PIO	\$ 100,000	\$ -	\$ 180,000	\$ -
Freeze Asst. City Manager	(371,982)	-	(408,269)	-
Total City Manager	\$ (271,982)	\$ -	\$ (228,269)	\$ -
Human Resources				
HR Technician	\$ 63,941	\$ -	\$ 138,954	\$ -
Risk Manager	-	90,996	-	196,000
Total Human Resources	\$ 63,941	\$ 90,996	\$ 138,954	\$ 196,000
Finance				
Accountant	\$ 65,598	-	\$ 144,870	-
Total of All Positions	\$ 2,085,298	\$ 139,735	\$ 4,411,960	\$ 647,018

As part of the revised proposed budget presented, the following items are also incorporated per Council direction on April 9th:

1. Increase in Economic Development funding in the amount of \$225,000 each budget year.
2. Shift of \$50,000 budgeted for sesquicentennial celebration from fiscal year 2020-21 to fiscal year 2019-20 budget.

The following additional items were updated in the draft budget:

- The FY19/20 funding for the Public Information Officer (PIO) position was increased by \$36,059 to \$100,000 and FY20/21 was increased by \$30,520 to \$180,000 based on preliminary research done on how much this position will cost.
- Increased current year gas and electric franchise fees and outlying projections based on the actual receipts that came in April after the prior study session.
- Increased 1% Measure W sales tax budget based on the latest projections from our sales tax consultant.
- Increased plan check and inspection fees in the current year based on year to date billings.

As a result of the updates, the revised budgets look as follows:

	June 30, 2019 Revised	June 30, 2020 Proposed	June 30, 2021 Proposed
Projected Fund Balance July 1,	\$15,143,536	\$19,730,518	\$20,521,621
Revenues:			
Taxes	43,945,968	44,962,583	47,121,822
Taxes – Measure C	5,643,557	0	0
1% Sales Tax	3,702,710	15,145,698	15,706,984
Licenses & Permits	1,472,865	1,280,000	1,280,000
Fines & Penalties	120,000	135,000	135,000
Investment Income & Rentals	590,000	570,000	575,000
Revenue from Other Agencies	883,616	288,976	288,976
Current Service Charges	2,745,131	2,831,646	4,110,403
Other Revenue	1,238,337	879,000	618,000
Transfers In	3,273,312	3,433,778	3,587,987
Total Revenues	63,615,496	69,526,681	73,424,172
Expenditures:			
Legislative & Administrative	3,346,680	4,146,624	4,545,058
Finance	1,451,451	1,482,096	1,779,552
Nondepartmental	2,930,398	3,321,375	2,878,769
Public Works	7,826,667	8,598,781	8,704,312
Police Services	30,753,699	42,792,051	45,748,360
Police Services – Measure C	6,020,872	0	0
Police Services – Animal Support	1,204,182	1,483,186	1,758,890
Recreation/Community Services	1,599,292	2,579,506	3,030,382
Community Development	3,474,132	4,331,959	4,694,549
Code Enforcement – Measure C	421,141	0	0
Total Expenditures	59,028,514	68,735,578	73,139,872
Net	4,586,982	791,103	284,300
Projected Fund Balance June 30,	\$19,730,518	\$20,521,621	\$20,805,921
Committed for Projects	320,000	0	0
Committed for Compensated Absences	113,691	115,000	115,000
Committed for Litigation Reserve	500,000	500,000	500,000
Unassigned Reserve %	29.55%	28.63%	27.50%

Updated General Fund projections are provided in Attachment A. The City is successfully able to maintain 20% reserves through FY25 with utilization of the Budget Stabilization fund beginning in FY24. Reserves are projected to drop to 15.25% from 20% in FY26 as previously projected with full depletion of the Stabilization Fund as a result of the additional staffing requested by Council to be added (as outlined on page 1). The City would need either an additional \$6.5M in revenues or expenditure reductions (or a combination thereof) to meet the 20% unassigned reserve policy balance. There are some additional budget considerations that staff would like direction on that could impact the projections further as outlined starting on the next page.

ADDITIONAL ITEMS FOR CONSIDERATION

Allocation of the 1% Sales Tax (Measure W)

In November 2018, Antioch voters approved Measure W, a one-cent sales tax which became effective April 1, 2019. The measure requires continuation of the Measure C Sales Tax Citizens' Oversight Committee to review the receipt and expenditure of funds. In order to clearly outline the expenditure of funds for the Committee to review, Council will need to give direction on the spending priorities of the funds. Based on the additions to the FY19-21 budget as a result of the new sales tax to be received, staff is proposing the following matrix to demonstrate the use of funds:

	June 30, 2019	June 30, 2020	June 30, 2021
Total 1% Sales Tax	\$3,702,710	\$15,145,698	\$15,706,984
Allocation:			
Police (a)	3,584,710	12,265,094	11,763,594
Code Enforcement (b)	118,000	1,245,467	1,571,824
Recreation (c)	0	1,170,214	1,741,090
Community Development (d)	0	66,308	144,765
Public Works (e)	0	69,076	151,887
Human Resources (f)	0	63,941	138,954
Finance (g)	0	65,598	144,870
Non-Departmental (h)	0	200,000	50,000
Total Allocation	\$3,702,710	\$15,145,698	\$15,706,984

- (a) The allocation to the Police Department is calculated based on remaining funds after other allocations (b) through (h) are made.
- (b) Code Enforcement allocation calculated to include costs of prior staffing funded with Measure C, 2 additional General Laborer positions, 4 additional Code Enforcement Officers, 1 additional Development Services/Engineering Technician, and reclassification of existing General Laborers to Street Maintenance Workers.
- (c) Recreation allocation calculated in each year as the total amount of the General Fund transfer increase over FY19 which includes the \$350,000 and \$700,000 additional funding provided in each respective budget year for additional programs and/or services.
- (d) Community Development allocation calculated as the cost of 1 additional Planner position.
- (e) Public Works allocation calculated as the General Fund cost of 1 additional Engineer, Landscape Maintenance Worker and Facility Maintenance Worker position. These positions will be partially funded with other funds of the City.
- (f) Human Resources allocation calculated as the cost of 1 Human Resources Technician position.
- (g) Finance allocation calculated as the cost of 1 additional Accountant position.

- (h) Non-Departmental allocation calculated as cost of City Hall modifications and additional community grants for youth in FY20 and additional community grants for youth in FY21.

Staff recommends basing the allocation amounts on the specific expenditures as outlined in (a) through (h) to be able to provide an accurate accounting of the use of the tax for the Committee.

Elected Officials Salaries

Council salaries are set by ordinance as follows:

ARTICLE 2: SALARIES

Bookmark§ 2-1.201 AUTHORIZED.

This article is enacted pursuant to Cal. Gov't Code § 36516, as revised by Chapter 100 of the Statutes of 1984.

('66 Code, § 2-1.201) (Ord. 587-C-S, passed 9-27-84)

Bookmark§ 2-1.202 (RESERVED)

Bookmark§ 2-1.203 PAYMENT.

Each member of the Council shall receive as salary the sum of money as prescribed in Cal. Gov't Code § 36516 for cities of more than 50,000 in population and less than 75,000 in population, which salary shall be payable from and after the operative date of this article at the same time and in the same manner as salaries are paid to other officers and employees of the city.

('66 Code, § 2-1.203) (Ord. 587-C-S, passed 9-27-84; Am. Ord. 651-C-S, passed 11-13-86)

Bookmark§ 2-1.204 INCREASES AND DECREASES.

Following any new and later estimate of population made by the State Department of Finance placing the city in a population group other than that set forth in § 2-1.203 of this article, the salary payable to each member of the Council shall be increased or decreased accordingly to equal the sum prescribed for that population group in Cal. Gov't Code § 36516, as amended by Chapter 100 of the Statutes of 1984; provided, however, the salary so increased or decreased shall become payable only on and after the date upon which one or more members of the Council become eligible therefor by virtue of beginning a new term of office following the next succeeding general municipal election held in the city.

('66 Code, § 2-1.204) (Ord. 587-C-S, passed 9-27-84)

Bookmark§ 2-1.205 EFFECT OF STATE LEGISLATION.

Any subsequent legislation by the State Legislature shall not be interpreted as increasing the salaries to be paid to members of the Council by virtue of this article unless and until the Council duly adopts an ordinance or an amendment to an ordinance in accordance therewith.

('66 Code, § 2-1.205)(Ord. 587-C-S, passed 9-27-84)

Bookmark§ 2-1.206 SETTING OF RATE; OPERATIVE DATE.

Pursuant to Cal. Gov't Code § 36516, the salary for each member of the Council is hereby set at \$941.20 per month. The provisions of this section shall become operative on January 1, 2007.

('66 Code, § 2-1.206) (Ord. 587-C-S, passed 9-27-84; Am. Ord. 651-C-S, passed 11-13-86; Am. Ord. 715-C-S, passed 7-14-88; Am. Ord. 787-C-S, passed 8-23-90; Am. Ord. 977-C-S, passed 8-22-00; Am. Ord. 1076-C-S, passed 9-12-06)

Here is the Government Code section regarding Council salaries that our ordinance references:

Cal. Gov't Code § 36516

(a) (1) A city council may enact an ordinance providing that each member of the city council shall receive a salary based on the population of the city as set forth in paragraph (2).

(2) The salaries approved by ordinance under paragraph (1) shall be as follows:

(A) In cities up to and including 35,000 in population, up to and including three hundred dollars (\$300) per month.

(B) In cities over 35,000 up to and including 50,000 in population, up to and including four hundred dollars (\$400) per month.

(C) In cities over 50,000 up to and including 75,000 in population, up to and including five hundred dollars (\$500) per month.

(D) In cities over 75,000 up to and including 150,000 in population, up to and including six hundred dollars (\$600) per month.

(E) In cities over 150,000 up to and including 250,000 in population, up to and including eight hundred dollars (\$800) per month.

(F) In cities over 250,000 population, up to and including one thousand dollars (\$1,000) per month.

(3) For the purposes of this subdivision, the population of a city shall be determined by the last preceding federal census, or a subsequent census, or estimate validated by the Department of Finance.

(4) The salary of council members may be increased beyond the amount provided in this subdivision by an ordinance or by an amendment to an ordinance, but the amount of the increase shall not exceed an amount equal to 5 percent for each calendar year from the operative date of the last adjustment of the salary in effect when the ordinance or amendment is enacted. No ordinance shall be enacted or amended to provide automatic future increases in salary.

(b) Notwithstanding subdivision (a), at any municipal election, the question of whether city council members shall receive a salary for services, and the amount of that salary, may be submitted to the electors. If a majority of the electors voting at the election favor it, all of the council members shall receive the salary specified in the election call. The salary of council members may be increased beyond the amount provided in this section or decreased below the amount in the same manner.

(c) Unless specifically authorized by another statute, a city council may not enact an ordinance providing for compensation to city council members in excess of that authorized by the procedures described in subdivisions (a) and (b). For the purposes of this section, compensation includes payment for service by a city council member on a commission, committee, board, authority, or similar body on which the city council member serves. If the other statute that authorizes the compensation does not specify the amount of compensation, the maximum amount shall be one hundred fifty dollars (\$150) per month for each commission, committee, board, authority, or similar body.

(d) Any amounts paid by a city for retirement, health and welfare, and federal social security benefits shall not be included for purposes of determining salary under this section, provided that the same benefits are available and paid by the city for its employees.

(e) Any amounts paid by a city to reimburse a council member for actual and necessary expenses pursuant to Section 36514.5 shall not be included for purposes of determining salary pursuant to this section.

The elected City Clerk and City Treasurer positions follow Council salaries per City ordinance. The last time elected official salaries were adjusted was in January 2007. Based on current government code, the City is now in the population bracket of 75,000 up to 150,000 which means the salary is up to and including \$600 per month and all of our elected officials currently make \$941.20 per month. However, the government code does allow either a municipal election to increase salaries to a stated amount to be approved by the voters or the City can increase the salary by a maximum of 5% per each calendar year operative from the last date of increase. Should the Council desire to increase elected officials' salaries, staff would recommend the 5% increase option verses a municipal election. The increase would then become effective January 1, 2021 as our City ordinance states that increases become effective at the beginning of a new term of office or municipal election.

Based on how prior elected official increases have been calculated, a new increase would be for 14 calendar years (calendar year 2007 through 2020) at 5% for a total of a 70% increase and new monthly salary amount of \$1,600.04 per month, or an increase of \$55,342.56 per year for all 7 elected officials. Should Council desire to move forward, the City Attorney would need to draft an update to the ordinance for Council to consider and staff will build this into the FY20/21 budget. The initial impact would be for 6 months at a General Fund cost of \$27,672 in this budget cycle.

Addition of Contracted Grant Writer

In December 2018, Council member Ogorchock requested an agenda item be brought back to discuss the City getting an independent contractor for grant writing. Should the Council majority desire this, an amount to budget should be provided to staff to build into this proposed budget.

NEXT STEPS

The final document incorporating all budgets that have been presented will be brought for Council consideration on June 25, 2019. The City must adopt a budget by June 30, 2019.

ATTACHMENTS

- A. Updated General Fund Budget Projections

GENERAL FUND PROJECTIONS - MAY 28, 2019

	2018-19	2019-20	2020-21	2021-22	2022-23	2023-24	2024-25	2025-26
Beginning Fund Balance	\$15,143,536	\$19,730,518	\$20,521,621	\$20,805,921	\$19,553,323	\$17,615,790	\$16,388,326	\$16,818,214
Taxes	43,945,968	44,962,583	47,121,822	48,896,514	50,310,543	51,778,374	53,274,803	54,827,781
Taxes - Measure C	5,643,557	0	0	0	0	0	0	0
1% Sales Tax	3,702,710	15,145,698	15,706,984	16,300,000	16,821,600	17,343,070	17,863,362	18,399,263
Services Charges/Permits	4,217,996	4,111,646	5,390,403	4,126,563	4,144,319	4,168,102	4,186,362	4,211,115
All Other Revenues	2,831,953	1,872,976	1,616,976	1,889,976	1,799,976	1,559,976	1,519,976	1,529,976
Transfers In	3,273,312	3,433,778	3,587,987	3,706,911	3,859,195	6,408,017	9,542,136	6,913,353
Total Revenues	63,615,496	69,526,681	73,424,172	74,919,964	76,935,633	81,257,538	86,386,638	85,881,487
Personnel	40,987,507	47,793,802	52,657,867	55,459,399	58,075,009	60,904,965	63,501,371	66,080,914
Services/Supplies/Transfers	18,041,007	20,941,776	20,482,005	20,713,163	20,798,157	21,580,037	22,455,380	23,301,250
Total Expenditures	59,028,514	68,735,578	73,139,872	76,172,562	78,873,166	82,485,002	85,956,751	89,382,164
% Change		16%	6%	4%	4%	5%	4%	4%
Surplus/(Deficit)	4,586,982	791,103	284,300	(1,252,598)	(1,937,533)	(1,227,464)	429,887	(3,500,677)
Ending Fund Balance	\$19,730,518	\$20,521,621	\$20,805,921	\$19,553,323	\$17,615,790	\$16,388,326	\$16,818,214	\$13,317,537
Committed	933,691	615,000	615,000	615,000	615,000	615,000	615,000	615,000
Unassigned	\$18,796,827	\$19,906,621	\$20,190,921	\$18,938,323	\$17,000,790	\$15,773,326	\$16,203,214	\$12,702,537
Unassigned %	29.55%	28.63%	27.50%	25.28%	22.10%	20.00%	20.00%	15.25%

Note: Stabilization funds utilized starting in FY24



**RECOGNIZING JUNE AS LGBT PRIDE MONTH
IN THE CITY OF ANTIOCH**

WHEREAS, the City of Antioch has a diverse Lesbian, Gay, Bisexual, Transgender (LGBT) community and is committed to supporting visibility, dignity and equality for all people in the community; and

WHEREAS, many of the residents, students, city employees, and business owners within the City of Antioch who contribute to the enrichment of our City are a part of the lesbian, gay, bisexual, transgender, and questioning community; and

WHEREAS, various advancements have been made with respect to equitable treatment of lesbians, gay men, bisexual, transgender, and questioning persons throughout the nation, but there continues to be some opposition against people from this community and around the world making it important for cities like Antioch to stand up and show support for our residents who are affected; and

WHEREAS, several cities across the United States recognize and celebrate June as LGBT Pride Month; and

WHEREAS, June has become a symbolic month in which lesbian women, gay men, bisexual people, transgender people, and supporters come together in various celebrations of pride; and

WHEREAS, the rainbow flag, also known as the LGBT pride flag or gay pride flag, has been used since the 1970's as a symbol of Lesbian, Gay, Bisexual, Transgender pride and LGBT social movements; and

WHEREAS, flying the rainbow flag at City Hall throughout the month of June further symbolizes the City's celebration of diversity and support for the Lesbian, Gay, Bisexual, Transgender, and Questioning community.

NOW, THEREFORE, I, SEAN WRIGHT, Mayor of the City of Antioch, do hereby declare the month of June as LGBT Pride Month in the City of Antioch, and invite everyone to reflect on ways we all can live and work together with a commitment to mutual respect and understanding, and further, recognizes Pride Month by flying the rainbow flag at City Hall during the month of June.

MAY 28, 2019

SEAN WRIGHT, Mayor

**CITY COUNCIL MEETING
INCLUDING THE ANTIOCH CITY COUNCIL
ACTING AS HOUSING SUCCESSOR
TO THE ANTIOCH DEVELOPMENT AGENCY**

**Special/Regular Meeting
7:00 P.M.**

**April 23, 2019
Council Chambers**

Mayor Wright called the Special Meeting/Study Session to order at 5:30 P.M., and City Clerk Simonsen called the roll.

Present: Council Members Wilson, Motts, Thorpe, Ogorchock and Mayor Wright

PLEDGE OF ALLEGIANCE

Councilmember Ogorchock led the Council and audience in the Pledge of Allegiance.

**1. PRESENTATION OF THE DRAFT 5-YEAR CAPITAL IMPROVEMENT PROGRAM
2019-2024 (P.W. 150-19)**

City Manager Bernal introduced Study Session Agenda Item #1.

Project Manager Buenting presented the PowerPoint presentation and staff report dated April 23, 2019 recommending the City Council review and provide feedback to staff regarding the draft 5-Year Capital Improvement Program (CIP) 2019-2024.

Councilmember Thorpe stated in an effort to phase projects in, he requested a master plan be developed for the “L” Street corridor improvements as well as other major corridor beautification projects in the CIP.

Councilmember Motts spoke in support of including “A” Street and 10th Street in a corridor improvement master plan. She requested development of “The Yard” property be added to the CIP, for a minimum of irrigation and grass.

Councilmember Wilson requested 18th Street corridor between Hillcrest and “A” Street be added to a corridor improvement master plan.

In response to Councilmember Wilson, Project Manager Buenting reviewed the vision for the current CIP plan.

In response to Councilmember Motts, Director of Parks and Recreation Kaiser discussed operational and maintenance improvements made at the Antioch Senior Center/Nick Rodriguez Community Center complex. She noted replacement flooring for the dining hall was included in the 5-year CIP.

Public Comment

Lee Ballesteros, representing Drama Factory, suggested utilizing some of the mural and utility box project funding for theater improvements at the Nick Rodriguez Center. She acknowledged Director of Parks and Recreation Kaiser for being proactive and listening to their concerns.

Councilmember Wilson suggested staff, in coordination with East Bay Regional Parks, develop a trail maintenance plan.

City Manager Bernal requested clarification from Council with regards to timing for the additional items requested to be added to the CIP.

Councilmember Thorpe clarified that his request was not for budgeting; it was planning for phasing the corridor improvement projects, in future years.

Councilmember Ogorchock suggested prioritizing the Council list of priorities and waiting until development of “The Yard” property was determined, prior to moving forward with allocating funds for a project.

Councilmember Thorpe responded that all of Council’s priorities had different timelines and were not based on priority at this moment.

Councilmember Motts clarified that her request for “The Yard” project was for staff to provide a cost estimate for the installation of grass and irrigation on the property. She noted private partnerships were willing to support this effort.

Councilmember Thorpe stated irrespective of what “The Yard” property will be, he supported filling it with grass, until it is developed.

City Manager Bernal commented that costs estimates for the project would include ongoing maintenance.

Mayor Wright adjourned the Study Session at 6:15 P.M.

Mayor Wright called the Regular Meeting to order at 7:03 P.M., and City Clerk Simonsen called the roll.

Present: Council Members Wilson, Motts, Thorpe, Ogorchock and Mayor Wright

PLEDGE OF ALLEGIANCE

Councilmember Wilson led the Council and audience in the Pledge of Allegiance.

2. PROCLAMATIONS

National Sexual Assault Awareness Month, April 2019

Be Kind to Animals Week, May 5 – 11, 2019

Antioch American Legion's 100 Year Anniversary

Celebrating the 50th Anniversary of Municipal Clerks Week, May 5- 11, 2019

On motion by Councilmember Ogorchock, seconded by Councilmember Thorpe, the Council unanimously approved the Proclamations.

Mayor Wright and Councilmember Wilson presented the *National Sexual Assault Awareness Month* proclamation to Lucia Ray representing Community Violence Solutions, who thanked the City Council for the recognition and discussed services provided by their organization. She invited the community to participate in a Community Against Rape and Sex Trafficking Solidarity March from 10:00 A.M. – 1:00 P.M. on April 27, 2019, from City Hall to the Antioch Historical Society Museum.

Mayor Wright presented the *Be Kind to Animals Week* proclamation to Barbara Sobalvarro and Michele Kuslits representing Friends of Animal Services (FOAS) and George Harding, Animal Shelter Manager, who thanked the City Council for the recognition. They announced FOAS would be sponsoring adoption fees for the month of May and hosting a celebration at the shelter on May 11, 2019.

The City Council presented the *Antioch American Legion's 100 Year Anniversary* proclamation to members of the Antioch American Legion Harding-Noia Post 161 who thanked the City Council for the recognition.

Mayor Wright presented the *Celebrating the 50th Anniversary of Municipal Clerks Week* proclamation to City Clerk Simonsen who thanked the City Council for the recognition and their support. He acknowledged Deputy City Clerk Garcia for her dedication to the Clerk's office.

ANNOUNCEMENTS OF CIVIC AND COMMUNITY EVENTS

Councilmember Wilson announced the Community Against Rape and Sex Trafficking Solidarity March and Resource Fair would begin at 10:00 A.M. on April 27, 2019, at City Hall. She announced that Detective Rose from the Antioch Police Department would be one of the speakers.

JR Wilson, Delta Veterans Group, announced the following Memorial Day events:

- Memorial Day Banners Ceremony – May 24, 2019 on "L" Street
- 2nd Annual Delta Softball Tournament of Heroes – May 25 - 26, 2019
- Services at Oak View Cemetery – May 27, 2019

He recognized Councilmember Ogorchock and City Manager Bernal for their support of the banner program. He acknowledged Director of Parks and Recreation Kaiser for donating the fields for the tournament and Council for awarding them a grant for the event. Contact information was provided for anyone wishing to participate in the tournament.

Director of Parks and Recreation Kaiser announced Get Active Antioch Recreation and Health Expo would take place on May 11, 2019, at the Antioch Community Center and Water Park.

PUBLIC COMMENTS

Joshua Jones, Antioch resident, thanked Council and staff for their hard work. He announced the Antioch Prayer Breakfast would be held at the Lone Tree Golf Course and Event Center. He presented Council with tickets to the event.

Corey Chan and Linda Solivan, Antioch residents and Linda Flower representing Climate Reality Project, requested Council agendaize a discussion regarding Antioch joining MCE, as their Consumer Choice Aggregate. Ms. Solivan stated that the City may have a conflict of interest with PG&E being named Antioch Large Business of the Year; however, they encouraged them allow residents a choice. They provided literature for Council to review.

COUNCIL SUBCOMMITTEE REPORTS/COMMUNICATIONS

Councilmember Wilson reported on her attendance at the Contra Costa Transportation Authority meeting and Cannabis Conference.

Councilmember Motts reported on her attendance at the City/School District Ah Hoc Committee, Sesquicentennial Committee and Community-Based Transportation Plan Steering Committee meetings.

Councilmember Thorpe announced Tri Delta Transit meeting would be held on April 24, 2019. He reported on his attendance at the Cannabis Regulatory Conference.

Councilmember Ogorchock reported on her attendance at the City/School District Ah Hoc Committee meeting and her participation in the Every 15 Minutes Program at Deer Valley High. She thanked everyone who took part in the program and encouraged everyone to have their children watch the video, and participate.

Councilmember Thorpe, speaking to earlier public comment, clarified that it was not the City, but the Chamber of Commerce, who awarded the Business of the Year.

Mayor Wright reported on his attendance at the Sesquicentennial Committee and Delta Diablo Sanitary District meetings.

MAYOR'S COMMENTS

Mayor Wright thanked everyone to who participated in the Antioch Rotary 5k Bunny Hop event.

3. **CONSENT CALENDAR for City /City Council Members acting as Housing Successor to the Antioch Development Agency**
 - A. **APPROVAL OF COUNCIL MINUTES FOR MARCH 26, 2019**
 - B. **APPROVAL OF COUNCIL MINUTES FOR APRIL 9, 2019**
 - C. **APPROVAL OF COUNCIL WARRANTS**
 - D. **REJECTION OF CLAIMS: (1) CAMERON ROCHA AND (2) BRYAN LOWE**
 - E. **APPROVAL OF TREASURER'S REPORT FOR FEBRUARY 2019**
 - F. **APPROVAL OF TREASURER'S REPORT FOR MARCH 2019**
 - G. **ORDINANCE NO. 2165-S-C SECOND READING – AMENDMENTS TO THE CANNABIS BUSINESS ORDINANCE (AMC 9-5.3845) REGARDING DEVELOPMENT AGREEMENTS, DELIVERY, AND SEPARATION REQUIREMENTS (*Introduced on 04/09/19*)**
 - H. **RESOLUTION NO. 2019/48 CONSIDERATION OF BIDS FOR THE CITY HALL COUNCIL CHAMBERS REMODEL (GENERAL CONSTRUCTION) (P.W. 247-P)**
 - I. **RESOLUTION NO. 2019/49 CONSIDERATION OF BIDS FOR THE CITY HALL COUNCIL CHAMBERS REMODEL (AUDIO-VIDEO COMMUNICATIONS) (P.W. 247-P1)**
 - J. **RESOLUTION NO. 2019/50 WEST ANTIOCH CREEK CHANNEL IMPROVEMENTS (P.W. 201-6)**
 - K. **RESOLUTION NO. 2019/51 RESOLUTION ESTABLISHING THE RATE PER EQUIVALENT RUNOFF UNIT FOR FISCAL YEAR 2019-20 AND REQUESTING THE CONTRA COSTA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT TO ADOPT AN ANNUAL PARCEL ASSESSMENT FOR DRAINAGE MAINTENANCE AND THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM PROGRAM**
 - L. **RESOLUTION NO. 2019/52 APPROVING CONSOLIDATED ENGINEER'S REPORT AND DECLARING INTENTION TO LEVY AND COLLECT ASSESSMENTS FOR THE HILLCREST, CITYWIDE, DOWNTOWN, ALMONDRIDGE, LONE TREE WAY, AND EAST LONE TREE WAY LANDSCAPE MAINTENANCE DISTRICTS, AND SETTING A PUBLIC HEARING DATE (PW 500)**

- M. **RESOLUTION NO. 2019/53 STORM SYSTEM MAINTENANCE BID AWARD – 3-PERSON STORM SYSTEM MAINTENANCE CREW**
- N. **RESOLUTION NO. 2019/54 PURCHASE ORDER INCREASE FOR NATIONAL METER AND AUTOMATION INC.**
- O. **RESOLUTION NO. 2019/55 ANIMAL CONTROL BUILDING HVAC UPGRADES WITH SOLE SOURCE/BRAND JUSTIFICATION REQUEST**
- P. **RESOLUTION NO. 2019/56 PARK MAINTENANCE BID AWARD**
- Q. **RESOLUTION NO. 2019/57 ASPHALT OVERLAY HILLCREST PARK PATHWAY AND TRAILS BID AWARD**
- R. **RESOLUTION NO. 2019/58 TERMINATION OF THE JOINT EXERCISE OF POWERS AGREEMENT CREATING THE ANTIOCH AREA PUBLIC FACILITIES FINANCING AGENCY AND OTHER MATTERS RELATED THERETO**
- S. **RESOLUTION NO. 2019/59 WEBLATIVE MARKETING & MEDIA, DBA DUALHARE INC. CONTRACT**

City of Antioch Acting as Housing Successor to the Antioch Development Agency

T. APPROVAL OF HOUSING SUCCESSOR WARRANTS

On motion by Councilmember Ogorchock, seconded by Councilmember Thorpe, the City Council unanimously approved the Council Consent Calendar with the exception of items G, H and S, which were removed for further discussion.

Item G – City Manager Bernal introduced Consent Calendar Item G. Director of Community Development Ebbs presented the staff report dated April 12, 2019.

Councilmember Ogorchock requested the City apply the separation requirement to the Antioch Youth Sports Complex and the Babe Ruth fields.

City Attorney Smith stated if Council wanted to change the ordinance, it would need to go through the first and second readings again followed by a 30-day public notice prior to the Ordinance taking effect. He noted that it would be up to Council to determine if they wanted the Ordinance changed now or in the future.

Councilmember Ogorchock expressed concern that if the ordinance passed this evening, the separation requirement would not apply to applications that were currently being brought forward.

Councilmember Thorpe responded that any application deemed compete would not be impacted.

In response to Council, Director of Community Development Ebbs confirmed that the Ordinance had minimum standards and the Use Permit was discretionary. He noted if Council wanted to apply the 600-foot separation requirement to private parks, they would need to reintroduce the Ordinance at a Public Hearing for a first reading, followed by a second reading.

On motion by Councilmember Thorpe, seconded by Councilmember Motts, the City Council approved Item G. The motion carried the following vote:

Ayes: Wilson, Motts, Thorpe, Wright

Noes: Ogorchock

Item – H – City Manager Bernal introduced Consent Calendar Item H. Project Manager Buenting presented the staff report dated April 12, 2019.

In response to Councilmember Thorpe, City Manager Bernal stated if it was Council's desire to see future projects considered for a Project Labor Agreement, Council would need to provide that direction to staff.

Councilmember Ogorchock requested staff agendize consideration of a citywide Project Labor Agreement.

On motion by Councilmember Motts, seconded by Councilmember Ogorchock, the City Council unanimously approved Item H.

Item S – City Manager Bernal introduced Consent Calendar Item S. Economic Development Director Reed presented the staff report dated April 23, 2019 recommending the City Council

In response to Councilmember Thorpe, Economic Development Director Reed gave an overview of the bid process.

On motion by Councilmember Thorpe, seconded by Councilmember Ogorchock the City Council unanimously approved Item S.

PUBLIC HEARING

4. ONE PLANT CANNABIS DISPENSARY (UP-18-15)

City Manager Bernal introduced Public Hearing Item #4.

Director of Community Development Ebbs gave an overview of the Use Permit.

Associate Planner Scudero presented the staff report dated April 23, 2019 recommending the City Council consider the Planning Commission's recommendation to approve a Use Permit

(UP-18-15) for a cannabis dispensary with delivery subject to the conditions contained in the proposed resolution.

Mayor Wright opened the Public Hearing.

Chris Hester, One Plant, announced that they had volunteered to go into a Development Agreement with the City. He gave a brief PowerPoint presentation of their business model which included their executive team, location, safety/security, community outreach, previous partners as well as the project details, brands and design.

Jeffrey Klingler, Antioch resident, discussed the adverse side effects of vaping and suggested Council consider accessibility to vaping products with the approval of this Use Permit. He also suggested a requirement that public information sessions include a presentation on the negative effects of cannabis usage.

Jason Teramoto, stated that he represented another applicant who would be coming to Council for consideration, in the near future. He discussed the positive aspects of cannabis use. He spoke to the benefits of this type of low impact business and in support of the project.

Mayor Wright closed the Public Hearing.

Councilmember Ogorchock reiterated her request to require a 600-foot separation from the business to the sports fields.

In response to Council, Mr. Hester explained their operational procedures and possible future expansion plans.

In response to Councilmember Ogorchock, Director of Community Development Ebbs clarified that the map indicated that this location was 2450 feet from the Babe Ruth fields.

RESOLUTION NO. 2019/60

On motion by Councilmember Thorpe, seconded by Councilmember Wilson, the City Council approved a Use Permit (UP-18-15) for a cannabis dispensary with delivery subject to the conditions contained in the proposed resolution. The motion carried the following vote:

Ayes: Wilson, Motts, Thorpe and Wright

Noes: Ogorchock

COUNCIL REGULAR AGENDA

- 5. POLICE CRIME PREVENTION COMMISSION APPOINTMENTS FOR ONE FULL-TERM VACANCY EXPIRING FEBRUARY 2023; ONE PARTIAL-TERM VACANCY EXPIRING OCTOBER 2020; AND ONE PARTIAL-TERM VACANCY EXPIRING OCTOBER 2021**

Mayor Wright nominated Clyde H. Lewis, Jr. to the full-term vacancy expiring February 2023, Luis Morales Corona to the partial-term vacancy expiring October 2020 and Chris Ristau to the partial-term vacancy expiring October 2021.

In response to Councilmember Motts, City Clerk Simonsen clarified attendance requirements for the Boards and Commissions, and Mayor Wright provided an overview of the selection process.

Councilmember Thorpe suggested candidates for the Board and Commission vacancies attend the Council meeting when their appointments were being considered.

RESOLUTION NO. 2019/61

RESOLUTION NO. 2019/62

RESOLUTION NO. 2019/63

On motion by Councilmember Ogorchock, seconded by Councilmember Motts, the City Council appointed by resolution: 1) Clyde H. Lewis, Jr., to the full-term vacancy on the Police Crime Prevention Commission expiring February 2023, 2) Luis Morales Corona to the partial-term vacancy on the Police Crime Prevention Commission expiring October 2020; and, 3) Chris Ristau to the partial-term vacancy on the Police Crime Prevention Commission expiring October 2021. The motion carried the following vote:

Ayes: Motts, Thorpe, Ogorchock and Wright

Noes: Wilson

6. RESOLUTION FOR AN APPROPRIATION OF EXPENDITURES FOR THE ANTIOCH CHAMBER OF COMMERCE SOMERSVILLE ECONOMIC OPPORTUNITY PLAN IN COLLABORATION WITH SAINT MARY'S COLLEGE OF CALIFORNIA AND FOR THE ASSOCIATED GENERAL FUND BUDGET AMENDMENTS FOR FISCAL YEAR 2018/19 FOR AN AMOUNT NOT TO EXCEED \$15,000

Mayor Wright recused himself due to his position with the Chamber of Commerce. He turned the gavel over to Mayor Pro Tem Motts and left the dais.

City Manager Bernal introduced Public Hearing Item #6.

Economic Development Director Reed presented the staff report dated April 23, 2019 recommending the City Council adopt a resolution appropriating expenditures for the Antioch Chamber of Commerce Somersville Economic Opportunity Plan in collaboration with Saint Mary's College of California ("Saint Mary's") and for the associated General Fund budget amendment for fiscal year 2018/19 for an amount not to exceed \$15,000.

Richard Pagano, President/CEO, Antioch Chamber of Commerce and Dr. Aksu, Director, Center for Regional Economy, Saint Mary's College of California presented the Antioch's Economic Development Strategy Powerpoint presentation.

Director of Economic Development Reed clarified if this project was approved, that no City funds would be used towards the prize component of the project.

Joseph Adebeyo, Antioch resident, and Ray Waters, General Manager of Somersville Towne Center, spoke in support of the Saint Mary's project and urged Council to adopt the resolution.

Tim McCall, Antioch resident, thanked staff for the comprehensive report. He commented that the Economic Development Commission fully supported the Saint Mary's project and urged Council to approve the resolution.

Mayor Pro Tem Motts read written comment from Robert Kilbourne Sr., who indicated his support of the project.

Following discussion, Councilmember Thorpe stated that in moving forward the City needed to make sure that projects, such as this, were evaluated through a grant process.

In response to Councilmember Wilson, Dr. Aksu reviewed the Scope of Work.

Councilmember Motts spoke in support of the project and the future development of a grant process to evaluate projects, such as this one.

Councilmember Thorpe encouraged Council to support the project; however, he did not believe it was fair for other private organizations that had not had the opportunity.

RESOLUTION NO. 2019/64

On motion by Councilmember Ogorchock, seconded by Councilmember Thorpe, the City Council adopted a resolution appropriating expenditures for the Antioch Chamber of Commerce Somersville Economic Opportunity Plan in collaboration with Saint Mary's College of California ("Saint Mary's") and for the associated General Fund budget amendment for fiscal year 2018/19 for an amount not to exceed \$15,000. The motion carried the following vote:

Ayes: Wilson, Ogorchock, Motts, Thorpe

Mayor Wright returned to Council Chambers.

7. HOUSING LAW UPDATE

City Manager Bernal introduced Regular Agenda Item #7.

Director of Community Development Ebbs presented the staff report dated April 23, 2019 recommending the City Council receive the update and provide any comments or questions to staff.

In response to Council, Director of Community Development Ebbs stated staff would provide Council with a letter in response to the CASA Compact and State Housing Bills, for their consideration.

Councilmember Thorpe stated the City needed to also be deliberate in terms of pushing back on the County regarding their obligations.

8. RESOLUTION TO FORM A SENIOR AD HOC COMMITTEE

City Manager Bernal introduced Regular Agenda Item #8.

Administrative Services Director Mastay presented the staff report dated April 23, 2019 recommending the City Council take the following actions: 1) Adopt a resolution to form the Senior Ad Hoc Committee; and 2) Confirm the appointment of the two (2) members for the Senior Ad Hoc Committee; and 3) Confirm the duration of the Senior Ad Hoc Committee.

In response to Councilmember Thorpe, Councilmember Ogorchock stated that the Senior Ad Hoc Committee would be looking at senior services. Mayor Wright added that there was an opportunity to talk with seniors and bring together the non-profits to determine their specific needs.

Councilmember Thorpe suggested the committee provide a report to Tri Delta with regards to senior's transportation needs.

Councilmember Motts stated the Community-Based Transportation Plan provided a needs assessment for Antioch, which would assist in gathering information with regards to this issue.

RESOLUTION NO. 2019/65

On motion by Councilmember Thorpe, seconded by Councilmember Wilson the City Council unanimously 1) Adopted a resolution to form the Senior Ad Hoc Committee; and 2) Confirmed the appointment of Councilmember Ogorchock and Mayor Wright for the Senior Ad Hoc Committee; and 3) Confirmed the duration of 6-months for the Senior Ad Hoc Committee.

City Clerk Simonsen clarified that the resolution would indicate October 23, 2019 as the termination date of the committee.

PUBLIC COMMENTS – None

STAFF COMMUNICATIONS

In response to City Manager Bernal, Council agreed to hold a Closed Session at 5:00 P.M. on April 30, 2019.

COUNCIL COMMUNICATIONS

Councilmember Thorpe requested staff agendaize the consideration of a Cannabis Ad-Hoc committee.

ADJOURNMENT

With no further business, Mayor Wright adjourned the meeting at 10:06 P.M. to the next regular Council meeting on May 14, 2019.

Respectfully submitted:

Kitty Eiden
KITTY EIDEN, Minutes Clerk

**SPECIAL MEETING
ANTIOCH CITY COUNCIL**

**Special Meeting
5:00 P.M.**

**April 30, 2019
Council Chambers**

ROLL CALL

Mayor Wright called the meeting to order at 5:01 PM., and Deputy Clerk Garcia called the roll.

Present: Council Members Wilson, Motts, Thorpe, Ogorchock and Mayor Wright

Mayor Wright announced he was opening the meeting in honor of Trevor Schnitzius, Sr.

PLEDGE OF ALLEGIANCE

Mayor Pro Tem Motts led the Council and audience in the Pledge of Allegiance.

PUBLIC COMMENTS – None

1. COUNCIL CONSENT CALENDAR

- A. RESOLUTION NO. 2019/66 RESOLUTION APPROVING CONSOLIDATED ENGINEER'S REPORT AND DECLARING INTENTION TO LEVY AND COLLECT ASSESSMENTS FOR THE HILLCREST, CITYWIDE, DOWNTOWN, ALMONDRIDGE, LONE TREE WAY, AND EAST LONE TREE WAY LANDSCAPE MAINTENANCE DISTRICTS, AND SETTING A PUBLIC HEARING DATE (PW 500)**

City Manager Bernal introduced Consent Calendar Item #1A.

Director of Public Works/City Engineer Blank presented the staff report dated April 30, 2019, recommending that the City Council adopt the resolution which reschedules June 25, 2019 as the new date of the Public Hearing for the Consolidated Engineer's Report and Declaring Intention to Levy and Collect Assessments for the Hillcrest, Citywide, Downtown, Almondridge, Lone Tree Way, and East Lone Tree Way Landscape Maintenance Districts.

Council Member Thorpe asked about assessing districts that are not charged.

Director of Public Works/City Engineer Blank replied that there would need to be a Prop 218 process in order for this to happen and that there were a lot of districts that are unevenly assessed and that there is a subsidy from the General Fund for some of the districts.

Council Member Thorpe mentioned as an example that Downtown does not pay an assessment.

Mayor Pro Tem Motts stated that if asked that Downtown would pay.

Council Member Ogorchock mentioned that they tried to pass a citywide landscape and lighting in the past, but this did not pass.

Director of Public Works/City Engineer Blank stated that we will have to analyze how to approach this in future years, he went on to state that a \$100/yr assessment would cover basic lighting and basic maintenance of medians and this would not be enough to take care of courts.

Council Member Thorpe then stated that citizens were asked do they feel they get their fair share of services for what they pay and the response breakdown by district was very different.

RESOLUTION NO. 2019/66

On motion by Councilmember Ogorchock, seconded by Councilmember Wilson, the City Council unanimously approved the Council Consent Calendar.

Mayor Wright adjourned to Closed Session at 5:11 P.M.

ADJOURNMENT to Closed Session – City Hall, Third Floor Conference Room

CLOSED SESSION:

- 1) **CONFERENCE WITH LEGAL COUNSEL – EXISTING LITIGATION** pursuant to California Government Code section 54956.9(d)(1): Contra Costa County Flood Control and Water Conservation District v. Gary A. Eames, Contra Costa Superior Court Case No. C15-02052.

ADJOURNMENT to Open Session to Report Out

The City Council returned to open session in the City Council Chambers with all Council present at 6:01 p.m.

No public was present.

City Attorney Smith reported the City Council had been in Closed Session and gave the following report: **#1 CONFERENCE WITH LEGAL COUNSEL – EXISTING LITIGATION**, no reportable action taken.

ADJOURNMENT

With no further business, Mayor Wright adjourned the meeting at 6:02 P.M.

Respectfully submitted:

Nickie Mastay

Nickie Mastay, Administrative Services Director



STAFF REPORT TO THE CITY COUNCIL

DATE: Regular Meeting of May 28, 2019

TO: Honorable Mayor and Members of the City Council

SUBMITTED BY: Christina Garcia, CMC, Deputy City Clerk *Cg*

APPROVED BY: Nickie Mastay, Administrative Services Director *NM*

SUBJECT: City Council Meeting Minutes of May 14, 2019

RECOMMENDED ACTION

It is recommended that the City Council continue the Meeting Minutes of May 14, 2019 to the next meeting.

FISCAL IMPACT

None

DISCUSSION

N/A

ATTACHMENT

None.

CITY OF ANTIOCH
CLAIMS BY FUND REPORT
FOR THE PERIOD OF
MAY 3 - MAY 16, 2019
FUND/CHECK#

100 General Fund

Non Departmental

381255 CONTRA COSTA COUNTY	CEQA FILING FEE	2,354.75
381260 CONTRA COSTA WATER DISTRICT	FACILITY RESERVE CHARGES	159,431.00
381261 CONTRA COSTA WATER DISTRICT	TREATED WATER CAPACITY FEE	32,520.02
381267 ECC REG FEE AND FIN AUTH	ECCRFFA-RTDIM	546,157.00
381324 SUNRUN	CBSC FEE REFUND	6.64

City Council

381239 BANK OF AMERICA	FLIGHT - OGORCHOCK	163.00
381240 BANK OF AMERICA	TRAVEL EXPENSES	749.87

City Attorney

381138 COTA COLE ATTORNEYS LLP	LEGAL SERVICES RENDERED	5,774.66
381139 COTA COLE ATTORNEYS LLP	LEGAL SERVICES RENDERED	8,185.34
381173 OFFICE MAX INC	OFFICE SUPPLIES	47.36
381192 SHRED IT INC	SHRED SERVICES	62.88
381304 OFFICE MAX INC	OFFICE SUPPLIES	34.28
934180 RAY MORGAN COMPANY	COPIER USAGE	109.92

City Manager

381240 BANK OF AMERICA	GRAMMARLY SUBSCRIPTION	139.95
381240 BANK OF AMERICA	MEETING EXPENSES	259.07
934180 RAY MORGAN COMPANY	COPIER USAGE	109.92

City Clerk

381151 EIDEN, KITTY J	MINUTES CLERK	2,291.50
934180 RAY MORGAN COMPANY	COPIER USAGE	464.08

City Treasurer

381276 GARDA CL WEST INC	ARMORED CAR PICKUP	284.47
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Human Resources

381154 FEDEX	SHIPPING	29.35
381173 OFFICE MAX INC	OFFICE SUPPLIES	92.03
381192 SHRED IT INC	SHRED SERVICES	62.89
934180 RAY MORGAN COMPANY	COPIER USAGE	340.09

Economic Development

381239 BANK OF AMERICA	TRAVEL EXPENSES	352.34
381239 BANK OF AMERICA	ADVERTISING	2,681.02
381240 BANK OF AMERICA	ADVERTISING	4.78

381278 GIS PLANNING INC	PROFESSIONAL SERVICES	2,200.00
934180 RAY MORGAN COMPANY	COPIER USAGE	109.92
934194 MUNISERVICES LLC	CONSULTING SERVICES	7,000.00
Finance Administration		
381173 OFFICE MAX INC	OFFICE SUPPLIES	48.19
934174 COMPUTERLAND	COMPUTER EQUIPMENT	206.98
934180 RAY MORGAN COMPANY	COPIER USAGE	1,592.62
Finance Accounting		
381192 SHRED IT INC	SHRED SERVICES	62.89
934181 SUPERION LLC	18.2 CONVERSION COST	440.00
Finance Operations		
381173 OFFICE MAX INC	OFFICE SUPPLIES	199.78
381209 UNITED PARCEL SERVICE	WEEKLY PRINTER SERVICE FEE	6.00
381237 BANK OF AMERICA	TRAVEL EXPENSES	1,190.24
381258 CONTRA COSTA COUNTY CLERK	FILING FEES	345.00
381304 OFFICE MAX INC	OFFICE SUPPLIES	37.12
381312 PITNEY BOWES INC	MAINTENANCE SERVICES	481.25
381331 UNITED PARCEL SERVICE	WEEKLY PRINTER SERVICE FEE	17.50
Non Departmental		
381169 MUNICIPAL POOLING AUTHORITY	LEGAL SERVICES RENDERED	19,910.97
381213 WAGeworks	ADMIN FEE	212.00
381228 ANTIOCH GLASS	PROFESSIONAL SERVICES	4,111.21
934188 DEL CONTE'S LANDSCAPING INC	LANDSCAPE SERVICES	11,000.00
Public Works Maintenance Administration		
934180 RAY MORGAN COMPANY	COPIER USAGE	95.19
Public Works General Maintenance Services		
934180 RAY MORGAN COMPANY	COPIER USAGE	253.84
Public Works Street Maintenance		
381172 NEXTEL SPRINT	CELL PHONE	57.75
381182 PRINT CLUB	SIGNS	688.28
381223 ALTA FENCE	FENCE REPAIR	690.00
381226 ACE HARDWARE, ANTIOCH	SUPPLIES	33.42
381227 ANTIOCH BUILDING MATERIALS	ASPHALT	19,554.12
381246 C AND J FAVALORA TRUCKING INC	EQUIPMENT RENTAL	5,871.00
381263 DELTA GRINDING CO INC	EQUIPMENT RENTAL	6,000.00
934191 GRAINGER INC	SUPPLIES	806.50
Public Works-Signal/Street Lights		
381130 AT AND T MCI	PHONE	751.26
381176 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	761.49
381308 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	6,262.77

934177 ICR ELECTRICAL CONTRACTORS	ELECTRICAL SERVICES	12,575.12
934192 ICR ELECTRICAL CONTRACTORS	ELECTRICAL SERVICES	757.59
Public Works-Striping/Signing		
381167 MANERI SIGN COMPANY	EQUIPMENT	1,195.82
381172 NEXTEL SPRINT	CELL PHONE	57.75
381203 TARGET SPECIALTY PRODUCTS	TRAINING	240.00
381226 ACE HARDWARE, ANTIOCH	SUPPLIES	44.22
381271 FASTENAL CO	SUPPLIES	434.76
381272 FIRST VANGUARD RENTALS	EQUIPMENT	1,696.69
381309 PACIFIC PRODUCTS AND SERVICES	EQUIPMENT	1,051.07
Public Works-Facilities Maintenance		
381128 ANTIOCH GLASS	PROFESSIONAL SERVICES	242.86
381130 AT AND T MCI	PHONE	60.52
381153 FAST SIGNS	SIGNS	115.35
381162 K2GC	PROFESSIONAL SERVICES	603.84
381172 NEXTEL SPRINT	CELL PHONE	57.75
381179 PEPPER INVESTMENTS INC	PEST CONTROL	1,168.00
381185 RICKIES ROOF REPAIR	REPAIR SERVICES	750.00
381308 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	11,633.10
934178 LEES BUILDING MAINTENANCE	JANITORIAL SERVICES	3,611.85
Public Works-Parks Maint		
381125 AMERICAN PLUMBING INC	PLUMBING SERVICES	445.00
381130 AT AND T MCI	PHONE	103.60
381226 ACE HARDWARE, ANTIOCH	SUPPLIES	61.24
381308 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	999.90
381323 STEWARTS TREE SERVICE INC	TREE SERVICE	5,250.00
934176 GRAINGER INC	SUPPLIES	324.93
934177 ICR ELECTRICAL CONTRACTORS	ELECTRICAL SERVICES	129.06
934188 DEL CONTE'S LANDSCAPING INC	LANDSCAPE SERVICES	59,656.58
Public Works-Median/General Land		
381123 AL FRESCO LANDSCAPING	LANDSCAPE SERVICES	8,677.88
381130 AT AND T MCI	PHONE	227.75
381193 SILVA LANDSCAPE	LANDSCAPE SERVICES	4,738.50
381220 AL FRESCO LANDSCAPING	LANDSCAPE SERVICES	5,578.00
381226 ACE HARDWARE, ANTIOCH	IRRIGATION PARTS	47.86
381284 HORIZON	IRRIGATION PARTS	349.26
381303 CROP PRODUCTION SERVICES INC	CHEMICALS	3,637.20
381308 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	1,605.88
381323 STEWARTS TREE SERVICE INC	TREE SERVICES	4,725.00
934196 JOHN DEERE LANDSCAPES	IRRIGATION PARTS	2,123.50
Public Works-Work Alternative		
381172 NEXTEL SPRINT	CELL PHONE	75.69

Police Administration

381149 EAN SERVICES LLC	RENTAL CAR - R SMITH	382.52
381154 FEDEX	SHIPPING	21.58
381219 ADAMSON POLICE PRODUCTS	EQUIPMENT	188.92
381235 ATKINSON ANDELSON LOYA RUUD	LEGAL FEES	2,625.00
381256 CONTRA COSTA COUNTY	FILING FEES	11,836.00
381282 HOFFMAN, RICK D	MILEAGE REIMBURSEMENT	84.44
381294 LC ACTION POLICE SUPPLY	EQUIPMENT	5,226.10
381296 MARTIN, RICHARD B	TRAINING PER DIEM	213.00
381302 NET TRANSCRIPTS	TRANSCRIPTS	502.58
381305 CARDIAC SCIENCE CORP	SUPPLIES	2,532.66
381317 SAFESTORE INC	EVIDENCE STORAGE	2,297.70
381318 SAVE MART SUPERMARKETS	EVENT EXPENSE	19.95
934180 RAY MORGAN COMPANY	COPIER USAGE	3,472.89
934193 MOBILE MINI LLC	STORAGE FEE	271.53

Police Prisoner Custody

934180 RAY MORGAN COMPANY	COPIER USAGE	69.49
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Police Community Policing

381181 PRIETO, CALVIN GEOVANI	MILEAGE REIMBURSEMENT	95.12
381183 PURSUIT NORTH	VEHICLE PARTS	4,387.29
381232 ARK PET HOSPITAL INC, THE	K9 SERVICES	305.35
381321 SP PLUS CORPORATION	PARKING ENFORCEMENT	13,659.08

Police Investigations

381166 MAGANA, JOSEPH J	EXPENSE REIMBURSEMENT	39.50
381254 CONTRA COSTA COUNTY	EXTRADITION	445.00
381257 CONTRA COSTA COUNTY	LAB ANALYSIS	26,123.00
381264 DS WATERS OF AMERICA	WATER SERVICE	91.88
381328 TRANSUNION RISK AND ALTERNATIVE	DATABASE SERVICE	50.00
934180 RAY MORGAN COMPANY	COPIER USAGE	1,187.05

Police Special Operations Unit

381327 TOYOTA FINANCIAL SERVICES	VEHICLE LEASE	566.69
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Police Communications

381130 AT AND T MCI	PHONE	1,300.91
381251 COMCAST	CONNECTION SERVICES	1,023.76
381252 COMCAST	CABLE	118.63
381310 PACIFIC TELEMAGEMENT SERVICE	SATELLITE PHONE	156.00

Office Of Emergency Management

381130 AT AND T MCI	PHONE	316.28
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Police Facilities Maintenance

381130 AT AND T MCI	PHONE	304.80
381131 AUTOMATIC DOOR SYSTEMS INC	EQUIPMENT	1,145.63

381179 PEPPER INVESTMENTS INC	PEST CONTROL	342.00
381187 ROBINS LOCK AND KEY	EQUIPMENT	905.80
381234 AT AND T MOBILITY	CELL PHONE	4,864.72
381262 CUSTOM METAL CONCEPTS	EQUIPMENT	1,623.47
381308 PACIFIC GAS AND ELECTRIC CO	GAS	18,566.86
381313 QPCS LLC	EQUIPMENT	812.20
934178 LEES BUILDING MAINTENANCE	JANITORIAL SERVICES	3,880.20

P & R Administration

381120 A AND G PRINTING	PRINTING SERVICES	288.71
381121 AFFINITY PRINTWORKS SIGNPRO	PROFESSIONAL SERVICES	9,046.50
381135 BRENTWOOD PRESS & PUBLISHING	ADVERTISING	1,549.00
381152 FAST SIGNS	SIGNS	679.25
381177 PARKINK	SUPPLIES	2,431.89
381215 WEBSTER, KEENAN	CONTRACTOR PAYMENT	200.00
381229 ANTIOCH HERALD	ADVERTISING	2,018.75
934175 CONSOLIDATED ELECTRICAL DIST	SUPPLIES	681.21

Community Development Land Planning Services

381151 EIDEN, KITTY J	MINUTES CLERK	84.00
934180 RAY MORGAN COMPANY	COPIER USAGE	1,144.16

CD Code Enforcement

381172 NEXTEL SPRINT	CELL PHONE	509.25
381293 K2GC	PROFESSIONAL SERVICES	534.15
381329 TRB AND ASSOCIATES	CONSULTING SERVICES	8,100.00

PW Engineer Land Development

381130 AT AND T MCI	PHONE	39.80
381172 NEXTEL SPRINT	CELL PHONE	880.11
381173 OFFICE MAX INC	OFFICE SUPPLIES	37.12
381189 SALABER ASSOCIATES INC	INSPECTION SERVICES	20,900.00
381207 TURN AROUND COMMUNICATIONS	REFUND INSPECTION FEES	1,615.00
381250 COASTLAND	PROFESSIONAL SERVICES	22,165.00
381304 OFFICE MAX INC	OFFICE SUPPLIES	42.52
934180 RAY MORGAN COMPANY	COPIER USAGE	581.14

Community Development Building Inspection

381172 NEXTEL SPRINT	CELL PHONE	214.60
381324 SUNRUN	ENERGY INSP FEE REFUND	266.66

Capital Imp. Administration

381304 OFFICE MAX INC	OFFICE SUPPLIES	58.43
934180 RAY MORGAN COMPANY	COPIER USAGE	372.51

Community Development Engineering Services

381172 NEXTEL SPRINT	CELL PHONE	130.50
934180 RAY MORGAN COMPANY	COPIER USAGE	136.19

213 Gas Tax Fund

Streets

381176 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	244.07
381308 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	31,732.59

214 Animal Control Fund

Animal Control

381143 CONCORD FEED AND FUEL INC	SUPPLIES	367.00
381150 EAST BAY VETERINARY EMERGENCY	VETERINARY SERVICES	706.50
381170 MWI VETERINARY SUPPLY CO	VETERINARY SUPPLIES	1,338.87
381194 STARLINE SUPPLY COMPANY	OPERATING SUPPLIES	453.31
381204 ALLIANCE WELDING	SUPPLIES	111.63
381205 ARF COMPANION ANIMAL CLINIC	VETERINARY SERVICES	1,051.00
381208 UC DAVIS VETERINARY MEDICINE	VETERINARY SERVICES	182.00
381217 ZOETIS LLC	VETERINARY SUPPLIES	427.71
381225 ANIMAL CLINIC OF ANTIOCH	VETERINARY SERVICES	4,215.93
381234 AT AND T MOBILITY	CELL PHONE	176.44
381238 BANK OF AMERICA	OPERATING SUPPLIES	834.51
381265 EAST BAY VETERINARY EMERGENCY	VETERINARY SERVICES	1,930.34
381266 EAST HILLS VETERINARY HOSPITAL	VETERINARY SERVICES	1,354.60
381281 HILLS PET NUTRITION	ANIMAL FOOD	1,358.42
381304 OFFICE MAX INC	OFFICE SUPPLIES	108.25
381308 PACIFIC GAS AND ELECTRIC CO	GAS	977.21
381333 VICTOR MEDICAL COMPANY	SUPPLIES	1,827.95
934178 LEES BUILDING MAINTENANCE	JANITORIAL SERVICES	579.80
934180 RAY MORGAN COMPANY	COPIER USAGE	558.51

219 Recreation Fund

Non Departmental

381249 CITY OF ANTIOCH	AWP SEASON START UP CASH	3,200.00
381285 HUB INTERNATIONAL OF CA INSUR.	EVENT INSURANCE	1,152.36

Recreation Admin

381179 PEPPER INVESTMENTS INC	PEST CONTROL	342.00
381259 CONTRA COSTA FIRE EQUIPMENT	PROFESSIONAL SERVICES	483.99
381308 PACIFIC GAS AND ELECTRIC CO	GAS	1,852.45
934176 GRAINGER INC	SUPPLIES	135.15

Senior Programs

381130 AT AND T MCI	PHONE	313.39
381228 ANTIOCH GLASS	PROFESSIONAL SERVICES	3,489.63
381243 BIG B LUMBER	SUPPLIES	46.06
381283 HONEYWELL INTERNATIONAL INC	HVAC SERVICE	397.00
381308 PACIFIC GAS AND ELECTRIC CO	GAS	1,234.97
934178 LEES BUILDING MAINTENANCE	JANITORIAL SERVICES	708.00

Recreation Sports Programs

381130 AT AND T MCI	PHONE	20.72
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381136 BSN SPORTS	EQUIPMENT	186.75
381179 PEPPER INVESTMENTS INC	PEST CONTROL	192.00
381180 PEPSI COLA COMPANY	CONCESSION SUPPLIES	907.73
381210 US FOODSERVICE INC	CONCESSION SUPPLIES	1,201.52
381253 CONCORD SOFTBALL UMPIRES	UMPIRE FEES	1,260.00
381308 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	2,708.24

Recreation-Comm Center

381130 AT AND T MCI	PHONE	23.73
381148 DUGAND, KARINA	CONTRACTOR PAYMENT	535.80
381158 HONEYWELL INTERNATIONAL INC	REPAIR SERVICE	1,050.00
381161 JENNIFER HINES DESIGN	DESIGN SERVICES	5,279.06
381163 KOVALICK, LUANNE	CONTRACTOR PAYMENT	518.40
381179 PEPPER INVESTMENTS INC	PEST CONTROL	342.00
381206 TORRES, ESTHER	CONTRACTOR PAYMENT	331.20
381214 WAGNER, SANDRA M	CONTRACTOR PAYMENT	420.00
381233 AT AND T MCI	PHONE	66.08
381251 COMCAST	CONNECTION SERVICES	50.01
381259 CONTRA COSTA FIRE EQUIPMENT	PROFESSIONAL SERVICES	423.75
381277 GARDA CL WEST INC	ARMORED CAR SERVICE	189.13
381304 OFFICE MAX INC	OFFICE SUPPLIES	88.23
381314 REAL PROTECTION INC	PROFESSIONAL SERVICES	1,141.50
934180 RAY MORGAN COMPANY	COPIER USAGE	753.87
934184 WESCO GRAPHICS INC	PRINTING SERVICES	3,314.48
934188 DEL CONTES LANDSCAPING INC	LANDSCAPE SERVICES	3,821.75

Recreation Water Park

381125 AMERICAN PLUMBING INC	PLUMBING SERVICES	536.29
381130 AT AND T MCI	PHONE	119.47
381134 BRANDON, SEMAJA	TRAINING REFUND	228.00
381140 COLE SUPPLY CO INC	SUPPLIES	50.08
381155 FURBER SAW INC	EQUIPMENT	1,412.61
381172 NEXTEL SPRINT	CELL PHONE	33.39
381179 PEPPER INVESTMENTS INC	PEST CONTROL	342.00
381259 CONTRA COSTA FIRE EQUIPMENT	PROFESSIONAL SERVICES	489.60
381270 FAST SIGNS	SIGNS	691.08
381287 WILCO SUPPLY	SUPPLIES	1,188.49
381308 PACIFIC GAS AND ELECTRIC CO	GAS	12,031.80
381311 PITCHER, JUSTIN WILLIAM	EXPENSE REIMBURSEMENT	879.10
934175 CONSOLIDATED ELECTRICAL DIST	SUPPLIES	926.73
934176 GRAINGER INC	SUPPLIES	6.61
934177 ICR ELECTRICAL CONTRACTORS	ELECTRICAL SERVICES	742.83
934180 RAY MORGAN COMPANY	COPIER USAGE	735.04
934184 WESCO GRAPHICS INC	PRINTING SERVICES	3,314.49
934187 CONSOLIDATED ELECTRICAL DIST	STAIR LIGHTING	3,766.01
934188 DEL CONTES LANDSCAPING INC	LANDSCAPE SERVICES	2,649.00

221 Asset Forfeiture Fund		
Non Departmental		
381290 JACKSON, JORDAN	EVIDENCE REIMBURSEMENT	127.00
226 Solid Waste Reduction Fund		
Solid Waste Used Oil		
381316 REPUBLIC SERVICES INC	CURBSIDE OIL	1,655.92
Solid Waste		
381279 HAAS-WAJDOWICZ, JULIE A	EXPENSE REIMBURSEMENT	126.16
381319 SIGN A RAMA INC	SIGNS	452.73
381322 STEPHENS, SHERMAN AND DAESY	WMP FEE REFUND	35.00
229 Pollution Elimination Fund		
Channel Maintenance Operation		
381172 NEXTEL SPRINT	CELL PHONE	51.09
381203 TARGET SPECIALTY PRODUCTS	HERBICIDE	1,853.76
381226 ACE HARDWARE, ANTIOCH	KEYS	7.34
381297 MCCAMPBELL ANALYTICAL INC	SAMPLE TESTING	248.00
381298 MJH EXCAVATING INC	EQUIPMENT RENTAL	10,085.00
251 Lone Tree SLLMD Fund		
Lonetree Maintenance Zone 1		
381130 AT AND T MCI	PHONE	82.88
381308 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	731.08
381326 TERRACARE ASSOCIATES	TURF MOWING	136.60
Lonetree Maintenance Zone 2		
381123 AL FRESCO LANDSCAPING	LANDSCAPE SERVICES	1,434.72
381130 AT AND T MCI	PHONE	141.75
381308 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	713.65
Lonetree Maintenance Zone 3		
381130 AT AND T MCI	PHONE	62.16
Lonetree Maintenance Zone 4		
381326 TERRACARE ASSOCIATES	TURF MOWING	218.56
252 Downtown SLLMD Fund		
Downtown Maintenance		
381308 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	327.85
381326 TERRACARE ASSOCIATES	TURF MOWING	136.60
253 Almondridge SLLMD Fund		
Almondridge Maintenance		
381308 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	204.14

254 Hillcrest SLLMD Fund**Hillcrest Maintenance Zone 1**

381130 AT AND T MCI	PHONE	41.44
381308 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	540.06
381326 TERRACARE ASSOCIATES	TURF MOWING	355.16

Hillcrest Maintenance Zone 2

381130 AT AND T MCI	PHONE	145.04
381193 SILVA LANDSCAPE	LANDSCAPE SERVICES	4,782.40
381220 AL FRESCO LANDSCAPING	LANDSCAPE SERVICES	4,482.40
381308 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	711.28
381320 SILVA LANDSCAPE	LANDSCAPE SERVICES	4,543.28
381326 TERRACARE ASSOCIATES	TURF MOWING	486.30

Hillcrest Maintenance Zone 4

381130 AT AND T MCI	PHONE	122.68
381308 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	626.12
381326 TERRACARE ASSOCIATES	TURF MOWING	273.20

255 Park 1A Maintenance District Fund**Park 1A Maintenance District**

381123 AL FRESCO LANDSCAPING	LANDSCAPE SERVICES	2,152.08
381130 AT AND T MCI	PHONE	20.72
381176 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	13.73
381220 AL FRESCO LANDSCAPING	LANDSCAPE SERVICES	2,152.08
381308 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	69.53
381326 TERRACARE ASSOCIATES	TURF MOWING	355.16

256 Citywide 2A Maintenance District Fund**Citywide 2A Maintenance Zone 3**

381308 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	74.60
381326 TERRACARE ASSOCIATES	TURF MOWING	5.46

Citywide 2A Maintenance Zone 4

381308 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	298.45
381323 STEWARTS TREE SERVICE INC	TREE SERVICES	5,675.00

Citywide 2A Maintenance Zone 5

381308 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	358.04
381320 SILVA LANDSCAPE	LANDSCAPE SERVICES	4,020.00

Citywide 2A Maintenance Zone 6

381220 AL FRESCO LANDSCAPING	LANDSCAPE SERVICES	1,434.72
381308 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	221.26
381326 TERRACARE ASSOCIATES	TURF MOWING	327.84

Citywide 2A Maintenance Zone 8

381193 SILVA LANDSCAPE	LANDSCAPE SERVICES	3,000.00
381326 TERRACARE ASSOCIATES	TURF MOWING	27.32

Citywide 2A Maintenance Zone 9

381123 AL FRESCO LANDSCAPING	LANDSCAPE SERVICES	5,669.32
381130 AT AND T MCI	PHONE	82.88
381308 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	464.95
381326 TERRACARE ASSOCIATES	TURF MOWING	81.96

Citywide 2A Maintenance Zone10

381308 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	137.12
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257 SLLMD Administration Fund**SLLMD Administration**

381172 NEXTEL SPRINT	CELL PHONE	171.47
381188 ROYAL BRASS INC	PIPE FITTINGS	10.56
381203 TARGET SPECIALTY PRODUCTS	TRAINING	400.00
381226 ACE HARDWARE, ANTIOCH	SUPPLIES	62.38
381326 TERRACARE ASSOCIATES	TURF MOWING	327.84

311 Capital Improvement Fund**Parks & Open Space**

934177 ICR ELECTRICAL CONTRACTORS	ELECTRICAL SERVICES	6,983.51
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Energy Efficiency

381279 HAAS-WAJDOWICZ, JULIE A	EXPENSE REIMBURSEMENT	5.00
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Northeast Annexation

381245 BKF ENGINEERS INC	PROFESSIONAL SERVICES	8,012.95
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570 Equipment Maintenance Fund**Non Departmental**

381159 HUNT AND SONS INC	FUEL	32,341.21
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Equipment Maintenance

381122 AFFORDABLE TIRE CENTER	MAITENANCE SERVICES	129.95
381124 ALL STAR FORD	AUTO PARTS	41.63
381126 AMERICAN TEXTILE AND SUPPLY	EQUIPMENT	596.75
381132 BILL BRANDT FORD	REPAIR SERVICE	169.95
381157 HARLEY DAVIDSON	PARTS	204.37
381165 MAACO	VEHICLE PAINT	1,200.64
381184 RELIABLE MOBILE AUTOMOTIVE	AUTO PARTS	711.24
381222 ALL STAR FORD	AUTO PARTS	41.63
381226 ACE HARDWARE, ANTIOCH	SUPPLIES	15.58
381248 CHUCKS BRAKE AND WHEEL SERVICE	AUTO PARTS	561.00

381295 LES SCHWAB TIRES OF CALIFORNIA	TIRE SERVICE	1,805.82
381299 MUNICIPAL MAINT EQUIPMENT INC	EQUIPMENT	516.29
381306 OREILLY AUTO PARTS	AUTO PARTS	3,807.29
381307 OREILLY AUTO PARTS	AUTO PARTS	1,662.32
381308 PACIFIC GAS AND ELECTRIC CO	ELECTRIC	474.44
381330 TRED SHED, THE	TIRE STOCK	4,050.87
381336 WINTER CHEVROLET CO	AUTO PARTS	118.28
934176 GRAINGER INC	SUPPLIES	135.51
934180 RAY MORGAN COMPANY	COPIER USAGE	116.34

573 Information Services Fund

Information Services

381130 AT AND T MCI	PHONE	76.29
381209 UNITED PARCEL SERVICE	SHIPPING	71.53
381212 VERIZON WIRELESS	DATA SERVICES	381.53

Network Support & PCs

381130 AT AND T MCI	PHONE	332.17
381251 COMCAST	CONNECTION SERVICES	1,648.22
381304 OFFICE MAX INC	OFFICE SUPPLIES	21.83
934180 RAY MORGAN COMPANY	COPIER USAGE	25.07
934189 DIGITAL SERVICES	MONTHLY WEBSITE	4,325.00
934195 ODIN SYSTEMS INC	PROFESSIONAL SERVICES	6,932.81

Telephone System

381129 AT AND T MCI	LONG DISTANCE	88.96
381130 AT AND T MCI	PHONE	2,201.04
381233 AT AND T MCI	PHONE	470.07

Office Equipment Replacement

381224 AMS DOT NET INC	HARDWARE	25,079.35
381289 INSIGHT PUBLIC SECTOR INC	MS LICENSING	15,762.54
934174 COMPUTERLAND	COMPUTER EQUIPMENT	4,641.32
934186 COMPUTERLAND	SOFTWARE	2,725.74

578 Post Retirement Medical-Misc Fund

Non Departmental

934197 RETIREE	MEDICAL AFTER RETIREMENT	2,866.90
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611 Water Fund

Non Departmental

381126 AMERICAN TEXTILE AND SUPPLY	SUPPLIES	655.50
381133 BISHOP CO	SUPPLIES	806.00
381140 COLE SUPPLY CO INC	SUPPLIES	2,027.24
381173 OFFICE MAX INC	OFFICE SUPPLIES	1,767.18
381186 ROBERTS AND BRUNE CO	PIPE FITTINGS	348.23
381221 ALL PRO PRINTING SOLUTIONS	ENVELOPES	3,944.40
381244 BISHOP CO	SUPPLIES	371.58

381287 WILCO SUPPLY	SUPPLIES	396.83
934176 GRAINGER INC	SUPPLIES	1,398.38

Water Supervision

381141 COLEY, TIMOTHY P	EXPENSE REIMBURSEMENT	474.60
381172 NEXTEL SPRINT	CELL PHONE	173.25

Water Production

381127 ANIMAL DAMAGE MANAGEMENT	PROFESSIONAL SERVICES	425.00
381130 AT AND T MCI	PHONE	1,110.49
381144 CONNELLY, BRIAN K	EXPENSE REIMBURSEMENT	478.80
381147 DEPARTMENT OF WATER RESOURCES	PROFESSIONAL SERVICES	8,058.00
381156 HAGGARD, WILLIAM T	EXPENSE REIMBURSEMENT	60.00
381172 NEXTEL SPRINT	CELL PHONE	133.97
381186 ROBERTS AND BRUNE CO	PIPE FITTINGS	802.99
381218 CALLAHAN, STEVEN P	EXPENSE REIMBURSEMENT	359.10
381226 ACE HARDWARE, ANTIOCH	SUPPLIES	73.18
381230 ARAMARK UNIFORM SERVICES	PROFESSIONAL SERVICES	49.61
381231 ARAMARK UNIFORM SERVICES	PROFESSIONAL SERVICES	49.61
381233 AT AND T MCI	PHONE	132.12
381269 EXPONENT INC	PROFESSIONAL SERVICES	5,200.00
381273 FISHER SCIENTIFIC COMPANY	LAB SUPPLIES	907.66
381280 HACH CO	LAB SUPPLIES	4,180.97
381308 PACIFIC GAS AND ELECTRIC CO	GAS	115,760.77
381332 UNIVAR USA INC	SODIUM HYDROXIDE	8,130.99
381335 WALTER BISHOP CONSULTING	PROFESSIONAL SERVICES	2,835.00
934173 CHEMTRADE CHEMICALS US LLC	ALUM	5,908.21
934176 GRAINGER INC	SUPPLIES	65.92
934178 LEES BUILDING MAINTENANCE	JANITORIAL SERVICES	338.00
934182 THATCHER COMPANY OF CALIFORNIA	CHLORINE	4,688.60
934190 EUROFINS EATON ANALYTICAL INC	SAMPLE TESTING	680.00

Water Distribution

381130 AT AND T MCI	PHONE	20.72
381160 INFOSEND INC	POSTAGE COSTS	8,912.33
381171 NALEZNY, ROBERT TRAVIS	EXPENSE REIMBURSEMENT	65.00
381172 NEXTEL SPRINT	CELL PHONE	637.41
381174 PAC MACHINE CO INC	WATER DIST	1,119.81
381186 ROBERTS AND BRUNE CO	PIPE FITTINGS	9,260.69
381188 ROYAL BRASS INC	SUPPLIES	41.89
381190 SCHATZ, MICHAEL J	EXPENSE REIMBURSEMENT	150.00
381191 SEAMAN, JOHN M	EXPENSE REIMBURSEMENT	249.99
381198 SWRCB	CERTIFICATION RENEWAL	80.00
381199 SWRCB	CERTIFICATION RENEWAL	80.00
381200 SWRCB	CERTIFICATION RENEWAL	80.00
381201 SWRCB	CERTIFICATION RENEWAL	70.00
381202 SWRCB	CERTIFICATION RENEWAL	80.00
381211 VELAZQUEZ-CARDENAS, CAMILO ROB	EXPENSE REIMBURSEMENT	45.00

381226 ACE HARDWARE, ANTIOCH	FITTING	140.55
381227 ANTIOCH BUILDING MATERIALS	PAVING MATERIALS	30,482.48
381242 BECKER, ELLIOT JAMES	CERTIFICATE REIMBURSEMENT	50.00
381246 C AND J FAVALORA TRUCKING INC	RECYCLING PROJECT	7,590.00
381251 COMCAST	CONNECTION SERVICES	1,023.76
381268 EH WACHS	HYDRAULIC PIPE CUTTER	12,110.44
381274 FURBER SAW INC	HYDRAULIC SAW	5,411.15
381275 G AND S PAVING INC	ASPHALT REPAIR	13,817.50
381288 INFOSEND INC	POSTAGE COSTS	263.70
381301 NCBPA	MEETING REGISTRATION FEE	200.00
381325 SYAR INDUSTRIES INC	ASPHALT	2,029.53
381334 W K HYDRAULICS INC	EQUIPMENT	5,478.17
934176 GRAINGER INC	SUPPLIES	296.59
934177 ICR ELECTRICAL CONTRACTORS	ELECTRICAL SERVICES	352.02
934180 RAY MORGAN COMPANY	COPIER USAGE	296.15

Water Meter Reading

381172 NEXTEL SPRINT	CELL PHONE	62.28
381175 PACE SUPPLY CORP	SUPPLIES	776.23
381186 ROBERTS AND BRUNE CO	PIPE FITTINGS	2,982.53
381236 BACKFLOW DISTRIBUTORS INC	PARTS	279.14
381300 NATIONAL METER & AUTOMATION	PARTS	44,259.51
934176 GRAINGER INC	SUPPLIES	195.34

Public Buildings & Facilities

381247 CAMP DRESSER AND MCKEE INC	CONSULTING SERVICES	8,963.92
381292 JEFFCO PAINTING AND COATING	PROFESSIONAL SERVICES	4,560.78
381337 WOODARD AND CURRAN	PROFESSIONAL SERVICES	4,919.50
934185 CAROLLO ENGINEERS INC	PROFESSIONAL SERVICES	173,861.65

Warehouse & Central Stores

381172 NEXTEL SPRINT	CELL PHONE	65.69
381209 UNITED PARCEL SERVICE	WEEKLY PRINTER SERVICE FEE	6.00
381331 UNITED PARCEL SERVICE	WEEKLY PRINTER SERVICE FEE	17.50
934180 RAY MORGAN COMPANY	COPIER USAGE	32.78

621 Sewer Fund

Sewer-Wastewater Supervision

934180 RAY MORGAN COMPANY	COPIER USAGE	463.64
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Sewer-Wastewater Collection

381130 AT AND T MCI	PHONE	45.58
381160 INFOSEND INC	POSTAGE COSTS	8,912.28
381172 NEXTEL SPRINT	CELL PHONE	464.47
381186 ROBERTS AND BRUNE CO	PIPE FITTINGS	2,499.92
381246 C AND J FAVALORA TRUCKING INC	RECYCLING PROJECT	7,590.00
381251 COMCAST	CONNECTION SERVICES	1,023.75
381275 G AND S PAVING INC	ASPHALT REPAIR	13,817.50

381288 INFOSEND INC	POSTAGE COSTS	263.69
381325 SYAR INDUSTRIES INC	ASPHALT	2,029.54
934176 GRAINGER INC	SUPPLIES	107.77
934177 ICR ELECTRICAL CONTRACTORS	ELECTRICAL SERVICES	352.02

631 Marina Fund

Marina Administration

381142 COMCAST	CONNECTION SERVICES	206.71
381172 NEXTEL SPRINT	CELL PHONE	57.75
381216 ZERO WASTE USA	SUPPLIES	182.88
381286 HUNT AND SONS INC	FUEL	2,157.33
381291 JAMES MIDDLETON & ASSOCIATES	SUPPLIES	19.66
381308 PACIFIC GAS AND ELECTRIC CO	GAS	4,017.85
381315 REAL PROTECTION INC	SUPPLIES	62.00
934180 RAY MORGAN COMPANY	COPIER USAGE	157.82

Marina Maintenance

381140 COLE SUPPLY CO INC	SUPPLIES	39.34
934178 LEES BUILDING MAINTENANCE	JANITORIAL SERVICES	1,375.00

Marina Boat Launch

381241 BAY RUBBER CO	EQUIPMENT	932.93
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Recreation Water Park

934188 DEL CONTES LANDSCAPING INC	LANDSCAPE SERVICES	2,649.00
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721 Employee Benefits Fund

Non Departmental


381145 CONTRA COSTA COUNTY	PAYROLL DEDUCTIONS	50.00
381146 CONTRA COSTA COUNTY	PAYROLL DEDUCTIONS	400.00
381164 LINA	PAYROLL DEDUCTIONS	3,451.39
381168 MUNICIPAL POOLING AUTHORITY	PAYROLL DEDUCTIONS	2,065.62
381178 PARS	PAYROLL DEDUCTIONS	3,723.23
381195 STATE OF CALIFORNIA	PAYROLL DEDUCTIONS	880.88
381196 STATE OF CALIFORNIA	PAYROLL DEDUCTIONS	200.00
381197 STATE OF CALIFORNIA	PAYROLL DEDUCTIONS	292.35
934179 NATIONWIDE RETIREMENT SOLUTION	PAYROLL DEDUCTIONS	42,459.91
934183 VANTAGEPOINT TRANSFER AGENTS	PAYROLL DEDUCTIONS	5,284.44



REPORT TO THE CITY COUNCIL

DATE: Regular Meeting of May 28, 2019

TO: Honorable Mayor and Members of the City Council

SUBMITTED BY: James Davis, City Treasurer 

SUBJECT: Treasurer's Report – April 2019

RECOMMENDED ACTION

It is recommended that the City Council receive and file the April 2019 Treasurer's Report.

FISCAL IMPACT

There is no fiscal impact of this action.

DISCUSSION

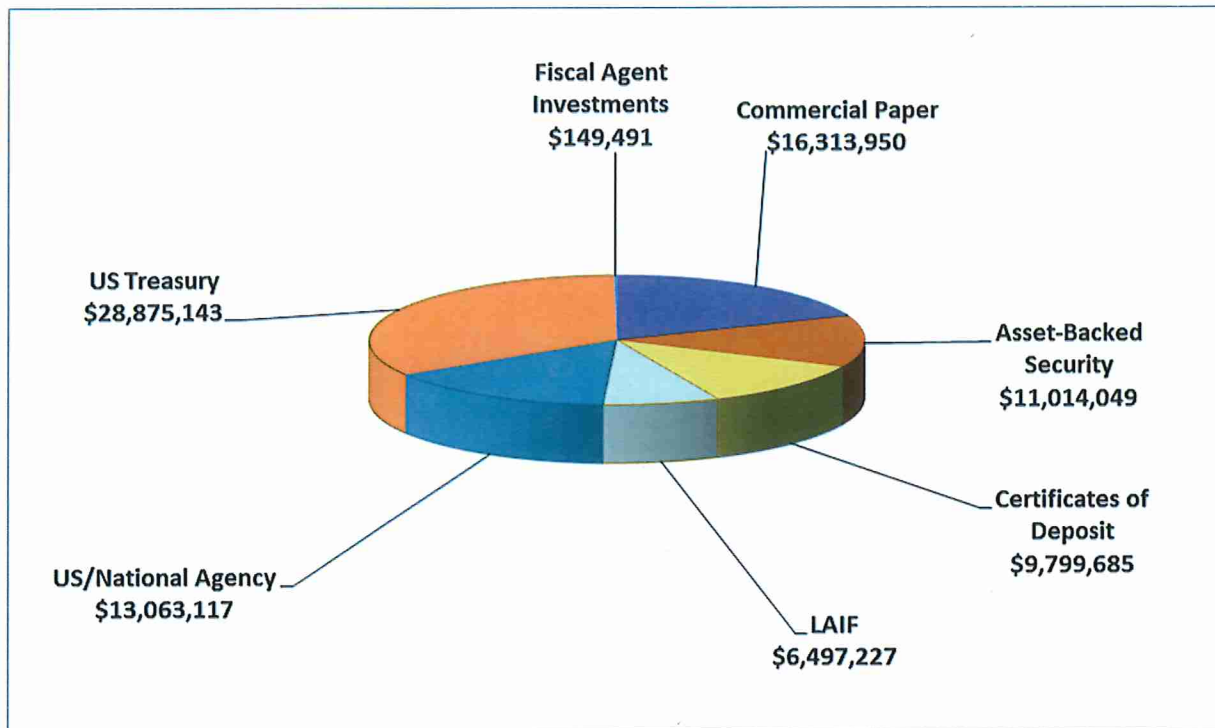
The City's *Statement of Investment Policy* (Policy) requires that the City Treasurer render, at least quarterly, an investment report to the City Council. The Policy also requires a monthly report of investment transactions to City Council. A monthly Treasurer's Report is provided to comply with both reporting provisions of the Policy.

ATTACHMENT

A. Treasurer's Report

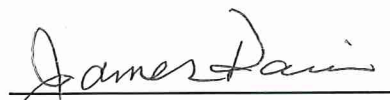
**CITY OF ANTIOCH
SUMMARY REPORT ON THE CITY'S INVESTMENTS**

April 30, 2019



Total of City and Fiscal Agent Investments = \$85,712,662

All City investments are shown above and conform to the City Investment Policy. All investment transactions during this period are included in this report. As Treasurer of the City of Antioch and Finance Director of the City of Antioch, we hereby certify that sufficient investment liquidity and anticipated revenue are available to meet the next six (6) months' estimated expenditures.


James Davis
Treasurer


Dawn Merchant
Finance Director

**Summary of Fiscal Agent Balances by
Debt Issue**

	<u>Amount</u>
Antioch Public Financing Authority 2015 Bonds	336
Antioch Development Agency 2009 Tax Allocation Bonds	149,155
	<u>\$149,491</u>



Managed Account Issuer Summary

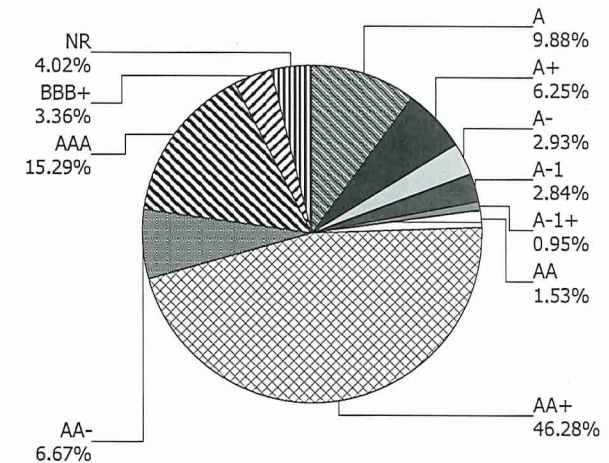
For the Month Ending **April 30, 2019**

CITY OF ANTIOCH, CA - 04380500

Issuer Summary

Issuer	Market Value of Holdings	Percent
3M COMPANY	429,143.10	0.54
ALLY AUTO RECEIVABLES TRUST	438,350.03	0.55
AMERICAN EXPRESS CO	1,389,802.77	1.75
AMERICAN HONDA FINANCE	413,230.93	0.52
BANK OF AMERICA CO	1,251,052.66	1.58
BANK OF MONTREAL	728,308.18	0.92
BANK OF NOVA SCOTIA	755,070.00	0.95
BB&T CORPORATION	805,016.00	1.01
BOEING COMPANY	119,821.20	0.15
CALIFORNIA ST	851,683.95	1.07
CANADIAN IMPERIAL BANK OF COMMERCE	751,733.25	0.95
CARMAX AUTO OWNER TRUST	898,853.52	1.13
CATERPILLAR INC	746,903.44	0.94
CHARLES SCHWAB	354,200.70	0.45
CITIGROUP INC	1,147,457.37	1.45
CREDIT AGRICOLE SA	775,430.90	0.98
CREDIT SUISSE GROUP	750,933.00	0.95
DEERE & COMPANY	793,654.46	1.00
EXXON MOBIL CORP	374,299.13	0.47
FANNIE MAE	5,063,482.82	6.38
FEDERAL HOME LOAN BANKS	1,601,373.38	2.02
FIFTH THIRD AUTO TRUST	284,937.36	0.36
FORD CREDIT AUTO LEASE TRUST	649,369.81	0.82
FORD CREDIT AUTO OWNER TRUST	633,600.14	0.80
FREDDIE MAC	723,193.18	0.91
GENERAL DYNAMICS CORP	436,477.70	0.55
GM FINANCIAL AUTO LEASING TRUST	503,040.61	0.63
GM FINANCIAL SECURITIZED TERM	899,328.83	1.13
GOLDMAN SACHS GROUP INC	400,275.20	0.50
HERSHEY COMPANY	283,250.24	0.36
HOME DEPOT INC	571,140.91	0.72
HONDA AUTO RECEIVABLES	869,239.19	1.10

Credit Quality (S&P Ratings)





Managed Account Issuer Summary

For the Month Ending **April 30, 2019**

CITY OF ANTIOCH, CA - 04380500

Issuer	Market Value of Holdings	Percent
HSBC HOLDINGS PLC	244,363.74	0.31
HYUNDAI AUTO RECEIVABLES	782,064.59	0.99
IBM CORP	124,820.75	0.16
INTEL CORPORATION	471,480.73	0.59
INTER-AMERICAN DEVELOPMENT BANK	1,566,531.85	1.97
INTERNATIONAL FINANCE CORPORATION	724,699.13	0.91
INTL BANK OF RECONSTRUCTION AND DEV	1,790,897.71	2.26
JOHNSON & JOHNSON	153,801.54	0.19
JP MORGAN CHASE & CO	805,208.00	1.01
MERCEDES-BENZ AUTO LEASE TRUST	765,522.46	0.96
MITSUBISHI UFJ FINANCIAL GROUP INC	780,130.11	0.98
MORGAN STANLEY	721,185.60	0.91
NATIONAL RURAL UTILITIES CO FINANCE CORP	301,743.60	0.38
NISSAN AUTO RECEIVABLES	1,305,051.96	1.64
NORDEA BANK AB	751,710.75	0.95
PACCAR FINANCIAL CORP	610,542.93	0.77
PFIZER INC	686,970.78	0.87
ROYAL BANK OF CANADA	964,644.25	1.22
STATE OF CONNECTICUT	791,923.35	1.00
SUMITOMO MITSUI FINANCIAL GROUP INC	760,007.25	0.96
SWEDBANK AB	744,465.75	0.94
THE BANK OF NEW YORK MELLON CORPORATION	699,094.50	0.88
THE WALT DISNEY CORPORATION	858,780.72	1.08
TOYOTA MOTOR CORP	1,731,300.94	2.18
UBS AG	752,395.50	0.95
UNILEVER PLC	750,382.71	0.95
UNITED PARCEL SERVICE INC	435,715.72	0.55
UNITED STATES TREASURY	28,963,956.78	36.48
VISA INC	199,012.00	0.25
VOLKSWAGEN OF AMERICA	591,970.39	0.75
WAL-MART STORES INC	526,467.76	0.66
WESTPAC BANKING CORP	1,318,310.08	1.66
Total	\$79,368,807.89	100.00%



Managed Account Detail of Securities Held

For the Month Ending **April 30, 2019**

CITY OF ANTIOCH, CA - 04380500

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
U.S. Treasury Bond / Note											
US TREASURY NOTES DTD 04/30/2015 1.375% 04/30/2020	912828K58	1,065,000.00	AA+	Aaa	07/19/17	07/19/17	1,061,879.89	1.48	39.79	1,063,869.41	1,054,142.33
US TREASURY NOTES DTD 06/30/2015 1.625% 06/30/2020	912828XH8	2,700,000.00	AA+	Aaa	06/26/17	06/28/17	2,709,703.13	1.50	14,665.40	2,703,814.43	2,676,796.20
US TREASURY NOTES DTD 07/31/2015 1.625% 07/31/2020	912828XM7	1,075,000.00	AA+	Aaa	07/05/17	07/07/17	1,075,671.87	1.60	4,343.06	1,075,279.73	1,065,342.20
US TREASURY NOTES DTD 10/31/2015 1.375% 10/31/2020	912828L99	200,000.00	AA+	Aaa	10/17/17	10/17/17	198,031.25	1.71	7.47	199,017.21	197,226.60
US TREASURY NOTES DTD 11/30/2015 1.625% 11/30/2020	912828M98	860,000.00	AA+	Aaa	11/01/17	11/03/17	856,271.09	1.77	5,835.71	858,057.48	850,694.80
US TREASURY NOTES DTD 12/31/2015 1.750% 12/31/2020	912828N48	750,000.00	AA+	Aaa	12/04/17	12/06/17	745,253.91	1.96	4,387.09	747,390.74	743,085.75
US TREASURY NOTES DTD 12/31/2015 1.750% 12/31/2020	912828N48	1,700,000.00	AA+	Aaa	12/01/17	12/05/17	1,691,898.44	1.91	9,944.06	1,695,552.58	1,684,327.70
US TREASURY NOTES DTD 01/31/2016 1.375% 01/31/2021	912828N89	1,500,000.00	AA+	Aaa	01/02/18	01/04/18	1,470,000.00	2.05	5,127.76	1,482,684.21	1,476,034.50
US TREASURY N/B NOTES DTD 05/15/2018 2.625% 05/15/2021	9128284P2	875,000.00	AA+	Aaa	02/08/19	02/11/19	878,383.79	2.45	10,596.08	878,077.66	880,913.25
US TREASURY NOTES DTD 06/02/2014 2.000% 05/31/2021	912828WN6	2,900,000.00	AA+	Aaa	06/04/18	06/06/18	2,848,457.03	2.62	24,219.78	2,863,617.01	2,884,253.00
US TREASURY NOTES DTD 06/30/2014 2.125% 06/30/2021	912828WR7	1,300,000.00	AA+	Aaa	07/03/18	07/06/18	1,280,093.75	2.66	9,233.77	1,285,402.42	1,296,191.00
US TREASURY NOTES DTD 08/15/2018 2.750% 08/15/2021	9128284W7	550,000.00	AA+	Aaa	10/02/18	10/04/18	547,916.02	2.89	3,133.63	548,327.42	555,993.90
US TREASURY NOTES DTD 08/15/2018 2.750% 08/15/2021	9128284W7	725,000.00	AA+	Aaa	09/12/18	09/14/18	723,838.87	2.81	4,130.70	724,087.73	732,901.05
US TREASURY NOTES DTD 08/15/2018 2.750% 08/15/2021	9128284W7	2,550,000.00	AA+	Aaa	09/05/18	09/07/18	2,552,091.80	2.72	14,528.66	2,551,666.60	2,577,789.90



Managed Account Detail of Securities Held

For the Month Ending April 30, 2019

CITY OF ANTIOCH, CA - 04380500

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
U.S. Treasury Bond / Note											
US TREASURY NOTES DTD 10/31/2014 2.000% 10/31/2021	912828F96	1,600,000.00	AA+	Aaa	11/02/18	11/02/18	1,556,375.00	2.96	86.96	1,563,356.74	1,590,312.00
UNITED STATES TREASURY NOTES DTD 01/15/2019 2.500% 01/15/2022	9128285V8	2,300,000.00	AA+	Aaa	01/29/19	01/31/19	2,296,675.78	2.55	16,837.02	2,296,953.40	2,314,733.80
US TREASURY NOTES DTD 01/31/2017 1.875% 01/31/2022	912828V72	3,600,000.00	AA+	Aaa	01/07/19	01/09/19	3,534,468.75	2.50	16,781.77	3,540,886.63	3,563,859.60
UNITED STATES TREASURY NOTES DTD 02/15/2019 2.500% 02/15/2022	9128286C9	2,800,000.00	AA+	Aaa	03/01/19	03/05/19	2,796,937.50	2.54	14,502.76	2,797,101.72	2,819,359.20
Security Type Sub-Total		29,050,000.00					28,823,947.87	2.33	158,401.47	28,875,143.12	28,963,956.78
Supra-National Agency Bond / Note											
INTL BANK OF RECONSTRUCTION AND DEV NOTE DTD 09/19/2017 1.561% 09/12/2020	45905UP32	725,000.00	AAA	Aaa	09/12/17	09/19/17	723,260.00	1.64	1,540.40	724,193.08	716,159.35
INTER-AMERICAN DEVELOPMENT BANK DTD 11/08/2013 2.125% 11/09/2020	4581X0CD8	720,000.00	AAA	Aaa	10/02/17	10/10/17	726,673.75	1.81	7,310.00	723,346.30	717,508.80
INTERNATIONAL FINANCE CORPORATION NOTE DTD 03/16/2018 2.635% 03/09/2021	45950VLQ7	725,000.00	AAA	Aaa	03/09/18	03/16/18	724,456.25	2.66	2,759.43	724,655.12	724,699.13
INTER-AMERICAN DEVELOPMENT BANK NOTE DTD 04/19/2018 2.625% 04/19/2021	4581X0DB1	845,000.00	AAA	Aaa	04/12/18	04/19/18	843,141.00	2.70	739.38	843,764.63	849,023.05
INTL BANK OF RECONSTRUCTION AND DEV NOTE DTD 07/25/2018 2.750% 07/23/2021	459058GH0	1,065,000.00	AAA	Aaa	07/18/18	07/25/18	1,062,507.90	2.83	7,972.71	1,063,125.97	1,074,738.36
Security Type Sub-Total		4,080,000.00					4,080,038.90	2.39	20,321.92	4,079,085.10	4,082,128.69
Municipal Bond / Note											



Managed Account Detail of Securities Held

For the Month Ending April 30, 2019

CITY OF ANTIOCH, CA - 04380500

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
Municipal Bond / Note											
CT ST TXBL GO BONDS DTD 08/17/2016 1.300% 08/15/2019	20772J3D2	795,000.00	A	A1	08/03/16	08/17/16	796,717.20	1.23	2,181.83	795,168.19	791,923.35
CA ST TXBL GO BONDS DTD 04/25/2018 2.800% 04/01/2021	13063DGA0	845,000.00	AA-	Aa3	04/18/18	04/25/18	845,033.80	2.80	1,971.67	845,016.16	851,683.95
Security Type Sub-Total		1,640,000.00					1,641,751.00	2.04	4,153.50	1,640,184.35	1,643,607.30
Federal Agency Collateralized Mortgage Obligation											
FNMA SERIES 2016-M9 ASQ2 DTD 06/01/2016 1.785% 06/01/2019	3136ASPX8	1,315.34	AA+	Aaa	06/09/16	06/30/16	1,328.50	1.05	1.96	1,315.34	1,312.99
FANNIE MAE SERIES 2015-M13 ASQ2 DTD 10/01/2015 1.646% 09/01/2019	3136AQDQ0	21,059.31	AA+	Aaa	10/07/15	10/30/15	21,270.19	1.08	28.89	21,059.31	20,980.74
FNA 2018-M5 A2 DTD 04/01/2018 3.560% 09/25/2021	3136B1XP4	376,291.94	AA+	Aaa	04/11/18	04/30/18	383,776.77	2.27	1,116.33	381,555.91	381,390.28
FHLMC MULTIFAMILY STRUCTURED P DTD 11/01/2015 2.716% 06/25/2022	3137BLUR7	375,000.00	AA+	Aaa	03/13/19	03/18/19	374,533.45	2.68	848.75	374,533.45	376,416.45
FHMS KP05 A DTD 12/01/2018 3.203% 07/01/2023	3137FKK39	343,238.90	AA+	Aaa	12/07/18	12/17/18	343,237.87	3.11	916.16	343,237.87	346,776.73
Security Type Sub-Total		1,116,905.49					1,124,146.78	2.64	2,912.09	1,121,701.88	1,126,877.19
Federal Agency Bond / Note											
FNMA NOTES DTD 08/01/2017 1.500% 07/30/2020	3135G0T60	1,475,000.00	AA+	Aaa	08/31/17	09/01/17	1,475,383.50	1.49	5,592.71	1,475,168.49	1,459,390.08
FANNIE MAE NOTES DTD 11/01/2018 2.875% 10/30/2020	3135G0U84	1,575,000.00	AA+	Aaa	11/02/18	11/02/18	1,572,669.00	2.95	125.78	1,573,237.46	1,587,554.33
FEDERAL HOME LOAN BANKS NOTES DTD 10/12/2018 3.000% 10/12/2021	3130AF5B9	1,575,000.00	AA+	Aaa	11/02/18	11/02/18	1,573,866.00	3.03	2,493.75	1,574,065.30	1,601,373.38
FANNIE MAE NOTES DTD 01/11/2019 2.625% 01/11/2022	3135G0U92	800,000.00	AA+	Aaa	01/09/19	01/11/19	799,424.00	2.65	6,416.67	799,480.75	806,427.20



Managed Account Detail of Securities Held

For the Month Ending **April 30, 2019**

CITY OF ANTIOCH, CA - 04380500

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
Federal Agency Bond / Note											
FANNIE MAE NOTES DTD 01/11/2019 2.625% 01/11/2022	3135G0U92	800,000.00	AA+	Aaa	01/29/19	01/31/19	800,208.00	2.62	6,416.67	800,194.07	806,427.20
Security Type Sub-Total		6,225,000.00					6,221,550.50	2.55	21,045.58	6,222,146.07	6,261,172.19
Corporate Note											
WALT DISNEY COMPANY CORP NOTES DTD 03/06/2017 1.950% 03/04/2020	25468PDP8	140,000.00	A	A2	03/01/17	03/06/17	139,963.60	1.96	432.25	139,989.54	139,186.32
HSBC USA INC NOTES DTD 03/05/2015 2.350% 03/05/2020	40428HPR7	245,000.00	A	A2	03/27/18	03/29/18	241,878.70	3.03	895.61	243,616.72	244,363.74
UNILEVER CAPITAL CORP BONDS DTD 05/05/2017 1.800% 05/05/2020	904764AV9	175,000.00	A+	A1	05/02/17	05/05/17	174,441.75	1.91	1,540.00	174,808.29	173,601.93
GENERAL DYNAMICS CORP DTD 05/11/2018 2.875% 05/11/2020	369550BA5	435,000.00	A+	A2	05/08/18	05/11/18	433,460.10	3.06	5,905.73	434,197.14	436,477.70
INTEL CORP NOTES DTD 05/11/2017 1.850% 05/11/2020	458140AZ3	475,000.00	A+	A1	05/08/17	05/11/17	474,819.50	1.86	4,149.65	474,937.03	471,480.73
HOME DEPOT INC CORP NOTES DTD 06/05/2017 1.800% 06/05/2020	437076BQ4	345,000.00	A	A2	05/24/17	06/05/17	344,799.90	1.82	2,518.50	344,925.76	341,969.18
WALT DISNEY COMPANY CORP NOTES DTD 06/06/2017 1.800% 06/05/2020	25468PDU7	725,000.00	A	A2	06/01/17	06/06/17	724,159.00	1.84	5,292.50	724,687.58	719,594.40
AMERICAN HONDA FINANCE CORP NOTES DTD 07/20/2017 1.950% 07/20/2020	02665WBT7	160,000.00	A	A2	07/17/17	07/20/17	159,838.40	1.98	875.33	159,933.19	158,723.68
BNY MELLON CORP NOTE (CALLABLE) DTD 08/17/2015 2.600% 08/17/2020	06406HDD8	325,000.00	A	A1	02/16/18	02/21/18	323,404.25	2.81	1,736.94	324,157.15	325,084.50
CATERPILLAR FINL SERVICE NOTE DTD 09/07/2017 1.850% 09/04/2020	14913Q2A6	545,000.00	A	A3	09/05/17	09/07/17	544,542.20	1.88	1,596.40	544,791.42	539,560.90
CITIGROUP INC CORP NOTES DTD 10/26/2015 2.650% 10/26/2020	172967KB6	425,000.00	BBB+	A3	09/22/17	09/26/17	429,726.00	2.27	156.42	427,321.05	424,389.28



Managed Account Detail of Securities Held

For the Month Ending April 30, 2019

CITY OF ANTIOCH, CA - 04380500

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
Corporate Note											
AMERICAN EXPRESS CO CORP (CALLABLE) NOTE DTD 10/30/2017 2.200% 10/30/2020	025816BP3	325,000.00	BBB+	A3	10/23/17	10/30/17	324,577.50	2.25	19.86	324,785.61	322,531.30
JOHNSON & JOHNSON CORP NOTE DTD 11/10/2017 1.950% 11/10/2020	478160CH5	155,000.00	AAA	Aaa	11/08/17	11/10/17	154,834.15	1.99	1,435.69	154,914.47	153,801.54
PACCAR FINANCIAL CORP NOTES DTD 11/13/2017 2.050% 11/13/2020	69371RN85	200,000.00	A+	A1	11/06/17	11/13/17	199,982.00	2.05	1,913.33	199,990.66	198,567.20
VISA INC (CALLABLE) CORP NOTES DTD 12/14/2015 2.200% 12/14/2020	92826CAB8	200,000.00	AA-	Aa3	08/25/17	08/30/17	202,200.00	1.85	1,674.44	201,072.05	199,012.00
JOHN DEERE CAPITAL CORP NOTES DTD 01/08/2018 2.350% 01/08/2021	24422ETZ2	140,000.00	A	A2	01/03/18	01/08/18	139,927.20	2.37	1,032.69	139,958.47	139,479.20
IBM CORP CORP NOTES DTD 02/06/2018 2.650% 02/05/2021	44932HAG8	125,000.00	A	A1	02/01/18	02/06/18	124,938.75	2.67	791.32	124,963.40	124,820.75
AMERICAN EXPRESS CO CORP NOTES DTD 02/22/2019 3.000% 02/22/2021	025816CB3	450,000.00	BBB+	A3	02/19/19	02/22/19	449,550.00	3.05	2,587.50	449,592.15	451,822.95
PACCAR FINANCIAL CORP NOTES DTD 02/27/2018 2.800% 03/01/2021	69371RN93	240,000.00	A+	A1	02/22/18	02/27/18	239,882.40	2.82	1,120.00	239,926.94	240,733.20
JOHN DEERE CAPITAL CORP NOTES DTD 03/13/2018 2.875% 03/12/2021	24422EUD9	375,000.00	A	A2	03/08/18	03/13/18	374,745.00	2.90	1,467.45	374,838.77	376,778.63
NATIONAL RURAL UTIL COOP NOTE DTD 02/26/2018 2.900% 03/15/2021	63743HER9	300,000.00	A	A2	02/21/18	02/26/18	299,667.00	2.94	1,111.67	299,790.49	301,743.60
UNILEVER CAPITAL CORP NOTES DTD 03/22/2018 2.750% 03/22/2021	904764AZ0	575,000.00	A+	A1	03/19/18	03/22/18	572,061.75	2.93	1,713.02	573,118.13	576,780.78
UNITED PARCEL SERVICE CORPORATE BOND DTD 11/14/2017 2.050% 04/01/2021	911312BP0	440,000.00	A+	A1	11/09/17	11/14/17	439,304.80	2.10	751.67	439,597.46	435,715.72
TOYOTA MOTOR CREDIT CORP NOTES DTD 04/13/2018 2.950% 04/13/2021	89236TEU5	440,000.00	AA-	Aa3	04/10/18	04/13/18	439,824.00	2.96	649.00	439,883.86	443,072.96



Managed Account Detail of Securities Held

For the Month Ending April 30, 2019

CITY OF ANTIOCH, CA - 04380500

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
Corporate Note											
BANK OF NEW YORK MELLON CORP (CALLABLE) DTD 02/19/2016 2.500% 04/15/2021	06406FAA1	375,000.00	A	A1	02/16/18	02/21/18	370,128.75	2.93	416.67	371,928.45	374,010.00
MORGAN STANLEY CORP NOTES DTD 04/21/2016 2.500% 04/21/2021	61746BEA0	350,000.00	BBB+	A3	02/13/18	02/15/18	344,120.00	3.06	243.06	346,295.64	348,098.10
HERSHEY COMPANY CORP NOTES DTD 05/10/2018 3.100% 05/15/2021	427866BA5	280,000.00	A	A1	05/03/18	05/10/18	279,806.80	3.12	4,002.44	279,866.73	283,250.24
CHARLES SCHWAB CORP NOTES DTD 05/22/2018 3.250% 05/21/2021	808513AW5	350,000.00	A	A2	05/17/18	05/22/18	349,989.50	3.25	5,055.56	349,992.52	354,200.70
WAL-MART STORES INC CORP NOTES DTD 06/27/2018 3.125% 06/23/2021	931142EJ8	520,000.00	AA	Aa2	06/20/18	06/27/18	519,974.00	3.13	5,777.78	519,980.13	526,467.76
CATERPILLAR FINANCIAL SERVICES CORP CORP DTD 09/07/2018 3.150% 09/07/2021	14913Q2N8	205,000.00	A	A3	09/04/18	09/07/18	204,842.15	3.18	968.63	204,875.14	207,342.54
3M COMPANY DTD 09/14/2018 3.000% 09/14/2021	88579YBA8	175,000.00	AA-	A1	09/11/18	09/14/18	174,641.25	3.07	685.42	174,714.04	177,252.60
PFIZER INC CORP NOTE DTD 09/07/2018 3.000% 09/15/2021	717081EM1	450,000.00	AA	A1	09/04/18	09/07/18	449,392.50	3.05	1,725.00	449,520.51	455,322.60
BANK OF AMERICA CORP (CALLABLE) DTD 09/18/2017 2.328% 10/01/2021	06051GGS2	275,000.00	A-	A2	09/22/17	09/26/17	274,560.00	2.37	533.50	274,729.88	272,796.15
BANK OF AMERICA CORP (CALLABLE) DTD 09/18/2017 2.328% 10/01/2021	06051GGS2	450,000.00	A-	A2	09/13/17	09/18/17	450,000.00	2.33	873.00	450,000.00	446,393.70
CITIGROUP INC CORP (CALLABLE) NOTE DTD 12/08/2016 2.900% 12/08/2021	172967LC3	350,000.00	BBB+	A3	01/15/19	01/17/19	343,633.50	3.57	4,031.81	344,246.66	350,218.75
AMERICAN HONDA FINANCE CORP NOTES DTD 10/10/2018 3.375% 12/10/2021	02665WCP4	250,000.00	A	A2	10/03/18	10/10/18	249,880.00	3.39	3,304.69	249,893.76	254,507.25
TOYOTA MOTOR CREDIT CORP BONDS DTD 01/09/2017 2.600% 01/11/2022	89236TDP7	345,000.00	AA-	Aa3	12/28/18	12/31/18	339,172.95	3.19	2,740.83	339,790.86	344,792.66



Managed Account Detail of Securities Held

For the Month Ending April 30, 2019

CITY OF ANTIOCH, CA - 04380500

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
Corporate Note											
PACCAR FINANCIAL CORP NOTE DTD 03/01/2019 2.850% 03/01/2022	69371RP75	170,000.00	A+	A1	02/22/19	03/01/19	169,850.40	2.88	807.50	169,858.42	171,242.53
HOME DEPOT INC DTD 12/06/2018 3.250% 03/01/2022	437076BV3	225,000.00	A	A2	11/27/18	12/06/18	224,383.50	3.34	1,218.75	224,450.25	229,171.73
3M COMPANY BONDS DTD 02/22/2019 2.750% 03/01/2022	88579YBF7	250,000.00	AA-	A1	02/12/19	02/22/19	249,882.50	2.77	1,317.71	249,890.07	251,890.50
EXXON MOBIL CORP (CALLABLE) NOTE DTD 03/06/2015 2.397% 03/06/2022	30231GAJ1	375,000.00	AA+	Aaa	11/26/18	11/28/18	363,615.00	3.38	1,373.28	365,035.19	374,299.13
PFIZER INC CORP BONDS DTD 03/11/2019 2.800% 03/11/2022	717081ER0	230,000.00	AA	A1	03/04/19	03/11/19	229,986.20	2.80	894.44	229,986.82	231,648.18
JOHN DEERE CAPITAL CORP DTD 03/07/2019 2.950% 04/01/2022	24422EUT4	275,000.00	A	A2	03/04/19	03/07/19	274,868.00	2.97	1,216.88	274,875.19	277,396.63
GOLDMAN SACHS GROUP INC (CALLABLE) NOTE DTD 01/26/2017 3.000% 04/26/2022	38141GWC4	400,000.00	BBB+	A3	02/13/19	02/15/19	395,608.00	3.36	166.67	395,895.14	400,275.20
BOEING CO CORP NOTE DTD 05/02/2019 2.700% 05/01/2022	097023CG8	120,000.00	A	A2	04/30/19	05/02/19	119,787.60	2.76	0.00	119,787.60	119,821.20
MORGAN STANLEY CORP NOTES DTD 05/19/2017 2.750% 05/19/2022	61744YAH1	375,000.00	BBB+	A3	04/05/19	04/09/19	372,513.75	2.97	4,640.63	372,563.96	373,087.50
BRANCH BANKING & TRUST CORP NOTES DTD 03/18/2019 3.050% 06/20/2022	05531FBG7	800,000.00	A-	A2	03/11/19	03/18/19	799,976.00	3.05	2,914.44	799,976.00	805,016.00
JPMORGAN CHASE & CO BONDS DTD 03/22/2019 3.207% 04/01/2023	46647PBB1	800,000.00	A-	A2	03/15/19	03/22/19	800,000.00	3.21	2,779.40	800,000.00	805,208.00
Security Type Sub-Total		16,355,000.00					16,303,140.30	2.75	89,055.06	16,313,950.29	16,373,001.84
Certificate of Deposit											
CREDIT SUISSE NEW YORK CERT DEPOS DTD 02/08/2018 2.670% 02/07/2020	22549LFR1	750,000.00	A-1	P-1	02/07/18	02/08/18	750,000.00	2.67	24,641.88	750,000.00	750,933.00



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CITY OF ANTIOCH, CA - 04380500

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
Certificate of Deposit											
NORDEA BANK AB NY CD DTD 02/22/2018 2.720% 02/20/2020	65590ASN7	750,000.00	A-1+	P-1	02/20/18	02/22/18	750,000.00	2.72	4,023.33	750,000.00	751,710.75
UBS AG STAMFORD CT LT CD DTD 03/06/2018 2.900% 03/02/2020	90275DHG8	750,000.00	A-1	P-1	03/02/18	03/06/18	750,000.00	2.93	3,504.17	750,000.00	752,395.50
CANADIAN IMP BK COMM NY FLT CERT DEPOS DTD 04/10/2018 2.984% 04/10/2020	13606BVF0	750,000.00	A-1	P-1	04/06/18	04/10/18	750,000.00	2.78	1,305.50	750,000.00	751,733.25
BANK OF NOVA SCOTIA HOUSTON CD DTD 06/07/2018 3.080% 06/05/2020	06417GU22	750,000.00	A+	Aa2	06/05/18	06/07/18	749,715.00	3.10	9,368.33	749,840.99	755,070.00
BANK OF MONTREAL CHICAGO CERT DEPOS DTD 08/03/2018 3.190% 08/03/2020	06370REU9	725,000.00	A+	Aa2	08/01/18	08/03/18	725,000.00	3.23	17,409.87	725,000.00	728,308.18
WESTPAC BANKING CORP NY CD DTD 08/07/2017 2.050% 08/03/2020	96121T4A3	1,325,000.00	AA-	Aa3	08/03/17	08/07/17	1,325,000.00	2.05	6,337.92	1,325,000.00	1,318,310.08
SUMITOMO MITSUI BANK NY CERT DEPOS DTD 10/18/2018 3.390% 10/16/2020	86565BPC9	750,000.00	A	A1	10/16/18	10/18/18	748,980.00	3.46	1,059.38	749,844.05	760,007.25
SWEDBANK (NEW YORK) CERT DEPOS DTD 11/17/2017 2.270% 11/16/2020	87019U6D6	750,000.00	AA-	Aa2	11/16/17	11/17/17	750,000.00	2.30	7,850.42	750,000.00	744,465.75
MUFG BANK LTD/NY CERT DEPOS DTD 02/28/2019 2.970% 02/26/2021	55379WZT6	775,000.00	A	A1	02/27/19	02/28/19	775,000.00	2.99	3,964.13	775,000.00	780,130.11
CREDIT AGRICOLE CIB NY CERT DEPOS DTD 04/04/2019 2.830% 04/02/2021	22535CDU2	775,000.00	A+	A1	04/03/19	04/04/19	775,000.00	2.85	1,644.94	775,000.00	775,430.90
ROYAL BANK OF CANADA NY CD DTD 06/08/2018 3.240% 06/07/2021	78012UEE1	950,000.00	AA-	Aa2	06/07/18	06/08/18	950,000.00	3.24	12,312.00	950,000.00	964,644.25
Security Type Sub-Total		9,800,000.00					9,798,695.00	2.82	93,421.87	9,799,685.04	9,833,139.02
Asset-Backed Security											
ALLY ABS 2016-3 A3 DTD 05/31/2016 1.440% 08/15/2020	02007LAC6	17,925.22	AAA	Aaa	05/24/16	05/31/16	17,923.48	1.44	11.47	17,924.75	17,909.93



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CITY OF ANTIOCH, CA - 04380500

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
Asset-Backed Security											
HYUNDAI ABS 2016-A A3 DTD 03/30/2016 1.560% 09/15/2020	44930UAD8	22,692.12	AAA	Aaa	03/22/16	03/30/16	22,687.72	1.57	15.73	22,690.99	22,660.76
GMALT 2018-3 A3 DTD 09/26/2018 3.180% 06/20/2021	36256GAD1	230,000.00	AAA	Aaa	09/18/18	09/26/18	229,981.83	3.19	223.48	229,985.66	231,507.47
TOYOTA ABS 2017-B A3 DTD 05/17/2017 1.760% 07/15/2021	89190BAD0	622,726.61	AAA	Aaa	05/09/17	05/17/17	622,678.85	1.76	487.11	622,700.69	619,800.98
ALLY ABS 2017-3 A3 DTD 05/24/2017 1.740% 09/15/2021	02007EAE8	138,756.21	AAA	Aaa	05/16/17	05/24/17	138,741.74	1.96	107.30	138,748.60	138,159.56
MBALT 2018-B A3 DTD 11/20/2018 3.210% 09/15/2021	58769LAC6	760,000.00	AAA	NR	11/15/18	11/20/18	759,982.98	3.51	1,084.27	759,982.98	765,522.46
FORDL 2018-B A3 DTD 09/21/2018 3.190% 12/15/2021	34531LAD2	315,000.00	NR	Aaa	09/18/18	09/21/18	314,973.38	3.41	446.60	314,978.26	317,438.42
GMALT 2019-1 A3 DTD 02/21/2019 2.980% 12/20/2021	36256UAD0	270,000.00	AAA	Aaa	02/13/19	02/21/19	269,957.61	2.99	245.85	269,960.39	271,533.14
CITIBANK ABS 2017-A3 A3 DTD 04/11/2017 1.920% 04/07/2022	17305EGB5	375,000.00	AAA	NR	05/15/17	05/22/17	376,001.25	1.82	480.00	375,659.71	372,849.34
FORDL 2019-A A3 DTD 02/25/2019 2.900% 05/15/2022	34532FAD4	330,000.00	AAA	Aaa	02/20/19	02/25/19	329,974.19	2.90	425.33	329,976.19	331,931.39
HART 2018-A A3 DTD 04/18/2018 2.790% 07/15/2022	44891KAD7	120,000.00	AAA	Aaa	04/10/18	04/18/18	119,981.93	2.80	148.80	119,986.19	120,415.39
BANK OF AMERICA ABS 2017-A1 A1 DTD 03/30/2017 1.950% 08/15/2022	05522RCW6	375,000.00	NR	Aaa	06/11/18	06/13/18	369,052.73	2.73	325.00	370,178.34	373,226.14
AMXCA 2018-1 A DTD 03/21/2018 2.670% 10/17/2022	02582JHQ6	615,000.00	NR	Aaa	03/14/18	03/21/18	614,928.60	2.68	729.80	614,945.39	615,448.52
HART 2018-B A3 DTD 12/12/2018 3.200% 12/15/2022	44933AAC1	300,000.00	AAA	Aaa	12/04/18	12/12/18	299,996.40	3.48	426.67	299,996.83	303,407.01
BANK OF AMERICA ABS 2017-A2 A2 DTD 08/24/2017 1.840% 01/15/2023	05522RCX4	160,000.00	AAA	NR	12/19/18	12/21/18	156,868.75	2.81	130.84	157,123.66	158,636.67



Managed Account Detail of Securities Held

For the Month Ending April 30, 2019

CITY OF ANTIOCH, CA - 04380500

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
Asset-Backed Security											
HAROT 2018-4 A3 DTD 11/28/2018 3.160% 01/15/2023	43815AAC6	740,000.00	AAA	Aaa	11/20/18	11/28/18	739,889.37	3.17	1,039.29	739,900.07	748,436.67
TOYOTA AUTO RECEIVABLES OWNER DTD 11/07/2018 3.180% 03/15/2023	89231PAD0	320,000.00	AAA	Aaa	10/31/18	11/07/18	319,930.78	3.19	452.27	319,938.64	323,634.34
HAROT 2019-1 A3 DTD 02/27/2019 2.830% 03/20/2023	43814WAC9	120,000.00	AAA	NR	02/19/19	02/27/19	119,996.78	2.83	122.63	119,996.97	120,802.52
VALET 2018-2 A3 DTD 11/21/2018 3.250% 04/20/2023	92869BAD4	585,000.00	AAA	Aaa	11/15/18	11/21/18	584,975.43	3.25	580.94	584,977.85	591,970.39
HYUNDAI AUTO RECEIVABLES TRUST DTD 04/10/2019 2.660% 06/15/2023	44932NAD2	335,000.00	AAA	NR	04/03/19	04/10/19	334,955.91	2.67	519.81	334,956.65	335,581.43
CARMAX AUTO OWNER TRUST DTD 07/25/2018 3.130% 06/15/2023	14313FAD1	340,000.00	AAA	NR	07/18/18	07/25/18	339,953.66	3.36	472.98	339,960.66	343,660.54
NAROT 2018-C A3 DTD 12/12/2018 3.220% 06/15/2023	65478NAD7	775,000.00	AAA	Aaa	12/04/18	12/12/18	774,851.51	3.53	1,109.11	774,864.17	785,329.05
ALLYA 2019-1 A3 DTD 02/13/2019 2.910% 09/15/2023	02004WAC5	280,000.00	NR	Aaa	02/05/19	02/13/19	279,966.18	3.13	362.13	279,967.80	282,280.54
CARMAX AUTO OWNER TRUST DTD 10/24/2018 3.360% 09/15/2023	14315EAC4	285,000.00	AAA	NR	10/17/18	10/24/18	284,997.38	3.36	425.60	284,997.85	289,899.86
FORDO 2019-A A3 DTD 03/22/2019 2.780% 09/15/2023	34533FAD3	630,000.00	NR	Aaa	03/19/19	03/22/19	629,893.97	2.79	778.40	629,896.31	633,600.14
NAROT 2019-A A3 DTD 02/13/2019 2.900% 10/15/2023	65479KAD2	515,000.00	NR	Aaa	02/05/19	02/13/19	514,921.98	2.91	663.78	514,925.62	519,722.91
GMCAR 2019-1 A3 DTD 01/16/2019 2.970% 11/16/2023	36256XAD4	445,000.00	NR	Aaa	01/08/19	01/16/19	444,950.74	2.97	550.69	444,953.60	448,747.61
FIFTH THIRD AUTO TRUST DTD 05/08/2019 2.710% 12/15/2023	31680YAD9	285,000.00	AAA	Aaa	04/30/19	05/08/19	284,937.36	2.72	0.00	284,937.36	284,937.36
GMCAR 2019-2 A3 DTD 04/17/2019 3.130% 02/16/2024	36257FAD2	450,000.00	AAA	Aaa	04/09/19	04/17/19	449,963.37	3.13	547.75	449,963.67	450,581.22



Managed Account Detail of Securities Held

For the Month Ending **April 30, 2019**

CITY OF ANTIOCH, CA - 04380500

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
Asset-Backed Security											
CARMX 2019-2 A3 DTD 04/17/2019 2.680% 03/15/2024	14316LAC7	265,000.00	AAA	NR	04/09/19	04/17/19	264,972.92	2.90	276.19	264,973.13	265,293.12
Security Type Sub-Total		11,022,100.16					11,012,888.78	2.96	13,189.82	11,014,048.98	11,084,924.88
Managed Account Sub-Total		79,289,005.65					79,006,159.13	2.58	402,501.31	79,065,944.83	79,368,807.89
Securities Sub-Total		\$79,289,005.65					\$79,006,159.13	2.58%	\$402,501.31	\$79,065,944.83	\$79,368,807.89
Accrued Interest											\$402,501.31
Total Investments											\$79,771,309.20

Bolded items are forward settling trades.



Managed Account Security Transactions & Interest

For the Month Ending April 30, 2019

CITY OF ANTIOCH, CA - 04380500

Transaction Type	Trade	Settle	Security Description	CUSIP	Par	Principal Proceeds	Accrued Interest	Total	Realized G/L Cost	Realized G/L Amort Cost	Sale Method
BUY											
	04/03/19	04/04/19	CREDIT AGRICOLE CIB NY CERT DEPOS DTD 04/04/2019 2.830% 04/02/2021	22535CDU2	775,000.00	(775,000.00)	0.00	(775,000.00)			
	04/03/19	04/10/19	HYUNDAI AUTO RECEIVABLES TRUST DTD 04/10/2019 2.660% 06/15/2023	44932NAD2	335,000.00	(334,955.91)	0.00	(334,955.91)			
	04/05/19	04/09/19	MORGAN STANLEY CORP NOTES DTD 05/19/2017 2.750% 05/19/2022	61744YAH1	375,000.00	(372,513.75)	(4,010.42)	(376,524.17)			
	04/09/19	04/17/19	CARMX 2019-2 A3 DTD 04/17/2019 2.680% 03/15/2024	14316LAC7	265,000.00	(264,972.92)	0.00	(264,972.92)			
	04/09/19	04/17/19	GMCAR 2019-2 A3 DTD 04/17/2019 3.130% 02/16/2024	36257FAD2	450,000.00	(449,963.37)	0.00	(449,963.37)			
	04/30/19	05/02/19	BOEING CO CORP NOTE DTD 05/02/2019 2.700% 05/01/2022	097023CG8	120,000.00	(119,787.60)	0.00	(119,787.60)			
	04/30/19	05/08/19	FIFTH THIRD AUTO TRUST DTD 05/08/2019 2.710% 12/15/2023	31680YAD9	285,000.00	(284,937.36)	0.00	(284,937.36)			

Transaction Type Sub-Total					2,605,000.00	(2,602,130.91)	(4,010.42)	(2,606,141.33)			
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INTEREST											
	04/01/19	04/01/19	BANK OF AMERICA CORP (CALLABLE) DTD 09/18/2017 2.328% 10/01/2021	06051GGS2	450,000.00	0.00	5,238.00	5,238.00			
	04/01/19	04/01/19	UNITED PARCEL SERVICE CORPORATE BOND DTD 11/14/2017 2.050% 04/01/2021	911312BP0	440,000.00	0.00	4,510.00	4,510.00			
	04/01/19	04/01/19	BANK OF AMERICA CORP (CALLABLE) DTD 09/18/2017 2.328% 10/01/2021	06051GGS2	275,000.00	0.00	3,201.00	3,201.00			
	04/01/19	04/01/19	CA ST TXBL GO BONDS DTD 04/25/2018 2.800% 04/01/2021	13063DGA0	845,000.00	0.00	11,830.00	11,830.00			
	04/01/19	04/25/19	FHMS KP05 A DTD 12/01/2018 3.203% 07/01/2023	3137FKK39	343,781.40	0.00	917.61	917.61			
	04/01/19	04/25/19	FANNIE MAE SERIES 2015-M13 ASQ2 DTD 10/01/2015 1.646% 09/01/2019	3136AQDQ0	27,911.69	0.00	38.29	38.29			
	04/01/19	04/25/19	FNMA SERIES 2016-M9 ASQ2 DTD 06/01/2016 1.785% 06/01/2019	3136ASPX8	2,262.49	0.00	3.37	3.37			



Managed Account Security Transactions & Interest

For the Month Ending April 30, 2019

CITY OF ANTIOCH, CA - 04380500

Transaction Type	Trade	Settle	Security Description	CUSIP	Par	Principal Proceeds	Accrued Interest	Total	Realized G/L Cost	Realized G/L Amort Cost	Sale Method
INTEREST											
	04/01/19	04/25/19	FNA 2018-M5 A2 DTD 04/01/2018 3.560% 09/25/2021	3136B1XP4	383,636.79	0.00	1,158.62	1,158.62			
	04/01/19	04/25/19	FHLMC MULTIFAMILY STRUCTURED P DTD 11/01/2015 2.716% 06/25/2022	3137BLUR7	375,000.00	0.00	848.75	848.75			
	04/07/19	04/07/19	CITIBANK ABS 2017-A3 A3 DTD 04/11/2017 1.920% 04/07/2022	17305EGB5	375,000.00	0.00	3,600.00	3,600.00			
	04/10/19	04/10/19	CANADIAN IMP BK COMM NY FLT CERT DEPOS DTD 04/10/2018 2.984% 04/10/2020	13606BVF0	750,000.00	0.00	5,967.19	5,967.19			
	04/12/19	04/12/19	FEDERAL HOME LOAN BANKS NOTES DTD 10/12/2018 3.000% 10/12/2021	3130AF5B9	1,575,000.00	0.00	23,625.00	23,625.00			
	04/13/19	04/13/19	TOYOTA MOTOR CREDIT CORP NOTES DTD 04/13/2018 2.950% 04/13/2021	89236TEU5	440,000.00	0.00	6,490.00	6,490.00			
	04/15/19	04/15/19	FORDO 2019-A A3 DTD 03/22/2019 2.780% 09/15/2023	34533FAD3	630,000.00	0.00	1,118.95	1,118.95			
	04/15/19	04/15/19	HYUNDAI ABS 2016-A A3 DTD 03/30/2016 1.560% 09/15/2020	44930UAD8	30,859.40	0.00	40.12	40.12			
	04/15/19	04/15/19	BANK OF NEW YORK MELLON CORP (CALLABLE) DTD 02/19/2016 2.500% 04/15/2021	06406FAA1	375,000.00	0.00	4,687.50	4,687.50			
	04/15/19	04/15/19	TOYOTA AUTO RECEIVABLES OWNER DTD 11/07/2018 3.180% 03/15/2023	89231PAD0	320,000.00	0.00	848.00	848.00			
	04/15/19	04/15/19	HAROT 2018-4 A3 DTD 11/28/2018 3.160% 01/15/2023	43815AAC6	740,000.00	0.00	1,948.67	1,948.67			
	04/15/19	04/15/19	CARMAX AUTO OWNER TRUST DTD 10/24/2018 3.360% 09/15/2023	14315EAC4	285,000.00	0.00	798.00	798.00			
	04/15/19	04/15/19	ALLY ABS 2016-3 A3 DTD 05/31/2016 1.440% 08/15/2020	02007LAC6	28,402.33	0.00	34.08	34.08			
	04/15/19	04/15/19	BANK OF AMERICA ABS 2017-A2 A2 DTD 08/24/2017 1.840% 01/15/2023	05522RCX4	160,000.00	0.00	245.33	245.33			
	04/15/19	04/15/19	NAROT 2019-A A3 DTD 02/13/2019 2.900% 10/15/2023	65479KAD2	515,000.00	0.00	1,244.58	1,244.58			
	04/15/19	04/15/19	FORDL 2019-A A3 DTD 02/25/2019 2.900% 05/15/2022	34532FAD4	330,000.00	0.00	797.50	797.50			



Managed Account Security Transactions & Interest

For the Month Ending April 30, 2019

CITY OF ANTIOCH, CA - 04380500

Transaction Type		Security Description	CUSIP	Par	Principal Proceeds	Accrued Interest	Total	Realized G/L Cost	Realized G/L Amort Cost	Sale Method
Trade	Settle									
INTEREST										
04/15/19	04/15/19	CARMAX AUTO OWNER TRUST DTD 07/25/2018 3.130% 06/15/2023	14313FAD1	340,000.00	0.00	886.83	886.83			
04/15/19	04/15/19	AMXCA 2018-1 A DTD 03/21/2018 2.670% 10/17/2022	02582JHO6	615,000.00	0.00	1,368.38	1,368.38			
04/15/19	04/15/19	ALLYA 2019-1 A3 DTD 02/13/2019 2.910% 09/15/2023	02004WAC5	280,000.00	0.00	679.00	679.00			
04/15/19	04/15/19	HART 2018-A A3 DTD 04/18/2018 2.790% 07/15/2022	44891KAD7	120,000.00	0.00	279.00	279.00			
04/15/19	04/15/19	TOYOTA ABS 2017-B A3 DTD 05/17/2017 1.760% 07/15/2021	89190BAD0	671,314.95	0.00	984.60	984.60			
04/15/19	04/15/19	MBALT 2018-B A3 DTD 11/20/2018 3.210% 09/15/2021	58769LAC6	760,000.00	0.00	2,033.00	2,033.00			
04/15/19	04/15/19	NAROT 2018-C A3 DTD 12/12/2018 3.220% 06/15/2023	65478NAD7	775,000.00	0.00	2,079.58	2,079.58			
04/15/19	04/15/19	ALLY ABS 2017-3 A3 DTD 05/24/2017 1.740% 09/15/2021	02007EAE8	151,382.78	0.00	219.51	219.51			
04/15/19	04/15/19	BANK OF AMERICA ABS 2017-A1 A1 DTD 03/30/2017 1.950% 08/15/2022	05522RCW6	375,000.00	0.00	609.38	609.38			
04/15/19	04/15/19	FORDL 2018-B A3 DTD 09/21/2018 3.190% 12/15/2021	34531LAD2	315,000.00	0.00	837.38	837.38			
04/15/19	04/15/19	HART 2018-B A3 DTD 12/12/2018 3.200% 12/15/2022	44933AAC1	300,000.00	0.00	800.00	800.00			
04/16/19	04/16/19	GMCAR 2019-1 A3 DTD 01/16/2019 2.970% 11/16/2023	36256XAD4	445,000.00	0.00	1,101.38	1,101.38			
04/16/19	04/16/19	SUMITOMO MITSUI BANK NY CERT DEPOS DTD 10/18/2018 3.390% 10/16/2020	86565BPC9	750,000.00	0.00	12,712.50	12,712.50			
04/18/19	04/18/19	HAROT 2019-1 A3 DTD 02/27/2019 2.830% 03/20/2023	43814WAC9	120,000.00	0.00	283.00	283.00			
04/19/19	04/19/19	INTER-AMERICAN DEVELOPMENT BANK NOTE DTD 04/19/2018 2.625% 04/19/2021	4581X0DB1	845,000.00	0.00	11,090.63	11,090.63			
04/20/19	04/20/19	GMALT 2018-3 A3 DTD 09/26/2018 3.180% 06/20/2021	36256GAD1	230,000.00	0.00	609.50	609.50			



Managed Account Security Transactions & Interest

For the Month Ending April 30, 2019

CITY OF ANTIOCH, CA - 04380500

Transaction Type		Security Description	CUSIP	Par	Principal Proceeds	Accrued Interest	Total	Realized G/L	Realized G/L	Sale Method
Trade	Settle							Cost	Amort Cost	
INTEREST										
04/20/19	04/20/19	VALET 2018-2 A3 DTD 11/21/2018 3.250% 04/20/2023	92869BAD4	585,000.00	0.00	1,584.38	1,584.38			
04/20/19	04/20/19	GMALT 2019-1 A3 DTD 02/21/2019 2.980% 12/20/2021	36256UAD0	270,000.00	0.00	670.50	670.50			
04/21/19	04/21/19	MORGAN STANLEY CORP NOTES DTD 04/21/2016 2.500% 04/21/2021	61746BEA0	350,000.00	0.00	4,375.00	4,375.00			
04/26/19	04/26/19	GOLDMAN SACHS GROUP INC (CALLABLE) NOTE DTD 01/26/2017 3.000% 04/26/2022	38141GWC4	400,000.00	0.00	6,000.00	6,000.00			
04/26/19	04/26/19	CITIGROUP INC CORP NOTES DTD 10/26/2015 2.650% 10/26/2020	172967KB6	425,000.00	0.00	5,631.25	5,631.25			
04/30/19	04/30/19	US TREASURY NOTES DTD 10/31/2015 1.375% 10/31/2020	912828L99	200,000.00	0.00	1,375.00	1,375.00			
04/30/19	04/30/19	AMERICAN EXPRESS CO CORP (CALLABLE) NOTE DTD 10/30/2017 2.200% 10/30/2020	025816BP3	325,000.00	0.00	3,575.00	3,575.00			
04/30/19	04/30/19	FANNIE MAE NOTES DTD 11/01/2018 2.875% 10/30/2020	3135G0U84	1,575,000.00	0.00	22,514.84	22,514.84			
04/30/19	04/30/19	US TREASURY NOTES DTD 04/30/2015 1.375% 04/30/2020	912828K58	1,065,000.00	0.00	7,321.88	7,321.88			
04/30/19	04/30/19	US TREASURY NOTES DTD 10/31/2014 2.000% 10/31/2021	912828F96	1,600,000.00	0.00	16,000.00	16,000.00			
Transaction Type Sub-Total				23,584,551.83	0.00	184,812.08	184,812.08			
PAYDOWNS										
04/01/19	04/25/19	FANNIE MAE SERIES 2015-M13 ASQ2 DTD 10/01/2015 1.646% 09/01/2019	3136AQDQ0	6,852.38	6,852.38	0.00	6,852.38	(68.62)	0.00	
04/01/19	04/25/19	FNA 2018-M5 A2 DTD 04/01/2018 3.560% 09/25/2021	3136B1XP4	7,344.85	7,344.85	0.00	7,344.85	(146.10)	0.00	
04/01/19	04/25/19	FNMA SERIES 2016-M9 ASQ2 DTD 06/01/2016 1.785% 06/01/2019	3136ASPX8	947.15	947.15	0.00	947.15	(9.47)	0.00	
04/01/19	04/25/19	FHMS KP05 A DTD 12/01/2018 3.203% 07/01/2023	3137FKK39	542.50	542.50	0.00	542.50	0.00	0.00	



Managed Account Security Transactions & Interest

For the Month Ending April 30, 2019

CITY OF ANTIOCH, CA - 04380500

Transaction Type		Security Description	CUSIP	Par	Principal Proceeds	Accrued Interest	Total	Realized G/L	Realized G/L	Sale
Trade	Settle							Cost	Amort Cost	Method
PAYDOWNS										
04/15/19	04/15/19	HYUNDAI ABS 2016-A A3 DTD 03/30/2016 1.560% 09/15/2020	44930UAD8	8,167.28	8,167.28	0.00	8,167.28	1.58	0.00	
04/15/19	04/15/19	TOYOTA ABS 2017-B A3 DTD 05/17/2017 1.760% 07/15/2021	89190BAD0	48,588.34	48,588.34	0.00	48,588.34	3.73	0.00	
04/15/19	04/15/19	ALLY ABS 2017-3 A3 DTD 05/24/2017 1.740% 09/15/2021	02007EAE8	12,626.57	12,626.57	0.00	12,626.57	1.32	0.00	
04/15/19	04/15/19	ALLY ABS 2016-3 A3 DTD 05/31/2016 1.440% 08/15/2020	02007LAC6	10,477.11	10,477.11	0.00	10,477.11	1.02	0.00	
Transaction Type Sub-Total				95,546.18	95,546.18	0.00	95,546.18	(216.54)	0.00	
SELL										
04/03/19	04/04/19	CREDIT AGRICOLE CIB NY FLT CERT DEPOS DTD 04/10/2018 3.054% 04/10/2020	22532XHT8	750,000.00	752,513.78	5,691.88	758,205.66	2,513.78	2,513.78	FIFO
04/03/19	04/10/19	US TREASURY NOTES DTD 04/30/2015 1.375% 04/30/2020	912828K58	335,000.00	331,401.37	2,048.64	333,450.01	(2,617.18)	(3,222.55)	FIFO
04/05/19	04/09/19	MORGAN STANLEY CORP BONDS DTD 01/27/2015 2.650% 01/27/2020	61747YDW2	375,000.00	374,632.50	1,987.50	376,620.00	(3,611.25)	(1,259.10)	FIFO
04/09/19	04/17/19	US TREASURY NOTES DTD 04/30/2015 1.375% 04/30/2020	912828K58	550,000.00	544,134.77	3,509.67	547,644.44	(4,253.90)	(5,258.98)	FIFO
04/30/19	05/02/19	AMERICAN HONDA FINANCE CORP NOTE DTD 02/16/2017 2.000% 02/14/2020	02665WBM2	340,000.00	338,351.00	1,473.33	339,824.33	(1,166.20)	(1,519.89)	FIFO
Transaction Type Sub-Total				2,350,000.00	2,341,033.42	14,711.02	2,355,744.44	(9,134.75)	(8,746.74)	
Managed Account Sub-Total						(165,551.31)	195,512.68	29,961.37	(9,351.29)	(8,746.74)
Total Security Transactions						(\$165,551.31)	\$195,512.68	\$29,961.37	(\$9,351.29)	(\$8,746.74)

Bolded items are forward settling trades.



STAFF REPORT TO THE CITY COUNCIL

DATE: Regular Meeting of May 28, 2019

TO: Honorable Mayor and Members of the City Council

SUBMITTED BY: Kevin Scudero, Associate Planner *KS*

APPROVED BY: Forrest Ebbs, Community Development Director *FE*

SUBJECT: AMCAL Family/Senior Apartments
(Z-18-01, UP-18-04, AR-18-06, PW-357-RA-57)

RECOMMENDED ACTION

It is recommended that the City Council adopt the Ordinance approving a rezone of the project site from Planned Development (PD-08-06) to High Density Residential (R-25) and Senior Housing Overlay District (SH) (Attachment "A").

DISCUSSION

The adoption of an Ordinance requires two separate readings. The subject Ordinance was introduced at the May 14, 2019 City Council meeting. This second reading will finalize the adoption of this Ordinance.

ATTACHMENTS

A: Ordinance approving rezone of the project site

ATTACHMENT "A"

ORDINANCE NO. ____

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ANTIOCH TO REZONE
14.85 ACRES TO HIGH DENSITY RESIDENTIAL DISTRICT (R-25) AND SENIOR
HOUSING OVERLAY DISTRICT (SH) FOR THE AMCAL FAMILY/SENIOR
APARTMENTS PROJECT (APN'S 051-200-025 AND 051-200-026)**

The City Council of the City of Antioch does ordain as follows:

SECTION 1: The City Council determined on May 14, 2019, pursuant to Section 15070 of the Guidelines of the California Environmental Quality Act, that the appropriate environmental document for the project is an Initial Study, Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program.

SECTION 2: At its regular meeting of May 1, 2019, the Planning Commission recommended that the City Council approve the resolution adopting the Initial Study/Mitigated Negative Declaration, Mitigation Monitoring and Reporting Program and Errata for the proposed project and recommended that the City Council adopt the ordinance to rezone the subject property to High Density Residential (R-25) and Senior Housing Overlay District (SH).

SECTION 3: At its regular meeting of May 14, 2019, the City Council approved the resolution adopting the Initial Study/Mitigated Negative Declaration, Mitigation Monitoring and Reporting Program and Errata for the proposed project.

SECTION 4: The real property described in Exhibit A, attached hereto, is hereby rezoned to High Density Residential (R-25) and Senior Housing Overlay District (SH) for the AMCAL Family/Senior Apartments Project.

SECTION 5: The City Council finds that the public necessity requires the proposed zone change, that the subject property is suitable to the use permitted in the proposed zone change, that said permitted use is not detrimental to the surrounding property, and that the proposed zone change is in conformance with the Antioch General Plan.

SECTION 6: This ordinance shall take effect and be enforced thirty (30) days from and after the date of its adoption and shall be published once within fifteen (15) days upon passage and adoption in a newspaper of general circulation printed and published in the City of Antioch.

* * * * *

I HEREBY CERTIFY that the foregoing ordinance was introduced and adopted at a regular meeting of the City Council of the City of Antioch, held on the 14th day of May, and passed and adopted at a regular meeting thereof, held on the 28th day of May, by the following vote:

AYES:

NOES:

ABSENT:

Sean Wright, Mayor of the City of Antioch

ATTEST:

Arne Simonsen, CMC
City Clerk of the City of Antioch

EXHIBIT A

LEGAL DESCRIPTION

All that certain real property situated in the County of Contra Costa, State of California, described as follows:

City of Antioch

Parcel One:

The West half of Lot 2 and the West half of the East half of Lots 10 and 12 as designated on the Map entitled, "Map of Subdivision of Lands of Frank Peabody in South Half of Section 21, Township 2 North, Range 2 East" which Map was filed in the Office of the Recorder of the County of Contra Costa, State of California, on October 29, 1902 in Book C of Maps, at Page 68.

Excepting from Parcel One: that portion of Lot 2 described in the Deed from Ivan Winger, et ux, to Elmar D. Johnson, Recorded July 22, 1957, in Volume 3017 of Official Records, at Page 5, as follows:

"Beginning in the center line of a County road, said center line being the North line of said Lot 2, distant thereon Easterly 160 feet from the Northwest corner of said Lot 2; thence from said point of beginning, Easterly along said center line 99 feet; thence Southerly parallel with the West line of said Lot 2.220 feet; thence Westerly parallel with the North line of said Lot, 99 feet; thence Northerly parallel with the West line of said Lot 220 feet to the point of beginning."

Also excepting therefrom: that portion thereof granted to Contra Costa County by instrument dated August 6, 1969, Recorded November 13, 1969, Book 6003, Page 262, Series No. 80290, Official Records.

Parcel Two:

The right of way granted in the Deed from Frank Panfini to Ivan Winger Dated March 5, 1959, Recorded March 6, 1959, Book 3331, Page 171, Official Records, as follows:

"An easement of right of way only over, under and across the hereinafter described lands, said easement of right of way being only for the purpose of installing a pipeline for the carrying of water, said pipeline to be installed a minimum of 3 feet in depth.

Grantee shall have the right with the aforesaid easement to go upon the lands of the grantor at any and all times necessary for the purposes only of installing and repairing the aforesaid pipe lines, as and for an additional consideration for the granting of this easement of right of way, grantee shall hold grantor harmless from any and all damages which grantor might sustain by reason of the installation, maintenance and repair of said pipe line. The aforesaid easement of right of way shall be a strip of land 2 feet in width, the center line of which is described as follows:

Commencing at the Southwest corner of the lands of the grantor; thence North and in a Northerly direction along the Western boundary line of said grantor's lands, a distance of 660 feet to a station, being the point of commencement of the easement of right of way herein described; thence from said point of commencement the center line of said easement extends East and in an Easterly direction and parallel with the Southern boundary line of the lands of the grantor, a distance of 660 feet, more or less, to the Easterly boundary line of the lands of the grantor which said Easterly boundary line borders the lands of the grantee herein named."

Apn: 051-200-025

A portion of the West ½ of Lot 2, as designated on the Map entitled "Map of Subdivision of Lands of Frank Peabody in South ½ of sec. 21, T.2, N., R., 2 E." filed October 29, 1902, in Book C of Maps, Page 68, Contra Costa County Records, described as follows:

Beginning in the center line of a county road, said center line being the North line of said Lot 2, distant thereon, Easterly 160 feet from the Northwest corner of said Lot 2; thence from said point of beginning, Easterly along said center line 99 feet; thence Southerly parallel with the West line of said Lot 2, 220 feet; thence Westerly parallel with the North line of said Lot, 99 feet; thence Northerly parallel with the West line of said Lot, 220 feet to the point of beginning.

Excepting therefrom:

That portion thereof described in the Deed to Contra Costa County, Recorded November 13, 1969, in Book 6003 Official Records, Page 265.

Apn: 051-200-026



STAFF REPORT TO THE CITY COUNCIL

DATE: Regular Meeting of May 28, 2019

TO: Honorable Mayor and Members of the City Council

SUBMITTED BY: Dawn Merchant, Finance Director

SUBJECT: Resolution Establishing the Appropriations Limit for the 2019-20 Fiscal Year

RECOMMENDED ACTION

It is recommended that the City Council adopt the resolution establishing the appropriations limit for the 2019-20 Fiscal Year pursuant to California Constitution Article XIII B.

FISCAL IMPACT

The attached resolution establishes a maximum limitation of appropriations of \$145,446,379, which the City cannot exceed. This does not mean the City has revenue sources to meet such a level of appropriation. The City's 2019-20 General Fund budget appropriations subject to this limit are approximately \$76.6 million below this legal limit.

DISCUSSION

The passage of Proposition 4 in November 1979 amended the California Constitution and set appropriations limits for cities. The State-implemented legislation requires cities to annually adopt a resolution establishing the appropriations limit on spending by cities of funds from proceeds of taxes.

Analysis

Statistical information for calculating the City of Antioch's appropriation limit is as follows:

2018-19 Appropriations Limit - \$132,621,846
Per Capita Personal Income - percent increase over previous year – 3.85%
Population Change - percent increase from previous year .56%

Based on the above statistics, the City of Antioch's appropriations limit for 2019-20 is \$145,446,379.

Attachment B provides calculations for current and previous years.

ATTACHMENTS

- A. Resolution Setting the Appropriations Limit for the 2019-20 Fiscal Year
- B. Calculations for Current and Previous Years
- C. Letter from the State Department of Finance dated May 2019

RESOLUTION NO. 2019/**

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ANTIOCH
SETTING THE APPROPRIATIONS LIMIT FOR FISCAL YEAR 2019-20 AND
SELECTING THE CALIFORNIA PER CAPITA PERSONAL INCOME AND
THE STATE DEPARTMENT OF FINANCE POPULATION GROWTH
FACTORS FOR FISCAL YEAR 2019-20**

WHEREAS, Article XIII B of the California Constitution (Proposition 4) establishes expenditure limits for cities;

WHEREAS, State implementing legislation requires cities to annually adopt a resolution establishing its appropriations limit for the following fiscal year; and

WHEREAS, the Director of Finance has made the calculations specified in said law, and concludes that the appropriations limit is the sum of \$145,446,379.

WHEREAS, pursuant to said law, this agenda item has been made available to the public for two weeks prior to the date of adoption of this resolution.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Antioch selects the California per capita personal income cost of living growth factor for Fiscal Year 2019-20, selects the population percent change certified by the State Department of Finance for Fiscal Year 2019-20, and establishes the appropriations limit for the Fiscal Year 2019-20 as \$145,446,379.

* * * * *

The foregoing resolution was passed and adopted by the City Council of the City of Antioch at a regular meeting thereof held on May 28, 2019, by the following vote:

AYES:

NOES:

ABSENT:

**ARNE SIMONSEN, CMC
CITY CLERK OF THE CITY OF ANTIOCH**

**CITY OF ANTIOCH
APPROPRIATION LIMIT
APPLICATION OF REVISED RATES**

ATTACHMENT B

Base Year = 1986/87 - \$20,840,418

Year	New Rate		Calculated Limit		Year	New Rate		Calculated Limit
96/97	1.0467				2008/09	1.0429		
	<u>1.0213 x</u>	42,973,104 =	45,938,248			<u>1.0068 x</u>	89,049,489 =	93,493,058
	1.0690					1.0499		
97/98	1.0467				2009/10	1.0062		
	<u>1.0214 x</u>	45,938,248 =	49,112,581			<u>1.0096 x</u>	93,493,058 =	94,979,598
	1.0691					1.0159		
98/99	1.0415				2010/11	0.9746		
	<u>1.0267 x</u>	49,112,581 =	52,516,083			<u>1.0128</u>	94,979,598 =	93,754,361
	1.0693					0.9871		
99/00	1.0453				2011/12	1.0251		
	<u>1.0218 x</u>	52,516,083 =	56,092,428			<u>1.0081 x</u>	93,754,361 =	96,885,757
	1.0681					1.0334		
2000/01	1.0491				2012/13	1.0377		
	<u>1.0269 x</u>	56,092,428 =	60,428,373			<u>1.0075 x</u>	96,885,757 =	101,294,059
	1.0773					1.0455		
2001/02	1.0782				2013/14	1.0512		
	<u>1.0280 x</u>	60,428,373 =	66,978,809			<u>1.0112 x</u>	101,294,059 =	107,675,585
	1.1084					1.0630		
2002/03	0.9873				2014/15	0.9977		
	<u>1.0384 x</u>	66,978,809 =	68,666,675			<u>1.0112 x</u>	107,675,585 =	108,633,898
	1.0252					1.0089		
2003/04	1.0231				2015/16	1.0382		
	<u>1.0276 x</u>	68,666,675 =	72,189,275			<u>1.0151 x</u>	108,633,898 =	114,489,265
	1.0513					1.0539		
2004/05	1.0328				2016/17	1.0537		
	<u>1.0154 x</u>	72,189,275 =	75,704,893			<u>1.0089 x</u>	114,489,265 =	121,713,538
	1.0487					1.0631		
2005/06	1.0526				2017/18	1.0369		
	<u>0.9995 x</u>	75,704,893 =	79,649,118			<u>1.0066 x</u>	121,713,538 =	127,032,420
	1.0521					1.0437		
2006/07	1.0396				2018/19	1.0367		
	<u>1.03 x</u>	79,649,118 =	85,288,276			<u>1.0070 x</u>	127,032,420 =	132,621,846
	1.07079					1.0440		
2007/08	1.0442				2019/20	1.0385		
	<u>0.9999 x</u>	85,288,276 =	89,049,489			<u>1.0560 x</u>	132,621,846 =	145,446,379
	1.0441					1.0967		



GAVIN NEWSOM - GOVERNOR
915 L STREET ■ SACRAMENTO CA ■ 95814-3706 ■ WWW.DOF.CA.GOV

May 2019

Dear Fiscal Officer:

Subject: Price Factor and Population Information

Appropriations Limit

California Revenue and Taxation Code section 2227 requires the Department of Finance to transmit an estimate of the percentage change in population to local governments. Each local jurisdiction must use their percentage change in population factor for January 1, 2019, in conjunction with a change in the cost of living, or price factor, to calculate their appropriations limit for fiscal year 2019-20. Attachment A provides the change in California's per capita personal income and an example for utilizing the price factor and population percentage change factor to calculate the 2019-20 appropriations limit. Attachment B provides the city and unincorporated county population percentage change. Attachment C provides the population percentage change for counties and their summed incorporated areas. The population percentage change data excludes federal and state institutionalized populations and military populations.

Population Percent Change for Special Districts

Some special districts must establish an annual appropriations limit. California Revenue and Taxation Code section 2228 provides additional information regarding the appropriations limit. Article XIII B, section 9(C) of the California Constitution exempts certain special districts from the appropriations limit calculation mandate. The code section and the California Constitution can be accessed at the following website: <http://leginfo.legislature.ca.gov/faces/codes.xhtml>.

Special districts required by law to calculate their appropriations limit must present the calculation as part of their annual audit. Any questions special districts have on this requirement should be directed to their county, district legal counsel, or the law itself. No state agency reviews the local appropriations limits.

Population Certification

The population certification program applies only to cities and counties. California Revenue and Taxation Code section 11005.6 mandates Finance to automatically certify any population estimate that exceeds the current certified population with the State Controller's Office. **Finance will certify the higher estimate to the State Controller by June 1, 2019.**

Please Note: The prior year's city population estimates may be revised.

If you have any questions regarding this data, please contact the Demographic Research Unit at (916) 323-4086.

KEELY BOSLER
Director
By:

Vivek Viswanathan
Chief Deputy Director

Attachment

May 2019

Attachment A

- A. **Price Factor:** Article XIII B specifies that local jurisdictions select their cost of living factor to compute their appropriation limit by a vote of their governing body. The cost of living factor provided here is per capita personal income. If the percentage change in per capita personal income is selected, the percentage change to be used in setting the fiscal year 2019-20 appropriation limit is:

Per Capita Personal Income

Fiscal Year (FY)	Percentage change over prior year
2019-20	3.85

- B. Following is an example using sample population change and the change in California per capita personal income as growth factors in computing a 2019-20 appropriation limit.

2019-20:

Per Capita Cost of Living Change = 3.85 percent
Population Change = 0.47 percent

Per Capita Cost of Living converted to a ratio: $\frac{3.85 + 100}{100} = 1.0385$

Population converted to a ratio: $\frac{0.47 + 100}{100} = 1.0047$

Calculation of factor for FY 2019-20: $1.0385 \times 1.0047 = 1.0434$

Fiscal Year 2019-20

Attachment B
Annual Percent Change in Population Minus Exclusions*
January 1, 2018 to January 1, 2019 and Total Population, January 1, 2019

County City	<u>Percent Change</u>	<u>--- Population Minus Exclusions ---</u>		<u>Total Population</u>
	2018-2019	1-1-18	1-1-19	1-1-2019
Contra Costa				
Antioch	0.56	113,266	113,901	113,901
Brentwood	2.45	62,140	63,662	63,662
Clayton	0.19	11,631	11,653	11,653
Concord	0.31	129,493	129,889	129,889
Danville	0.37	45,103	45,270	45,270
El Cerrito	1.06	25,192	25,459	25,459
Hercules	1.00	25,964	26,224	26,224
Lafayette	0.96	26,077	26,327	26,327
Martinez	0.22	38,406	38,490	38,490
Moraga	0.31	16,886	16,939	16,939
Oakley	1.98	40,949	41,759	41,759
Orinda	0.74	19,331	19,475	19,475
Pinole	0.21	19,458	19,498	19,498
Pittsburg	0.74	72,006	72,541	72,541
Pleasant Hill	0.25	34,969	35,055	35,055
Richmond	0.28	110,128	110,436	110,436
San Pablo	0.25	31,737	31,817	31,817
San Ramon	0.94	83,179	83,957	83,957
Walnut Creek	0.90	69,498	70,121	70,121
Unincorporated	0.55	172,382	173,322	173,406
County Total	0.70	1,147,795	1,155,795	1,155,879

*Exclusions include residents on federal military installations and group quarters residents in state mental institutions, state and federal correctional institutions and veteran homes.



STAFF REPORT TO THE CITY COUNCIL

DATE: Regular Meeting of May 28, 2019

TO: Honorable Mayor and Members of the City Council

SUBMITTED BY: Tracy Shearer, Assistant Engineer *TS*

REVIEWED BY: Scott Buenting, Project Manager *SB*

APPROVED BY: Jon Blank, Public Works Director/City Engineer *JB*

SUBJECT: Prewett Park Concrete Improvements, Phase II (P.W. 567-7) – Acceptance of Work/Notice of Completion

RECOMMENDED ACTION

It is recommended that the City Council adopt a resolution increasing the existing contract with Mercoza in the amount of \$1,280, accepting work and authorizing the Public Works Director/City Engineer to file a Notice of Completion for the Prewett Park Concrete Improvements, Phase II project.

FISCAL IMPACT

FY18/19 Capital Improvement Budget includes \$250,000 of General Fund one-time revenues for the Prewett Park Concrete Improvements, Phase II project. The total project cost including labor was approximately \$238,000.

DISCUSSION

On May 28, 2019, the City Council awarded a contract to Mercoza in the amount of \$224,700 to remove and replace deteriorated concrete stairs and decking along the main water slides within Prewett Water Park. The final contract price was \$225,980 as a result of a contract change order in the amount of \$1,280 due to added concrete curbing required to retain landscaping and prevent the undermining of existing facilities.

All work on this project was completed on May 8, 2019.

ATTACHMENTS

A: Resolution Accepting Work
B: Notice of Completion

ATTACHMENT "A"

RESOLUTION NO. 2019/**

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ANTIOCH
ACCEPTING WORK AND AUTHORIZING THE
PUBLIC WORKS DIRECTOR/CITY ENGINEER TO
FILE A NOTICE OF COMPLETION FOR THE
PREWETT PARK CONCRETE IMPROVEMENTS, PHASE II PROJECT
(P.W. 567-7)**

WHEREAS, the Public Works Director/City Engineer, has certified the completion of all work provided for under and pursuant to the Prewett Park Concrete Improvements Phase II ("Project") contract between the City of Antioch and Mercoza;

WHEREAS, the work under the Agreement has been fully completed in accordance with plans and specifications referred to therein.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Antioch, that:

1. The work on the Prewett Park Concrete Improvements, Phase II is hereby completed and accepted.
2. The Public Works Director/City Engineer is authorized to execute and file for record with the County Recorder, County of Contra Costa, a Notice of Completion for the Project.
3. The Director of Finance is hereby authorized to increase the existing contract with Mercoza for this Project in the amount of **\$1,280**.

* * * * *

I HEREBY CERTIFY that the foregoing resolution was passed and adopted by the City Council of the City of Antioch at a regular meeting thereof held on the 28th day of May 2019 by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

**ARNE SIMONSEN, CMC
CITY CLERK OF THE CITY OF ANTIOCH**

**RECORDED AT THE REQUEST
OF:**
CITY OF ANTIOCH, CA

WHEN RECORDED MAIL TO:
CITY OF ANTIOCH
CAPITAL IMPROVEMENTS DIVISION
P.O. BOX 5007
ANTIOCH, CA 94531
(925) 779-7050

THIS SPACE FOR RECORDER'S USE ONLY

**NOTICE OF COMPLETION FOR THE
PREWETT PARK CONCRETE IMPROVEMENTS, PHASE II
IN THE CITY OF ANTIOCH
(P.W. 567-7)**

NOTICE IS HEREBY GIVEN:

1. That the interest or estate stated in paragraph 3 herein the real property herein described is owned by: City of Antioch, 200 H Street, Antioch, California 94509.
2. That the full name and address of the Owner of said interest or estate, if there is only one Owner, and that the full names and addresses of all the co-owners who own said interest or estate as tenants in common, as joint tenants, or otherwise, if there is more than one owner, are set forth in the preceding paragraph.
3. That the nature of the stated owner, or if more than one owner, then of the stated owner and co-owners is: In fee.
4. That on May 8, 2019 the work and improvements hereinafter described, the contract for which was entered into by and between the City of Antioch and Mercoza was completed.
5. The surety for said project was Western Surety Company.
6. This project consisted of removing and replacing deteriorated concrete stairs and decking along the main water slides within Prewett Water Park at 4701 Lone Tree Way in the City of Antioch, County of Contra Costa, State of California.

**THE UNDERSIGNED STATES UNDER PENALTY OF
PERJURY THAT THE ABOVE IS TRUE AND CORRECT**

Date

JON BLANK, P.E.
Public Works Director/City Engineer
City of Antioch



STAFF REPORT TO THE CITY COUNCIL

DATE: Regular Meeting of May 28, 2019

TO: Honorable Mayor and Members of the City Council

SUBMITTED BY: Tracy Shearer, Assistant Engineer *AS*

REVIEWED BY: Scott Buenting, Project Manager *SB*

APPROVED BY: Jon Blank, Public Works Director/City Engineer *JB*

SUBJECT: Fawn Hill Way Water Main Replacement (P.W. 503-17) –
Acceptance of Work and Notice of Completion

RECOMMENDED ACTION

It is recommended that the City Council adopt a resolution increasing the existing contract with R.J. Gordon Construction, Inc. in the amount of \$14,851.59 for a total contract of \$1,411,576.59, accepting work and authorizing the Public Works Director/City Engineer to file a Notice of Completion for the Fawn Hill Way Water Main Replacement project.

FISCAL IMPACT

The final construction contract price for this project is \$1,411,576.59 with funding from the Water Systems Improvement Fund.

DISCUSSION

On May 8, 2018, the City Council awarded a contract to R.J. Gordon Construction, Inc. in the amount of \$1,396,725 to replace 4,100 lineal feet of water main and related deteriorating water facilities on Fawn Hill Way between Golden Bear Drive and Goldcrest Way, including Silver Hill Court, Copper Hill Court, Oak Meadow Court, Deerhorn Court, and Fawn Hill Court and installed new cathodic protection facilities within the project area. The final contract price was \$1,411,576.59 as a result of four change orders totaling \$14,851.59 to pay for various extra work related to unknown underground utilities.

All work on this project was completed on May 7, 2019.

ATTACHMENTS

A: Resolution Accepting Work
B: Notice of Completion

ATTACHMENT "A"

RESOLUTION NO. 2019/**

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ANTIOCH
ACCEPTING WORK AND AUTHORIZING
THE PUBLIC WORKS DIRECTOR/CITY ENGINEER
TO FILE A NOTICE OF COMPLETION FOR THE
FAWN HILL WAY WATER MAIN REPLACEMENT
(P.W. 503-17)**

WHEREAS, the Public Works Director/City Engineer, has certified the completion of all work provided for under and pursuant to the contract for the Fawn Hill Way Water Main Replacement ("Project") between the City of Antioch and R.J. Gordon Construction, Inc. ("Agreement")

WHEREAS, the work under the agreement has been fully completed in accordance with plans and specifications referred to therein.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Antioch, that:

1. The work on the Fawn Hill Way Water Main Replacement is hereby completed and accepted.
2. The Public Works Director/City Engineer is authorized to execute and file for record with the County Recorder, County of Contra Costa, a Notice of Completion thereof for the Project.
3. The Director of Finance is hereby authorized to increase the existing contract with R.J. Gordon Construction, Inc. for this Project in the amount of **\$14,851.59**.

* * * * *

I HEREBY CERTIFY that the foregoing resolution was passed and adopted by the City Council of the City of Antioch at a regular meeting thereof held on the 28th day of May, 2019 by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

**ARNE SIMONSEN, CMC
CITY CLERK OF THE CITY OF ANTIOCH**

**RECORDED AT THE REQUEST
OF:**
CITY OF ANTIOCH, CA

WHEN RECORDED MAIL TO:
CITY OF ANTIOCH
CAPITAL IMPROVEMENTS DIVISION
P.O. BOX 5007
ANTIOCH, CA 94531
(925) 779-7050

THIS SPACE FOR RECORDER'S USE ONLY

**NOTICE OF COMPLETION FOR THE
FAWN HILL WAY WATER MAIN REPLACEMENT
IN THE CITY OF ANTIOCH
(P.W. 503-17)**

NOTICE IS HEREBY GIVEN:

1. That the interest or estate stated in paragraph 3 herein the real property herein described is owned by: City of Antioch, 200 H Street, Antioch, California 94509.
2. That the full name and address of the Owner of said interest or estate, if there is only one Owner, and that the full names and addresses of all the co-owners who own said interest or estate as tenants in common, as joint tenants, or otherwise, if there is more than one owner, are set forth in the preceding paragraph.
3. That the nature of the stated owner, or if more than one owner, then of the stated owner and co-owners is: In fee.
4. That on May 7, 2019 the work and improvements hereinafter described, the contract for which was entered into by and between the City of Antioch and R.J. Gordon Construction, Inc. was completed.
5. The surety for said project was Fidelity and Deposit Company of Maryland.
6. This project consisted of replacing the deteriorating water facilities on Fawn Hill Way between Golden Bear Drive and Goldcrest Way, including Silver Hill Court, Copper Hill Court, Oak Meadow Court, Deerhorn Court, and Fawn Hill Court in the City of Antioch, County of Contra Costa, State of California.

**THE UNDERSIGNED STATES UNDER PENALTY OF
PERJURY THAT THE ABOVE IS TRUE AND CORRECT**

Date

JON BLANK, P.E.
Public Works Director/City Engineer
City of Antioch



STAFF REPORT TO THE CITY COUNCIL

DATE: Regular Meeting of May 28, 2019

TO: Honorable Mayor and Members of the City Council

SUBMITTED BY: Ken Warren, Project Manager

APPROVED BY: Jon Blank, Public Works Director/City Engineer *JB*

SUBJECT: First Amendment to the Consulting Services Agreement with Harris and Associates for On-Call Plan Review Services

RECOMMENDED ACTION

It is recommended that the City Council adopt a resolution approving the first amendment to the Consulting Services Agreement with Harris & Associates for on-call plan review services increasing the existing contract by \$48,660 for an amount not to exceed \$177,413.

FISCAL IMPACT

Consulting Services Agreements are reimbursed by developers or project applicants; and there is no net cost to the City.

DISCUSSION

On March 12, 2018 the City Council approved a Consulting Services Agreement with Harris & Associates for plan check services related to private development projects. Due to the volume of work, City staff will continue the need for consulting services to ensure timely reviews. The proposed work consists of plan and map check for Quail Cove and Oakley Knolls Subdivisions.

ATTACHMENTS

A: Resolution

ATTACHMENT "A"

RESOLUTION NO. 2019/**

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ANTIOCH
APPROVING THE FIRST AMENDMENT TO THE CONSULTING SERVICES
AGREEMENT FOR ON-CALL PLAN REVIEW SERVICES WITH HARRIS &
ASSOCIATES**

WHEREAS, on March 12, 2018, the City of Antioch and Harris & Associates entered into an Agreement to provide on-call consulting services for plan and map checking by a registered engineer and land surveyor in the amount of \$128,753;

WHEREAS, the City desires to authorize the City Manager to execute the First Amendment to the Consulting Services Agreement with Harris & Associates for continued On-Call Plan Review Services increasing the contract by \$48,660.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Antioch hereby authorizes the City Manager to execute the First Amendment to the Consulting Services Agreement with Harris & Associates for On-Call Plan Review Services, including plan and map check services for Quail Cove and Oakley Knolls Subdivisions, increasing the existing contract by **\$48,660** for an amount not to exceed **\$177,413**.

* * * * *

I HEREBY CERTIFY that the foregoing Resolution was passed and adopted by the City Council of the City of Antioch at a regular meeting thereof, held on the 28th day of May, 2019 by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

**ARNE SIMONSEN, CMC
CITY CLERK OF THE CITY OF ANTIOCH**



STAFF REPORT TO THE CITY COUNCIL

DATE: Regular Meeting of May 28, 2019

TO: Honorable Mayor and Members of the City Council

SUBMITTED BY: Tim Coley, Water Treatment Superintendent

APPROVED BY: Jon Blank, Public Works Director/City Engineer *JB*

SUBJECT: Annual Water Treatment Chemicals Purchase

RECOMMENDED ACTION

It is recommended that the City Council adopt a resolution authorizing the City Manager, or his designee, to approve chemical purchase orders with: Chemtrade Chemicals; Industrial Solutions Services; Thatcher Company of California; Univar; and Solvay Fluoride in an amount not to exceed \$1,099,675 for the period of July 1, 2019 through June 30, 2020.

FISCAL IMPACT

Funding for this annual expenditure is allocated in the Water Treatment budget and is in an amount not to exceed \$1,099,675.

DISCUSSION

The City of Antioch is a member of the Bay Area Chemical Consortium (BACC) consisting of Antioch, Pittsburg, Martinez, and Diablo Water District. The BACC's purpose is to obtain the most competitive prices, while minimizing procurement costs and duplication of efforts. The BACC advertised a request for proposal to provide water and wastewater chemicals for the period of July 1, 2019 through June 30, 2020; the bid results and proposed purchase order amounts are shown in Attachment B.

ATTACHMENTS

- A. Resolution
- B. Bid Tabulations

ATTACHMENT "A"

RESOLUTION NO. 2019/**

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ANTIOCH
AUTHORIZING THE CITY MANAGER, OR HIS DESIGNEE, TO APPROVE CHEMICAL
PURCHASE ORDERS WITH: CHEMTRADE CHEMICALS; INDUSTRIAL SOLUTIONS
SERVICES; THATCHER COMPANY; UNIVAR; AND SOLVAY FLUORIDE**

WHEREAS, the City of Antioch is member of the Bay Area Chemical Consortium (BACC), a cooperative of municipalities that work cooperatively to obtain more competitive prices for water and wastewater chemicals; and

WHEREAS, the City of Antioch will benefit from the supply and delivery of water chemical products that comply with all applicable Federal and State of California drinking water laws, and related cost savings through membership; and

WHEREAS, the chemical suppliers noted in Attachment B submitted the lowest unit amounts per chemicals;

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Antioch hereby approves the joint agency cooperative purchase arrangement for water treatment plant chemicals for the period of July 1, 2019 through June 30, 2020, in the total amount not to exceed \$1,099,675 and authorizes the City Manager to approve purchase orders as follows:

- Chemtrade Chemicals; Aluminum Sulfate; \$325,620
- Industrial Solutions Services; Ammonium Sulfate; \$74,300
- Thatcher Company; Liquid Chlorine; \$103,970
- Univar; Sodium Hydroxide; \$297,910
- Univar; Sodium Hypochlorite; \$269,090
- Solvay; Hydrofluosilicic Acid; \$28,785

Purchase orders may be more or less than the amounts listed above, but the aggregate amount shall not exceed \$1,099,675.

* * * * *

I HEREBY CERTIFY that the foregoing resolution was passed and adopted by the City Council of the City of Antioch at a regular meeting thereof, held on the 28th day of May 2019, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

**ARNE SIMONSEN, CMC
CITY CLERK OF THE CITY OF ANTIOCH**

ATTACHMENT "B"

BAY AREA CHEMICAL CONSORTIUM

FINAL Bid Tabulation for Bid No. 01-2019
Supply and Delivery of Aluminum Sulfate
for the period FYE 2019/2020
Bid Open Date Tuesday, April 2, 2019 at 9:00 PDT

	44% - 49% Liquid Solution Unit Price Per Gallon					Optional 5% Acidized Unit Price Per Gal	Optional 7% Acidized Unit Price Per Gal
	Central Valley	North Bay	Sacramento	South Bay	Tri Valley	North Bay	North Bay
Name of Bidder							
Chemtrade Chemicals US LLC	\$0.77170	\$0.76170	\$0.74180	\$0.78380	\$0.77170	\$0.80840	\$0.88640
Thatcher Company of California, Inc.	\$1.01520	\$1.01520	\$1.01520	\$1.01520	\$1.01520	\$1.49790	\$1.57160
Univar USA Inc.	no bid	no bid	no bid	no bid	no bid	no bid	no bid

Lowest responsive bid

Antioch FY 2019/20 Estimated Purchase Amount: \$325,620

BAY AREA CHEMICAL CONSORTIUM

FINAL Bid Tabulation for Bid No. 02-2019
Supply and Delivery of Ammonium Sulfate
for the period FYE 2019/2020
Bid Open Date Tuesday, April 2, 2019 at 9:00 PDT

Name of Bidder	40% Liquid Solution, unit price per gal		
	East Bay	North Bay	South Bay
Hill Brothers Chemical Company	\$2.20000	\$2.20000	\$2.20000
Brenntag Pacific, Inc.	\$1.95000	\$1.95000	\$2.79000
Industrial Solutions Services, Inc.	\$1.22000	\$1.22000	\$1.59000
Pacific Star Chemical	\$1.69000	\$1.75000	\$2.24000
Univar USA Inc.	no bid	no bid	no bid
Argo Chemical, Inc.	\$1.65000	\$1.69000	\$2.28000

Lowest Responsive Bid

Antioch FY 2019/20 Estimated Purchase Amount: \$74,300

BAY AREA CHEMICAL CONSORTIUM

Final Bid Tabulation for **Bid No. 10-2019**

Supply and Delivery of **Liquid Chlorine**

for the period **FYE 2019/2020**

Bid Open Date **Tuesday, April 2, 2019 at 9:00 PDT**

Name of Bidder	One-ton cylinders, unit price per ton			Optional bid Item		
	Marin Sonoma Napa	North Bay	Sacramento	Central Valley	Marin Sonoma	Sacramento
Thatcher Company of California, Inc.	\$835.00000	\$690.00000	\$750.00000	\$1.65700	\$1.99000	\$1.59000
Olin Chlor Alkali Products	no bid	no bid	no bid	no bid	no bid	no bid
Univar USA Inc.	no bid	no bid	no bid	no bid	no bid	no bid

Lowest responsive bid

Antioch FY 2019/20 Estimated Purchase Amount: \$103,970

BAY AREA CHEMICAL CONSORTIUM

Final Bid Tabulation for **Bid No. 12-2019**

Supply and Delivery of **Sodium Hydroxide**

for the period **FYE 2019/2020**

Bid Open Date **Tuesday, April 2, 2019 at 9:00 PDT**

Addenda Issue: **Two (2) dated March 21, 2019 and March 26, 2019**

Name of Bidder	50% Caustic, Unit Price Per GALLON					
	Central Valley	East Bay	Marin Sonoma Napa	North Bay	Sacramento	Tri Valley
Brenntag Pacific, Inc.	\$1.52000	\$1.54200	\$1.55100	\$1.55100	\$1.56300	\$1.53100
Univar	\$1.42020	\$1.43500	\$1.45700	\$1.39110	\$1.47200	\$1.42740
Olin Chlor Alkali Products	\$2.22400	\$1.98200	\$2.03900	\$1.97200	\$2.08600	\$1.98300

Lowest bid price for the region based on lowest aggregate cost for the region (see Preliminary Overall Per Region tab for details)

Antioch FY 2019/20 Estimated Purchase Amount: \$297,910

BAY AREA CHEMICAL CONSORTIUM

Final Bid Tabulation for **Bid No. 13-2019**

Supply and Delivery of **Sodium Hypochlorite 12.5%**
for the period **FYE 2019/2020**

Bid Open Date **Tuesday, April 2, 2019 at 9:00 PDT**

Name of Bidder	Unit price per gallon								Optional Bid Item IN	
	Central Valley	East Bay	Marin Sonoma Napa	North Bay	Peninsula	Sacramento	South Bay	Tri Valley	Marin Sonoma Napa	Sacramento
Univar	\$0.68730	\$0.65820	\$0.70010	\$0.67470	\$0.69760	\$0.78630	\$0.64130	\$0.67220	no bid	no bid
Olin Chlor	\$0.69900	\$0.69900	\$0.75900	\$0.71900	\$0.71900	\$0.73900	\$0.71900	\$0.67900	no bid	no bid

Lowest responsive bid per region

Antioch FY 2019/20 Estimated Purchase Amount: \$269,090

BAY AREA CHEMICAL CONSORTIUM

Final Bid Tabulation for **Bid No. 08-2019**

Supply and Delivery of **Hydrofluosilicic Acid**
for the period **FYE 2019/2020**

Bid Open Date **Tuesday, April 2, 2019 at 9:00 PDT**

Name of Bidder	Unit price per gallon				
	East Bay	Marin Sonoma Napa	North Bay	Sacramento	Tri Valley
Solvay	\$1.52000	\$1.52000	\$1.52000	\$1.52000	\$2.70000
Univar USA Inc.	\$2.00000	\$2.00000	\$2.00000	\$2.00000	\$2.75000
DuBois Chemicals, Inc.	\$1.93200	\$1.93200	\$1.93200	\$1.93200	\$3.34800

Lowest responsive bid

Antioch FY 2019/20 Estimated Purchase Amount: \$28,785

CITY OF ANTIOCH AS HOUSING SUCCESSOR TO
THE ANTIOCH DEVELOPMENT AGENCY
CLAIMS BY FUND REPORT
FOR THE PERIOD OF
APRIL 12 - MAY 16, 2019
FUND/CHECK#

227 Housing Fund

Housing - CIP

380860 CONTRA COSTA CRISIS CENTER	CDBG SERVICES	2,502.33
380861 CONTRA COSTA HEALTH SERVICES	CDBG SERVICES	10,338.41
380899 INTERFAITH COUNCIL OF CCC	CDBG SERVICES	5,881.14
380951 SHELTER INC	CDBG SERVICES	8,134.95
380959 STAND FOR FAMILIES FREE OF VIOLENCE	CDBG SERVICES	2,240.44
381019 CONTRA COSTA HEALTH SERVICES	CDBG SERVICES	3,325.05
934083 HOUSE, TERI	CONSULTING SERVICES	2,470.00



STAFF REPORT TO THE CITY COUNCIL

DATE: Regular Meeting of May 28, 2019

TO: Honorable Mayor and Members of the City Council

SUBMITTED BY: Dawn Merchant, Finance Director

SUBJECT: **Proposed Updates to the Master Fee Schedule Effective July 1, 2019**

RECOMMENDED ACTION

It is recommended that the City Council adopt the resolution approving updates to the Master Fee Schedule effective July 1, 2019.

FISCAL IMPACT

The fee increases will ensure that the City recovers as much of the cost for providing services as possible. The Consumer Price Index (CPI) is a reasonable mechanism to use to increase some fees to ensure that they are limited to the reasonable cost of providing services, while capturing the increasing costs of labor and goods. Recovery of fees is imperative to maintain our fiscal stability.

DISCUSSION

Last year the City completed a cost allocation and fee study. The proposed fees were adopted by Council in July 2018 upon completion of the study. Exhibit 1 to Attachment A contains the current Master Fee Schedule as adopted last July. Changes to fees are highlighted and contain strikethroughs and changes/additions in red throughout the document.

The majority of the proposed fee increases are in accordance with the San Francisco–Oakland-San Jose Consumer Price Index calculated at 3.5%, which is consistent with increased costs of labor and goods to the City. Recreation and Community Services increases are in accordance with the Fee and Pricing Policy recently adopted. Water and Sewer rates have been updated to memorialize the rates approved by City Council on May 12, 2015 via resolution 2015/26 which established the rates for fiscal years 2016 through 2020. This is the final year of a five-year plan to adjust rates to provide revenue necessary to operate these enterprises.

One proposed change to highlight is regarding the business license renewal fee. The City currently charges a \$10 annual business license renewal fee. In order to incentivize on-line renewal of a business license for processing efficiencies, the Business License department is proposing to waive the \$10 renewal fee *if* a business processes their renewal on-line by the due date. Businesses that either pay late on-line or renew in person or via mail would not be eligible for this discount.

Compliance with State Law:

The proposed fee increases comply with the requirements of applicable state law including, but not limited to, Proposition 218, Proposition 26 and the Mitigation Fee Act (Gov. Code section 66014, et. seq.) Some of the fee increases represented in the Proposed Master Fee Schedule were previously approved by the City Council during public hearings pursuant to specific state statutes, such as Proposition 218, and are identified in the Proposed Master Fee Schedule accordingly.

ATTACHMENT

- A. Resolution of the City Council of the City of Antioch Approving Updates to the City of Antioch Master Fee Schedule effective July 1, 2019
 - 1. Exhibit to Resolution - Proposed Master Fee Schedule

RESOLUTION NO. 2019/

RESOLUTION OF THE CITY COUNCIL OF THE
CITY OF ANTIOCH APPROVING UPDATES TO THE CITY OF ANTIOCH
MASTER FEE SCHEDULE EFFECTIVE JULY 1, 2019

BE IT RESOLVED that the City of Antioch Master Fee, a true copy of which is on file in the City Clerk's office and incorporated herein by reference is hereby updated and the same shall be considered the Master Fee Schedule of the City of Antioch, all such updates becoming effective July 1, 2019, unless otherwise specifically stated.

* * * * *

I HEREBY CERTIFY that the foregoing resolution was passed and adopted by the City Council of the City of Antioch at a regular meeting thereof, held on the 28th day of May 2019, by the following vote:

AYES:

NOES:

ABSENT:

ARNE SIMONSEN, CMC
CITY CLERK OF THE CITY OF ANTIOCH

CITY OF ANTIOCH MASTER FEE SCHEDULE

DRAFT FOR JULY 1, 2019



MASTER FEE SCHEDULE

>>POLICE DEPARTMENT<<

DESCRIPTION	FEE	ACCT CODE
Personal/or Non Law Enforcement Local Criminal History Record Review Summary	\$ 40.00 41.00	100-3110.46010
Accident Investigation Report Copy	\$ 27.00 28.00 (for those not covered by PRA)	100-3110.46010
Impounded Vehicle Release	\$ 190.00 197.00	100-3110.46300
Administrative Fee: Repossession of vehicles	\$ 15.00 (set by State law)	100-3110.46300
Bicycle Registration	\$ 6.00	100-3110.42030
Card Room Permit: Regulation fees per table/year	\$ 740.00 766.00	100-3110.46300
Card Room Permit (New)	\$3,000.00 3,100 deposit plus fully allocated hourly rate for all staff involved plus any outside costs	
Clearance Letters	\$ 75.00 78.00	100-3110.46300
Code Enforcement (Municipal Code Violations)	Set by courts	
Crime Report Copy Copy of Police Report	Victim of Domestic Violence: No charge Rape, ID theft, human trafficking and elder abuse victims: First copy free All others: \$0.20 per page printed; \$10.00 per device for electronic file copy	100-3110.46010
CAD Event Screen	\$ 14.00 15.00	100-3110.46010
DUI Collision Response (fee limited by State law)	Direct costs of responding to incident - not to exceed \$12,000	100-3110.46300
DUI Arrest Processing	\$ 415.00	100-3110.46300
Escort of Wide or Overload Vehicle	Actual police and engineering time for investigation of route and escort if required	100-3110.46300
ABC Daily License Authorization	\$ 35.00 36.00	100-3110.46300
Gun Permit Fees – Concealed Weapons Permit Application/Renewal (non-refundable and set by State Penal Code Sections 12050-12054):	New Permit - \$100* (\$20 paid at time of application with balance due upon permit issuance) Renewal Permit - \$25* Amended Permit - \$10* *Psychological testing costs are added to the above fees up to \$150.00	100-3110.46300
Limo/Taxi Business Permit	\$ 295.00 305.00 per year	100-3110.46300
Limo/Taxi Driver Permit	\$ 295.00 305.00 per year	100-3110.46300
Limo/Taxi Vehicle Inspection: per vehicle – per inspection	\$ 80.00 83.00	570-2610.46630
Parking Enforcement	Established by Council Resolution	100-3150.43020
Parties & Nuisances – AMC Chapter 13, Sec 5-13.03/05	Fully allocated hourly rates for staff involved plus any outside costs	100-3110.46300
Police Department Room Rental: Nonprofit Uses: Classroom (Animal Services area) per hr Community Room Use (police area) per hr Commercial or Private: Classroom use (Animal Services area) per hr Community Room Use (Police area) per hr	 \$ 35.00 36.00 \$ 60.00 62.00 \$ 58.00 60.00 \$ 105.00 109.00	100-3110.46300
Second hand dealer - application fee	\$ 295.00	100-3110.46300
Second hand dealer - Department of Justice fee (initial and renewal)	\$ 300.00	
Massage Establishment:	Initial Registration	100-3110.46300
Owner/Practitioner	\$ 250.00	
Owner/Non-Practitioner	\$ 350.00	
Per Employee/Practitioner	\$ 25.00	
Verification letters	\$ 30.00 31.00	100-3110.46300

MASTER FEE SCHEDULE

>>POLICE DEPARTMENT<<

DESCRIPTION	FEE	ACCT CODE
Misdemeanor Booking	\$ 75.00 78.00 per booking	100-3110.46300
Special Event Regulation (group putting on Event) Event charged for Police Officer, Corporal and Sergeant at overtime rate for Step "E" of regular pay scale plus a 25% Administrative Fee. Event charged for Reserve Police Officer at Step "A" rate of regular officer pay scale plus a 25% Administrative Fee	Time, materials and Administrative overhead cost	100-3110.46300
Subpoena, Civil deposit/officer/day plus Admin fee	\$ 275.00 per G.C. 68096.1 deposit plus actual cost	753-0000.22315 100-3110.47010
Subpoena, Civil Administrative Fee	Clerical cost @ max of \$24/hr (\$6 per ¼ hr), plus 10 cents/page document duplication – charged by clerical staff	100-3110.47010
Subpoena Duces Tecum/Deposition Subpoena, Plus reasonable/actual costs (per 1563 E.C.)	Clerical cost @ max of \$24/hr (\$6 per ¼ hr), plus 10 cents/page document duplication – charged by clerical staff	100-3110.47010
Adult Business Permit	Deposit as determined by Police Dept plus charges at fully allocated hourly rates for all involved personnel and any outside costs	100-3110.46300
Firearms Range	\$100.00 hourly with operator (ADP operator always required for use)	100-3110.47010
Alarm Users: Registration and Renewal Registration Late Charge Alarm Fee – Late Charge/All Fees and Fines Late False Alarm – Registered False Alarm – Non-Registered Operating Suspended Alarm System Alarm Company: Failure to Report New Install Failure to use Alarm Confirmation or Enhanced Call Confirmation Procedures False Alarm Caused by Alarm Company Calling on Suspended Alarm Site All Late Charges	EFFECTIVE 3/26/19 PER RESO. 2019/24 \$30.00 \$15.00 5% of unpaid amount 1 – No charge; 2 – School or \$100; 3 or more - \$205 (for each subsequent response) 1 – School or \$100; 2 or more - \$205 (for each subsequent response) 1 - \$205; 2 - \$350; 3 or more - \$500 (for each subsequent response) \$30.00 \$30.00 1 – No charge; 2 or more - \$205 (for each subsequent response) 1 – No charge; 2 or more - \$205 (for each subsequent response) \$15.00	100-3110.46315 100-3110.46320

>>ANIMAL SERVICES<<

DESCRIPTION	FEE	ACCT CODE
Adoption Fees Adopt - Dog Adopt - Cat Adopt – Rabbit Adopt - Small animal (rats, hamsters, guinea pigs)	\$ 96.00 125.00* \$ 76.00 90.00* \$ 16.00* \$ 7.00* *Fees include spay/neuter, microchip and core vaccines. <u>Actual cost of spay/neuter that cannot be completed in-house will be added to the adoption fees.</u>	214-3320.46710

MASTER FEE SCHEDULE

>>ANIMAL SERVICES<<

DESCRIPTION	FEE	ACCT CODE
Animal Licensing Fees – Dogs		
License - Altered:		214-3320.42010
Altered License - 1 Year	\$ 20.00	
Altered License - 2 Year	\$ 35.00	
Altered License - 3 year	\$ 50.00	
Senior Citizen License – Altered Dog		
Senior Altered License - 1 Year	\$ 11.00	
Senior Altered License - 2 Year	\$ 19.00	
Senior Altered License - 3 Year	\$ 26.00	
License - Unaltered		
Unaltered License - 1 Year	\$ 41.00	
Unaltered License - 2 Year	\$ 71.00	
Unaltered License - 3 Year	\$ 109.00	
Senior Citizen License – Unaltered Dog		
Senior Unaltered License - 1 Year	\$ 22.00	
Senior Unaltered License - 2 Year	\$ 37.00	
Senior Unaltered License - 3 Year	\$ 55.00	
License - Unaltered & Impounded (U&A)		
License U&A - 1 yr	\$ 64.00	
License U&A - 2 yr	\$ 94.00	
License U&A - 3 yr	\$ 131.00	
License – Potential Dangerous/Vicious Animal		
Potentially Dangerous-Vicious Animal – 1 Year	\$ 61.00	
License - Fees, Other		
License - Multiple Pet Permit/year/application	\$ 55.00	
License - Tag Transfer	\$ 7.00	
License - Fee - Duplicate for lost license tag	\$ 7.00	
Animal Licenses - Late Fee Penalty	\$ 34.00	
Livestock Permit - per application/year	\$ 55.00	214-3320.42010
Cat Trap Fees:		
Trap Deposit	\$ 60.00	214-3320.47010
Trap Rental/day	\$ 6.00	
Board/Care Fees:		
Dog/day	\$ 19.00	214-3320.46710
Cat or small animal/day	\$ 19.00	
Livestock, reptiles/day	\$ 18.00 (at cost if not at Animal Shelter)	
Potentially Dangerous/Vicious Animal/day	\$ 29.00	
Potentially Dangerous/Vicious Animal		
Impound Fee	\$ 350.00	214-3320.46719
Conditional Release Agreement	\$ 150.00 inspection fee+boarding, alteration, microchipping and other fees and costs	
Dangerous Animal Administrative Fee	\$450.00 + impound, boarding, alteration, microchipping, vaccination and other fees and costs. Appeal processing fee refunded if appeal is won.	
Disposal Fees:		
Disposal - dog licensed*	\$ 20.00	214-3320.46731
Disposal - dog unlicensed	\$ 36.00	
Disposal - cat	\$ 20.00	
Disposal - other animal	\$ 20.00	
*If the dog to be disposed has a current, multiple year license and has a full year's credit remaining, that amount will be applied against the disposal fee. There will be no refunds.		

MASTER FEE SCHEDULE

>>ANIMAL SERVICES<<

DESCRIPTION	FEE	ACCT CODE
Euthanasia Fees		
Euthanasia - dog with license	\$ 36.00	214-3320.46728
Euthanasia - dog unlicensed	\$ 57.00	
Euthanasia - cat	\$ 36.00	
Euthanasia - small animal	\$ 25.00	
Vet Pick up	\$ 40.00	
Vet Per Animal Charge	\$ 10.00	
Handling Fees:		
Pick up fees:		214-3320.46719
Dog (plus surrender fee)	\$ 36.00	
Cat or small animal (plus surrender fee)	\$ 36.00	
Impound Fees and Fines:		
With Current license:		214-3320.46719
Impound - Dog - 1 st	\$ 30.00	
Impound - Dog - 2 nd within 12 months	\$ 75.00	
Impound - Dog - 3 rd within 24 months	\$ 120.00	
Impound - Dog - 4 th within 36 months	\$ 180.00	
Unlicensed:		214-3320.46719
Impound - Dog - 1 st	\$ 50.00	
Impound - Dog - 2 nd within 12 months	\$ 88.00	
Impound - Dog - 3 rd within 24 months	\$ 181.00	
Impound - Dog - 4 th within 36 months	\$ 234.00	
Other Fees:		
Impound - Cat/ Small	\$ 30.00	
Impound - Livestock	\$ 59.00	
After Hours Impound	\$ 30.00	
Inspection Fee	\$ 55.00	214-3320.46719
Unaltered Dog/Cat Penalty - State law (Food & Ag. Code section 31751.7) mandates that a fine shall be levied against the owners of unaltered dogs and cats that are impounded. These fines are charged in addition to the City's impound and redemption fees:		214-3320.46719
Penalty - First Offense	\$ 36.00	
Penalty - Second Offense	\$ 52.00	
Penalty - Third Offense	\$ 104.00	
Microchipping Fees:		
Microchipping of dogs and cats - includes microchip implant and registration on the Animal Shelter database. Pet owners may additionally register their pets directly with the American Kennel club by sending a \$6.25 registration fee.	\$ 25.00 per animal	214-3320.46735
Vaccinations – Fee is per vaccination	\$ 20.00	214-3320.46716
Neuter or Spay Fees:		
Neuter Fees:		
Neuter – Feline/Canine	Vet Cost	214-3320.46734
Spay Fees:		
Spay – Feline/Canine	Vet Cost	

MASTER FEE SCHEDULE

>>ANIMAL SERVICES<<

DESCRIPTION	FEE	ACCT CODE
Redemption Fees: Redemption fees to be charged to pet owner(s) upon the redemption of their pet: 1. Administration of reasonable veterinary medical treatments, which may be required in order to treat an injured and/or sick animal. 2. Medical treatments which may include the administration of veterinary drugs and/or medicinal products	Vet cost Vet Cost	214-3320.46733
Quarantine Fees: Quarantine Admin Fee - Home Quarantine Admin Fee - Shelter, plus Dog/board Cat or small animal Livestock Dog/Cat Vaccination	\$ 110.00 per animal \$ 55.00 per animal+ board fees \$ 28.00 per day \$ 23.00 per day \$ 28.00 per day (at cost if not at Animal Shelter) \$ 19.00	214-3320.46710
Surrender Fees: Surrender - dog with license Surrender - dog unlicensed Surrender - puppy litter Surrender - kitten litter Surrender - small animals (rats, misc. hamsters, birds, snakes) Surrender - cat/rabbit/snake/lizard (2 lbs and larger) Surrender - vaccination for unvaccinated dogs & cats (fee is per vaccination)	\$ 30.00 \$ 54.00 \$ 42.00 \$ 42.00 \$ 15.00 \$ 30.00 \$ 20.00	214-3320.46725

>>COMMUNITY DEVELOPMENT<<

DESCRIPTION	FEE	ACCT CODE
PLANNING & ENGINEERING STAFF HOURLY RATES	As outlined in Hourly Rate Detail report on file in the Finance Dept.	Various
PLANNING FEES: Minor Administrative Use Permit Major Administrative Use Permit Temporary Sign/Banner Permit Zoning Administrator Use Permit Application Extension Professional Services & Technical Studies <u>Consultant Contracts</u> General Plan Maintenance Home Occupation Review <u>Sidewalk Vendor Permit</u> Plan Review Sign- Planning Approval (building permit)	\$ 505.00 <u>523.00</u> – non-profit pays 50% of fee \$ 1,075.00 <u>1,113.00</u> \$ 115.00 <u>120.00</u> \$ 2,760.00 <u>2,857.00</u> per application \$ 800.00 <u>828.00</u> Contract cost + any outside agency cost + staff review time at fully allocated hourly rate <u>Actual cost + 10% Administrative Fee</u> 5% of Building Permit Fee \$ 125.00 <u>130.00</u> <u>\$ 130.00</u> Residential - \$245 <u>254</u> per plan; Commercial - \$490 <u>508</u> per plan; Deposit Project – charge full hourly rates plus any outside costs \$ 156.00 <u>162.00</u>	100-5130.46610 100-5130.46610 100-5130.46610 100-5130.46610 100-5130.46610 100-5130.46610 100-5130.46617 100-5130.46610 <u>100-5130.46610</u> 100-5130.46610 100-5130.46610

MASTER FEE SCHEDULE

>>COMMUNITY DEVELOPMENT<<

DESCRIPTION	FEE	ACCT CODE
PLANNING FEES (Cont.):		
Sign Review – Administrative	\$ 850.00 880.00	100-5130.46610
Sign Program Review	\$ 1,995.00 2065.00 per application	100-5130-46610
Sign Review – Planning Commission	\$ 1,820.00 1,884.00 per application	100-5130.46610
Minor Design Review	\$ 1,220.00 1,263.00 per application	100-5130.46610
Variance - Administrative	\$ 730.00 756.00 per application	100-5130.46610
Variance - Hearing	\$ 1,805.00 1,869.00 per application	100-5130.46610
Specific Plan Preparation	Contract cost + any outside agency cost + staff review time at fully allocated hourly rate	100-5130.46610
Zoning Verification Letter	Residential - \$ 195.00 202.00/letter Commercial - \$ 355.00 368.00/letter	100-5130.46610
PLANNING DEPOSIT APPLICATIONS – The following are deposits required for the items of work. Actual costs will be billed monthly for actual contract/outside agency costs plus staff time at fully allocated hourly rates.		
Annexations	\$ 10,000.00	Various
Development Agreement (deposit)	\$ 2,500.00	Various
Final Development Plan (deposit)	\$ 10,000.00	Various
General Plan Amendment (deposit)	\$ 10,000.00	Various
Master Development Plan (deposit)	\$ 10,000.00	Various
Environmental Document Preparation (deposit)	\$ 2,500.00	Various
Municipal Code Amendment Review (deposit)	\$ 2,000.00	Various
Preliminary Development Plan (deposit)	\$ 2,000.00	Various
Residential Development Application (deposit)	\$ 3,000.00	Various
Use Permit (deposit)	\$ 2,000.00	Various
Zoning/Rezoning Request (deposit)	\$ 2,000.00	Various
DEVELOPMENT IMPACT FEES	<u>Effective 6/24/14 (Reso 2014/21):</u>	
Development Impact Fees, charged per unit for residential and per sq. ft. non-residential:	<u>Single Family Multi-Family Non-Residential</u>	
General Administration	\$ 460 292 0.07	321-5500.46660
Public Works	\$ 445 282 0.06	321-5505.46661
Police	\$ 1,190 755 0.17	321-5510.46662
Parks and Recreation	\$ 3,261 2,065 0.00	321-5515.46663
Total	\$ 5,356 3,394 0.30	
	A 3% administrative charge shall be applied to all fees listed above.	
BUILDING FEES:		
Pool Safety Fee – applies to all pools, hot tubs, or any structure capable of holding more than 18” of water	1/10 of 1% of valuation	100-5160.46650
Certified Access Specialist Consultation Fee	Actual Consultant Cost + 10% admin fee	100-5160.46651
Solar Photovoltaic System – Residential		
Commercial - \$1,000 + \$7 per kW for each kW between 51kW & 250 kW + \$5 for every kW over 250kW	\$ 300.20	100-5160.42040

MASTER FEE SCHEDULE

>>COMMUNITY DEVELOPMENT<<

DESCRIPTION	FEE	ACCT CODE
BUILDING FEES (Cont.):		
Residential Construction:	<u>Valuation:</u>	100-5160.42040
Dwellings, sf	\$ 124.00 129.00/sf	
Private Garages, sf	\$ 48.00 50.00/sf	
Sheds less than 300 sf	\$ 16.00 17.00/sf	
Building Permits, minimum	\$ 136.00 141.00	
Plumbing fee, sq ft; Mechanical fee, sq ft, Electrical fee, sq ft; and Insulation fee, sq ft	<u>Valuation:</u> \$0.08/sf Commercial, and \$0.06/sf Residential for plumbing, mechanical, electrical and insulation	100-5160.42040
Minimum fee - Plumbing fee, Mechanical fee, Electrical fee, and Insulation fee	\$ 136.00 141.00	100-5160.42040
Patios, carports, patio covers, sq ft	<u>Valuation:</u> \$ 14.00 15.00/ sq ft	100-5160.42040
Wood decks/lath patios, sq ft	\$ 11.00 12.00/sq ft	
Plan Check Fee	65% of Building Permit Fee	100-5160.46605
Green Building Verification & Compliance Fee	18% of Building Permit Fee (New residential & room additions) 15% of Building Permit Fee (New Commercial & Tenant Improvement with Title 24)	100-5160.46658
Green Building Verification & Compliance Fee	18% of Building Permit Fee (New residential & room additions) 15% of Building Permit Fee (New Commercial & Tenant Improvement with Title 24)	100-5160.46658
Pool, residential + plan check	\$ 40,000 valuation or contract value, whichever is greater	100-5160.42040
Pool, commercial + plan check	Contract Price	100-5160.42040
Spas + plan check	\$ 7,100 valuation	100-5160.42040
Above Ground Pool (no plan check)	\$ 1,100 valuation	100-5160.42040
Special Inspections (written)	\$ 136.00 141.00	100-5160.42040
Special Inspections/Reinspection (3 rd)	\$ 109.00 113.00	100-5160.42040
Grading Permit	Fee calculation based on contract price	100-5160.42040
Plot Plan Modification/Resubmittal - per lot	\$ 55.00 57.00	100-5160.42040
Changes to existing permits for new houses/permit	\$ 273.00 283.00	100-5160.42040
Reroof	<u>Valuation:</u>	100-5160.42040
Under 20 squares with tear off	\$ 6,500.00	
Over 20 squares with tear off	\$10,000.00	
Comp over Comp	\$ 4,500.00	
	Or contract value, whichever is greater	
Technology Fee	2% of building permit fee	100-5160.46655
Energy Inspection Fee	2% of building permit fee	100-5160.46656
Accessibility Fee (Non-residential)	2% of building permit fee	100-5160.46657

MASTER FEE SCHEDULE

>>COMMUNITY DEVELOPMENT<<

ANTIOCH BUILDING PERMIT FEES	
Total Valuation	2018-19 Fee
\$1 to \$2,000	\$ 136.00 141.00
\$2,001 to \$25,000	\$ 136.00 141.00 for the first \$2,000+ \$ 15.63 for each additional \$1,000 or fraction thereof, up to and including \$25,000
\$25,001 to \$50,000	\$ 436.91 for the first \$25,000+ \$ 11.28 for each additional \$1,000 or fraction thereof, up to and including \$50,000
\$50,001 to \$100,000	\$ 718.88 for the first \$50,000+ \$ 7.81 for each additional \$1,000 or fraction thereof, up to and including \$100,000
\$100,001 to \$500,000	\$ 1,109.74 for the first \$100,000 + \$ 6.25 for each additional \$1,000 or fraction thereof, up to and including \$500,000
\$500,001 to \$1,000,000	\$ 3,611.19 for the first \$500,000 + \$ 5.30 for each additional \$1,000 or fraction thereof, up to and including \$1,000,000
\$1,000,001 and up	\$ 6,263.40 for the first \$1,000,000 + \$ 3.51 for each additional \$1,000 or fraction thereof

DESCRIPTION	FEE	ACCT CODE
CODE ENFORCEMENT:		
Abatement or Impound (vehicle, RV, boat, trailer)	\$ 190.00 197.00	100-5140.46025
Code Compliance Re-Inspection	\$ 225.00 233.00	100-5140.46025
Public Nuisance Abatement – Administrative Cost	\$ 2,005 2,075 per abatement plus actual staff cost at fully allocated hourly rate of on-site review plus actual cost of abatement	100-5140.46020
	Emergency – actual cost of abatement plus actual staff cost at fully allocated hourly rate (\$250 minimum)	
Shopping Cart Abatement or Impound Fee	\$ 50.00	100-5140.47010
Shopping Cart Fine (more than three occurrences in 6 months; in addition to Abatement/Impound fee)	\$ 50.00	100-5140.47010
Sign Retrieval	\$ 21.00 22.00	100-5140.46020
RESIDENTIAL RENTAL INSPECTION PROGRAM (RRIP) (Reso 2007/57):		
Initial Registration (charged when the property enters the program)	\$ 73.00	
Inspection Fee (charged with enrollment or renewal of non self-certified properties from 1-4 units)	\$ 227.00	
Additional Unit Inspection Fee (charged per unit after 4 units)	\$ 14.00	
Annual Self-Certification/Renewal Fee (when eligible for self-certification)	\$ 33.00	
Re-Inspection Fee (charged for follow up inspections due to non-compliance found in initial inspection and first follow-up)	\$ 160.00	
MISCELLANEOUS COMMUNITY DEV. FEES:		
Annexation Review: (Fees subject to change by LAFCO, or State of California) Pass Through		Pass through

MASTER FEE SCHEDULE

>>COMMUNITY DEVELOPMENT<<

DESCRIPTION	FEE	ACCT CODE
MISCELLANEOUS COMMUNITY DEV. FEES (Cont):		
LAFCO Fee		
State Fee (Refer to State Board of Equalization Schedule for State Processing fee).		
City Annexation Fee – all fees to be escalated by the SF CPI		100-0000.27000
<u>Commercial/Industrial Properties</u>	\$780-808 per gross acre <u>due at annexation; and</u> \$1,038 <u>1,075</u> per gross acre <u>due with</u> <u>subdivision or building permit</u>	
<u>Residential Properties</u>	\$780-808 per gross acre <u>due at annexation; and</u> \$1,038 <u>1,075</u> per gross acre <u>due with</u> <u>subdivision or building permit</u>	
Annexation Fee in FUA #1 for Lone Tree Area	\$ 66.00 <u>68.00</u> per acre	100-5130.42050
Waste Management Plan Processing	\$ 35.00	226-5225.47010
GIS Based Mapping Fee (transferred to County)	\$50/unit	100-0000.22024
City Base Map with Street grid 60 x 78 (wallsize), 1:600 scale	\$61 with photo paper \$51 with heavyweight paper	573-1435.43200
City Base Map without street grid 60 x 78 (wallsize), 1:600 scale	\$61 with photo paper \$51 with heavyweight paper	573-1435.43200
City Base Map 34x44	\$46 with photo paper \$41 with heavyweight paper	573-1435.43200
City Subdivision Map 34x44	\$46 with photo paper \$41 with heavyweight paper	573-1435.43200
General Plan Map 34x44	\$46 with photo paper \$41 with heavyweight paper	573-1435.43200

>>PUBLIC WORKS<<

DESCRIPTION	FEE	ACCT CODE
MISCELLANEOUS PUBLIC WORKS FEES:		
Mobile Stage Rental/day:		
Government and Non Profit Uses – Flat Fee	\$ 533.00	621-2210.46820
Commercial or Private Uses – Per Hour	Within 20-mile radius: \$1,337 for first day, plus \$213/day.	
	Outside 20-mile radius: \$1,337 for first day, plus \$126/hour for moving stage, plus \$213/day	
Public Works Department Training Room Rental:		
Government and Nonprofit Uses – per hour	\$ 56.00	100-2140.46300
Commercial or Private Uses – per hour	\$ 95.00	
Legends /Buttons “No Dumping – Drains to Delta”	\$5.00 /each	229-2585.47010
Park Maintenance Memorial Tree Grove:		
Tree, planting and memorial plaque	\$ 500.00	100-0000.22054

MASTER FEE SCHEDULE

>>PUBLIC WORKS<<

DESCRIPTION	FEE	ACCT CODE
MISCELLANEOUS PUBLIC WORKS FEES (Cont.):		
Public Works Services Hourly Rates: <ul style="list-style-type: none">StreetsSignsWater (Distribution & Treatment)Wastewater CollectionsStorm ChannelsLandscaping	Fully allocated hourly rate for all staff involved + cost of materials & equipment	100-2160.46630 100-2180.46630 611-2310.46630 621-2210.47010 229-2585.47010 SLLMD Accts
Public Works Gate Keys: <ul style="list-style-type: none">StreetsWater (Distribution & Treatment)Wastewater CollectionsStorm ChannelsLandscaping	\$ 50.00/key for cell tower access \$100.00/key refundable deposit (all other locations)	100-2160.46630 611-2310.46630 621-2210.47010 229-2585.47010 SLLMD Accts
Sandbags (Limit 20/customer) <ul style="list-style-type: none">Sandbags (filled)Sandbags (empty)	\$1.00/ea \$0.50/ea	621-2220.47010 611-2620.47010
Park Maintenance Memorial Tree Grove: Tree, planting and memorial plaque	\$ 500.00	100-0000.22054
Plans & specs for PW contract, minimum Construction details/set	\$ 25.75 \$ 27.00	Various
Construction details/page	\$ 0.25	
Water System Master Plan, each	\$ 20.60	Various
Urban Water Management Plan, each	\$ 31.00	
Plan Sheet (18"x26") each	\$ 3.10	
Plan Sheet (24"x36") each	\$ 4.15	
RECREATIONAL VEHICLE STORAGE FACILITY FEES:		
Park Maintenance District 1A		
20 ft/25 ft spaces/month	\$ 50.00	255-4551.44810
30 ft spaces/month	\$ 60.00	
40 ft spaces/month	\$ 70.00	
Flex Space (dependant on availability)	Per Master Fee rates listed above	
Lock-out fee (delinquent accounts)	\$ 19.00/ea	
Reconnect fee (reinstate accounts)	\$ 19.00/ea	
Replacement Gate Cards	\$ 19.00/ea	
Alarm user card replacement fee	\$ 19.00/ea	
Wait list fee for non-tenants (non-refundable)	\$ 25.00	
ENGINEERING FEES:		
Lot Line Adjustment	\$ 1,790.00 <u>1,850.00</u> per application	100-5150.46605
Merger of Contiguous Parcels	\$ 3,280.00 <u>3,395.00</u> per application	100-5150.46605
Encroachment Permit – Application and Processing	\$190.200 per permit for projects up to \$50,000; projects over \$50,000 charged the fully allocated hourly rates for staff time + outside costs	100-5150.42070
Encroachment agreement (permanent structure)	\$ 570.590 per application plus fees from any other inspections/permits and any other agencies	100-5150.47070

MASTER FEE SCHEDULE

>>PUBLIC WORKS<<

DESCRIPTION	FEE	ACCT CODE
ENGINEERING FEES (Cont.):		
Encroachment permit <u>Permit Inspection</u> - \$50,000 + valuation	Deposit set at 10% of construction value with charges at fully allocated hourly rates of staff time + outside costs	754-0000.22000
Encroachment Permit <u>Inspection</u> - \$0 - \$2,000 project	\$ 270.00 <u>280.00</u>	100-5150.42070
Encroachment Permit <u>Inspection</u> - \$2,001 - \$10,000 project	\$ 810.00 <u>840.00</u>	100-5150.42070
Encroachment Permit <u>Inspection</u> - \$10,001 - \$50,000 project	\$ 1,345.00 <u>1,390.00</u>	100-5150.42070
Cell Tower Review	Modification to existing - \$ 1,005 <u>1,040</u> per application; New tower – charges at fully allocated hourly rates of staff time + outside costs	100-5150.46605
Traffic Control Plan <u>Review</u> – Arterial & Collectors	\$0-\$50,000 valuation - \$ 255 <u>270</u> \$50,000 + valuation – Deposit set at 10% of construction value with charges at fully allocated hourly rates of staff time + outside costs	Various
Contract Admin <u>Professional Services & Consultant Contracts</u>	Fully allocated hourly rate of staff involved + any outside costs <u>Actual cost + 10% Administrative Fee</u>	<u>Various</u>
Geological Reports	\$250.00	100-0000.27000
Sidewalk repair inspection	Fully allocated hourly rate of staff involved + any outside costs <u>\$280.00</u>	100-1250.46400
Wide Load Vehicle Permit (State law restricts this fee to \$16 <u>per single trip or each trip completed</u>)	\$ 16.00	100-5180.42090
Lone Tree Way Bridge & Arterial Benefit District (See Reso 92/254 concerning Lone Tree Corridor Overlapping Benefit District, AD No. 27/31)	Resolution 92/254	
Hillcrest Bridge Benefit District (Hillcrest @ State Highway 4)	\$254.00/dwelling unit	391-2530.42100
Hillcrest Assessment District	\$239.07/unit	361-2590.42100
Lone Tree Corridor Overlapping Benefit District - AD #27/31 (Lone Diamond)	\$373.93/unit	376-2530.42100
PARK IN LIEU FEES (PER UNIT) (Ordinance #2080-C-S):		216-2520.46640
Single Family, detached	\$ 1,500.00	
Single Family, attached	\$ 1,100.00	
Duplexes	\$ 950.00	
Multi-Family	\$ 950.00	
Mobile Home	\$ 950.00	
FIRE PROTECTION FEES (Ordinance #1097-C-S effective 9/8/07):		755-0000.25000
(A) Per single-family dwelling unit	\$ 591.00	
(B) Per multi-family dwelling unit	\$ 285.00	
(C) Per 1,000 sq ft of office space	\$ 376.00	
(D) Per 1,000 sq ft of commercial space	\$ 329.00	
(E) Per 1,000 sq ft of industrial space	\$ 219.00	
TRAFFIC SIGNAL FEES: (Reso. No. 83/193)		
Residential - all types	\$ 417.00 <u>430.00</u>	
Commercial/industrial - greater of either: A. \$ 6870 /off-street parking space required by City code; or		

MASTER FEE SCHEDULE

>>PUBLIC WORKS<<

DESCRIPTION	FEE	ACCT CODE
TRAFFIC SIGNAL FEES (Cont.): B. \$194/each daily peak hour trip traveling to and from Development based upon: Office - 2.5 trips/1,000 sq ft (gross) Commercial - 3 trips/1,000 sq ft (gross) Service/industrial - 2 trips/1,000 sq ft (gross)		220-2540.46635
ENGINEERING DEPOSIT APPLICATIONS – The following are deposits required for the items of work. Actual costs will be billed monthly for actual contract/outside agency costs plus staff time at fully allocated hourly rates. Building Move (deposit) Tentative Tract Map: 1-4 lots (deposit) Tentative Tract Map: 5 or more lots (deposit) Reversion to Acreage (deposit) Subdivision Final Plan Check , Map Check Improvement Review and Inspection (deposit) Subdivision Inspection (deposit)	\$ 1,000.00 \$ 7,500.00 \$ 10,000.00 \$ 7,500.00 \$ 30,000.00 \$ 30,000.00	100-0000.27000 <u>Various</u> <u>Various</u> <u>Various</u> <u>Various</u> <u>Various</u>
WATER FEES: New Water Account Set up Bacteriological Testing After Hydrant Repair Bacteriological testing of new water main installations: any test required after initial bacteriological failure Metered water sales/100 cubic foot: Single Family Tier I 0-12 HCF Zone I Zone II* Zone III* Zone IV* *Zones II, III and IV include pumping quantity surcharge Tier II 13 and over/+HCF Zone I Zone II* Zone III* Zone IV* *Zones II, III and IV include pumping quantity surcharge <u>Non single family</u> Zone I Zone II* Zone III* Zone IV* Outside City *Zones II, III and IV include pumping quantity surcharge Raw Water	\$ 30.00 \$100 per test plus cost of labor and materials \$100 per test plus cost of labor and materials - only charged if test failure <u>Approved 5/12/15 Reso. 2015/26 – Effective 7/1/1819</u> \$ 3,453.78 Outside City evaluated on a case-by-case basis \$ 3,563.89 \$ 3,653.99 \$ 3,854.20 \$ 5,686.22 Outside City evaluated on a case-by-case basis \$ 5,796.33 \$ 5,886.43 \$ 6,086.64 \$ 4,054.44 \$ 4,164.55 \$ 4,254.65 \$ 4,454.86 Outside City evaluated on a case-by-case basis \$ 3.15	611-2310.46840 611-2310.46630 611-2310.46630 611-2310.46825

MASTER FEE SCHEDULE

>>PUBLIC WORKS<<

DESCRIPTION	FEE	ACCT CODE
WATER FEES (Cont.):		
Backflow Prevention Device Testing:	Inside City Outside City	611-2330.46630
New Install Testing	\$ 135.00/each Evaluated on a case-by-case basis	
Backflow Test on new install and temporary construction (non fireline)		
Backflow Prevention Device Maintenance Fees:	<u>Double Check/RP Device</u> Inside City Outside City	611-2330.46855
Double Check Valve/Reduced Pressure Devices (monthly by device size as listed below):	Evaluated on a case-by-case basis	
5/8 "x 3/4"	\$ 5.17/\$5.99 <u>5.30</u>	
1 inch	\$ 5.28/\$7.28 <u>5.40</u>	
1 1/2 inch	\$ 7.14/\$10.75 <u>7.30</u>	
2 inches	\$ 7.53/\$11.47 <u>7.70</u>	
3 inches	\$ 24.64/\$28.09 <u>25.10</u>	
4 inches	\$ 26.59/\$25.44 <u>27.10</u>	
6 inches	\$ 33.43/\$49.33 <u>34.10</u>	
8 inches	\$ 60.48/\$68.40 <u>61.70</u>	
10 inches	\$ 78.21/\$85.93 <u>79.80</u>	
Backflow Prevention Device Installation	Actual Cost	
Fire Protection:		
Fire Protection water service charge for unmetered connections to water system equipped with a detector check assembly for privately owned sprinklers, hydrants, or other outlets used for firefighting; Monthly Standard 5/8" x 3/4" Meter Service Fee \$18.64 plus the following:	\$ 18.64 <u>19.01</u> plus rates below	
Fire sprinkler requires 1" Double Check Detector Backflow Test on ALL new fireline installations	<u>Double Check Detector Assembly (DCDA)</u> Inside City Outside City Evaluated on a case-by-case basis	611-2310.46825
<u>New Install Testing:</u>		
Test on Residential Properties	\$ 172.53 <u>176.00</u>	
Test on Commercial Properties (Detector Assemblies)	\$ 345.07 <u>352.00</u>	
4 inches and under	\$ 39.92 <u>40.70</u>	
6 inches	\$ 46.84 <u>47.80</u>	
8 inches	\$ 63.61 <u>64.90</u>	
10 inches	\$ 88.64 <u>90.40</u>	
Backflow Prevention Device Installation	Actual Cost	
Hydrant Meter Water Installation:		
Deposit for Hydrant Meter	\$ 2,885.00	611-2310.46825
Hydrant Meter Monthly Charge	\$ 80.00	
Installation	\$ 110.00 plus deposit	
Relocation	\$ 55.00	
Hydrant water usage/unit; Potable or Recycled Water	\$ 3.50 Outside City Limit - fees evaluated on a case-by-case basis	

MASTER FEE SCHEDULE

>>PUBLIC WORKS<<

DESCRIPTION	FEE	ACCT CODE
WATER FEES (Cont.):		
Backflow Protection on Hydrant Meter (when applicable):		
Deposit on Backflow Device	\$ 706.00	
Test on RP (new install test)	\$ 135.00	
Monthly Charge for RP	Per rates for device sizes listed above	
Water Utility Penalty, % of unpaid bill	5%	
Water Service Charge for Monthly Maintenance of Water Lines by Meter Size:	Effective 7/1/189 Approved 5/12/15 Reso. 2015/26:	
	Inside City Outside City	611-2310.46840
	Outside fees evaluated on a case-by-case basis	
5/8"x 3/4"	\$ 22.90 24.40	
1"	\$ 52.00 55.00	
1-1/2"	\$ 98.00 105.00	
2"	\$ 155.00 165.00	
3"	\$ 287.00 305.00	
4"	\$ 475.00 506.00	
6"	\$ 946.00 1,008.00	
8"	\$ 1,512.00 1,610.00	
10"	\$ 2,171.00 2,312.00	
12"	\$ 3,113.00 3,315.00	
Water for Construction/home: (Slab-Prestressing exercises)	\$ 29.00	611-2310.46845
<u>Water Meter Installation (includes labor and material):</u>		
Single Family Residential:		611-2310.46850
New Subdivision with Lateral		
5/8" x 3/4" meter with remote reading	\$ 110.00 (Labor) plus \$ 164.00 173.00 (Materials)	
1" meter with remote reading	\$ 110.00 (Labor) plus \$ 260.00 268.00 (Materials)	
Existing Subdivision, Lateral Not Installed:	Actual Cost	
Water Meter/lateral installation, except single family residential (all sizes)	Fully allocated hourly for all staff involved plus any outside costs	
Backflow device penalties, % of unpaid bill	5% of unpaid bill	611-2310.46855
FOR ALL DELINQUENT, NON-PAYMENT, OR SUSPENDED ACCOUNTS:		
Processing Service Charge	\$ 26.00	611-2310.46830
Disconnection Service Charge	\$ 104.00 each/per trip when the water is already disconnected	
Reconnection Service Charge- <u>service is provided next business day</u>	No Charge	
Reconnection Service Charge, Same Day Service	\$ 260.00 150.00 (2-hrs at OT)	

MASTER FEE SCHEDULE

>>PUBLIC WORKS<<

DESCRIPTION	FEE	ACCT CODE
WATER FEES (Continued):		
Water Meter Tampering + parts & labor	Fully allocated hourly rate of staff involved plus any outside costs – minimum charge of \$250.00	
Return Trips – returning for the same reason, <u>service is provided next business day</u>	No Charge	
Return Trips – returning for the same reason, same day service	\$260.00 <u>150.00</u> each subsequent visit (2-hrs at OT)	611-2310.46830
FOR ALL NON-DELINQUENT ACCOUNT REQUESTS:		
Water Turn On/Off - <u>service is provided next business day</u>	No Charge	
Water Turn On/Off same day service	\$ 260.00 <u>150.00</u> (2-hrs at OT)	
Water Meter Tests and/or Water Meter Replacement - charge when requested by customer	Fully allocated hourly rate of all staff involved plus any outside costs. Fee will be refunded if meter found to be running fast.	
<u>Pressure/Flow Test for Design Purposes</u>	<u>\$ 110.00</u>	<u>611-2310.47010</u>
Water Deposits:		
Residential	\$ 186.00 (requires guaranteed funds)	611-0000.22100
Commercial	1.5 times month avg	
Meter Key Checkout, deposit	\$ 150.00	611-2310.47010
Meter Key charge if not returned within 30 days	\$ 150.00	611-2310.47010
SEWER FEES:	Effective 7/1/18 Adopted 5/12/15 Reso. 2015/26	
Delinquent sewer charges, % of unpaid bill	5%	621-2210.46820
<u>Residential Uniform Charges – per dwelling unit each month</u>		621-2210.46820
Single Family Dwelling Unit \$/month charge	\$ 13.40 <u>14.00</u>	
Multi Family Dwelling Unit \$/month	\$ 12.00 <u>12.70</u>	
Apartment, Mobile Home Dwelling Unit \$/month	\$ 10.60 <u>11.10</u>	
<u>Non Residential monthly charge</u>		
Account Charge \$/month	\$ 4.224.44 plus volume rate	
Volume Rate \$/month	\$ 1.131.20 per HCF	
Fee to televise sewer mains	\$ 1.091.15 /ft + Time and Materials (fully allocated hourly rate + cost of materials and equipment)	
Southeast Gravity Sewer Fee/unit, per city ordinance #846-C-S	\$652.00	
Fee for inspection/certification of storm water collection facilities – C-3 requirements	Time and materials for inspection/repair or replacements costs (fully allocated hourly rate)	
TV Sewer Lateral on Property Sale	\$105.00 per lateral	621-2210.46630
Sewage Spill Cleanup	Fully allocated hourly rate for all staff involved plus any outside costs	621-2210.46630

MASTER FEE SCHEDULE**>>PUBLIC WORKS<<****WATER & SEWER FACILITY RESERVE FEES**

In January 2003, the three components for capacity charges (connection, annex, and storage) were combined into one charge (612-2560.46860) in order to improve administration and reduce the complexity of capacity charge development and implementation. Sewer connection fees are reported in 622-2570.46810. Water Storage Fees, Water Service District Annexation Fees and Water and Sewer Connection Fees shall automatically adjust in each succeeding year in accordance with the "Engineering News Record Cost of Construction Index".

Water Meter Size or Customer Class	*Sewer Connection 622-2570.46810	Treated Water Capacity 100-0000.25001	*Water Capacity 612-2560.46860
5/8" x 3/4"		\$1,121.38	\$5,503.85 <u>\$5,702.61</u>
1-inch		\$2,803.45	\$13,759.63 <u>\$14,256.52</u>
1-1/2 inch		\$5,606.90	\$27,519.25 <u>\$28,513.03</u>
2-inch		\$8,971.04	\$44,094.90 <u>\$45,686.88</u>
3-inch		\$17,942.08	\$82,772.28 <u>\$85,793.71</u>
4-inch		\$28,034.50	\$137,703.08 <u>\$142,675.21</u>
6-inch		\$56,069.00	\$275,406.18 <u>\$285,350.44</u>
8-inch		\$100,924.20	\$441,394.94 <u>\$457,664.51</u>
10-inch		\$162,600.10	\$634,776.24 <u>\$658,697.53</u>
12-inch		\$241,096.70	\$912,715.30 <u>\$947,329.66</u>
Residential:			
Single Dwelling (per unit)	\$2,671.34 <u>\$2,751.48</u>	\$1,121.38	\$5,503.85 <u>\$5,702.61</u>
Multi Family (2-4 units) (per unit)	\$2,136.24 <u>\$2,200.33</u>	\$1,121.38	\$5,503.85 <u>\$5,702.61</u>
Apartment/Mobile Home (per unit)	\$1,741.91 <u>\$1,794.17</u>	\$1,121.38	\$5,503.85 <u>\$5,702.61</u>

*Sewer Capacity – Non Residential: Average gallons per day @ ~~\$12.72~~ \$13.10 per gallon

*Water Capacity – Residential/Multi Family/Apartment/Mobile Home: If meter size greater than 5/8" x 3/4" charge by meter size.

MASTER FEE SCHEDULE

>>MARINA<<

DESCRIPTION	FEE	ACCT CODE
MARINA FEES:		
Credit Check Fee (Non-refundable. Fee includes staff time to process)	\$25.00/ea	631-2410.44830
Open berths (length of boat, all overhangs included, or berth, whichever is greater) per month. Does not include electric power.	\$5.75 <u>\$6.00</u> /ft/mo	631-2410.44830
Covered berth (length of boat, all overhangs included, or berth, whichever is greater) per month. Does not include electric power.	\$7.25 <u>\$7.50</u> /ft/mo	631-2410.44830
Electric Sub Meter charge/month, at PG&E prevailing rates for the type of service, adjusted for time of year.	Charge at PG&E established rates per kwh for the type of service, adjusted for time of year	631-2410.44830
Skiff berths: Open boat only. Maximum length overall (LOA) with all extensions, including outboard motor in the stored (up) position.		631-2410.44830
Maximum 19' and less LOA/month	\$ 50.00	
Maximum -20-21' LOA/month	\$ 80.00	
Maximum -22-24' LOA/month	\$100.00	
Kayak Facility Use	\$ 30.00/mo	631-2410.47010
Live aboard fees/month	\$145.00 <u>\$175.00</u> each additional person – \$ 50.00 <u>60.00</u>	631-2410.44830
Wait-list fee for non-tenants (non-refundable)	\$ 50.00	631-2410.44840
Transient overnight vessels:		631-2410.44830
Marina day use fee	\$ 5.00	
Vessels less than 34 5'/night	\$15.00 <u>\$25.00</u>	
Vessels 35' to 44'/night	\$20.00	
Vessels Over 45' and over per night commercial	\$25.00 <u>\$35.00</u>	
Dock boxes/month	\$ 5.00	631-2410.47010
Lien sale filing fee	\$100.00	631-2410.47010
Vessel chaining (impound) fee - each occurrence	\$150.00	631-2410.47010
Vessel de-watering (pumping) fee. First pumping is free; thereafter, charge is \$60.00/pumping + Time & Equipment.	\$ 60.00 + Time and Equipment (Fully Burdened Hourly Rate cost of materials and equipment)	631-2410.47010
Labor fee for re-tying, moving, towing, salvaging, repairing, installing, removing, cleaning, etc., per hour (in ½ hour minimum increments)	Time and Materials (Fully Burdened Hourly Rate)	631-2410.47010
Electronic Key fee	\$ 10.00	
Boat Launch Fees (per reso 2011/75):		631-2425.46030
Daily rate	\$ 5.00	
Annual pass (January – December)	\$100.00	
Specials: The Public Works Director may offer discounted promotional fees of a limited duration depending on availability		

MASTER FEE SCHEDULE

>>RECREATION AND COMMUNITY SERVICES<<

DESCRIPTION	FEE	ACCT CODE
Senior Bus One-Way Fares	\$ 1.50 2.00	218-4310.46140
<u>Activity/Facility Rental Fees:</u> Activity/Facility Rental Fees are set to cover all direct costs <u>and indirect costs as approved in the Fee and Pricing Policy including but not limited to such as</u> instructors, staff, materials, and contracted services, plus <u>and</u> necessary overhead.	Fees set to cover all direct costs <u>as approved in the Fee and Pricing Policy</u> \$12.00 added for non-resident participation and non-AUSD participation	Various
<u>FACILITY USE DEPOSITS, LATE FEES, AND CONTRACT MODIFICATION FEES:</u> Facility Deposit (refundable at 100% compliant)	\$500.00	219-0000.22000
Police Response Deposit (refundable at 100% compliant)	\$500.00	219-0000.22000
Alcohol Use Permit – Outdoor Picnic Areas/Group Use (non-refundable)	\$ 20.00	Various
Alcohol Use Permit-Indoor Facilities/Private, Group, Organization Use (non-refundable)	\$ 200.00	
Security Guard (non-refundable) All events serving any alcohol require security guards. City provides security guards based on attendance. Refer to Rental Policies and Procedures for the number of security guards required.	\$ 38.00/hr per guard	
Late fee for not picking up children at scheduled release time - \$5.00 per 5 minute interval per child	\$ 5.00	
Contract Modification		
24 Hours After Contract Approval	\$ 75.00	
Less Than 14 Days Prior to Event	\$100.00	
Modification is not available less than 7 days		
Late Fee for Unpaid Balance per the Contract Schedule	\$100.00	
Event/Contract Cancellation Fee	\$ 75.00 plus additional penalties outlined in contract schedule of payment	
<u>Non-Profit* Discount for the Following Facilities:</u> Antioch Community Center Multi-Use Rooms Antioch Water Park Community/Multi-Use Room Nick Rodriguez Community Center *Must provide proof of IRS Designation as 501 (c) (3) Or public agency	25% discount off of the room rental rate	
<u>Nick Rodriguez Community Center Fees:</u> Theater evening and weekend per hour** Weekdays 8am – 4pm per hour <u>Green Room</u>	\$ 12.00 115.00 \$ 30.00 56.00	219-4410.44810
Multi-Use Room per hour	\$ 12.00 115.00	
10 Hour Rate	\$ 1,000.00 1,035.00	
<u>Podium</u>	\$ 20.00	
<u>Screen and Projector Per Day</u>	\$ 43.00	
<u>Screen Only Per Day</u>	\$ 20.00	
<u>Regular Microphone Per Day</u>	\$ 12.00	
Arts & Crafts Room per hour	\$ 54.00 56.00	
Conference Room per hour	\$ 54.00 56.00	
Classroom per hour	\$ 54.00 56.00	
Physical Fitness Room per hour	\$ 54.00 56.00	
Technician per hour	\$ 55.00	

MASTER FEE SCHEDULE

>>RECREATION AND COMMUNITY SERVICES<<

DESCRIPTION	FEE	ACCT CODE
<u>Nick Rodriguez Community Center Fees (Cont.):</u>		
Grand Piano Rental:		
1 Day	\$ 77.00	
2 Days	\$ 108.00	
Each additional day	\$ 45.00	
<u>**For long-term productions contact the Recreation Department</u>		
<u>Antioch Community Center Fees:</u>		219-4495.44810
San Joaquin Community Hall - Full Ballroom		
Monday – Thursday per hour	\$ 218.00 222.00	
Friday, Saturday, Sunday – Per hour/10 hour rate	\$ 260.00/2,320.00 265.00/2,385.00	
<u>Sunday Only, 3:00pm-11:00pm</u>	\$ 1,200.00	
Lobby per hour, Full Ballroom option only	\$ 77.00 78.00	
San Joaquin Community Hall – Half Ballroom		
Monday – Thursday per hour	\$ 124.00 126.00	
Friday, Saturday, Sunday – Per hour/10 hour rate	\$ 147.00/1,310.00 150.00/\$1,350.00	
San Joaquin Community Hall One Fourth Ballroom		
Monday – Thursday per hour	\$ 78.00 79.00	
Friday, Saturday, Sunday – Per hour/10 hour rate	\$ 91.00/810.00 92.00/828.00	
West Island Room per hour	\$ 73.00 75.00	
Gymnasium – For Non-Sport Uses		
Full-day rental only up to 12 hours	\$ 3,620.00 3,725.00	
Amphitheatre		
Per Hour	\$ 135.00	
Companion use with Community Hall per hour; two hour minimum	\$ 100.00	
<u>Arbor Use Per Day</u>	\$ 100.00	
Full Service Catering Kitchen		
With Community Hall One Time Fee	\$ 105.00 107.00	
Individual Rental Per Hour	\$ 52.00 53.00	
Ballroom Projector and Screen Per Day	\$ 77.00 78.00	
Ballroom Screen Only Per Day	\$ 26.00 26.00	
West Island Projector and Screen Per Day	\$ 52.00 53.00	
West Island Screen Only Per Day	\$ 21.00 23.00	
Podium Per Day	\$ 16.00 20.00	
Portable Bar Per Day	\$ 26.00 30.00	
Regular Microphone Per Day	\$ 11.00 12.00	
Wireless Microphone Per Day	\$ 16.00	
<u>Jensen Family Picnic Grove Fees:</u>		219-4450.46135
Picnic Rental Areas: Three picnic areas are available to rent on a daily basis. Applicants may reserve any combination of picnic areas that fit their needs. (All areas combined will accommodate 160 guests)		
<u>Alcohol Permit Required (refer to page 18)</u>		
Area 4, Capacity 40		
Full Day (8am to dusk)	\$ 50.00	
Area 3, Capacity 50		
Full Day (8am to dusk)	\$ 65.00	
Area 2, Capacity 70		
Full Day (8am to dusk)	\$ 90.00	

MASTER FEE SCHEDULE

>>RECREATION AND COMMUNITY SERVICES<<

DESCRIPTION	FEE	ACCT CODE
<u>Waldie Plaza Use Fees:</u> Waldie Plaza is available for rent on a daily basis; ideal for community events and citywide gathering. Rental application subject to City review and may require additional fees and/or permits. Monday-Thursday Full Day (8am to dusk) Friday, Saturday, Sunday	\$1,750.00 \$2,000.00	
<u>Athletic Fields Fees:</u> <u>Day Use - 1 hour minimum</u> <u>Night Use – 2 hour minimum</u> <u>Facility Closure Fee</u> City Park Adult – Day Use Per Hour Youth – Day Use Per Hour Adult & Youth – Night Use (includes lights) Per Hour Community Park Adult & Youth – Day Use Per Hour Adult & Youth – Night Use (includes lights) Per Hour Tournament Use Youth Hardball/per team Youth & Adult Softball/per team Field Drag – Per Drag Staff Set Up Per Hour Security Deposit <u>Cancellation Fees</u> 30 day notice – Administrative Fee Less than 30 days notice – Security Deposit Turf Fields Adult – Day Use Per Hour Youth – Day Use Per Hour Adult – Night Use (includes lights) Per Hour Youth – Night Use (includes lights) Per Hour Memorial Field Adult & Youth – Day Use Per Hour Adult & Youth – Night Use (includes lights) Per Hour Neighborhood Park Fields Adult – Day Use Only Per Hour Youth – Day Use Only Per Hour	\$15 for every 15 minutes after the end time for field use \$ 20.00 \$ 8.00 <u>10.00</u> \$ 50.00 \$ 26.00 <u>27.00</u> \$ 59.00 <u>60.00</u> \$ 97.00 <u>100.00</u> \$ 70.00 <u>73.00</u> \$ 46.00 <u>48.00</u> \$ 20.00 <u>25.00</u> \$100.00 \$ 35.00 \$100.00 \$ 68.00 <u>70.00</u> \$ 55.00 <u>57.00</u> \$ 86.00 <u>89.00</u> \$ 74.00 <u>77.00</u> \$ 45.00 <u>16.00</u> \$ 42.00 <u>44.00</u> \$ 45.00 <u>16.00</u> \$ 10.00	219-4450.46135
<u>Antioch Community Center Gymnasium Sporting Events Fees:</u> <ul style="list-style-type: none"> • Half (½) Gym Adult Use Per Hour Youth Use Per Hour	\$ 34.00 <u>35.00</u> \$ 28.00 <u>29.00</u>	

MASTER FEE SCHEDULE

>>RECREATION AND COMMUNITY SERVICES<<

DESCRIPTION	FEE	ACCT CODE
<u>Antioch Community Center Gymnasium</u> <u>Sporting Events Fees (Cont.):</u>		
• Full Gym		
Adult Use Per Hour	\$ 55.00 57.00	
Youth Use Per Hour	\$ 43.00 45.00	
Adult Tournament	\$ 77.00 80.00	
Youth Tournament	\$ 64.00 66.00	
Scoreboard Rental Per Day	\$ 25.00 26.00	
Security Deposit for Tournaments	\$ 100.00	
<u>Antioch Water Park Fees: Effective January 1, 2018</u>		
Daily Admission – Weekend/Holidays	\$ 16.00	219-4630.46110
Daily Admission - Weekday	\$ 14.00	
Daily Admission - After 4:00 pm	\$ 8.00	
Active Military with current ID	\$ 8.00	
Seniors Adults 62 and older	\$ 8.00	
Antioch Resident Season Pass	\$ 74.00 75.00	219-4630.46112
Antioch Resident Season Pass – Early Discount	\$ 59.00 60.00	219-4630.46112
Purchased before Opening Day		
Non-Resident Season Pass	\$ 90.00 92.00	219-4630.46124
Non-Resident Season Pass – Early Discount Purchased before Opening Day	\$ 70.00 72.00	219-4630.46124
Group Rates		
Weekend – 10 or more	\$ 14.00	
Weekday – 10 or more	\$ 12.00	
Weekday – 50 or more	\$ 11.00	
Weekend with water park multi-use room rental	\$ 12.00	
Complete Park Buy-Out Private Use		219-4630.46122
Week Day Before 4:00pm Per Hour, 3 Hr Minimum	\$ 685.00	
Evenings After 4:00Pm Per Hour, 3 Hr Minimum	\$ 740.00	
Weekends, 3 Hr Minimum	\$ 740.00	
Boulder Cove Per Hour	\$ 260.00	
Prewett Peak Per Hour	\$ 191.00	
Sport Pool Per Hour	\$ 191.00	
Tad Pool Per Hour	\$ 93.00 100.00	
Cattail Harbor Spray Ground	\$ 191.00	
Lap/Lesson Pool Per Hour	\$ 160.00	
Lost Season Pass (new card issued)	\$ 10.00 15.00	219-4630.46010
Locker Rental – Small	\$ 3.00 4.00	219-4630.46010
Locker Rental - Large	\$ 5.00 6.00	219-4630.46010
Lost locker key	\$ 25.00	219-4630.46010
Deposits, late fees and contract modification fees apply		
Complete Park Buy-Out	\$ 500.00	
Partial Pool Rental (refundable at 100% compliant)	\$ 100.00	
<u>Antioch Water Park Community Multi-Use Room Fees:</u>		219-4630.44810
Multi Use Room with Patio per hour	\$ 130.00 133.00	
-May 15th to September 15th per hour/10 hour	\$ 150.00/1,350.00 153.00/1,377.00	
Projector and Screen Per Day	\$ 42.00 43.00	
<u>Screen Only Per Day</u>	\$ 20.00	
Podium Per Day	\$ 16.00 20.00	

MASTER FEE SCHEDULE

>>RECREATION AND COMMUNITY SERVICES<<

DESCRIPTION	FEE	ACCT CODE
<u>Antioch Water Park Community Multi-Use Room Fees (Cont.):</u>		
Portable Bar Per Day	\$ 26.00	
Regular Microphone Per Day	\$ 10.00 12.00	
<u>Tent Rentals:</u>		219-4630.44810
Per day advanced/same day reservation	\$ 45.00	
Discount reservation @ 1:00pm	\$ 20.00	
Discount reservation @ 4:00pm	\$ 10.00	
<u>Prewett Park Outdoor Grand Plaza Fees:</u>		219-4495.44810
Plaza Area – Capacity 120		
Per Hour, 2 Hour Minimum	\$ 45.00	
Full Day (8am to dusk)	\$ 200.00	
Facility Deposit	\$ 100.00	
Deposits, alcohol permits, security guards, late fees and contract modification fees apply to all Recreation facilities and designated programs		

>>MISCELLANEOUS<<

DESCRIPTION	FEE	ACCT CODE
Lynn House	\$500.00 for a minimum of 5 hours. Deposit fee \$100*. \$25.00 cancellation/postponement fee 30 days before event. No deposit refund if cancellation within 30 days before event. Supplemental fee to cover direct costs for additional accommodations (e.g., furniture, furnishings, etc.) *Non-profit & other special events: Fee to cover direct costs.	
Business License Application Fee	\$ 25.00	100-1250.41150
Business License Renewal Fee	\$ 10.00 – <u>waived if renewed on-line by due date only</u>	100-1250.41150
Business License Certificate Reprint Fee	\$ 10.00 (on certificate paper)	100-1250.47010
Business License Stickers on vehicles, taxicabs	\$ 5.00 each	100-1250.47010
Processing of Criminal Complaint	staff time, attorneys' fees and court costs	100-1250.41140
Drainage Fee Processing of Total Districts:		100-1250.46400
D-55	½ of 1%	
D-56	½ of 1%	
J-29	½ of 1%	
D-29	½ of 1%	
DA-130	½ of 1%	
Fire Protection Fees, % of revenue	1%	100-1250.46400
COBRA Administration fees, % of premium	2%	100-1250.46400
Returned or rejected items charges	\$ 80.00	100-1250.47010

MASTER FEE SCHEDULE

DESCRIPTION	FEE	ACCT CODE
Staff Time Hourly Billable Rates	As outlined in Hourly Rate Detail report on file in Finance- <u>increased by 3.5% CPI</u>	Various
Board of Administrative Appeals Fee	\$ 50.00 – refundable if appeal successful	100-1250.46400
Appeal to Planning Commission	\$ 920.00 per appeal (non-refundable)	100-1250.46400
Appeal to City Council of Commission Decision	\$ 2,340.00 per appeal (non-refundable); Deposit Project – charge fully allocated hourly rates for all staff time involved	100-1250.46400
Citation Appeals Fee (pursuant to Section 1-5.05 of AMC)	Deposit equal to amount of fine	
Release of Special Assessment Lien	\$ 135 per release plus additional fees from other agencies	Various
Lien Processing Charge	\$270.00 plus additional fees from other agencies	Various
Delinquent charges will be assessed on unpaid invoices over 30 days, % Of unpaid amount	5% of unpaid amount	100-1250.46400
Other Service Charges		
Agenda Mailing/year	\$ 48.00	100-1140.47010
Minutes Mailing/year	\$ 48.00	100-1140.47010
Business License List – current active listing, per list	\$ 50.00	100-1250.47010
Business License Labels	\$ 75.00	100-1250.47010
New Business List – per month	\$ 5.00	100-1250.47010
New Business List – prepaid for year	\$ 60.00	100-1250.47010
Master Fee Resolution	\$ 6.00	100-1250.47010
Financial Reports	\$ 20.00	100-1220.47010
City Budget	\$ 20.00	100-1250.47010
Candidate Filing Fee	\$ 25.00 – limited by State law	100-1140.47010
Initiative Fee	\$200.00 - Fee to be refunded to filer if, with one year of the date of filing notice of intent, the elections office certifies the sufficiency of petition	100-1140.47010
Copies - letter/legal size:		
Four pages or less	free	
Five pages or more	\$ 0.20 per page (\$1 minimum)	Various
Copies – FPPC reports	\$ 0.10 per page	100-1140.47010
Electronic File Copy	\$ 10.00 per device	Various
GIS maps	\$ 40.00 (plain paper) \$ 50.00 (glossy paper)	573-1435.46010 573-1435.46010
Document Certification	\$ 20.00 per document	Various
Records & Information Research (not subject to the Public Records Act or subpoena)	Fully allocated hourly cost of staff involved	Various
Council Chambers Governmental Uses: Audio/Visual Technician & equipment rental rate/hour	Actual cost paid to technician by renter of Council Chambers	
Deposit (refunded after walk-thru to verify clean and no equipment is missing)	\$100.00	
Block Party Permit	Deposit for barricades	
Special Event/Assembly/Parade Application Fee	\$135.00 <u>\$140.00 Effective January 1, 2020</u>	100-1250.47010
Parade Permit	\$ 1,435 fee plus the actual cost of staff involved and any outside costs (if approved)	
Senior Discounts are offered for the following: <ol style="list-style-type: none"> 1. Waiver of the monthly water service charge (for accounts with established discount prior to April 26, 2011) 2. 50% discount on dog licenses (with proof of discount from Republic Services) 3. Garbage service (application mailed directly to Republic Services for consideration) 		

MASTER FEE SCHEDULE

DESCRIPTION	FEE	ACCT CODE
Requirements to qualify for the senior discount are as follows:		
<ol style="list-style-type: none">1. Sixty-two (62) years of age or older and total household income of no more than the very low income limits for 1 person tied to the Oakland-Fremont area as established by the U.S. Department of Housing and Urban Development Program Income Limits. Household income includes Social Security and all retirement benefits. In the case of a husband and wife, it is the total yearly amount of income earned; OR2. Disabled as established by the Social Security Administration Supplemental Income Program for the aged, blind, and disabled.		



STAFF REPORT TO THE CITY COUNCIL

DATE: Regular Meeting of May 28, 2019

TO: Honorable Mayor and Members of the City Council

SUBMITTED BY: Teri House, CDBG/Housing Consultant

APPROVED BY: Forrest Ebbs, Community Development Director *FE*

SUBJECT: Proposed Bond Issuance by the California Municipal Finance Authority ("CMFA") to AMCAL Antioch Fund, L.P. to Create 394 Units of Multifamily Rental Housing Known as the Antioch Family and Senior Apartments.

RECOMMENDED ACTION

It is recommended that the City Council:

- 1) Conduct the public hearing under the requirement of TEFRA and the Internal Revenue Code of 1986, as amended (the "**Code**").
- 2) Adopt the Resolution approving the Joint Exercise of Powers Agreement with the California Municipal Finance Authority ("**CMFA**") and issuance of the Bonds by CMFA in an amount not to exceed \$120,000,000 (the "**Bonds**"), to assist in financing the costs of the acquisition, construction, improvement and equipping of a 394-unit multifamily rental housing project located at 3560 East 18th Street, Antioch California, and are generally known as Antioch Family and Senior Apartments (the "**Project**").

FISCAL IMPACT

This action has no fiscal impact to the City of Antioch, as the developer is not requesting City subsidy for the project. The Board of Directors of the California Foundation for Stronger Communities, a California non-profit public benefit corporation (the "**Foundation**"), acts as the Board of Directors for the CMFA. Through its conduit issuance activities, the CMFA shares a portion of the issuance fees it receives with its member communities and donates a portion of these issuance fees to the Foundation for the support of local charities. With respect to the City of Antioch, it is expected that a portion of the issuance fee attributable to the City will be granted by the CMFA to the general fund of the City. Such grant may be used for any lawful purpose of the City, especially for the benefit of housing related activities. Staff recommends that these funds be set aside and used as housing grants for urgent needs.

DISCUSSION

This Public Hearing is a required component of the Tax Equity and Fiscal Responsibility Act (TEFRA) of 1982. A TEFRA Public Hearing, held by the governmental unit having jurisdiction over the area in which the facility to be financed is located, is mandated by the IRS before the Governor can approve the issuance of tax-exempt debt. The purpose of this TEFRA hearing is to provide a reasonable opportunity for interested residents of Antioch to express their views, either orally or in writing, on the issuance of bonds for the project outlined in this report. Notice of this Public Hearing was published in the East County Times on May 14, 2019.

These bonds will not be issued by the City of Antioch. AMCAL Antioch Fund, L.P. (the "Borrower") has submitted to CMFA an application to adopt a plan of financing providing for the issuance of one or more series of revenue bonds issued from time to time, including bonds issued to refund such revenue bonds in one or more series from time to time, in an aggregate principal amount not to exceed \$120,000,000 (the "Bonds") to assist in financing the costs of the acquisition, construction, improvement and equipping of a 394-unit multi-family rental housing project located at 3560 East 18th Street, Antioch California, generally known as Antioch Family and Senior Apartments (the "Project").

The authority is a political subdivision of the State of California established under the Joint Exercise of Powers Act for the purpose of issuing tax-exempt and taxable conduit bonds for public and private entities throughout California. The CMFA is authorized to issue bonds for standalone or multi-jurisdictional projects throughout California. The use of tax-exempt bonds to finance a project and possible economies of scale may provide a lower interest rate and reduce the borrower's finance costs.

Pursuant to Section 147(f) of the Internal Revenue Code of 1986, as amended (the "Code"), the issuance of the Bonds by the Authority must be approved by the City of Antioch (the "City") because the Project is located within the territorial limits of the City. The Authority has requested that the City Council approve the issuance of the Bonds by the Authority in order to satisfy the public approval requirement. In order to initiate such a financing, the member participant of the Authority in which the proposed facilities will be located must conduct a public hearing and approve the Authority's issuance of indebtedness. Therefore, although the Authority will be the issuer of the tax-exempt revenue obligations for the Applicant, the financing cannot proceed without the City's approval of the financings.

Proposed Project

The proposed project will provide an additional 394-units of new rental housing in the City. The Project would include the construction of a gated residential community comprised of 11 three-story apartment buildings with 390 affordable units and four manager units; 214 of the units will be designed for families, and 176 units will be age restricted senior units. In addition, the project would include multiple open-space areas, amenities, and various landscape features.

The proposed family apartments are located in Buildings 1-9 and would be comprised of a mix of 108 two-bedroom units and 108 three-bedroom units. The two-bedroom units

are 824 square feet and the three-bedroom units range from 1,054-1,059 square feet. There will be 12 family units that are required by the tax credit funding source and the Americans with Disabilities Act (“**ADA**”) to be accessible to persons with disabilities, and an additional six (6) that are accessible to persons with impaired sensory function.

The proposed age restricted senior units (restricted to age 55 and older) are located in Buildings 10 and 11 and contain a mix of 144 one-bedroom units and 32 two-bedroom units with two of the four on-site manager units located in the senior buildings. The two-bedroom senior units are 824 square feet and the one-bedroom units are 594 square feet. Thirty (30) total units, or 15 of each of the one- and two-bedroom units will be accessible to persons with disabilities. An additional 12 units will be accessible to persons with impaired sensory function.

All apartment buildings are located on the eastern portion of the site, and all family and senior units provide a minimum of sixty square feet of private usable open space. The buildings are located approximately 100 feet from the rear property line of the single-family homes to the west with the main drive aisle, parking lot, and a twenty-foot landscape buffer between them.

The applicant has proposed that 350 units are to be restricted to tenants earning 60% of the area median income (“**AMI**”) and 40 units to be restricted to tenants earning 50% of AMI with the remaining four units to be reserved for managers. This means that the maximum rent they could charge a tenant would be 30% of the average median income at their respective income level. While the applicant is proposing these affordability levels, they are not requesting any density bonuses or concessions that would require them to provide affordable units. The ultimate level of affordability will be determined by the project applicant and the funding sources available to them. Antioch Family and Senior Apartments will be an important addition to the City’s affordable housing stock for lower income residents of all ages.

Developer

AMCAL designs, finances, builds and manages affordable rental housing, market-rate rental housing, and student housing, and has been in California since 1999. AMCAL ranks #15 out of the top 50 developers, according to the publication *Affordable Housing Finance*. The Company has completed over 6,500 multi-family units and raised over \$900 million in tax credit financing. Their completed affordable communities are found in California, Texas, and Washington. Communities in California are located in the cities of San Francisco, Oakland, Fresno, Los Angeles, Long Beach, Palmdale, Riverside, San Diego, Santa Ana, Irvine, Anaheim, and other southern California cities.

California Municipal Finance Authority

The CMFA was created on January 1, 2004 pursuant to a joint exercise of powers agreement to promote economic, cultural and community development, through the financing of economic development and charitable activities throughout California. To date, over 300 municipalities have become members of CMFA.

The CMFA was formed to assist local governments, non-profit organizations and businesses with the issuance of taxable and tax-exempt bonds aimed at improving the standard of living in California. The CMFA's representatives and its Board of Directors have considerable experience in bond financings.

Execution of the Joint Exercise of Powers Agreement

In order for the CMFA to have the authority to serve as the issuer of the bonds for the Project, it is necessary for the City of Antioch to become a member of the CMFA. Attached to this report is a copy of the Joint Exercise of Powers Agreement to be executed by a designated signatory of the City. This is combined with the approval of the bond issuance.

The Joint Exercise of Powers Agreement provides that the CMFA is a public entity, separate and apart from each member executing such agreement. The debts, liabilities and obligations of the CMFA do not constitute debts, liabilities or obligations of the members executing such agreement.

The Bonds to be issued by the CMFA for the Project will be the sole responsibility of the Borrower, and the City will have no financial, legal, moral obligation, liability or responsibility for the Project or the repayment of the Bonds for the financing of the Project. All financing documents with respect to the issuance of the Bonds will contain clear disclaimers that the Bonds are not obligations of the City or the State of California but are to be paid for solely from funds provided by the Borrower.

There are no costs associated with membership in the CMFA and the City will in no way become exposed to any financial liability by reason of its membership in the CMFA. In addition, participation by the City in the CMFA will not impact the City's appropriations limits and will not constitute any type of indebtedness by the City. Outside of holding the TEFRA hearing, adopting the required resolution and executing the Joint Exercise of Powers Agreement of the CMFA, no other participation or activity of the City or the City Council with respect to the issuance of the Bonds will be required.

The Joint Exercise of Powers Agreement expressly provides that any member may withdraw from such agreement upon written notice to the Board of Directors of the CMFA. In the case of the proposed bond financing for the Borrower, the City following its execution of the Joint Exercise of Powers Agreement, could, at any time following the issuance of the Bonds, withdraw from the CMFA by providing written notice to the Board of Directors of the CMFA.

Summary

To support the development of new affordable housing in the City of Antioch, staff recommends that the City conduct the TEFRA Hearing, execute the Joint Exercise of

Powers Agreement of the CMFA, and adopt the resolution in favor of the issuance of the Bonds by the CMFA.

ATTACHMENT

- A. Resolution to execute the Joint Exercise of Powers agreement and issuance of bonds by CMFA

ATTACHMENT "A"

RESOLUTION 2019/**

RESOLUTION APPROVING, AUTHORIZING AND DIRECTING EXECUTION OF A JOINT EXERCISE OF POWERS AGREEMENT RELATING TO THE CALIFORNIA MUNICIPAL FINANCE AUTHORITY AND APPROVING THE ISSUANCE OF REVENUE BONDS BY THE AUTHORITY FOR THE PURPOSE OF FINANCING OR REFINANCING THE ACQUISITION, CONSTRUCTION AND IMPROVEMENT OF CERTAIN FACILITIES FOR THE BENEFIT OF AMCAL ANTIOCH FUND, L.P.

WHEREAS, pursuant to Chapter 5 of Division 7 of Title 1 of the Government Code of the State of California (the **"Act"**), certain public agencies (the **"Members"**) have entered into a Joint Exercise of Powers Agreement Relating to the California Municipal Finance Authority, dated as of January 1, 2004 (the **"Agreement"**) in order to form the California Municipal Finance Authority (the **"Authority"**), for the purpose of promoting economic, cultural and community development, and in order to exercise any powers common to the Members, including the issuance of bonds, notes or other evidences of indebtedness;

WHEREAS, the City of Antioch (the **"City"**), has determined that it is in the public interest and for the public benefit that the City become a Member of the Authority in order to facilitate the promotion of economic, cultural and community development activities in the City, including the financing of projects therefor by the Authority;

WHEREAS, there is now before this City Council (the **"City Council"**) the form of the Agreement;

WHEREAS, the Agreement has been filed with the City, and the members of the City Council, with the assistance of its staff, have reviewed said document;

WHEREAS, the Authority is authorized to issue and sell revenue bonds for the purpose, among others, of financing or refinancing the construction, acquisition and rehabilitation of capital projects;

WHEREAS, AMCAL Antioch Fund, L.P. (the **"Borrower"**) has requested that the Authority adopt a plan of financing providing for the issuance of one or more series of revenue bonds issued from time to time, including bonds issued to refund such revenue bonds in one or more series from time to time, in an aggregate principal amount not to exceed \$120,000,000 (the **"Bonds"**) for the purpose of making a loan to the Borrower, to enable the Borrower to finance or refinance the costs of the acquisition, construction, improvement and equipping of a 394-unit multifamily rental housing project located at 3560 East 18th Street, Antioch, California, generally known as Antioch Family and Senior Apartments (the **"Project"**);

WHEREAS, in order for the interest on the Bonds to be tax-exempt, Section 147(f) of the Internal Revenue Code of 1986, as amended (the **"Code"**), requires that an "applicable elected representative" of the governmental unit, the geographic jurisdiction of which contains the site of facilities to be financed with the proceeds of the Bonds, hold

a public hearing on the issuance of the Bonds and approve the issuance of the Bonds following such hearing;

WHEREAS, the Authority has determined that the City Council is an “applicable elected representative” for purposes of holding such hearing;

WHEREAS, the Authority has requested that the City Council approve the issuance of the Bonds by the Authority in order to satisfy the public approval requirement of Section 147(f) of the Code and, the requirements of Section 4 of the Agreement;

WHEREAS, notice of such public hearing has been duly given as required by the Code, and this City Council has heretofore held such public hearing at which all interested persons were given an opportunity to be heard on all matters relative to the financing or refinancing of the Project and the Authority’s issuance of the Bonds therefor; and

WHEREAS, it is in the public interest and for the public benefit that the City Council approve the issuance of the Bonds by the Authority for the aforesaid purposes.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Antioch as follows:

Section 1. The foregoing recitals are true and correct.

Section 2. The Agreement is hereby approved and the Mayor or the designee thereof is hereby authorized and directed to execute said document, and the City Clerk or such Clerk’s designee is hereby authorized and directed to attest thereto.

Section 3. The City Council hereby approves the issuance of the Bonds by the Authority. It is the purpose and intent of the City Council that this resolution constitute approval of the issuance of the Bonds (a) by the “applicable elected representative” of the governmental unit having jurisdiction over the area in which the Project is located in accordance with Section 147(f) of the Code and; (b) by the City Council in accordance with Section 4 of the Agreement.

Section 4. The issuance of the Bonds shall be subject to the approval of the Authority of all financing documents relating thereto to which the Authority is a party. The City shall have no responsibility or liability whatsoever with respect to the Bonds.

Section 5. The adoption of this Resolution shall not obligate the City or any department thereof to (i) provide any financing to acquire or construct the Project or any refinancing of the Project; (ii) approve any application or request for or take any other action in connection with any planning approval, permit or other action necessary for the acquisition, construction, rehabilitation or operation of the Project; (iii) make any contribution or advance any funds whatsoever to the Authority; or (iv) take any further action with respect to the Authority or its membership therein.

Section 6. The executing officers(s), the City Clerk and all other proper officers and officials of the City are hereby authorized and directed to execute such other agreements, documents and certificates, and to perform such other acts and deeds, as may be necessary or convenient to affect the purposes of this Resolution and the transactions herein authorized.

Section 7. The City Clerk shall forward a certified copy of this Resolution and an originally executed Agreement to the Authority in care of its counsel:

Ronald E. Lee, Esq.
Jones Hall, APLC
475 Sansome Street, Suite 1700
San Francisco, CA 941111

Section 8. This resolution shall take effect immediately upon its passage and approval.

* * * * *

I HEREBY CERTIFY that the foregoing resolution was passed and adopted by the City Council of the City of Antioch at a regular meeting thereof, held on the 28th day of May, 2019 by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

ARNE SIMONSEN, CMC
CITY CLERK OF THE CITY OF ANTIOCH

SIGNATURE PAGE FOR JPA AGREEMENT

IN WITNESS WHEREOF, the City of Antioch has caused this Agreement to be executed and attested by its duly authorized representatives as of the 28th day of May, 2019.

Member:

CITY OF ANTIOCH

By _____
Sean Wright, Mayor of the City of Antioch

ATTEST:

Arne Simonsen, CMC
City Clerk of the City of Antioch



STAFF REPORT TO THE CITY COUNCIL AND HOUSING SUCCESSOR

DATE: Regular Meeting of May 28, 2019

TO: Honorable Mayor and Members of the City Council

SUBMITTED BY: Teri House, CDBG/Housing Consultant

APPROVED BY: Forrest Ebbs, Community Development Director *FE*

SUBJECT: Consideration of Recommendations Which Comprise the 2019-20 Action Plan, Utilizing Community Development Block Grant (CDBG) and Housing Successor Agency (Agency) Funds

RECOMMENDED ACTION

- 1) It is recommended that the City Council adopt the Resolution approving the funding recommendations of the CDBG Subcommittee and the draft fiscal year (FY) 2019-20 Action Plan. (Attachment "A")
- 2) It is recommended that the Housing Successor to the Antioch Development Agency adopt the Resolution approving the funding recommendations of the CDBG subcommittee and the Housing Successor funding for homeless services, housing rehabilitation and first-time homebuyer programs and subsidies, outlined in the 2019-20 Action Plan. (Attachment "B")

STRATEGIC PURPOSE

These actions are essential to achieve continued compliance with HUD regulations and to fulfill the 2015-20 Community Development Block Grant ("CDBG") Consolidated Plan (Strategy I-1 in the Strategic Plan), with the needs analysis, homeless strategy, priority needs and goals that comprise the framework of the Consolidated Plan; and the funding recommendations which comprise the Action Plan to implement the fifth and final year of the 2015-20 Consolidated Plan, FY 2019-20.

FISCAL IMPACT

Action #1: The recommended action has no impact to the General Fund. It commits a total of \$893,393 in CDBG funding to address identified high priority needs of the City in: senior and youth services; fair housing and tenant/landlord services; economic development; infrastructure development; housing (code enforcement) and CDBG administration. Committed funds are comprised of: \$816,027 in 2019-20 CDBG entitlement funds and \$77,366 prior year CDBG funds.

Action #2: The recommended action has no impact to the General Fund. It commits a total of \$933,000 in Housing Successor funds to address identified high priority needs of the City in homeless services, housing homeownership, and housing rehabilitation.

Total recommendation for funding is \$1,826,393 (\$893,393 CDBG and \$933,000 Agency). All of these programs and services benefit lower income persons and areas of Antioch and are high priorities for funding as identified in the Consolidated Plan.

DISCUSSION

Action Plan Background

The City of Antioch belongs to the Contra Costa County HOME Consortium (“**Consortium**”), comprised of the cities of Antioch, Concord, Walnut Creek, Pittsburg, and the County on behalf of Richmond and the urban county cities. Each jurisdiction within the Consortium receives funds from the federal government for housing and community development activities. To receive federal funds, the Consortium members must submit a strategic plan of three or five years, known as the Consolidated Plan. The Consolidated Plan outlines the existing and future housing and community development needs and sets forth the strategies the Consortium will undertake and prioritize for using federal funds to address those needs. The Contra Costa Consortium operates with a five-year Consolidated Plan timeframe, and the 2015-20 Consolidated Plan was approved by HUD in June 2015.

The Action Plan describes the specific strategies the City will undertake during each program year of the Consolidated Plan to address priority needs by achieving the Priority Goals identified in the Consolidated Plan. The Action Plan identifies the use of grant funds and program income, including Redevelopment Agency and other funding sources, and the proposed accomplishments of each activity.

Council members Lori Ogorchock and Joy Motts comprised the CDBG Subcommittee for 2019-20, and Council members Lori Ogorchock and Toni Tiscareno served for the 2017-18 and 2018-19 grant years. Staff reviewed renewal applications for eligibility, program budgets, and informed the Subcommittee of agency performance as of the third quarter of the fiscal year. The Subcommittee and staff reviewed Housing Successor funding.

2017-20 Three Year Grant Cycle

The Consortium held the three-year FY 2017-2020 Grant Kickoff meeting on October 6, 2016. In the three-year grant cycle, applicants that are chosen to receive the first-year funding may receive two additional years of renewal funds contingent on the availability of funds and satisfactory program performance, at the discretion of the City.

The public notice for the October meeting was widely advertised through a Contra Costa Times display advertisement, and through emailing over 500 nonprofit agencies and interested parties. The meeting was attended by more than 200 persons. Grant applications were filed electronically via the City Data Services system and due on December 12, 2016, and funds for FY 17-18 were awarded effective August 1, 2017.

Further public input and comment on the City’s priorities for funding was solicited both by public notice published on August 27, 2018 and at the Public Hearing conducted on

September 12, 2017 when Council reviewed agency accomplishments for FY 17-18 and considered any changes for the coming year. Council received public input and affirmed the current priorities as outlined in the 2016-20 Consolidated Plan with no changes.

The public was notified on April 26, 2019 about the 2019-20 Action Plan draft availability and invited to comment about priorities for funding until May 28 at 5:00 p.m., and at the Public Hearing to be held this evening, May 28, 2019.

Funding Available

	19-20 Grant CDBG-EN*	Prior Years Residual Funds	Housing Successor Funds
Funds Available	\$816,027	\$77,366	\$933,000
Funds Recommended	\$816,027	\$77,366	\$933,000
Balance	\$0	\$0	\$0

*EN = Entitlement

The City of Antioch's federal CDBG allocation for 2019-20 is \$816,027. This is a \$24,937 decrease from the FY 2018-19 allocation of \$841,964. Recommended for allocation are the entire amount of 2019-20 CDBG Entitlement funds, as well as the entire estimated \$77,366 in CDBG carry-over or residual funds from prior years, for total CDBG funding of \$893,393. Also recommended is \$933,000 in Housing Successor (former Antioch Redevelopment Agency) funds. Total funding recommendation, all sources, is \$1,826,393.

CDBG Public Services are capped by HUD at 15% of the FY 2019-20 total grant amount of \$816,027 plus 15% of the FY 2018-19 program income of \$18,540. The Public Services calculation is: $\$816,027 + \$18,540 = \$834,567 \times 15\% = \$125,185$. Public Service activities are being recommended at \$125,000, which is the same level as last year. CDBG Public Services include one homeless service grant to Loaves and Fishes, Tenant/Landlord services, and all Senior and Youth services.

Administration of the CDBG program is capped by HUD at 20% of the 2019-20 total grant amount plus 20% of the anticipated FY 2019-20 program income, estimated to be \$30,000. The Administration calculation is: $\$816,027 + \$30,000 = \$846,027 \times 20\% = \$169,205$. Administration is recommended at \$168,393. This includes the Subcommittee recommendation that Fair Housing Counseling and activities, a HUD requirement, be funded from Administration funds in the amount of \$25,000, and recommendation for \$143,393 to Administration, for a total of \$168,393. Administration costs include the City Data Services contract for the CDBG and Housing grant administration software, the remainder of consultant fees for the Analysis of Fair Housing contract, as well as the Consolidated Plan fees due this year, plus consultant fees as needed for the Neighborhood Stabilization Program and for the CDBG program administration, as well as any other CDBG-related planning documents and tasks. Any unused Administration funds are recycled for programming next year.

The total of CDBG funds recommended for allocation is \$893,393, of which \$125,000 is recommended for Public Services, and \$168,393 is recommended for Administration including Fair Housing services. The remainder of \$600,000 is recommended for a variety of eligible activities. These include: \$60,000 for Economic Development activities; \$400,000 for downtown roadway rehabilitation and ramps; and \$140,000 for Housing Code Enforcement in lower income areas. Details are located below and in the 2019-20 Draft Action Plan Strategies and Funding, Exhibit 1 to Attachment “A”, the Resolution Adopting the one-year CDBG 2019-20 Action Plan.

Housing Successor to the Antioch Redevelopment Agency Administration funds are used to support homeless prevention, outreach, crisis, and emergency housing services. All homeless services are provided in support of the County Homeless Strategic Plan to prevent homelessness and provide access to permanent housing for persons who are homeless. Homeless Public Services activities are recommended at \$128,000 from the Housing Successor Funds. Homeless Services and Administration of the Housing Successor cannot exceed \$250,000 annually, and the City is well under this amount. The proposed actions are also detailed below and in Exhibit 1 to Attachment “A” and the resolution adopting the one-year Housing Successor funding for 2019-20 is Attachment “B”.

Public comment is invited and will be included in the final Action Plan document that is submitted to HUD on or before June 10, 2019.

Priority Goals and Annual 2019-20 Strategies

All stated goals of households or persons to be served refer to Antioch residents only. The 2015-20 Priority Needs, Goals and Strategies to address priority needs in 2019-20 are as follows:

Homeless Goals and Strategies (H-1 and H-2)

H-1: Permanent Housing for Homeless. Further “Housing First” approach to ending homelessness by supporting homeless outreach efforts, emergency shelter, transitional housing, and permanent housing with supportive services to help homeless persons achieve housing stability.

H-1.1 2019-20 Strategy – Adult Continuum of Services, Contra Costa County Behavioral Health Services, Homeless Program (\$10,000 Housing Successor Fund). Program provides 24-hour emergency shelter with wrap-around services to assist homeless persons in finding appropriate long-term housing, in addition to providing shelter, case management, housing and benefits assistance, meals, laundry facilities, healthcare, mental health services, substance abuse treatment for up to 120-days. 80 homeless persons to be served.

H-1.3 2019-20 Strategy – Emergency Shelter for Battered Women and their Children, STAND! For Families Free of Violence (\$10,000 Housing Successor Fund). Program provides emergency shelter for up to 24 women and their children fleeing domestic violence, as well as comprehensive supportive services, including food, clothing, social and legal advocacy, vocational assistance, child care, housing referrals, and counseling. 10 battered women and their children to be served.

H-1.4 2019-20 Strategy – Winter Nights Emergency Family Shelter, Interfaith Council of Contra Costa County (\$13,000 Housing Successor Fund). Program provides emergency shelter, food, tutoring, transportation, case management, housing placement assistance, etc. to homeless families through a rotating shelter which operates from October through June each year, with a maximum capacity of 30 persons/night. 13 members of homeless families to be served.

H-1.5 2019-20 Strategy – Coordinated Outreach, Referral and Engagement (CORE) Homeless Outreach Teams, Contra Costa Health, Housing and Homeless Services Division, Contra Costa Health Services. (\$30,000 Housing Successor Fund). Program will serve as an entry point into the coordinated entry system for unsheltered persons and work to identify, engage, stabilize and house chronically homeless individuals and families. The outreach teams will contact homeless individuals to provide basic needs, supplies, counseling, benefits, assistance, linkages to healthcare, shelter placement, and referrals and transportation to C.A.R.E. Centers. 270 homeless persons to be served.

H-2: Prevention of Homelessness. Expand existing prevention services including emergency rental assistance, case management, housing search assistance, legal assistance, landlord mediation, money management and credit counseling.

H-2.1 2019-20 Strategy – Nourishing Lives – Feeding Homeless and At-Risk Households, Loaves and Fishes (\$5,000 CDBG). Program provides hot, nutritious meals Monday through Friday in Antioch dining room, located at 403 West 6th Street, in the surrounding lower income areas census tracts of 3050.00, 3060.03, 3071.02, and 3072.02. Partnering with other agencies, clients are also offered safety net services such as medical, shelter, and registration for Cal Fresh. 100 persons to be served.

H-2.2 2019-20 Strategy – Homeless Prevention & Rapid Re-housing, SHELTER Inc. (\$25,000 Housing Successor Fund). Program helps people in a housing crisis by rapidly re-housing homeless households and prevention of homelessness for households at immediate risk of homelessness. Services include case management and financial assistance (e.g., rental assistance such as move-in costs, and rental subsidies). 160 persons to be served.

H-2.3 2019-20 Strategy – Crisis and 211 Homeless Services, Contra Costa Crisis Center (\$10,000 Housing Successor Fund). Program provides linkage of homeless residents to a wide variety of services, including the CORE Outreach Teams, and CARE centers, in addition to a 24-hour mental health crisis intervention service and a 211 information and referral service. 1,000 persons to be served.

H-2.4 2019-20 Strategy – Eviction Services for Homeless Prevention, Bay Area Legal Aid (\$25,000 Housing Successor Fund). Program provides a variety of services to help prevent eviction and retain housing to prevent homelessness, including tenant/landlord mediation, assistance with eviction paperwork and proceedings, and legal representation. 50 persons to be served.

Non-Housing Community Development Goals and Strategies (CD-1 – CD-8)

Public Services (CD-1 – CD-5)

CD-2: Non-Homeless Special Needs. Ensure that opportunities and services are provided to improve the quality of life and independence for persons with special needs, such as elderly and frail elderly, victims of domestic violence, persons with HIV/AIDS, persons with mental, physical and developmental disabilities, abused children, illiterate adults and migrant farm workers.

CD-2.1 2019-20 Strategy – Seniors: Senior Center Administration and Programs, City of Antioch (\$35,000 CDBG). Program provides lower income Antioch seniors with access to a wide variety of activities and services at the Antioch Senior Center, including hot lunches M-F. Center serves as the hub of senior service delivery, providing space for Contra Costa Senior Legal Services, Lion's Center screening events, Senior Outreach Services Care Management, as well as providing health seminars, computer classes, insurance counseling, educational and recreational opportunities, and much more. 800 seniors to be served.

CD-2.2 2019-20 Strategy – Seniors: Legal Services for Older Americans, Contra Costa Senior Legal Services (\$10,000 CDBG). Program provides free legal counseling, advice, representation and litigation services to seniors in connection with their housing, income maintenance, consumer and individual rights, and other elder law issues. 75 seniors to be served.

CD-2.3 2019-20 Strategy – Seniors/Disabled: Independent Living Skills, Lions Center for the Visually Impaired (\$5,000 CDBG). Program provides in-home independent living skills instruction and training to visually impaired adults, so they will maintain their independence and avoid institutionalization. 14 disabled persons to be served.

CD-2.4 2019-20 Strategy – Seniors/Disabled: Meals on Wheels, Senior Outreach Services (\$10,000 CDBG). Program delivers seven nutritious meals each week to frail, home bound seniors and disabled adults to help them live at home in safety, comfort, and with dignity for as long as they can. Seniors also benefit from daily health and wellness checks from volunteer drivers, and ongoing client monitoring through in-home visits by outreach workers. 160 seniors to be served.

CD-2.5 2019-20 Strategy – Seniors: Care Management, Senior Outreach Services (\$10,000 CDBG). Program provides an array of services to help older adults and their families meet long-term care needs. Care managers assist seniors in resolving critical issues affecting their health and wellness, to help them live as independently as possible. Bilingual professionals are trained in gerontology, social work or counseling. 80 seniors to be served.

CD-2.6 2019-20 Strategy – Advocacy in Care Facilities, Ombudsman Services of CCC (\$10,000 CDBG). Program provides dependent adults and elderly residing in long-term care facilities with access to safe and secure environments through the advocacy of trained and certified Ombudsman who investigate abuse and ensure compliance of facilities with Title 22 California Code of Regulations. 65 elderly/disabled persons to be served.

CD-3: Youth. Increase opportunities for children/youth to be healthy, succeed in school, and prepare for productive adulthood.

CD-3.1 2019-20 Strategy – Youth: Youth Recreational Program Scholarships, City of Antioch (\$15,000 CDBG). Program provides scholarships to 120 youth from lower income Antioch families, allowing them to participate free in healthy sports, fitness, recreation, swimming, and other classes. 120 youth to be served.

CD-3.2 2019-20 Strategy – Youth: Child Sexual Assault Intervention, Community Violence Solutions (\$5,000 CDBG). Program serves child and developmentally disabled individuals who are victims of sexual assault with forensic interviews, advocacy, case management, and mental health services. 20 youth to be served.

CD-3.3 2019-20 Strategy – Youth: Advocacy for Children at Risk, Court Appointed Special Advocates (\$5,000 CDBG). Program provides advocacy, mentoring and representation services to abused and neglected children who are wards of the County Juvenile Dependency Court to improve access to social services, health care, therapeutic services, and a safe permanent living situation. 15 youth to be served.

CD-4: Fair Housing. Continue to promote fair housing activities and affirmatively further fair housing to eliminate discrimination in housing choice in the City of Antioch.

CD-4.2 2019-20 Strategy – Fair Housing Services, ECHO Housing (\$25,000 CDBG Admin). Program affirmatively furthers fair housing by investigating allegations of discrimination; conducting audits to uncover discrimination, providing training to housing providers. ECHO Housing is a HUD-approved housing counseling agency and satisfies HUD's definition of Fair Housing Enforcement Organization and Qualified Fair Housing Enforcement Organization. 50 persons to be served.

CD-5: Tenant/Landlord Counseling. Support the investigation and resolution of disagreements between tenants and landlords and to educate both as to their rights and responsibilities, to help prevent people from becoming homeless and to ensure fair housing opportunity.

CD-5.1 2019-20 Strategy – Tenant/Landlord Counseling Services ECHO Housing (\$15,000 CDBG). Program provides landlord/tenant counseling services and legal services to Antioch tenants and landlords on their rights and responsibilities under federal, state and local housing laws. 150 persons to be served.

Economic Development (CD-6)

CD-6: Economic Development. Reduce the number of persons with incomes below the poverty level, expand economic opportunities for very low- and low-income residents, and increase the viability of neighborhood commercial areas.

CD-6.1 2019-20 Strategy – Road to Success for Childcare Businesses, Contra Costa Child Care Council (\$10,000 CDBG). Program benefits lower income residents by providing microenterprise assistance for those who want to maintain or start stable small businesses as licensed home-based family child care providers. 15 businesses to be served.

CD-6.3 2019-20 Strategy – Job Training and Placement Program, Opportunity Junction (\$50,000 CDBG). Program integrates computer training with life skills, paid experience, case management and psychological counseling, career counseling and job placement, and long-term ongoing support. Participants enter administrative careers that enable them to become self-sufficient. 2 persons to be served with contracted employers, 11 to non-contracted employers, total 13.

Infrastructure (CD-7)

CD-7: Infrastructure and Accessibility: Maintain adequate infrastructure in lower income areas and ensure access for the mobility-impaired by addressing physical access barriers to goods, services, and public facilities in such areas.

CD-7.1 2019-20 Strategy – Downtown Roadway Rehabilitation and Ramps, City of Antioch (\$400,000 CDBG). Project will improve access for the physically handicapped in the older, lower income downtown areas of Antioch, improving drainage facilities to reduce flooding, rehabilitating roadways and sidewalks and installing handicap ramps in the area. Work for this grant application cycle is expected to occur on 7th and 8th Streets between A and D Streets, B, C and D Streets between 6th and 10th Streets. 4,708 persons in area to benefit. NOTE: project will have to retain funding for 2 years to create project of sufficient size to bid. Expect completion in 2020.

Administration (CD-8)

CD-8: Administration. Support development of viable urban communities through extending and strengthening partnerships among all levels of government and the private sector and administer federal grant programs in a fiscally prudent manner.

CD-8.1 2019-20 Strategy – Administration of CDBG Program, City of Antioch (\$143,393 CDBG Admin). Program supports the development of viable urban communities through extending and strengthening partnerships among all levels of government and the private sector and administering federal grant programs in a fiscally prudent manner.

Affordable Housing Goals and Strategies (AH-1 – AH-3)

AH-3: Maintain and Preserve Affordable Housing. Maintain and preserve the existing affordable housing stock, including single family residences owned and occupied by lower-income households, multi-family units at risk of loss to the market, and housing in deteriorating or deteriorated lower income neighborhoods.

AH-3.1 2019-20 Strategy – Code Enforcement in Lower Income Areas, City of Antioch (\$140,000 CDBG). Program helps to sustain suitable living environments and safe, decent, affordable housing in lower income areas, and helps protect the health, welfare and safety of lower income residents in these areas as well as promoting the maintenance of real property to improve the livability, appearance, social, and economic conditions in these areas. 125 households to be served.

AH-3.4 2019-20 Strategy – Homeowner & Mobile Home Housing Rehabilitation Program, Habitat for Humanity East Bay (\$510,000 Housing Successor funds). Project helps lower income single-family homeowners to rehabilitate their homes and improve accessibility and livability, especially for elderly and disabled homeowners. Rehabilitation supports Code Enforcement Program in identified lower income areas. 6-8 housing loans, up to 15 Mobile Home Grants for a total of 23 households to be served.

AH-3.5 2019-20 Strategy – Antioch Home Ownership Program, Bay Area Affordable Homeownership Alliance (\$50,000 Housing Successor funds). Project helps lower income Antioch workers and residents to purchase a home in the City by providing first time homebuyer training, credit counseling resources, assistance to identify down payment subsidies and connection with lenders. 12-15 households to be served.

AH-3.6 2019-20 Strategy – Antioch Home Ownership Program, Home Buyer Assistance & Loans, City Administration (\$250,000 Housing Successor funds). Project helps lower income Antioch workers and residents to purchase a home in the City by providing home buyer assistance, such as down payment loans, closing cost assistance, etc. 12 - 15 households to be served.

ATTACHMENTS

- A. Resolution Amending the 2019-2020 Budget and Adopting the one-year Community Development Block Grant 2019-20 Annual Action Plan and Exhibit 1
- B. Resolution Adopting the One-Year Housing Successor Funding for the 2019-20 Annual Action Plan

ATTACHMENT “A”

RESOLUTION 2019/**

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ANTIOCH AMENDING THE 2019-20 BUDGET AND ADOPTING THE ONE-YEAR COMMUNITY DEVELOPMENT BLOCK GRANT 2019-20 ANNUAL ACTION PLAN

WHEREAS, the City of Antioch is an entitlement community and has expressed its intention of receiving Community Development Block Grant (CDBG) funds from the U.S. Department of Housing and Urban Development;

WHEREAS, the U. S. Department of Housing and Urban Development has notified the City of Antioch that it will receive \$816,027 in CDBG entitlement funds for FY 2019-20;

WHEREAS, the City has an estimated \$77,366 in prior year funds and \$50,000 in CDBG Housing Revolving Loan Funds available to grant in FY 2019-20;

WHEREAS, FY 2019-20 is the fifth and last year of the 2015-20 Consolidated Plan, and the third year of the FY 2017-20 three-year funding cycle, and proposals to provide a wide array of services and programs to benefit lower income persons and areas were solicited by the Contra Costa HOME Consortium according to HUD procurement regulations;

WHEREAS, the City of Antioch has solicited public comments from April 26 to May 28, 2019 on the draft Action Plan funding recommendations of the City Council’s CDBG Subcommittee;

WHEREAS, the City Council conducted a Public Hearing on May 28 to receive and consider public comments on the proposed FY 2019-20 Annual Action Plan; and

WHEREAS, the adoption of the funding recommendations requires an amendment to the FY 2019-20 budget.

NOW, THEREFORE, BE IT RESOLVED, that the City Council hereby approves and adopts the funding recommendations outlined in Exhibit “1” of this Resolution, by the City Council’s CDBG Subcommittee which contain the draft 2019-20 Action Plan of the 2015-2020 Consolidated Plan, referred to herein and on file in the Office of the City Clerk.

BE IT FUTHER RESOLVED, that the City Council hereby amends the FY 2019-20 budget to implement the funding recommendations of the City Council’s CDBG Subcommittee, which contains the draft 2019-20 Action Plan of the 2015-2020 Consolidated Plan.

BE IT FURTHER RESOLVED, that, as all CDBG projects are subject to the National Environmental Policy Act (NEPA) and 24 CFR Part 58 review, the NEPA review for each project will be completed prior to entering into project agreements or other legal documents for the project.

RESOLUTION 2019/**

May 28, 2019

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BE IT FURTHER RESOLVED, that the City Manager, or his designee shall be the City representative to submit the draft FY 2019-20 Annual Action Plan (Exhibit "1") and all understandings and assurances contained therein and shall perform such acts as are necessary in connection with the submission and provide such additional information as may be required.

* * * * *

I HEREBY CERTIFY that the foregoing resolution was passed and adopted by the City Council of the City of Antioch at a regular meeting thereof, held on the 28th day of May 2019, by the following vote:

AYES:

NOES:

ABSENT:

ARNE SIMONSEN, CMC
CITY CLERK OF THE CITY OF ANTIOCH

ATTACHMENT A - 2019-20 City of Antioch Strategies and Funding of the FY 2015-20 Consolidated Plan (Year 5 of 5)								
Applicant			Project Name		Funds Available as of 5/14/18			TOTAL
					816,027	77,366	933,000	1,826,393
					CDBG-EN	Prior Yr \$	Housing Successor	ALL SOURCES
Homeless Goals and Strategies (H-1 and H-2)								
H-1: Permanent Housing for Homeless. Further “Housing First” approach to ending homelessness by supporting homeless outreach efforts, emergency shelter, transitional housing, and permanent housing with supportive services to help homeless persons achieve housing stability.								
	H-1.1	CCC Health, Housing, Homeless Svcs	Adult Continuum of Services			10,000	10,000	
	H-1.3	STAND!	Emergency Domestic Violence Shelter			10,000	10,000	
	H-1.4	Interfaith Council of CCC	Winter Nights Emergency Family Shelter			13,000	13,000	
	H.1.5	CCC Health, Housing, Homeless Svcs	CORE Homeless Outreach			30,000	30,000	
Subtotal Homeless Shelter Strategies:				0	0	63,000	63,000	
H-2: Prevention of Homelessness. Expand existing prevention services including emergency rental assistance, case management, housing search assistance, legal assistance, landlord mediation, money management and credit counseling.								
	H-2.1	Loaves & Fishes of CC	Nourishing Lives	5,000			5,000	
	H-2.2	SHELTER, Inc. (CDBG)	Homeless Prevention/Rapid Rehsg			25,000	25,000	
	H-2.3	Contra Costa Crisis Center	Crisis/211 Homeless Services			10,000	10,000	
	H-2.4	Bay Area Legal Aid (BALA)	Homeless Prevention Eviction Services			25,000	25,000	
Subtotal Homeless Prevention Strategies:				5,000	0	60,000	65,000	
Subtotal Homeless Strategies:				5,000	0	123,000	128,000	
Public Services (CD-1 – CD-5)								
CD-1: General Public Services. Ensure that opportunities and services are provided to improve the quality of life and independence for lower-income persons, and ensure access to programs that promote prevention and early intervention related to a variety of social concerns.								
CD-2: Non-Homeless Special Needs. Ensure that opportunities and services are provided to improve the quality of life and independence for persons with special needs, such as elderly and frail elderly, victims of domestic violence, persons with HIV/AIDS, persons with mental, physical and developmental disabilities, abused children, illiterate adults and migrant farm workers.								
	CD-2.1	City of Antioch	Senior Center Administration & Programs		35,000		35,000	
	CD-2.2	CC Senior Legal Services	Legal Services for older Americans		10,000		10,000	
	CD-2.3	Lions Center	Independent Living Skills		5,000		5,000	
	CD-2.4	Senior Outreach Services	Meals on Wheels (MOW)	10,000			10,000	
	CD-2.5	Senior Outreach Services	Care Management	10,000			10,000	
	CD-2.6	Ombudsman Services CC	Advocacy in Care Facilities	10,000			10,000	
Subtotal Non-Homeless Special Needs Strategies:				30,000	50,000	0	80,000	
CD-3: Youth. Increase opportunities for children/youth to be healthy, succeed in school, and prepare for productive adulthood.								
	CD-3.1	City of Antioch	Youth Recreational Programs	15,000			15,000	
	CD-3.2	Community Violence Solutions	CIC Child sexual assault intervention		5,000		5,000	
	CD-3.3	Court Appointed Special Advocates	Children At Risk		5,000		5,000	
Subtotal Youth Strategies:				15,000	10,000	0	25,000	
CD-4: Fair Housing. Continue to promote fair housing activities and affirmatively further fair housing to eliminate discrimination in housing choice in the City.								
	CD-4.2	ECHO Housing	Fair Housing Services	25,000			25,000	
Subtotal Fair Housing Strategies (Funded from CDBG Administration):				25,000	0	0	25,000	
CD-5: Tenant/Landlord Counseling. Support the investigation and resolution of disagreements between tenants and landlords and to educate both as to their rights and responsibilities, so as to help prevent people from becoming homeless and to ensure fair housing opportunity.								
	CD-5.3	ECHO Housing	Tenant-Landlord Services	15,000			15,000	
Subtotal Tenant/Landlord Counseling Strategies:				15,000	0	0	15,000	
Total Public Services Funding (does not include Fair Housing, funded from Admin):				65,000	60,000	123,000	248,000	
Economic Development (CD-6)								
CD-6: Economic Development. Reduce the number of persons with incomes below the poverty level, expand economic opportunities for very low- and low-income residents, and increase the viability of neighborhood commercial areas.								
	CD-6.1	CocoKids	Road to Success	10,000			10,000	
	CD-6.3	Opportunity Junction	Job Training and Placement Program	50,000			50,000	
Subtotal Economic Development Strategies:				60,000	0	0	60,000	
Infrastructure Development (CD-7)								
CD-7: Infrastructure and Accessibility. Maintain adequate infrastructure in lower income areas, and ensure access for the mobility-impaired by addressing physical access barriers to goods, services, and public facilities in such areas.								
	CD-7.1	City of Antioch	Downtown Roadway Rehab & Ramps	382,634	17,366		400,000	
Subtotal Infrastructure and Accessibility Strategies:				382,634	17,366	0	400,000	
Administration (CD-8)								
CD-8: Administration. Support development of viable urban communities through extending and strengthening partnerships among all levels of government and the private sector, and administer federal grant programs in a fiscally prudent manner.								
	CD-8.1	City of Antioch	Administration of CDBG Prog	143,393			143,393	
Subtotal Administration Strategies:				143,393	0	0	143,393	
Subtotal Non-Housing Community Development Strategies:				676,027	77,366	0	753,393	
Affordable Housing Goals and Strategies (AH-1 – AH-3)								
AH-1: Increase Affordable Rental Housing Supply. Expand housing opportunities for extremely low-income, very low-income, and low-income households by increasing the supply of decent, safe, and affordable rental housing.								
AH-2: Increase Affordable Supportive Housing. Expand housing opportunities for persons with special needs, including seniors, persons with disabilities, persons with HIV/AIDS, veterans, and the homeless, by increasing appropriate and supportive housing.								
AH-3: Maintain and Preserve Affordable Housing. Maintain and preserve the existing affordable housing stock, including single family residences owned and occupied by lower-income households, multi-family units at risk of loss to the market, and housing in deteriorating or deteriorated lower income neighborhoods.								
	AH-3.1	City of Antioch	Code Enforcement Lower Income Areas	140,000			140,000	
	AH-3.4	Habitat for Humanity East Bay, Inc.	Homeowner Rehabilitation Program			510,000	510,000	
	AH-3.5	Bay Area Affordable Homeownership Alliance	Antioch Homeownership Program			50,000	50,000	
	AH-3.6	City of Antioch	AHOP Home Buyer Assistance Loans			250,000		
Subtotal Maintain & Preserve Housing Strategies:				140,000	0	810,000	950,000	
Subtotal Affordable Housing Strategies:				140,000	0	810,000	950,000	
Total Each Funding Source:				816,027	77,366	933,000		
Balance All Funding Sources:				0	0	0	1,826,393	

ATTACHMENT “B”

RESOLUTION 2019/**

RESOLUTION OF THE HOUSING SUCCESSOR TO THE ANTIOCH DEVELOPMENT AGENCY AMENDING THE 2019-20 BUDGET AND APPROVING THE ALLOCATION OF FUNDS FOR HOMELESS PROGRAMS AND A FIRST TIME HOMEBUYER PROGRAM

WHEREAS, SB 341 (Chapter 796, Statutes of 2013) modifies expenditure and accounting rules for Housing Successor agencies that have taken over housing functions for former redevelopment agencies, and permits the expenditure of up to \$250,000 per fiscal year on homelessness prevention and rapid re-housing services if the housing successor has fulfilled all replacement, affordable housing production, and monitoring, database compilation and web site publication requirements;

WHEREAS, the City of Antioch has fulfilled the aforementioned requirements and wishes to help prevent and address the issues of homelessness and homeownership in the City;

WHEREAS, FY 2019-20 is the fifth year of the 2015-20 Consolidated Plan, and the third year of the FY 2017-20 three-year funding cycle, and proposals to provide a wide array of services and programs to benefit lower income persons and areas were solicited by the Contra Costa HOME Consortium according to HUD procurement regulations;

WHEREAS, the Council Subcommittee carefully considered all proposals, and made recommendations for funding which constitute the draft Action Plan,

WHEREAS, the City of Antioch has solicited public comments from April 26 to May 28, 2019 on the draft Action Plan funding recommendations of the Council CDBG Subcommittee;

WHEREAS, the Subcommittee recommends funding in the amount of \$128,000 from the Housing Asset Fund be used for Homeless services; as follows: Adult Shelter Continuum of Services, Contra Costa County Health, Housing and Homeless Services (\$10,000), Emergency Shelter for Battered Women and their Children, STAND! For Families Free of Violence (\$10,000), Winter Nights Family Shelter, Interfaith Council of Contra Costa County (\$13,000), CORE Homeless Outreach, Contra Costa County Health, Housing and Homeless Services (\$30,000), Emergency Rapid Re-housing and Homeless Prevention Services, SHELTER Inc., (\$25,000), Homeless Crisis Hotline/211 Services, Contra Costa Crisis Center (\$10,000), and Eviction Services for Homeless Prevention, Bay Area Legal Aid;

WHEREAS, the Subcommittee recommends funding in the amount of \$810,000 from the Housing Asset Fund to maintain and preserve affordable housing, including: Antioch Home Ownership Program (AHOP) by Bay Area Affordable Homeownership Alliance (\$50,000), Homeowner and Mobile Home Owner Housing Rehabilitation Program by Habitat for Humanity (\$510,000), and AHOP Home Buyer down payment loans & assistance, City of Antioch (\$250,000);

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WHEREAS, the Housing Successor met on May 28, 2019, to consider the Subcommittee's recommendations and solicit public input on the proposed FY 2019-20 Annual Action Plan; and

WHEREAS, the Director of Finance has confirmed that there are sufficient unencumbered funds to take this action.

NOW, THEREFORE, IT BE RESOLVED that the Housing Successor to the Antioch Development Agency does hereby designate **\$933,000** in Housing Asset funds for Homeless housing and prevention programs indicated above.

BE IT FUTHER RESOLVED, that the Housing Successor hereby amends the FY 2019-2020 Antioch Development Agency budget to implement the funding recommendations of the City Council's CDBG Subcommittee comprising the draft 2019-20 Action Plan of the 2015-2020 Consolidated Plan.

* * * * *

I HEREBY CERTIFY that the foregoing resolution was passed and adopted by the Housing Successor to the Antioch Development Agency of the City of Antioch at a regular meeting thereof, held on the 28th day of May 2019, by the following vote:

AYES:

NOES:

ABSENT:

ARNE SIMONSEN, CMC
CITY CLERK OF THE CITY OF ANTIOCH



STAFF REPORT TO THE CITY COUNCIL

DATE: Regular Meeting of May 28, 2019

TO: Honorable Mayor and Members of the City Council

SUBMITTED BY: Kevin Scudero, Associate Planner *KS*

APPROVED BY: Forrest Ebbs, Community Development Director *FE*

SUBJECT: Acorn Business Park
(PD-18-02, UP-18-09, AR-18-09, PW-357-301-19)

RECOMMENDED ACTION

It is recommended that the City Council take the following actions:

1. Adopt the Resolution adopting the Acorn Business Park Initial Study/Mitigated Negative Declaration, Mitigation Monitoring and Reporting Program and Errata for the Project (Attachment "A").
2. Introduce the Ordinance approving a rezone of the project site from Planned Business Center (PBC) and Regional Commercial (C-3) to Planned Development District (PD-18-02) (Attachment "B").
3. Adopt the Resolution approving a Vesting Tentative Map/Final Development Plan, Use Permit and Design Review for Subsection B subject to conditions of approval (UP-18-09, AR-18-09, PW-357-301-19). (Attachment "C").

FISCAL IMPACT

All improvements and infrastructure necessary to facilitate the development will be funded by the applicant and maintained by the property owner. The development of the site will result in an increase in property tax revenue and the potential future commercial uses would generate additional sales tax for the City.

DISCUSSION

Requested Approvals

The applicant, Jim Moita, requests approval of an Initial Study / Mitigated Negative Declaration, a rezone to Planned Development District (PD), Vesting Tentative Map/Final Development Plan, Use Permit, and Design Review approval of a business park consisting of commercial, self-storage and light industrial uses located directly northwest of the intersection of East Eighteenth Street and Drive-In Way (APNs 051-052-112 and 051-052-113). A copy of the project plans can be viewed at the following link:

<https://www.antiochca.gov/fc/community-development/planning/ProjectDOCs/PD-18-02.pdf>

Environmental

In accordance with CEQA, a Mitigated Negative Declaration was prepared for the project that determined that all significant environmental impacts could be mitigated to a less-than-significant level with incorporation of mitigation. A copy of the public review draft of the Initial Study/Mitigated Negative Declaration and Final IS/MND with the response to comment letters, Errata, Mitigation Monitoring and Reporting Program (MMRP) and appendices can be found at the following link:

<https://www.antiochca.gov/community-development-department/planning-division/environmental-documents/>

Potentially significant impacts to air quality, biological resources, cultural resources, geology and soils, hazards and hazardous materials, hydrology and water quality, noise, traffic and transportation, and tribal cultural resources were identified in the IS/MND. All impacts would be reduced to a less than significant level with the implementation of mitigation measures.

The draft Mitigated Negative Declaration was released for public review from February 14, 2019 to March 15, 2019 and City staff received comment letters from four state agencies and one letter from the applicant. The four state agencies who submitted comments were the Native American Heritage Commission, Central Valley Regional Water Quality Control Board, California Department of Transportation, and California Department of Fish and Wildlife. Responses were prepared for each comment letter and some minor changes were made to the IS/MND as a result. The Final IS/MND consists of the public review draft IS/MND, responses to the comment letters, an Errata document detailing the minor text changes to the IS/MND, and the Mitigation Monitoring and Reporting Program (MMRP). The MMRP is Exhibit A and the Errata (without appendices) is Exhibit B to the attached CEQA resolution (Attachment "A").

Background Information

At the Planning Commission Meeting on May 15, 2019 the Planning Commission voted 6-0 with one commissioner absent recommending that the City Council approve the project. During the public hearing, the applicant discussed their request for allowing a cell tower 110 feet high on the project site while staff was recommending the height be limited to 50 feet. During the motion to approve the project, the Planning Commission made no amendment to the 50-foot height limit in the proposed ordinance.

Project Overview

The project proposes to develop 19.75 acres with commercial, self-storage, and light industrial business park uses. The project is divided into the three subsections (A, B and C). The applicant is proposing to construct the self-storage facility on Subsection B while marketing Subsections A and C for future construction by a separate developer(s). The

three subsections are designed to function independently of each other and do not require any cross-access agreements or shared parking facilities.

Subsection A

Subsection A is the commercial portion of the development located at the southern end of the property with frontage on East Eighteenth Street. The site is approximately 3.79 acres and the applicant has proposed two site plans for the property to account for potential development opportunities. Both site plans propose subdividing Subsection A into two parcels with one alternative incorporating a hotel on one parcel and a commercial building on the other parcel. The other alternative has a commercial building on each parcel. The lot and building square footage for each alternative is as follows:

Commercial (Hotel Alternative)		
	Building Size	Lot Size
Lot 1 (Hotel Site)	12,136 SF	108,198 SF
Lot 2	11,088 SF	57,008 SF
Total	23,224 SF	165,206 SF
Commercial (No Hotel)		
Lot 1	16,800	84,608 SF
Lot 2	16,800	80,598 SF
Total	33,600	165,206 SF

Subsection B

Subsection B is the self-storage portion of the development located in the middle of the property with a small frontage with access from East Eighteenth Street as well as access from Drive-In Way. The site is approximately 5.44 acres and contains seven self-storage buildings and an office space where the on-site manager will reside. The self-storage facility would have a maximum of 1,025 storage units on site. The square footage of each building is as follows:

Self-Storage	
Building	Size
C	23,440 SF
D	20,448 SF
E	20,388 SF
F	17,490 SF
G	20,540 SF
H	14,575 SF
I (office)	1,200 SF
J	3,900 SF
Total	121,981 SF

Subsection C

Subsection C is the light industrial business park portion of the development located at the northern end of the property with frontage on Drive-In Way and Sakurai Street. The site is approximately 10.52 acres and, similarly to Subsection A, the applicant has proposed two site plans for the property. One site plan proposes subdividing into nine parcels with eight of the parcels each containing a light industrial building and the ninth parcel containing the stormwater detention basin for the development. The alternative site plan proposes subdividing the property into two parcels with one parcel containing a large light industrial building and the other parcel will contain the stormwater detention basin. The lot and building square footage for each alternative is as follows:

Business Park (Alternate A)		
	Building Size	Lot Size
Lot 4	14,112 SF	47,954 SF
Lot 5	14,112 SF	49,298 SF
Lot 6	14,112 SF	53,157 SF
Lot 7	14,112 SF	53,157 SF
Lot 8	14,112 SF	53,296 SF
Lot 9	14,112 SF	52,829 SF
Lot 10	14,112 SF	51,615 SF
Lot 11	14,112 SF	50,186 SF
Lot A (Detention Basin)	N/A	46,740 SF
Total	112,896 SF	458,232 SF
Business Park (Alternate B)		
	Building Size	Lot Size
Lot 4	71,880 SF	358,204 SF
Lot A (Detention Basin)	N/A	100,028 SF
Total	71,880 SF	458,232 SF

General Plan, Zoning Consistency and Land Use

The project site has a split General Plan designation of Regional Commercial and Business Park within the Eastern Waterfront Employment Focus Area. The project site is zoned Regional Commercial (C-3) and Planned Business Center (PBC). The project also falls within the boundaries of the East Eighteenth Street Specific Plan, which requires all development to rezone to Planned Development (PD).

The surrounding land uses and zoning designations are noted below:

North: Markstein Beverage Distribution / Planned Development (PD)
South: Vacant Land (Current Development Application for High Density Residential) and various commercial uses / Planned Business Center (PBC)
East: Burger King Restaurant, Gas Station, Vacant K-Mart Building / Regional Commercial (C-3)
West: Vacant Land / Regional Commercial (C-3)

Planned Development Rezone/Vesting Tentative Map

The existing zoning for the site is a combination of Regional Commercial (C-3) and Business Park (PBC). The East Eighteenth Street Specific Plan requires that the site be rezoned to Planned Development (PD). As such, the applicant has requested a zoning map amendment to rezone the entire site to PD to allow for the proposed mix of commercial, self-storage and light industrial uses and to be consistent with the split General Plan designations of Regional Commercial and Business Park. The proposed Planned Development zone contains development standards and a list of approved uses that effectively serve as the zoning code for the property.

The development standards are generally consistent with the Regional Commercial (C-3) and Light Industrial (M-1) zoning standards in the Antioch Municipal Code. The project has a thirty-foot landscape setback along East Eighteenth Street and a twenty-foot landscape setback along Drive-In Way and Sakurai Street with minimum lot sizes of 20,000 square feet.

The proposed land uses for the commercial portion of the project (Subsection A) permits a range of commercial uses that include retail, office, service commercial and hotel uses that are consistent with the General Plan designation on the property of regional commercial. The light industrial business park portion of the project (Subsection C) permits a range of uses that include warehousing and distribution, light manufacturing, offices uses, and research and development facilities.

For Subsection B the applicant has proposed allowing cell towers on the site up to 110 feet high. Staff is recommending that any cell tower in this Planned Development zoning district be restricted to 50 feet high. This would be consistent with the building height limit in a light industrial zoning district as well as neighboring cell towers in the area. For reference, the adjacent self-storage facility to the northeast of the project site has an existing cell tower on their property that is fifty feet in height. The location and design of any cell tower on the site would be subject to use permit and design review approval.

The proposed development standards and allowed uses are included in the Planned Development Rezone ordinance (Attachment "B"). The list of uses that the applicant proposed are consistent with the General Plan with one exception. The applicant proposed public and private schools as a use for the light industrial business park. The General Plan does not allow schools in the business park designation; therefore, staff did not include it in the master use list.

The proposed vesting tentative map would subdivide the 19.75-acre parcel into a maximum of twelve parcels. Initially the applicant will subdivide the parcels into the three subsections discussed above with the intent to market Subsections A and C to future developers who will then further subdivide the properties based on which alternative site plan they choose to develop. While Subsection A-C are designed to function independently of each other, developers of the commercial development and the business park will be required to record a mutual access and parking agreement upon further subdivision of their property.

Architecture, Site Design and Landscaping

The applicant is only requesting design review approval for the architecture of the self-storage buildings at this time. While they have provided conceptual elevations of what the future commercial and light industrial business park buildings may look like, the future developer of those properties would need to obtain design review approval prior to constructing buildings on those sites. Staff has conditioned that the future commercial and light industrial business park buildings be architecturally compatible with the self-storage facility.

The proposed self-storage facility is located in the middle of the proposed development with frontage onto Drive-In Way and a narrow frontage onto East Eighteenth Street. The facility is designed so that the storage buildings function as the perimeter fencing of the property. This is consistent with Section 3.2.13b of the Citywide Design Guidelines for self-storage facilities which states that “In order to prevent views into the facility from the public right-of-way, all activities shall be confined to one building or building massing shall be located around the perimeter of the site.”

The applicant provided an east elevation of self-storage building H along Drive-In Way that includes an earth tone color palette. The proposed colors include “Natural Linen” on the building facade, “Antler Velvet” on the tower and wainscot, “Foothills” on the cornice, fascia and arch, and “Marshmallow” on the window trim. Building H is well articulated with a stone veneer, metal awnings, metal trellises, dimensional columns and gabled roof elements used to break up the long blank façade. The proposed office/residence features a similar architectural treatment and also includes a clock tower feature at the top of the building.

While the architectural treatment for building H does comply with the Citywide Design Guidelines, no elevations were provided for the other perimeter buildings. Section 3.2.13c of the Citywide Design Guidelines for self-storage facilities states that “buildings shall be stylistically consistent on all sides and well articulated”; therefore, staff has conditioned that the sections of buildings C, J and G that are adjacent to the property line have a similar architectural treatment as building H. The applicant will be required to submit revised elevations as part of their building permit submittal to demonstrate that this requirement has been met.

The conceptual landscape plan includes a variety of drought tolerant trees, shrubs and ground cover. The proposed conifer and eucalyptus trees are not ideal for commercial properties as they pose long term maintenance issues due to the shedding of needles and leaves and shallow root systems. Appendix A-1 to the Citywide Design Guidelines provides a plant palette with acceptable tree species that could be used as a replacement. Staff has conditioned that a revised landscape plan be submitted with the building permit submittal that replaces the conifer and eucalyptus trees that are consistent with the Citywide Design Guidelines.

Signage

The applicant has submitted a conceptual sign program that includes building and monument signage, as well as a 45-foot-tall freeway-oriented sign that would serve as signage for the entire business park. The only signage that is being approved as a part of this application is the freeway-oriented sign and the self-storage facility signage. The future developers of Subsections A and C will be required to submit sign programs as part of their development approvals.

The proposed freeway-oriented sign complies with Antioch Municipal Code § 9-5.508c which states that freeway elevated signs shall not exceed a maximum height of 45 feet from ground level and shall be within 300 feet of a freeway right of way. The sign is architecturally compatible with the site as it incorporates some of the same architectural features as the building design such as a stone veneer base and gabled roof element. The sign has three panels and while the panel materials are not included in the sign program, the applicant has indicated that the panels are plexiglass and will be internally illuminated. The freestanding monument sign has the same architectural features as the freeway-oriented sign and is 4-feet tall with one panel identifying the self-storage business. Staff has conditioned that a revised sign program with these additional details be submitted for Zoning Administrator approval. A copy of the sign program is included as Attachment D to this staff report.

The future developers of subsections A and C would need to include a sign program as part of their design review approval process to construct buildings on their site.

Infrastructure and Off-Site Improvements

The developer is required to provide all infrastructure necessary to serve the site. This includes utility tie-ins such as water, streets, sanitary sewer and storm drainage systems.

The project would connect to the existing water, sewer, and storm drain systems in the East Eighteenth Street, Drive-In Way and Sakurai Street right-of-way. In addition, the proposed stormwater system would include a bio-retention facility on the northwest edge of the site that would filter and release the majority of all on-site runoff.

The site currently has a six-foot sidewalk that extends along the entire East Eighteenth Street project frontage and continues approximately 180 feet along Drive-In Way where it ends. Staff has conditioned that the applicant install a six-foot sidewalk along the remaining Drive-In Way frontage, as well as the Sakurai Street frontage.

As part of the environmental analysis of the project, a traffic study was conducted that determined that the traffic generated by the proposed project warranted a traffic signal at the intersection of East Eighteenth Street and Drive-In Way. The study determined that the traffic signal would be necessary either prior to issuance of a certificate of occupancy for the business park or the self-storage facility. Staff has included a condition of approval with this requirement, as well as a provision for the applicant to establish a financing mechanism or reimbursement agreement for the traffic signal improvement so reimbursement is provided when adjacent properties develop.

Commercial Property Maintenance

The project is required to comply with Antioch Municipal Code § 5-1.204 which requires that commercial projects with separate parcels within the project enter into a maintenance agreement that is reflective of the approved standards detailed in Antioch Municipal Code § 5-1.204. The property maintenance agreement ensures that the maintenance of landscaping, litter control, common areas and parking lots, undeveloped parcels, monument signage, and stormwater/erosion control measures are performed in a uniform and consistent manner. Staff has included a condition of approval that all parcels within the development shall enter into one property maintenance agreement that covers all of the parcels within the project.

ATTACHMENTS

- A: Resolution adopting the Mitigated Negative Declaration, MMRP and Errata for the Acorn Business Park Project (Exhibit A – MMRP, Exhibit B – Errata)
- B: Ordinance approving rezone of the project site (APNs 051-052-112 and 051-052-113) from Regional Commercial (C-3) and Planned Business District (PBC) To Planned Development District (PD-18-02) (Exhibit A – Ordinance) (Exhibit B – Legal Description)
- C: Resolution approving the Vesting Tentative Map/Final Development Plan, Use Permit for Subsection B, and Design Review (PD-18-02, UP-18-09, AR-18-09, PW-357-301-19) for the Acorn Business Park Project.
- D: Sign Program
- E: Project Plans

ATTACHMENT “A”

RESOLUTION NO. 2019/**

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ANTIOCH ADOPTING THE MITIGATED NEGATIVE DECLARATION, MITIGATION MONITORING AND REPORTING PROGRAM AND ERRATA FOR THE ACORN BUSINESS PARK PROJECT AS ADEQUATE FOR ADDRESSING THE ENVIRONMENTAL IMPACTS OF THE PROPOSED PROJECT

WHEREAS, the City received an application from Jim Moita, for approval of an Initial Study / Mitigated Negative Declaration, a rezone to Planned Development District, a Final Development Plan/Vesting Tentative Map, Use Permit for Subsection B, and Design Review for Subsection B for the development of a business park consisting of commercial, self-storage, and light industrial uses on 19.75 acres (**PD-18-02, UP-18-09, AR-18-09, PW-357-301-19**);

WHEREAS, The project site is located directly northwest of the intersection of East 18th Street and Drive-in Way (APNs 051-052-112 and 051-052-113);

WHEREAS, the City prepared an Initial Study and Mitigated Negative Declaration, to evaluate the potential environmental impacts of the Project in conformance with Section 15070 of Title 14 of the California Code of Regulations (“**CEQA Guidelines**”);

WHEREAS, this document contains the City’s CEQA findings supporting adoption of the MND and MMRP. The MND has State Clearinghouse Number of 2019029069;

WHEREAS, a draft Initial Study and Mitigated Negative Declaration (“**IS/MND**”) was circulated for a 30-day review period, with the public review period commencing on February 14, 2019 and ending on March 15, 2019. Staff received five comment letters during the review period;

WHEREAS, Mitigation measures were added to the MMRP or modified, as appropriate, to address these comments;

WHEREAS, on May 15, 2019, the Planning Commission held a duly noticed public hearing on the matter, and received and considered evidence, both oral and documentary and recommended adoption to the City Council of the Final IS/MND, Errata, and Mitigation Monitoring and Reporting Program (“**MMRP**”);

WHEREAS, the City Council duly gave notice of public hearing as required by law;

WHEREAS, the City Council has reviewed the IS/MND, the MMRP and Errata for this Project;

WHEREAS, on May 28, 2019, the City Council duly held a public hearing on the matter, and received and considered evidence, both oral and documentary, and adopted the IS/MND, MMRP and Errata;

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May 28, 2019

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WHEREAS, the custodian of the Final IS/MND is the Community Development Department and the Final IS/MND is available for public review on the second floor of City Hall in the Community Development Department, Monday - Friday 8:00 am – 5:00 pm and the MMRP and Errata (without appendices) are attached as Exhibit A and Exhibit B respectively to this Resolution.

NOW, THEREFORE, BE IT RESOLVED AND DETERMINED as follows:

1. The foregoing recitals are true and correct.
2. The City Council of the City of Antioch hereby FINDS, on the basis of the whole record before it, including the Initial Study and all comments received, that:
 - a. The City of Antioch exercised overall control and direction over the CEQA review for the Project, including the preparation of the Final Initial Study, Errata, and Mitigated Negative Declaration, and independently reviewed the Final IS/MND, Errata, and MMRP;
 - b. There is no substantial evidence that the Project will have a significant effect on the environment once mitigation measures have been followed and assuming approval of the Zoning Ordinance amendment; and
 - c. The Final IS/MND, Errata, and MMRP reflect the City's independent judgment and analysis.
3. The City Council hereby approves and adopts the Initial Study / Mitigated Negative Declaration, Errata (**Exhibit B**), and Mitigation Monitoring and Report Program for the Project (**Exhibit A**).

* * * * *

I HEREBY CERTIFY that the foregoing resolution was adopted by the City Council of the City of Antioch at a regular meeting thereof held on the 28th day of May 2019, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

ARNE SIMONSEN, CMC
CITY CLERK OF THE CITY OF ANTIOCH

EXHIBIT A

MMRP



Acorn Business Park Project

Mitigation Monitoring and Reporting
Program

May 2, 2019

Lead Agency:

City of Antioch
Community Development Department
Planning Division
200 H Street
Antioch, CA 94509

Technical Assistance:

Stantec Consulting Services Inc.
1340 Treat Boulevard, Suite 300

1.0 MITIGATION MONITORING AND REPORTING PROGRAM

1.1 INTRODUCTION

The purpose of the Mitigation, Monitoring, and Reporting Program (MMRP) is to briefly describe the roles and responsibilities of government agencies in implementing and enforcing the adopted mitigation measures identified in the Initial Study Mitigated Negative Declaration (ISMND) for the Acorn Business Park Project (proposed project).

Section 21081.6 of the Public Resources Code requires a Lead Agency that approves or carries out a project with potentially significant environmental effects to adopt a “reporting or monitoring program for the changes to the project which it has adopted or made a condition of a project approval to mitigate or avoid significant effects on the environment.” The City of Antioch Community Development Department, Planning Division (City), is the Lead Agency that must adopt the MMRP for the proposed project.

The California Environmental Quality Act (CEQA) Statutes and Guidelines provide direction for clarifying and managing the complex relationships between a Lead Agency and other agencies with respect to implementing and monitoring mitigation measures. In accordance with CEQA Guidelines Section 15097(d), “each agency has the discretion to choose its own approach to monitoring or reporting; and each agency has its own special expertise.” This discretion will be exercised by implementing agencies at the time they consider any of the activities identified in the environmental document.

This MMRP is a working guide to facilitate both the implementation of the mitigation measures and the monitoring, compliance, and reporting activities by the City and any monitors it may designate. If the City adopts the ISMND for the proposed project, it will adopt the MMRP.

1.2 OVERVIEW OF THE MITIGATION MONITORING AND REPORTING PROGRAM

The City and its contractors will be required to comply with this MMRP in all respects. In any instance where non-compliance occurs, the City-designated environmental monitors will issue a warning to the project construction manager and the City’s Project Manager. Any decisions to halt work due to non-compliance will be made by the City. The City’s designated environmental monitors will keep records of any incidents on non-compliance with mitigation measures. Copies of these documents will be supplied to the City.

1.3 MITIGATION MONITORING AND REPORTING PROGRAM

The MMRP is presented in the following table and includes the mitigation measures identified in the ISMND prepared for the proposed project. The purpose of the MMRP is to provide the City with a comprehensive list of the mitigation measures. The mitigation measures will be implemented through verification of required approvals by City staff. The MMRP consists of the following components:

- The list of mitigation measures contained in the ISMND, as adopted by the City.
- The party responsible for implementing the mitigation measures



- The timing for implementation of the mitigation measure
- The agency responsible for monitoring implementation of the mitigation measure
- The monitoring action and frequency

The City will be responsible for ensuring compliance with the mitigation measures applicable to the proposed project. City staff will prepare or require preparation of reports which identify compliance with mitigation measures. Once construction has begun and is underway, the City will carry out monitoring of the mitigation measures associated with construction. The MMRP will be maintained in the City's files for use in construction and operation of the proposed project.



Mitigation Measure		Implementation Party	Timing of Implementation	Monitoring Party and Monitoring Action	Monitoring Frequency	Verification of Implementation	
						Action	Date completed with Signature
Section 3.3: Air Quality							
MM AIR-1 Implement Construction Best Management Practices (BMPs). The applicant shall require all construction contractors to implement the basic construction mitigation measures recommended by the BAAQMD to reduce fugitive dust emissions. Emission reduction measures will include, at a minimum, the following measures. Additional measures may be identified by the BAAQMD or contractor as appropriate: a) all exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) will be watered two times per day; b) all haul trucks transporting soil, sand, or other loose material off-site will be covered; c) all visible mud or dirt track-out onto adjacent public roads will be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited; d) all vehicle speeds on unpaved roads will be limited to 15 mph; e) all roadways, driveways, and sidewalks to be paved will be completed as soon as possible. Building pads will be laid as soon as possible after grading unless seeding or soil binders are used; and f) Idling times shall be minimized either by shutting equipment off when not in use or by reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485 of CCR. Clear signage shall be provided for construction workers at all access points. g) all construction equipment shall be maintained and properly tuned in accordance with manufacturer’s specifications. All equipment shall be checked by a certified visible emissions evaluator. h) post a publicly visible sign with the telephone number and person to contact at the City regarding dust complaints. This person will respond and take corrective action within 48 hours. The BAAQMD’s phone number will also be visible to ensure compliance with applicable regulations.		<ul style="list-style-type: none">Project Construction Manager	Prior to issuance of grading permits and during construction.	Monitoring Party: <ul style="list-style-type: none">City of Antioch Community Development Department Monitoring Action: <ul style="list-style-type: none">Confirm construction BMPs are included in project specifications and implemented throughout the construction phase.	Prior to issuance of grading permit and throughout construction as needed.		
Section 3.4: Biological Resources							
MM BIO-1 Special-status species protection measures. The following measures shall be implemented to protect special-status species.							
A. Avoid Disturbance of Nesting Birds. If project activities occur during the nesting season for native birds (February 1 to August 31), the following measures shall be implemented to avoid or minimize the potential for adverse impacts on nesting migratory birds and raptors: Pre-construction nesting bird survey for species protected by the MBTA and California Fish and Game Code will be conducted by a qualified biologist within a 250-foot radius of proposed construction activities for passerines and a 500-foot radius for raptors no more than two weeks prior to the start of construction activities. If active nests are found a qualified biologist shall determine the size of the buffer based on the nesting species and its sensitivity to disturbance (i.e. a buffer measuring from 50 to 100 feet for passerine species and a		<ul style="list-style-type: none">Project Construction ManagerQualified Biologist	Pre-construction: Nesting bird surveys will be conducted no more than two weeks prior to ground disturbing activities and prior to issuance of grading permits.	Monitoring Party: <ul style="list-style-type: none">City of Antioch Community Development Department Monitoring Action: <ul style="list-style-type: none">Confirm selection of qualified biologistConfirm nesting bird surveys are conducted no more than two weeks	Prior to issuance of grading permit and throughout construction as needed.		



Mitigation Measure	Implementation Party	Timing of Implementation	Monitoring Party and Monitoring Action	Monitoring Frequency	Verification of Implementation	
					Action	Date completed with Signature
buffer of 300 feet for raptor species). These buffers may be reduced at the discretion of a qualified biologist, but no construction activities shall be permitted within the buffer if they are demonstrated to disturb nesting birds. Active nest sites shall be monitored periodically to determine time of fledging.			prior to the start of construction activities.			
B. Burrowing Owl Specific Measures. Though the site is currently not occupied by burrowing owls, preconstruction surveys for this species shall be conducted by a qualified biologist within the 30 days prior to construction to ensure that no burrowing owls have occupied the project area. If ground-disturbing activities are delayed or suspended for more than 30 days after the preconstruction survey, the site shall be resurveyed. If owls are subsequently identified within the project area, though are not likely to be directly or indirectly impacted by project construction, then the project proponent shall implement the following measures to minimize disturbance to this species: <div><div>1.</div><div>A buffer area approximately 100 meters (328 feet) in radius will be established around occupied burrows. This radius will be identified by the placement of orange construction fencing.</div><div>2.</div><div>If temporary ground disturbing activities are to occur within 50 to 100 meters (164 to 328 feet) of occupied burrows, then these areas will be restored to their original condition so as to maintain burrowing owl foraging habitat.</div><div>3.</div><div>No disturbance activities should occur within 50 meters (164 feet) of occupied burrows.</div></div>	<ul style="list-style-type: none">Project Construction ManagerQualified Biologist	Preconstruction: Burrowing owl surveys will be conducted within 30 days prior to ground disturbing activities and prior to issuance of grading permits.	Monitoring Party: <ul style="list-style-type: none">City of Antioch Community Development Department Monitoring Action: <ul style="list-style-type: none">Confirm selection of qualified biologistConfirm burrowing owl surveys are conducted no more than 30 days prior to the start of construction activities.	Prior to issuance of grading permit and throughout construction as needed.		
C. Swainson’s Hawk Specific Measures. If work must occur during bird breeding season for Swainson's hawk (February 1 st through August 31 st), to ensure that no indirect impacts to active nests occur due construction activities, a qualified biologist will conduct a pre-construction survey for Swainson's hawk nests per the Recommended Timing and Methodology for Swainson’s Hawk Nesting Surveys in California's Central Valley (CDFG 2000). The area to be surveyed will include a 0.5 mile-radius including and surrounding the project site between April 5 to April 20 from sunrise to 1200 and 1630 to sunset (CDFG 2000). One survey shall be conducted during this time because activity at the nest site increases significantly and active nests are more easily identified. If active nests are found, the City will be notified. No construction will occur until appropriate buffers are established, based upon recommendation by the City.	<ul style="list-style-type: none">Project Construction ManagerQualified Biologist	Prior to construction pursuant if work is scheduled to occur between February 1 st and August 31 st .	Monitoring Party: <ul style="list-style-type: none">City of Antioch Community Development Department Monitoring Action: <ul style="list-style-type: none">Confirm selection of qualified biologistConfirm Swainson’s hawk surveys have occurred	Prior to issuance of grading permit and throughout construction as needed.		
D. Open Pipes Restriction. All pipes, culverts, or similar structures that are stored at the construction site (either vertically or horizontally) for one or more overnight periods will be securely capped on both ends prior to storage and thoroughly inspected for wildlife prior to implementation by a Qualified Biologist.	<ul style="list-style-type: none">Project Construction ManagerQualified Biologist	During construction	Monitoring Party: <ul style="list-style-type: none">City of Antioch Community Development Department Monitoring Action: <ul style="list-style-type: none">Confirm selection of qualified biologistConfirm biologist is inspecting pipes, culverts, or similar structures			



Mitigation Measure	Implementation Party	Timing of Implementation	Monitoring Party and Monitoring Action	Monitoring Frequency	Verification of Implementation	
					Action	Date completed with Signature
			through submittal of monitoring records.			
E. Fence and Sign Post Restriction. Any fencing posts or signs installed, temporarily or permanently, throughout the course of the project shall have the top three post holes covered or filled with screws or bolts to prevent the entrapment of wildlife, specifically birds of prey.	<ul style="list-style-type: none">Project Construction Manager	During construction	Monitoring Party: <ul style="list-style-type: none">City of Antioch Community Development Department Monitoring Action: <ul style="list-style-type: none">Confirm inclusion of requirement to be noted on construction contracts as a condition of approval			
F. Water Pollution. Permittee and all contractors shall be subject to the water pollution regulations found in Fish and Game Code Sections 5650 and'12015.	<ul style="list-style-type: none">Project Construction Manager	During construction	Monitoring Party: <ul style="list-style-type: none">City of Antioch Community Development Department Monitoring Action: <ul style="list-style-type: none">Confirm inclusion of requirement to be noted on construction contracts as a condition of approval			
G. Spill Contingency Plan. The permittee shall submit for approval an oil/toxic material spill contingency plan to CDFW prior to commencement of operations. The plan shall identify the location of containment and abatement materials on-site and the notification and cleanup procedures to be followed by Permittee in the event of a spill.	<ul style="list-style-type: none">Project Construction Manager	During construction	Monitoring Party: <ul style="list-style-type: none">City of Antioch Community Development Department Monitoring Action: <ul style="list-style-type: none">Confirm inclusion of requirement to be noted on construction contracts as a condition of approval			
H. Spill Cleanup. The permittee shall begin the cleanup of all spills immediately. CDFW shall be notified immediately by the Permittee of any spills and shall be consulted regarding cleanup procedures. The Permittee shall have all spill clean-up equipment on-site during construction.	<ul style="list-style-type: none">Project Construction Manager	During construction	Monitoring Party: <ul style="list-style-type: none">City of Antioch Community Development Department Monitoring Action: <ul style="list-style-type: none">Confirm inclusion of requirement to be noted on construction contracts as a condition of approval			
Section 3.5: Cultural Resources						



Mitigation Measure	Implementation Party	Timing of Implementation	Monitoring Party and Monitoring Action	Monitoring Frequency	Verification of Implementation	
					Action	Date completed with Signature
MM CUL-1 Cultural Materials Discovered During Construction. If any cultural resource is encountered during ground disturbance or subsurface construction activities (e.g., trenching, grading), all construction activities within a 50-foot radius of the identified potential historical resource shall cease until an archaeologist who meets the Secretary of the Interior's Standards and Guidelines for Professional Qualifications in archaeology and/or history evaluates the resource for its potential significance and determines whether the resource requires further study. Tribal cultural resources are discussed in Section 3.18. If the qualified archaeologist determines that the cultural resource does not appear to be eligible for inclusion on the CRHR, it will be appropriately documented on Department of Parks and Recreation (DPR) 523 series forms and project activity may resume. If the qualified archaeologist determines that the cultural resource appears eligible for inclusion on the CRHR the archaeologist shall make recommendations to the City of Antioch on the measures to be implemented to protect the discovered resources. The measures may include avoidance, preservation in place, data recovery excavation, or other appropriate measures outlined in PRC Section 21083.2. Any previously undiscovered resources found during construction within the project area should be recorded on appropriate DPR forms and evaluated for significance in terms of CEQA criteria. The applicant shall be responsible for the costs of retaining a qualified archaeologist and the recording of resources on DPR forms. No further grading shall occur within a 50-foot radius of the discovery until the City of Antioch approves the measures to protect these resources. Any archaeological artifacts recovered because of mitigation shall be donated to a qualified scientific institution approved by the City where they would be afforded long-term preservation to allow future scientific study.	<ul style="list-style-type: none">Project Construction ManagerQualified Archaeologist	During construction: During all ground disturbing activities.	Monitoring Party: <ul style="list-style-type: none">City of Antioch Community Development Department Monitoring Action: <ul style="list-style-type: none">Confirm a qualified archaeologist is under contract prior to the start of any ground disturbing activities.Confirm a qualified archaeologist is onsite monitoring ground disturbing activitiesIf cultural resources are discovered during construction confirm activities are halted until appropriate treatment measures are implemented.	Prior to issuance of grading permit and throughout construction as needed.		
MM CUL-2 Worker Awareness Training. Prior to the start of any ground disturbance, all field personnel shall receive worker's environmental awareness training on cultural resources. The training, which may be conducted with other environmental or safety trainings, will provide a description of cultural resources that may be encountered during construction and outline the steps to follow in the event that a discovery is made.	<ul style="list-style-type: none">Project Construction ManagerQualified Archaeologist	Pre-construction: Prior to ground disturbing activities.	Monitoring Party: <ul style="list-style-type: none">City of Antioch Community Development Department Monitoring Action: <ul style="list-style-type: none">Confirm a qualified archaeologist is under contract prior to the start of any ground disturbing activities.Confirm a qualified archaeologist provides worker awareness training prior to start of any ground disturbing activities.	Prior to issuance of grading permit and throughout construction as needed.		



Mitigation Measure		Implementation Party	Timing of Implementation	Monitoring Party and Monitoring Action	Monitoring Frequency	Verification of Implementation	
						Action	Date completed with Signature
MM CUL-3 Human Remains Discovered During Construction. If ground-disturbing activities uncover previously unknown human remains, Section 7050.5 of the California Health and Safety Code applies, and the following procedures shall be followed: There shall be no further excavation or disturbance of the area where the human remains were found or within 50 feet of the find until the Contra Costa County Coroner and the appropriate City representative are contacted. Duly authorized representatives of the Coroner and the City shall be permitted onto the project site and shall take all actions consistent with Health and Safety Code Section 7050.5 and Government Code Sections 27460, et seq. Excavation or disturbance of the area where the human remains were found or within 50 feet of the find shall not be permitted to re-commence until the Coroner determines that the remains are not subject to the provisions of law concerning investigation of the circumstances, manner, and cause of any death. If the Coroner determines the remains are Native American, the Coroner shall contact the Native American Heritage Commission (NAHC) within 24 hours, and the NAHC shall identify the person or persons it believes to be the “most likely descendant” (MLD) of the deceased Native American. The MLD may make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods as provided in PRC Section 5097.98. If the MLD does not make recommendations within 48 hours, the landowner shall reinter the remains in an area of the property secure from further disturbance. If the landowner does not accept the MLD’s recommendations, the owner or the MLD may request mediation by NAHC.		<ul style="list-style-type: none">Project Construction ManagerQualified Archaeologist	During construction: During all ground disturbing activities.	Monitoring Party: <ul style="list-style-type: none">City of Antioch Community Development Department Monitoring Action: <ul style="list-style-type: none">Confirm a qualified archaeologist is under contract prior to the start of any ground disturbing activities.Confirm a qualified archaeologist is onsite monitoring ground disturbing activitiesIf human remains are discovered during construction confirm activities are halted until appropriate treatment measures are implemented.	Prior to issuance of grading permit and throughout construction as needed.		
Section 3.6: Geology and Soils							
MM GEO-1 Implement Geotechnical Report Design Measures. Prior to issuance of grading permits, the applicant shall incorporate all design specifications and recommendations contained within the site-specific soils report into relevant project plans and specifications. These specifications shall pertain to, but are not limited to, building foundations, backfill of excavations, and grading activities. The project site plans shall be submitted to the City and shall be reviewed during the building permit process.		<ul style="list-style-type: none">Applicant	Prior to issuance of grading permits and during construction.	Monitoring Party: <ul style="list-style-type: none">City of Antioch Community Development Department Monitoring Action: <ul style="list-style-type: none">Confirm specifications of the geotechnical report are implemented into the project and conform to the City’s requirements.	Once during the City’s review of site plans.		
MM GEO-2 Procedures for Paleontological Resources Discovered During Construction. If any paleontological resources are encountered during ground disturbing or subsurface construction activities (e.g., trenching, grading), all construction activities within a 50-foot radius of the identified resource shall cease and the City shall immediately be notified. The applicant shall retain a qualified paleontologist (as approved by the City) to evaluate the find and recommend appropriate treatment of the inadvertently discovered paleontological resource. The appropriate treatment of an inadvertently discovered paleontological resource shall be implemented to ensure that impacts to the resource are avoided.		<ul style="list-style-type: none">Project Construction ManagerQualified Paleontologist	During construction: During all ground disturbing activities.	Monitoring Party: <ul style="list-style-type: none">City of Antioch Community Development Department Monitoring Action: <ul style="list-style-type: none">If paleontological resources are uncovered, confirm construction activities are halted until	Prior to issuance of grading permit and throughout construction as needed.		



Mitigation Measure	Implementation Party	Timing of Implementation	Monitoring Party and Monitoring Action	Monitoring Frequency	Verification of Implementation	
			paleontological monitor is retained.		Action	Date completed with Signature
Section 3.9: Hydrology and Water Quality						
<p>MM HYD-1 Prepare a SWPPP. Prior to the issuance of any construction-related permit, the applicant shall prepare and submit a Notice of Intent to the SWRCB and prepare a SWPPP in compliance with the NPDES General Construction Permit requirements. The SWPPP shall include a detailed, site-specific listing of the potential sources of stormwater pollution; pollution prevention measures (erosion and sediment control measures and measures to control non-stormwater discharges and hazardous spills); a description of the type and location of erosion and sediment control BMPs to be implemented at the project site; and a BMP monitoring and maintenance schedule to determine the amount of pollutants leaving the project site. A copy of the SWPPP must be current and remain on the project site. Control measures are required prior to and throughout the rainy season. Water quality BMPs identified in the SWPPP could include, but are not limited to, the following:</p> <ul style="list-style-type: none">• Surface water runoff shall be controlled by directing flowing water away from critical areas and by reducing runoff velocity. Diversion structures such as terraces, dikes, and ditches shall collect and direct runoff water around vulnerable areas to prepared drainage outlets.• Surface roughening, berms, check dams, hay bales, or similar devices shall be used to reduce runoff velocity and erosion.• Sediment shall be contained when conditions are too extreme for treatment by surface protection. Temporary sediment traps, filter fabric fences, inlet protectors, vegetative filters and buffers, or settling basins shall be used to detain runoff water long enough for sediment particles to settle out. Store, cover, and isolate construction materials, including topsoil and chemicals, to prevent runoff losses and contamination of groundwater.• Topsoil removed during construction shall be carefully stored and treated as an important resource. Berms shall be placed around topsoil stockpiles to prevent runoff during storm events.• Fuel and vehicle maintenance areas shall be established away from all drainage courses and these areas shall be designed to control runoff.• Temporary erosion control measures (such as silt fences, staked straw bales, and temporary revegetation) shall be employed for disturbed areas. No disturbed surfaces will be left without erosion control measures in place during the winter and spring months.• A spill prevention and countermeasure plan shall be developed, which will identify proper storage, collection, and disposal measures for potential pollutants (such as fuel, fertilizers, pesticides, etc.) used on-site. The plan would also require the proper storage, handling, use, and disposal of petroleum products.• Construction activities shall be scheduled to minimize land disturbance to the immediate area required for construction during peak runoff periods. Soil conservation practices shall be completed during the fall or late winter to reduce erosion during spring runoff.	<ul style="list-style-type: none">• Applicant• Project Construction Manager	Prior to issuance of grading permits and during construction.	<p>Monitoring Party:</p> <ul style="list-style-type: none">• City of Antioch Community Development Department <p>Monitoring Action:</p> <ul style="list-style-type: none">• Confirm requirements of the approved SWPPP are included in project specifications and implemented throughout the construction phase.	Once at the time of contractor specifications review and throughout the construction phase as needed.		



Mitigation Measure	Implementation Party	Timing of Implementation	Monitoring Party and Monitoring Action	Monitoring Frequency	Verification of Implementation	
Existing vegetation will be retained where possible. To the extent feasible, grading activities shall be limited to the immediate area required for construction.					Action	Date completed with Signature
Section 3.12: Noise						
MM NOI-1 Noise Attenuation. The noise from all mechanical equipment associated with the proposed project shall comply with Paragraph 11.6.1 “Noise Objective” in the City of Antioch General Plan and Article 19 “Noise Attenuation Requirements” in the Antioch Municipal Code.	<ul style="list-style-type: none">Applicant	Post construction: Prior to issuance of final certificate of occupancy.	Monitoring Party: <ul style="list-style-type: none">City of Antioch Community Development Department Monitoring Action: <ul style="list-style-type: none">Confirm the project’s mechanical equipment conforms to the City’s requirements.	Once as part of the City’s site plan review and prior to issuance of final certificate of occupancy.		



Mitigation Measure	Implementation Party	Timing of Implementation	Monitoring Party and Monitoring Action	Monitoring Frequency	Verification of Implementation	
					Action	Date completed with Signature
<p>MM NOI-2 Construction Noise Reduction. Implementation of the following multi-part mitigation plan is required to reduce the potential construction period noise impacts.</p> <ul style="list-style-type: none">Follow all construction noise requirements listed in the City of Antioch General Plan.Equip all internal combustion engine-driven equipment with intake and exhaust mufflers that are in good condition and appropriate for the equipment.Locate stationary noise-generating equipment as far as possible from sensitive receptors when sensitive receptors adjoin or are near a construction area.Utilize “quiet” air compressors and other stationary noise sources where technology exists.Construction activities shall be limited to daylight hours between 7 a.m. and dusk. Limit hours of operation of outdoor noise sources through conditions of approval.If construction activities are required outside of the daytime working hours allowed within the conditions of approval, the City would notify residents 48 hours in advance. If after-hours construction is required due to an emergency, the City would notify nearby residents immediately.The construction contractor would prohibit unnecessary idling of internal combustion engines.Where necessary noise-reducing enclosures or temporary barriers would be used around noise-generating equipment. Where feasible existing barrier features (terrain, structures) would be used to block sound transmission especially where sensitive receptors are located less than 50 feet from construction activities and construction noise levels are expected to exceed the maximum exterior noise standard.Post a construction site notice that includes the following information: job site address, permit number, name and phone number of the contractor and owner or owner's agent, hours of construction allowed by code or any discretionary approval for the Site, and City telephone numbers where violations can be reported. The notice shall be posted and maintained at the construction site prior to the start of construction and displayed in a location that is readily visible to the public and approved by the City.	<ul style="list-style-type: none">Project Construction Manager	Prior to issuance of grading permits and during construction.	<p>Monitoring Party:</p> <ul style="list-style-type: none">City of Antioch Community Development Department <p>Monitoring Action:</p> <ul style="list-style-type: none">Confirm noise reduction measures are included in project specifications and implemented throughout the construction phase.	Once during the City's site plan review and throughout the construction phase as needed.		
Section 3.17: Traffic and Transportation						
<p>MM TRANS-1 Traffic Signal. Prior to issuing a certificate of occupancy for any business park use obtaining access from Drive-In Way, the project applicant shall construct or shall pay the City of Antioch to construct a traffic signal at the intersection of Holub Lane/Drive-In Way and East 18th Street. The traffic signal shall be installed when minimum traffic signal warrant criteria is met as determined by the City Traffic Engineer.</p>	<ul style="list-style-type: none">ApplicantCity of Antioch	Post construction: Prior to issuance of final certificate of occupancy.	<p>Monitoring Party:</p> <ul style="list-style-type: none">City of Antioch Public Works Department <p>Monitoring Action:</p> <ul style="list-style-type: none">Confirm payment of fair share or completion of improvements.	Once as part of the City's site plan review and prior to issuance of final certificate of occupancy.		



Mitigation Measure	Implementation Party	Timing of Implementation	Monitoring Party and Monitoring Action	Monitoring Frequency	Verification of Implementation	
					Action	Date completed with Signature
MM TRANS-2 East 18th Street Modifications. To accommodate a right-in/right-out driveway into the self-storage and to minimize potential vehicle conflicts, the following modifications to East 18th Street along the project site should be provided: <ul style="list-style-type: none">Remove the existing merge arrows and stripingInstall right turn pockets at the westernmost and middle project drivewaysStripe a dashed centerline on East 18th Street to denote two travel lanesStripe a buffer between the driveways and right turn pockets along the Project frontage, and after the westernmost driveway, to direct vehicles to the two travel lanes.Install a bike lane between the two travel lanes and the right turn pocketsProvide skip striping for the bike lanes in the transition area between the striped buffer and right turn pocketsIf access is provided from the eastern most driveway, the intersection of East 18th Street and Drive in Way/Holub Lane shall be signalized prior to the opening of the self-storage uses.	<ul style="list-style-type: none">Applicant	Prior to issuance of grading permits.	Monitoring Party: <ul style="list-style-type: none">City of Antioch Public Works Department Monitoring Action: <ul style="list-style-type: none">Confirm the project site plans reflect relocation of the driveway on East 18th Street, or access to the project site is provided through a shared driveway from the commercial/retail parcel.	Once as part of the City's site plan review.		
Section 3.18: Tribal Cultural Resources						
Refer to Mitigation Measures CUL-1, CUL-2, and CUL-3 above.						



EXHIBIT B

Errata



Acorn Business Park Project

Final Initial Study Mitigated Negative
Declaration and Response to Comments

PD-18-02

May 2, 2019

Lead Agency:

City of Antioch
Community Development Department
Planning Division
200 H Street
Antioch, CA 94509

Technical Assistance:

Stantec Consulting Services Inc.
1340 Treat Boulevard, Suite 300
Walnut Creek, CA 94597

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1.0 INTRODUCTION

1.1 PURPOSE

This Final Initial Study (IS) and Mitigated Negative Declaration (MND; together, IS/MND) has been prepared for the Acorn Business Park Project ("proposed project") in accordance with the requirements of the California Environmental Quality Act (CEQA) and the State CEQA Guidelines. The City of Antioch ("City") is acting as the Lead Agency as defined by CEQA for the environmental review of the proposed project.

1.2 DESCRIPTION OF THE PROPOSED PROJECT

JMI Properties Corporation (applicant) is seeking entitlements to allow for the development of the Acorn Business Park Project (proposed project) in the City of Antioch, California. The business park could include a range of uses such as hotel, commercial/retail, office, and self-storage facilities. The 19.75-acre project site is currently undeveloped and comprised of Assessor Parcel Numbers 051-052-112 and 051-052-113. The project site would be divided into three subsections as described briefly below.

Subsection A

Subsection A consists of two lots (3.79 acres total) in the southern portion of the project site adjacent to East 18th Street. The proposed project includes two alternative conceptual alternative site plans for this portion of the project site. Alternative A-1 would develop two commercial buildings of 16,800 square feet each with associated parking. Alternative A-2 would develop a 4-story, 95-room hotel of approximately 43,195 square feet and an 11,088-square-foot commercial building with associated parking.

The applicant is only seeking entitlements at this stage and will seek to market Subsection A for future construction by a separate developer.

Subsection B

Subsection B consists of one lot (5.44 acres) in the central portion of the project site approximately 270 feet from East 18th Street. The applicant would develop this portion of the project site with 122,021 square feet of self-storage facilities between eight separate buildings with associated parking. The applicant is considering developing rooftop solar on top of the self-storage buildings when the economics are feasible. In the near-term, the proposed project would develop a 30 kilowatt (kW) facility to offset the electrical load of the self-storage facility.

Subsection C

Subsection C consists of nine lots (10.52 acres total) in the northern portion of the project site adjacent to Sakurai Street and approximately 535 feet from East 18th Street. The proposed project also includes two alternative conceptual site plans for this portion of the project site. Alternative C-1 would develop eight buildings of 14,112 square feet each for a total of 112,896 square feet, associated parking, and a bioretention basin. Alternative C-2 would develop a bioretention basin and one building of 71,880 square feet and associated parking.

The applicant is only seeking entitlements at this stage and will seek to market Subsection C for future construction by a separate developer.



1.2.1 Project Location

The project site is located 0.15 mile west of State Route 160 (SR-160) at the northwest corner of East 18th Street and Drive-In Way in the City of Antioch, California.

1.2.2 Required Permits and Approvals

This ISMND would be used by the City as the Lead Agency to evaluate the potential environmental impacts of the proposed project. For the proposed project to be implemented, a series of actions and approvals would be required from multiple agencies. Anticipated project approvals/actions would include, but are not limited to, the following:

- Rezone to Planned Development District (PD): City of Antioch
- Use Permit: City of Antioch
- Design Review: City of Antioch
- Vesting Tentative Map: City of Antioch
- Adoption of the Mitigated Negative Declaration: City of Antioch

Other ministerial approvals such as building permits, grading permits, and encroachment permits are also anticipated.

Additionally, all work related to improvements and project grading would be subject to the City of Antioch Municipal Code, including the Zoning Ordinance, Building Code, and Fire Code.

1.3 PUBLIC REVIEW PROCESS

On February 14, 2019, the City circulated a Notice of Availability of the Draft IS/MND for a 30-day review and comment period by the public and responsible and reviewing agencies. The review period ended on March 15, 2019.

The Final IS/MND and Draft IS/MND are available for review at:

City of Antioch, Community Development Department
200 H Street Antioch, CA 94509
Monday through Friday 8:00-5:00

The Final IS/MND and Draft IS/MND are also available online at:

<https://www.antiochca.gov/community-development-department/planning-division/environmental-documents/>

1.4 ORGANIZATION OF THE FINAL IS/MND

As required by the State CEQA Guidelines, the Final IS/MND consists of the following elements

Section 1.0: Introduction. This section introduces the proposed project and describes the purpose and organization of this document.

Section 2.0: Response to Comments. This section describes the purpose and need for the proposed project, identifies the project objectives, and provides a detailed description of the proposed project.

Section 3.0: Errata. This section presents specific text changes made to the Draft IS/MND since its publication and public review.

Appendix A. A Mitigation Monitoring and Reporting Program (MMRP), which provides a summary of impacts, mitigation measures, and implementation procedures.

Appendix B. Letters to Tribes Culturally and Traditionally Affiliated with the Project Site

Appendix C. Revised Biological Resources Assessment Report.



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2.0 RESPONSE TO COMMENTS

This section contains the comment letters that were received during the 30-day public-comment period addressing the Draft ISMND. The public comment period started on February 14, 2019 and concluded on March 15, 2019. In accordance with Section 15074(b) of the CEQA Guidelines, when considering whether to approve a project, the lead agency must consider the comments received during its consultation and review periods together with the ISMND. Therefore, these comments and responses are provided along with the Draft ISMND for consideration by the City Planning Commission and City Council.

2.1 COMMENTS RECEIVED ON THE DRAFT ISMND

The City received five comment letters during the public-comment period for the Draft ISMND. Table 2.1-1 indicates the numerical designation for each comment letter, the author and their associated agency, and the date of the comment letter.

Table 2.1-1 List of Commenters

Letter Number	Author of Comment Letter	Date
Individuals		
1	Jim Moita, JMI Properties Corporation	March 15, 2019
Agencies		
2	Gayle Totton, Native American Heritage Commission (NAHC)	February 28, 2019
3	Jordan Hensley, Central Valley Regional Water Quality Control Board	March 8, 2019
4	Patricia Maurice, California Department of Transportation (Caltrans)	March 13, 2019
5	Gregg Erickson, California Department of Fish and Wildlife (CDFW)	March 14, 2019

2.2 COMMENTS AND RESPONSES ON THE DRAFT ISMND

The written individual comments received on the Draft ISMND and the responses to those comments are provided below. All comments are indicated by a line bracket and an identifying number in the margin of the comment letter.



Letter 1

JMI PROPERTIES CORPORATION

BROKERAGE INVESTMENTS DEVELOPMENT

8117 Marsh Creek Road
Clayton, CA 94517
(925) 672-2200 Tel
(925) 672-0288 Fax
jmi-acorn@sbcglobal.net

March 15, 2019

City of Antioch
Attn: Alexis Morris
200 "H" Street
Antioch, CA 94509

RE: Proposed Acorn Business Park – CEQA Comment Letter

Dear Alexis,

Attached is our comment letter on the Acorn Business Park IS/MND in response to "Impact TRANS-4."

1-1

I would like our to comment to be considered as a replacement for mitigation "MM Trans – 2 Driveway Relocation."

Thank you,



Jim J. Moita, President
JMI Properties Corporation



MEMORANDUM

Date: March 15, 2019
To: Jim Moita
From: Kathrin Tellez and Delia Votsch, Fehr & Peers
Subject: **Acorn Business Park Driveway Evaluation**

WC19-3575

The purpose of this memorandum is to review the location and proposed design of the easternmost driveway for Acorn Business Park development (project). As part of the environmental review process for the project, a transportation impact analysis (TIA) was completed by Stantec dated November 6, 2018. The mitigated negative declaration prepared based on the findings of that analysis recommended that the easternmost project driveway be eliminated due to its proximity to the intersection of Holub Lane/Drive In Way.

The project proposes to construct three driveways along its East 18th Street frontage. All three driveways would be right-in/right-out access only, with the easternmost driveway serving only the self-storage uses, which generates minimal daily and peak hour trips. The easternmost driveway is located approximately 40-feet from the intersection of East 18th Street and Drive In-Way/Holub Lane, which could result in potential vehicle conflicts due to the proximity to the East 18th Street and Drive In-Way/Holub Lane.

Fehr & Peers reviewed the proposed driveway location in combination with the roadway configuration. As East 18th Street provides three westbound travel lanes along the project frontage, and the intersection of East 18th Street and Drive In-Way/Holub Lane is striped to provide two westbound travel lanes through the intersection, there is an opportunity to provide an exclusive right-turn lane into the project site. To accommodate a right-in/right-out driveway into the self-storage and to minimize potential vehicle conflicts, Fehr & Peers recommends East 18th Street along the project site be modified to provide the following:

- Remove the existing merge arrows and striping

Letter 1 (page 3)

Jim Moita
March 15, 2019
Page 2 of 2



- Install a continuous right turn lane along the project frontage on East 18th Street
- Stripe a dashed centerline on East 18th Street to denote two travel lanes
- Stripe a buffer between the driveways and right turn pockets along the Project frontage, and after the westernmost driveway, to direct vehicles to the two travel lanes
- Install a bike lane between the two travel lanes and the right turn pockets
- Provide skip striping for the bike lanes in the transition area between the striped buffer and right turn pockets

In addition to the above geometric changes, the intersection of East 18th Street and Drive in Way/Holub Lane should be signalized prior to the opening of the self-storage uses if access is provided from the eastern most driveway.

This completes our driveway assessment for the Acorn Business Park development project. Please call Kathrin or Delia at (925) 930-7100 if you have questions

Letter 1: Response to Comment from Jim Moita, JMI Properties Corporation

Response 1-1

The comment letter includes a draft memorandum (memo) prepared by Fehr and Peers on March 13, 2019. The commenter would like the following findings of the memo to be considered as a replacement for Mitigation Measure TRANS-2 in the Draft ISMND:

“As East 18th Street provides three westbound travel lanes along the project frontage, and the intersection of East 18th Street and Drive In-Way/Holub Lane is striped to provide two westbound travel lanes through the intersection, there is an opportunity to provide an exclusive right-turn lane into the project site. Therefore, to accommodate a right-in/right-out driveway into the self-storage and to minimize potential vehicle conflicts, Fehr & Peers recommends East 18th Street along the project site be modified to provide the following:

- *Remove the existing merge arrows and striping*
- *Install right turn pockets at the westernmost and middle project driveways*
- *Stripe a dashed centerline on East 18th Street to denote two travel lanes*
- *Stripe a buffer between the driveways and right turn pockets along the Project frontage, and after the westernmost driveway, to direct vehicles to the two travel lanes.*
- *Install a bike lane between the two travel lanes and the right turn pockets*
- *Provide skip striping for the bike lanes in the transition area between the striped buffer and right turn pockets*

In addition to the above geometric changes, the intersection of East 18th Street and Drive in Way/Holub Lane should be signalized prior to the opening of the self-storage uses if access is provided from the eastern most driveway.”

The City has reviewed the technical memo provided by Fehr and Peers and agrees that Mitigation Measure Trans-2 may be revised to reflect the above recommendations. Note that the text of Mitigation Measure TRANS-2 has been revised. This change does not alter the Draft IS/MND’s conclusion that the proposed project would not substantially increase hazards due to a design feature or incompatible uses nor does it constitute a “substantial revision” pursuant to CEQA Guidelines Section 15073.5(c), and there is no new impact, therefore, recirculation of the Draft IS/MND is not required.



Letter 2

STATE OF CALIFORNIA
NATIVE AMERICAN HERITAGE COMMISSION
Cultural and Environmental Department
1550 Harbor Blvd., Suite 100
West Sacramento, CA 95691
Phone (916) 373-3710
Email: nahc@nahc.ca.gov
Website: <http://www.nahc.ca.gov>

Gavin Newsom, Governor



February 28, 2019

Alexis Morris
City of Antioch
200 H Street
Antioch, CA 94509

Also sent via e-mail: amorris@ci.antioch.ca.us

RE: SCH# 2019029069, Acorn Business Park Project, City of Antioch; Contra Costa County

Dear Ms. Morris:

2-1

The Native American Heritage Commission (NAHC) has reviewed the Mitigated Negative Declaration prepared for the above referenced project. The review included the Introduction and Project Description; the Environmental Checklist, section 3.5 Cultural Resources and section 3.18, Tribal Cultural Resources; and Appendix C-2, Cultural Resources Report, prepared by Stantec for the City of Antioch. We have the following concern(s):

2-2

1. There is no documentation of **government-to-government consultation by the lead agency** under AB-52 with Native American tribes traditionally and culturally affiliated to the project area as required by statute has taken place, or that possible mitigation measures were developed in consultation with the tribes. This document includes the statement that the City "will initiate" consultation at some future unspecified date.

2-3

2. Mitigation measures do not include contacting tribes for inadvertent finds of Cultural Resources or Tribal Cultural Resources.

2-4

3. The Most Likely Descendant timeline in the Cultural Resources section of the Environmental Checklist and the Cultural Resources report is incorrect. Public Resources Code section 5097.98 specifically states "the descendants shall complete their inspection and make their recommendations or preferences within **48 hours after being allowed access to the site**".

2-5

Agencies should be aware that AB 52 does not preclude them from initiating tribal consultation with tribes that are traditionally and culturally affiliated with their jurisdictions before the timeframes provided in AB 52. For that reason, we urge you to continue to request Native American Tribal Consultation Lists and Sacred Lands File searches from the NAHC. The request forms can be found online at: <http://nahc.ca.gov/resources/forms/>. Additional information regarding AB 52 can be found online at http://nahc.ca.gov/wp-content/uploads/2015/10/AB52TribalConsultation_CalEPAPDF.pdf, entitled "Tribal Consultation Under AB 52: Requirements and Best Practices".

The NAHC recommends lead agencies consult with all California Native American tribes that are traditionally and culturally affiliated with the geographic area of your proposed project as early as possible in order to avoid inadvertent discoveries of Native American human remains and best protect tribal cultural resources.

2-6

A brief summary of portions of AB 52 and SB 18 as well as the NAHC's recommendations for conducting cultural resources assessments is also attached.

If you have any questions, please contact me at my email address: gayle.totton@nahc.ca.gov.

Sincerely,

Gayle Totton

Gayle Totton, B.S., M.A., Ph. D
Associate Governmental Program Analyst

Attachment
cc: State Clearinghouse

A29

Letter 2 (page 2)

The California Environmental Quality Act (CEQA)¹, specifically Public Resources Code §21084.1, states that a project that may cause a substantial adverse change in the significance of a historical resource is a project that may have a significant effect on the environment.² If there is substantial evidence, in light of the whole record before a lead agency, that a project may have a significant effect on the environment, an environmental impact report (EIR) shall be prepared.³ In order to determine whether a project will cause a substantial adverse change in the significance of a historical resource, a lead agency will need to determine whether there are historical resources with the area of project effect (APE).

CEQA was amended in 2014 by Assembly Bill 52. (AB 52).⁴ **AB 52 applies to any project for which a notice of preparation or a notice of negative declaration or mitigated negative declaration is filed on or after July 1, 2015.** AB 52 created a separate category for “tribal cultural resources”⁵, that now includes “a project with an effect that may cause a substantial adverse change in the significance of a tribal cultural resource is a project that may have a significant effect on the environment.”⁶ Public agencies shall, when feasible, avoid damaging effects to any tribal cultural resource.⁷ Your project may also be subject to **Senate Bill 18 (SB 18)** (Burton, Chapter 905, Statutes of 2004), Government Code §65352.3, if it also involves the adoption of or amendment to a general plan or a specific plan, or the designation or proposed designation of open space. **Both SB 18 and AB 52 have tribal consultation requirements.** Additionally, if your project is also subject to the federal National Environmental Policy Act (42 U.S.C. § 4321 et seq.) (NEPA), the tribal consultation requirements of Section 106 of the National Historic Preservation Act of 1966⁸ may also apply.

Consult your legal counsel about compliance with AB 52 and SB 18 as well as compliance with any other applicable laws.

Pertinent Statutory Information:

Under AB 52:

AB 52 has added to CEQA the additional requirements listed below, along with many other requirements:

Within fourteen (14) days of determining that an application for a project is complete or of a decision by a public agency to undertake a project, a **lead agency** shall provide formal notification to a designated contact of, or tribal representative of, traditionally and culturally affiliated California Native American tribes that have requested notice.

A **lead agency** shall begin the consultation process within 30 days of receiving a request for consultation from a California Native American tribe that is traditionally and culturally affiliated with the geographic area of the proposed project.⁹ and **prior to the release of a negative declaration, mitigated negative declaration or environmental impact report.** For purposes of AB 52, “consultation shall have the same meaning as provided in Gov. Code §65352.4 (SB 18).¹⁰

The following topics of consultation, if a tribe requests to discuss them, are mandatory topics of consultation:

- a. Alternatives to the project.
- b. Recommended mitigation measures.
- c. Significant effects.¹¹

1. The following topics are discretionary topics of consultation:

- a. Type of environmental review necessary.
- b. Significance of the tribal cultural resources.
- c. Significance of the project’s impacts on tribal cultural resources.

If necessary, project alternatives or appropriate measures for preservation or mitigation that the tribe may recommend to the lead agency.¹²

With some exceptions, any information, including but not limited to, the location, description, and use of tribal cultural resources submitted by a California Native American tribe during the environmental review process **shall not be included in the environmental document or otherwise disclosed by the lead agency or any other public agency to the public, consistent with Government Code §6254 (r) and §6254.10.** Any information submitted by a California Native American tribe during the consultation or environmental review process shall be published in a confidential appendix to the environmental document unless the tribe that provided the information consents, in writing, to the disclosure of some or all of the information to the public.¹³

If a project may have a significant impact on a tribal cultural resource, **the lead agency’s environmental document shall discuss** both of the following:

- a. Whether the proposed project has a significant impact on an identified tribal cultural resource.

¹ Pub. Resources Code § 21000 et seq.

² Pub. Resources Code § 21084.1; Cal. Code Regs., tit.14, § 15064.5 (b); CEQA Guidelines Section 15064.5 (b)

³ Pub. Resources Code § 21080 (d); Cal. Code Regs., tit. 14, § 15064 subd.(a)(1); CEQA Guidelines § 15064 (a)(1)

⁴ Government Code 65352.3

⁵ Pub. Resources Code § 21074

⁶ Pub. Resources Code § 21084.2

⁷ Pub. Resources Code § 21084.3 (a)

⁸ 154 U.S.C. 300101, 36 C.F.R. § 800 et seq.

⁹ Pub. Resources Code § 21080.3.1, subds. (d) and (e)

¹⁰ Pub. Resources Code § 21080.3.1 (b)

¹¹ Pub. Resources Code § 21080.3.2 (a)

¹² Pub. Resources Code § 21080.3.2 (a)

¹³ Pub. Resources Code § 21082.3 (c)(1)

Letter 2 (page 3)

- b. Whether feasible alternatives or mitigation measures, including those measures that may be agreed to pursuant to Public Resources Code §21082.3, subdivision (a), avoid or substantially lessen the impact on the identified tribal cultural resource.¹⁴

Consultation with a tribe shall be considered concluded when either of the following occurs:

- a. The parties agree to measures to mitigate or avoid a significant effect, if a significant effect exists, on a tribal cultural resource; or
- b. A party, acting in good faith and after reasonable effort, concludes that mutual agreement cannot be reached.¹⁵

Any mitigation measures agreed upon in the consultation conducted pursuant to Public Resources Code §21080.3.2 **shall be recommended for inclusion in the environmental document and in an adopted mitigation monitoring and reporting program**, if determined to avoid or lessen the impact pursuant to Public Resources Code §21082.3, subdivision (b), paragraph 2, and shall be fully enforceable.¹⁶

If mitigation measures recommended by the staff of the lead agency as a result of the consultation process are not included in the environmental document or if there are no agreed upon mitigation measures at the conclusion of consultation, or if consultation does not occur, and if substantial evidence demonstrates that a project will cause a significant effect to a tribal cultural resource, **the lead agency shall consider feasible mitigation** pursuant to Public Resources Code §21084.3 (b).¹⁷

An environmental impact report **may not be certified**, nor may a mitigated negative declaration or a negative declaration be adopted unless one of the following occurs:

- a. The consultation process between the tribes and the lead agency has occurred as provided in Public Resources Code §21080.3.1 and §21080.3.2 and concluded pursuant to Public Resources Code §21080.3.2.
- b. The tribe that requested consultation failed to provide comments to the lead agency or otherwise failed to engage in the consultation process.
- c. The lead agency provided notice of the project to the tribe in compliance with Public Resources Code §21080.3.1 (d) and the tribe failed to request consultation within 30 days.¹⁸

This process should be documented in the Tribal Cultural Resources section of your environmental document.

Under SB 18:

Government Code §65352.3 (a) (1) requires consultation with Native Americans on general plan proposals for the purposes of “preserving or mitigating impacts to places, features, and objects described §5097.9 and §5091.993 of the Public Resources Code that are located within the city or county’s jurisdiction. Government Code §65560 (a), (b), and (c) provides for consultation with Native American tribes on the open-space element of a county or city general plan for the purposes of protecting places, features, and objects described in Public Resources Code §5097.9 and §5097.993.

- SB 18 applies to **local governments** and requires them to contact, provide notice to, refer plans to, and consult with tribes prior to the adoption or amendment of a general plan or a specific plan, or the designation of open space. Local governments should consult the Governor’s Office of Planning and Research’s “Tribal Consultation Guidelines,” which can be found online at: https://www.opr.ca.gov/docs/09_14_05_Updated_Guidelines_922.pdf
- **Tribal Consultation:** If a local government considers a proposal to adopt or amend a general plan or a specific plan, or to designate open space it is required to contact the appropriate tribes identified by the NAHC by requesting a “Tribal Consultation List.” If a tribe, once contacted, requests consultation the local government must consult with the tribe on the plan proposal. **A tribe has 90 days from the date of receipt of notification to request consultation unless a shorter timeframe has been agreed to by the tribe.**¹⁹
- **There is no Statutory Time Limit on Tribal Consultation under the law.**
- **Confidentiality:** Consistent with the guidelines developed and adopted by the Office of Planning and Research,²⁰ the city or county shall protect the confidentiality of the information concerning the specific identity, location, character, and use of places, features and objects described in Public Resources Code §5097.9 and §5097.993 that are within the city’s or county’s jurisdiction.²¹
- **Conclusion Tribal Consultation:** Consultation should be concluded at the point in which:
 - The parties to the consultation come to a mutual agreement concerning the appropriate measures for preservation or mitigation; or
 - Either the local government or the tribe, acting in good faith and after reasonable effort, concludes that mutual agreement cannot be reached concerning the appropriate measures of preservation or mitigation.²²

NAHC Recommendations for Cultural Resources Assessments:

- Contact the NAHC for:

¹⁴ Pub. Resources Code § 21082.3 (b)

¹⁵ Pub. Resources Code § 21080.3.2 (b)

¹⁶ Pub. Resources Code § 21082.3 (a)

¹⁷ Pub. Resources Code § 21082.3 (e)

¹⁸ Pub. Resources Code § 21082.3 (d)

¹⁹ (Gov. Code § 65352.3 (a)(2)).

²⁰ pursuant to Gov. Code section 65040.2,

²¹ (Gov. Code § 65352.3 (b)).

²² (Tribal Consultation Guidelines, Governor’s Office of Planning and Research (2005) at p. 18).

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- A Sacred Lands File search. Remember that tribes do not always record their sacred sites in the Sacred Lands File, nor are they required to do so. A Sacred Lands File search is not a substitute for consultation with tribes that are traditionally and culturally affiliated with the geographic area of the project's APE.
- A Native American Tribal Contact List of appropriate tribes for consultation concerning the project site and to assist in planning for avoidance, preservation in place, or, failing both, mitigation measures.
 - The request form can be found at <http://nahc.ca.gov/resources/forms/>.
- Contact the appropriate regional California Historical Research Information System (CHRIS) Center (http://ohp.parks.ca.gov/?page_id=1068) for an archaeological records search. The records search will determine:
 - If part or the entire APE has been previously surveyed for cultural resources.
 - If any known cultural resources have been already been recorded on or adjacent to the APE.
 - If the probability is low, moderate, or high that cultural resources are located in the APE.
 - If a survey is required to determine whether previously unrecorded cultural resources are present.
- If an archaeological inventory survey is required, the final stage is the preparation of a professional report detailing the findings and recommendations of the records search and field survey.
 - The final report containing site forms, site significance, and mitigation measures should be submitted immediately to the planning department. All information regarding site locations, Native American human remains, and associated funerary objects should be in a separate confidential addendum and not be made available for public disclosure.
 - The final written report should be submitted within 3 months after work has been completed to the appropriate regional CHRIS center.

Examples of Mitigation Measures That May Be Considered to Avoid or Minimize Significant Adverse Impacts to Tribal Cultural Resources:

- Avoidance and preservation of the resources in place, including, but not limited to:
 - Planning and construction to avoid the resources and protect the cultural and natural context.
 - Planning greenspace, parks, or other open space, to incorporate the resources with culturally appropriate protection and management criteria.
- Treating the resource with culturally appropriate dignity, taking into account the tribal cultural values and meaning of the resource, including, but not limited to, the following:
 - Protecting the cultural character and integrity of the resource.
 - Protecting the traditional use of the resource.
 - Protecting the confidentiality of the resource.
- Permanent conservation easements or other interests in real property, with culturally appropriate management criteria for the purposes of preserving or utilizing the resources or places.
- Please note that a federally recognized California Native American tribe or a non-federally recognized California Native American tribe that is on the contact list maintained by the NAHC to protect a California prehistoric, archaeological, cultural, spiritual, or ceremonial place may acquire and hold conservation easements if the conservation easement is voluntarily conveyed.²³
- Please note that it is the policy of the state that Native American remains and associated grave artifacts shall be repatriated.²⁴

The lack of surface evidence of archaeological resources (including tribal cultural resources) does not preclude their subsurface existence.

- Lead agencies should include in their mitigation and monitoring reporting program plan provisions for the identification and evaluation of inadvertently discovered archaeological resources.²⁵ In areas of identified archaeological sensitivity, a certified archaeologist and a culturally affiliated Native American with knowledge of cultural resources should monitor all ground-disturbing activities.
- Lead agencies should include in their mitigation and monitoring reporting program plans provisions for the disposition of recovered cultural items that are not burial associated in consultation with culturally affiliated Native Americans.
- Lead agencies should include in their mitigation and monitoring reporting program plans provisions for the treatment and disposition of inadvertently discovered Native American human remains. Health and Safety Code section 7050.5, Public Resources Code §5097.98, and Cal. Code Regs., tit. 14, §15064.5, subdivisions (d) and (e) (CEQA Guidelines §15064.5, subds. (d) and (e)) address the processes to be followed in the event of an inadvertent discovery of any Native American human remains and associated grave goods in a location other than a dedicated cemetery.

²³ (Civ. Code § 815.3 (c)).

²⁴ (Pub. Resources Code § 5097.991).

²⁵ per Cal. Code Regs., tit. 14, section 15064.5(f) (CEQA Guidelines section 15064.5(f)).

Letter 2: Response to Comment from Gayle Totton, Native American Heritage Commission

Response 2-1

The Native American Heritage Commission (NAHC) provided an introductory paragraph and noted their comments pertained to their review of the Project Description, the Environmental Checklist Section 3.5 Cultural Resources, Environmental Checklist Section 3.18 Tribal Cultural Resources, and Appendix C-2 Cultural Resources Report prepared by Stantec.

No further response is required because the comment does not comment on the content or approach to the environmental analysis.

Response 2-2

The commenter states there is no documentation of government-to-government consultation by the lead agency under AB-52 with Native American tribes traditionally and culturally affiliated to the project area as required by statute has taken place, or that possible mitigation measures were developed in consultation with the tribes.

As discussed in the Draft IS/MND the Native American Heritage Commission (NAHC) was contacted on October 9, 2018 to request a search of the Sacred Lands File and a list of Native American contacts who might have knowledge of tribal cultural resources at the project site. The NAHC responded on October 18, 2018, stating negative results. The NAHC included a list of six individuals and tribes affiliated with the area. The NAHC recommended contacting those tribes for additional information about any known tribal resources. Certified letters pursuant to Public Resources Code Section 21080.3.1 and 21080.3.2 (a.k.a. AB52) to the tribal representatives were sent on October 26, 2018 by certified mail. The letters were received by the recipients on October 29, 2018 and October 30, 2018. No responses from the tribal representatives have been received to date.

Copies of the certified letters and proof of receipt have been included with this Final IS/MND as Appendix B.

Response 2-3

The commenter states mitigation measures do not include contacting tribes for inadvertent finds of Cultural Resources or Tribal Cultural Resources.

Mitigation measure CUL-1 will be revised to include contacting tribes for inadvertent discoveries of Cultural Resources or Tribal Cultural Resources. This revision does not constitute a "substantial revision" pursuant to CEQA Guidelines Section 15073.5(c), therefore, recirculation of the Draft IS/MND is not required.

Response 2-4

The commenter states the Most Likely Descendant timeline in the Cultural Resources section of the Environmental Checklist and the Cultural Resources report is incorrect. Public Resources Code section 5097.98 specifically states "the descendants shall complete their inspection and make their recommendations or preferences within **48 hours after being allowed access to the site**"

The City will revise Mitigation Measure CUL-3 to note the correction to the Most Likely Descendant timeline is 48 hours from the time access to the site is allowed. This revision does not constitute a "substantial revision" pursuant to

CEQA Guidelines Section 15073.5(b) and recirculation of the Draft IS/MND is not required pursuant to CEQA Guidelines 15073.5(c).

Response 2-5

The commenter stated that AB 52 does not preclude Agencies from initiating tribal consultation with tribes that are traditionally and culturally affiliated with their jurisdictions before the timeframes provided by AB 52. The commenter provided their recommendation that the City request Native American Tribal Consultation Lists and Sacred Lands File searches from the NAHC. Such consultation early on will avoid inadvertent discoveries of Native American human remains and best protect cultural resources.

The City appreciates the NAHC's comments and reiterates that tribal consultation pursuant to AB 52 and the NAHC's recommendations was conducted for the proposed project. Information on the consultation letters has been provided as an appendix to this Final IS/MND.

Response 2-6

The commenter provided a brief summary of portions of AB 52 and SB 18 as well as the NAHC's recommendations for conducting cultural resource assessments.

Tribal consultation pursuant to AB 52 and the NAHC's recommendations was conducted for the proposed project. Information on the consultation letters has been provided as an appendix to this Final IS/MND.



Letter 3



Central Valley Regional Water Quality Control Board

8 March 2019

RECEIVED

MAR 14 2019

Alexis Morris
City of Antioch
200 H Street
Antioch, CA 94509

**CITY OF ANTIOCH
COMMUNITY DEVELOPMENT**

CERTIFIED MAIL
7014 2120 0001 4292 3297

COMMENTS TO REQUEST FOR REVIEW FOR THE MITIGATED NEGATIVE DECLARATION, ACORN BUSINESS PARK PROJECT, SCH#2019029069, CONTRA COSTA COUNTY

Pursuant to the State Clearinghouse's 14 February 2019 request, the Central Valley Regional Water Quality Control Board (Central Valley Water Board) has reviewed the *Request for Review for the Mitigated Negative Declaration* for the Acorn Business Park Project, located in Contra Costa County.

Our agency is delegated with the responsibility of protecting the quality of surface and groundwaters of the state; therefore our comments will address concerns surrounding those issues.

I. Regulatory Setting

Basin Plan

The Central Valley Water Board is required to formulate and adopt Basin Plans for all areas within the Central Valley region under Section 13240 of the Porter-Cologne Water Quality Control Act. Each Basin Plan must contain water quality objectives to ensure the reasonable protection of beneficial uses, as well as a program of implementation for achieving water quality objectives with the Basin Plans. Federal regulations require each state to adopt water quality standards to protect the public health or welfare, enhance the quality of water and serve the purposes of the Clean Water Act. In California, the beneficial uses, water quality objectives, and the Antidegradation Policy are the State's water quality standards. Water quality standards are also contained in the National Toxics Rule, 40 CFR Section 131.36, and the California Toxics Rule, 40 CFR Section 131.38.

The Basin Plan is subject to modification as necessary, considering applicable laws, policies, technologies, water quality conditions and priorities. The original Basin Plans were adopted in 1975, and have been updated and revised periodically as required, using Basin Plan amendments. Once the Central Valley Water Board has adopted a Basin Plan amendment in noticed public hearings, it must be approved by the State Water Resources Control Board (State Water Board), Office of Administrative Law (OAL) and in some cases,

KARL E. LONGLEY SCD, P.E., CHAIR | PATRICK PULUPA, ESQ., EXECUTIVE OFFICER

11020 Sun Center Drive #200, Rancho Cordova, CA 95670 | www.waterboards.ca.gov/centralvalley

RECYCLED PAPER

Letter 3 (page 2)

Acorn Business Park Project
Contra Costa County

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8 March 2019

the United States Environmental Protection Agency (USEPA). Basin Plan amendments only become effective after they have been approved by the OAL and in some cases, the USEPA. Every three (3) years, a review of the Basin Plan is completed that assesses the appropriateness of existing standards and evaluates and prioritizes Basin Planning issues.

For more information on the *Water Quality Control Plan for the Sacramento and San Joaquin River Basins*, please visit our website:
http://www.waterboards.ca.gov/centralvalley/water_issues/basin_plans/

Antidegradation Considerations

All wastewater discharges must comply with the Antidegradation Policy (State Water Board Resolution 68-16) and the Antidegradation Implementation Policy contained in the Basin Plan. The Antidegradation Implementation Policy is available on page 74 at:
https://www.waterboards.ca.gov/centralvalley/water_issues/basin_plans/sacsjr_201805.pdf

In part it states:

Any discharge of waste to high quality waters must apply best practicable treatment or control not only to prevent a condition of pollution or nuisance from occurring, but also to maintain the highest water quality possible consistent with the maximum benefit to the people of the State.

This information must be presented as an analysis of the impacts and potential impacts of the discharge on water quality, as measured by background concentrations and applicable water quality objectives.

The antidegradation analysis is a mandatory element in the National Pollutant Discharge Elimination System and land discharge Waste Discharge Requirements (WDRs) permitting processes. The environmental review document should evaluate potential impacts to both surface and groundwater quality.

II. Permitting Requirements

Construction Storm Water General Permit

Dischargers whose project disturb one or more acres of soil or where projects disturb less than one acre but are part of a larger common plan of development that in total disturbs one or more acres, are required to obtain coverage under the General Permit for Storm Water Discharges Associated with Construction Activities (Construction General Permit), Construction General Permit Order No. 2009-009-DWQ. Construction activity subject to this permit includes clearing, grading, grubbing, disturbances to the ground, such as stockpiling, or excavation, but does not include regular maintenance activities performed to restore the original line, grade, or capacity of the facility. The Construction General Permit requires the development and implementation of a Storm Water Pollution Prevention Plan

Letter 3 (page 3)

Acorn Business Park Project
Contra Costa County

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8 March 2019

(SWPPP).

For more information on the Construction General Permit, visit the State Water Resources Control Board website at:
http://www.waterboards.ca.gov/water_issues/programs/stormwater/constpermits.shtml

Phase I and II Municipal Separate Storm Sewer System (MS4) Permits¹

The Phase I and II MS4 permits require the Permittees reduce pollutants and runoff flows from new development and redevelopment using Best Management Practices (BMPs) to the maximum extent practicable (MEP). MS4 Permittees have their own development standards, also known as Low Impact Development (LID)/post-construction standards that include a hydromodification component. The MS4 permits also require specific design concepts for LID/post-construction BMPs in the early stages of a project during the entitlement and CEQA process and the development plan review process.

For more information on which Phase I MS4 Permit this project applies to, visit the Central Valley Water Board website at:
http://www.waterboards.ca.gov/centralvalley/water_issues/storm_water/municipal_permits/

For more information on the Phase II MS4 permit and who it applies to, visit the State Water Resources Control Board at:
http://www.waterboards.ca.gov/water_issues/programs/stormwater/phase_ii_municipal.shtml

Industrial Storm Water General Permit

Storm water discharges associated with industrial sites must comply with the regulations contained in the Industrial Storm Water General Permit Order No. 2014-0057-DWQ.

For more information on the Industrial Storm Water General Permit, visit the Central Valley Water Board website at:
http://www.waterboards.ca.gov/centralvalley/water_issues/storm_water/industrial_general_permits/index.shtml

Clean Water Act Section 404 Permit

If the project will involve the discharge of dredged or fill material in navigable waters or wetlands, a permit pursuant to Section 404 of the Clean Water Act may be needed from the United States Army Corps of Engineers (USACE). If a Section 404 permit is required by the USACE, the Central Valley Water Board will review the permit application to ensure that discharge will not violate water quality standards. If the project requires surface water drainage realignment, the applicant is advised to contact the Department of Fish and Game for information on Streambed Alteration Permit requirements.

¹ Municipal Permits = The Phase I Municipal Separate Storm Water System (MS4) Permit covers medium sized Municipalities (serving between 100,000 and 250,000 people) and large sized municipalities (serving over 250,000 people). The Phase II MS4 provides coverage for small municipalities, including non-traditional Small MS4s, which include military bases, public campuses, prisons and hospitals.

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If you have any questions regarding the Clean Water Act Section 404 permits, please contact the Regulatory Division of the Sacramento District of USACE at (916) 557-5250.

Clean Water Act Section 401 Permit – Water Quality Certification

If an USACE permit (e.g., Non-Reporting Nationwide Permit, Nationwide Permit, Letter of Permission, Individual Permit, Regional General Permit, Programmatic General Permit), or any other federal permit (e.g., Section 10 of the Rivers and Harbors Act or Section 9 from the United States Coast Guard), is required for this project due to the disturbance of waters of the United States (such as streams and wetlands), then a Water Quality Certification must be obtained from the Central Valley Water Board prior to initiation of project activities. There are no waivers for 401 Water Quality Certifications.

For more information on the Water Quality Certification, visit the Central Valley Water Board website at:
https://www.waterboards.ca.gov/centralvalley/water_issues/water_quality_certification/

Waste Discharge Requirements – Discharges to Waters of the State

If USACE determines that only non-jurisdictional waters of the State (i.e., "non-federal" waters of the State) are present in the proposed project area, the proposed project may require a Waste Discharge Requirement (WDR) permit to be issued by Central Valley Water Board. Under the California Porter-Cologne Water Quality Control Act, discharges to all waters of the State, including all wetlands and other waters of the State including, but not limited to, isolated wetlands, are subject to State regulation.

For more information on the Waste Discharges to Surface Water NPDES Program and WDR processes, visit the Central Valley Water Board website at:
https://www.waterboards.ca.gov/centralvalley/water_issues/waste_to_surface_water/

Dewatering Permit

If the proposed project includes construction or groundwater dewatering to be discharged to land, the proponent may apply for coverage under State Water Board General Water Quality Order (Low Risk General Order) 2003-0003 or the Central Valley Water Board's Waiver of Report of Waste Discharge and Waste Discharge Requirements (Low Risk Waiver) R5-2013-0145. Small temporary construction dewatering projects are projects that discharge groundwater to land from excavation activities or dewatering of underground utility vaults. Dischargers seeking coverage under the General Order or Waiver must file a Notice of Intent with the Central Valley Water Board prior to beginning discharge.

For more information regarding the Low Risk General Order and the application process, visit the Central Valley Water Board website at:
http://www.waterboards.ca.gov/board_decisions/adopted_orders/water_quality/2003/wqo/wqo2003-0003.pdf

For more information regarding the Low Risk Waiver and the application process, visit the Central Valley Water Board website at:

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Acorn Business Park Project
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http://www.waterboards.ca.gov/centralvalley/board_decisions/adopted_orders/waivers/r5-2013-0145_res.pdf

Regulatory Compliance for Commercially Irrigated Agriculture

If the property will be used for commercial irrigated agricultural, the discharger will be required to obtain regulatory coverage under the Irrigated Lands Regulatory Program. There are two options to comply:

1. **Obtain Coverage Under a Coalition Group.** Join the local Coalition Group that supports land owners with the implementation of the Irrigated Lands Regulatory Program. The Coalition Group conducts water quality monitoring and reporting to the Central Valley Water Board on behalf of its growers. The Coalition Groups charge an annual membership fee, which varies by Coalition Group. To find the Coalition Group in your area, visit the Central Valley Water Board's website at: https://www.waterboards.ca.gov/centralvalley/water_issues/irrigated_lands/regulatory_information/for_growers/coalition_groups/ or contact water board staff at (916) 464-4611 or via email at IrrLands@waterboards.ca.gov.
2. **Obtain Coverage Under the General Waste Discharge Requirements for Individual Growers, General Order R5-2013-0100.** Dischargers not participating in a third-party group (Coalition) are regulated individually. Depending on the specific site conditions, growers may be required to monitor runoff from their property, install monitoring wells, and submit a notice of intent, farm plan, and other action plans regarding their actions to comply with their General Order. Yearly costs would include State administrative fees (for example, annual fees for farm sizes from 11-100 acres are currently \$1,277 + \$8.53/Acre); the cost to prepare annual monitoring reports; and water quality monitoring costs. To enroll as an Individual Discharger under the Irrigated Lands Regulatory Program, call the Central Valley Water Board phone line at (916) 464-4611 or e-mail board staff at IrrLands@waterboards.ca.gov.

Limited Threat General NPDES Permit

If the proposed project includes construction dewatering and it is necessary to discharge the groundwater to waters of the United States, the proposed project will require coverage under a National Pollutant Discharge Elimination System (NPDES) permit. Dewatering discharges are typically considered a low or limited threat to water quality and may be covered under the General Order for *Limited Threat Discharges to Surface Water* (Limited Threat General Order). A complete Notice of Intent must be submitted to the Central Valley Water Board to obtain coverage under the Limited Threat General Order.

For more information regarding the Limited Threat General Order and the application process, visit the Central Valley Water Board website at: https://www.waterboards.ca.gov/centralvalley/board_decisions/adopted_orders/general_orders/r5-2016-0076-01.pdf

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Acorn Business Park Project
Contra Costa County

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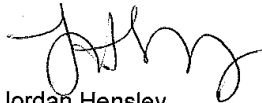
8 March 2019

NPDES Permit

If the proposed project discharges waste that could affect the quality of surface waters of the State, other than into a community sewer system, the proposed project will require coverage under a National Pollutant Discharge Elimination System (NPDES) permit. A complete Report of Waste Discharge must be submitted with the Central Valley Water Board to obtain a NPDES Permit.

For more information regarding the NPDES Permit and the application process, visit the Central Valley Water Board website at:
<https://www.waterboards.ca.gov/centralvalley/help/permit/>

If you have questions regarding these comments, please contact me at (916) 464-4812 or Jordan.Hensley@waterboards.ca.gov.



Jordan Hensley
Environmental Scientist

cc: State Clearinghouse unit, Governor's Office of Planning and Research, Sacramento

Letter 3: Response to Comment from Jordan Hensley, Central Valley Regional Water Quality Control Board

Response 3-1

The comment letter provides general information regarding the Central Valley Regional Water Quality Control Board's regulations, required permits, and compliance with required permits. No specific environmental concerns relating to the Draft ISMND analysis were provided. As discussed in Section 3.9, Hydrology and Water Quality, of the ISMND the proposed project would comply with all applicable regulations, required permits, and requirements associated with protecting the quality of groundwater and surface water. No further response is required.

Letter 4

DEPARTMENT OF TRANSPORTATION

DISTRICT 4
P.O. BOX 23660
OAKLAND, CA 94623-0660
PHONE (510) 286-5528
www.dot.ca.gov



*Making Conservation
a California Way of Life!*

March 15, 2019

SCH#2019029069
04-CC-2019-00306
GTS ID # 14518
CC-160-PM 1.335

Alexis Morris, Planning Manager
City of Antioch Planning Division
200 H Street
Antioch, CA 94509

Acorn Business Park Project—Mitigated Negative Declaration

Dear Alexis Morris:

Thank you for including the California Department of Transportation (Caltrans) in the environmental review process for the above-referenced project. In tandem with the Metropolitan Transportation Commission's (MTC) Sustainable Communities Strategy (SCS), Caltrans mission signals a modernization of our approach to evaluating and mitigating impacts to the State Transportation Network (STN). Caltrans' *Strategic Management Plan 2015-2020* aims to reduce Vehicle Miles Travelled (VMT) by tripling bicycle and doubling both pedestrian and transit travel by 2020. Our comments are based on the Mitigated Negative Declaration (MND).

Project Understanding

JMI Properties Corporation is seeking entitlements to allow for development of the Acorn Business Park Project. The business park could include a range of uses such as hotel, commercial/retail, office, and self-storage facilities. The 19.75-acre site is currently undeveloped. The project site would be divided into three subsections (A, B, and C). The applicant is proposing to construct the self-storage facility on Subsection B upon approval of the proposed project by the lead agency. The applicant is seeking entitlements for Subsections A and C but will seek to market Subsections A and C for future construction by a separate developer(s). Regional access is located 770 feet east of the project site at the State Route (SR) 160 and 18th Street interchange.

Multimodal Transportation

The project should be conditioned to ensure connections to existing bike lanes and multi-use trails to facilitate walking and biking to nearby jobs, neighborhood services, and transit. Since the proposed project is adjacent to Tri Delta's 383 bus stop, which provides a connection to Antioch's BART station, the proposed project should provide subsidized transit passes on an ongoing basis for future employees.

Lead Agency

As the Lead Agency, the City of Antioch is responsible for all project mitigation, including any needed improvements to the STN. The project's fair share contribution, financing, scheduling,

*"Provide a safe, sustainable, integrated and efficient transportation
system to enhance California's economy and livability"*

Letter 4 (page 2)

Alexis Morris, City of Antioch
March 13, 2019
Page 2

4-2

implementation responsibilities and lead agency monitoring should be fully discussed for all proposed mitigation measures, prior to the submittal of an encroachment permit. Potential mitigation measures that include the requirements of other agencies—such as Caltrans—are fully enforceable through permit conditions, agreements, or other legally-binding instruments under the control of the City.

4-3

Encroachment Permit

Please be advised that any sign or work within Caltrans ROW will require an encroachment permit prior to construction. To apply for an encroachment permit, please complete an encroachment permit application, environmental documentation, and six (6) sets of plans clearly indicating State ROW, and submit to the following address: David Salladay, District Office Chief, Office of Permits, California Department of Transportation, District 4 Office of Permits, 111 Grand Avenue, Oakland, CA 94612. Traffic-related mitigation measures should be incorporated into the construction plans prior to the encroachment permit process. See the website link below for more information. <http://www.dot.ca.gov/hq/traffops/developserv/permits>.

Should you have any questions regarding this letter, please contact Michael Casas at (510) 286-5614 or michael.casas@dot.ca.gov.

Sincerely,



PATRICIA MAURICE
District Branch Chief
Local Development - Intergovernmental Review

c: State Clearing House

Letter 4: Response to Comment from Patricia Maurice, California Department of Transportation

Response 4-1

The commenter states the project should be conditioned to ensure connections to existing bike lanes and multi-use trails, and that the project should provide subsidized transit passes on an ongoing basis for future employees due to the project site's proximity to the Tri Delta's 383 bus stop.

Bicycle lanes are currently present along both sides of Viera Avenue between East 18th Street and Wilbur Avenue and along the entire length of Phillips Lane. There is a planned future Low Stress countywide bikeway on East 18th Street. Although the other nearby streets have no striped bike lanes, the low traffic volumes make these roadways conducive to bicycle traffic.

Response 4-2

The commenter states that the City of Antioch is responsible for all project mitigation, including needed improvements to the State Transportation Network (STN). According to the proposed project's traffic study no impacts to the STN would require improvements or mitigation.

Response 4-3

The commenter states construction within Caltrans Right of Way will require an encroachment permit prior to construction and that traffic-related mitigation measures should be incorporated into the construction plans prior to the encroachment permit process. The comment letter provides a link to the encroachment permit application.

The proposed project would not involve any construction activity within a State Right of Way. However, if such activities are required the applicant will obtain an encroachment permit from Caltrans. In addition, the Draft ISMND states on page 2.37, "The project site would be accessed by construction crews from SR-160, East 18th Street, and Drive-In Way. Any construction traffic, lane closures, or street staging would require approved traffic control plans (TCP) and an encroachment permit from the City. Once improvement plans are approved, the construction contractor would prepare a TCP and submit to the City for approval. Temporary lane closures are anticipated to construct proposed driveways and utility connections. Pedestrian walk ways would not be impacted along Drive-In Way as the walk way is on the opposite side of the road. Pedestrian access along East 18th Street would be maintained during construction."



Letter 5



State of California – Natural Resources Agency
DEPARTMENT OF FISH AND WILDLIFE
Bay Delta Region
2825 Cordelia Road, Suite 100
Fairfield, CA 94534
(707) 428-2002
www.wildlife.ca.gov

GAVIN NEWSOM, Governor
CHARLTON H. BONHAM, Director



March 14, 2019

Ms. Alexis Morris
City of Antioch
200 H Street
Antioch, CA 94503

Dear Ms. Morris:

Subject: Acorn Business Park Project, Draft Mitigated Negative Declaration,
SCH #2019029069, City of Antioch, Contra Costa County

The California Department of Fish and Wildlife (CDFW) has reviewed the draft Initial Study/Mitigated Negative Declaration (draft IS/MND) for the proposed Acorn Business Park Project (Project) pursuant to the California Environmental Quality Act (CEQA) and CEQA Guidelines. In accordance with our mandates, CDFW is submitting comments on the draft IS/MND to inform the City of Antioch (City), as the Lead Agency, of our concerns regarding potentially significant impacts to sensitive resources associated with the proposed Project.

CDFW ROLE

CDFW is a Trustee Agency with responsibility under CEQA (Pub. Resources Code, § 21000 et seq.) pursuant to CEQA Guidelines section 15386 for commenting on projects that could impact fish, plant, and wildlife resources. CDFW is also considered a Responsible Agency if a project would require discretionary approval, such as a California Endangered Species Act (CESA) Incidental Take Permit (ITP), a Lake and Streambed Alteration (LSA) Agreement, or other provisions of the Fish and Game Code that afford protection to the state's fish and wildlife trust resources.

REGULATORY REQUIREMENTS

California Endangered Species Act

Please be advised that a CESA ITP must be obtained if the Project has the potential to result in "take" of plants or animals listed under CESA, either during construction or over the life of the Project (Fish and Game Code, § 2080 et seq.). Issuance of a CESA ITP is subject to CEQA documentation; therefore, the CEQA document must specify impacts, mitigation measures, and a mitigation monitoring and reporting program. If the Project will impact CESA listed species, early consultation is encouraged, as potential significant modification to the Project and mitigation measures may be required to obtain a CESA ITP.

CEQA requires a Mandatory Finding of Significance if the Project is likely to substantially restrict the range or reduce the population of a threatened or endangered species. (Pub. Resources Code, §§ 21001, subd. (c), 21083; CEQA Guidelines, §§ 15380, 15064, and 15065). Impacts must be avoided or mitigated to less-than-significant levels unless the CEQA Lead Agency

Conserving California's Wildlife Since 1870

Letter 5 (page 2)

Ms. Alexis Morris
City of Antioch
March 14, 2019
Page 2

makes and supports Findings of Overriding Consideration (FOC). The CEQA Lead Agency's FOC does not eliminate the Project proponent's obligation to comply with Fish and Game Code section 2080.

Lake and Streambed Alteration

CDFW requires an LSA Notification (Notification), pursuant to Fish and Game Code section 1600 et. seq., for Project activities affecting lakes or streams and associated riparian habitat. Notification is required for any activity that may substantially divert or obstruct the natural flow; change or use material from the bed, channel, or bank including associated riparian or wetland resources; or deposit or dispose of material where it may pass into a river, lake or stream. Work within ephemeral streams, washes, watercourse with a subsurface flow, and floodplains are subject to notification requirements. CDFW will consider the CEQA document of the Project and may issue an LSA Agreement. CDFW may not execute the final LSA Agreement (or ITP) until it has complied with CEQA as a Responsible Agency.

PROJECT DESCRIPTION SUMMARY

Proponent: Acorn Business Park Project

Objective: Obtain entitlements to allow for the development of the Acorn Business Park Project. The business park could include a range of uses such as hotel, commercial/retail, office, and self-storage facilities. The applicant is proposing to construct the self-storage facility upon approval of the proposed Project by the City but will seek to market the remainder of the Project for future construction by a separate developer(s).

Location: The Project site is located 0.15 miles west of State Route 160 at the northwest corner of East 18th Street and Drive-In Way in the City of Antioch, Contra Costa County, California, Assessor Parcel Number 051-052-112 and 051-052-113.

Timeframe: unknown

Description: The Project proposes to subdivide a currently undeveloped 19.75-acre site into 12 lots from the existing two parcels and construct a business park divided into 3 subsections. Subsection B, consisting of 5.44 acres, would be developed into a self-storage facility by the applicant. The remaining Subsections A and C, at 3.79 and 10.5 acres respectively, would be marketed for future construction by a separate developer(s).

COMMENTS AND RECOMMENDATIONS

CDFW offers the following comments and recommendations to assist the City in adequately identifying and/or mitigating the Project's significant, or potentially significant, direct and indirect impacts on fish and wildlife (biological) resources.

Comment 1: The draft IS/MND does not mitigate biological impacts to a level of less-than-significant.

Letter 5 (page 3)

Ms. Alexis Morris
City of Antioch
March 14, 2019
Page 3

Comment 1a: Biological Resources Assessment lacks impact analysis to Antioch Dunes-endemic species.

5-1

Designated critical habitat for three endangered species endemic to Antioch Dunes, federally-endangered Lange's metalmark butterfly (*Apodemis morma langei*), state and federally endangered Antioch Dunes evening-primrose (*Oenothera deltoids* ssp. *howellii*), and state and federally endangered Contra Costa wallflower (*Erysimum capitatum*), is located less than half a mile to the northwest of the Project site. The Biological Resource Assessment (BRA) lacks an analysis of potential occurrence on the Project site. Additionally, there are recent (2012) California Natural Diversity Database (CNDDDB) records of these species outside the designated critical habitat and within less than 0.3 miles of the Project site. Exhibit 5 of the BRA illustrates the Natural Resources Conservation Service soils map soil type of the Project site is identical to and within the same alluvia fan as the soil within the designated critical habitat and has complete connectivity and no soil type aberration from what exists within the designated critical habitat. Additional species known to occur within the habitat associated with the Antioch Dunes critical habitat include, but are not limited to, Northern California legless lizard (*Anniella pulchra*), Antioch Dunes buckwheat (*Eriogonum nudum* var. *psychicola*), Antioch Dunes anthicid beetle (*Anthicus antiochensis*), and redheaded sphecid wasp (*Eucerceris rufficeps*), all species not included in the BRA's analysis. CDFW recommends inclusion of the suite of Antioch Dunes special-status species in an updated impact analysis section in a revised draft IS/MND.

If impacts to protected species are identified and cannot be fully avoided, then CDFW recommends the Project obtain take coverage through an ITP issued by CDFW.

Comment 1b: Exclusion of recent detections of special-status plants from CNDDDB indicate a flaw with survey techniques.

5-2

The draft IS/MND impacts analysis on special-status plants is faulty in multiple ways. The analysis occurred after a one-day site visit on June 10, 2018, where linear transects, presence/absence surveys, and visual encounters were conducted. Line or 'strip' transect surveys are used for population estimate studies and monitoring plant abundance and are not appropriate for conducting a botanical inventory. Reference sites are not discussed, which is an important shortcoming given the proximity of the Antioch Dunes critical habitat and the identical soil type at the Project site. Justification for conducting the site visit during June compared to the times of year when special-status plants are in bloom and easier to detect was not provided in the draft IS/MND. A vegetation community map was not included with the BRA, and qualifications of field personnel was not discussed. Finally, there is insufficient information to verify whether the one-day site visit and surveys were performed according to CDFW's *Protocols for Surveying and Evaluating Impacts to Special-Status Native Plant Populations and Natural Communities* (2009). The CDFW protocols state the following regarding survey methodology:

"When special-status plants are known to occur in the type(s) of habitat present in the project area, observe reference sites (nearby accessible occurrences of the plants) to determine whether those species are identifiable at the time of the survey and to obtain a visual image of the target species, associated habitat, and associated natural community."

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Ms. Alexis Morris
City of Antioch
March 14, 2019
Page 4

The CDFW protocols state the following regarding negative findings:

"Adverse conditions may prevent investigators from determining the presence of, or accurately identifying, some species in potential habitat of target species. Disease, drought, predation, or herbivory may preclude the presence or identification of target species in any given year. Discuss such conditions in the report. The failure to locate a known special status plant occurrence during one field season does not constitute evidence that this plant occurrence no longer exists at this location, particularly if adverse conditions are present. For example, surveys over a number of years may be necessary if the species is an annual plant having a persistent, long-lived seed bank and is known not to germinate every year"

The lack of discussion or justification in the analysis for the exclusion of special-status plants known to occur within the vicinity of the Project is not consistent with the above statements. CDFW recommends that the special-status plant species impacts analysis in the draft IS/MND be revised to include at least one to two additional years of focused special-status plant surveys conducted according to CDFW's *Protocols for Surveying and Evaluating Impacts to Special-Status Native Plant Populations and Natural Communities* (2009), and using reference sites to verify the blooming period for species that have been known to historically occupy the Project site habitat type and those that have the potential to occur. In addition, CDFW recommends that the following botanical reporting requirements in the CDFW protocols be included in a revised draft IS/MND impacts analysis:

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- 1) A vegetation map of the Project areas using Survey of California Vegetation Classification and Mapping Standards;
- 2) Names and qualifications of botanical field surveyor(s);
- 3) Total person-hours spent conducting surveys;
- 4) An updated list of special-status plants and sensitive natural communities that includes the Antioch Dunes suite of species;
- 5) Description of reference site(s) visited and the phenological development of special-status plants at those reference sites;
- 6) Detailed data and maps for all special-status plants and sensitive natural communities detected;
- 7) A discussion of the potential for a false negative botanical field survey;
- 8) A discussion of how climatic conditions may have affected the botanical field survey results;
- 9) A discussion of how the timing of botanical field surveys may affect the comprehensiveness of botanical field surveys;
- 10) Any use of existing botanical field surveys and a discussion of their applicability to the Project;
- 11) The deposition locations of voucher specimens, if collected;
- 12) A list of references used, including persons contacted and herbaria visited;
- 13) A discussion of the significance of special-status plant populations in the Project area considering nearby populations and total range and distribution;
- 14) A discussion of the significance of sensitive natural communities in the Project area considering nearby occurrences and natural community distribution;

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- 15) A discussion of Project related direct, indirect, and cumulative impacts to special-status plants and sensitive natural communities;
- 16) A discussion of the degree and immediacy of all threats to special-status plants, and sensitive natural communities, including those from invasive species;
- 17) A discussion of the degree of impact, if any, of the Project on unoccupied, potential habitat for special-status plants;
- 18) Recommended measures to avoid, minimize, or mitigate impacts to special-status plants and sensitive natural communities.

If the draft IS/MND is not revised to include the above items, then the draft IS/MND should operate under the assumption that the entire Project site is occupied by all special-status plant species that both historically occurred on or adjacent to the site and with the potential to occur on-site.

Comment 1c: Draft IS/MND does not mitigate for impacts to burrowing owl and Swainson's hawk habitats to a level of less-than-significant.

5-3

The draft IS/MND recognizes that burrowing owl and Swainson's hawks have the potential to occur within the vicinity of the proposed Project. The Project has the potential to adversely impact both species through permanent and temporary losses of nesting and foraging habitat. The Project may also result in additional impacts to burrowing owl through nest abandonment, loss of young and reduced health and vigor of chicks (resulting in reduced survival rates) and breeding and foraging disturbance through Project activities. To ensure these impacts are mitigated to a level of less-than-significant, CDFW recommends the draft IS/MND require compensatory mitigation for loss of habitats through specifying compensatory mitigation for loss of habitats at a minimum of a 1:1 mitigation ratio (conservation to loss) for permanent impacts to Swainson's hawk foraging habitat, a 3:1 ratio for permanent impacts to burrowing owl habitats, and a 1:1 ratio for temporary impacts. Conservation lands should be placed under a conservation easement with CDFW listed as a third-party beneficiary and an endowment should be funded for managing the lands for the benefit of the conserved species in perpetuity. Additionally, a long-term management plan should be prepared and implemented by a land manager. The Grantee of the conservation easement should be an entity that has gone through the due diligence process for approval by CDFW to hold or manage conservation lands.

In addition, protocol level surveys and nest buffers for Swainson's hawk nests should be required to avoid Project impacts. To achieve this, the following mitigation measure should be incorporated into the draft IS/MND:

"Pre-Construction Surveys for Swainson's Hawk: If Project Activities are to be conducted between March 1 and July 31, a focused survey for active Swainson's hawk nests shall be conducted by a Qualified Biologist within seven (7) days prior to the beginning of Project Activities. If a lapse in Project Activities of seven (7) days or longer occurs, another focused survey shall be performed, and the results sent to CDFW prior to resuming work. The following criteria for shall be met:

- *Surveys shall be conducted in proposed work areas, staging, and storage areas.*

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- Surveys shall be conducted within 0.5-mile of the Project Site.
- Nest surveys for Swainson's hawks shall be conducted in a manner consistent with the recommended timing and Methodology for Swainson's Hawk Nesting Surveys in California's Central Valley. For more information, see <https://nrm.dfg.ca.gov/FileHandler.ashx?DocumentID=83990&inline> located at <https://www.wildlife.ca.gov/Conservation/Survey-Protocols#377281284-birds>

If an active nest is identified, a 0.5-mile buffer in non-urban settings or a 0.25-mile buffer in urban settings shall be maintained around the nest until the young fledge. If any active Swainson's hawk nests are found within 0.5 miles of the Project site, CDFW shall immediately be contacted and additional measures may be required for Project activities"

The draft IS/MND does not offer compensatory mitigation for the "future" construction of Subsection A or Subsection C with the rationale that these are proposed to be constructed at a future date with yet-to-be-determined developers. To reduce potentially significant impacts from these phases of the Project, CDFW recommends the draft IS/MND specify that compensatory mitigation for special-status species' habitats shall be required using the above mitigation ratios through land lease or purchase, permitting, or other actionable item by the Lead Agency.

Comment 1d: Mitigation Measure BIO-1 insufficient to mitigate impacts to nesting bird to less-than-significant

The Project may adversely impact nesting birds through direct take by development, and indirect take by resulting in nest abandonment, loss of young and reduced health and vigor of chicks (resulting in reduced survival rates), temporary loss of nesting habitat, and breeding and foraging disturbance through Project activities. To ensure impacts to nesting birds are mitigated to a level of less-than-significant, CDFW recommends that Mitigation Measure BIO-1 be revised to include the addition of the following specific and enforceable mitigation measure in the event nesting birds are detected:

"Nesting Bird Assessment and Avoidance: Prior to the initiation of construction, including ground disturbing activities scheduled to occur between February 1 and September 1, a Qualified Biologist shall conduct a habitat assessment and nesting survey for nesting bird species no more than five (5) days prior to the initiation of work. Surveys shall encompass all potential habitats (e.g., grasslands and tree cavities) within 250 feet of the Project site. The Qualified Biologist conducting the surveys shall be familiar with the breeding behaviors and nest structures for birds known to nest in the Project site. Surveys shall be conducted during periods of peak activity (early morning, dusk) and shall be of sufficient duration to observe movement patterns. Survey results, including a description of timing, duration and methods used, shall be submitted to CDFW for review forty-eight hours prior to the initiation of the Project. If a lapse in Project activity of seven days (7) or more occurs, the survey shall be repeated and no work shall proceed until the results have been submitted to CDFW.

If nesting birds are found, then no work shall be initiated until species-specific buffers have been established in consultation with CDFW. The buffer area(s) shall be fenced off from work activities and avoided until the young have fledged, as determined by the Qualified

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Biologist. Active nests found inside the limits of species-specific buffer zones or nests within the vicinity of the Project site showing signs of distress from Project activity as determined by the Qualified Biologist shall be monitored daily during the duration of the Project for changes in bird behavior. Buffer areas of active nests within the vicinity of the Project site showing signs of distress or disruptions to nesting behaviors from Project activity, as determined by the Qualified Biologist, shall have their buffers immediately adjusted by the Qualified Biologist until no further interruptions to breeding behavior are detectable.

The Permittee or representatives of the Permittee shall not disturb or destroy the nests or eggs of fully protected species or of other birds as per Fish and Game Code Section 3503."

Comment 2: CDFW recommends additional mitigation measures be included in draft IS/MND.

CDFW also recommends the following avoidance and minimization measures to be included in the draft IS/MND:

"Open Pipes Restriction: All pipes, culverts, or similar structures that are stored at the construction site (either vertically or horizontally) for one or more overnight periods will be securely capped on both ends prior to storage and thoroughly inspected for wildlife prior to implementation by a Qualified Biologist.

Fence and Sign Post Restriction: Any fencing posts or signs installed, temporarily or permanently, throughout the course of the Project shall have the top three post holes covered or filled with screws or bolts to prevent the entrapment of wildlife, specifically birds of prey.

Water Pollution: Permittee and all contractors shall be subject to the water pollution regulations found in Fish and Game Code Sections 5650 and 12015.

Spill Contingency Plan Required: Permittee shall submit for approval an oil/toxic materials spill contingency plan to CDFW prior to commencement of operations. The plan shall identify the location of containment and abatement materials on-site and the notification and cleanup procedures to be followed by Permittee in the event of a spill.

Spill Cleanup: Permittee shall begin the cleanup of all spills immediately. CDFW shall be notified immediately by the Permittee of any spills and shall be consulted regarding cleanup procedures. The Permittee shall have all spill clean-up equipment on-site during construction."

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ENVIRONMENTAL DATA

CEQA requires that information developed in environmental impact reports and negative declarations be incorporated into a database which may be used to make subsequent or supplemental environmental determinations [Pub. Resources Code, § 21003, subd. (e)]. Accordingly, please report any special-status species and natural communities detected during

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Project surveys to the CNDDDB following the protocol outlined at <https://www.wildlife.ca.gov/Data/CNDDDB/Submitting-Data>. The completed form can be submitted online, or emailed to CNDDDB at the following email address: cnddb@wildlife.ca.gov. The types of information reported to CNDDDB can be found at the following link: <https://www.wildlife.ca.gov/Data/CNDDDB/Plants-and-Animals>

CONCLUSION

To ensure significant impacts are adequately mitigated to a level less-than-significant, CDFW recommends the revisions to mitigation measures, described above, be incorporated as enforceable conditions into the revised draft IS/MND. CDFW appreciates the opportunity to comment on the draft IS/MND to assist the City in identifying and mitigating Project impacts on biological resources.

Questions regarding this letter or further coordination should be directed to Ms. Jeanette Griffin, Environmental Scientist, at (209) 234-3447 or Jeanette.Griffin@wildlife.ca.gov; or Ms. Melissa Farinha, Senior Environmental Scientist (Supervisory), at (707) 944-5579.

Sincerely,



Gregg Erickson
Regional Manager
Bay Delta Region

ec: State Clearinghouse

Letter 5: Response to Comment from Gregg Erickson, California Department of Fish and Wildlife

Response 5-1

The commenter states the Biological Resources Assessment lacks impact analysis to Antioch Dunes-endemic species. The commenter states that if impacts to protected species are identified and cannot be fully avoided, then recommends the Project obtain take coverage through an Incidental Take Permit issued by CDFW.

Although the project site contains suitable soil (alluvia fan) conditions known to support Antioch Dunes evening-primrose and Contra Costa wallflower, the existing conditions of the site do not support these species based on numerous factors. Review of historical aerial imagery shows the site consisted of agricultural fields (and the surrounding properties) in 1939 and has since been routinely disturbed by disking or tilling since 2002. In 2007 the site was completely graded, and this frequent disturbance has promoted high populations of non-native plant species, primarily non-native grasses. This frequent disturbance and prolonged growth of non-natives grasses have likely led to reduced available habitat for native species, including Antioch Dunes evening-primrose and Contra Costa wallflower. As discussed in the BRA, the site was visited multiple times, walking the entire property and on the April 2019 site visit, the site was recently disked. During these site visits, no special-status plant species were observed, which is likely attributed to frequent disturbances.

Designated critical habitat for both species does occur in close proximity; however, the critical habitat is located along the confluence of the San Joaquin River and Suisan Bay. The project site is located ~1 mile inland, with no habitat connectivity for Antioch Dunes evening-primrose or Contra Costa wallflower. The project is surrounded by residential and commercial properties with no natural habitat communities. Based on habitat requirements provided by online databases including CDFW California Native Diversity Database (CNDDDB) and California native plant society (CNPS), suitable habitat for Antioch Dunes evening primrose is described as “remnant river bluffs and sand dunes east of Antioch and interior dunes.” CNDDDB indicates suitable habitat as “stabilized dunes of sand and clay near Antioch along the San Joaquin River and interior dunes.” According to the BRA, seaside heliotrope (*Heliotropium heliotrope*) was the only species observed that occurs within dune habitat, while all other species consisted of non-native and invasive vegetation typically associated with annual grassland habitat.

Based on review of available online resources, historical aerial imagery and existing conditions, the project site does not support Antioch Dune evening-primrose, Contra Costa wallflower or any other special-status species associated with Antioch Dune habitat. Although soil types in the Project are associated with suitable habitat, frequent historical and recent disturbances have likely contributed to the absence of these species.

Response 5-2

The commenter states the exclusion of recent detections of special-status plants from the California Natural Diversity Database (CNDDDB) indicates a flaw with survey techniques.

Review of online databases including CNDDDB and CNPS was performed to determine the likelihood of occurrences for Antioch Dunes evening-primrose, Contra Costa wallflower, and Lange’s metalmark butterfly, based on suitable site conditions and historical occurrences in proximity to the Project site. Numerous historical and recent observations for Antioch Dunes evening primrose occur within the vicinity of the Project; however, all of the recent occurrences are located within the Antioch Dunes National Wildlife Refuge and Antioch/Oakley Regional Shoreline (Calflora 2019). All other occurrences that are located inland are historical records prior to 1990. According to CNDDDB, the nearest occurrence record (Occurrence No. 3) was initially reported in 1978 as one plant being observed and was updated in

2011 with no plants being observed. This occurrence record also indicates the exact location mapped as unknown, and the mapped location is a best guess by CNDDDB; therefore, it's difficult to determine its exact proximity to the project site.

For Contra Costa wallflower, CNDDDB does not show any occurrence records beyond the shoreline of the San Joaquin River. CNPS indicates two occurrences for Contra Costa wallflower located further inland recorded in 1933 and 1935. Similar to Antioch Dunes evening-primrose, historical and existing site conditions do not support populations of Contra Costa wallflower, even if the soil type is consistent with suitable habitat.

Lange's metalmark butterfly inhabits stabilized dunes along the San Joaquin River and its primary host plant is naked buckwheat (*Eriogonum nudum* var. *auriculatum*) but is also known to feed on nectar of other wildflowers. Based on existing conditions of the site and observed vegetation, the site does not support the host plant (naked buckwheat) and contains minimal wildflowers (observed species consisted primarily of non-native grasses). Stantec received suppressed CNDDDB occurrence records from CDFW for Lange's metalmark butterfly. Results show the nearest occurrence is located 1.5 miles from the project site, within the USFWS Antioch Dunes National Wildlife Refuge.

The USFWS Recovery Plan for this species indicates dispersal for males is less than 30 meters from perches, while females may travel up to 400 meters and both male and female prefer buckwheat flowers as perches and as a nectar source. Based on CNPS occurrence records for naked buckwheat, the project site is approximately two miles from the nearest recorded observations of naked buckwheat (occurrence dated 2015). Furthermore, based on available resources and information, Lange's metalmark butterfly only occurs within its designated USFWS critical habitat and will not be impacted by the proposed project.

Response 5-3

The commenter states the Draft ISMND does not mitigate for impacts to burrowing owl and Swainson's hawk habitats to a level of less-than-significant. Responses to each of these species are provided separately below.

Burrowing owl: This species is a California species of special concern and typically associated with short-grass prairies, grasslands, lowland scrub, agricultural lands, coastal dunes, and desert floors. There were no California ground squirrels observed onsite. Although, two small burrows were observed along the eastern boundary of the property, there were no indication the burrows were utilized by burrowing owls. The burrows were located immediately adjacent to the cemented sidewalk along Drive In Way which is not a suitable burrowing location for the species. Additionally, there were no wildlife signs that indicated burrowing owl activity (i.e., white wash, prey items, berm slopes). Moreover, due to the frequent use of OHV recreational activity (i.e., motorcycles and quad vehicles) observed while onsite the likelihood for this species to occur on the project site is unlikely. The project site is frequently used by the local residents for recreational activities (i.e., motorcycles and quad vehicles). As such, the project does not anticipate impacts to burrowing owl or its habitat; therefore, no compensatory mitigation is proposed.

Swainson's hawk: This species protected under the Migratory Bird Treaty Act (MBTA) and is listed as Threatened by the State. Swainson's hawk are present in California during the breeding season (March through September) and winter in South America and Mexico. The species breeds in grasslands with scattered trees, juniper-sage flats, riparian areas, savannahs, agricultural and ranch land, and fallow fields. Foraging typically occurs in grasslands, or alfalfa or grain fields that support rodent populations (Bechard et al. 2010). During the on-site surveys, a single Swainson's hawk was observed flying and foraging overhead near the project site but not within the project site. Although it's possible Swainson's hawks could use the project site as foraging, the site consists of ruderal vegetation that has minimal potential to support a high abundance of rodent populations and provides marginal foraging habitat for this species due to frequent disturbance that occurs. The project site contains no trees that could be potential



ATTACHMENT “B”

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ANTIOCH TO REZONE 19.75 ACRES TO PLANNED DEVELOPMENT DISTRICT (PD-18-02) FOR THE ACORN BUSINESS PARK PROJECT (APNs 051-052-112, and 051-052-113)

The City Council of the City of Antioch does ordain as follows:

SECTION 1: The City Council determined on May 28, 2019, pursuant to Section 15070 of the Guidelines of the California Environmental Quality Act, that the appropriate environmental document for the project is an Initial Study, Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program.

SECTION 2: At its regular meeting of May 15, 2019, the Planning Commission recommended that the City Council approve the resolution adopting the Initial Study/Mitigated Negative Declaration, Mitigation Monitoring and Reporting Program and Errata for the proposed project and recommended that the City Council adopt the ordinance to rezone the subject property to Planned Development District (PD-18-02) for the Acorn Business Park Project.

SECTION 3: At its regular meeting of May 28, 2019, the City Council approved the resolution adopting the Initial Study/Mitigated Negative Declaration, Mitigation Monitoring and Reporting Program and Errata for the proposed project.

SECTION 4: The real property described in Exhibit A, attached hereto, is hereby rezoned to Planned Development District (PD-18-02) for the Acorn Business Park Project.

SECTION 5: The development standards, as defined below, for the subject property (APNs 051-052-112, and -051-052-113), known as the Acorn Business Park Project, are herein incorporated into this ordinance, and are binding upon said property.

Development Standards for the Acorn Business Park Planned Development District (PD-18-02)

Development Standards for the Acorn Business Park Planned Development District	PD Zoning Standards for Subsection A (Commercial)	PD Zoning Standards for Subsection B (Self-Storage)	PD Zoning Standards for Subsection C (Light Industrial Business Park)
Maximum Building Height	70'	Storage Buildings 18' ; Storage Office 40' ; Cell Towers 50'	50'
Minimum Lot Size	20,000 SF	20,000 SF	20,000 SF
Maximum Lot Coverage	40%	65%	50%

Development Standards for the Acorn Business Park Planned Development District	PD Zoning Standards for Subsection A (Commercial)	PD Zoning Standards for Subsection B (Self-Storage)	PD Zoning Standards for Subsection C (Light Industrial Business Park)
Minimum Lot Width	Lots shall conform to the Vesting Tentative Subdivision Map submitted to the Community Development Department and dated September 14, 2018	Lots shall conform to the Vesting Tentative Subdivision Map submitted to the Community Development Department and dated September 14, 2018	Lots shall conform to the Vesting Tentative Subdivision Map submitted to the Community Development Department and dated September 14, 2018
Minimum Front/Street Side Setbacks	30' along E. 18 th St.	30' along E. 18 th St.; 20' along Drive-In Way	20' along Drive-In Way and Sakurai Street
Minimum Interior Side Yard Setbacks	<u>0'</u>	<u>0'</u>	<u>0'</u>
Minimum Rear Yard Setbacks	<u>10'</u>	<u>0'</u>	<u>0'</u>
Parking and Driveways	Parking provided per approved Final Development Plan or subsequent use permit requirements	Parking provided per approved Final Development Plan.	Parking provided per approved Final Development Plan or subsequent use permit requirements.
Driveway/Drive Aisle Width	Driveway 36' max; Drive Aisle 26' min. Ultimate driveway width subject to City Engineer Approval	Driveways 36' max; Drive Aisles 25' min. Ultimate driveway width subject to City Engineer Approval	36' max; Drive Aisles 26' min. Ultimate driveway width subject to City Engineer Approval
Landscape Requirements	Project landscaping shall be consistent with the Acorn Business Park Landscape Plan submitted to the Community Development Department on September 14, 2018	Project landscaping shall be consistent with the Acorn Business Park Landscape Plan submitted to the Community Development Department on September 14, 2018	Project landscaping shall be consistent with the Acorn Business Park Landscape Plan submitted to the Community Development Department on September 14, 2018

SECTION 6: The allowed uses, as defined below, for the subject property (APNs 051-052-112 and 051-052-113), known as the Acorn Business Park Project, are herein incorporated into this ordinance, and are binding upon said property.

Similar Use Determination. Additional uses not specifically listed in the following table maybe be allowed where the Community Development Director determines a proposed use is substantially similar to a listed use. Such use would be subject to any reviews and limitations noted herein for the listed use that is identified as similar.

**Allowed Uses for the Acorn Business Park Commercial Sub-Section A Planned
Development District (PD-18-02)**

Allowed Uses		Notes
Merchandise and/or General Retail Sales	Allowed	Broadly includes merchandise and general retail except as otherwise defined herein.
Supermarkets or Grocery	Allowed	Supermarkets and groceries over 5,000 s.f. allowed to have alcohol sales by right
Convenience Store	Allowed	Limited to one store as a permitted use within the project. Any additional convenience store must apply for a conditional use permit. Convenience store defined as a store less than 5,000 s.f. that sells primarily packaged food, household, and personal convenience items. Alcohol sales require a conditional use permit.
Pet supply stores with ancillary uses such as grooming services	Allowed	
Liquor Stores	CUP	Liquor Stores including by way of example, but not limited to, establishments that sell primarily beer, wine, or distilled spirits. No more than one liquor store is allowed within the center.
Cannabis Uses	CUP	All uses allowed in the Antioch Cannabis Overlay District per the Antioch Municipal Code and adopted Cannabis Guidelines
Restaurants (with or without liquor sales)	Allowed	Including, but not limited to: full-service sit-down restaurant establishments; take-out only establishments; delis; and, fast-food with no drive-through.
Bar, sports bar, lounge, nightclub and similar establishments	CUP	No more than one type of on-site sale of beer, wine, or distilled spirits establishment, including establishments which offer food as a secondary use, live entertainment and/or dancing.
Tasting room – beer, wine, distilled spirits	CUP	No more than one of each type (beer, wine, distilled spirits). Serving space may not exceed 30% of total square footage of business with limitation on hours of operation as determined appropriate during CUP review.
Indoor entertainment and recreation	Allowed	Indoor entertainment and recreation facilities such as video arcades, trampoline parks, batting cages and similar uses as approved by the Community Development Director.
Health clubs and fitness studios	Allowed	Ancillary outdoor facilities such as swimming pools or tennis courts require approval of a conditional use permit.
Clubs/Lodges/Cultural Institutions	CUP	Subject to analysis of site access, internal circulation, noise and other issues as identified by the City.
Commercial uses which manufacture and sell their primary product on the premises	Allowed	Uses include, but are not limited to, jewelry, bakeries, coffee roaster, ice cream

Commercial and personal services	Allowed	Broadly includes personal services such as hair salons and day spas and professional offices such as title companies, real estate offices, tutoring centers that provide services to the general public or to other businesses and that do not have the potential to generate noise, odors, fumes or hazards that could adversely impact surrounding uses.
Professional Office	Allowed	Including but not limited to business, institutional, administrative, financial, professional and governmental offices, public and quasi-public offices.
Acute Care/Rehabilitation Care/Psychiatric Care/other general medical care providers and offices	Allowed	
Pet Grooming and Veterinary Clinics	Allowed	Overnight boarding of pets requires an administrative use permit
Childcare/Daycare	CUP	Childcare/daycare smaller than 3,000 SF are allowed by right. Uses larger than 3,000 SF require a use permit approval supported by analysis of site access, internal circulation, noise and other potential impacts identified by the Community Development Director.
Wholesale showrooms and distribution centers	Allowed	Includes the sale of furniture, appliances and similar bulk retail as approved by the Community Development Director.
Medical/Dental/Optical Laboratories	Allowed	
Hotel	Allowed	Includes hotel as well as auxiliary uses and services to hotel such as a hotel bar, restaurant or conference room. Maximum number of rooms shall be determined by the ability to meet the parking requirements for hotels outlined in the Antioch Municipal Code.
Tobacco and Paraphernalia Retailer	Not allowed except as follows	Retail businesses larger than 5,000 square feet may sell tobacco where less than 5% of their sales area devoted to tobacco products.
Check cashing facilities, pawnshops and second-hand sales	CUP	Shall be limited to one such facility within the project. Second-hand sales that do not accept donations on site shall be considered an allowed use.
Outdoor display, dining, and/or sale of merchandise	Allowed with Administrative Use Permit	Outdoor display, dining, and/or sales areas are permitted as ancillary uses to existing tenants or as seasonal events not associated with a tenant, such as Christmas tree lots and pumpkin patches. These uses shall be subject to administrative use permit approval by the Zoning Administrator.
Drive Up Windows for all types of uses (i.e. restaurant, bank, etc.)	CUP	Any drive-through would require amendment of the project approvals per the requirements of § 9-5.2311 and use permit approval, supported by analysis of site access, internal circulation, noise and other potential impacts as identified by the Community Development Department.
Cell Towers	CUP	Subject to the requirements set forth in the Antioch Municipal Code.

Temporary parking lot display and/or sale areas	AUP	Are permitted as ancillary uses to existing tenants. These uses shall be subject to administrative use permit approval by the Zoning Administrator.
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**Allowed Uses for the Acorn Business Park Self-Storage Facility Sub-Section B
Planned Development District (PD-18-02)**

Allowed Uses		Notes
Self-Storage	Allowed	Maximum of 1,025 units allowed. Maximum building square footage of 121,981 square feet as depicted on the project plans submitted to the City of Antioch on September 14, 2018. Includes ancillary sales and truck rentals for self-storage customers. Trucks for rent must be parked in approved parking spaces on the interior of the site.
Solar Energy Generation	Allowed	Rooftop solar on self-storage building rooftops. Ground mounted solar is not allowed.
RV Parking	AUP	Utilization of the site for temporary RV parking during the phased construction of the self-storage facility.
Cell Towers	CUP	Subject to the requirements set forth in the Antioch Municipal Code. Maximum height allowed of 50 feet.

**Allowed Uses for the Acorn Business Park Light Industrial Business Park Sub-
Section C Planned Development District (PD-18-02)**

Allowed Uses		Notes
Commissary	Allowed	Commissary uses related to the operation of commercial kitchens and food trucks.
Food and Beverage production	Allowed	Tasting rooms are allowed provided they are ancillary to the production of food and beverages.
Indoor entertainment and recreation	Allowed	Indoor entertainment and recreation facilities such as video arcades, trampoline parks, batting cages, athletic training facilities and similar uses as approved by the Community Development Director. Any outdoor component shall require approval of a conditional use permit.
Health clubs and fitness studios	Allowed	Ancillary outdoor facilities such as swimming pools or tennis courts require approval of a conditional use permit.
Professional Office	Allowed	Including but not limited to business, institutional, administrative, financial, professional and governmental offices, public and quasi-public offices. Professional offices that require the storage of fleet vehicles that leave the site daily such as maid services, ambulance services or repair services shall be considered an allowed use.

Acute Care/Rehabilitation Care/Psychiatric Care/other general medical care providers and offices	Allowed	
Pet Grooming and Veterinary Clinics	Allowed	Such uses must be confined to interior of the building.
Warehousing, distribution and storage	Allowed	Consists of the warehousing and storage of goods and materials for the purpose of distribution. All storage must occur within a building. Self-storage and automotive storage are not allowed.
Light Manufacturing – Production and Assembly	Allowed	Including but not limited to cabinetry, countertop, and furniture fabrication shops. All such uses must occur within a building.
Research and development facilities	Allowed	
Wholesale showrooms and distribution centers	Allowed	Includes the sale of furniture, appliances and similar bulk retail as approved by the Community Development Director.
Medical/Dental/Optical Laboratories	Allowed	
Cannabis Uses	CUP	All uses allowed in the Antioch Cannabis Overlay District per the Antioch Municipal Code and adopted Cannabis Guidelines
Cell Towers	CUP	Subject to the requirements set forth in the Antioch Municipal Code.
Outdoor storage	AUP	Outdoor storage of equipment and materials shall be subject to administrative use permit approval by the Zoning Administrator.
Temporary parking lot display and/or sale areas	AUP	Are permitted as ancillary uses to existing tenants. These uses shall be subject to administrative use permit approval by the Zoning Administrator.

Allowed: Allowed by right, subject to limitations as noted

CUP: Allowed subject to approval of a Conditional Use Permit

AUP: Allowed subject to approval of an Administrative Use Permit

SECTION 7: The City Council finds that the public necessity requires the proposed zone change, that the subject property is suitable to the use permitted in the proposed zone change, that said permitted use is not detrimental to the surrounding property, and that the proposed zone change is in conformance with the Antioch General Plan.

SECTION 8: This ordinance shall take effect and be enforced thirty (30) days from and after the date of its adoption and shall be published once within fifteen (15) days upon passage and adoption in a newspaper of general circulation printed and published in the City of Antioch.

* * * * *

I HEREBY CERTIFY that the foregoing ordinance was introduced and adopted at a regular meeting of the City Council of the City of Antioch, held on the 28th day of May, and passed and adopted at a regular meeting thereof, held on the ____ day of _____, by the following vote:

AYES:

NOES:

ABSENT:

Sean Wright, Mayor of the City of Antioch

ATTEST:

Arne Simonsen, CMC
City Clerk of the City of Antioch

EXHIBIT A

LEGAL DESCRIPTION

The land referred to is situated in the County of Contra Costa, City of Antioch, State of California, and is described as follows:

The land referred to is situated in the State of California, in the County of Contra Costa, City of Antioch and in an unincorporated area of the County of Contra Costa, and is described as follows:

PARCEL ONE:

A portion of Parcel A and a portion of Parcel B as shown on the Record of Survey, filed May 3, 1967, in [Book 47 of Licensed Surveyors Maps, Page 50](#), Contra Costa County Records, shown as Parcel Two on that certain Lot Line Adjustment approved by the City of Antioch, recorded on April 6, 2007 in Official Records, under Recorder's Serial Number [2007-100573](#), more particularly described as follows:

Beginning at a point on the West line of Parcel A (47 LSM 50) that bears South 00° 01' 36" West 597.02 feet from the Northwest corner thereof; thence leaving last said West line of Parcel A, North 90° 00' 00" East 707.10 feet to the beginning of a curve concave to the Northwest and having a radius of 20.00 feet; thence Easterly 8.29 feet along said curve through a central angle of 23° 45' 29" to the beginning of a reverse curve concave to the Southwest and having a radius of 98.00 feet; thence Northerly, Easterly and Southerly 235.26 feet along said curve through a central angle of 137° 32' 34" to the beginning of a reverse curve concave to the East and having a radius of 20.00 feet; thence Southerly and Westerly 8.29 feet along said curve through a central angle of 23° 45' 29"; thence South 00° 01' 36" West 153.40 feet to a point on the exterior boundary line of said Parcel A (47 LSM 50); thence along the exterior boundary line of last said Parcel A, South 50° 35' 31" West 44.02 feet; thence South 00° 01' 36" West 536.11 feet; thence South 34° 58' 35" West 62.54 feet to the beginning of a curve concave to the Northwest and having a radius of 466.00 feet, a radial line to the beginning of said curve bears South 84° 53' 57" East; thence Southwesterly 69.12 feet along said curve through a central angle of 8° 29' 55" to the beginning of a reverse curve concave to the Southeast and having a radius of 534.00 feet; thence Southerly 126.50 feet along said curve through a central angle of 13° 34' 22"; thence South 00° 01' 36" West 56.80 feet to the beginning of a curve concave to the Northwest and having a radius of 20 feet; thence Southerly and Westerly 31.11 feet along said curve through a central angle of 89° 08' 16", thence South 01° 59' 45" West 2.43 feet to a point on the Northerly right of way line of East 18th Street; thence along last said right of way line South 88° 25' 31" West 122.73 feet; thence leaving last said right of way line North 00° 00' 00" East 210.89 feet; thence South 89° 09' 10" West 200.00 feet; thence South 00° 00' 00" West 213.43 feet to a point on the Northerly right of way line of East 18th Street; thence South 88° 25' 31" West 404.47 feet to the West line of Parcel A (47 LSM 50); thence along last said West line of Parcel A, North 00° 01' 36" East 1196.94 feet to the Point of Beginning.

EXCEPTING THEREFROM :

Mineral rights reserved in the Deed from William E. Moore, et ux, recorded January 20, 1971, in [Book 6299, in Official Records, Page 157](#), as follows:

"All minerals and mineral rights and all hydrocarbons and rights to hydrocarbons 500 feet beneath the surface of the land without right of surface access thereto from the lands covered by this conveyance."

Being APN: 051-052-113

PARCEL TWO:

Parcel C, as shown on the Record of Survey, filed May 3, 1967, in [Book 47 of Licensed Surveyors Maps, Page 50](#), Contra Costa County Records.

EXCEPTING THEREFROM:

Mineral rights reserved in the Deed from William E. Moore, et ux, recorded January, 20, 1971, in [Book 6299, in Official Records, Page 157](#), as follows:

"All minerals and mineral rights and all hydrocarbons and rights to hydrocarbons 500 feet beneath the surface of the land without right of surface access thereto from the lands covered by this conveyance."

APN: 051-052-112

ATTACHMENT “C”

RESOLUTION NO. 2019/**

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ANTIOCH APPROVING A VESTING TENTATIVE MAP (PW-357-301-19), FINAL DEVELOPMENT PLAN (PD-18-02), USE PERMIT FOR SUBSECTION B (UP-18-09), AND DESIGN REVIEW (AR-18-09) FOR THE ACORN BUSINESS PARK PROJECT

WHEREAS, the City received an application from Jim Moita, for approval of an Initial Study / Mitigated Negative Declaration, a rezone to Planned Development District, a Final Development Plan/Vesting Tentative Map, Use Permit for Subsection B, and Design Review for Subsection B for the development of a business park consisting of commercial, self-storage, and light industrial uses on 19.75 acres (**PD-18-02, UP-18-09, AR-18-09, PW-357-301-19**).

WHEREAS, the project site is located directly northwest of the intersection of East Eighteenth Street and Drive-in Way (APNs 051-052-112 and 051-052-113);

WHEREAS, an Initial Study / Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program and Errata was prepared in accordance with the California Environmental Quality Act (CEQA) Guidelines Section 15070, and considered by the Planning Commission on May 15, 2019;

WHEREAS, on May 15, 2019, the Planning Commission held a duly noticed public hearing and recommended adoption of the Initial Study / Mitigated Negative Declaration, Mitigation Monitoring and Reporting Program and Errata to the City Council;

WHEREAS, on May 15, 2019, the Planning Commission held a duly noticed public hearing and recommended approval of a rezone to Planned Development District (PD-18-02) to the City Council;

WHEREAS, the City Council duly gave notice of public hearing as required by law;

WHEREAS, on May 28, 2019, the City Council duly held a public hearing on the matter, and received and considered evidence, both oral and documentary;

WHEREAS, on May 28, 2019, the City Council duly held a public hearing on the matter, and received and considered evidence, both oral and documentary, and adopted the mitigated negative declaration, MMRP and Errata; and

WHEREAS, on May 28, 2019, the City Council introduced an ordinance to rezone the subject property to Planned Development District (PD-18-02).

NOW THEREFORE IT BE RESOLVED that the City Council does hereby make the following findings for approval of a Vesting Tentative Map:

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1. That the subdivision, design and improvements are consistent with the General Plan, as required by Section 66473.5 of the Subdivision Map Act and the City's Subdivision Regulations. The site is designated Regional Commercial and Business Park in the General Plan and the subdivision will accommodate uses that are consistent with the General Plan on each of the lots created by the subdivision; and,
2. That the subdivision proposed by the Vesting Tentative Parcel Map complies with the rules, regulations, standards and criteria of the City's Subdivision Regulations. The proposed subdivision meets the City's criteria for the parcel map. The City's Planning and Engineering staff have reviewed the Vesting Tentative Map and evaluated the effects of the subdivision proposed and have determined that the Vesting Tentative Map complies with and conforms to all the applicable rules, regulations, standards, and criteria of the City's Subdivision Regulations.
3. The Project's conditions of approval protect the public safety, health and general welfare of the users of the project and surrounding area. In addition, the conditions ensure the project is consistent with all applicable City standards.

BE IT FURTHER RESOLVED, that the City Council makes the following findings for approval of a Final Development Plan:

1. Each individual unit of the development can exist as an independent unit capable of creating an environment of sustained desirability and stability, and the uses proposed will not be detrimental to present or potential surrounding uses but instead will have a beneficial effect which could not be achieved under another zoning district;
2. The streets and thoroughfares proposed meet the standards of the City's Growth Management Program and adequate utility service can be supplied to all phases of the development because the project will be constructing all the required streets and utilities to serve the project. The Project will be required to pay for all improvements to the site as well as its fair share of impacts to all public services. The project has been reviewed and no significant impacts on utilities or services has been identified;
3. The commercial components of the Project are justified economically at the location proposed;
4. There are no residential components of the project;

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5. The industrial component conforms to applicable desirable standards and will constitute an efficient, well organized development with adequate provisions for truck access and necessary storage and will not adversely affect adjacent or surrounding development;
6. Any deviation from the standard zoning requirements is warranted by the design and additional amenities incorporated in the final development plan which offer certain unusual redeeming features to compensate for any deviations that may be permitted. The project is substantially in conformance with zoning requirements for commercial and light industrial development and the Planned Development District development standards established for the project site;
7. The area surrounding the P-D District can be planned and zoned in coordination and substantial compatibility with the proposed development; because the proposed development is surrounded by properties developed with commercial uses that are consistent with the proposed project and the undeveloped area around the Project will also be required to develop according to the General Plan policies;
8. The Project and the PD District conform to the General Plan of the City in that the commercial, self-storage and light industrial uses are consistent with the General Plan designation and policies of Regional Commercial and Business Park established for the project site.

BE IT FURTHER RESOLVED, that the City Council does hereby make the following findings for approval of a use permit for Subsection B of the final development plan:

1. The granting of such use permit will not be detrimental to the public health or welfare or injurious to the property or improvements in such zone or vicinity because the project has been designed to comply with the City of Antioch Municipal Code requirements.
2. The use applied at the location indicated is properly one for which a use permit is authorized because the City of Antioch Zoning Ordinance requires a use permit for all Planned Development District (PD) applications.
3. That the site for the proposed use is adequate in size and shape to accommodate such use, and all yards, fences, parking, loading, landscaping, and other features required, to other uses in the neighborhood. The site plan complies with the Planned Development standards established for the project's Planned Development District.

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4. That the site abuts streets adequate in width and pavement type to carry the kind of traffic generated by the proposed use. The project site is located at the intersection of East Eighteenth Street and Drive-In Way. Both streets are adequate in width and pavement type to carry the traffic generated by the proposed use.
5. That the granting of such use permit will not adversely affect the comprehensive General Plan because the proposed uses are consistent with the General Plan designations of Regional Commercial and Business Park.
6. The Conditions of approval protect the public safety, health and general welfare of the users of the project and surrounding area. In addition, the conditions ensure the project is consistent with City standards.

BE IT FURTHER RESOLVED that the City Council of the City of Antioch does hereby **APPROVE** a Vesting Tentative Map, Final Development Plan, Use Permit, and Design Review for the development of a business park consisting of commercial, self-storage, and light industrial uses on 19.75 acres (PD-18-02, UP-18-09, AR-18-09, PW-357-301-19). The project site is located directly northwest of the intersection of East 18th Street and Drive-in Way (APNs 051-052-112 and 051-052-113) subject to the following conditions:

A. GENERAL CONDITIONS

1. This approval expires two years from the date of approval by the City Council (May 28, 2021), unless a building permit has been issued and construction has diligently commenced thereon and has not expired, or an extension has been approved by the Zoning Administrator. Requests for extensions must be received in writing with the appropriate fees prior to the expiration of this approval. No more than one one-year extension shall be granted.
2. The development and all proposed improvements shall comply with the City of Antioch Municipal Code and City Standards, unless a specific exception is granted thereto or approved by the City Engineer.
3. All required easements or rights-of-way shall be obtained by the applicant at no cost to the City of Antioch. Advance permission shall be obtained from any property or easement holders for any work done within such property or easements.
4. City staff shall inspect the site for compliance with conditions of approval prior to final inspection approval.

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5. The applicant shall obtain an encroachment permit for all work to be done within the public right-of-way or easement, and peak commute-hour traffic shall not be impeded by construction-related activity.
6. All existing easements shall be identified on the site plan and all plans that encroach into existing easements shall be submitted to the easement holder for review and approval, and advance written permission shall be obtained from any property owner or easement holder for any work done within such property or easement.

B. MAP CONDITIONS

1. Approval of this tentative parcel map ("tentative map") is subject to the City of Antioch Municipal Code and the time lines established in the State of California Subdivision Map Act.
2. Approval of this tentative map shall not constitute approval of any improvements shown on the tentative map.
3. Approval of this tentative map shall not be construed as a guarantee of future extension or re-approvals of this or similar maps, nor is it an indication of future availability of water or sewer facilities or permission to develop beyond the capacities of these facilities.
4. The applicant shall record the parcel map prior to issuance of a building permit.
5. Prior to or concurrent with recordation of the parcel map a mutual access and parking agreement shall be recorded between the parcels in each subsection, as approved by the City Engineer. Mutual access and parking agreements are not required across subsections.
6. Prior to recordation of the parcel map, the applicant shall annex into Street Light and Landscape Maintenance District 2A Zone 3 and accept a level of annual assessments sufficient to maintain street lights and landscaping adjacent to the project. The annual assessment shall cover the actual annual cost of maintenance as described in the Engineer's Report.
7. Prior to issuance of a certificate of occupancy for the self-storage facility or the business park, the applicant shall design and construct a traffic signal and interconnect to adjacent signal(s) (including conduits, wire, and pull boxes) at the intersection of E. 18th Street and Drive-In Way, as approved by the City Engineer. The City will require future developers of adjoining properties to pay their fair share of the traffic signal improvements. The City will cooperate with the developer in establishing a financing mechanism or reimbursement agreement for the traffic signal improvement so reimbursement is provided when adjacent properties develop. Should an adjacent developer construct the traffic signal first, the

applicant shall pay 50% (as determined by the traffic impact analysis and approved by the City Engineer) of the cost of design and construction of the traffic signal to the City of Antioch for reimbursement to the adjacent developer(s). The applicant shall acquire and dedicate right-of-way or easements to the City of Antioch for the traffic signal at no cost to the City and to the satisfaction of the City Engineer.

C. CONSTRUCTION CONDITIONS

1. The use of construction equipment shall be as outlined in the Antioch Municipal Code § 5-17.05. Requests for alternative days/times may be submitted in writing to the City Manager for consideration.
2. The project shall comply with and supply all the necessary documentation for AMC § 6-3.2: Construction and Demolition Debris Recycling.
3. Standard dust control methods shall be used to stabilize the dust generated by construction activities. The developer shall post dust control signage with the contact number of the Developer, the Bay Area Air Quality Management District and the City.
4. Driveway access to neighboring properties shall be maintained at all times during construction.

D. UTILITIES

1. All existing and proposed utilities (e.g. transformers and PMH boxes) shall be undergrounded and subsurface in accordance with the Antioch Municipal Code, except existing P.G.& E. towers, if any, or as approved by the City Engineer.
2. Prior to issuance of a building permit, the applicant shall submit hydrologic and hydraulic calculations for review to the City for design and construction of storm drain facilities that adequately collect and convey stormwater entering or originating within the development to the nearest adequate man-made drainage facility or natural watercourse, without diversion of watershed.
3. All storm water flows shall be collected onsite and discharged into an approved public storm drain system.
4. Trash enclosures shall drain to sanitary sewer, subject to the requirements of Contra Costa County Environmental Health and shall incorporate methods to contain runoff at the front-gate and pedestrian access point to prevent storm water from entering the enclosure.
5. The sewer collection system shall be constructed to function as a gravity system.

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6. A reduced pressure backflow preventer assembly shall be installed on all City water meter services.
7. All onsite utilities outside a public utility easement or as determined by the City Engineer shall be privately owned and maintained and connected to public facilities in accordance with City Standards.
8. Double detector check valve backflow assemblies shall be installed at each end of the private fire line and enclosed within easements granted to the City.
9. The developer shall provide adequate water pressure and volume to serve this development, as approved by the City Engineer. This will include a minimum residual pressure of 20 psi with all losses included at the highest point of water service and a minimum static pressure of 50 psi.
10. The applicant shall install all infrastructure to serve the site. Infrastructure for access to the site (sewer, water, storm, joint trench, and surface improvements) shall be completed prior to issuance of a certificate of occupancy for the site.
11. All proposed drainage facilities, including open ditches, shall be constructed of Portland Concrete Cement or as approved by the City Engineer.

E. LANDSCAPING

1. Sight distance triangles shall be maintained per AMC § 9-5.1101, Site Obstructions at Intersections, or as approved by the City Engineer. Landscaping and signage shall not create a sight distance problem.
2. Detailed landscaping and irrigation plans for the entire site shall be submitted to the City for review and approval. All landscaping and irrigation shall be installed in accordance with approved plans prior to the issuance of certificates of occupancy for this building.
3. Landscaping for the project shall be designed to comply with the applicable requirements of City of Antioch Ordinance No. 2162-C-S The State Model Water Efficient Landscape Ordinance (MWELo). Prior to issuance of a building permit, the applicant shall demonstrate compliance with the applicable requirements of the MWELo in the landscape and irrigation plans submitted to the City.
4. Landscape shall show immediate results. Landscaped areas shall be watered, weeded, pruned, fertilized, sprayed, and/or otherwise maintained as necessary. Plant materials shall be replaced as needed to maintain the landscaping in accordance with the approved plans.
5. All trees shall be a minimum 15-gallon size and all shrubs shall be a minimum 5-gallon size.

F. FIRE REQUIREMENTS

1. Provide emergency apparatus access roadways with all-weather (paved) driving surfaces of not less than 20-feet unobstructed width, and not less than 13 feet 6 inches of vertical clearance, to within 150 feet of travel distance to all portions of the exterior walls of every building. Access shall have a minimum outside turning radius of 45 feet and must be capable of supporting the imposed fire apparatus loading of 37 tons. Access roadways shall not exceed 20% grade. Grades exceeding 16% shall be constructed of grooved concrete per fire district standard. (503) CFC
2. Aerial Fire Apparatus Access is required where the vertical distance between grade plane and the highest roof surface exceeds 30 feet as measured in accordance with Appendix D, Section 105 of the 2016 CFC. Aerial access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof. At least one of the required routes shall be located within a minimum of 15 feet and a maximum of 30 feet from the building and shall be positioned parallel to one entire side of the building. Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and building.
3. Access roadways of less than 28 feet unobstructed width shall have signs posted or curbs painted red with the words **NO PARKING-FIRE LANE** clearly marked. (22500.1) CVC, (503.3) CFC
4. Access roadways of 28 feet or greater, but less than 36-feet unobstructed width shall have **NO PARKING-FIRE LANE** signs posted, allowing for parking on one side only or curbs painted red with the words **NO PARKING-FIRE LANE** clearly marked. Parking is permitted only on the side of the road that does not have hydrants. (22500.1) CVC, (503.3) CFC
5. Provide emergency escape and rescue openings in Group R occupancies. Basements and sleeping rooms below the fourth story above grade plane shall have at least one exterior emergency escape and rescue opening. Landscaping, signage and other obstructions must not hinder the positioning of firefighting ground ladders to the rescue windows.
6. Provide a drawing for areas under emergency escape and rescue openings showing clear space under these openings that allow for the placement of ground ladders at a climbing angle of 70 to 75 degrees and a minimum of 18" clearance from the base of the ladder to any obstruction.

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7. All new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the interior of the building. The building owner shall have the testing conducted and the results submitted to the Fire District prior to the building final. (510.1) CFC
8. For the self-storage facility – A minimum size of 2"x2" means of viewing each sprinkler head shall be installed in each unit to allow for quarterly, annual and five-year inspection of the fire sprinkler system when units are secured.
9. Provide a striping and signing plan.
10. Access gates for Fire District apparatus shall be a minimum of 20-feet wide. Access gates shall slide horizontally or swing inward and shall be located a minimum of 30 feet from the street. Electrically operated gates shall be equipped with a Knox Company key-operated switch. Manually operated gates shall be equipped with a non-casehardened lock or approved Fire District Lock. Contact the Fire District for information on ordering key-operated switch. (D103.5) CFC
11. The developer shall provide an adequate and reliable water supply for fire protection with a minimum fire flow of 4000 GPM. Required flow must be delivered from not more than 4 hydrants flowing simultaneously for a duration of 240 minutes while maintaining 20-pounds residual pressure in the main. (507.1), (B105) CFC
12. The developer shall provide hydrants of the East Bay Type. (C103.1) CFC
13. The developer shall submit a minimum of two (2) copies of full size, scaled site improvement plans indicating all existing or proposed hydrant locations, fire apparatus access, elevations of building, size of building and type of construction for review and approval prior to obtaining a building permit. Final placement of hydrants shall be determined by the Fire District. (501.3) CFC
14. Emergency apparatus access roadways and hydrants shall be installed, in service, and inspected by the Fire District prior to construction or combustible storage on site. (501.4) CFC
 - Note: A temporary aggregate base or asphalt grindings roadway is not considered an all-weather surface for emergency apparatus access. The first lift of asphalt concrete paving shall be installed as the minimum roadway material and must be engineered to support the designated gross weight of 37 tons.
15. The developer shall provide traffic signal pre-emption systems (Opticom) on any new or modified traffic signals installed with this development. (21351) CVC

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16. Flammable or combustible liquid storage tanks shall not be located on the site without obtaining approval and necessary permits from the Fire District. (3401.4) CFC
17. The developer shall submit a minimum of two (2) complete sets of building plans and specifications of the subject project, including plans for any of the following required deferred submittals, to the Fire District for review and approval prior to construction to ensure compliance with minimum requirements related to fire and life safety. Plan review and inspection fees shall be submitted at the time of plan review submittal. (105.4.1) CFC, (901.2) CFC, (107) CBC
 - Private underground fire service water mains
 - Fire Sprinklers
 - Standpipe
 - Fire Alarm
 - High-pile storage
 - Aboveground/underground flammable/combustible liquid storage tanks
 - Commercial kitchen hood extinguishing systems
 - Special suppression systems
 - Photo-voltaic
 - Provide safety during construction (Ch.33) CFC

G. FEES

1. The developer shall pay all City fees which have been established by the City Council and as required by the Antioch Municipal Code.
2. The developer shall pay all pass-through fees. Fees include but are not limited to:
 - East Contra Costa Regional Fee and Financing Authority (ECCRFFA) Fee in effect at the time of building permit issuance.
 - Contra Costa County Fire Protection District Fire Development Fee in effect at the time of building permit issuance.
 - Development Impact Fee
 - Traffic Signal Fees
 - Gravity Flow Sewer Assessment Fee
 - School Impact Fees
 - Delta Diablo Sewer Fee
 - Contra Costa Water District Fee
3. Prior to recordation of the parcel map the developer shall pay the Contra Costa County Flood Control District Drainage Area fee in effect at the time of the filing and per the letter dated October 23, 2018, and the Contra Costa County map maintenance fee.

H. GRADING

1. The grading operation shall take place at a time and in a manner so as not to allow erosion and sedimentation. The slopes shall be landscaped and reseeded as soon as possible after the grading operation ceases. Erosion measures shall be implemented during all construction phases in accordance with an approved erosion and sedimentation control plan.
2. The final grading plan for this development shall be approved by the City Engineer and signed by a California licensed civil engineer. No grading is allowed without a grading permit issued by the Building Department.
3. All elevations shown on the grading and improvement plans shall be on the USGS 1929 sea level datum or NAVD 88 with conversion information, or as approved by the City Engineer.
4. All slopes shall drain to approved drainage facilities as approved by the City Engineer.
5. Wall and fence locations and elevations shall be included on the grading plan.
6. Any existing wells or septic systems on the property shall be properly abandoned under permit from the Contra Costa County Environmental Health Department.
7. All grading shall be accomplished in a manner that precludes surface water drainage across any property line.
8. Swales adjacent to structures shall have a minimum of a 1% slope or as directed by the City Engineer.
9. All off-site grading is subject to the coordination and approval of the affected property owners and the City Engineer. The developer shall submit written authorization to "access, enter, or grade" adjacent properties prior to performing any work.
10. Retaining walls shall be of masonry construction and shall not be constructed in City right-of-way or other City maintained parcels unless approved by the City Engineer.
11. All retaining walls shall be reduced in height to the maximum extent practicable and any walls or signage shall meet the height requirements in the setback and sight distance triangles as required by the City Engineer.

I. CONSERVATION/NPDES

1. Water conservation measures, including low volume toilets, flow restrictors in showers and the use of drought tolerant landscaping, shall be used.
2. That the project shall comply with all Federal, State, and City regulations for the National Pollution Discharge Elimination System (NPDES) (AMC § 6-9). (Note: Per State Regulations, NPDES Requirements are those in affect at the time of the Final Discretionary Approval.) Under NPDES regulations, the project is subject to provision C.3: New development and redevelopment regulations for storm water treatment. Provision C.3 requires that the project include storm water treatment and source control measures, as well run-off flow controls, so that post-project runoff does not exceed estimated pre-project runoff. C.3 regulations require the submittal of a Storm Water Control Plan (SWCP) that demonstrates how compliance will be achieved. The SWCP shall be submitted simultaneously with the project plans. For the treatment and flow-controls identified in the approved SWCP, a separate Operation and Maintenance Plan (O&M) shall be submitted and approved before the Building Department will issue Certificate of Occupancy permits. Both the approved SWCP and O&M plans shall be included in the project CC&Rs. Prior to building permit final and issuance of a Certificate of Occupancy, the developer shall execute any agreements identified in the Storm Water Control Plan that pertain to the transfer of ownership and/or long-term maintenance of storm water treatment or hydrograph modification BMPs.
3. The following requirements of the federally mandated NPDES program (National Pollutant Discharge Elimination System) shall be complied with as appropriate, or as required by the City Engineer:
 - a. Prior to issuance of permits for building, site improvements, or landscaping, the developer shall submit a permit application consistent with the developer's approved Storm Water Control Plan, and include drawings and specifications necessary for construction of site design features, measures to limit directly connected impervious area, pervious pavements, self-retaining areas, treatment BMPs, permanent source control BMPs, and other features that control storm water flow and potential storm water pollutants.
 - b. The Storm Water Control Plan shall be certified by a registered civil engineer, and by a registered architect or landscape architect as applicable. Professionals certifying the Storm Water Control Plan shall be registered in the State of California and submit verification of training, on design of treatment measures for water quality, not more than three years prior to the signature date by an organization with storm water treatment measure design expertise (e.g., a university, American Society of Civil Engineers, American Society of Landscape Architects, American Public Works Association, or the California Water Environment Association), and verify understanding of

groundwater protection principles applicable to the project site (see Provision C.3.i of Regional Water Quality Control Board Order R2 2003 0022).

- c. Prior to building permit final and issuance of a Certificate of Occupancy, the developer shall submit, for review and approval by the City, a final Storm Water BMP Operation and Maintenance Plan in accordance with City of Antioch guidelines. This O&M plan shall incorporate City comments on the draft O&M plan and any revisions resulting from changes made during construction.
- d. Prior to building permit final and issuance of a Certificate of Occupancy, the developer shall execute and record any agreements identified in the Storm Water Control Plan which pertain to the transfer of ownership and/or long-term maintenance of storm water treatment or hydrograph modification BMPs.
- e. Prevent site drainage from draining across sidewalks and drive aisles in a concentrated manner.
- f. Collect and convey all storm water entering, and/or originating from, the site to an adequate downstream drainage facility without diversion of the watershed. Submit hydrologic and hydraulic calculations with the Improvement Plans to Engineering Services for review and approval.
- g. Prior to issuance of the grading permit, submit proof of filing of a Notice of Intent (NOI) by providing the unique Waste Discharge Identification Number (WDID#) issued from the Regional Water Quality Control Board.
- h. Submit a copy of the Storm Water Pollution Prevention Plan (SWPPP) for review to the Engineering Department prior to issuance of a building and/or grading permit. The general contractor and all subcontractors and suppliers of materials and equipment shall implement these BMP's. Construction site cleanup and control of construction debris shall also be addressed in this program. Failure to comply with the approved construction BMP may result in the issuance of correction notices, citations, or a project stop work order.
- i. Install appropriate clean water devices at all private storm drain locations immediately prior to entering the public storm drain system. Implement Best Management Practices (BMP's) at all times.
- j. Install "No Dumping, Drains to River" decal buttons on all catch basins.

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- k. If sidewalks are pressure washed, debris shall be trapped and collected to prevent entry into the storm drain system. No cleaning agent may be discharged into the storm drain. If any cleaning agent or degreaser is used, wash water shall be collected and discharged to the sanitary sewer, subject to the approval of the sanitary sewer District.
 - l. Include erosion control/storm water quality measures in the final grading plan that specifically address measures to prevent soil, dirt, and debris from entering the storm drain system. Such measures may include, but are not limited to, hydro seeding, gravel bags and siltation fences and are subject to review and approval of the City Engineer. If no grading plan is required, necessary erosion control/storm water quality measures shall be shown on the site plan submitted for an on-site permit, subject to review and approval of the City Engineer. The developer shall be responsible for ensuring that all contractors and subcontractors are aware of and implement such measures.
 - m. Sweep or vacuum the parking lot(s) a minimum of once a month and prevent the accumulation of litter and debris on the site. Corners and hard to reach areas shall be swept manually.
 - n. Ensure that the area surrounding the project such as the streets stay free and clear of construction debris such as silt, dirt, dust, and tracked mud coming in from or in any way related to project construction. Areas that are exposed for extended periods shall be watered regularly to reduce wind erosion. Paved areas and access roads shall be swept on a regular basis. All trucks shall be covered.
 - o. Clean all on-site storm drain facilities a minimum of twice a year, once immediately prior to October 15 and once in January. Additional cleaning may be required if found necessary by City Inspectors and/or City Engineer.
 - p. Install full trash capture device(s) in storm water catch basins that collect water from the project site. A "full trash capture device" is defined as any device or series of devices that traps all particles retained by a 5mm mesh screen and has a design treatment capacity of not less than the peak flow rate resulting from a one-year, one-hour, storm in the tributary drainage catchment area. Selected devices must be detailed on the building permit plan submittal and approved by Public Works prior to installation.
4. All impervious surfaces to be constructed as part of the project, including off-site roadways, are subject to C.3 requirements per State Regulations.

J. PROPERTY MAINTENANCE

1. The following requirements shall be the responsibility of the property owners of all parcels within the development:

- a. Maintenance of the storm water detention basin per the requirements of the O&M plan.
 - b. Compliance with all City Codes regarding property maintenance.
 - c. Maintenance of all slopes to property line.
 - d. Maintenance of all onsite and frontage landscaping.
2. A parking lot sweeping program shall be implemented on all parcels within the development that, at a minimum, provides for sweeping immediately prior to the storm season and prior to each storm event.
3. The project shall comply with AMC § 5-1.204. No final landscape and irrigation plans shall be considered complete without an approved maintenance agreement reflective of standards contained in AMC § 5-1.204(G). The approved maintenance agreement shall cover all of the parcels within the development.
4. The property maintenance agreement shall be recorded on all future parcels in the development.
5. The site shall be kept clean of all debris (boxes, junk, garbage, etc.) at all times.

K. FINAL IS/MND AND MITIGATION MONITORING AND REPORTING PROGRAM

1. The applicant shall comply with all mitigation measures identified in the Mitigation Monitoring and Reporting Program.
2. The applicant shall mitigate any impacts on wildlife, including State and Federally listed threatened and endangered species, and their habitat by compliance with one of the following:
 - a. Implementing, or making enforceable commitments to implement, all applicable mitigation measures in the project environmental documents, as well as any additional measures as may be required by the California Department of Fish & Wildlife (CDFW) or the U.S. Fish & Wildlife Service (FWS), and obtaining a letter(s) from CDFW and FWS stating that the project has fulfilled the requirements of applicable State and Federal wildlife protection laws and regulations; or
 - b. Complying with applicable terms and conditions of the ECCC HCP/NCCP, as determined in written "Conditions of Coverage" by the East Contra Costa County Habitat Conservancy (Conservancy), provided that the City has first entered into an agreement with the Conservancy for coverage of impacts to ECCCHCP/NCCP Covered Species; or
 - c. Complying with a habitat conservation plan and/or natural community conservation plan developed and adopted by the City, including payment of applicable fees, provided that CDFW and FWS have approved the conservation plan.

L. PROJECT SPECIFIC CONDITIONS

1. This vesting tentative map, final development plan, use permit and design review approval applies to the development of Acorn Business Park with commercial, self-storage and light industrial business park uses as depicted on the project plans submitted to the Community Development Department dated September 14, 2018. The use permit and design review approval only applies to Subsection B of the development plan. Future phases are required to obtain use permit and design review approval prior to development.
2. The three proposed driveways along the E. 18th Street frontage shall be designated for “right-in/right-out” access only. The applicant shall remove existing merge arrows and striping along the E. 18th Street project frontage and install a continuous right turn lane and dashed centerline to denote two westbound travel lanes. The applicant shall stripe a buffer between the proposed driveways and right turn pockets, and after the westernmost driveway, to direct vehicles to the two travel lanes. The applicant shall install a bike lane between the two travel lanes and the right turn pockets with skip striping for the bike lane in the transition area between the striped buffer and right turn pockets, as approved by the City Engineer.
3. Prior to building permit, the applicant shall submit a detailed plan of the entry gates for review and approval by the City Engineer. The design shall allow for adequate vehicle storage and turnaround. Gated entrances to the site shall include rapid access technology for Fire, Police and other emergency responders.
4. The applicant shall install City standard six-foot (6') wide sidewalk along the Drive-In Way and Sakurai Street frontages, as directed by the City Engineer.
5. All on-site curbs, gutters and sidewalks shall be constructed of Portland cement concrete.
6. Asphalt paving shall be designed for a minimum traffic index (TI) of 6.5 (due to anticipated truck traffic) or as determined during the engineering design process, and shall have a minimum slope of 2%, concrete paving shall have a minimum slope of 0.75%, and asphalt paving for identified accessible parking stalls and access routes may have a minimum slope of 1.5% and a maximum 2% slope, or as approved by the City Engineer.
7. All access drive aisles shall be constructed per current ADA and City standards, subject to review and approval by the City Engineer.
8. The applicant shall install and maintain parking lot and pathway lights and landscaping within the project area at no cost to the City.

RESOLUTION NO. 2019/**

May 28, 2019

Page 17

9. The parking lot striping and signing plan shall be approved by the City Engineer.
10. All parking spaces shall be double-striped, and all parking lot dimensions shall meet minimum City of Antioch Municipal Code requirements.
11. The applicant shall show a turning template on the site plan verifying that trucks can safely ingress, egress, and successfully maneuver throughout the site.
12. All cracked, broken or damaged concrete curb, gutter and/or sidewalks along 18th Street (in the public right-of-way along the project frontage) shall be removed and replaced as required by the City Engineer and at no cost to the City.
13. The future buildings on Subsections A and C will require use permit and design review approval prior to construction.
14. The approved signage only applies to the self-storage facility and freeway-oriented monument sign. A revised sign program detailing the letters, panel materials, building signage and illumination shall be submitted for Zoning Administrator approval prior to issuance of building permits for the sign.
15. The sections of self-storage buildings C, J and G that are adjacent to the property line shall have a similar architectural treatment as building H. A revised elevation shall be submitted with the building permit submittal and shall be subject to the approval of the Community Development Director.
16. The conifer and eucalyptus trees shown on the landscape plan shall be replaced with drought tolerant trees consistent with the Citywide Design Guidelines plant palette and subject to the approval of the Community Development Director. A revised landscape plan shall be submitted with the building permit submittal

* * * * *

I HEREBY CERTIFY that the foregoing resolution was passed and adopted by the City Council of the City of Antioch, at a regular meeting thereof, held on the 28th day of May 2019 by following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

ARNE SIMONSEN, CMC
CITY CLERK OF THE CITY OF ANTIOCH

ACORN BUSINESS PARK

SIGN PROGRAM

TABLE OF CONTENTS

SN - 1	COVER SHEET
SN - 2	SITE PLAN
SN - 3	MONUMENT SIGN
SN - 4	PARCEL 1 - SCHEME A - COMMERCIAL
SN - 5	PARCEL 1 - SCHEME B - HOTEL/COMMERCIAL
SN - 6	PARCEL 2 - SELF STORAGE
SN - 7	PARCEL 3 - EMPLOYMENT CENTER


RECEIVED

JUL 31 2018

CITY OF ANTIOCH

COMMUNITY DEVELOPMENT

ACORN BUSINESS PARK

920 First Street, Suite 202, Benicia, CA 94510	JOB NO.: JMI02	DATE: 06-11-18	DWG. NO.: SN-1
Tel: (707) 747-1231 www.tw-architects.com			
			

ACORN BUSINESS PARK

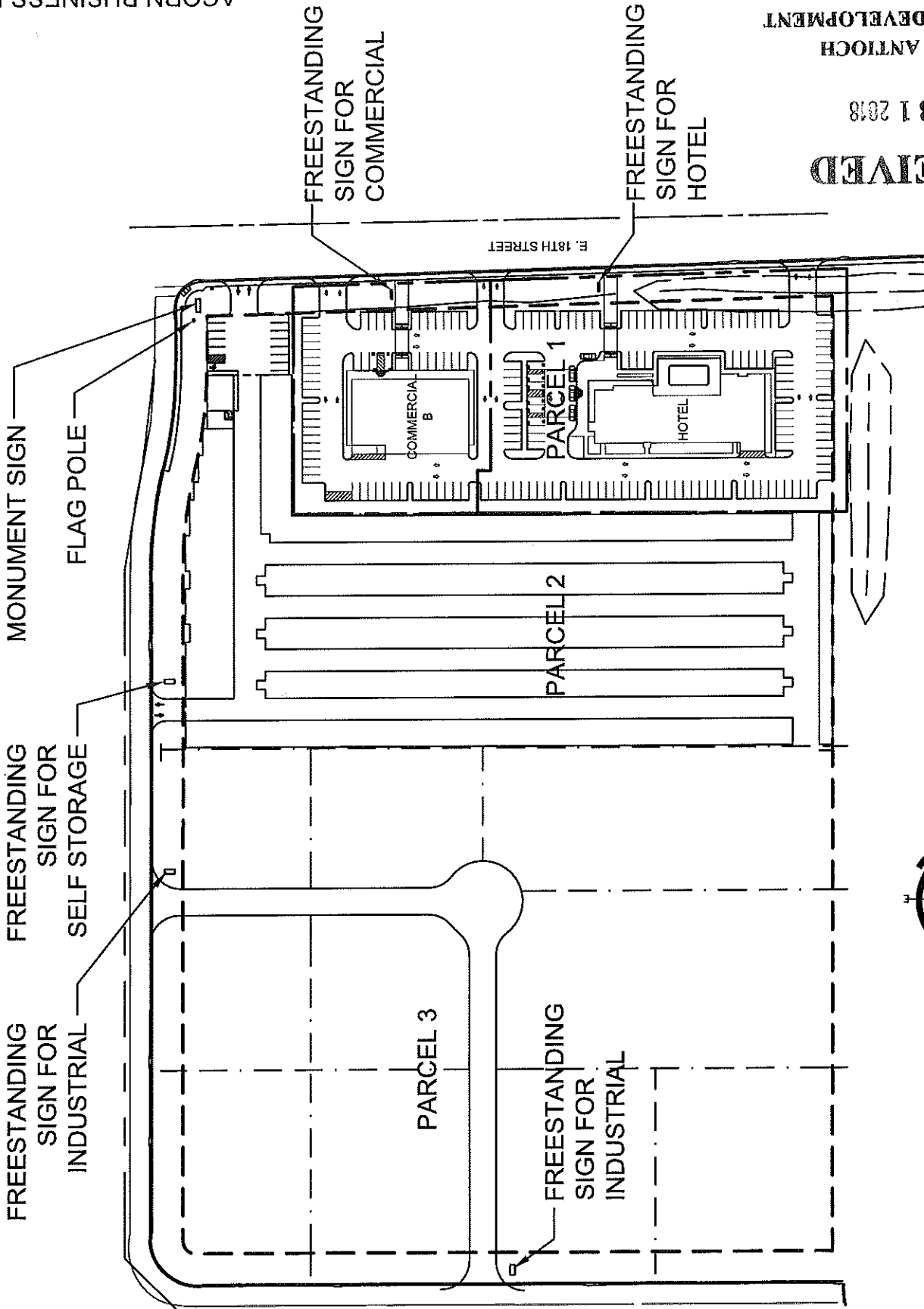
COMMUNITY DEVELOPMENT

CITY OF ANTIOCH

JUL 3 1 2018

RECEIVED

SITE PLAN



ACORN BUSINESS PARK

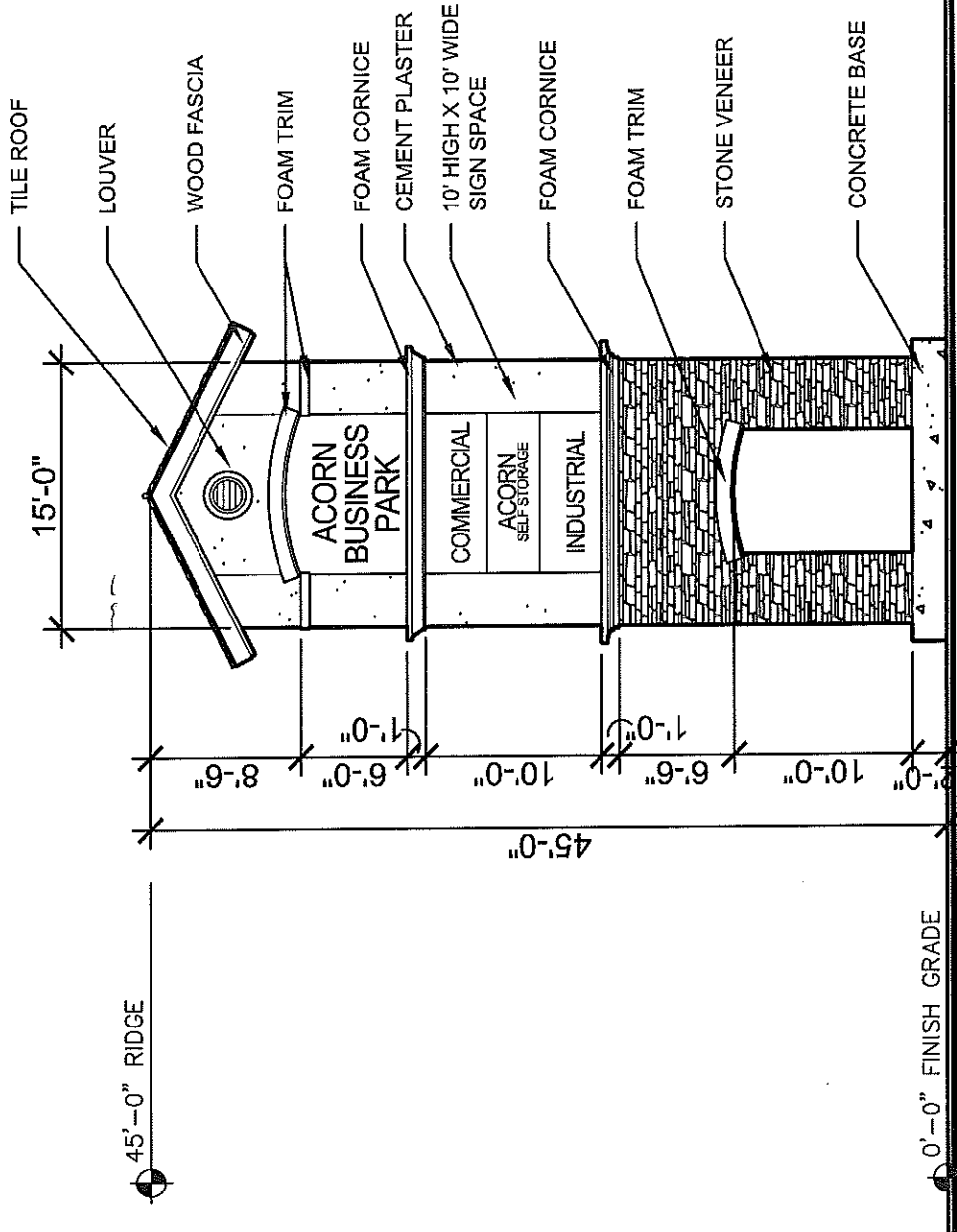
CITY OF ANTIOCH
COMMUNITY DEVELOPMENT

RECEIVED
JUL 31 2018

SIGN CALCULATIONS

ALLOWABLE AREA:
SIGN AREA = 10X10 = 100 S.F.
2 SIDES = 200 S.F. TOTAL

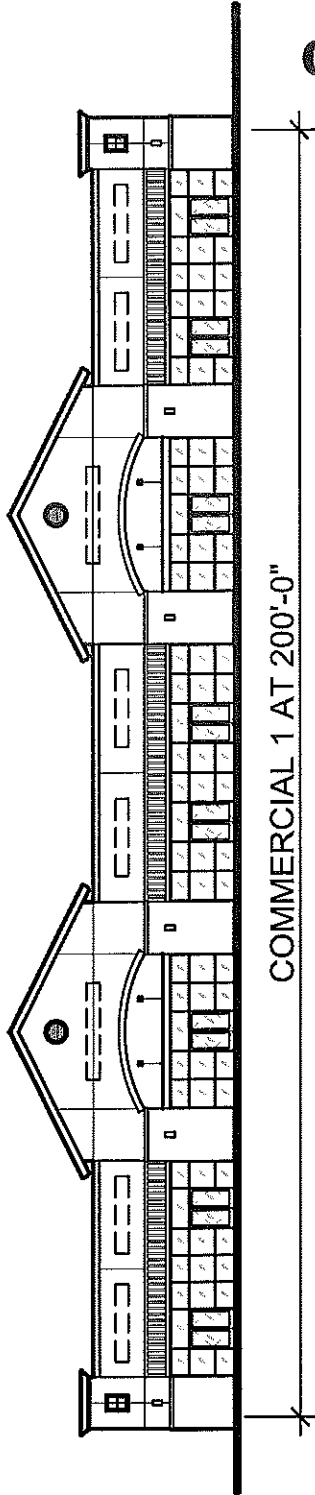
SIGN ALLOCATIONS
PARCEL 1 = 66.7 S.F.
PARCEL 2 = 66.7 S.F.
PARCEL 3 = 66.7 S.F.
TOTAL 200 S.F.



MONUMENT SIGN

SCALE: 3/32" = 1'-0"

PARCEL 1 - SCHEME A - COMMERCIAL



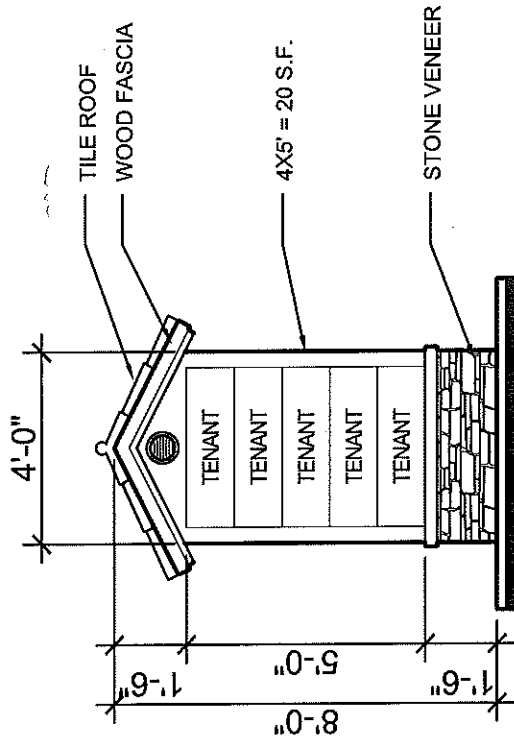
RECEIVED

JUL 31 2018

CITY OF ANTIOCH

COMMUNITY DEVELOPMENT

ACORN BUSINESS PARK



FREESTANDING SIGN

SIGN CALCULATIONS - COMMERCIAL:

ALLOWABLE SIGN AREA PER SECTION 9.5.513:

2 S.F. PER 1 L.F. OF BUILDING FRONTAGE

200 S.F. X 2 = 400 S.F. ALLOWED

PROPOSED SIGN AREA:

BUILDING SIGN = 2 X 18' = 36 S.F.

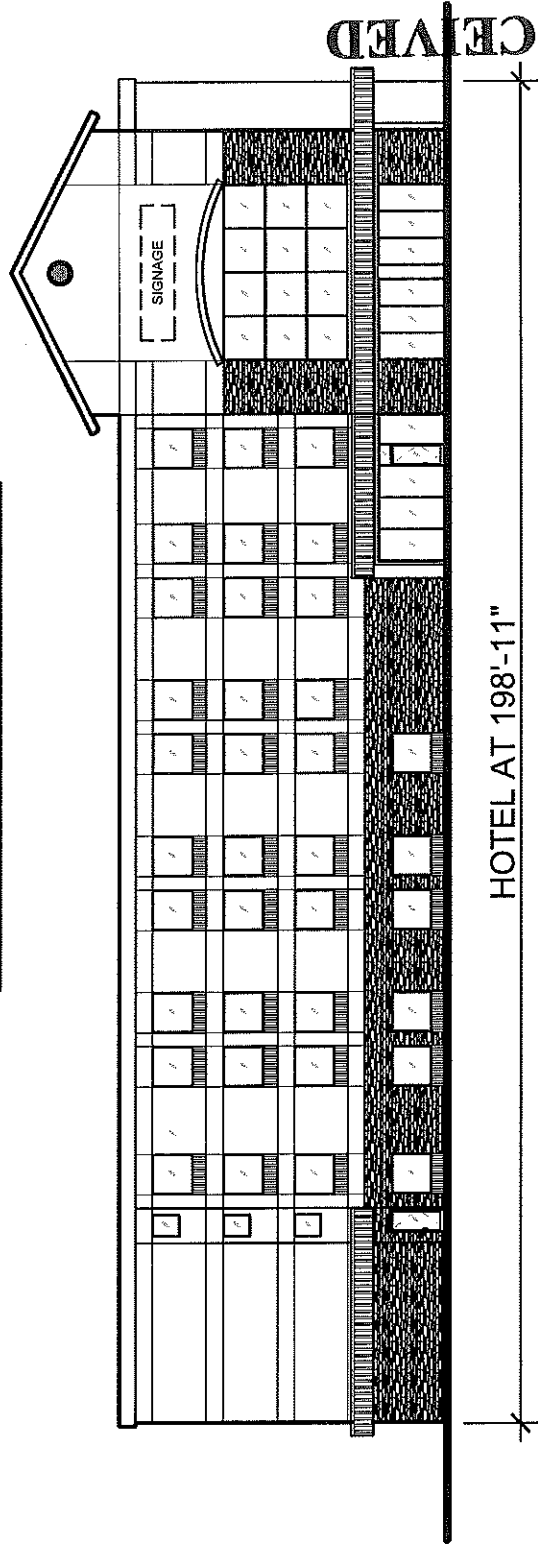
8 X 36 S.F. = 288 S.F.

FREESTANDING SIGN = 4 X 5 = 20 S.F. X 2 SIDES = 40 S.F.

MONUMENT SIGN = 1/3 X 200 S.F. = 67 S.F.

TOTAL SIGNAGE = 395 S.F.

PARCEL 1 - SCHEME B - HOTEL



RECEIVED
JUL 31 2018

CITY OF ANTIOCH

COMMUNITY DEVELOPMENT ACORN BUSINESS PARK

DWG. NO.: SN-5	DATE: 06-11-18	JOB NO.: JMI02	920 First Street, Suite 202, Benicia, CA 94510	www.tlw-architects.com	Tel: (707) 747-1231
----------------	----------------	----------------	--	------------------------	---------------------



SIGN CALCULATIONS - HOTEL:

ALLOWABLE SIGN AREA PER SECTION 9.5.513:

2 S.F. FOR 1 L.F. OF FRONTAGE

199 X 2 = 398 S.F. ALLOWED

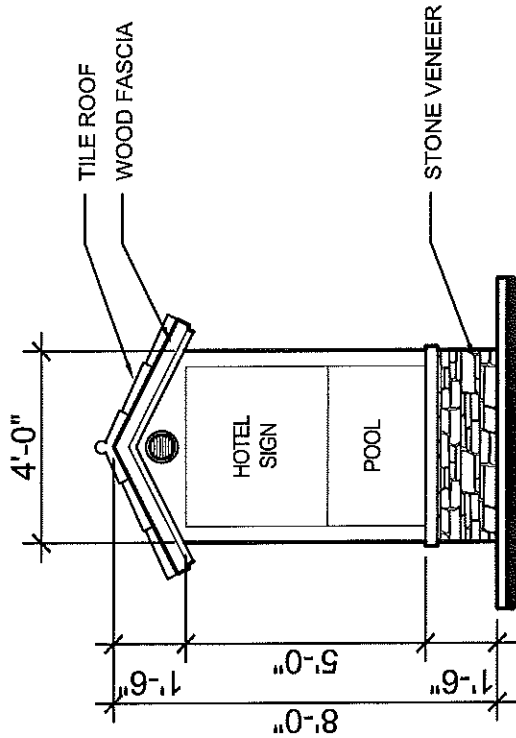
PROPOSED SIGN AREA:

BUILDING SIGN = 5 X 20 = 100 S.F.

FREESTANDING SIGN = 5 X 4 = 20 S.F. X 2 SIDES = 40 S.F.

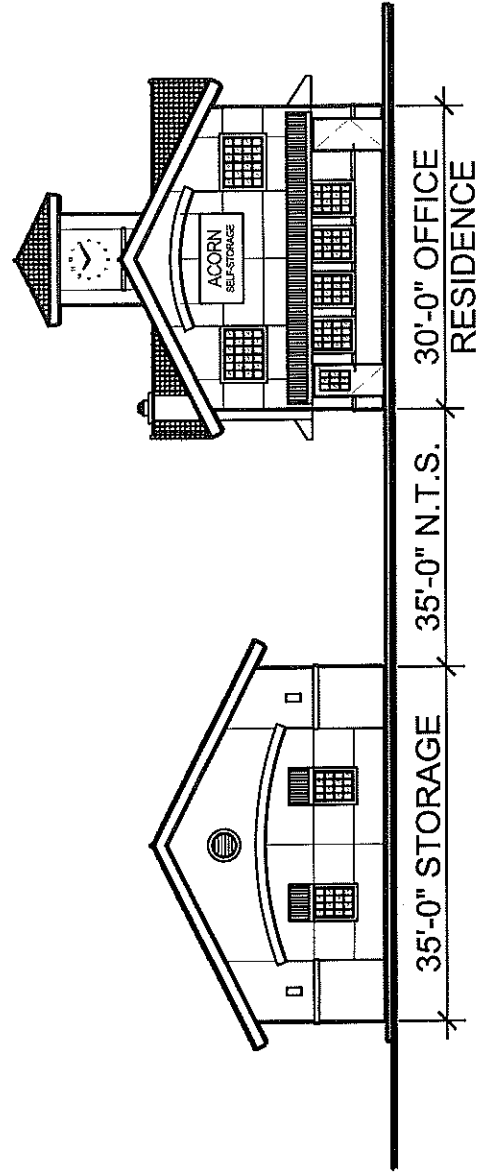
MONUMENT SIGN = 67 S.F.

TOTAL SIGNAGE = 207 S.F.



FREESTANDING SIGN

PARCEL 2 - SELF STORAGE



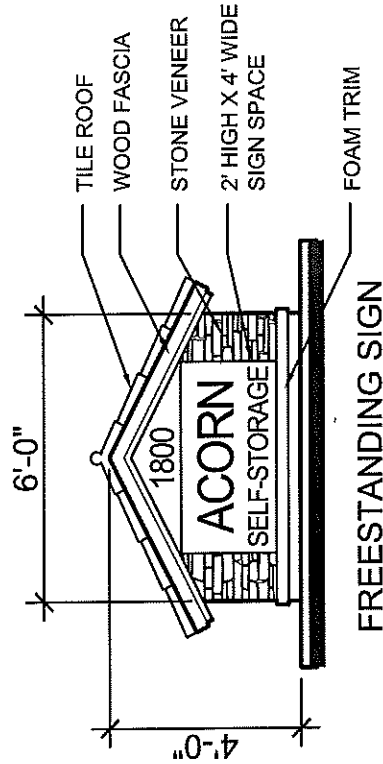
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CITY OF ANTIOCH

COMMUNITY DEVELOPMENT

ACORN BUSINESS PARK



SIGN CALCULATIONS - SELF STORAGE:

ALLOWABLE SIGN AREA PER SECTION 9.5.514:

2 S.F. PER 1 L.F.

60' X 2 = 120 S.F. ALLOWED

PROPOSED SIGN AREA:

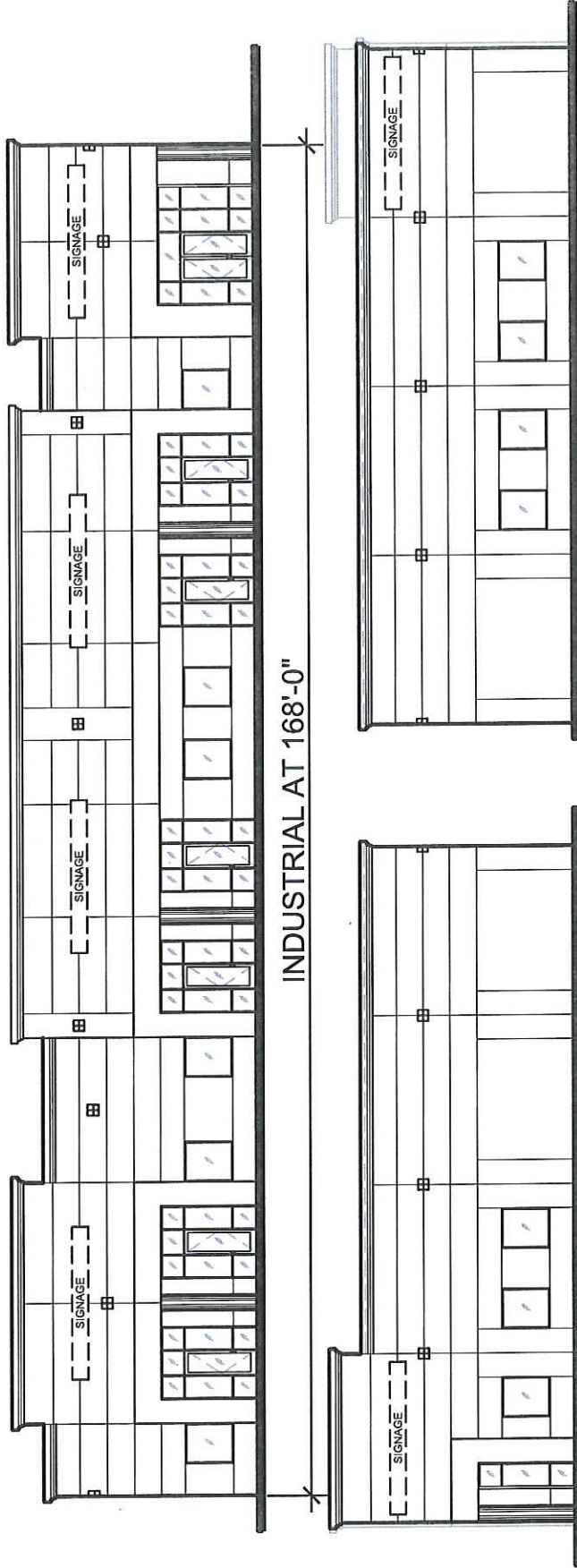
BUILDING SIGN = 2.4 X 5 = 12 S.F.

GROUND SIGN = (2) 2 X 4 = 16 S.F. X 2 SIDES = 32 S.F.

MONUMENT SIGN = 67 S.F.

TOTAL SIGNAGE = 111 S.F.

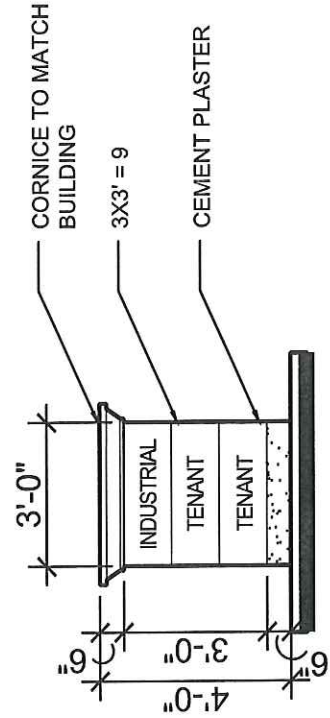
PARCEL 3 - EMPLOYMENT CENTER



SIGN CALCULATIONS - INDUSTRIAL

ALLOWABLE SIGN AREA PER SECTION 9.5.514:
 2 S.F. PER 1 L.F. OF FRONTAGE
 168 L.F. X 2 = 336 S.F. ALLOWED

PROPOSED SIGNAGE AREA:
 BUILDING SIGN = 2 X 25 = 50 X 4 = 200 S.F.
 FREESTANDING SIGN = 3 X 3 = 9 X 2 SIDES = 36 S.F.
 MONUMENT SIGN = 67 S.F.
 TOTAL SIGNAGE = 331 S.F.



FREESTANDING SIGN

DEVELOPMENT PLANS FOR
ACORN BUSINESS PARK

NORTH WEST CORNER OF E. 18TH STREET & DRIVE-IN WAY ANTIOCH, CA

PROJECT NAME
ACORN BUSINESS PARK

PROPERTY ADDRESS:
NORTH WEST CORNER OF E. 18TH STREET
& DRIVE-IN WAY ANTIOCH, CA

ASSESSOR'S PARCEL NO. AND ZONING DESIGNATION:
APN: 051-052-112
APN: 051-052-113

OWNER/DEVELOPER:
JMI PROPERTIES CORPORATION
8117 MARSH CREEK ROAD
CLAYTON, CA 94517
TEL: 925.672.2200

ARCHITECT:
TOM WILSON ARCHITECT, INC.
920 FIRST STREET,
SUITE 202 BENICIA, CA 94510
TEL: 707.747.1231

CIVIL ENGINEER AND SURVEYOR:

BKF ENGINEERS
980 9TH ST., STE 1770,
SACRAMENTO, CA 95814
TEL: 916.556.5800

SOIL ENGINEER:

BEAR ENGINEERING GROUP, INC
2974 DELTA FAIR BLVD #130,
ANTIOCH, CA 94509
TEL: 925.978.9734

SEWAGE DISPOSAL
CITY OF ANTIOCH

WATER SUPPLY
EAST BAY MUNICIPAL UTILITY DISTRICT

STORM DRAINAGE
CITY OF ANTIOCH

GAS
PACIFIC GAS AND ELECTRIC

ELECTRICITY
PACIFIC GAS AND ELECTRIC DISTRICT

TELEPHONE
AT&T

FIRE DISTRICT
CITY OF ANTIOCH FIRE PROTECTION

FLOOD_ZONE
ZONE X

SURVEY
BASE MAP SHOWS EXISTING CONDITIONS.
THE EXISTING CONDITIONS ARE BASED ON THE
ALTA SURVEY PREPARED BY BKF IN MARCH 2018.

GENERAL PROJECT INFORMATION TABLE:

EXISTING USE	N/A, UNDEVELOPED
PROPOSED USE	OFFICE SPACE, HOTEL, COMMERCIAL, MINI STORAGE
EXISTING ZONING	PBC, C-3(REGIONAL COMMERCIAL DISTRICT)
PROPOSED ZONING	PBC, C-3(REGIONAL COMMERCIAL DISTRICT)
TOTAL EXISTING ACREAGE:	860,299 SF (19.75 ACRES)
TOTAL PROPOSED ACREAGE:	860,299 SF (19.75 ACRES)
EXISTING NUMBER OF LOTS	2
PROPOSED NUMBER OF LOTS	12

LAND USE AREA TABLE

LOT NUMBER	PROPOSED ZONING	GENERAL PLAN/LAND USE	ACRES± (GROSS)	ACRES± (NET)
1	PD	REGIONAL COMMERCIAL DISTRICT	2.48	2.48
2	PD	REGIONAL COMMERCIAL DISTRICT	1.31	1.31
3	PD	EASTERN EMPLOYMENT BUSINESS PARK	5.44	5.44
4	PD	EASTERN EMPLOYMENT BUSINESS PARK	1.10	1.10
5	PD	EASTERN EMPLOYMENT BUSINESS PARK	1.13	1.13
6	PD	EASTERN EMPLOYMENT BUSINESS PARK	1.22	1.22
7	PD	EASTERN EMPLOYMENT BUSINESS PARK	1.22	1.22
8	PD	EASTERN EMPLOYMENT BUSINESS PARK	1.22	1.22
9	PD	EASTERN EMPLOYMENT BUSINESS PARK	1.21	1.21
10	PD	EASTERN EMPLOYMENT BUSINESS PARK	1.18	1.18
11	PD	EASTERN EMPLOYMENT BUSINESS PARK	1.15	1.15
A	PD	EASTERN EMPLOYMENT BUSINESS PARK	1.07	1.07
TOTAL PROJECT AREA			19.75	19.75

SHEET INDEX

CIVIL
CE-01 NOTES, LEGEND, CROSS SECTIONS AND ABBREVIATIONS
CE-02 CROSS SECTIONS
CE-03 ALTA SURVEY AND BOUNDARY
CE-04 TENTATIVE MAP
CE-05 SITE PLAN
CE-06 SITE PLAN
CE-07 ALTERNATIVE SITE PLAN FOR SUBSECTION C
CE-08 PRELIMINARY GRADING AND DRAINAGE PLAN
CE-09 PRELIMINARY GRADING AND DRAINAGE PLAN
CE-10 CONCEPTUAL STORMWATER CONTROL PLAN
CE-11 CONCEPTUAL STORMWATER CONTROL PLAN
CE-12 PRELIMINARY UTILITY PLAN
CE-13 PRELIMINARY UTILITY PLAN
CE-14 DETAILS

ARCHITECTURAL
DR-1 SITE PLAN A – COMMERCIAL
DR-2 SITE PLAN B – HOTEL & COMMERCIAL
DR-3 COMMERCIAL AND STORAGE ELEVATIONS
DR-4 HOTEL – COMMERCIAL & STORAGE ELEVATIONS
DR-5 INDUSTRIAL BUILDING ELEVATIONS
DR-6 TYPICAL INDUSTRIAL FLOOR PLAN
DR-7 MATERIALS AND COLORS BOARD
DR-8 SIGN PLAN

ACORN SELF STORAGE
2K SELF STORAGE PLAN – OPTION K
3K SELF STORAGE SOLAR PLAN – OPTION K
4K UNIT LAYOUT

LANDSCAPE
L-1 OVERALL LANDSCAPE PLAN
L-2 PLANTING DETAILS

ELECTRICAL
E-1 EXTERIOR LIGHTING

ABBREVIATIONS

(E),EX EXISTING
(N) NORTH
(S) SOUTH
(W) WEST
AC ASPHALT CONCRETE
BOT BOTTOM
BOW BOTTOM OF WALL
CO CLEANOUT
CONC CONCRETE
CONC CONCRETE
DIA DIAMETER
DM DOMESTIC WATER
DMA DRAINAGE MANAGEMENT AREA
EG EXISTING GRADE
FF FINISH FLOOR
FG FUTURE GRADE
FH FIRE HYDRANT
FL FLOW LINE
FS FINISHED SURFACE
FW FIRE WATER
GR GRATE
IMP INTEGRATED MANAGEMENT PRACTICES
MAX MAXIMUM
MIN MINIMUM
NOT TO SCALE
NTS NOT TO SCALE
PWE PUBLIC WATER EASEMENT
RHW RIGHT OF WAY
RW RIGHT OF WAY
SEE ARCHITECTURAL DRAWINGS
SD STORM DRAIN
SDMH STORM DRAIN MANHOLE
SF SQUARE FEET
SS SANITARY SEWER
SSE SANITARY SEWER EASEMENT
SSMH SANITARY SEWER MANHOLE
TOP OF CURB
TOP OF WALL
TYP TYPICAL
W WATER
WW WATER VALVE

FOR BKF ENGINEERS:

FOR REVIEW ONLY

JONATHAN P. SHATTUCK, P.L.S. NO. 8940
LICENSE EXPIRES: 09/30/16

DATE: _____

FOR BKF ENGINEERS:

FOR REVIEW ONLY

JIM MCCURDY, P.E. NO. 64850
LICENSE EXPIRES: 06/30/19

DATE: _____



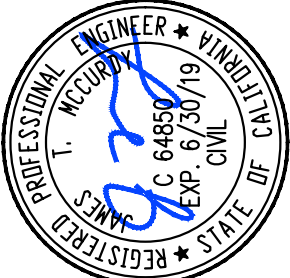
Know what's below.
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DEVELOPMENT PLANS FOR
ACORN BUSINESS PARK
NOTES, LEGEND AND ABBREVIATIONS

CITY OF ANTIOCH

ATTACHMENT E

CALIFORNIA



ENGINEERS, SURVEYORS, PLANNERS
980 9TH STREET
SUITE 1770
SACRAMENTO, CA 95814
P: 916.556.5800

Drawing Number:
CE-01
1 OF 28

Date: 09.14.2018
Scale: AS SHOWN
Design: CLM
Approved: JLM
Job No: C20180009-10

Revisions	No.



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CE-02
2 OF 28

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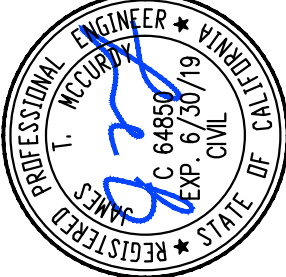
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Approved: JTM
Job No: C20180099-10

No.	Revisions

CITY OF ANTIOCH

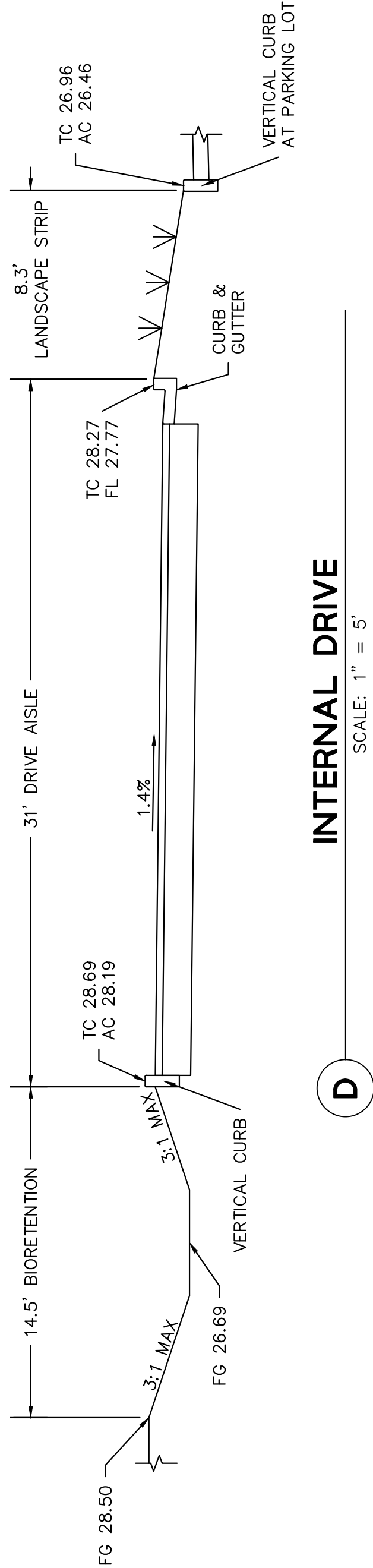
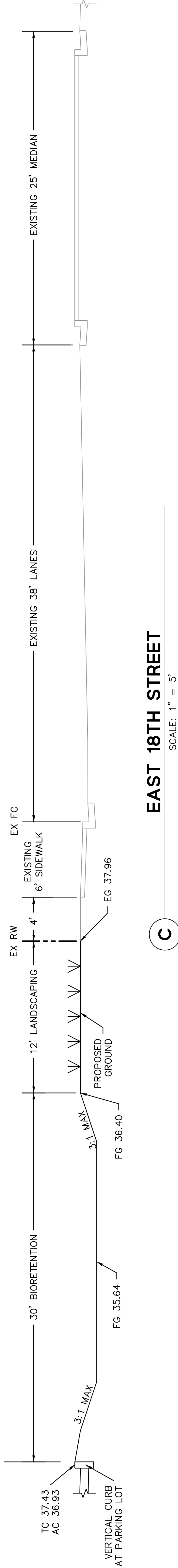
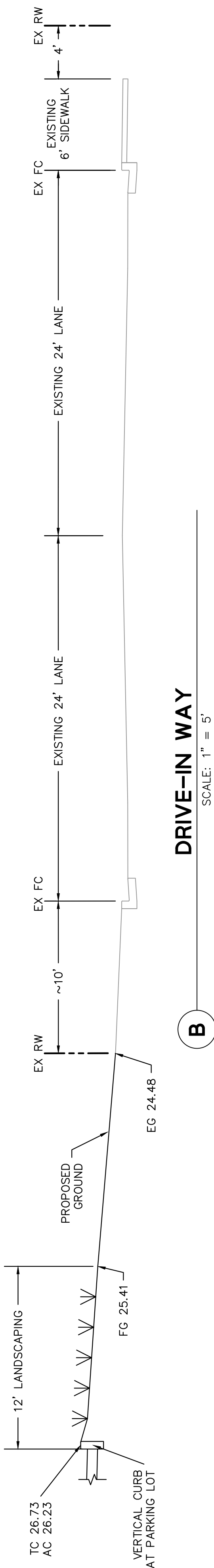
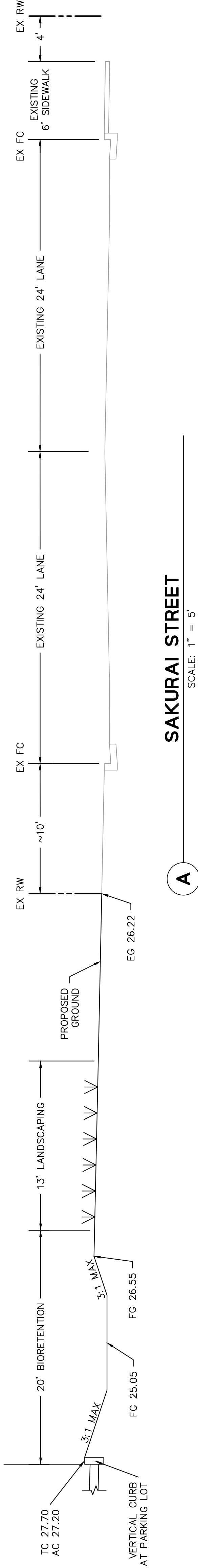
DEVELOPMENT PLANS FOR ACORN BUSINESS PARK CROSS SECTIONS

CALIFORNIA



BKF
100+ YEARS
ENGINEERS • SURVEYORS • PLANNERS

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SUITE 1770
SACRAMENTO, CA 95814
P: 916.556.5800



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YEARS

980 9TH STREET

SUITE 1770

SACRAMENTO, CA 95814

P: 916.556.5800

F: 916.556.5800

PROFESSIONAL ENGINEER & SURVEYOR

STATE OF CALIFORNIA

EXPIRATION DATE 06/30/2025

NO. 64853

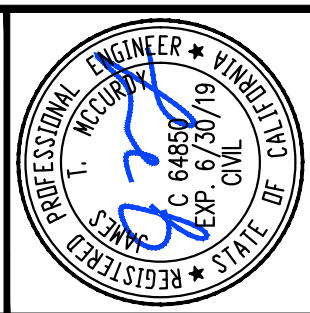
NAME T. W. BAKER

DEVELOPMENT PLANS FOR

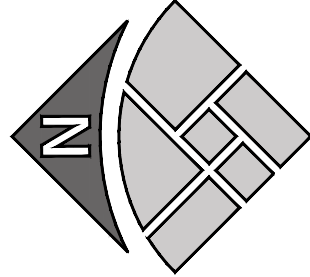
ACORN BUSINESS PARK

ALTA SURVEY AND BOUNDARY

CITY OF ANTIOCH



Revisions		No.	Date
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			Design: CLM
			Drawn: ADL/CN
			Approved: JTM
			Job No: C2018009-10
			Drawing Number:
			CE-03
			3 OF 28

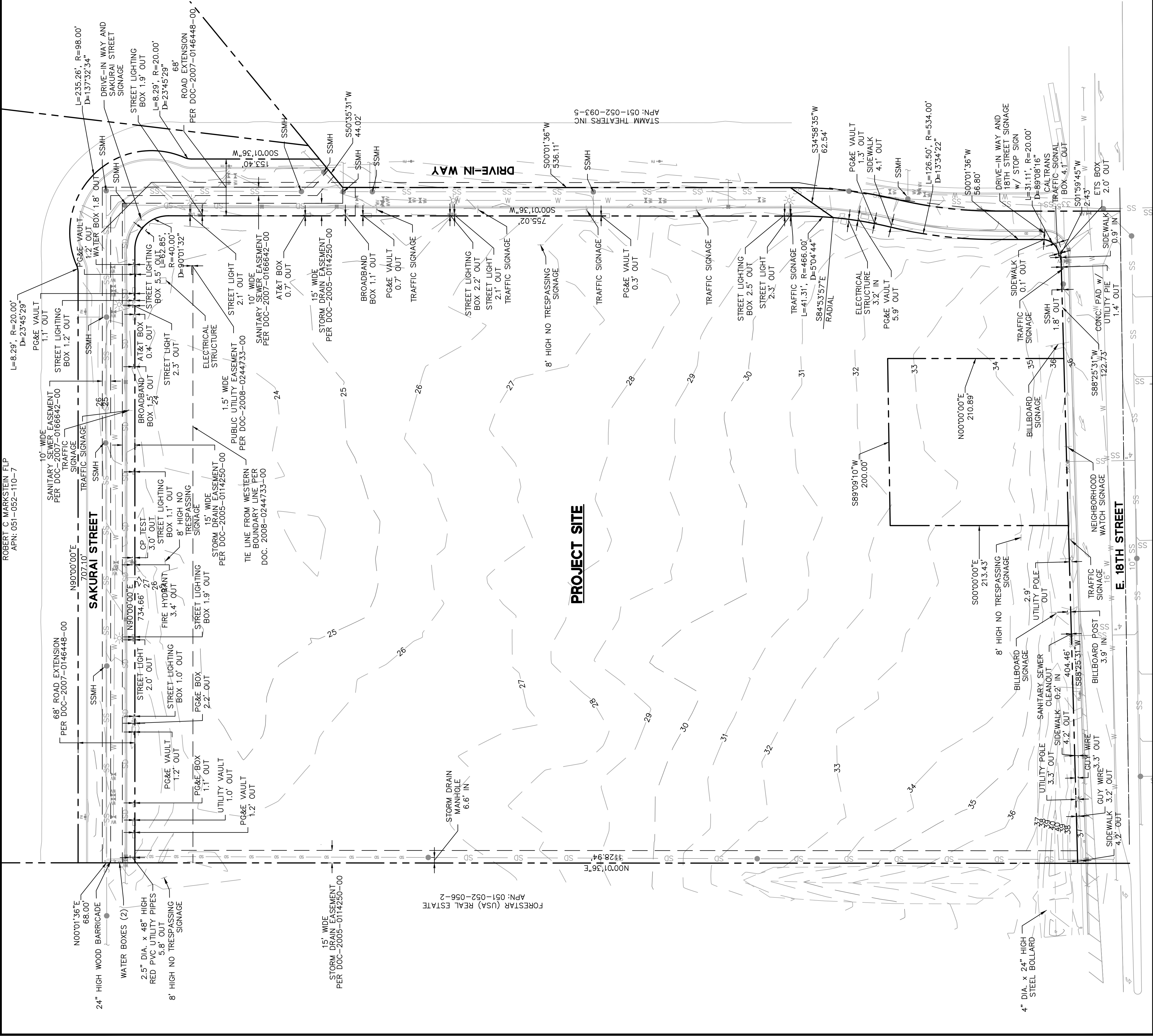


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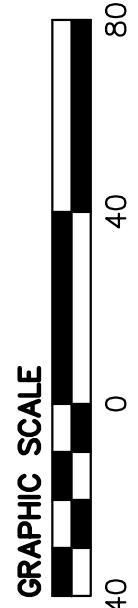


- ABBREVIATIONS:
- | | |
|------|--------------------------------|
| AC | ASPHALT CEMENT |
| AD | ARCH DRAIN |
| ADSS | ARCH DRAIN WATER SUPPLY SYSTEM |
| BDC | BUILDING CORNER |
| BLOG | BUILDING |
| BW | BACK OF WALK |
| CMU | CONCRETE MASONRY UNIT |
| CO | CLEAN OUT |
| CONC | CONCRETE |
| DO | DRIVE-IN WAY AND SIGNAGE |
| DOR | DRIVE-IN WAY AND SIGNAGE |
| DIP | DUCTILE IRON PIPE |
| DW | DOMESTIC WATER |
| EX | EXISTING |
| FDC | FIRE DEPARTMENT CONNECTION |
| FG | FUTURE GRADE |
| FL | FIRE HYDRANT |
| FL | FIRE WATER |
| FW | FLOWLINE |
| GB | GRADE BREAK |
| PG&E | PACIFIC GAS & ELECTRIC |
| PM | PARKING METER |
| RCP | REINFORCED CONCRETE PIPE |
| RET | RETURN |
| RIM | ELEVATION |
| ST | SQUARE FEET |
| SD | STORM DRAIN |
| SW | SEWER |
| T | TREE |
| TC | TOP OF CURB |
| TELE | TELEPHONE |
| TYP | TYPICAL |
| UB | UTILITY BOX |
| UNK | UNKNOWN |
| UPS | UNITED PARCEL SERVICE |
| VCP | VITRIFIED CLAY PIPE |
| W | WATER |
| WM | WATER METER |
| WV | WATER VALVE |

- LEGEND:
- | | |
|-----|-------------------------|
| --- | PROPERTY LINE |
| --- | STORM DRAIN PIPE |
| --- | SANITARY SEWER PIPE |
| --- | WATER PIPE |
| + | FIRE HYDRANT |
| WV | WATER VALVE |
| ■ | CURB DRAIN INLET |
| ● | STORM DRAIN MANHOLE |
| ● | SANITARY SEWER MANHOLE |
| ● | SANITARY SEWER CLEANOUT |
| ☼ | STREET LIGHT |
| ◇ | JOINT POLE |
| → | GUY LINE |



Drawing Number:
CE-06
6 OF **28**



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DEVELOPMENT PLANS FOR
ACORN BUSINESS PARK
ALTERNATIVE SITE PLAN FOR SUBSECTION C

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CALIFORNIA

ENGINEERS . SURVEYORS . PLANNERS
BKF100+
980 9TH STREET
SUITE 1770
SACRAMENTO, CA 95814
P: 916.556.5800

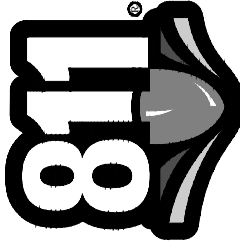
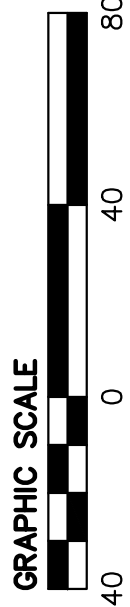
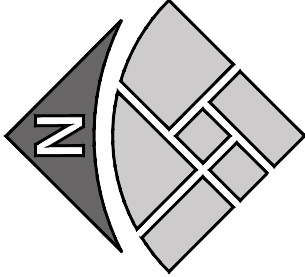
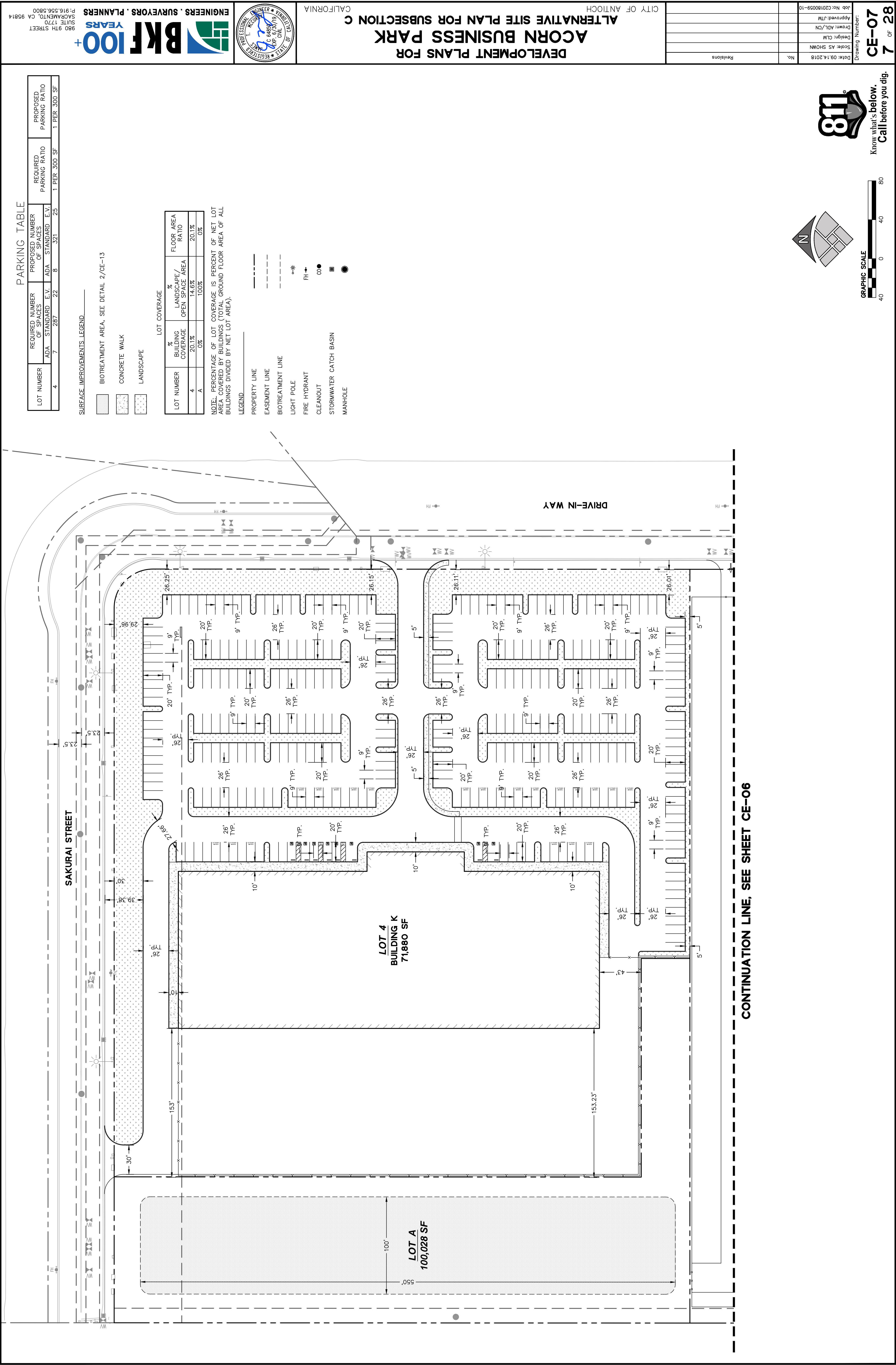
REGISTERED PROFESSIONAL ENGINEER
No. 64853
Exp. 6/30/2024
L. WILSON

Job No: C2018009-10
Approved: JTM
Drawn: ADL/CN
Design: CLM
Scale: AS SHOWN
Date: 09.14.2018
No.

Revisions

CE-07
7 OF 28

Drawing Number:



PARKING TABLE

LOT NUMBER	REQUIRED NUMBER OF SPACES		PROPOSED NUMBER OF SPACES		REQUIRED PARKING RATIO	PROPOSED PARKING RATIO
	ADA	STANDARD	E.V.	ADA	STANDARD	E.V.
4	7	287	22	8	321	25
				1 PER 300 SF		

SURFACE IMPROVEMENTS LEGEND

- BIOTREATMENT AREA, SEE DETAIL 2/CE-13
- CONCRETE WALK
- LANDSCAPE

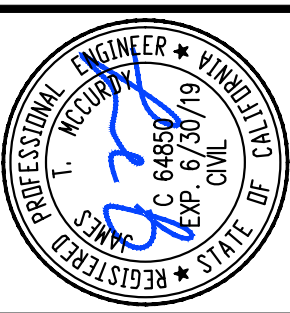
LOT COVERAGE

LOT NUMBER	BUILDING COVERAGE	%	LANDSCAPE / OPEN SPACE AREA	%	FLOOR AREA RATIO
4	20.1%	0%	14.6%	100%	20.1%
A					0%

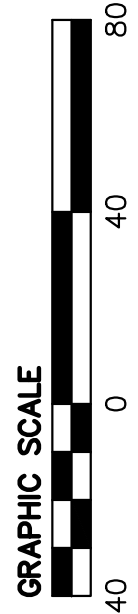
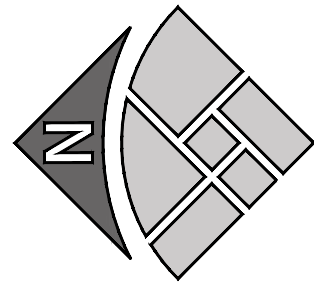
NOTE: PERCENTAGE OF LOT COVERAGE IS PERCENT OF NET LOT AREA COVERED BY BUILDINGS (TOTAL GROUND FLOOR AREA OF ALL BUILDINGS DIVIDED BY NET LOT AREA).

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- BIOTREATMENT LINE
- LIGHT POLE
- FIRE HYDRANT
- CLEANOUT
- STORMWATER CATCH BASIN
- MANHOLE



Revisions	No.	Date: 09/14/2018	Scale: AS SHOWN	Design: CLM	Drawn: ADL/CN	Approved: JTM	Job No: C20180059-10



**Know what's below.
Call before you dig.**



CONTINUATION LINE, SEE SHEET CE-07

ENGINEERS . SURVEYORS . PLANNERS

100+

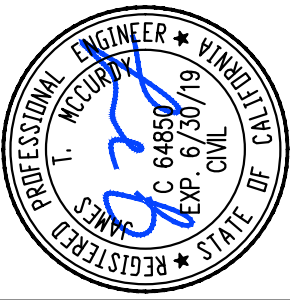
YEARS

980 9TH STREET

SUITE 1770

SACRAMENTO, CA 95814

P 916.556.5800



DEVELOPMENT PLANS FOR

ACORN BUSINESS PARK

PRELIMINARY GRADING AND DRAINAGE PLAN

CITY OF ANTIOCH

CALIFORNIA

Revisions	
No.	

Date: 09.14.2018	Scale: AS SHOWN	Design: CLM	Drawn: ADL/CN	Approved: JTM	Job No: C2018009-10
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ESTIMATE OF PROBABLE EARTHWORK QUANTITIES

TOTAL CUT (SITE GRADING)	-8,775 CY
TOTAL FILL (SITE GRADING)	27,212 CY
NET FILL	18,437 CY

NOTE:
1. EARTHWORK ESTIMATE ACCOUNTS FOR EXCAVATION FROM THE ESTIMATED EXISTING SURFACE ELEVATION TO PROPOSED SUBGRADE ELEVATION.

UTILITY LEGEND:

PROPERTY LINE

STORM DRAIN PIPE

PERFORATED STORM DRAIN PIPE

FIRE HYDRANT

CURB DRAIN INLET

STORM DRAIN MANHOLE

SANITARY SEWER MANHOLE

CLEANOUT

STREET LIGHT

GRADING LEGEND

PROPOSED MAJOR CONTOUR

PROPOSED MINOR CONTOUR

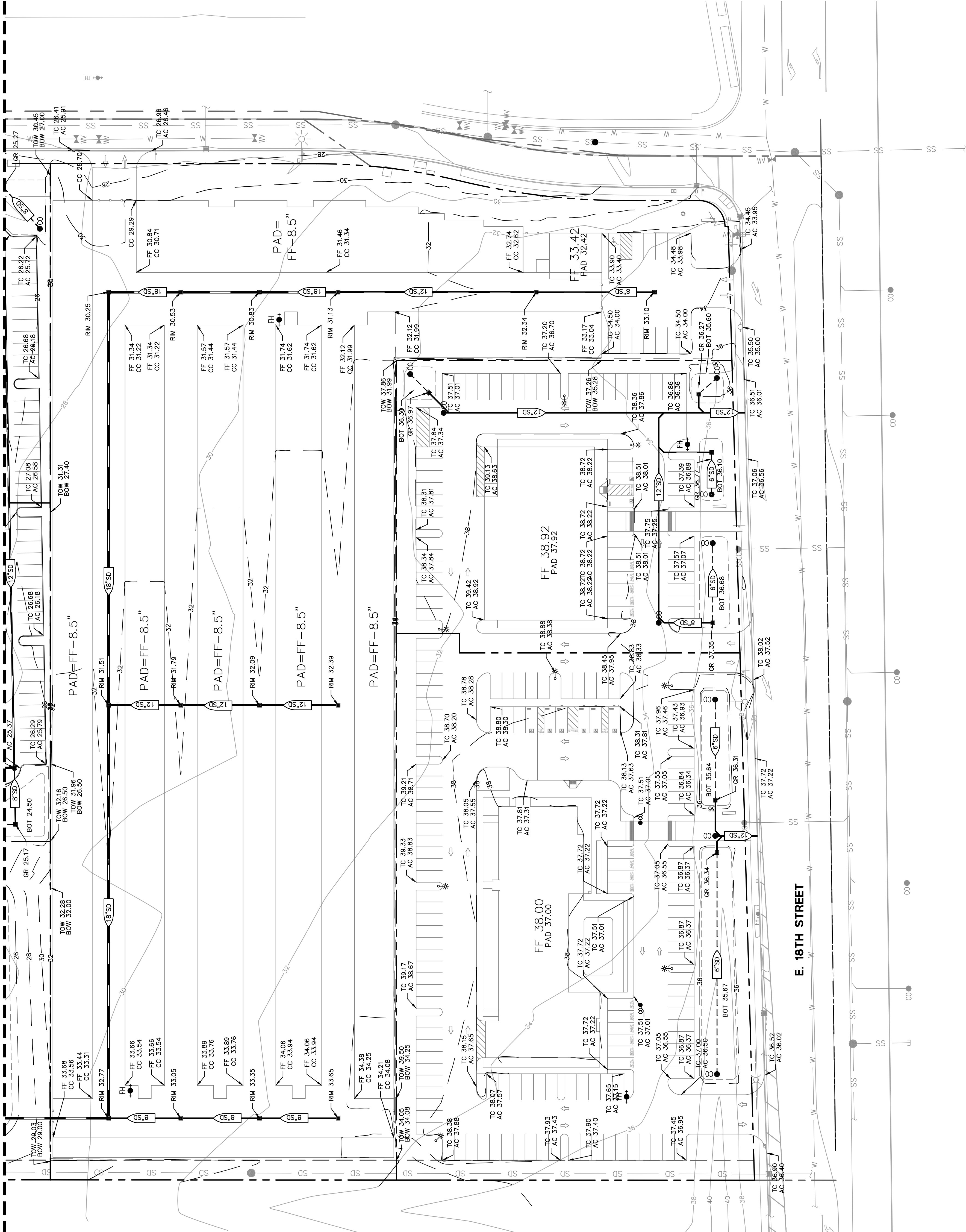
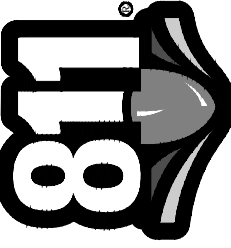
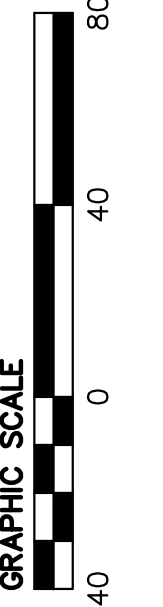
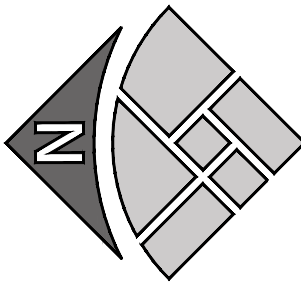
EXISTING MAJOR CONTOUR

EXISTING MINOR CONTOUR

ELEVATION LABEL:

AC: ASPHALT CONCRETE
BOT: BOTTOM OF BASIN
BOW: BOTTOM OF WALL
CC: CONCRETE
FF: FINISHED FLOOR
GR: GRATE
PAD: BUILDING PAD
TC: TOP OF CURB
TOW: TOP OF WALL

FF XX.XX



ENGINEERS • SURVEYORS • PLANNERS

100

YEARS

BKF

+

980 9TH STREET

SUITE 1770

SACRAMENTO, CA 95814

P: 916.556.5800

REGISTERED PROFESSIONAL ENGINEER

NO. 64853

STATE OF CALIFORNIA

EXPIRATION DATE 06/30/2020

DEVELOPMENT PLANS FOR
ACORN BUSINESS PARK
PRELIMINARY UTILITY PLAN

CITY OF ANTIOCH

No.	Revisions

Date: 09.14.2018	Scale: AS SHOWN	Design: CLM	Drawn: ADL/CN	Approved: JTM
Job No: C2018009-10				

Drawing Number:
CE-12
12 OF 28

- UTILITY LEGEND:
- PROPERTY LINE

SANITARY SEWER EASEMENT

PUBLIC WATER EASEMENT

SANITARY SEWER PIPE

DOMESTIC WATER PIPE

FIRE WATER PIPE

FIRE HYDRANT

CURB DRAIN INLET

STORM DRAIN MANHOLE

SANITARY SEWER MANHOLE

CLEANOUT

STREET LIGHT
- SS

W

X" W

X" FW

FW

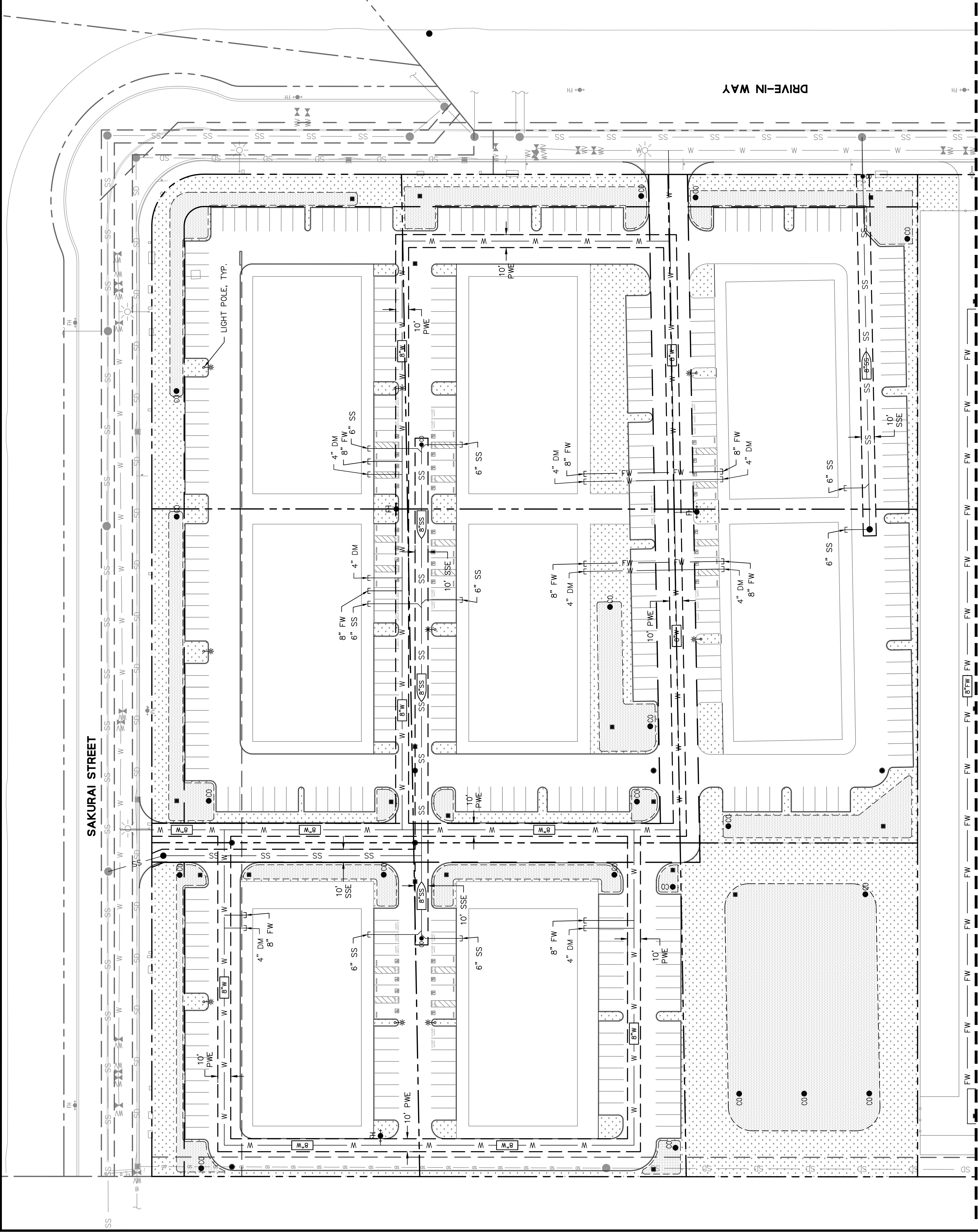
FH

CO

*

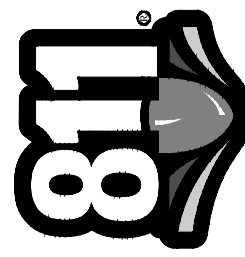
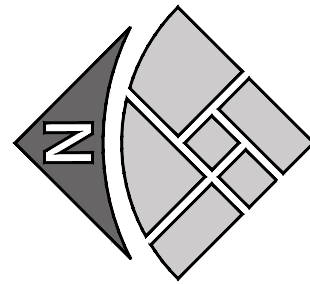
GRAPHIC SCALE

40 0 40 80



MATCHLINE SEE SHEET CE-12

Job No: C20180059-10		
Approved: JTM		
Drawn: ADL/CN		
Design: CLM		
Scale: AS SHOWN		
Date: 09/14/2018	No.	Revisions



Know what's **below**.
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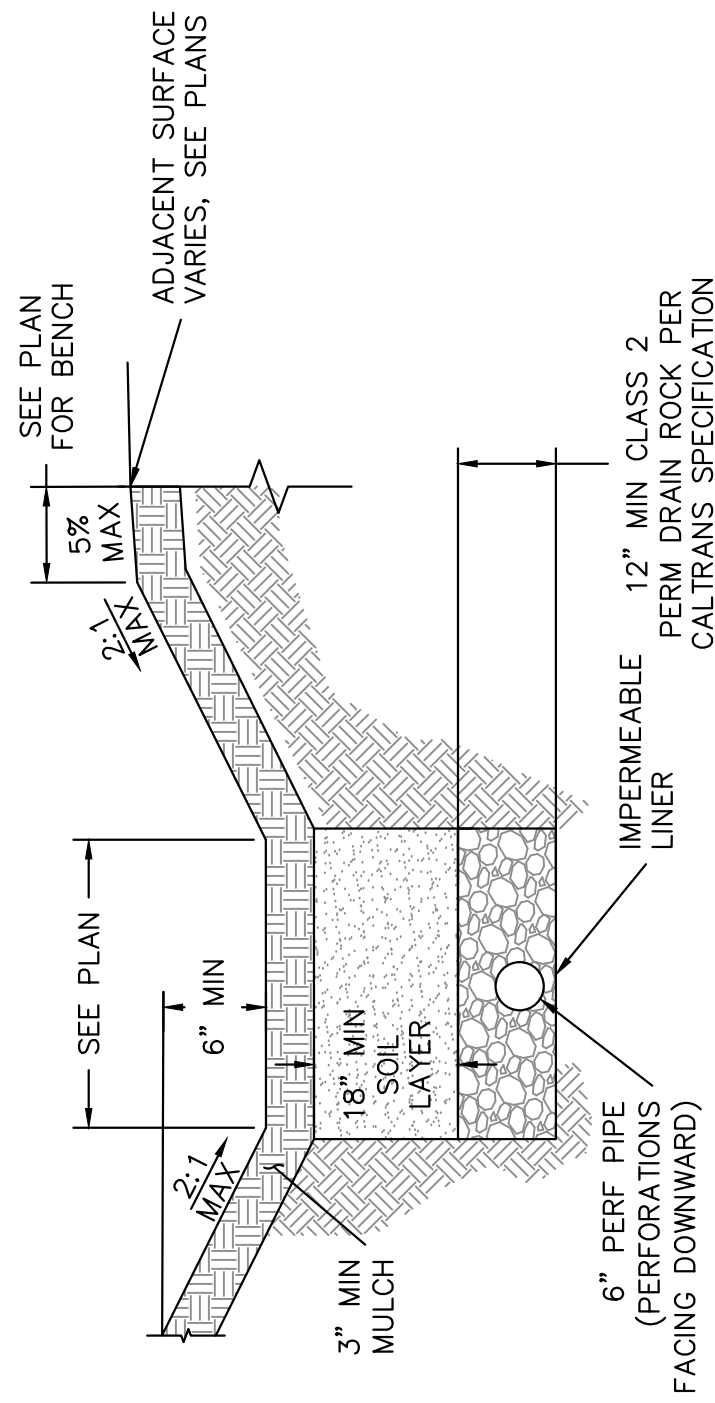


E. 18TH STREET

Job No: C20180059-10		
Approved: JTM		
Drawn: ADL/CN		
Design: CLM		
Scale: AS SHOWN		
Date: 09/14/2018	No.	Revisions



Know what's below.
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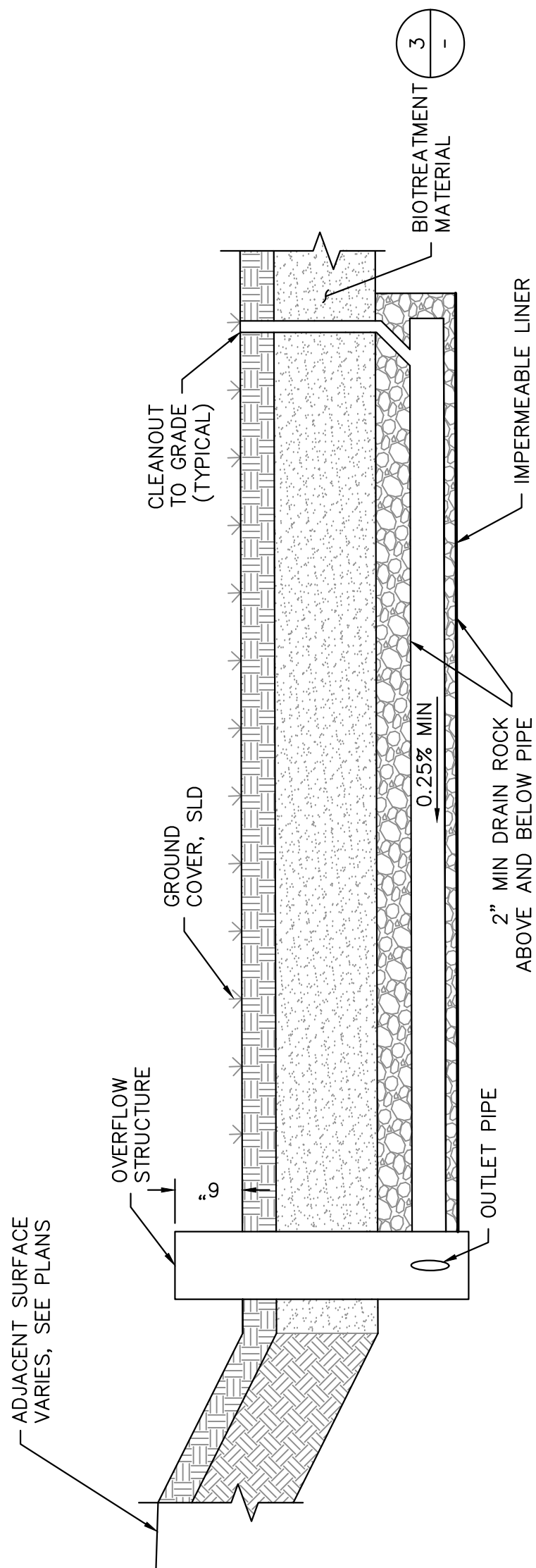


BIORETENTION NOTES

1. BIOTREATMENT AREAS WILL VARY AS TO LOCATION OF HIGH AND LOW PONTS BUT BASIC MATERIALS AND CONSTRUCTION METHODS SHOWN ABOVE SHALL REMAIN THE SAME.
2. SOIL LAYER SHALL CONSIST OF A UNIFORM MIX OF 60%-70% CONSTRUCTION SAND, AND 30%-40% COMPOST, FREE OF STONES, STUMPS, ROOTS, OR SIMILAR OBJECTS AND FREE OF NOXIOUS WEEDS/SOIL. LAYER SHALL CONSIST OF A UNIFORM MIX OF 60%-70% CONSTRUCTION SAND AND 30%-40% COMPOST, FREE OF STONES, STUMPS, ROOTS, OR SIMILAR OBJECTS AND FREE OF NOXIOUS WEEDS. BIOTREATMENT SOIL MIX SHALL MEET THE SAN MATEO COUNTY/STATE WATER POLLUTION PREVENTION PROGRAM (SMCWPPP) SPECIFICATIONS. CONTRACTOR SHALL REFER TO SMCWPPP FOR BIOTREATMENT MIX SUPPLIERS.
3. DRIP ROCK LAYER SHALL CONSIST OF CLASS 2 PERMEABLE MATERIAL PER CALTRANS SPECIFICATION SECTION 68-1-1025.
4. TOP SOIL SHALL CONSIST OF MULCH OR LARGE BARK AND SHALL RESIST FLOATING.

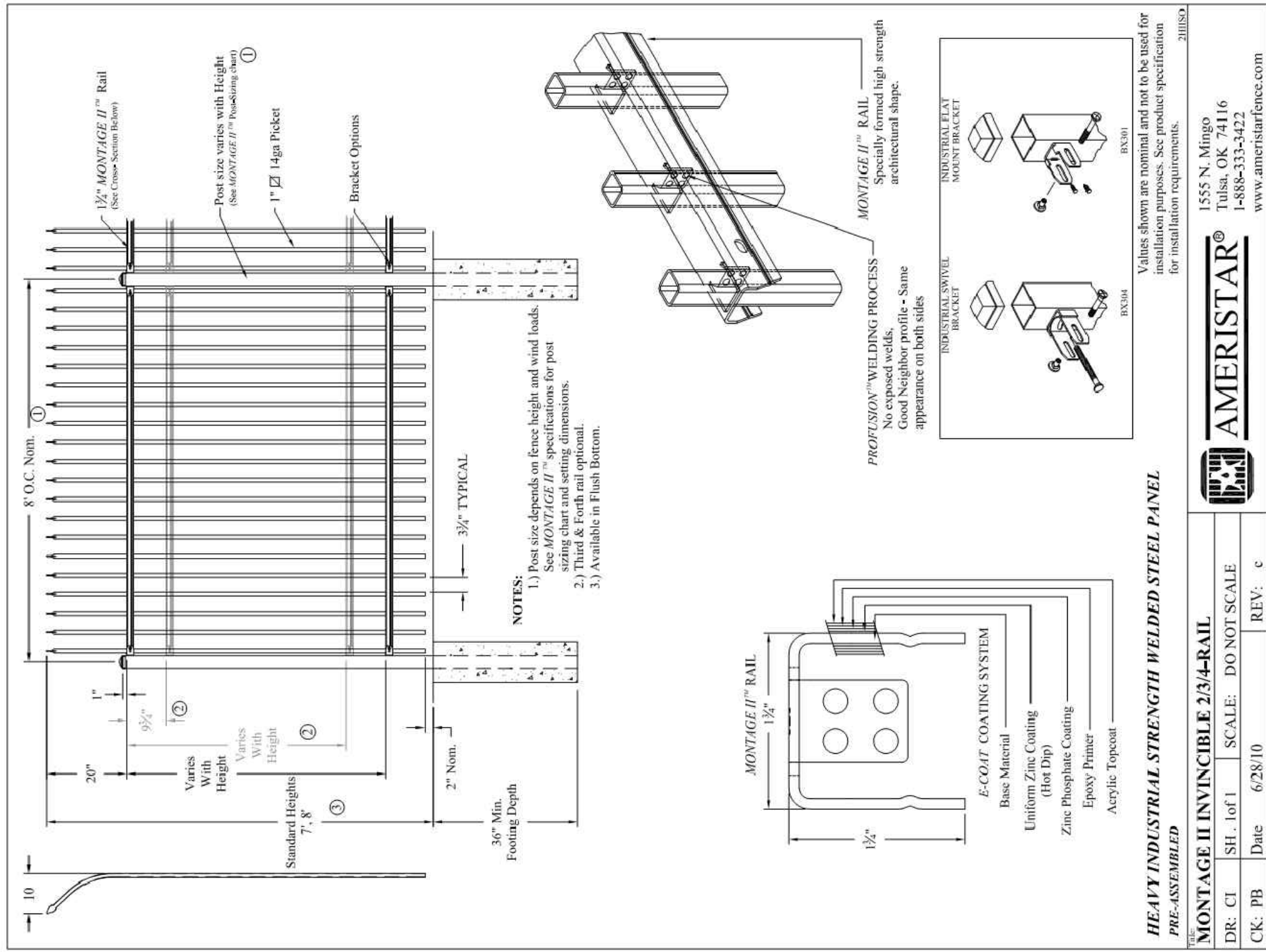
BIOTREATMENT MATERIAL

NTS



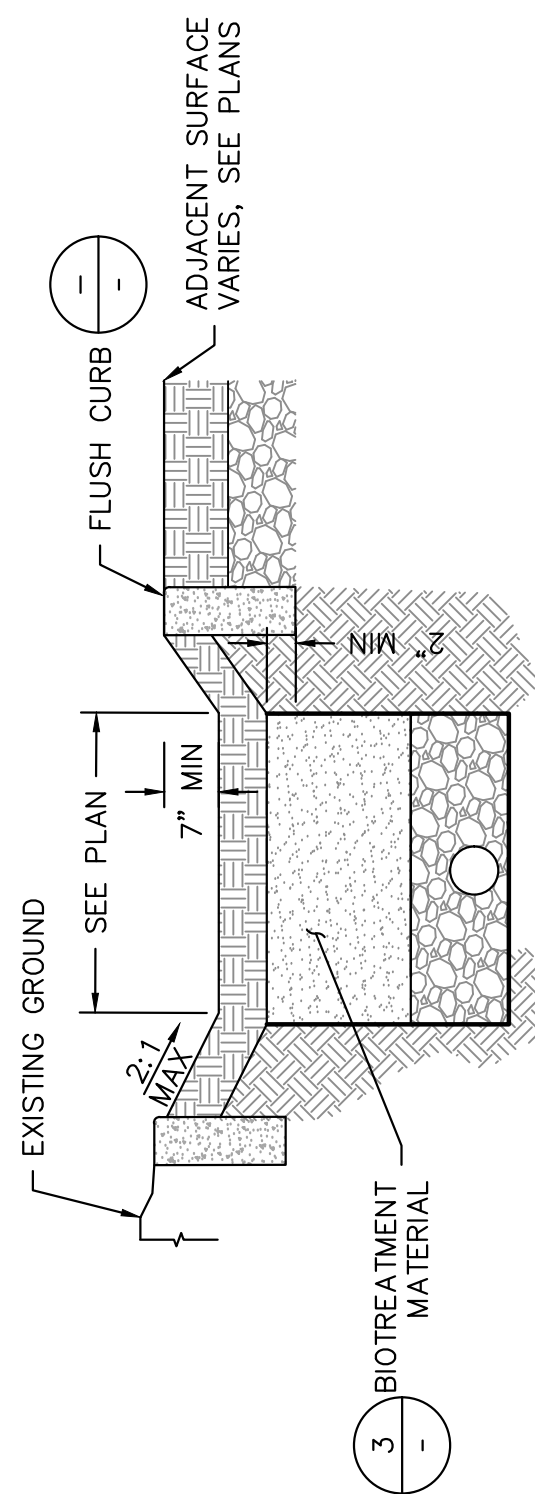
BIOTREATMENT LONGITUDINAL CROSS-SECTION

NTS



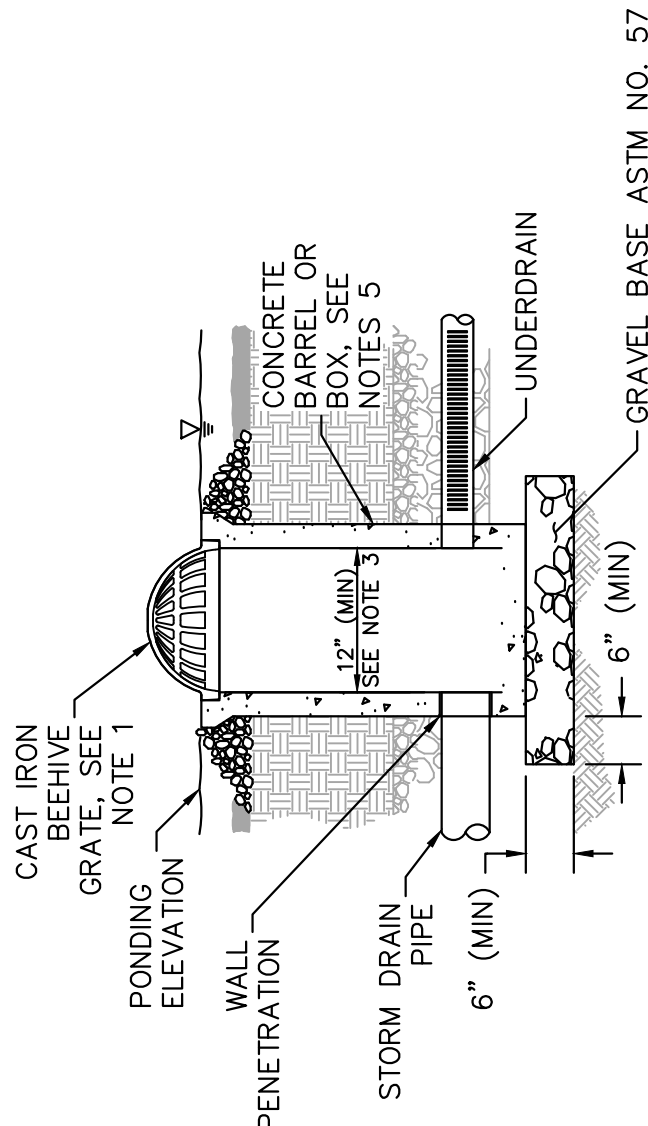
INDUSTRIAL FENCE

NTS



FLUSH CONDITION AT BIOTREATMENT

NTS



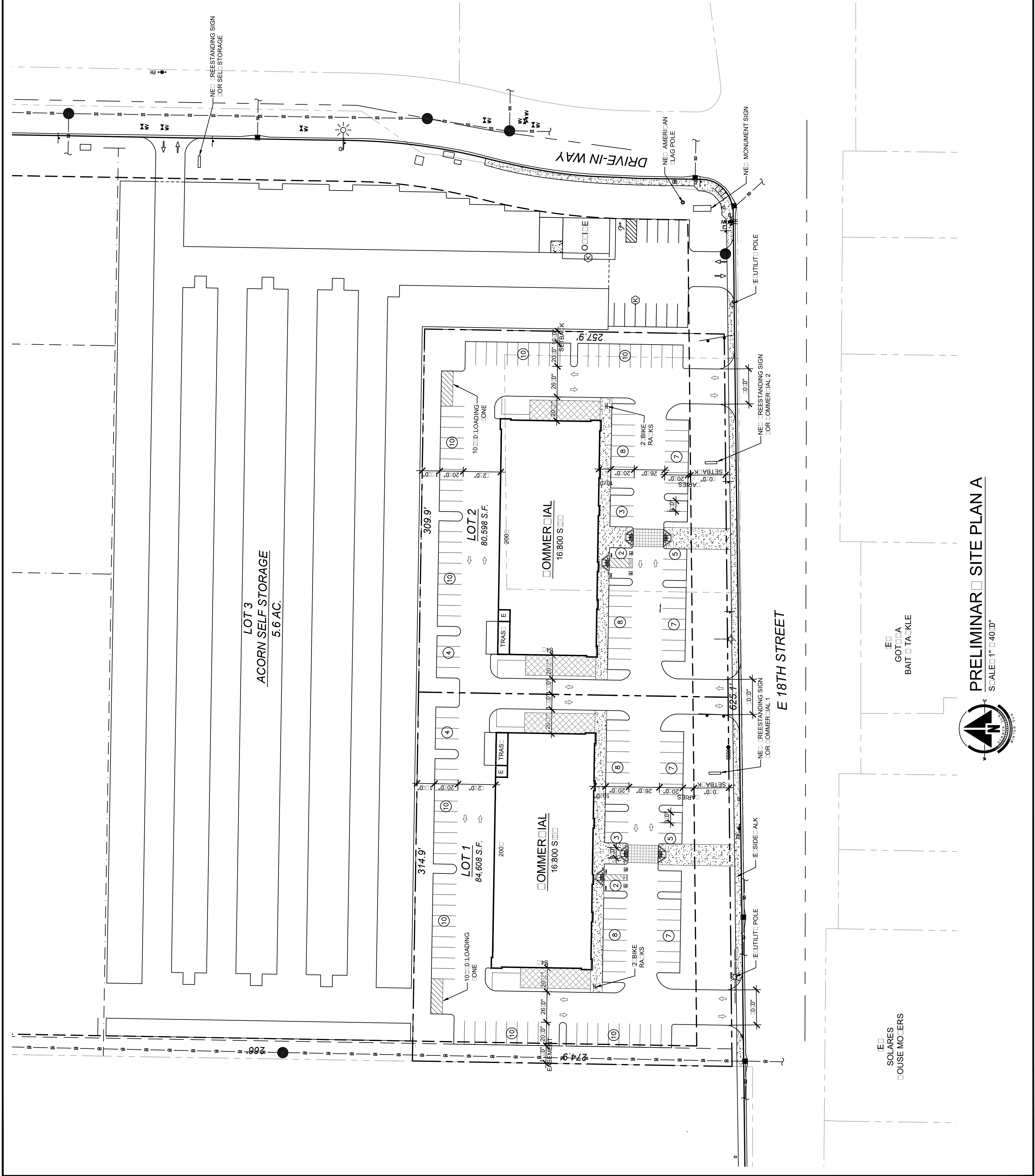
OVERFLOW STRUCTURE

ENTS

CONSTRUCTION NOTES:

1. SIZE OF GRATE SHALL MATCH SIZE OF RISER SPECIFIED IN PLANS. SHALL BE REMOVABLE TO PROVIDE MAINTENANCE ACCESS, AND SHALL BE BOLTED IN PLACE OR OUTFITTED WITH APPROVED TAMPER-RESISTANT GRATE. MAXIMUM GRATE OPENING SHALL BE 4 INCHES.
2. IF INTERIOR DEPTH OF OVERFLOW STRUCTURE EXCEEDS 5 FEET, A PERMANENT BOLTED LADDER AND MINIMUM CLEAR SPACE OF 30 IN BY 30 IN SHALL BE PROVIDED FOR MAINTENANCE ACCESS.
3. 12 INCH (MIN) CLEARANCE WITHIN OVERFLOW STRUCTURE SHALL BE PROVIDED FOR MAINTENANCE ACCESS.
4. INSTALL CAST IRON TRAP/HOOD PER MANUFACTURER'S RECOMMENDATIONS.
5. BARREL/BOX AND BASE OF CATCH BASIN SHALL BE REINFORCED WITH REINFORCEMENT PER MANUFACTURER'S RECOMMENDATIONS, OR POURED IN PLACE CONCRETE WITHOUT STEEL PER SAN FRANCISCO STANDARD PLANS AND SPECIFICATIONS.

NOTE: TYPICAL FENCE DETAIL AS REQUIRED.



PRELIMINAR SITE PLAN A
SCALE 1" = 40.00'

SOLAR PANELS
HOUSE MOTORS

GOLF CARTS
BASKETBALL

SITE DATA	
APN 011012112 011012111 SITE AREA (COMMERCIAL) ±165,206 S.F. (3.79 AC.) ZONING PB PLANNED BUSINESS CENTER REGIONAL COMMERCIAL DISTRICT	
SITE AREA LOT 1 84,608 S LOT 2 80,598 S TOTAL COMMERCIAL SITE AREA 16,206 S	
LOT 1 - COMMERCIAL: SITE AREA 84,608 S BUILDING AREA COMMERCIAL OVERAGE 19.8 PARKING REQUIRED COMMERCIAL AT 120 S 16,800 S 68 SPACES PARKING PROVIDED ACCESSIBLE STANDARD 2 SPACES 82 SPACES 84 SPACES TOTAL PARKING PROVIDED	
LOT 2 - COMMERCIAL: SITE AREA 80,598 S BUILDING AREA COMMERCIAL OVERAGE 20 PARKING REQUIRED COMMERCIAL AT 120 S 16,800 S 84 SPACES PARKING PROVIDED ACCESSIBLE STANDARD 2 SPACES 82 SPACES 84 SPACES TOTAL PARKING PROVIDED	

ACORN
BUSINESS PARK
NORTH STREET CORNER
EAST 18TH STREET DRIVE IN
ANTIOCH 9409

MI PROPERTIES
CORPORATION
8117 MI
926722200

TW
ARCHITECT
TOM WILSON ARCHITECT, INC.
820 S
B
A 9410
T 707 747121

DATE: 09/14/2018

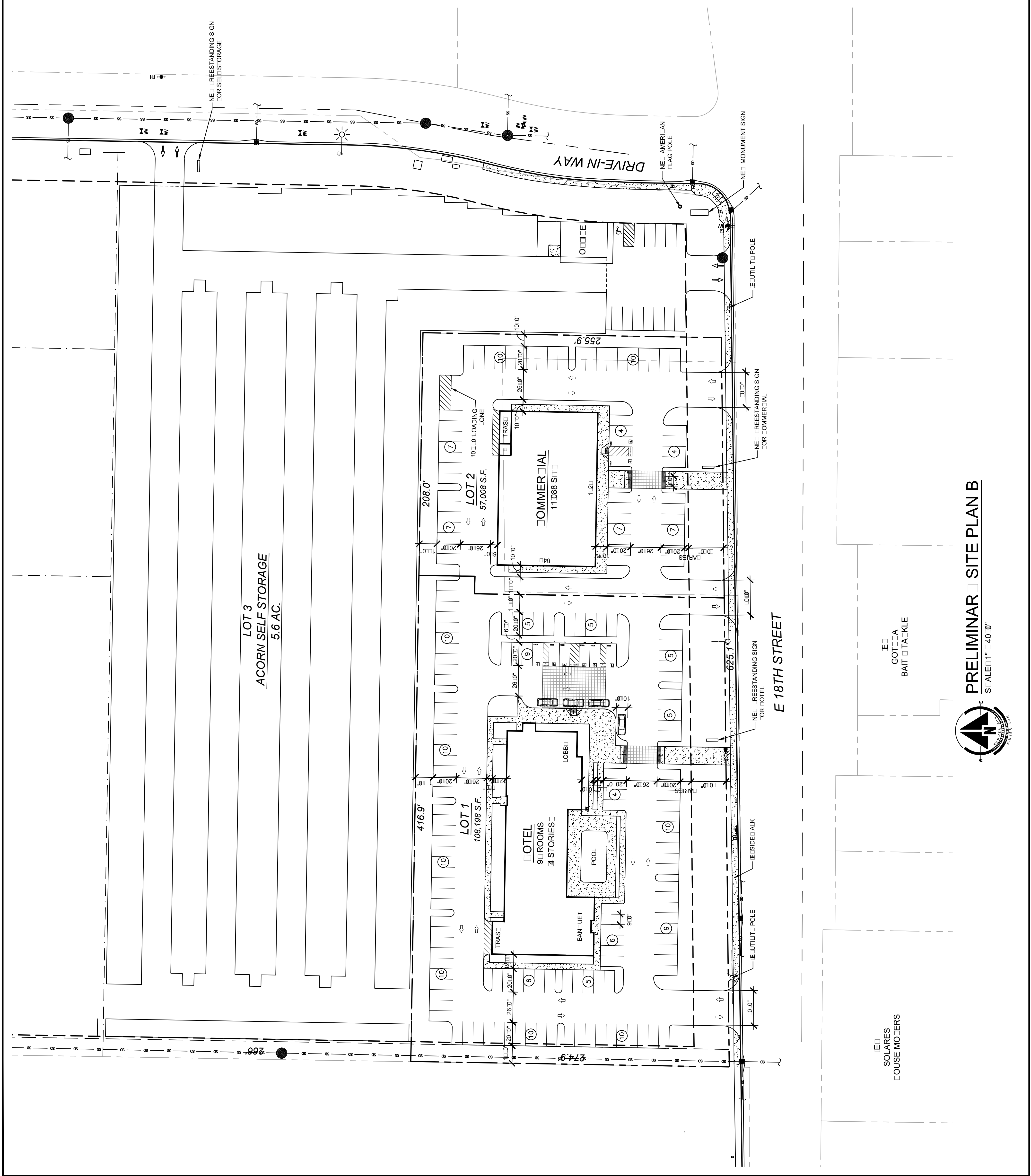
REVISION NO. REVISION DATE

A 07-23-2018

SITE PLAN A
COMMERCIAL

DR - 1

JOB NO. MI02



SITE DATA	
APN 011012112 011012111 SITE AREA (COMMERCIAL) ±165,206 S.F. (3.79 AC.) ZONING PB PLANNED BUSINESS CENTER REGIONAL COMMERCIAL DISTRICT	
SITE AREA LOT 1 108,198 S LOT 2 17,008 S TOTAL SITE AREA 16,206 S	
LOT 1 - HOTEL: SITE AREA 108,198 S HOTEL BUILDING AREA 121,16 S GROUND FLOOR 14 ROOMS SECOND FLOOR 27 ROOMS THIRD FLOOR 27 ROOMS COURT FLOOR 27 ROOMS TOTAL BUILDING AREA 419 S GARAGE TOTAL SITE 04 GARAGE GROUND SITE 112 TOTAL NUMBER OF ROOMS 9 ROOMS HOTEL PARKING REQUIRED 9 SPACES 1 ROOM 9 ROOMS 1 EMPLOYEE 10 100 S DINING 1,200 S TOTAL PARKING REQUIRED 129 SPACES HOTEL PARKING PROVIDED 6 SPACES ACCESSIBLE STANDARD 12 SPACES TOTAL PARKING PROVIDED 129 SPACES	MI PROPERTIES CORPORATION 8117 M... 9417 926722.2200
LOT 2 - COMMERCIAL: SITE AREA 17,008 S COMMERCIAL BUILDING AREA 11,088 S GARAGE TOTAL SITE 02 GARAGE GROUND SITE 194 COMMERCIAL PARKING REQUIRED 6 SPACES 1,200 S 11,088 S COMMERCIAL PARKING PROVIDED 2 SPACES ACCESSIBLE STANDARD 4 SPACES TOTAL PARKING PROVIDED 6 SPACES	ACORN BUSINESS PARK NORTH STREET CORNER EAST 18TH STREET DRIVE ANTIOCH 9409
DATE 09/14/2018 REVISION 07-23-2018 SITE PLAN B HOTEL COMMERCIAL	
DR - 2	
JOB NO MI02	

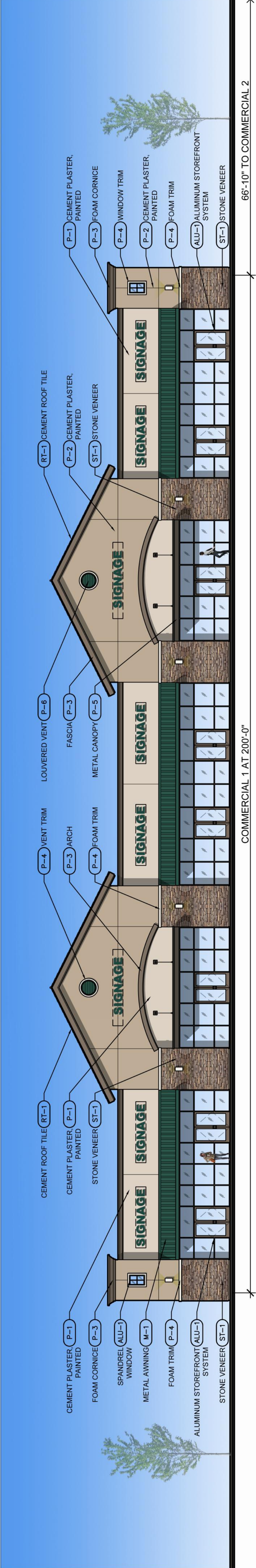
TWA ARCHITECT

TOM WILSON ARCHITECT, INC.
920 S... 9410
T... 707-747121

- 35'-0" ROOF APEX
- 24'-0" TOP OF CORNER TOWER
- 22'-0" TOP OF PARAPET
- 14'-0" TOP OF AWNING
- 10'-0" STOREFRONT
- 0'-0" FLOOR FINISH

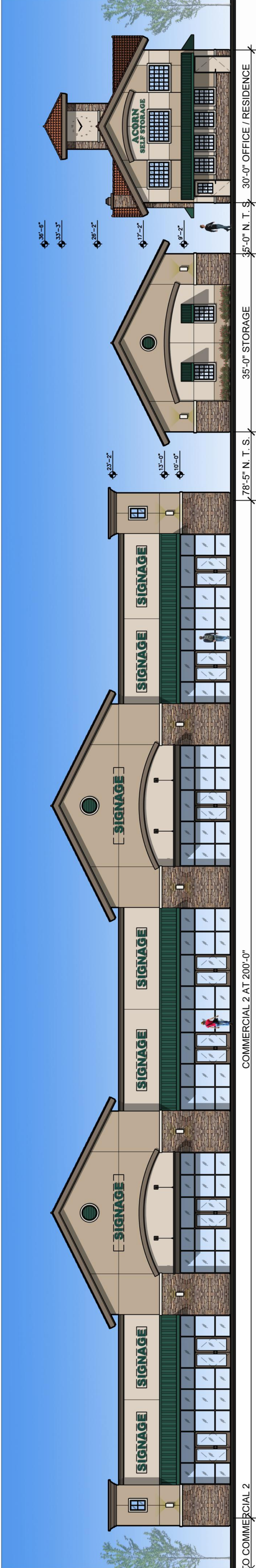
- 35'-0" ROOF APEX
- 24'-0" TOP OF CORNER TOWER
- 22'-0" TOP OF PARAPET
- 14'-0" TOP OF AWNING
- 10'-0" STOREFRONT
- 0'-0" FLOOR FINISH

- 34'-6" ROOF APEX
- 33'-3" TOP OF PLATE
- 25'-2" BOTTOM OF TOWER
- 17'-2" TOP OF PLATE
- 11'-6" STORAGE TOWER
- 10'-0" STORAGE
- 9'-2" SECOND FLOOR
- 8'-0" WALL BEYOND
- 3'-3"
- 0'-0" GROUND FLOOR FINISH



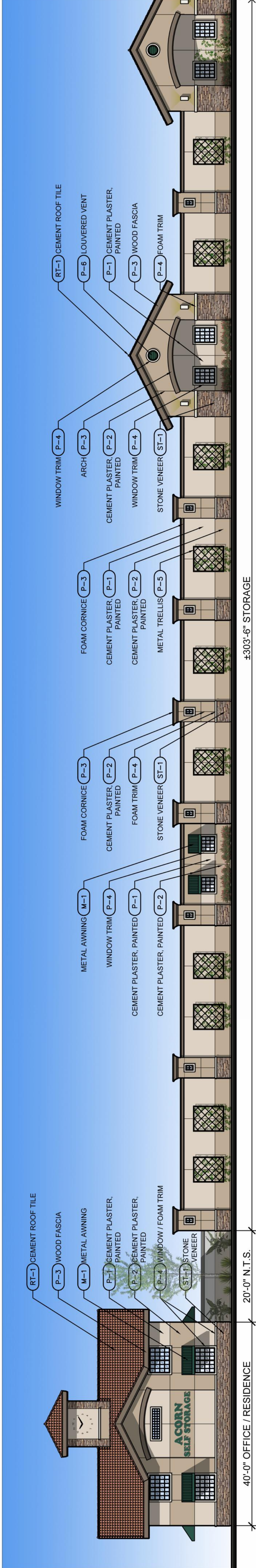
SOUTH ELEVATION - LOT A (EAST 18TH STREET)

SCALE: 3/32" = 1'-0"



SOUTH ELEVATION - LOT B / STORAGE (EAST 18TH STREET)

SCALE: 3/32" = 1'-0"



EAST ELEVATION - STORAGE (DRIVE-IN WAY)

SCALE: 3/32" = 1'-0"

DATE: 09/14/2018
REV. NO.
REV. DATE
Δ
Δ
Δ
Δ

COMMERCIAL
& STORAGE
ELEVATIONS

DR - 3

JOB NO.: JM102

JMI PROPERTIES
CORPORATION

(925) 672-2200
jmi-properties.com

ACORN
BUSINESS PARK
NORTHWEST CORNER OF
EAST 18TH STREET & DRIVE-IN WAY
ANTIOCH, CA 94509
8117 Marsh Creek Road
Clayton, CA 94517



TOM WILSON ARCHITECT, INC.
920 First Street, Suite 202
Berkeley, CA 94510
Tel: (707) 747-1231
www.tw-architects.com

DATE: 09/14/2018

HOTEL - COMM'L.
& STORAGE
ELEVATIONS

DR - 4

ACORN
BUSINESS PARK
NORTHWEST CORNER OF
ST 18TH STREET & DRIVE-IN W.
ANTIOCH, CA 94509

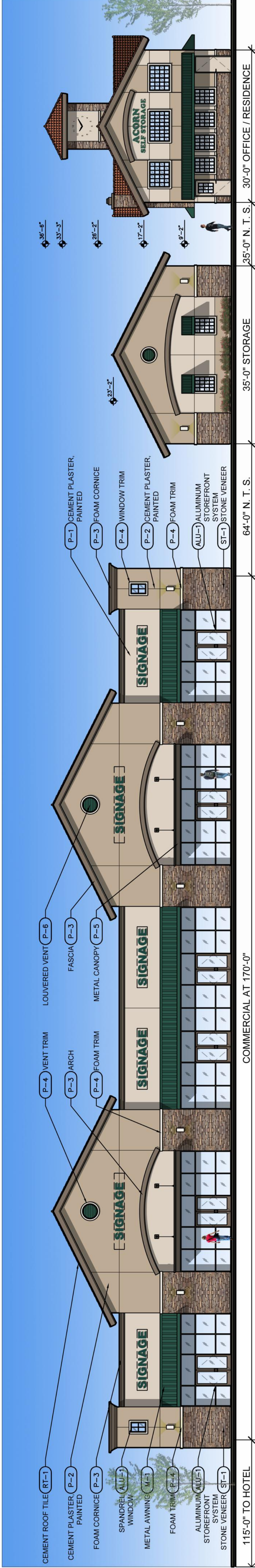
JMI PROPERTIES CORPORATION
 20000 Arsh Creek Road
 CA 94517
 (925) 672-2200
 jmi-properties.com

TOM WILSON ARCHITECT, INC.
920 First Street, Suite 202
Benicia, CA 94510
Tel: (707) 747-1231
www.tw-architects.com

The logo for TWA Architect, featuring the letters 'TWA' in a stylized, bold, green font, with the word 'ARCHITECT' in a smaller, black, sans-serif font above it.

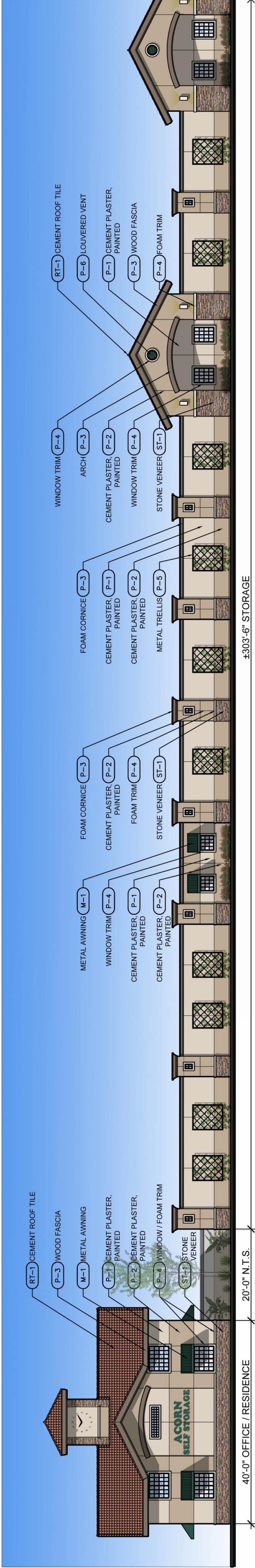
SOUTH ELEVATION - LOT A (EAST 18TH STREET)

SCALE: 3/32" = 1'-0"



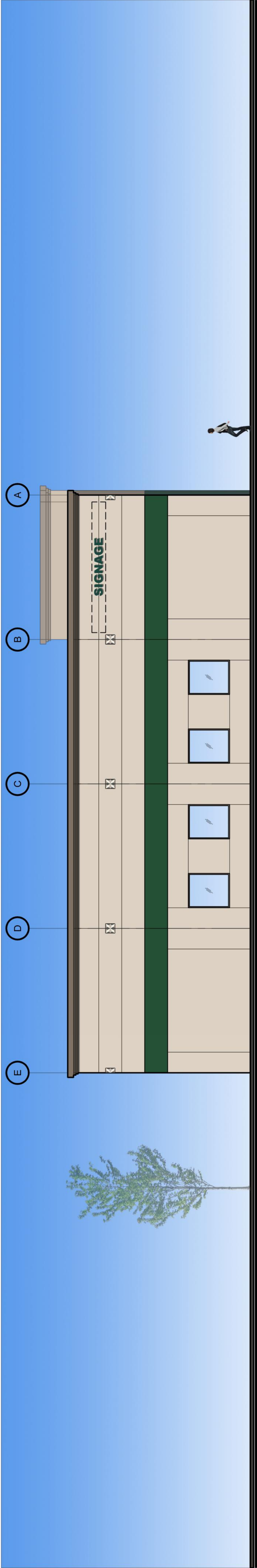
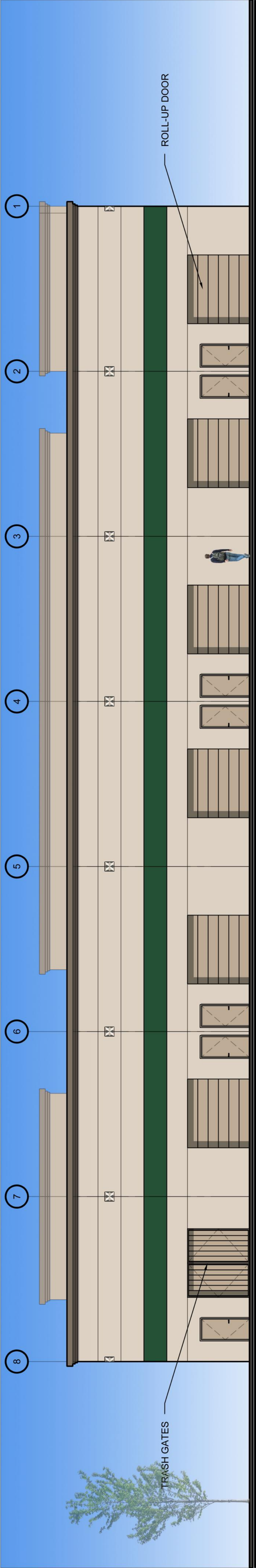
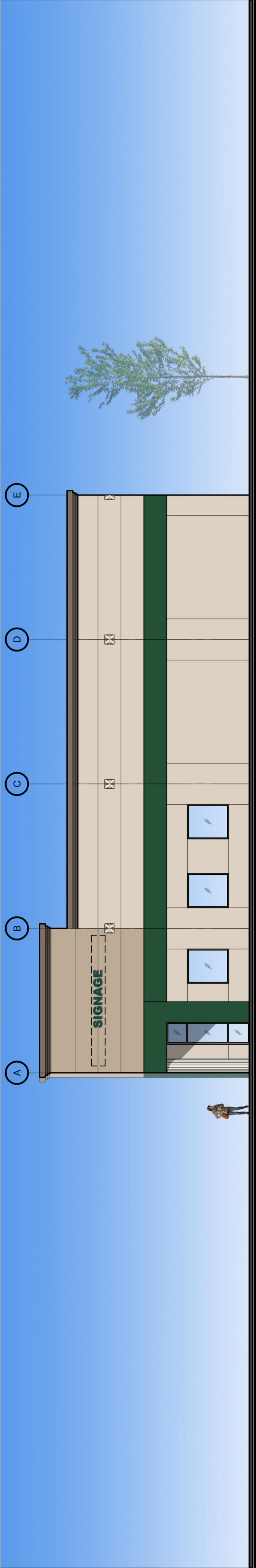
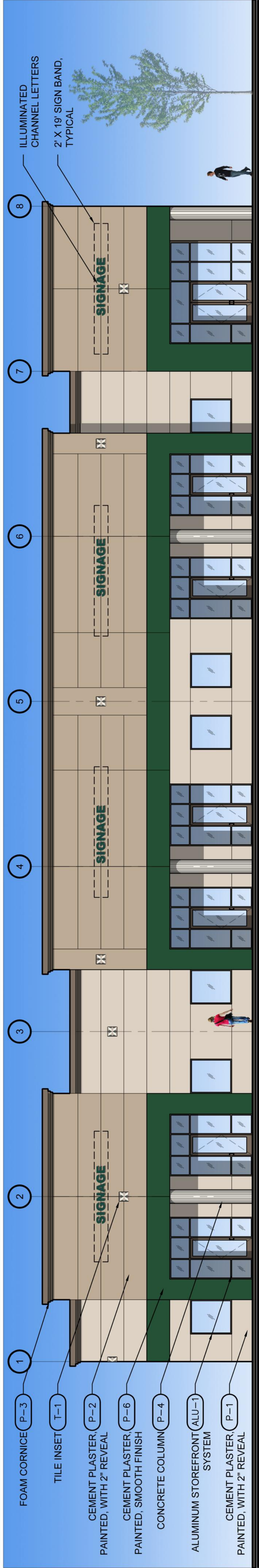
SOUTHELEVATION - LOT B / STORAGE (EAST 18TH STREET)

SCALE: 3/32" = 1'-0"



EAST ELEVATION - STORAGE (DRIVE-IN WAY)

SCALE: 3/32" = 1'-0"



NOTE: REFER TO SHEET DR-7 FOR BUILDING MATERIALS & COLORS.

DATE: 09/14/2018 REV. NO. REV. DATE		ACORN BUSINESS PARK NORTHWEST CORNER OF EAST 18TH STREET & DRIVE-IN WAY ANTIOCH, CA 94509		JMI PROPERTIES CORPORATION (925) 672-2200 jmi-properties.com		TOM WILSON ARCHITECT, INC. 920 First Street, Suite 202 Benicia, CA 94510 Tel: (707) 747-1231 www.tw-architects.com		DR - 5 INDUSTRIAL BUILDING ELEVATIONS		JOB NO.: JMI02
TWA ARCHITECT		8117 Marsh Creek Road Clayton, CA 94517		JMI PROPERTIES CORPORATION (925) 672-2200 jmi-properties.com		TOM WILSON ARCHITECT, INC. 920 First Street, Suite 202 Benicia, CA 94510 Tel: (707) 747-1231 www.tw-architects.com		DR - 5 INDUSTRIAL BUILDING ELEVATIONS		JOB NO.: JMI02

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DR - 6

TPIAL
INDUSTRIAL
LOOR PLAN

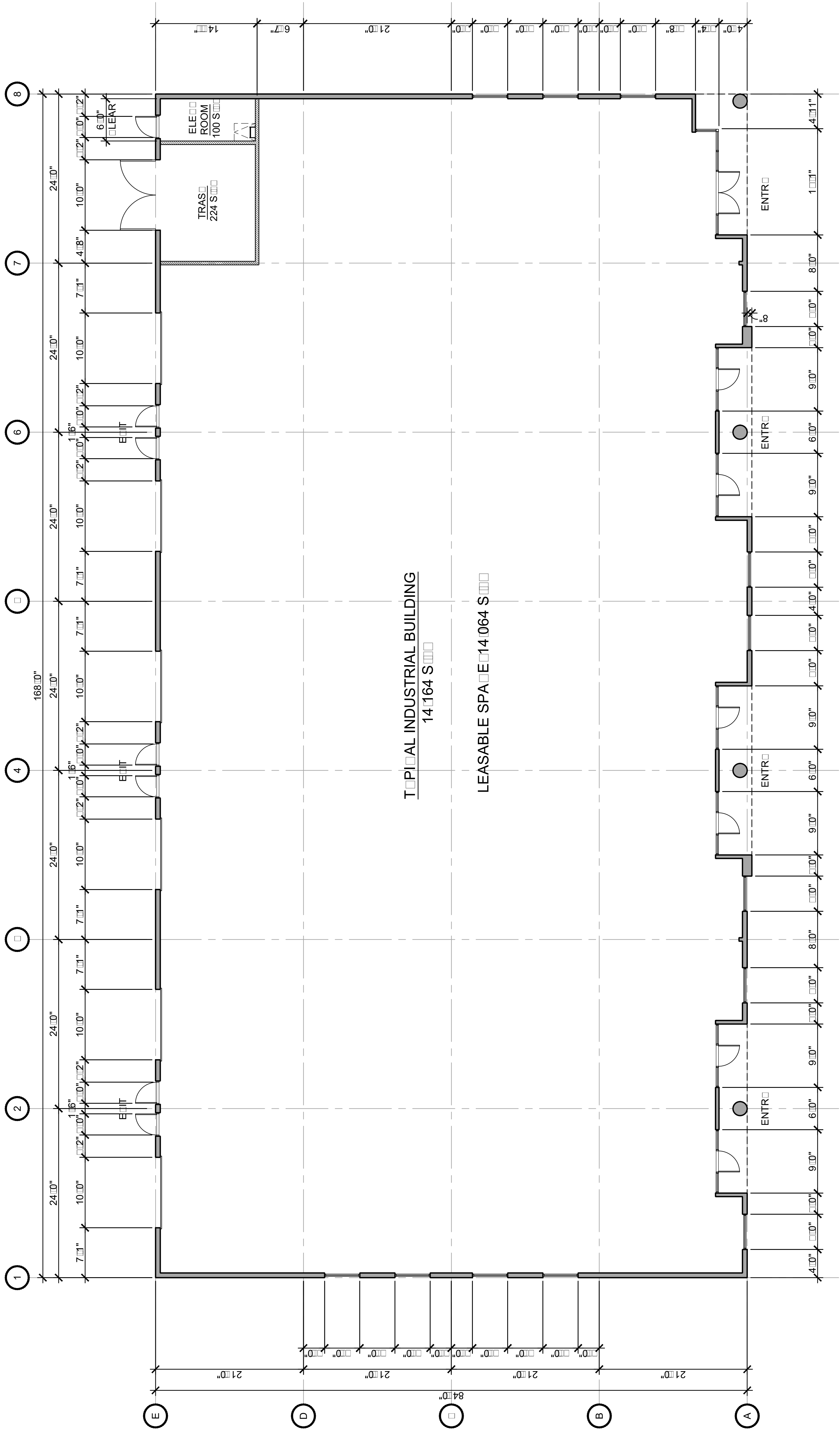
DATE 09/14/2018

AORN
BUSINESS PARK
NORTH ☐ EAST ☐ CORNER ☐
EAST 18TH STREET ☐ DRIVE ☐ N
ANTIOCH ☐ A 94009

MI PROPERTIES
CORPORATION

8117 Mr □ r □ R □ d 92 □ 6722 200

TOM ILSON ARITE TIN
920 r S 202
B A 9410
T 707 747 121
r

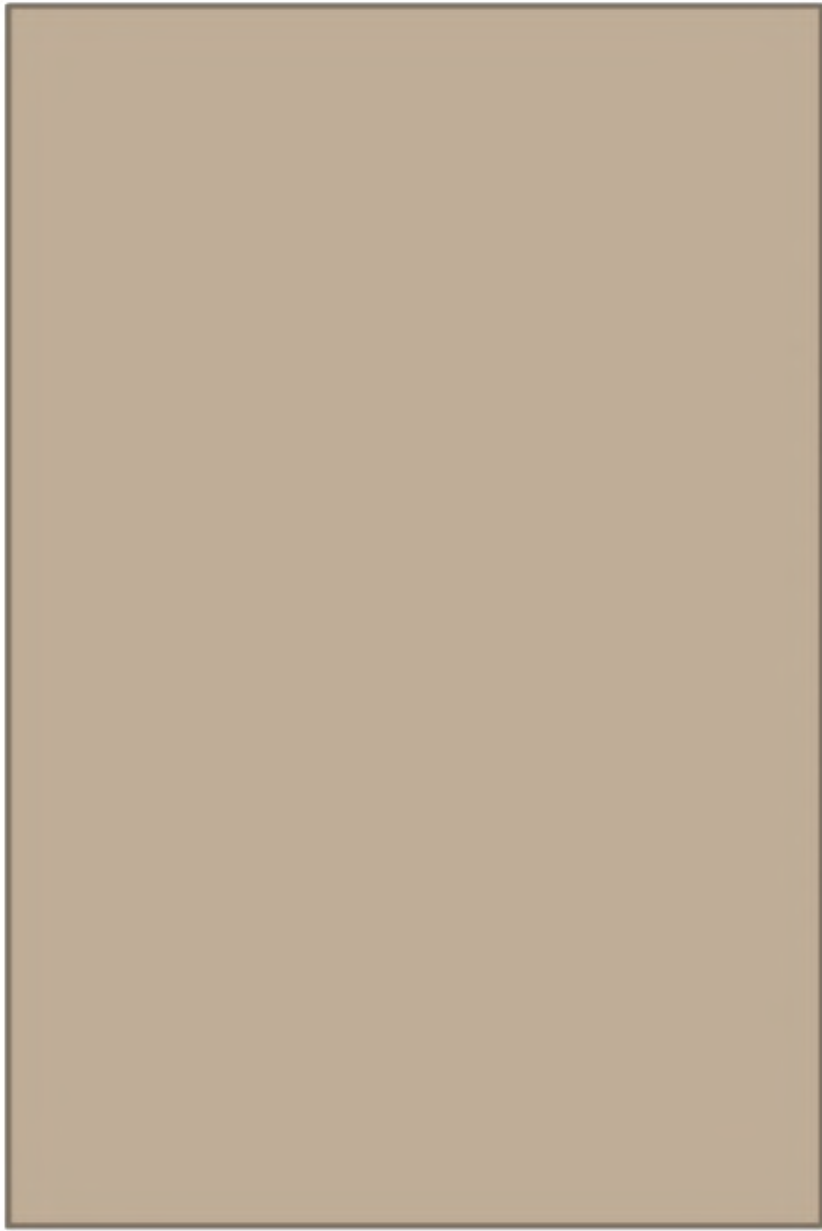


TPIAL INDUSTRIAL LOOR PLAN

SALE 18" x 10"



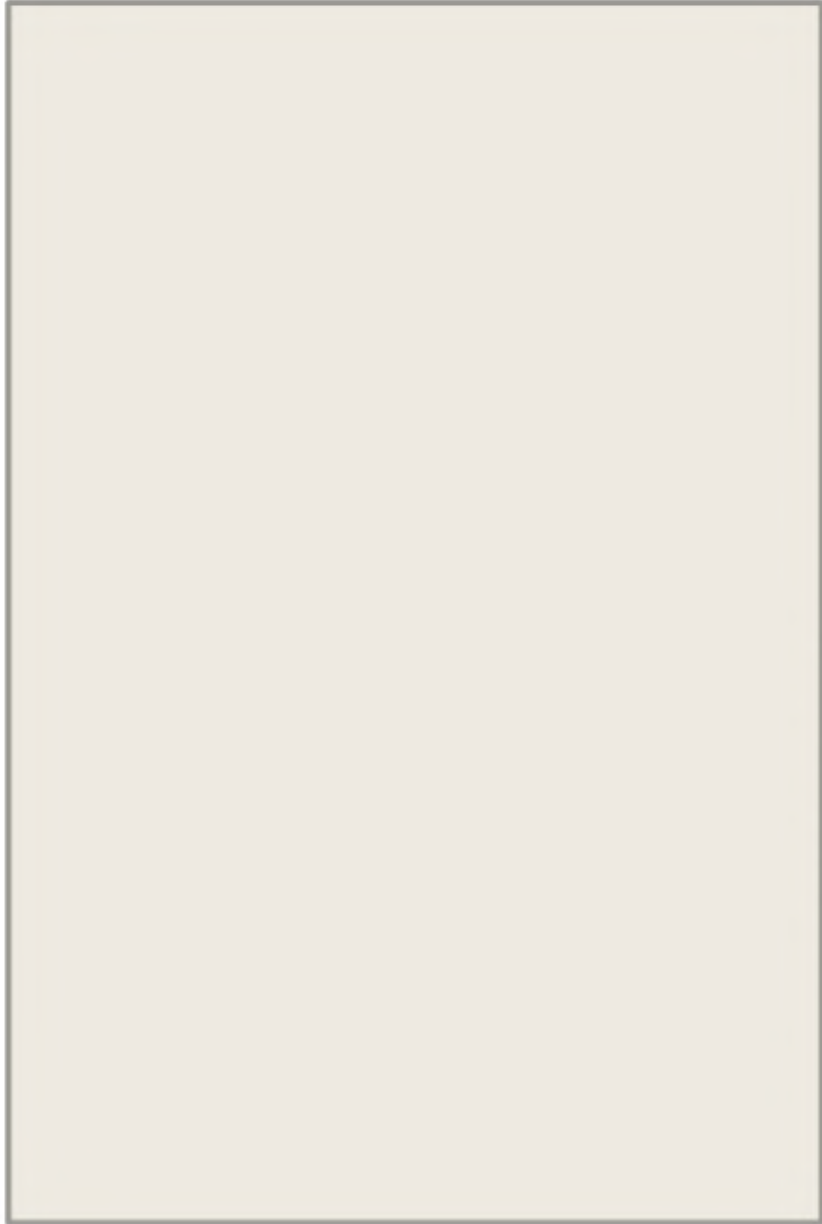
P-1
PAINT (BODY)
SHERWIN WILLIAMS
#SW 9109 "NATURAL LINEN"



P-2
PAINT (TOWER / WAINSCOT)
SHERWIN WILLIAMS
#SW 9111 "ANTLER VELVET"



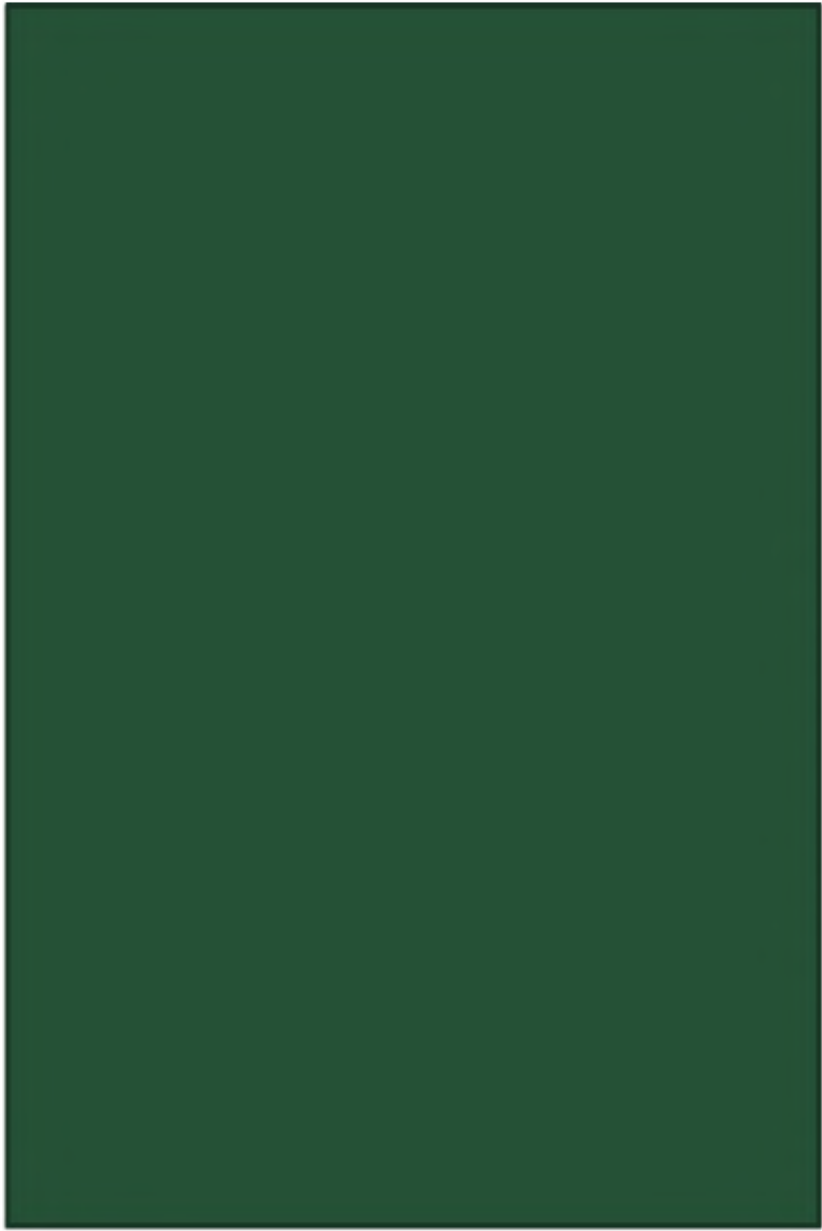
P-3
PAINT (CORNICE / FASCIA / ARCH)
SHERWIN WILLIAMS
#SW 7514 "FOOTHILLS"



P-4
PAINT (TRIM)
SHERWIN WILLIAMS
#SW 7001 "MARSHMALLOW"



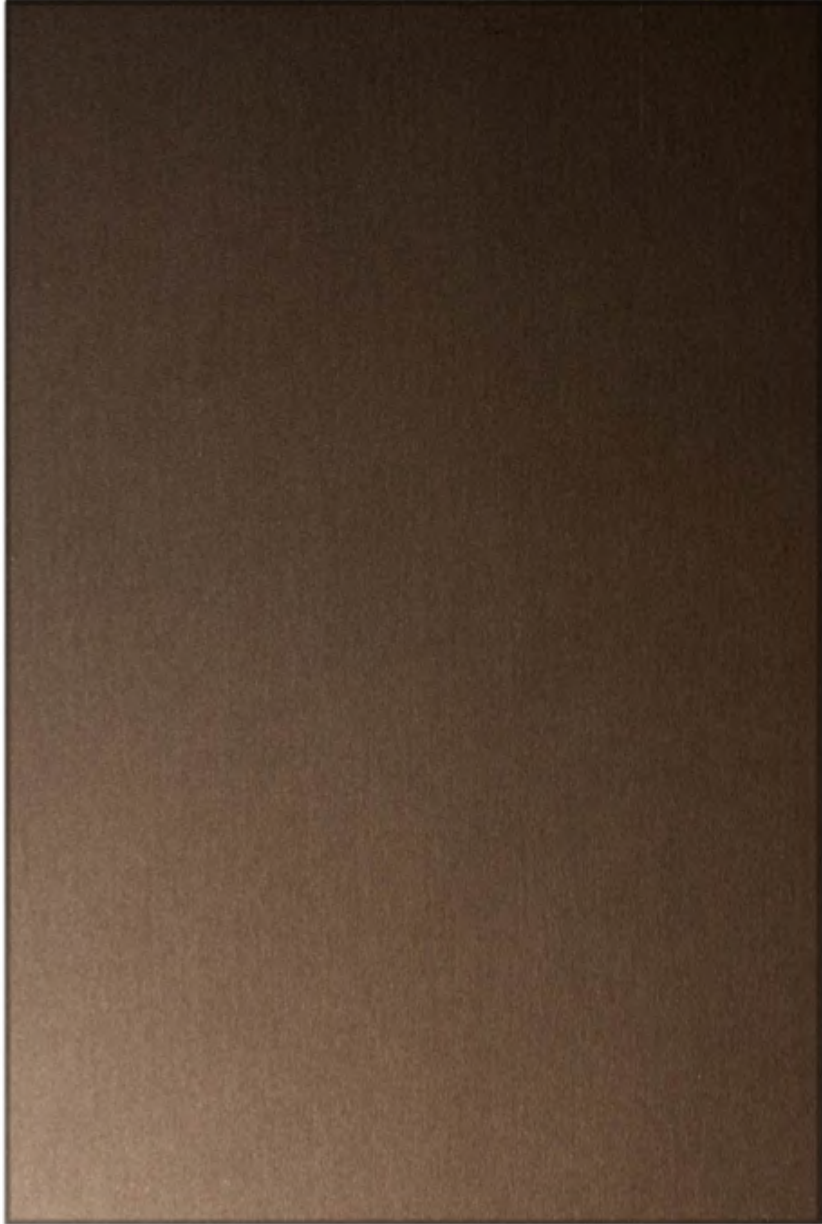
P-5
PAINT (METAL CANOPY / TRELLIS)
SHERWIN WILLIAMS
#SW 7020 "BLACK FOX"



P-6
PAINT (ACCENT)
SHERWIN WILLIAMS
#SW 6454 "SHAMROCK"



ST-1
STONE VENEER
ELDORADO RUSTIC LEDGE
"CLEARWATER"



ALU-1
ALUMINUM STOREFRONT SYSTEM
KAWNEER PERMODIC
"DARK BRONZE ANODIZED"



M-1
METAL AWNING
AEP SPAN
"COOL JADE GREEN"



RT-1
CEMENT ROOF TILE
BORAL ROOFING
ROMANO PANS "RED"



T-1
TILE INSERT
FLORIDA TILE
GENESIS "PRISM 3"

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CLAYTON, CA 94517
(925) 672-2200

Jmi-properties.com

MATERIALS & COLOR BOARD

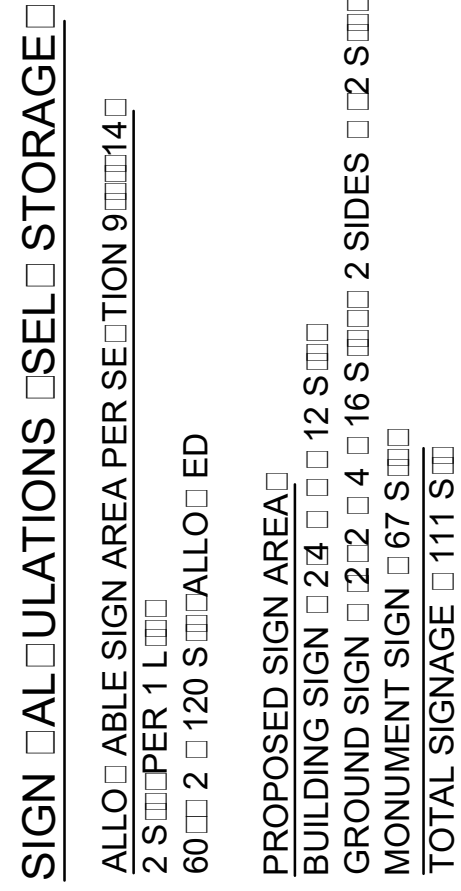
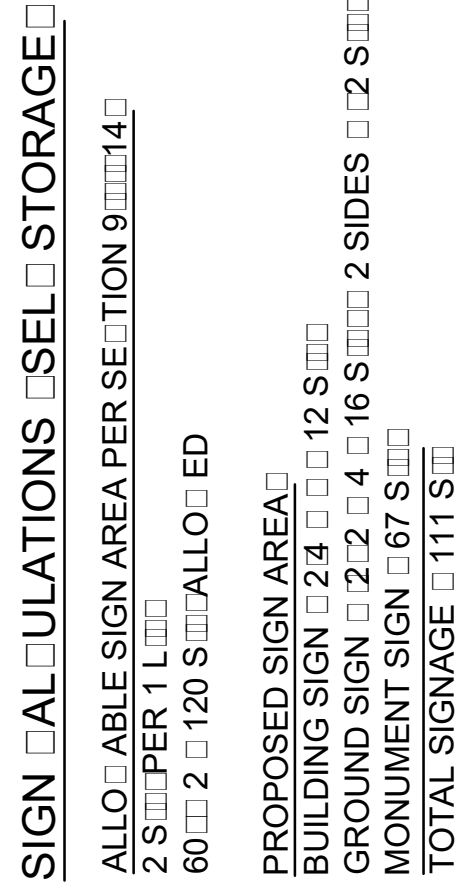
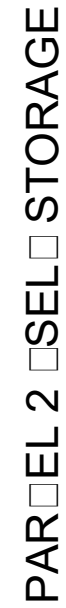
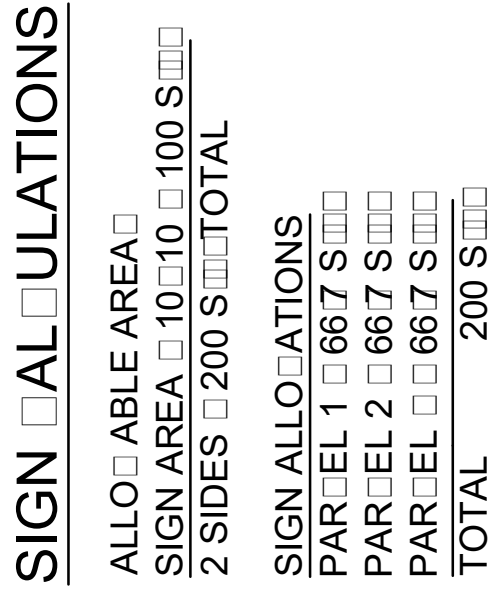
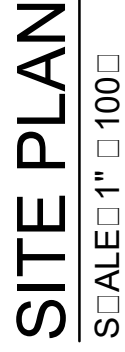
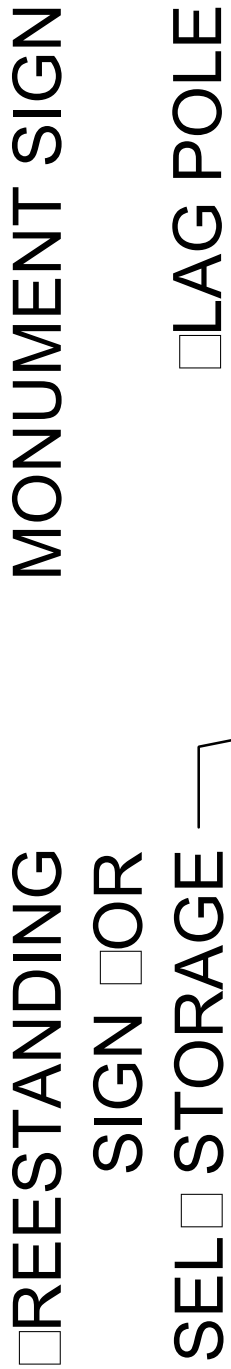
ACORN BUSINESS PARK
NORTHWEST CORNER OF EAST 18TH STREET & DRIVE-IN WAY
ANTIOCH, CA 94509
09/14/2018

TOM WILSON ARCHITECT, INC.

920 FIRST STREET # 202
BENICIA, CA 94510
(707) 747-1231

tw-architects.com





DATE	09/14/2018
RE	NO
	RE
	DATE

SIGN PLAN

DR - 8

<input type="checkbox"/> OB NO <input type="checkbox"/>	<input type="checkbox"/> MI02
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TOM ILSON ARTE T IN
920 r S S 202
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AORN
BUSINESS PARK

DATE 09/14/2018

RE NO RE DATE



SIGN PLAN

DR - 8

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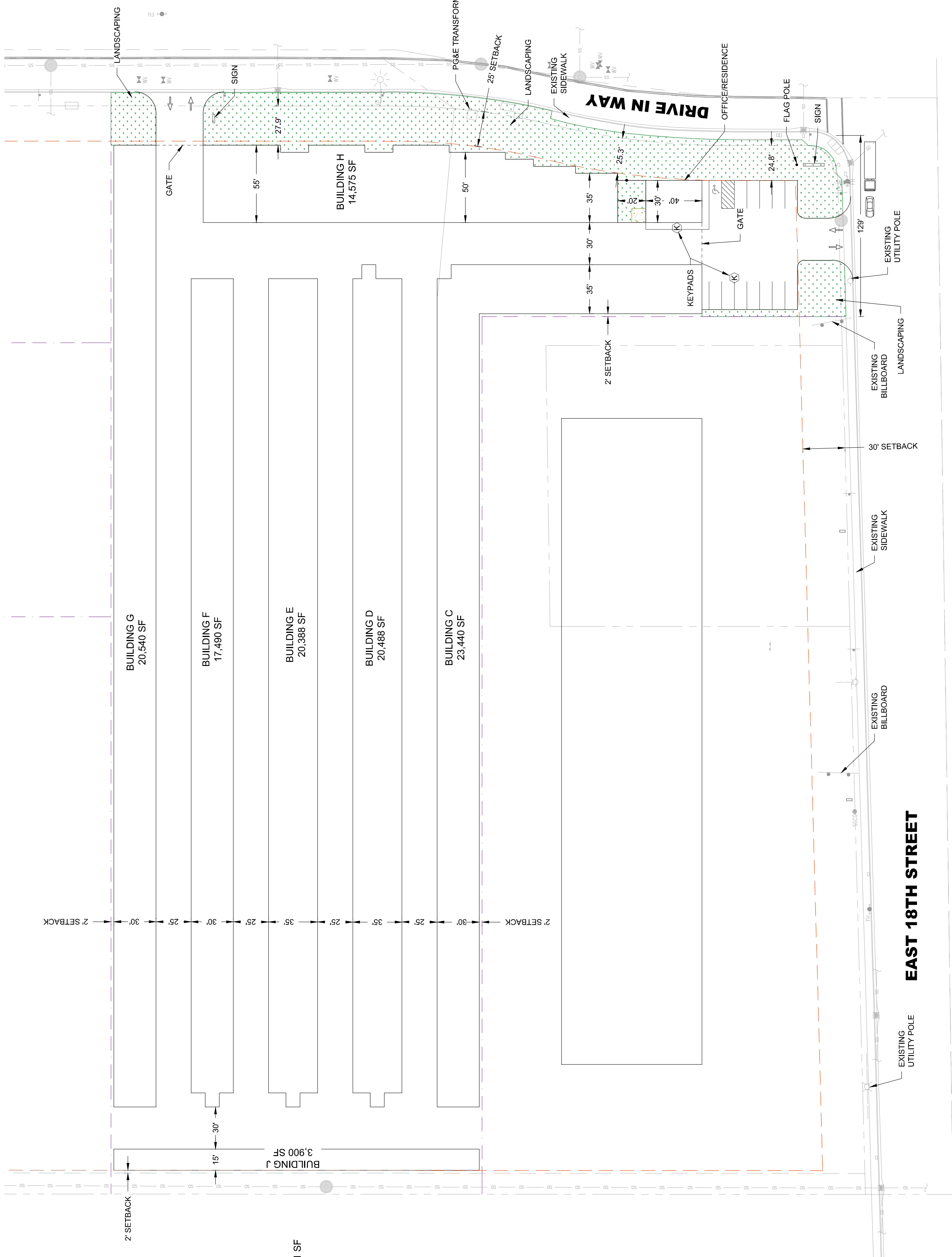
40'

5205 RAILROAD AVENUE
PITTSBURG, CALIFORNIA

DATE: SEPTEMBER	
SCALE: AS NOTED	
PROJECT: ---	
FILE:	

engineering and
construction
1111 CIVIC DRIVE
SUITE 130
WILMINGTON, DE 19801

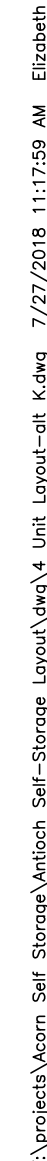
ANTIOCH SELF STORAGE

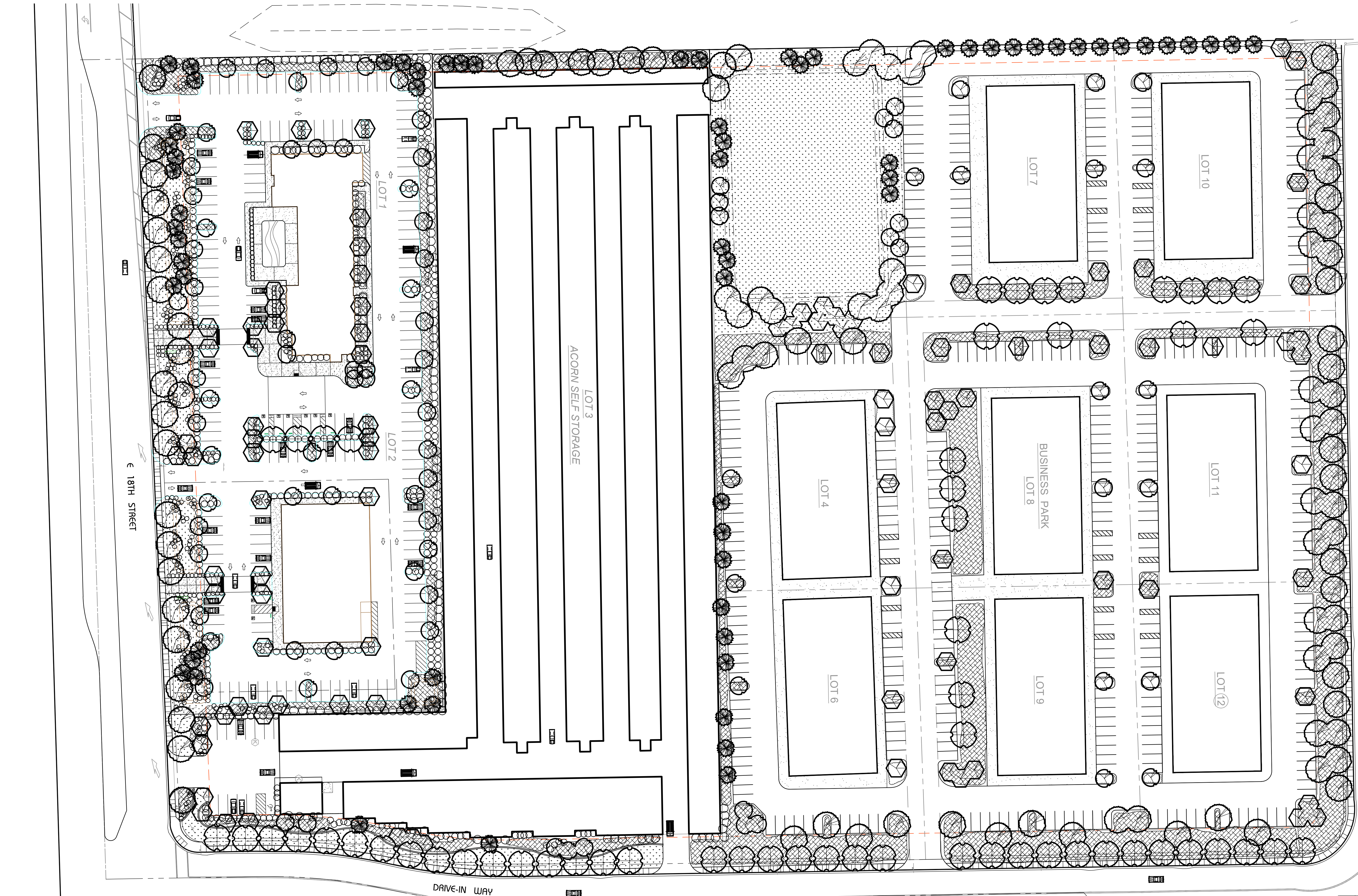


LEGEND

	PROPERTY LINE
	PROPOSED SUBDIVISION
	EASEMENT
	SETBACK LINE
	10' TALL FENCE WITH SLATS
	GATE
	KEYPAD

LIGHT INDUSTRIAL LOT AREA = 10.52 ACRES
COMMERCIAL LOT AREA = 3.79 ACRES
MACON SELF STORAGE LOT AREA = 5.44 ACRES
TOTAL SELF STORAGE BUILDING AREA = 120.82 ACRES
OFFICE AREA = 1,200 SF
FLOOR AREA RATIO = 51%



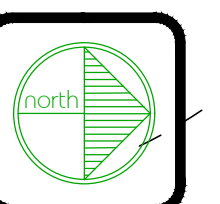
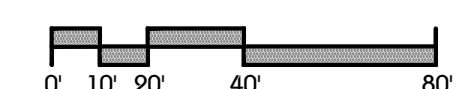


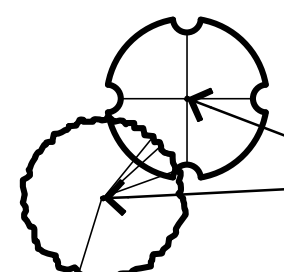
Acorn Business Park

L-1 Overall Landscape Plan

Antioch, California

September 14, 2018



<div>  <h1>Planting Legend</h1> </div>		
CANOPY TREE (Selection Optional): Pistacia chinensis Quercus ilex	24" Box: CHINESE PISTACHE HOLLY OAK	water use: Low Low
CONIFER (Selection Optional): Pinus canariensis Cedrus deodar	24" Box: CANARY ISLAND PINE DEODAR CEDAR	WATER USE: Low Low
SMALL ACCENT TREE (Optional): Arbutus 'Marina' Cercis canadensis Lagerstroemia x.f.	24" Box: N.C.N. EASTERN REDBUD CAPE MYRTLE	WATER USE: Low Low Low
VERTICAL TREE (Selection Options): Eucalyptus camaldulensis Liquidambar styraciflua Pyrus c. 'Aristocrat' Acer p. 'Columnare'	24" Box: RED GUM SWEET GUM EVERGREEN PEAR NCN	WATER USE: Low Moderate Low Moderate
LARGE SHRUB (Selection Options): Arbutus unedo Lavatera assurgentiflora Rhamnus californicum	5-Gal: STRAWBERRY TREE TREE MALLOW COFFEEBERRY	WATER USE: Low Low Low
MEDIUM SHRUB (Selection Options): Arctostaphylos spp. Berberis spp. Correa 'Dusky Bells' Diets irridioides Lavandula spp. Nandina domestica 'Variety' Phormium t. 'Bronze Baby' Pittosporum spp. Raphiolepis u. 'Minor' Salvia leucantha Teucrium fruticans	5-Gal: MANZANITA BARBERRY AUSTRALIAN FUCHSIA FORTNIGHT LILY LAVENDER HEAVENLY BAMBOO NEW ZELAND FLAX PITTOSPORUM YEDDO HAWTHORN MEXICAN SAGE BUSH GERMANDER	WATER USE: Low Moderate Low Low Low Low Low Low Low Low Low
GROUND COVER (Selection Options): Arctostaphylos spp. Baccharis p. 'Pigeon Point'	1-Gal & Flats: MANZANITA COYOTE BUSH	WATER USE: Low Low
Bio-Swale: Carex pansa Phyla nodiflora	1-Gal/Sod: SEDGE KURAPIA	WATER USE: Low Low

Notes

- All landscape and irrigation shall conform to the standards of the City and State wide landscape regulations and guidelines and all other Landscape related City and Regional standards.
- All plant materials have been selected in accordance with:
 - WULCOS Project "Water-Use Classification of Landscape Species" California Department of Water Resources

WATER EFFICIENT LANDSCAPE STATEMENT

The irrigation system shall be designed to meet current water efficient standards and State Water Efficient Ordinances AB 1881 as required by local jurisdictions while achieving the goal of effectively providing the landscape with water by the means of high efficiency spray irrigation to the turf and ground cover areas and drip irrigation bubblers to restrict shrub planting and shrub mass planting area as applicable.

Irrigation systems shall be designed to accommodate recycled water where available either currently or in the future as directed by the Local Water Purveyor. Recycled water systems shall be designed in accordance with Local and State codes.

Irrigation systems for landscapes greater than 5,000 SF shall have a dedicated water meter for irrigation.

A water efficient landscape work sheet shall be included with hydrozone information table, water budget calculations and irrigation operating schedules.

A state of the art ET based self-adjusting irrigation controller shall be specified for this project to automatically control the water allocated to each valve grouped per individual hydrozone (based on plant type and exposure). This shall include rain and flow sensors as applicable for a higher level of water conservation.

Tree bubblers shall be included on separate circuits to isolate the irrigation to trees and provide deep watering to promote a deeper root zone.

Spray irrigation systems for ground cover areas greater than 8' wide in any direction shall be designed with commercial series spray heads with high efficiency nozzles that include internal check valves and pressure compensating devices. The heads shall be designed in a head to head layout to achieve an even level of precipitation throughout the irrigation system. The nozzles will deliver water at a minimum of 70% efficiency with a low precipitation rate that matches the infiltration rate of the soil.

The drip irrigation system will incorporate pressure compensating drip bubblers with ¼" drip tubes to each plant which delivers water at 90% efficiency at an application rate that matches the soil type.



Carex pansa



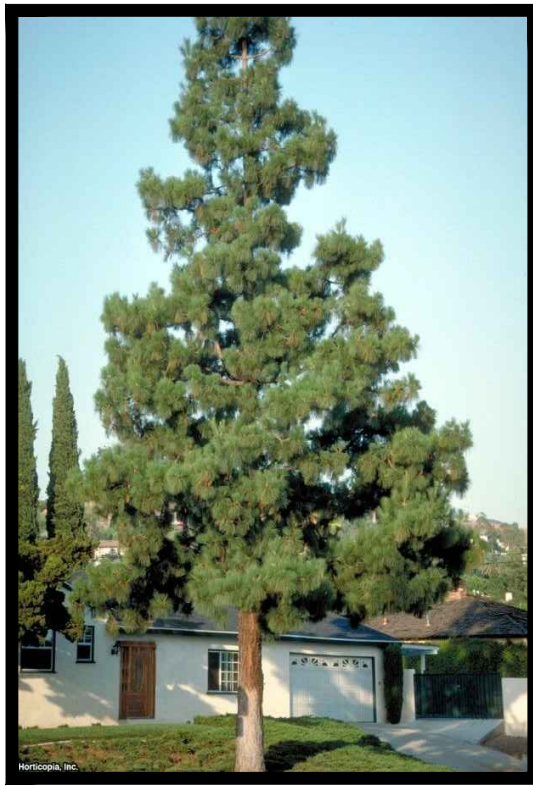
Phyla nodiflora



Quercus ilex



Pistacia chinensis



Pinus canariensis



Cedrus deodar



Arbutus 'Marina'



Cercis canadensis



Lagerstroemia xf 'Tuscarora'



Arbutus unedo



Lavatera assurgentiflora



Berberis t. 'Atropurpurea'



Correa 'Dusky Bells'



Diets bicolor



Lavandula spp.



Nandina domestica



Phormium t. 'Bronze Baby'



Pittosporum t. 'Variegata'



Raphiolepis u. 'Minor'



Salvia leucantha



Teucrium fruticans



Baccharis p 'Pigeon Point'



Plan View
Scale: 1 inch= 30 Ft.

Luminaire Schedule						
Symbol	Qty	Label	Description	LLF	Lum. Lumens	Lum. Watts
	97	E1	Hubbell - LNC2-12L-4K-070-4	0.903	2783	29
	4	E2	Beacon - VPS-36L-65-4K7-4W	0.903	7490	65

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Drive Aisles at Storage	Illuminance	Fc	2.51	9.1	1.0	2.51
Parking Lot	Illuminance	Fc	1.81	3.1	1.0	1.81

This report attempts to approximate the maintained light levels and is based on the information provided to Lighting Systems. Please verify data to ensure accuracy of the report. Many factors that can affect field-measured lighting levels cannot be anticipated in the calculation and as such Lighting Systems cannot warranty lighting levels. The product labels/descriptions/part numbers included on this calculation are for photometric purposes only and may need to be revised for real world conditions.



www.ltgsys.com

510-982-3900
2322 6th Street
Berkeley, CA 94710

916-772-5800
1310 Blue Oaks Blvd
Suite 400
Roseville, CA, 95678

Acorn Business Park Exterior Lighting E-1

Filename: Acorn Business Park_07-29-18.AGI

Date: 09/14/2018

Calcs by: Brian Franco
Voice: (510)-982-3938
brianf@ltgsys.com



STAFF REPORT TO THE CITY COUNCIL

DATE: Regular Meeting of May 28, 2019

TO: Honorable Mayor and Members of the City Council

SUBMITTED BY: Nickie Mastay, Administrative Services Director *NM*

APPROVED BY: Ron Bernal, City Manager *RB*

SUBJECT: Approving a Resolution supporting the City's participation in the 2020 Census efforts to ensure a complete and accurate count of Antioch residents.

RECOMMENDED ACTION

It is recommended that the City Council take the following actions:

- 1) Adopt a resolution supporting the City's participation in the 2020 Census.
- 2) Discuss and appoint a Council member or staff member to be the City's point of contact on the Census effort.

FISCAL IMPACT

Currently, there is not fiscal impact to the City. There may be a fiscal impact if the City decides to fund outreach efforts and activities.

DISCUSSION

The 2020 United States Census will take place on April 1, 2020. This Census is undertaken every 10 years for the purpose of counting the people living in the United States and to record basic demographic information such as age, race, economic characteristics, etc. The Census is also used to determine the number of seats each State is allotted in the United States House of Representatives as well as a means to determine how to distribute billions in federal funding to States and local communities.

To ensure coordinated efforts, increased funding for these efforts and an accurate and complete count of California residents, the State of California has initiated a statewide effort entitled "CA Census 2020." As part of the statewide effort, ten regions were created across California to coordinate the 2020 CA Census efforts and to disperse resources to counties to ensure a complete count of the residents living in those jurisdictions. The City of Antioch is located in Region 3 (San Francisco Bay Area), which includes the following Counties: Alameda, Contra Costa, Marin, San Francisco, San Mateo, Santa Clara, and Solano.

Contra Costa County will be partnering with the City's in the County to ensure that everyone is counted. Reaching the City's hard-to-count population will be an important component of the outreach efforts. To start the partnership with the County, the County has requested the adoption of the attached resolution and a Council appointment of a Council member and/or staff member to be the City's point of contact on the Census effort.

ATTACHMENTS

- A. Resolution
- B. Powerpoint Presentation

RESOLUTION NO. 2019/**

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ANTIOCH
SUPPORTING PARTICIPATION IN THE 2020 CENSUS**

WHEREAS, the U.S. Census Bureau is required by Article I, Section 2 of the U.S. Constitution to conduct an accurate count of the population every ten years;

WHEREAS, the next enumeration will be April 1, 2020 and will be the first to rely heavily on online responses;

WHEREAS, the primary and perpetual challenge facing the U.S. Census Bureau is the undercount of certain population groups;

WHEREAS, that challenge is amplified in California, given the size of the state and the diversity of communities;

WHEREAS, a complete and accurate count of California's population is essential; but California has a large percentage of individuals that are considered traditionally hard to count;

WHEREAS, these diverse communities and demographic populations are at risk of being missed in the 2020 Census;

WHEREAS, California receives nearly \$77 billion in federal funding that relies, in part, on census data;

WHEREAS, the data collected by the decennial Census determines the number of seats each state has in the U.S. House of Representatives and is used to distribute billions of dollars in federal funds to state and local governments;

WHEREAS, the data is also used in the redistricting of state legislatures, county boards of supervisors and city councils;

WHEREAS, the decennial census is a massive undertaking that requires cross-sector collaboration and partnership in order to achieve a complete and accurate count;

WHEREAS, California's leaders have dedicated a historic amount of funding and resources to ensure every Californian is counted once, only once and in the right place;

WHEREAS, this includes coordination between tribal, city, county, state governments, community-based organizations, education, and many more;

RESOLUTION NO. 2019/**

May 28, 2019

Page 2

WHEREAS, the U.S. Census Bureau is facing several challenges with Census 2020, including constrained fiscal environment, rapidly changing use of technology, declining response rates, increasingly diverse and mobile population, thus support from partners and stakeholders is critical;

WHEREAS, California is kicking-off its outreach and engagement efforts in April 2019 for the 2020 Census; and

WHEREAS, the City of Antioch, in partnership with other local governments, the State, businesses, schools, and community organizations, is committed to robust outreach and communication strategies, focusing on reaching the hardest-to-count individuals.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Antioch recognizes the importance of the 2020 U.S. Census and supports helping to ensure a complete, fair, and accurate count of all Californians.

* * * * *

I HEREBY CERTIFY that the foregoing resolution was passed and adopted by the City Council of the City of Antioch at a regular meeting thereof, held on the 28th day of May, 2019, by the following vote:

AYES:

NOES:

ABSENT:

ARNE SIMONSEN, CMC
CITY CLERK OF THE CITY OF ANTIOCH



Achieving a Complete
and Accurate Count

2020 CENSUS COMPLETE COUNT



CENSUS 2020 GOAL

Ensure that everyone is
counted once, only once, and
in the right place.

IMPORTANCE OF THE CENSUS

Representation

Census count determines Congressional Representation for each state and provides data to draw federal, state, & local legislative & voting districts.

Funding

Apportion more than \$675 billion in federal grants to tribal, state and local government.

Policy

Governments use census data to make policy decisions for our communities such as school siting, libraries service, and transportation infrastructure.

Planning

Plan future locations for retail stores, new housing developments and other community facilities.

CENSUS BY THE NUMBERS

- Contra Costa County receives 40% of its revenue from Federal & State resources
- California receives \$76 billion in federal funding, based upon the state's population
- Each person not counted equates to a loss of about \$2,000 in State and Federal funding **PER YEAR**
- 72% of CA's population belongs to one of the groups historically undercounted during the once-a-decade Census process
- Contra Costa County has just under 250,000 people living in "Hard-to-Count" Census Tracts
- If Contra Costa County undercounts by 5%, **we'd lose an estimated \$1.1 Billion over 10 years**

EXAMPLES OF PROGRAMS WITH FUNDING DEPENDENT ON CENSUS DATA

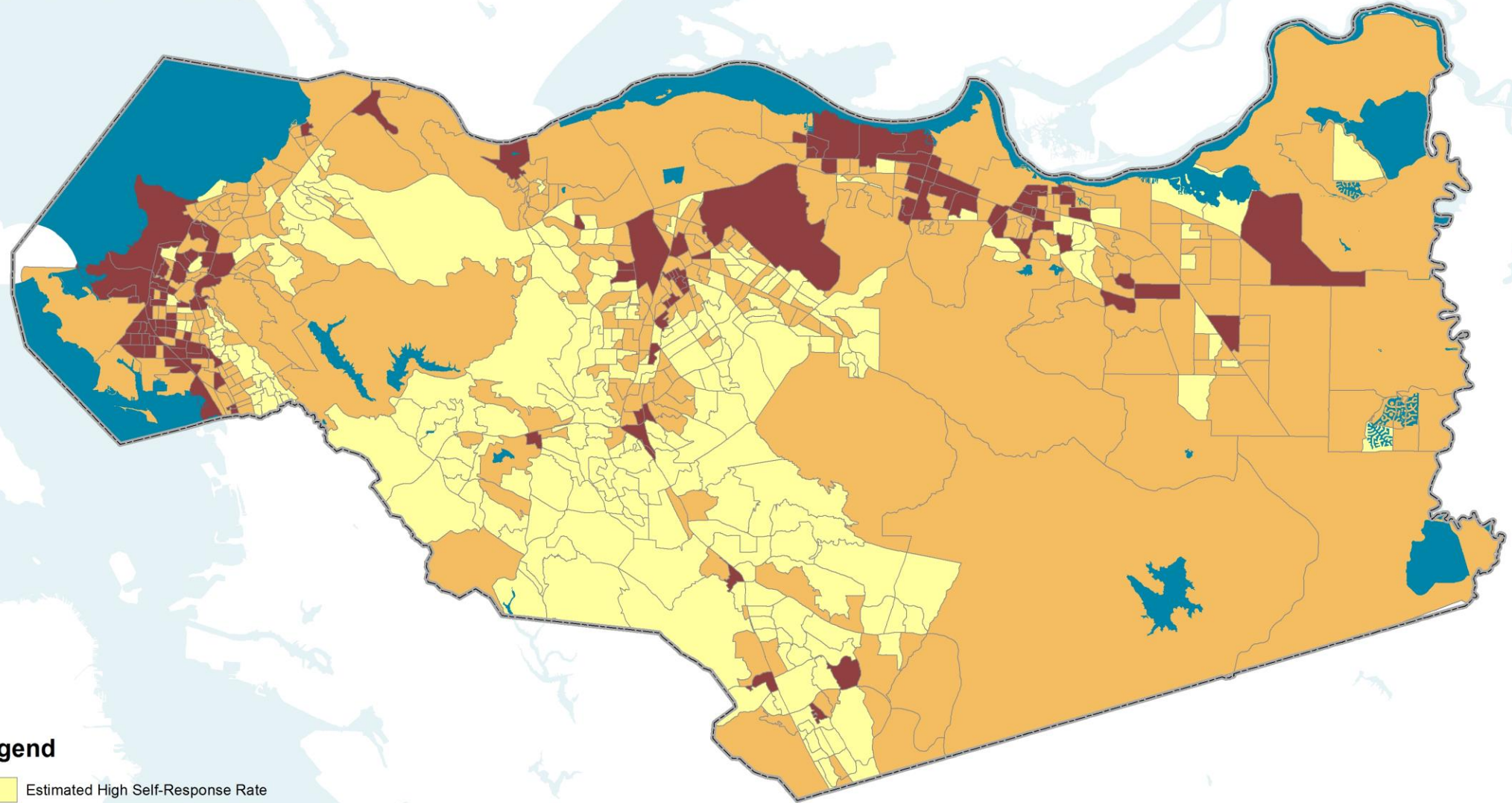
- **Transportation:** Highway Planning and Construction
- **Children:** Foster Care, Nutritional School Lunch Program
- **Health and Nutrition:** Medicaid, Medicare Part B, Health Center Programs
- **Schools:** Head Start, Special Education Grants, Title I Grants
- **Affordable Housing:** Section 8, Low Income Home Energy Assistance
- **Other:** Community Development Block Grant

HARD TO COUNT POPULATIONS

Contra Costa County is focusing on trying to reach the Hardest to Count populations. These include:

- Racial and Ethnic minorities
- People living in poverty
- Youth between 18-24
- Children under 5
- Non-English Speaking households
- People with no high school diploma
- People who have moved within the last year, renters, and people in multifamily units
- Seniors
- LBGQT

2020 Low Response Score



Legend

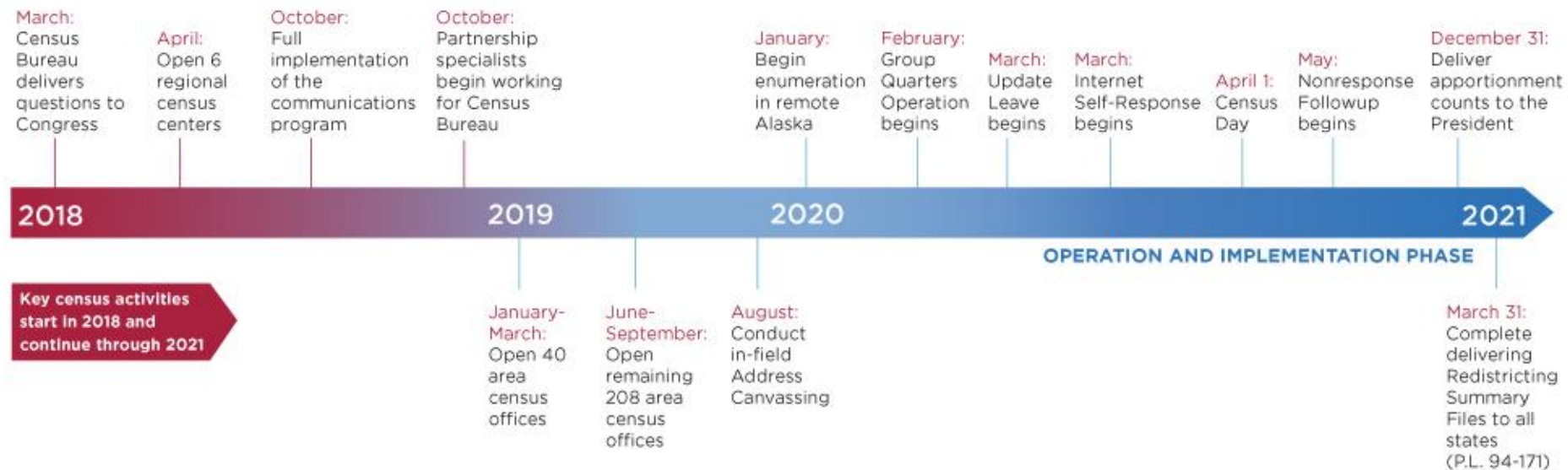
- Estimated High Self-Response Rate
- Estimated Medium Self-Response Rate
- Estimated Low Self-Response Rate

KEY MESSAGES ABOUT THE CENSUS

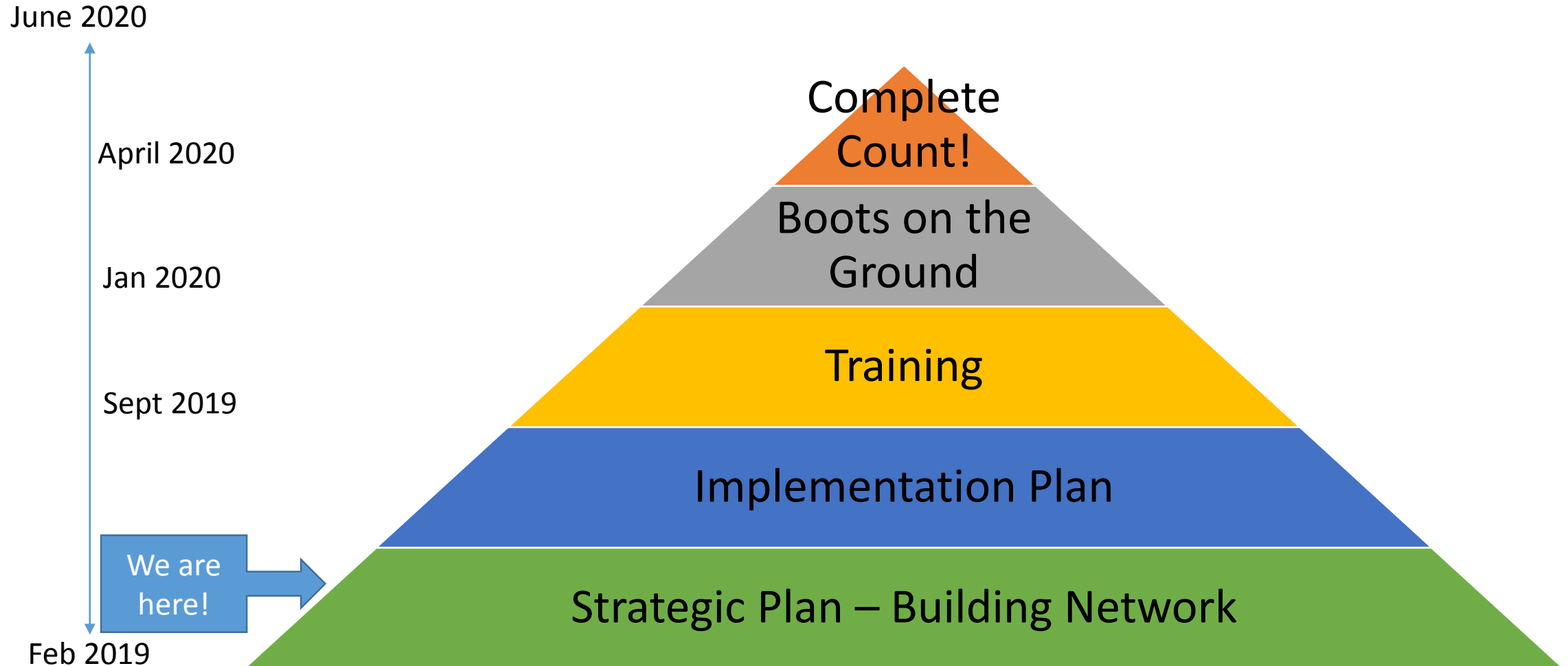
- **Easy:** Short census questionnaire. Takes about 10 minutes to complete
- **Safe:** By law, the Census Bureau cannot share respondents' answers with anyone, including other federal and law enforcement agencies. Census Bureau workers take an oath to protect the confidentiality of the data. The penalty for unlawful disclosure is a fine up to \$250,000 or imprisonment of up to 5 years, or both.
- **Important:** Census Data helps determine our political representation and funding for local roads, schools, and community improvement

Road to the 2020 Census

2020 Census Operational Timeline



COMPLETE COUNT PROCESS



COMPLETE COUNT COMMITTEE PRELIMINARY OUTREACH PROGRAMS

- **Messaging Partners** – Utilizing existing networks to spread the word about the importance of the Census
- **Questionnaire Assistance Centers (QAC) and Questionnaire Action Kiosks (QAK)** – Local government offices, community centers, or local community organizations host assistance sites with the Census form if needed or make room for a computer so people can fill out their form
- **Speakers Bureau** – Complete County Committee members or other trusted messengers are available to speak about the importance of the Census

COMPLETE COUNT COMMITTEE

POTENTIAL OUTREACH PROGRAMS

The following potential outreach programs are dependent on funding availability:

- **Census Mini-Grants** – Funds for local community organizations to host block parties, soccer tournaments, or other outreach event to raise awareness about the importance of the Census.
- **Adopt-A-Block** – Local community based organization volunteer to adopt a hard to count block and canvass residents to make sure they fill out their Census form. Potential for the organization or volunteers to receive a small stipend.

PARTNERSHIP IS THE KEY TO A SUCCESSFUL CENSUS!

- Approve a resolution recognizing the importance of the Census.
- Designate a councilmember and staff member as Census lead.
- Fill out the Complete Count Census survey! Tell us about your city or organization and how you can help with Census Outreach.
 - Messaging
 - QAC/QAK
 - Host a Speaker
 - Adopt-A-Block
 - Census Mini-Grants / Hosting Census Events

FOR MORE INFORMATION

- A webpage with Census 2020 resources has been developed! Sign up to partner with Contra Costa County's Outreach effort!

www.contracosta.ca.gov/census2020

THANK YOU!!

CONTRA COSTA

CENSUS

2020





STAFF REPORT TO THE CITY COUNCIL

DATE: Regular Meeting of May 28, 2019

TO: Honorable Mayor and Members of the City Council

SUBMITTED BY: Nickie Mastay, Administrative Services Director *MM*

APPROVED BY: Thomas Lloyd Smith, City Attorney *TLS*

SUBJECT: Resolution to form a Cannabis Ad Hoc Committee

RECOMMENDED ACTION

It is recommended that the City Council take the following actions:

- 1) Adopt a resolution to form the Cannabis Ad Hoc Committee;
- 2) Discuss and confirm the appointment of two (2) members for the Cannabis Ad Hoc Committee; and
- 3) Discuss and confirm the duration of the Cannabis Ad Hoc Committee.

FISCAL IMPACT

The recommended action has no direct fiscal impact on City finances.

DISCUSSION

At the May 14, 2019 City Council meeting, the City Council discussed and provided direction to staff regarding the formation of the Cannabis Ad Hoc Committee. The City Council discussed the following future agenda items related to the cannabis topic and determined that these items could be discussed by the Cannabis Ad Hoc Committee:

- Consider a cannabis open application period.
- Consider: (1) whether the 600-foot separation requirement between retail cannabis businesses and City parks should be extended to 1,000 feet; and (2) whether the separation requirement should also apply to non-City parks and churches.
- Consider the cannabis zoning overlays and entire ordinance.

The City Council also directed staff to bring this item back to City Council to confirm the appointment of two (2) members for the Cannabis Ad Hoc Committee and confirm the duration of the Cannabis Ad Hoc Committee.

ATTACHMENT

A. Resolution: Cannabis Ad Hoc Committee

RESOLUTION NO. 2019/**

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ANTIOCH
TO FORM A CANNABIS AD HOC COMMITTEE FOR A
PERIOD OF [REDACTED] MONTHS**

WHEREAS, the Antioch City Council passed a cannabis business ordinance on June 26, 2018 establishing a Cannabis Business Zoning Overlay District within the City of Antioch;

WHEREAS, the Antioch City Council passed amendments to the cannabis business ordinance regarding development agreements, separation requirements, and delivery on April 23, 2019;

WHEREAS, the City Council discussed the formation of a Cannabis Ad Hoc Committee at the May 14, 2019 City Council meeting;

WHEREAS, a Cannabis Ad Hoc Committee provides a means to support the implementation, assessment, and amendment, as is necessary, of the City of Antioch's cannabis business ordinance as the City gains experience from the launch the initial early stage cannabis businesses in the City of Antioch;

WHEREAS, a Cannabis Ad Hoc Committee provides a means to support the design and implementation of a cannabis development agreement template that can be used as a guide for all cannabis business development agreements to ensure that they support the interests of the City and its residents;

WHEREAS, a Cannabis Ad Hoc Committee provides a means for the City Council to determine whether a Cannabis Standing Committee is desirable and, if so, to research, design and propose goals, objectives, and responsibilities for such a standing committee;

WHEREAS, the Cannabis Ad Hoc Committee will report back to the City Council prior to and upon termination in [REDACTED] months to determine if the ad hoc committee should become a standing committee on a specific subject matter on a continual basis or continue as an ad hoc committee for a limited period of time to address a specific need or purpose; and

WHEREAS, the City Council confirms the appointment of [REDACTED] and [REDACTED] to the Cannabis Ad Hoc Committee.

RESOLUTION NO. 2019/**

May 28, 2019

Page 2

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Antioch that [REDACTED] and [REDACTED] are appointed to the Cannabis Ad Hoc Committee and are to report back to the City Council prior to and upon the ad hoc committee's termination in [REDACTED] months.

* * * * *

I HEREBY CERTIFY that the foregoing resolution was passed and adopted by the City Council of the City of Antioch at a regular meeting thereof, held on the 28th day of May, 2019, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

ARNE SIMONSEN, CMC
CITY CLERK OF THE CITY OF ANTIOCH