



ANNOTATED

AGENDA

CITY OF ANTIOCH PLANNING COMMISSION

WEDNESDAY, FEBRUARY 17, 2021

6:30 P.M.

PURSUANT TO GOVERNOR GAVIN NEWSOM'S EXECUTIVE ORDER N-29-20 THIS MEETING WILL BE HELD AS A TELECONFERENCE MEETING.

Observers may view the meeting livestreamed via the Planning Division's website at: <https://www.antiochca.gov/community-development-department/planning-division/planning-commission-meetings-sp/>

APPEAL

All items that can be appealed under 9-5.2509 of the Antioch Municipal Code must be appealed within five (5) working days of the date of the decision. The final appeal date of decisions made at this meeting is 5:00 p.m. on **WEDNESDAY, FEBRUARY 24, 2021**.

ROLL CALL

6:30 P.M.

Commissioners

Schneiderman, Chair
Martin, Vice Chair
Barrow
Motts
Parsons
Soliz

(ALL PRESENT)

PLEDGE OF ALLEGIANCE

PUBLIC COMMENTS

CONSENT CALENDAR

All matters listed under consent calendar are considered routine and are recommended for approval by the staff. There will be one motion approving the items listed. There will be no separate discussion of these items unless members of the Commission, staff or the public request specific items to be removed from the consent calendar for separate action.

1. APPROVAL OF MINUTES:

A. December 16, 2020

APPROVED

B. January 20, 2021

APPROVED

CONTINUED PUBLIC HEARING

2. **GP-19-06, PD-19-02 – Creekside Vineyards at Sand Creek** – The applicant, GBN Partners, LLC, is requesting approval of the proposed single-family development of 220 single-family residential units and associated improvements on approximately 58.9 acres of the 158.2-acre project site, as well as 1.8 acres of off-site improvements. The proposed residential units would consist of either non-age restricted units, senior/active adult units, or a combination of both. The project improvements would include, but would not be limited to, parks, trails, landscaping, circulation improvements, and utility installation. The remainder of the site, including Sand Creek and the associated buffer area, would be retained as open space. Necessary entitlements from the City include certification of an Environmental Impact Report, General Plan Amendment, Rezone to Planned Development District (PD), Vesting Tentative Subdivision Map, Resource Management Plan, and Design Review. The project site is bordered by the Contra Costa County line to the south and the City of Brentwood city limit to the east. Sand Creek is located to the north of the site, and State Route (SR) 4 is located approximately 0.38-mile east of the site. The project site is situated within the Sand Creek Focus Area of the General Plan, which contains lands designated by the City of Antioch General Plan for open space, residential, commercial, and mixed-use development (**APN: 057-050-024**).

RECOMMENDED ACTION(S):

- 1) Adopt the resolution in Attachment A recommending certification of the Creekside/Vineyards at Sand Creek Project Environmental Impact Report, adopting findings of fact and statement of overriding considerations, and adopting the mitigation monitoring and reporting program.
- 2) Adopt the resolution in Attachment B recommending approval of a General Plan Amendment for purposes of amending the City of Antioch General Plan Text and Land Use Map (GP-19-06).
- 3) Adopt the resolution in Attachment C recommending approval of an ordinance rezoning the property to Planned Development District (PD-19-02).
- 4) Approve the resolution in Attachment D recommending approval of a Vesting Tentative Map, Design Review adopting Design Guidelines, and a Resource Management Plan.

**APPROVE WITH AMENDMENTS
RESOLUTION NO. 2021-02
RESOLUTION NO. 2021-03
RESOLUTION NO. 2021-04
RESOLUTION NO. 2021-05**

NEW PUBLIC HEARING

3. **UP-19-08, AR-19-15 – Ducky’s Car Wash** – Ducky’s Car Wash requests approval of a CEQA addendum, final development plan, use permit and design review for the construction of a self-service car wash on a previously undeveloped site. The project site is located at the northwest corner of Lone Tree Way and Country Hills Drive (APN: 055-071-113).

RECOMMENDED ACTION(S):

- 1) Approve the resolution recommending that the City Council approve the Ducky’s Car Wash CEQA Addendum.
- 2) Approve the resolution recommending that the City Council approve a Final Development Plan, Use Permit, and Design Review subject to conditions of approval (UP-19-08, AR-19-15).

RESOLUTION NO. 2021-06

ORAL COMMUNICATIONS

WRITTEN COMMUNICATIONS

COMMITTEE REPORTS

ADJOURNMENT (6:52 P.M.)

Notice of Availability of Reports

Copies of the documents relating to this proposal are available for review at <https://www.antiochca.gov/fc/community-development/planning/Project-Pipeline.pdf>.

The staff report and agenda packet will be posted on Thursday February 11, 2021, at <https://www.antiochca.gov/government/agendas-and-minutes/planning-commission/>

Notice of Opportunity to Address the Planning Commission

There are two ways to submit public comments to the Planning Commission:

- Prior to 3:00 the day of the meeting: Written comments may be submitted electronically to the Secretary to the Planning Commission at the following email address: planning@ci.antioch.ca.us. All comments received before 3:00 pm the day of the meeting will be provided to the Planning Commissioners before the meeting. **Please indicate the agenda item and title in your email subject line.**
- After 3:00 the day of the meeting and during the meeting: Please refer to the Planning Division’s website for instructions on how to comment after 3:00 the day of the meeting and during the Planning Commission meeting: <https://www.antiochca.gov/community-development-department/planning-division/planning-commission-meetings/>.

Written comments submitted during the meeting will be read into the record by staff (not to exceed three minutes at staff's cadence) when the chair of the Planning Commission opens the public comment period for the relevant agenda item.

Accessibility

In accordance with the Americans with Disabilities Act and California law, the City of Antioch offers its public programs, services and meetings in a manner that is readily accessible to everyone, including individuals with disabilities. If you are a person with a disability and require information or materials in an appropriate alternative format; or if you require any other accommodation, please contact the ADA Coordinator at the number or email address below at least 72 hours prior to the meeting or when you desire to receive services. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility. The City's ADA Coordinator can be reached @ Phone: (925) 779-6950 and e-mail: publicworks@ci.antioch.ca.us.

**CITY OF ANTIOCH
PLANNING COMMISSION
REGULAR MEETING**

**Regular Meeting
6:30 p.m.**

**December 16, 2020
Meeting Conducted Remotely**

The City of Antioch, in response to the Executive Order of the Governor and the Order of the Health Officer of Contra Costa County concerning the Novel Coronavirus Disease (COVID-19), held Planning Commission meetings live stream (at <https://www.antiochca.gov/community-development-department/planning-division/planning-commission-meetings/>). The Planning Commission meeting was conducted utilizing Zoom Audio/Video Technology.

Chairperson Schneiderman called the meeting to order at 6:30 P.M. on Wednesday, December 16, 2020 in the City Council Chambers. She announced that because of the shelter-in-place rules issued as a result of the coronavirus crisis, tonight's meeting was being held in accordance with the Brown Act as currently in effect under the Governor's Executive Order N-29-20, which allowed members of the Planning Commission, City staff, and the public to participate and conduct the meeting by electronic conference. She stated anyone wishing to make a public comment, may do so by submitting their comments using the online public comment form at www.antiochca.gov/community-development-department/planning-division/planning-commission-meetings/. Public comments that were previously submitted by email have been provided to the Planning Commissioners.

ROLL CALL

Present: Commissioners Motts, Barrow, Martin and Chairperson Schneiderman
Absent: Commissioner Parsons and Soliz

Staff: City Attorney, Thomas Lloyd Smith
Director of Community Development, Forrest Ebbs
Captain, Tony Morefield
Planning Manager, Alexis Morris
Associate Planner, Zoe Merideth
Minutes Clerk, Kitty Eiden

PLEDGE OF ALLEGIANCE

PUBLIC COMMENTS - None

CONSENT CALENDAR

1. Approval of Minutes: November 4, 2020

November 18, 2020

Chairperson Schneiderman requested the minutes of November 4, 2020 be continued due to the lack of Planning Commissioners present this evening that attended the meeting.

On motion by Vice Chair Martin, seconded by Chairperson Schneiderman the Planning Commission continued the minutes of November 4, 2020. The motion carried the following vote:

AYES: *Motts, Barrow, Martin and Schneiderman*
NOES: *None*
ABSTAIN: *None*
ABSENT: *Parsons and Soliz*

A motion was made by Vice Chair Martin, seconded by Commissioner Barrow to approve the November 18, 2020 minutes. Without a majority of Planning Commissioners present who attended the November 18, 2020 meeting, the maker of the motion and second withdrew the motion and made the following motion:

On motion by Vice Chair Martin, seconded by Commissioner Barrow the Planning Commission continued the minutes of November 18, 2020. The motion carried the following vote:

AYES: *Motts, Barrow, Martin and Schneiderman*
NOES: *None*
ABSTAIN: *None*
ABSENT: *Parsons and Soliz*

NEW PUBLIC HEARING

- 2. UP-20-05, AR-20-16 – Delta Family Pharms Cannabis Cultivation –** Delta Family Pharms requests a use permit and design review for a cannabis cultivation business in +/- 7,500 square feet of an existing commercial building. Design review is requested to make minor exterior changes. This project has been found to be Categorically Exempt from the requirements of the California Environmental Quality Act. The project site is located at 2101 W 10th Street, Suites G, H, I (APN: 074-051-005).

Associate Planner Merideth presented the staff report dated December 16, 2020 recommending the Planning Commission approve the use permit and design review request subject to the conditions contained in the attached resolution.

In response to Vice Chair Martin, Associate Planner Merideth explained that this was a cultivation business with no retail sales involved and the tenant improvements would require building permits. She clarified that project specific condition #12 required security guards for Delta Dispensary to be used for this business and if it changed ownership then they would have

to provide an agreement that they have the same security guards as required for Delta Dispensary.

In response to Vice Chair Martin, Captain Morefield reported that there was quite a bit of crime related to the black market cannabis business; however, there had been relatively few issues related to the two operating cannabis businesses which he attributed to strong security measures businesses had in place. He noted other jurisdictions experienced quite a bit of crime at their cannabis businesses.

Commissioner Barrow stated he had confidence in the Antioch Police Department.

In response to Commissioner Barrow, Captain Morefield reported this project was an extension of Delta Dispensary and security measures in place were more than sufficient. He stated that he drove by the two operating businesses on a regular basis, and they had done a good job at creating a strong security picture at their existing business. He noted the proposed extension would be equally secure.

In response to Commissioner Barrow, the applicant stated the building had a sprinkler system.

In response to Commissioner Motts, Associate Planner Merideth explained that in order to provide security but also provide a professional look to the building they wanted to make sure cannabis cultivation was hidden from view, so they required a false painted or decorative wall behind the windows with security mesh placed behind the wall.

Commissioner Motts commented that there were a lot of cannabis businesses in the area and suggested Council and the Planning Commission consider expanding overlays.

In response to Chairperson Schneiderman, Associate Planner Merideth stated the City did not receive any public comments from the Al Saddiq Community Center or otherwise regarding this project.

Chairperson Schneiderman opened the public hearing.

Rick Hoke, Project Applicant and Owner of Delta Dispensary, gave a PowerPoint presentation of the projects floor plan, trays and sliding rack systems, lighting, nutrients and nutrient pump as well as security and tax information.

In response to Vice Chair Martin, a representative from the applicant explained that the soil would be changed every cycle and they would be 100% organic so there would be no build up of chemicals in the soil.

Commissioner Barrow congratulated the applicant on his family business and questioned what his plan was for giving back to the community.

City Attorney Smith responded that this business would be participating in the Social Equity Program, which would be included in their Operating Agreement. He noted they would have the

same requirements in terms of contributions to be made by cannabis businesses and they participated in one currently under their existing business, Delta Dispensary.

Commissioner Barrow voiced his support for supporting educational/vocational programs for the youth in Antioch.

In response to Commissioner Barrow, Mr. Hoke reiterated that the building was fully sprinklered and there were drains throughout the building, which tied into the sewer system. He noted that currently under their Delta Dispensary Operating Agreement, their Social Equity donation was going to Beat the Streets, which was geared toward youth of Antioch. He added that approximately 80% of their employees were Antioch residents and they would create 10 new jobs for Antioch residents with this application. He commented that local businesses could advertise in their dispensary for free and local food trucks could set up in their parking lot. In addition, they supported other small charities.

Commissioner Barrow urged the applicant to be mindful of their reciprocity to the City.

In response to Chairperson Schneiderman, Mr. Hoke stated they would primarily be growing a house brand for their own logo and it would be between 5% and 10% of their total inventory.

Chairperson Schneiderman closed the public hearing.

Chairperson Schneiderman voiced her support for the project and acknowledged Antioch Police Department for their input regarding safety/security measures.

Vice Chair Martin stated he believed this location was appropriate for this business.

Commissioner Barrow stated he was pleased with the project. He noted that based on the Antioch Police Department analysis, this project was in good hands. He further noted City Attorney Smith would exemplify attachment "D". He reiterated his support for educational/vocational as well as construction entities fulfilling social equity obligations. He reiterated that he expected some reciprocity to the City of Antioch particularly for the citizens

Commissioner Motts stated he agreed with the previous comments on this item.

RESOLUTION NO. 2020-29

On motion by Commissioner Motts, seconded by Vice Chair Martin the Planning Commission unanimously approved a Use Permit (UP-20-05, AR-20-16) for a cannabis cultivation business. The motion carried the following vote:

AYES:	<i>Motts, Barrow, Martin and Schneiderman</i>
NOES:	<i>None</i>
ABSTAIN:	<i>None</i>
ABSENT:	<i>Parsons and Soliz</i>

Chairperson Schneiderman thanked Mr. Hoke for doing business in Antioch and wished him good luck on his project.

Commissioner Barrow wished the applicant good luck.

ORAL COMMUNICATIONS - None

WRITTEN COMMUNICATIONS – None

COMMITTEE REPORTS – None

ADJOURNMENT

On motion by Vice Chair Martin, seconded by Commissioner Barrow the Planning Commission unanimously adjourned the meeting at 7:18 P.M. The motion carried the following vote:

AYES:	<i>Motts, Barrow, Martin and Chairperson Schneiderman</i>
NOES:	<i>None</i>
ABSTAIN:	<i>None</i>
ABSENT:	<i>Parsons and Soliz</i>

Respectfully submitted:

Kitty Eiden
KITTY EIDEN, Minutes Clerk

**CITY OF ANTIOCH
PLANNING COMMISSION
REGULAR MEETING**

**Regular Meeting
6:30 p.m.**

**January 20, 2021
Meeting Conducted Remotely**

The City of Antioch, in response to the Executive Order of the Governor and the Order of the Health Officer of Contra Costa County concerning the Novel Coronavirus Disease (COVID-19), held Planning Commission meetings live stream (at <https://www.antiochca.gov/community-development-department/planning-division/planning-commission-meetings/>). The Planning Commission meeting was conducted utilizing Zoom Audio/Video Technology.

Chairperson Schneiderman called the meeting to order at 6:30 P.M. on Wednesday, January 20, 2020. She announced that because of the shelter-in-place rules issued as a result of the coronavirus crisis, tonight's meeting was being held in accordance with the Brown Act as currently in effect under the Governor's Executive Order N-29-20, which allowed members of the Planning Commission, City staff, and the public to participate and conduct the meeting by electronic conference. She stated anyone wishing to make a public comment, may do so by submitting their comments using the online public comment form at www.antiochca.gov/community-development-department/planning-division/planning-commission-meetings/. Public comments that were previously submitted by email have been provided to the Planning Commissioners.

ROLL CALL

Present: Commissioners Motts, Parsons, Soliz, Barrow, Martin and Chairperson Schneiderman

Staff: City Attorney, Thomas Lloyd Smith
Director of Community Development, Forrest Ebbs
Director of Public Works/City Engineer, John Samuelson
Jon Crawford, Contract Public Works Consultant
Planning Manager, Alexis Morris
Minutes Clerk, Kitty Eiden

PLEDGE OF ALLEGIANCE

PUBLIC COMMENTS - None

CONSENT CALENDAR

1. Approval of Minutes: November 4, 2020
November 18, 2020

On motion by Commissioner Barrow, seconded by Commissioner Soliz the Planning Commission approved the minutes of November 4, 2020, as presented. The motion carried the following vote:

AYES: Parsons, Soliz, Barrow and Martin
NOES: None
ABSTAIN: Motts and Schneiderman
ABSENT: None

On motion by Commissioner Barrow, seconded by Commissioner Parsons the Planning Commission approved the minutes of November 18, 2020, as presented. The motion carried the following vote:

AYES: Parsons, Soliz, Barrow, Martin and Schneiderman
NOES: None
ABSTAIN: None
ABSENT: Motts and Soliz

NEW PUBLIC HEARINGS

2. **GP-19-06, PD-19-02 – Creekside Vineyards at Sand Creek** – The applicant, GBN Partners, LLC, is requesting approval of the proposed single-family development of 220 single-family residential units and associated improvements on approximately 58.9 acres of the 158.2-acre project site, as well as 1.8 acres of off-site improvements. The proposed residential units would consist of either non-age restricted units, senior/active adult units, or a combination of both. The project improvements would include, but would not be limited to, parks, trails, landscaping, circulation improvements, and utility installation. The remainder of the site, including Sand Creek and the associated buffer area, would be retained as open space. Necessary entitlements from the City include certification of an Environmental Impact Report, General Plan Amendment, Rezone to Planned Development District (PD), Vesting Tentative Subdivision Map, Resource Management Plan, and Design Review. The project site is bordered by the Contra Costa County line to the south and the City of Brentwood city limit to the east. Sand Creek is located to the north of the site, and State Route (SR) 4 is located approximately 0.38-mile east of the site. The project site is situated within the Sand Creek Focus Area of the General Plan, which contains lands designated by the City of Antioch General Plan for open space, residential, commercial, and mixed-use development (APN: 057-050-024).

Chairperson Schneiderman announced that staff recommended the Planning Commission continue the item to the Planning Commission Meeting scheduled for February 17, 2021.

In response to Commissioner Parsons, Planning Manager Morris clarified that the recommendation to continue this item was from staff to allow additional time to finalize the conditions of approval and exhibits. She explained that when they noticed this item, they believed

they would be able to meet the deadline for the preparation of the report; however, they were unable to so, so they were requesting a continuance.

Commissioner Parsons commented that time was money with developers.

On motion by Commissioner Motts, seconded by Commissioner Barrow the Planning Commission unanimously continued GP-19-06, PD-19-02 – Creekside Vineyards at Sand Creek to February 17, 2021. The motion carried the following vote:

AYES:	<i>Motts, Parsons, Soliz, Barrow, Martin and Chairperson Schneiderman</i>
NOES:	<i>None</i>
ABSTAIN:	<i>None</i>
ABSENT:	<i>None</i>

3. **UP-18-23, AR-18-24, V-19-03 – Contra Costa Farms Cannabis Facility Lot Merger–** Contra Costa Farms Cannabis Facility requests an approval of a lot merger to remove a lot line and merge parcels located at 3400 Wilbur Avenue (APN: 051-051-021). This project has been found to be Categorically Exempt from the requirements of the California Environmental Quality Act.

Director of Public Works/City Engineer Samuelson introduced Public Works Contract Employee Crawford presented the staff report dated January 20, 2021 recommending the Planning Commission approve the variance and design review request subject to the conditions contained in the attached resolution. He explained that the staff report recommended action was to adopt a resolution recommending approval to the City Council; however, by code the Planning Commission had the authority to approve the merger and that action.

In response to Commissioner Barrow, Contract Employee Crawford explained that this project would merge two lots into a single lot and the action would not require a tentative parcel map.

Chairperson Schneiderman opened and closed the public hearing with no speakers requesting to speak.

RESOLUTION NO. 2021-01

On motion by Commissioner Parsons, seconded by Commissioner Soliz the Planning Commission unanimously approved the variance and design review request subject to the conditions contained in the attached resolution. The motion carried the following vote:

AYES:	<i>Motts, Parsons, Soliz, Barrow, Martin and Chairperson Schneiderman</i>
NOES:	<i>None</i>
ABSTAIN:	<i>None</i>
ABSENT:	<i>None</i>

ORAL COMMUNICATIONS

In response to Vice Chair Martin, Director of Public Works/City Engineer Samuelson reported that the Council Chambers renovation had been completed and accepted.

Commissioner Barrow on behalf of the Planning Commission offered best wishes to President Biden and Vice President Harris.

WRITTEN COMMUNICATIONS – None

COMMITTEE REPORTS

Commissioner Motts reported that the TRANSPLAN meeting had been cancelled.

Commissioner Parsons announced that Contra Costa Transportation Authority (CCTA) Executive Director Randy Iwasaki had left his position.

ADJOURNMENT

On motion by Commissioner Barrow, seconded by Commissioner Soliz the Planning Commission unanimously adjourned the meeting at 6:52 P.M. The motion carried the following vote:

AYES:	<i>Motts, Parsons, Soliz, Barrow, Martin and Chairperson Schneiderman</i>
NOES:	<i>None</i>
ABSTAIN:	<i>None</i>
ABSENT:	<i>None</i>

Respectfully submitted:

Kitty Eiden
KITTY EIDEN, Minutes Clerk

STAFF REPORT TO THE PLANNING COMMISSION

DATE: February 17, 2021

SUBMITTED BY: Cindy Gnos, Contract Planner
Raney Planning & Management, Inc.

APPROVED BY: Alexis Morris, Planning Manager 

SUBJECT: Creekside/Vineyards at Sand Creek Project (GP-19-06, PD-19-02)

RECOMMENDED ACTION

It is recommended that the Planning Commission take the following actions:

1. Adopt the resolution in Attachment A recommending certification of the Creekside/Vineyards at Sand Creek Project Environmental Impact Report, adopting findings of fact and statement of overriding considerations, and adopting the mitigation monitoring and reporting program.
2. Adopt the resolution in Attachment B recommending approval of a General Plan Amendment for purposes of amending the City of Antioch General Plan Text and Land Use Map (GP-19-06).
3. Adopt the resolution in Attachment C recommending approval of an ordinance rezoning the property to Planned Development District (PD-19-02).
4. Approve the resolution in Attachment D recommending approval of a Vesting Tentative Map, Design Review adopting Design Guidelines, and a Resource Management Plan.

DISCUSSION

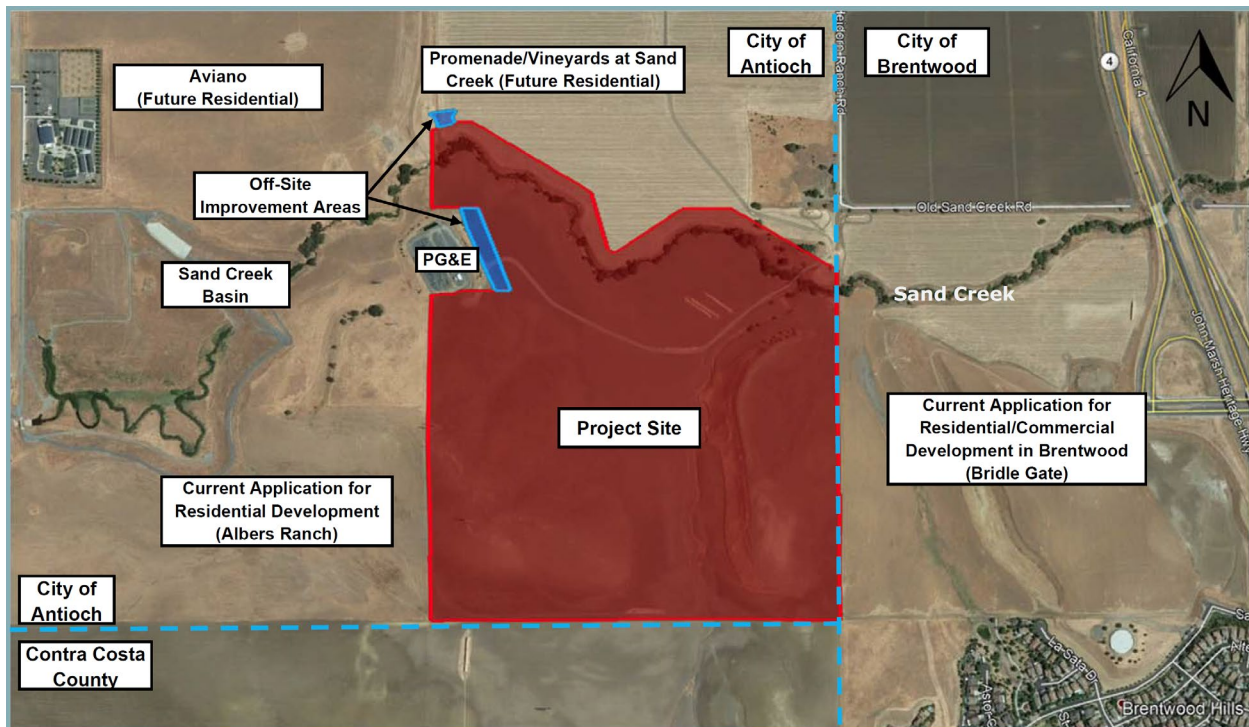
Project Overview/Requested Approvals

The applicant, GBN Partners, LLC, is requesting approval of the proposed single-family development. The proposed project includes the development of a 220 single-family residential gated community with private streets and associated improvements on approximately 58.9 acres of the 158.2-acre project site, as well as 1.8 acres of off-site improvements. The proposed residential units would consist of either non-age restricted units, senior/active adult units, or a combination of both, at the discretion of the developer. The proposed density is 3.7 units per acre. The project improvements would include, but would not be limited to, parks, trails, landscaping, circulation improvements, and utility installation. The remainder of the site, including Sand Creek and the associated buffer area, would be retained as open space. Necessary entitlements from the City include certification of an Environmental Impact Report, General Plan Amendment, Rezone,

Vesting Tentative Subdivision Map, Resource Management Plan, and Design Review to adopt Design Guidelines.

The project site consists of approximately 158.2 acres and is located south of the future extension of Sand Creek Road in the southeastern portion of the City of Antioch. The site is identified by Assessor's Parcel Number (APN) 057-050-024. The project site is bordered by the City of Antioch/Contra Costa County line to the south and the City of Antioch/City of Brentwood limit to the east. Sand Creek is located to the north of the site, and State Route (SR) 4 is located approximately 0.38-mile east of the site. The project site is situated within the Sand Creek Focus Area of the General Plan, which contains lands designated by the City of Antioch General Plan for open space, residential, commercial, and mixed-use development.

PROJECT LOCATION



The project applicant is seeking approval of the following by the City of Antioch at this time:

1. *The Creekside/Vineyards at Sand Creek Project Environmental Impact Report.* The Planning Commission must recommend certification of the Environmental Impact Report and adoption of the findings of fact and statement of overriding considerations and mitigation monitoring and reporting program to City Council prior to taking action on the other resolutions for the project.

2. *General Plan Amendment.* The proposed project requires the approval of a General Plan text and map amendment to the Sand Creek Focus Area of the General Plan to change the land use designations of the site from Open Space/Senior Housing and Hillside, Estate and Executive Residential/Open Space to Medium Low Density Residential/Open Space. In addition, the text of the General Plan is being modified to allow single family units on small lots that are not age-restricted and to allow units for applications deemed complete prior to the Measure T election to be exempt for the unit cap.
3. *Rezone to Planned Development District.* The project requires the approval of a Rezone from Study Area (S) to Planned Development District (PD). The PD would include special development standards for the project.
4. *Vesting Tentative Subdivision Map.* The proposed project requires approval of Small Lot and Large Lot Vesting Tentative Subdivision Maps for the subdivision of the project site into multiple parcels to accommodate a total of 220 single-family residential units, as well as roadways, parks, and open space parcels.
5. *Design Review.* The proposed project requires Design Review to authorize the proposed building conceptual architecture, landscaping, and site design of the residential community and to ensure consistency with the City of Antioch's General Plan, Zoning Ordinance design policies and criteria, and Citywide Design Guidelines, except where specifically amended by the requested approvals.
6. *Resource Management Plan.* The project requires approval of a Resource Management Plan as called for in Section 10.3.2.(e) of the Antioch General Plan and consistent with the "Framework for a Resource Management Plan for the Sand Creek Focus Area" contained in the General Plan.

Environmental

An Environmental Impact Report (EIR) was prepared for this project in accordance with the California Environmental Quality Act (CEQA). A Notice of Preparation (NOP) for the Draft EIR was released for a 30-day review from March 16, 2020 to April 14, 2020. In addition, a public scoping meeting was held on April 9, 2020 to solicit public comments regarding the scope of the Draft EIR. A Notice of Availability (NOA) of the Draft EIR was distributed and the Draft EIR was sent to the State Clearinghouse for distribution on July 20, 2020 for the 45-day public review period. The Draft EIR was published on the City's website at: <https://www.antiochca.gov/community-development-department/planning-division/environmental-documents/>. Due to the State and Contra Costa County's Shelter-in-Place orders, publicly accessible locations to review the Draft EIR were closed. Consistent with the Governor's Executive Order, posting materials on the City's website is adequate.

A Final EIR, including response to comments and errata has also been prepared and is located on the City's website at the link above.

Findings of fact and statement of overriding considerations for the EIR and a Mitigation Monitoring and Reporting Program has been prepared and are included in the Resolution certifying the EIR (see Exhibit A to Attachment A).

Subsequent to the issuance of the NOP, and release of the Draft and Final EIR, the voters of the City of Antioch enacted Measure T which amended the General Plan to limit the number of units within the Sand Creek Focus Area to a maximum of 2,100 residential units. In order to accommodate the Creekside/Vineyards at Sand Creek project, the applicant has modified the proposed project to include an additional General Plan Text Amendment which notes that the maximum unit count does not apply to applications deemed complete prior to November 4, 2020 (the date of the election). This additional General Plan Text Amendment does not result in any modifications to the analysis in the EIR. The EIR is based upon the existing setting at the time of issuance of the NOP. At that time, the General Plan restricted development in the Sand Creek Focus Area to 4,000 units. Therefore, the project and cumulative analyses in the EIR adequately address full buildout, including the requested General Plan Text Amendment.

Background

The project site is within the 2,700-acre Sand Creek Focus Area located in the southern portion of the City of Antioch, and as shown on the City's General Plan Land Use Map. The General Plan anticipates this Focus Area to evolve into a large-scale planned community that provides a mix of housing and commercial opportunities. Per the City's General Plan, the eastern portion of the project site is designated Open Space/Senior Housing, while the western portion is designated Hillside, Estate and Executive Residential/Open Space. The project site is zoned S, an interim zone which the City's General Plan directs be updated or revised either by one or more specific plans or master development plans when a site within the Sand Creek Focus Area is proposed for development. In 2005, the City Council adopted an Alternate Planning Process for the Sand Creek Focus Area. The process requires the submittal of a rezone to Planned Development, including submittal of a Master Development Plan.

The project site has been dry-land farmed since the 1930s and currently consists primarily of non-native of ruderal grasses and is absent of structures or other indications of prior development. A total of nine energy and communication access and utility easements exist on the project site. Within the northeastern portion of the site, PG&E maintains an access easement that includes a bridge over Sand Creek, which allows PG&E to drive through the project site to access existing off-site utility infrastructure to the west of the project site. An existing PG&E tower line easement extends through the western portion of the project site. In addition, existing oil and gas pipelines within the project site run below ground and cross Sand Creek and the natural drainage area in a number of locations. A 10-foot-wide pole line easement extends along the length of the southern site boundary.

The majority of the surrounding area has been approved or planned for residential development. Within the City of Antioch, the area to the north of the project site is currently approved for development with residential uses as part of the Promenade/Vineyards at Sand Creek project. The area to the northwest of the site is approved for development with the Aviano residential project. The area to the southwest of the project is anticipated for buildout with residential uses per the City's General Plan, and an application to develop the area with residential uses (Albers Ranch) has been received by the City. To the east of the project site, the City of Brentwood has received an application for development of the Bridle Gate project, which, if approved, would include both single-family and multi-family residential uses, and would allow for future development of commercial uses. An existing PG&E-owned parcel developed with an electrical substation, designated Public/Quasi Public per the General Plan, is located within a carve-out parcel at the site's western boundary. The area further to the west of the PG&E parcel includes the Sand Creek Basin, managed by the Contra Costa County Flood Control District. The area to the south of the project site consists of undeveloped dry-farmed land outside the City limit line and the Urban Limit Line, within unincorporated Contra Costa County.

Preliminary Development Plan

On December 5, 2018, a Preliminary Development Plan (PDP) for the Creekside/Vineyards at Sand Creek Project was presented to the Antioch Planning Commission. The purpose of a PDP is to gather feedback from the Planning Commission and others in order for the applicant to become aware of concerns and/or issues prior to formal application submittal. The PDP staff report and Planning Commission minutes are included in Attachment F.

The project submitted as part of the PDP included 220 single family homes in a gated community on approximately 50 acres of a 158-acre site south of the future Sand Creek Road. The proposed average density of the residential development was approximately 4.6 units per net acre (1.4 units per gross acre). The development was proposed to either accommodate market rate or age-restricted units. The Planning Commission provided feedback as described below.

- Consistency with the General Plan and Zoning – The Planning Commission was generally accepting of the proposed redesignation to MLDR consistent with the approved Promenade/Vineyards at Sand Creek Project to the north. The Commission did express a preference for senior housing and suggested that larger lots should be considered for a traditional, non-age restricted product. The applicant made no changes to the lot sizes and is seeking approval of either traditional, non-age restricted units or senior units on the minimum 4,500 square foot lots.
- Contra Costa County Fire District – the Fire Marshall spoke about the need for a new station in the area as well as on-going funding for the operation. A condition of approval (I.1.k) has been added to the tentative map requiring joining or formation of a Community Facilities District (CFD) for fire protection.

- Site Layout and Design – The key site design discussions of the Planning Commission included placing parks near the Sand Creek area to enhance visibility of the amenity and increasing the amount of park, sidewalks on both sides of the street, and senior units being single story. The original PDP submittal includes approximately one acre of private park space. The formal application submittal includes 3.94 acres of private park and relocated the parks adjacent to Sand Creek, as suggested by the Commission. However, the formal application submittal did not include sidewalks on both sides of the street. The applicant contends the sidewalk on one side was approved for Promenade and should be allowed here.

Proposed General Plan Amendment

The General Plan currently designates the project site as Open Space/Senior Housing. The Sand Creek Focus Area notes that senior housing may consist of Single Family Detached, Small Lot Single Family Detached, or Multi-Family Attached Housing. The applicant is requesting the Senior Housing designation be replaced with a Medium Low Density Residential (MLDR) designation in order to allow either senior housing or market rate.

The Sand Creek Focus Area Policy 4.4.6.7(b)(n) states that Single-Family Detached housing within suburban-style subdivisions with lot sizes ranging from 7,000 square feet to 10,000 square feet may be developed within the Sand Creek Focus Area within areas shown as Residential and Low Density Residential. Policy 4.4.6.7(b)(p) encourages the development of age-restricted senior housing which may be developed in any of the residential areas of the Sand Creek Focus Area. The proposed project includes lots ranging from 4,500 to 5,473 square feet and is not restricting the development to senior housing. Therefore, the proposed project would require a General Plan Amendment to change the land use designations of the site from Open Space/Senior Housing to MLDR. The Sand Creek Focus Area did not include a MLDR designation as a single-family detached residential designation; however, one was created for the Promenade/Vineyards at Sand Creek project to the north.

MLDR is characterized in the General Plan as a typical subdivision, as well as other detached housing such as zero lot line units and patio homes. Areas designated as MLDR are typically located on level terrain with relatively few geological or environmental constraints. The maximum allowable density is six dwelling units per acre. The density of the proposed project is approximately 3.7 dwelling units per acre, which is below the maximum density allowed under the MLDR General Plan designation.

According to the General Plan, achievement of maximum densities within the Sand Creek Focus Area is not guaranteed nor implied. The final density is determined by development design, any onsite constraints such as physical or environmental, available infrastructure, and other factors.

The Promenade/Vineyards at Sand Creek project to the north contains similar lot sizes and density to the proposed project and was proposed to be built out with a combination of age-restricted and market rate single family homes. It should be noted that the development is currently being constructed as a non-age restricted community. The small lot sizes and density was accomplished through a General Plan Amendment applying the MLDR designation to the project site. The Aviano project to the northwest, similarly has small lot single family with lots a minimum of 5,000 square feet. The Aviano project was consistent with the General Plan when the development was proposed for senior housing; however, when the applicant requested removal of the senior housing for the project, a General Plan Amendment was required to allow the small lots for market rate single family housing in the Low Density Residential land use designation.

Therefore, the requested General Plan Amendment is consistent with those for both the Promenade/Vineyards at Sand Creek and Aviano projects to the north.

In addition to the General Plan Land Use Amendment, the applicant is also requesting General Plan Text Amendments which allow the small lots for standard single-family units for not only the Promenade/Vineyards at Sand Creek project, but also the Creekside/Vineyards at Sand Creek project. The Text Amendment also allows units for applications deemed complete prior to the Measure T election to be exempt from the unit cap applied to Sand Creek. This amendment is necessary to ensure that Measure T's reductions to the unit cap for Sand Creek under the General Plan – which were intended to only affect land in Sand Creek within the precisely-defined Initiative Area (generally, land in Sand Creek West of Deer Valley Road) – do not impact land in Sand Creek outside of the Initiative Area, such as the land at issue here. This amendment will also ensure that Measure T's reductions to the unit cap for Sand Creek do not affect applications that, due to their “deemed complete” status under applicable law, are to be evaluated based on their compliance with the General Plan prior to Measure T.

Proposed Rezone/Master Development Plan

The proposed project requires approval of a Rezone to change the zoning designation of the site from S to PD, subject to a Master Development Plan. The Master Development Plan and PD district identifies the development standards applicable to the project site, including setbacks, lot sizes and building heights. Such details are included in the Creekside/Vineyards at Sand Creek Project Design Guidelines that have been prepared for the proposed project. The proposed Planned Development Standards, as detailed further below under the Design Review discussion, are identical to those approved for the Promenade/Vineyards at Sand Creek project.

As discussed above, the proposed residential uses represent a continuation of other planned development in the project vicinity, specifically the Promenade/Vineyards at Sand Creek Project to the north of the site. Thus, the neighborhood design, lot size, density, and house design included in the proposed project would be similar to what is anticipated for the Promenade/Vineyards at Sand Creek Project. The average density of the proposed residential development would be approximately 3.7 units/acre (net) (220

units / 58.9 acres). Similar to the Promenade/Vineyards at Sand Creek project, at least six different models, each with three different elevations, would be constructed, on lots ranging from approximately 4,500 to 5,473 square feet. The proposed residential units would consist of either non-age-restricted units, senior/active adult units, or a combination of both.

Vesting Tentative Subdivision Map

The proposed project would include a Vesting Tentative Subdivision Map to subdivide the project site into 220 single-family residential lots, as well as parcels for associated improvements as well as open space (see Attachment D, Exhibit B). The table below provides a summary of the proposed land uses. Each of the proposed land uses are described in further detail below.

Proposed Land Uses		
Proposed Land Use	Parcels	Acreage
Residential	Multiple	28.0
Private Parks	B, C, G, J	3.9
Landscaping/Private Open Space	E, H, I, K, M, Q, R	6.1
Public Street (Hillcrest Avenue)	--	7.8
Private Streets	S	9.1
Water Quality/Detention	D, O	4.0
Private Land*	A, F, L, N, P	99.3
Total Project Site	--	158.2
* With the exception of approximately 11 acres proposed to be graded, the proposed project would not include disturbance of Parcels A, F, L, N, or P.		

The site is anticipated to be developed in three phases (Phases I, II, and III). Phase I would include construction of the residential lots east of Hillcrest Avenue and north of the main entry. Phase I would also include the community pool and associated recreational amenities within Parcels B and C. Phase II would include the residential lots east of Hillcrest Avenue and south of the main entry. Phase III would include the residential lots west of Hillcrest Avenue and a park area within the PG&E tower easement along Hillcrest Avenue.

If developed as non-age-restricted units, the majority of the proposed homes would be two-story, with two car garages. If developed as senior/active adult units, the proposed homes would include a mix of two-story and single-story homes, with an option for duet (attached) units on corner lots.

Access and Circulation

As part of the project, Hillcrest Avenue would be extended through the project site. Hillcrest Avenue at the proposed location is identified as an Arterial in the City General Plan. The alignment of the roadway has been designed to span Sand Creek and provide permanent access to the existing PG&E facility and beyond.

Vehicular ingress and egress to the proposed project would be provided from Hillcrest Avenue by way of a centrally located main entry, and an emergency vehicle access (EVA)/secondary entry intersection to the south. In addition, a clear span EVA/pedestrian bridge may be constructed adjacent to the existing PG&E bridge spanning Sand Creek in the northeastern portion of the project site, subject to final negotiations with PG&E, final utility designs, and the approval of the CCCFPD.

The Hillcrest Avenue bridge over Sand Creek would be constructed in the ultimate width or 92 feet, edge to edge, to facilitate two southbound and two northbound lanes. The conditions of approval require the applicant to dedicate the entire 112-foot right-of-way for a four-lane Hillcrest Avenue. However, the applicant is only conditioned to build an interim Hillcrest Avenue which includes full frontage improvements on the east and west side, including curb, gutter, sidewalk and landscaping. The applicant is required to construct a northbound and southbound travel lane, including bike lanes and an interim concrete median. The ultimate four-lane configuration of Hillcrest Avenue will be the responsibility of future development.

Phase I of the proposed project would include construction of approximately 1,500 lineal feet of Hillcrest Avenue from south of the future Sand Creek Road right-of-way to the main entry (B Street). Phase I would also include construction of the main entry and the EVA/pedestrian bridge.

Phase II of the proposed project would include construction of approximately 1,000 additional lineal feet of Hillcrest Avenue from south of the main entry to the southerly EVA/secondary entry intersection (G Street). Phase II would also include construction of the southern EVA into the eastern neighborhood area. Phase III of the proposed project would include construction of the southern secondary entry on the west side of Hillcrest Avenue, across from the Phase II EVA. It should be noted that the main entry to the Phase I and II development would be gated, while the proposed Phase III development west of Hillcrest Avenue would not be gated and would provide access to the property to the west. Ultimate construction of the four-lane Hillcrest Avenue configuration would occur as part of buildout of future residential uses on the area to the west or south of the project site (including Albers Ranch), when such development necessitates connection to Hillcrest Avenue.

A new traffic signal would be installed at the main entry. Pedestrian access to the site would be provided by a sidewalk located on Hillcrest Avenue, adjacent to the project site, as well as by the proposed pedestrian trail connection within the northeast corner of the project site.

Interior vehicular circulation would be provided by a traditional grid pattern of private two-way streets that connect back to the entrances. The streets would allow two-way traffic and parking on both sides. Each residential unit would have a two-car garage and driveway with additional street parking. The private streets are proposed with a 41-foot right-of-way, including 36 feet curb-to-curb with a five-foot attached monolithic sidewalk on one side of the street. Staff has added a condition of approval (P2) requiring sidewalks

on both sides. Staff believes sidewalks on both sides provide enhanced pedestrian connectivity as encouraged in the General Plan and Citywide Design Guidelines. Sidewalks on both sides are even more necessary should the project be built out as a standard single family development where families and children will need access to the pedestrian connections.

Parks, Trails, Open Space, Landscaping, and Fencing

As part of the proposed project, a total of 3.9 acres would be developed as private parks (Parcels B, C, G, and J). Parcels B and C, located in the northeastern portion of the site are anticipated to include a children's play area, picnic areas, a community pool, and a passive play area; however, the ultimate programming of the parks would be dictated by the City of Antioch Parks and Recreation Commission (discussed further below). As noted previously, the proposed project may include construction of a new EVA/pedestrian bridge within Parcel C, which includes an existing PG&E-owned bridge over Sand Creek. The project would include a new private pedestrian trail connection extending from the proposed residential neighborhood across either the new bridge or the existing PG&E bridge to connect to the public Sand Creek Trail included in the planned Promenade/Vineyards at Sand Creek development to the north of the site. Parcel G, located at the northern edge of the proposed residential neighborhood, would consist of an open meadow with non-irrigated grasses and oak trees. Parcel J, located in the southwestern portion of the site, would include an open meadow area with a concrete pedestrian path, benches, and various other landscaping features.

Parcels A, P, and M, which include Sand Creek, as well as a 200-foot-wide buffer to the south of the creek, would be preserved as private land and would not be graded or otherwise disturbed as part of the project, with the exception of a storm drain outfall within Parcel M. Parcel A has been deed-restricted as open space for environmental purposes as part of the Promenade/Vineyards at Sand Creek project. The buffer would include the full extent of the 100-year floodplain associated with Sand Creek. In addition, the eastern and western hill forms within the site would be retained as private land and would not be developed with any residential uses or other permanent structures (Parcels F, L, and N).

It should be noted that minor grading activities totaling approximately 11 acres would be required within Parcels F and L; however, the upper portions of the hillsides would remain undisturbed. The grading activities would be required to accommodate the proposed detention basin, adjacent to Parcel F, and to accommodate the grade of the proposed Hillcrest Avenue extension, adjacent to Parcel L. Parcel N, which includes an 8.0-acre area located along the western site boundary, would continue to be deed-restricted as a habitat area.

Section 9-4.1011 of the Antioch Code requires that at the time of the review of the tentative subdivision map, the Parks and Recreation Commission shall determine, after a report and recommendation from the City Engineer/Director of Public Works, the land to be dedicated and/or the fees to be paid by the subdivider. The recommendation by the

City Engineer/Director of Public Works and the action of the Parks and Recreation Commission shall be forwarded to the Planning Commission.

On December 17, the Park and Recreation Commission adopted Resolution No. 2020/04 which recommended to the Planning Commission acceptance of park-in-lieu fees in the amount of \$330,000 to meet the park land obligation of the Creekside/Vineyards at Sand Creek Subdivision (staff report and resolution is included as Attachment F). The recommendation included:

1. That the Creekside Vineyards at Sand Creek project meet its park land dedication requirements through the payment of park-in-lieu fees in the amount of \$330,000; and
2. Condition the “private park” to meet all the City’s Park Design Standards current at the time of the park’s construction; and
3. Consider a park-in-lieu fee credit based on the detail park parcels “B” and “C” submittal incorporating the “local park basic elements” and meeting the qualification criteria per Code Section 9-4.1010(C) and (D)(6).

Landscaping features would be provided throughout the proposed development area and would conform to the requirements and provisions of Section 9-5.1001 of the City of Antioch Municipal Code. Project landscaping would consist of drought tolerant street trees, shrubs, groundcover, agricultural plantings, and open lawn areas. Both the project entries would be landscaped, as would the east side of Hillcrest Avenue and the roadway medians. Private landscaping and parks throughout the project site would be maintained by a Homeowners Association (HOA). Individual residences would also be landscaped with trees, shrubs, groundcover and some lawns, and would be maintained by either the individual owners or the HOA. Public spaces, common spaces, and private landscaping areas would have an emphasis on drought-tolerant and adaptive plant species.

Along the project frontage at Hillcrest Avenue, the project would include a new masonry or pre-cast sound wall with stone veneer pilasters. The colors consist of brown earth tones. The proposed Design Guidelines note that the pilasters will be located at property line intersections; however, staff believes that given the length of the wall with only two streets to break it up, the pilasters need to be in closer proximity to provide more visual interest in the wall. Staff has added a condition of approval that the pilasters be located in a regular pattern of eight to 20 feet, as determined by the Community Development Department staff. In addition, the project would include six-foot-tall tube steel fencing at the rear of the residential lots adjacent to the proposed open space areas. The tube steel fencing would have similar stone veneer pilasters every eight feet. Within the proposed residential neighborhoods, lots would be separated by six-foot-tall good neighbor fencing.

Utilities

Potable water would be distributed to the project site by an extension of the existing 16-inch Zone III trunk line in Hillcrest Avenue. The project site naturally drains to the northeast. The site is within the Sand Creek Drainage Area, and is located just downstream of Sand Creek Basin, a regional detention facility recently constructed by the Contra Costa County Flood Control District. While construction has been completed, the facility is not yet operational. Stormwater runoff from the proposed development area (Hillcrest Avenue and the proposed residential neighborhoods) would be directed to new detention and bio-retention basins located within the northeastern portion of the site (Parcel D). The basins would provide for treatment and detention of captured stormwater runoff. Treated stormwater runoff would flow into Sand Creek by way of a new outfall structure to be constructed on the south side of the existing outfall facility that was constructed by the Promenade/Vineyards at Sand Creek Project.

Stormwater runoff from the open space area in the western hillside of the project site (Parcels L and N) would be captured prior to reaching Hillcrest Avenue; a portion of the captured runoff would be directed north to a new clean water outfall adjacent to the Hillcrest Avenue bridge and the remainder would be directed east to a new clean water outfall releasing towards an existing natural drainage feature within the southern portion of the project site. The eastern hillslope (Parcel F) would continue to drain naturally into the same natural drainage area as occurs under existing conditions.

Electricity for the proposed project would be provided by PG&E. Telecommunications would be provided by AT&T, Comcast, and Astound. Dry utilities, electrical, gas, and technology lines would be extended from existing lines beneath Hillcrest Avenue.

Off-Site Improvements

In order to construct the proposed Hillcrest Avenue roadway extension, a total of 0.25-acre of off-site improvement area would be required to create the planned intersection with Sand Creek Road. The off-site improvement area is primarily flat and is located north of the project site, on the Promenade/Vineyards at Sand Creek Project site. Additional off-site improvements would be necessary to extend Hillcrest Avenue through the eastern edge of the PG&E parcel at the site's western boundary. The extension through the PG&E parcel has been anticipated by the landowners and is required to replace the overland access easement that PG&E currently uses.

In addition, the proposed project would include construction of new off-site sewer and water connections across Sand Creek near Heidorn Ranch Road. The Promenade/Vineyards at Sand Creek Project proposes to extend such utilities and their easements (located west of Parcel E, Subdivision 9360) to the south of the ultimate Sand Creek Road right-of-way. The proposed project would extend the utilities further south to the project site, crossing Sand Creek with a new pedestrian/EVA bridge, adjacent to the existing PG&E bridge. Overall, the off-site improvement areas would total 1.8 acres. All project improvements, including off-site improvements, are anticipated to be built over three phases. Phase I of the project would commence after resource agency permits are

obtained (anticipated in 2022), and Phase III is expected to be completed within four years of Phase I.

Design Review

The applicant has prepared a Design Guideline Booklet (see Attachment D, Exhibit D). The intent of the Design Guidelines and Development Standards is to customize the City of Antioch's Residential Design Guidelines for the proposed project. These Guidelines, conceptualized with neighborhood landscaping, entry and architectural renderings, are to be used in place of the Citywide Design Guidelines in evaluating the future neighborhood construction plans. Future Design Review submittals will be reviewed against the project's Design Guidelines to ensure that the design of the development would be consistent as it is implemented in phases, possibly by different builders, over time. The Design Guidelines and Development Standards are consistent with those approved for the Promenade/Vineyards at Sand Creek project to the north.

Design Guidelines

The Creekside/Vineyards at Sand Creek Design Guidelines are intended to set the development standards applicable to the project site, including the maximum density and maximum number of units, minimum lot size, landscape requirements, open space requirements, architectural guidelines, and maximum building heights and lot coverage. The applicant has proposed separate development standards for the project depending upon whether it is built as an active adult or standard single-family community. The Table below outlines the proposed development standards and compares them to the City's standard R-6 zoning requirements. It should be noted that these development standards are identical to those of the Promenade/Vineyards at Sand Creek project.

Planned Development Standards

Proposed Planned Development District Standard	Standard R-6 Zoning	Proposed PD Zoning for Single-Family Residential (SF)	Proposed PD Zoning for Active Adult Residential (AA)
Maximum Density	6 dwelling units per gross developable acre	<u>All Lot Types:</u> 4.6 dwelling units per gross acre (3.7 dwelling units per net developable acre)	<u>All Lot Types:</u> 4.6 dwelling units per gross acre (3.7 dwelling units per net developable acre)
Maximum Number of Units		<u>All Lot Types:</u> 220 Single Family Residences	<u>All Lot Types:</u> 220 Active Adult Residences
Minimum Lot Size	6,000 sq. ft.	<u>Lot Type A:</u> 45'x80', average Lot Size 4,200 SF	<u>Lot Type A:</u> 45'x80', average Lot Size 4,200 SF

Proposed Planned Development District Standard	Standard R-6 Zoning	Proposed PD Zoning for Single-Family Residential (SF)	Proposed PD Zoning for Active Adult Residential (AA)
		<u>Lot Type B:</u> 50'x80', average Lot Size 4,630 SF <u>Lot Type C:</u> 50'x90', average Lot Size 5,160 SF	<u>Lot Type B:</u> 50'x80', average Lot Size 4,630 SF <u>Lot Type C:</u> 50'x90', average Lot Size 5,160 SF
Minimum Lot Width	<u>Interior lot:</u> 60 feet. <u>Corner lot:</u> 65 feet.	<u>Lot Type A:</u> All lots shall have a minimum width of 45 feet at a distance of 20 feet from the right-of-way. <u>Lot Type B and C:</u> All lots shall have a minimum width of 50 feet at a distance of 20-feet from the right of way.	<u>Lot Type A:</u> All lots shall have a minimum width of 45 feet at a distance of 20 feet from the right-of-way. <u>Lot Type B and C:</u> All lots shall have a minimum width of 50 feet at a distance of 20-feet from the right of way.
Minimum Front Yard Setbacks	20 feet (reserved for landscaping only, excluding driveways).	<u>All Lot Types:</u> 10 foot minimum to porch front, 12 foot minimum to living space, (reserved for landscaping only, excluding driveways).	<u>All Lot Types:</u> 10 foot minimum to porch front, 12 foot minimum to living space, (reserved for landscaping only, excluding driveways).
Minimum Side Yard Setbacks	<u>Interior lot:</u> 5 feet. <u>Corner lot:</u> 10 feet. For at least 25% of the lots in a given subdivision, one side yard of an interior lot shall be 10 feet in width and the other side yard can be five feet.	<u>Lot Type A Interior lot:</u> 4 foot minimum. <u>Lot Type A Corner lot:</u> 4 foot interior/9 foot street-side. <u>Lot Type B and C Interior lot:</u> 5 foot. <u>Lot Type B and C Corner lot:</u> 5 foot interior/10 foot street-side. Architectural pop-outs and encroachments to the front, side and rear shall be allowed pursuant to Municipal Code Section 9-5.801.	<u>Lot Type A Interior lot:</u> 4 foot minimum. <u>Lot Type A Interior 'Active Adult' Duet lot:</u> Zero (0) foot minimum (duet) one side and 4 foot minimum alternate side. <u>Lot Type A Corner lot:</u> 4 foot interior/9 foot street-side. <u>Lot Type A Corner 'Active Adult' Duet lot:</u> Zero (0) foot minimum interior/9 foot streetside. <u>Lot Type B and C Interior lot:</u> 5 foot.

Proposed Planned Development District Standard	Standard R-6 Zoning	Proposed PD Zoning for Single-Family Residential (SF)	Proposed PD Zoning for Active Adult Residential (AA)
			<p><u>Lot Type B and C Interior 'Active Adult' Duet lot:</u> Zero (0) foot minimum one side and 5 foot minimum alternate side.</p> <p><u>Lot Type B and C Corner lot:</u> 5 foot interior/10 foot street-side.</p> <p><u>Lot Type B and C Corner 'Active Adult' Duet lot:</u> Zero (0) foot minimum interior/10 foot streetside.</p> <p>Architectural pop-outs and encroachments to the front, side and rear shall be allowed pursuant to Municipal Code Section 9-5.801.</p>
Minimum Rear Yard Setbacks	20 feet	<p><u>Lot Type A, B, and C:</u> 10 foot minimum/12 foot average.</p> <p><u>Additionally, Lot Type C with lots deeper than 95 feet:</u> 15 foot minimum/18 foot average.</p>	<p><u>All Lot Types:</u> 10 foot minimum/12 foot average.</p> <p><u>Lot Type C with lots deeper than 95 feet:</u> 15 foot minimum/18 foot average.</p>
Accessory Structure Setbacks	Detached accessory structures shall be located behind the required front yard setback and cover no more than 40% of the required rear yard area. Minimum side yard for is 20 feet on corner lots and zero feet on interior lots. No minimum rear yard setback is required. Attached	<p><u>All Lot Types: Interior lot:</u> side yard and rear yard setback is zero feet.</p> <p><u>All Lot Types: Corner lot:</u> street side yard is 10 feet and rear /interior side yard is zero feet.</p>	<p><u>All Lot Types: Interior lot:</u> side yard and rear yard setback is zero feet.</p> <p><u>All Lot Types: Corner lot:</u> street side yard is 10 feet and rear /interior side yard is zero feet.</p>

Proposed Planned Development District Standard	Standard R-6 Zoning	Proposed PD Zoning for Single-Family Residential (SF)	Proposed PD Zoning for Active Adult Residential (AA)
	accessory buildings shall comply with the requirements applicable to the main building. A detached accessory building shall be at least five feet from any building.		
Covered Patio	May encroach to within 10 feet of rear property line and to within three feet of a side property line.	<p><u>All Lot Types:</u> Covered Patio/"California Room": A covered area, attached or detached to the main structure, without walls on two or more sides.</p> <p><u>Covered Patio setbacks:</u> 3' minimum to rear and side yard. The wall-less sides of Covered Patios at the rear elevation can encroach further than architectural popouts. A California Room with a solid covered roof (not trellis) is limited to cover no more than 33% of the required rear yard.</p>	<p><u>All Lot Types:</u> Covered Patio/"California Room": A covered area, attached or detached to the main structure, without walls on two or more sides.</p> <p><u>Covered Patio setbacks:</u> 3' minimum to rear and side yard. The wall-less side of Covered Patios at the rear elevation can encroach further than architectural popouts. A California Room with a solid covered roof (not trellis) is limited to no more than 33% of the required rear yard.</p>
Maximum Building Height	35 feet	<p><u>All Lot Types:</u> 35 feet for single-story profile and two-story structures.</p> <p><u>All Lot Types:</u> 25 feet for one-story structures.</p>	<p><u>All Lot Types:</u> 35 feet for single-story profile and two-story structures.</p> <p><u>All Lot Types:</u> 25 feet for one-story structures.</p>
Maximum Lot Coverage (gross first floor living plus garage area divided by the lot area and does not include Covered Patios/porches)	40%	<p><u>Lot Type A and B:</u> 60% for single-story homes and 54% for two-story homes.</p> <p><u>Lot Type C:</u> 60% for single-story or single-story profile homes and 54% for two-story homes.</p>	<p><u>Lot Type A and B:</u> 60% for single-story; 54% for two-story and single-story profile homes.</p> <p><u>Lot Type C:</u> 63% for single story homes. 54% for two-story and single-story profile homes.</p>

Proposed Planned Development District Standard	Standard R-6 Zoning	Proposed PD Zoning for Single-Family Residential (SF)	Proposed PD Zoning for Active Adult Residential (AA)
			If developed as an Active Adult community, all homes may be single-story – either detached or as duets, based upon market preferences. No two-story homes shall be required in an Active Adult community.
Parking and Driveways	20 feet from property line to front of garage. 2 spaces per unit in a garage, plus one guest parking space on the street within close proximity to the unit served.	<u>All Lot Types:</u> 20-foot minimum setback to garage door for lots with sidewalk along frontage. 18-foot minimum setback to garage door for lots without sidewalk along frontage Garage provides at least two off-street parking spaces. One on-street parking space must be provided in front of, or for corner lots the parking space may be on the street side yard of - each house (at least 20 feet of curb with exceptions for cul-de-sacs).	<u>All Lot Types:</u> 20-foot minimum setback to garage door for lots with sidewalk along frontage. 18-foot minimum setback to garage door for lots without sidewalk along frontage Garage provides at least two off-street parking spaces. One on-street parking space must be provided in front of, or for corner lots the parking space may be on the street side yard of - each house (at least 20 feet of curb with exceptions for cul-de-sacs).
Driveway Width	Minimum 10 feet	<u>Lot Type A:</u> Driveway width not to exceed 45% of lot frontage. <u>Lot Type B and C:</u> Driveway width not to exceed 40% of lot frontage.	<u>Lot Type A:</u> Driveway width not to exceed 45% of lot frontage. <u>Lot Type B and C:</u> Driveway width not to exceed 40% of lot frontage.
Landscape Requirements		The landscaped setbacks from arterial streets (Hillcrest Avenue) shall be as shown on the project's Vesting Tentative Map 9501 dated December 13, 2019.	The landscaped setbacks from arterial streets (Hillcrest Avenue) shall be as shown on the project's Vesting Tentative Map 9501 dated December 13, 2019.

Proposed Planned Development District Standard	Standard R-6 Zoning	Proposed PD Zoning for Single-Family Residential (SF)	Proposed PD Zoning for Active Adult Residential (AA)
Private Pool Club and Park		A private Pool Club and Parks shall be allowed within in the Vineyards at Sand Creek project.	A private Pool Club and Parks shall be allowed within in the Vineyards at Sand Creek project. If developed as an Active Adult Community, park spaces and programming may be adjusted to reflect the Active Adult programming. In no case shall this adjustment result in less park acreage in the gated community.
Model Home Complexes		One or more model home complexes that showcase the different lot sizes and products shall be allowed within the Vineyards at Sand Creek project.	One or more model home complexes that showcase the different lot sizes and products shall be allowed within the Vineyards at Sand Creek project.
RV Parking	For at least 25% of the lots in a given subdivision, one side yard of an interior lot shall be 10 feet in width and the other side yard can be five feet.	RV parking or storage shall be prohibited onsite. This exclusion shall be included in the community's CC&R's.	RV parking or storage shall be prohibited onsite. This exclusion shall be included in the community's CC&R's.
Private Curbs		Creekside/VSC Private Streets shall have the option of providing a beveled-curb as provided for in the City of Antioch Code.	Creekside/VSC Private Streets shall have the option of providing a beveled-curb as provided for in the City of Antioch Code.

Resource Management Plan

The Resource Management Plan was prepared in order to comply with the City of Antioch's General Plan Section 10.0 (Resource Management), which outlines objectives and policies as they relate to biological resources. The overall objective is to preserve natural streams and other habitats that support special-status plant and animal species. While it is preferred to preserve these resources in-situ, the General Plan allows for mitigation off-site within eastern Contra Costa County, if sufficient on-site preservation is

not feasible. Whether such resources are preserved on-site within natural open space areas, or are mitigated off-site, the General Plan requires that such preserved areas are managed and maintained pursuant to a Resource Management Plan (Section 10.3.2e and Section 10.4.2d of the General Plan, respectively). The Resource Management Plan mimics the environmental mitigation measures identified in the EIR for the Creekside/Vineyards at Sand Creek Project (see Attachment D, Exhibit D).

Conclusion

Staff recommends the Planning Commission consider the proposed project and take the following actions:

1. Adopt the resolution recommending City Council certification of the Creekside/Vineyards at Sand Creek Project Environmental Impact Report, adopting findings of fact and statement of overriding considerations, and adopting the mitigation monitoring and reporting program.
2. Adopt the resolution recommending City Council approval of a General Plan Amendment for purposes of amending the City of Antioch General Plan Text and Land Use Map (GP-19-06).
3. Adopt the resolution recommending City Council approval of an ordinance rezoning the property from Study District to Planned Development District (PD-19-02).
4. Adopt the resolution recommending City Council approval of a Vesting Tentative Subdivision Map, Design Review adopting Design Guidelines, and a Resource Management Plan.

ATTACHMENTS

- A. Creekside/Vineyards at Sand Creek Environmental Impact Report Planning Commission Resolution No. 2021-**
Exhibit A Mitigation Monitoring and Reporting Program
- B. General Plan Amendment Planning Commission Resolution No. 2021-**
Exhibit A Proposed General Plan Text Amendment
Exhibit B Proposed General Plan Land Use Map
- C. Planned Development Planning Commission Resolution No. 2021-**
Exhibit A Planned Development Ordinance
Exhibit B Rezone Legal Description
- D. Vesting Tentative Map, Design Review, and Resource Management Plan Planning Commission Resolution No. 2021-**
Exhibit A Vesting Tentative Subdivision Map
Exhibit B Phasing Map
Exhibit C Development Standards and Design Guidelines
Exhibit D Resource Management Plan
- E. PDP Staff Report and Minutes (December 5, 2018)
- F. Parks and Recreation Commission Staff Report and Resolution (December 17, 2020)

ATTACHMENT A

**Creekside Vineyards at Sand Creek Environmental Impact
Report Planning Commission Resolution No. 2021-****

RESOLUTION NO. 2021-**

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ANTIOCH RECOMMENDING THE CITY COUNCIL CERTIFY THE ENVIRONMENTAL IMPACT REPORT FOR THE CREEKSIDE/VINEYARDS AT SAND CREEK PROJECT AS ADEQUATE FOR ADDRESSING THE ENVIRONMENTAL IMPACTS OF THE PROPOSED PROJECT AND ADOPTING CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDINGS, STATEMENT OF OVERRIDING CONSIDERATIONS, AND MITIGATION MEASURES AND A MITIGATION MONITORING AND REPORTING PROGRAM

WHEREAS, the City of Antioch (“City”) received an application from GBN Partners, LLC (“Applicant”), seeking City approval of the following: a General Plan Amendment; Master Development Plan/Rezone; Vesting Tentative Subdivision Map; Design Review; and Resource Management Plan for the development of a 220-unit residential community and associated improvements on approximately 58.9 acres of the 158.2-acre project site, as well as 1.8-acres of off-site improvements, which is known as the Creekside/Vineyards at Sand Creek Project (“Project”);

WHEREAS, the project site consists of a 158.2-acre parcel located south of the future extension of Sand Creek Road in the southeastern portion of the City of Antioch, California. The project site is bordered by the City of Antioch/Contra Costa County line to the south and the City of Antioch/City of Brentwood limit to the east, and is identified by Assessor’s Parcel Number (APN) 057-050-024. Sand Creek is located to the north of the site, and State Route (SR) 4 is located approximately 0.38-mile east of the site. The project site is situated within the Sand Creek Focus Area of the General Plan;

WHEREAS, the Project consists of development of 220 single-family homes and associated improvements on approximately 58.9 acres of the 158.2-acre project site, as well as 1.8 acres of off-site improvements. The Project improvements would include, but would not be limited to, parks, trails, landscaping, circulation improvements, and utility installation. The remainder of the site, including Sand Creek and the associated buffer area, would be retained as open space;

WHEREAS, the City, as lead agency under the California Environmental Quality Act (“CEQA”), has completed the Final Environmental Impact Report (“Final EIR” or “EIR”) for the Project;

WHEREAS, this document contains the City’s certification of the EIR, its CEQA findings, and its statement of overriding considerations supporting approval of the Project considered in the EIR. The Final EIR has State Clearinghouse No. 2020039044;

WHEREAS, a Draft Environmental Impact Report (“Draft EIR”) was released for a 45-day public and agency review on July 20, 2020. The Draft EIR assesses the potential environmental effects of implementation of the Project, identifies means to eliminate or reduce potential adverse impacts, and evaluates a reasonable range of alternatives to the Project;

WHEREAS, the Final EIR comprises the Draft EIR together with one additional volume that includes the comments on the Draft EIR submitted by interested public agencies, organizations, and members of the public; written responses to the environmental issues raised in those comments; revisions to the text of the Draft EIR reflecting changes made in response to comments and other information; and other minor changes to the text of the Draft EIR. The Final EIR is hereby incorporated in this document by reference.

NOW, THEREFORE, BE IT RESOLVED AND DETERMINED, as follows:

CERTIFICATION OF THE FINAL EIR

The Planning Commission recommends the City Council of the City of Antioch (the “City Council”) certify that it has been presented with the Final EIR and that it has reviewed and considered the information contained in the Final EIR prior to making the following findings.

Pursuant to CEQA Guidelines Section 15090 (Title 14 of the California Code of Regulations, Section 15090) the Planning Commission recommends the City Council certify that the Final EIR has been completed in compliance with CEQA and the State CEQA Guidelines, and that the City Council certify the Final EIR for the Project as described above.

The Planning Commission recommends the City Council further certify that the Final EIR reflects its independent judgment and analysis.

FINDINGS

Having received, reviewed, and considered the Final EIR and other information in the record of proceedings, the Planning Commission recommends the City Council hereby adopt the following findings in compliance with CEQA and the CEQA Guidelines:

Part A: Findings regarding the environmental review process and the contents of the Final EIR.

Part B: Findings regarding the significant environmental impacts of the Project and the mitigation measures for those impacts identified in the Final EIR and adopted as conditions of approval, as well as the reasons that some potential mitigation measures are rejected.

Part C: Findings regarding the reasonableness of the range of alternatives evaluated in the Final EIR.

Part D: Statement of Overriding Considerations.

The Planning Commission recommends the City Council certify that these findings are based on full appraisal of all viewpoints, including all comments received up to the date of adoption of these findings, concerning the environmental issues identified and

discussed in the Final EIR. The Planning Commission recommends the City Council adopt the findings and the statements in Parts A, B, C, and D for the Project.

In addition to the findings regarding environmental impacts and mitigation measures, Part E, below, identifies the custodian and location of the record of proceedings, as required by CEQA.

Part F describes the Mitigation Monitoring and Reporting Program for the Project. As described in Part F, the Planning Commission recommends the City Council hereby adopt the Mitigation Monitoring and Reporting Program as set forth in Exhibit A to these findings.

Part A. Environmental Review Process

Notice of Preparation and Scoping Meeting

On March 16, 2020, the City issued a Notice of Preparation announcing the intended preparation of the Draft EIR and describing its proposed scope. The Notice of Preparation had a 30-day review period until April 14, 2020. The City held a public scoping meeting for the Draft EIR on April 9, 2020, for the purpose of informing the public and receiving comments on the scope of the environmental analysis to be prepared for the Project. Due to COVID-19 restrictions, the scoping meeting was held online via Zoom. No comments from the public were received at the scoping meeting.

The City received five comment letters during the comment period on the Notice of Preparation, from State, regional, and local agencies and organizations.

Preparation of the EIR

The City completed the Draft EIR for the Project and, beginning on July 20, 2020, the City made the Draft EIR available for review and comment. A notice of availability was published and the period for receipt of comments on the Draft EIR remained open for 45 days. Copies of the Draft EIR document were made available at the City of Antioch Community Development Department, located at Third and "H" Streets, Antioch, and on the City's website at: www.ci.antioch.ca.us. During the comment period, the City received two comment letters, one from a State agency and the other from a private organization.

The Final EIR was completed and available to commenting public agencies on or before January 8, 2021.

The Final EIR contains all of the comments received during the public comment period, together with written responses to significant environmental issues raised in those comments, which were prepared in accordance with CEQA and the CEQA Guidelines.

The Planning Commission recommends the City Council find and determine that the Final EIR provides adequate, good faith, and reasoned responses to all comments raising significant environmental issues.

Absence of Significant New Information

CEQA Guidelines Section 15088.5 requires that a lead agency recirculate an EIR for further review and comment when significant new information is added to the EIR after public notice is given of the availability of a Draft EIR, but before certification of the Final EIR. New information added to an EIR is not “significant” unless the EIR is changed in a way that deprives the public of a meaningful opportunity to comment upon a substantial adverse environmental effect of the project or a feasible way to mitigate or avoid such an effect that the project proponent declines to implement. Recirculation is not required where the new information added to the EIR merely clarifies or amplifies or makes insignificant modifications in an adequate EIR. The Guidelines provide examples of significant new information under this standard, which include the following:

1. A new significant environmental impact that would result from the Project (or any alternative) or from a new mitigation measure proposed to be implemented.
2. A substantial increase in the severity of an environmental impact would result unless mitigation measures are adopted that reduce the impact to a level of insignificance.
3. A feasible project alternative or mitigation measure considerably different from others previously analyzed would clearly lessen the significant environmental impacts of the Project (or an alternative), but the Project's proponents decline to adopt it.
4. The Draft EIR was so fundamentally and basically inadequate and conclusory in nature that meaningful public review and comment were precluded.

Having reviewed all the information in the record, the Planning Commission recommends the City Council find that no significant new information has been added to the Final EIR since public notice was given of the availability of the Draft EIR. No new or substantial changes to the Draft EIR were proposed as a result of the public comment process. The Final EIR responds to comments and makes only minor technical changes, clarifications or additions to the Draft EIR. The minor changes, clarifications, or additions to the Draft EIR do not identify any new significant impacts or substantial increase in the severity of any environmental impacts, and do not include any new mitigation measures that would have a potentially significant impact. Therefore, the Planning Commission recommends the City Council find that recirculation of the EIR is not required.

Differences of Opinion Regarding the Impacts of the Project

In making its determination to certify the Final EIR and to approve the Project, the Planning Commission recommends the City Council recognize that a range of technical and scientific opinion exists with respect to certain environmental issues. The Planning Commission recommends the City Council acknowledge that it has acquired an understanding of the range of this technical and scientific opinion by its review of the Draft EIR, the comments received on the Draft EIR and the responses to those comments in

the Final EIR, as well as testimony, letters, and reports regarding the Final EIR and its own experience and expertise in these environmental issues. The Planning Commission recommends the City Council acknowledge that it has reviewed and considered, as a whole, the evidence and analysis presented in the Draft EIR, the evidence and analysis presented in the comments on the Draft EIR, the evidence and analysis presented in the Final EIR, the information submitted on the Final EIR, and the reports prepared by the experts who prepared the EIR, by the City's consultants, and by staff, addressing those comments. The Planning Commission recommends the City Council acknowledge that it has gained a comprehensive and well-rounded understanding of the environmental issues presented by the Project. The Planning Commission recommends the City Council acknowledge that in turn, this understanding has enabled the City Council to make its decisions after weighing and considering the various viewpoints on these important issues. The Planning Commission recommends the City Council accordingly certify that its findings are based on full appraisal of all of the evidence contained in the Final EIR, as well as the evidence and other information in the record addressing the Final EIR.

Part B. Impacts and Mitigation Measures

The Planning Commission recommends the City Council acknowledge that these findings provide the written analysis and conclusions of the City Council regarding the environmental impacts of the Project and the mitigation measures identified by the Final EIR and adopted by the City Council as conditions of approval for the Project.

1. Significant or Potentially Significant Impacts Mitigated to a Less-Than-Significant Level.

The following significant and potentially significant environmental impacts of the Project, including cumulative impacts, are being mitigated to a less-than-significant level and are set out below. Pursuant to Section 21081(a)(1) of CEQA and Section 15091(a)(1) of the CEQA Guidelines, as to each such impact, the Planning Commission recommends City Council, based on the evidence in the record before it, find that changes or alterations incorporated into the Project by means of conditions or otherwise, mitigate, avoid or substantially lessen these significant or potentially significant environmental impacts of the Project to a less-than-significant level. The basis for the finding for each identified impact is set forth below.

Air Quality and GHG Emissions

Impact 4.1-1 Conflict with or obstruct implementation of the applicable air quality plan during project construction.

Mitigation Measures: The following mitigation measure has been adopted to address this impact:

4.1-1 *Prior to approval of any grading plans, the project applicant shall show on the plans via notation that the contractor shall ensure that the heavy-duty off-road vehicles (50 horsepower or more) to be used*

in the construction project, including owned, leased, and subcontractor vehicles, shall achieve a project wide fleet average three percent NOX reduction compared to the year 2022 California Air Resources Board (CARB) fleet average. The three percent NOX reduction may be achieved by requiring a combination of engine Tier 3 or Tier 4 off-road construction equipment or the use of hybrid, electric, or alternatively fueled equipment. For instance, the emissions presented in Table 4.1-8 were achieved by requiring Rubber Tired Dozers and Cranes to be engine Tier 3.

In addition, all off-road equipment operating at the construction site must be maintained in proper working condition according to manufacturer's specifications. Idling shall be limited to 5 minutes or less in accordance with the Off-Road Diesel Fueled Fleet Regulation as required by CARB. Clear signage regarding idling restrictions should be placed at the entrances to the construction site.

Portable equipment over 50 horsepower must have either a valid District Permit to Operate (PTO) or a valid statewide Portable Equipment Registration Program (PERP) placard and sticker issued by CARB.

Conformance with the foregoing requirements shall be included as notes and be confirmed through review and approval of grading plans by the City of Antioch Community Development Department.

Finding: Implementation of Mitigation Measure 4.1-1 would reduce construction-related NO_x emissions sufficient to achieve the applicable threshold of significance. Thus, the impact would be reduced to a less-than-significant level.

Impact 4.1-2 Conflict with or obstruct implementation of the applicable air quality plan during project operation.

Mitigation Measures: The following mitigation measure has been adopted to address this impact:

4.1-2 *Prior to issuance of building permits for the proposed project, the project applicant shall demonstrate via project design and/or notation included on project design that only natural gas hearths (fireplaces) shall be installed in the proposed residences and wood-burning hearths shall be prohibited.*

Conformance with the foregoing requirements shall be confirmed through review and approval of building permit plans by the City of Antioch Community Development Department.

Finding: Implementation of Mitigation Measure 4.1-2 would reduce operational ROG emissions sufficient to achieve the applicable threshold of significance. Thus, the impact would be reduced to a less-than-significant level.

Transportation

Impact 4.2-1 Conflict with a program, plan, ordinance, or policy addressing the circulation system during construction activities.

Mitigation Measures: The following mitigation measure has been adopted to address this impact:

4.2-1 *Prior to issuance of grading and building permits, the project applicant shall submit a construction management plan, subject to review and approval by the City Engineer. The requirements within the construction management plan shall include, but are not necessarily limited to, the following elements:*

- *Project staging plan to maximize on-site storage of materials and equipment;*
- *A set of comprehensive traffic control measures, including scheduling of major truck trips and deliveries to avoid peak hours; lane closure proceedings; signs, cones, and other warning devices for drivers; and designation of construction access routes;*
- *Permitted construction hours;*
- *Location of construction staging;*
- *Identification of parking areas for construction employees, site visitors, and inspectors, including on-site locations; and*
- *Provisions for street sweeping to remove construction related debris on public streets.*

Finding: Implementation of Mitigation Measures 4.2-1 would reduce the temporary, significant impacts to the transportation system during the construction period to a less-than-significant level by requiring the preparation and implementation of a construction management plan that would ensure that impacts to local roadways and intersections during construction are minimized.

Initial Study

Impact IV-a: Would the project have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?

Mitigation Measures: The following mitigation measures have been adopted to address this impact:

Special-Status Plants

IV-1 Prior to initiation of ground-disturbing activities on the project site and off-site improvement areas, the project proponent shall retain a qualified biologist to conduct rare plant surveys within one year of the anticipated groundbreaking for the proposed project. The surveys shall be conducted following the CDFW (2018), USFWS (2000), and CNPS (2001), or the most current published survey guidelines. During the surveys, qualified botanists shall search for all the plants identified in the Biological Resources Analysis (Monk & Associates, 2020) as having the potential to occur on the project site and off-site improvement areas, and all plants that are considered locally rare as listed in the East Bay Chapter of the CNPS Database of Rare, Unusual and Significant Plants of Alameda and Contra Costa Counties for the Marsh Creek/Lone Tree Valley area. Project construction shall not be initiated until all special-status plant surveys are completed and the mitigation is implemented, if necessary and required prior to starting construction.

A special-status plant survey report that includes the methods used, survey participants, and associated findings shall be prepared and submitted to the City no more than 30 days following the completion of the final site visit. A record of any special-status plant species identified within the project site during the preconstruction surveys shall be submitted to the CNDDDB. If new special-status plant populations are not found on the site during the appropriately timed surveys, additional mitigation is not required. If construction is not started within two years after the rare plant surveys are completed, the City may require additional rare plant surveys.

If special-status plants are observed on the site during the survey, the populations shall be avoided to the maximum degree possible during project development, and a Mitigation and Monitoring Plan shall be prepared detailing the measures to be implemented to avoid the plant population. Measures shall include establishment of appropriate buffers during construction, fencing of the population prior to and during construction, and regular monitoring of the preserved population by a biologist during and after construction activities. The Mitigation and Monitoring Plan shall be implemented prior to the initiation of project grading. If the plant populations cannot be avoided, the applicant shall hire a qualified biologist to prepare a seed collection and replanting plan in coordination with the City of Antioch to reduce impacts to the identified special-status plant

populations, subject to review and approval by the City of Antioch Community Development Department.

California Red-Legged Frog

IV-2 Prior to initiation of ground-disturbing activities on the project site and off-site improvement areas, the project applicant shall implement the following measures:

- An education program shall be conducted by a qualified biologist to explain the endangered species concerns to contractors/operators working at the project site. The education/training program shall include a description of California red-legged frog and its habitat, a review of the Endangered Species Act and the federal listing of the species, the general protection measures to be implemented to protect the frog and minimize take, and a delineation of the limits of the work area. A sign-in sheet shall be distributed to all participants of the education/training program and submitted to the City of Antioch within two weeks of program completion.*
- The work areas adjacent to Sand Creek shall be isolated with suitable wildlife exclusion fencing (see below) that would block the movement of California red-legged frogs from entering the work areas. The wildlife exclusion fence shall also prevent mammals migrating along Sand Creek from entering the project site. The fence shall be installed along the northern border of the project site, adjacent to the Sand Creek Buffer Area, prior to the time any site grading or vegetation removal activities are implemented. The exact location of the fencing shall be determined by a qualified biologist. The fence shall remain in place during site grading or other construction-related activities and shall prevent frogs and wildlife from entering the project site work areas. While normally California red-legged frog exclusion fencing often consists of silt fencing, owing to the duration of project construction, the project proponent may install a more weather resilient fence that is durable enough to remain in place for the duration of construction, such as a commercially available exclusion fencing (e.g., ERTEC Fence). Fencing shall be installed by staking the route of the wildlife exclusion fencing in a 4- inch-deep trench. Then, the bottom of the fence shall be firmly seated in the trench. The project proponent may replace the wildlife exclusion fencing during construction with permanent fencing, approved by the City.*
- A qualified biologist shall be onsite when grading activities occur within 300 feet of Sand Creek to conduct daily*

inspections of the fencing and to otherwise ensure that stranded animals are salvaged and relocated back to the stream channel. The biological monitor shall be responsible for ensuring that the wildlife exclusion fencing is not compromised and shall notify the onsite contractor representative when fencing needs to be repaired.

- *All construction work in Sand Creek associated with the outfall structures shall be scheduled for the dry season (May 15 through October 15) and when Sand Creek is dry or there is reduced flow in this creek. See also the permitting requirements specified in Mitigation Measure IV-14. Any necessary in-drainage work when there are flows shall be isolated from flows via the installation of temporary coffer dams that have flow-through bypass pipes ensuring that flows pass by the stormwater outfall work areas. Flows shall be diverted around isolated work areas either by gravity flow or, if necessary, by pumping water around the work area. No silty water shall be allowed to reenter the tributary below any in-drainage work area. Methods and materials shall be adapted in the field to match the size, shape, and anticipated flow volume of the drainage, and shall be pre-approved by the biological monitor. All diversions shall conform to the following provisions:*
 - *A qualified 10(a)(1)(A) biologist shall conduct preconstruction surveys for California red-legged frog prior to isolating any work area within Sand Creek. If any frogs are found in the work area, the USFWS shall be notified, and if the USFWS authorizes relocation, the frogs shall be moved from the two stormwater outfall work areas, up or downstream in Sand Creek to appropriate aquatic habitats. Upon completion of the survey, if the outfall construction areas must be dewatered, coffer dams may be installed. Any isolated water shall be dip-netted or as appropriate, seined by the biologist to search for frogs prior to pumping water out of the isolated work areas. The project biological monitor shall be present during all in-drainage work. Dewatered work areas shall not result in stranded aquatic wildlife.*
 - *Drainage diversion shall be practiced only where deemed unavoidable by the proposed project engineer and biological monitor.*
 - *Diversion shall be limited to the minimum time period necessary to complete the work and restore the channel.*

- *Construction equipment shall work from above the top-of-bank. There shall be no vehicle passage, vehicle parking, or materials storage below the top-of-bank.*
- *All in-drainage and diversion work plans shall reflect and incorporate standard erosion control measures and Best Management Practices (BMPs) as prescribed in the project's Stormwater Pollution and Prevention Plan (SWPPP).*
- *In certain cases where water seeps into the dewatered area, sump pits may be excavated in the work area and seepage water would then be pumped back upstream behind the coffer dam. All discharged water shall be silt free. If silt is a problem, water shall be pumped through a silt sock into baker tank(s) prior to discharge back into the channel.*
- *All downstream flows shall be maintained throughout the period that coffer dams are installed.*
- *The entire work area below the top-of-bank, including the coffer dam location, shall be restored to the approximate pre-construction contours and shall be stabilized as necessary to withstand the expected high-water flows. All dam materials shall be completely removed from the channel when work is complete and shall not be disposed of in or near the channel.*
- *All trash that might attract predators to the project site shall be properly contained and removed from the site and disposed of regularly. All construction debris and trash shall be removed from the site when construction activities are complete.*
- *All fueling and maintenance of equipment and vehicles, and staging areas shall be at least 60 feet from Sand Creek. The construction personnel shall ensure that contamination of California red-legged frog habitat does not occur and shall have a plan to promptly address any accidental spills.*
- *To mitigate for permanent impacts to 60.7 acres of California red-legged frog dispersal habitat, the project proponent shall preserve dispersal habitat adjacent to occupied California red-legged frog habitat, or as otherwise approved by USFWS, at a minimum of a 1:1 impacts to replacement.¹ Protection shall be via the purchase of the mitigation land in fee title or via recordation of a conservation easement over the mitigation*

¹ The 60.7 acres of permanently impacted habitat includes off-site improvement areas that overlap with the Promenade/Vineyards at Sand Creek Project. For any off-site impacted habitat for which replacement habitat has already been provided as part of the Promenade/Vineyards at Sand Creek Project, further mitigation is not required.

land. Alternatively, the project proponent may purchase California red-legged frog credits at a 1:1 ratio from a USFWS-approved mitigation bank.

- If mitigation credits are not used, prior to the start of construction, the project proponent shall record a conservation easement over the mitigation property preserving it in perpetuity as wildlife habitat. The easement shall be granted to a qualified conservation organization as defined by Section 815.3 of the California Civil Code. Prior to the start of construction, the project proponent shall prepare a habitat management plan that addresses management of the mitigation land that inures to the benefit of the California red-legged frog and shall submit the plan to the City of Antioch prior to the start of construction. The project proponent shall also establish an endowment fund, or other funding mechanism to provide for the long-term management, maintenance, and monitoring of the mitigation site.*

The project proponent may satisfy the requirements of this mitigation measure by providing the City of Antioch with a copy of a biological opinion issued by the USFWS that includes these, or other functionally equivalent, habitat preservation measures prior to the start of construction.

As an alternative to completion of MM IV-2, the project applicant could comply with one of the following conditions:

- 1. Comply with the applicable terms and conditions of the ECCC HCP/NCCP, as determined in written "Conditions of Coverage" by the Conservancy, provided that the City has first entered into an agreement with the Conservancy for coverage of impacts to ECCC HCP/NCCP Covered Species; or*
- 2. Comply with a habitat conservation plan and/or natural community conservation plan developed and adopted by the City, including payment of applicable fees, provided that CDFW and USFWS have approved the conservation plan.*

California Tiger Salamander

- IV-3 Prior to initiation of construction activities, to mitigate for the permanent impacts to 60.7 acres of potential California tiger salamander migration/over-summering habitat, the project applicant shall compensate for impacted California tiger salamander migration/over-summering habitat at a minimum of a 1:1 impacts to*

replacement ratio.² Mitigation land shall be permanently protected land within the Central California DPS range of the California tiger salamander within 1.3 miles of a known breeding site, or as otherwise approved by CDFW and USFWS. Protection shall be accomplished through the purchase of the mitigation land in fee title or via recordation of a conservation easement over the mitigation land. In lieu of this mitigation prior to construction, the project proponent may purchase California tiger salamander credits at a 1:1 ratio from an approved mitigation bank.

If mitigation credits are not used, prior to the start of construction, the project proponent shall record a conservation easement over the mitigation property preserving it in perpetuity as wildlife habitat. The easement shall be granted to a qualified conservation organization as defined by Section 815.3 of the California Civil Code. The project proponent shall prepare a habitat management plan that addresses management of the mitigation land that inures to the benefit of the California tiger salamander and shall submit the plan to the City of Antioch prior to the start of construction. The project proponent shall also establish an endowment fund, or other funding mechanism to provide for the long-term management, maintenance, and monitoring of the mitigation site.

The project proponent may satisfy the requirements of this mitigation measure by providing the City of Antioch with a copy of a biological opinion issued by the USFWS that includes these, or other functionally equivalent, habitat preservation measures, to be implemented prior to initiation of construction activities.

As an alternative to completion of MM IV-3, the project applicant could comply with one of the following conditions:

- 1. Comply with the applicable terms and conditions of the ECCC HCP/NCCP, as determined in written "Conditions of Coverage" by the Conservancy, provided that the City has first entered into an agreement with the Conservancy for coverage of impacts to ECCC HCP/NCCP Covered Species; or*
- 2. Comply with a habitat conservation plan and/or natural community conservation plan developed and adopted by the City, including payment of applicable fees, provided that CDFW and USFWS have approved the conservation plan.*

² The 60.7 acres of permanently impacted habitat includes off-site improvement areas that overlap with the Promenade/Vineyards at Sand Creek Project. For any off-site impacted habitat for which replacement habitat has already been provided as part of the Promenade/Vineyards at Sand Creek Project, further mitigation is not required.

Western Pond Turtle

- IV-4 Prior to initiation of construction activities, a qualified biologist shall conduct a preconstruction survey of the two stormwater outfall work areas in Sand Creek, and if a western pond turtle is identified in the work area, the turtle shall be relocated to suitable habitat downstream. A written summary of the survey results shall be submitted to the City of Antioch Community Development Department. The work areas adjacent to Sand Creek shall be isolated with exclusion fencing in accordance with Mitigation Measure IV-2 that shall prevent western pond turtle from entering the work site and accidentally being harmed by construction activities.*

Preconstruction surveys for turtle nest sites in uplands adjacent to suitable aquatic habitat during spring and summer months shall be conducted within 30 days prior to beginning any ground-disturbing activities. If nests are not found, further consideration for western pond turtle nests is not warranted. If nest sites are located during preconstruction surveys adjacent to a proposed work area, the nest site plus a 50-foot buffer around the nest site shall be fenced where the buffer intersects a project work area to avoid impacts to the eggs or hatchlings which over-winter at the nest site. In addition, if nest(s) are located during surveys, moth balls (naphthalene) should be sprinkled around the vicinity of the nest (no closer than 10 feet) to mask human scent and discourage predators.

Construction at the nest site and within the 50-foot buffer area shall be delayed until the young leave the nest (this could be a period of many months) or as otherwise advised and directed by a qualified biologist. A qualified CDFW approved biologist, with the concurrence of CDFW, may also relocate young pond turtles.

Golden Eagle

- IV-5 Prior to initiation of ground-disturbing activities or tree removal, preconstruction surveys shall be conducted by a qualified raptor biologist on the project site and within a zone of influence (determined by a qualified biologist) of all project-related activities during the golden eagle breeding season (January through August). The zone of influence is affected by geographic barriers that affect direct line of sight from disturbance to the nest site, and/or distances that proposed activities could influence nesting behavior. The zone of influence shall be determined by a qualified raptor biologist. If nesting golden eagles are found nesting within the zone of influence, a qualified raptor biologist shall determine an appropriate buffer consistent with the USFWS' 2017 Recommended Buffer Zones for*

Ground-Based Human Activities Around Nesting Sites of Golden Eagles in California and Nevada. A written summary of the survey results shall be submitted to the City of Antioch Community Development Department.

The USFWS' 2017 Recommended Buffer Zones for Ground-Based Human Activities Around Nesting Sites of Golden Eagles in California and Nevada, recommends buffer zones for active nests. Such recommended buffer zones may increase or decrease in size depending on specific site or activity circumstances and local jurisdiction recommendations. For any active nest found within a zone of influence of the project site, the qualified raptor biologist shall determine the appropriate buffer size(s) to ensure that project activities do not impact the active nest site. Buffer sizes are likely to be reduced in size when a qualified raptor biologist makes a determination that the nesting golden eagles are acclimated to mechanized activities and disturbances of the like, or the nest is shielded from disturbance by geographic barriers.

If no active nesting golden eagles are identified during survey(s), project construction may commence without further regard for protection of nesting eagles. If golden eagles are found nesting in the project vicinity after project construction has commenced, it should be assumed that the golden eagles began nesting while the project site was under construction and thus, that the eagles are habituated to the ambient level of noise and disturbance emanating from the project site.

If active nesting golden eagles are identified during the preconstruction surveys, the qualified biologist shall establish a nest protection buffer and no project-related disturbance shall be allowed within any established nesting buffer until the young fledge the nest or the nesting attempt is otherwise complete for the year. The buffer shall remain in place until the fledglings become independent of the nesting tree. The young can be considered successfully fledged when the eaglets no longer return to the nesting tree for several consecutive nights. A qualified raptor biologist shall monitor the nesting eagles initially for a period long enough to understand the nesting eagles' response to disturbance, and thereafter on a routine basis (at least once per week) until the nestlings successfully fledge and become independent of the nesting tree.

It should be noted that if the developer initiates grading of the project site in the non-nesting season (September to December) and development disturbance remains continuous through the nesting season, and the golden eagles return and nest, it can be assumed

that the golden eagles are sufficiently acclimated to the project disturbance. A qualified raptor biologist would be required to confirm the level of acclimation and would have to monitor the nesting attempt continuously through the nesting season to ensure that the project disturbance is not affecting the golden eagles nesting efforts and behaviors. After commencement of nesting, if the golden eagles respond negatively to the ongoing disturbance, a 600-foot buffer shall be immediately established and maintained under the supervision of the raptor biologist until the nesting cycle is completed, as determined by a qualified raptor biologist.

Swainson's Hawk

IV-6 *Prior to any project-related ground disturbance that occurs during the nesting season (March 15th to September 15th), a qualified biologist shall conduct a preconstruction survey at least two survey periods prior to the start of construction. Surveys shall follow the protocol in the Recommended Timing and Methodology for Swainson's Hawk Nesting Surveys in California's Central Valley (Swainson's Hawk Technical Advisory Committee 2000), including the survey period lengths identified therein. A written summary of the survey results shall be submitted to the City of Antioch Community Development Department.*

If the proposed project could result in take of the Swainson's hawk, its nest, or eggs, typically assumed to be the case if a nest is detected within a 0.25-mile of the project site, the project proponent shall prepare a Swainson's Hawk Monitoring and Habitat Management Plan. If take of Swainson's hawk eggs, nestlings, fledglings could occur from the proposed activities, as determined by a qualified raptor biologist, protective buffers shall be established on the project site that shall prevent such take from occurring. The protective buffer around the active nest site shall be maintained until such time that the Swainson's hawks have completed their nesting cycle as determined by a qualified raptor biologist. The nest protection buffer shall be coordinated with the CDFW.

If the preconstruction surveys find Swainson's hawk nests within 0.25 mile of the project site, impacts to its foraging habitat shall be mitigated by preserving 60.7 acres of suitable Swainson's hawk foraging habitat (1:1 mitigation for permanent impacts to foraging habitat).³ The mitigation land used to mitigate impacts to the

³ The 60.7 acres of permanently impacted habitat includes off-site improvement areas that overlap with the Promenade/Vineyards at Sand Creek Project. For any off-site impacted habitat for which replacement habitat has already been provided as part of the Promenade/Vineyards at Sand Creek Project, further mitigation is not required.

California tiger salamander (see Mitigation Measure IV-3) shall also constitute suitable Swainson's hawk foraging habitat.

As an alternative to completion of Mitigation Measure IV-6, the project applicant could comply with one of the following conditions:

- 1. Comply with the applicable terms and conditions of the ECCC HCP/NCCP, as determined in written "Conditions of Coverage" by the East Contra Costa County Habitat Conservancy (Conservancy), provided that the City has first entered into an agreement with the Conservancy for coverage of impacts to ECCC HCP/NCCP Covered Species; or*
- 2. Comply with a habitat conservation plan and/or natural community conservation plan developed and adopted by the City, including payment of applicable fees, provided that CDFW and FWS have approved the conservation plan.*

Western Burrowing Owl

IV-7 Prior to initiation of ground-disturbing activities, a preconstruction survey for burrowing owls shall be conducted. The CDFG's Staff Report on Burrowing Owl Mitigation (CDFG 2012) states that take avoidance (preconstruction) surveys shall be conducted 14 days prior to ground disturbance. As burrowing owls may recolonize a site after only a few days, time lapses between project activities trigger subsequent take avoidance surveys including but not limited to a final survey conducted within 24 hours prior to ground disturbance to ensure absence of the species. The results of the survey shall be submitted to the City of Antioch Community Development Department.

Burrowing owl surveys shall be conducted by walking the entire project site and (where possible) in areas within 150 meters (approximately 500 feet) of the proposed project impact zone. The 150-meter buffer zone shall be surveyed to identify burrows and owls outside of the proposed disturbance area which may be impacted by factors such as noise and vibration (heavy equipment) during project construction.

Pedestrian survey transects shall be spaced to allow 100 percent visual coverage of the ground surface. The distance between transect center lines shall be 7 meters to 20 meters and shall be reduced to account for differences in terrain, vegetation density, and ground surface visibility. Poor weather may affect the surveyor's ability to detect burrowing owls thus, the biologist shall avoid conducting surveys when wind speed is greater than 20 kilometers

per hour and the site is affected by precipitation or dense fog. To avoid impacts to owls from surveyors, owls and/or occupied burrows shall be avoided by a minimum of 50 meters (approximately 160 feet) wherever practical to avoid flushing occupied burrows. Disturbance to occupied burrows shall be avoided during all seasons.

If burrowing owls are detected on the site, the following restricted activity dates and setback distances are recommended per the CDFG's Staff Report on Burrowing Owl Mitigation (CDFG 2012).

- From April 1 through October 15, low disturbance and medium disturbance activities shall have a 200-meter buffer while high disturbance activities shall have a 500-meter buffer from occupied nests.*
- From October 16 through March 31, low disturbance activities shall have a 50-meter buffer, medium disturbance activities shall have a 100-meter buffer, and high disturbance activities shall have a 500-meter buffer from occupied nests.*
- No earth-moving activities or other disturbance shall occur within the afore-mentioned buffer zones of occupied burrows. The buffer zones shall be fenced as well. If burrowing owls are found in the proposed project area, a qualified biologist shall delineate the extent of western burrowing owl habitat on the site.*

Tricolored Blackbird

IV-8 Prior to any ground-disturbing activities commencing between February 1 and August 31, the project applicant shall retain a qualified biologist to conduct a nesting survey for tricolored blackbird. A written summary of the survey results shall be submitted to the City of Antioch Community Development Department. If tricolored blackbirds are not identified during the surveys, further mitigation is not required.

If nesting tricolored blackbirds are identified during the surveys, a 300-foot radius around the nesting colony shall be staked with bright orange lath or other suitable staking. The size of the buffer may be altered if a qualified biologist conducts behavioral observations and determines the nesting tricolored blackbirds are well acclimated to disturbance. In such a case, the biologist shall prescribe a modified buffer that allows sufficient room to prevent undue disturbance or harassment to the nesting tricolored blackbirds. Construction or earth-moving activity shall not occur within the established buffer until it is determined by a qualified biologist that the young have fledged (i.e., left the nest) and have attained sufficient flight skills to

avoid project construction zones, as typically occurs by August 1. Construction or earth-moving activity may occur earlier or later, subject to the discretion of a qualified biologist. If a qualified biologist is not hired to watch the nesting tricolored blackbirds, then the buffers shall be maintained in place through the month of August and work within the buffer can commence September 1. If buffers are removed prior to September 1, the qualified biologist monitoring the nesting buffer(s) shall prepare and submit a report to the City of Antioch that provides details about the nesting outcome and the removal of buffers. The report shall be submitted prior to the time that nest protection buffers are removed if the date is before September 1.

Nesting Migratory Birds

IV-9 If project site disturbance associated with the proposed project would commence between March 1 and September 1, a preconstruction nesting survey shall be completed in the 15-day period prior to commencing with any proposed project related disturbance on the project site or off-site improvement areas. The nesting survey shall be conducted on the project site and within a zone of influence around the project site. The zone of influence includes those areas off the project site where birds could be disturbed by earth-moving vibrations or noise as determined by a qualified ornithologist. Accordingly, the nesting survey(s) must cover the project site and an area around the project site boundary. A written summary of the survey results shall be submitted to the City of Antioch Community Development Department. If special-status birds are not identified during the surveys, further mitigation is not required.

*If special-status birds are identified nesting on or adjacent to the project site, a non-disturbance buffer of 100 feet shall be established or as otherwise prescribed by a qualified ornithologist. If common (that is, not special-status) birds, for example, California towhee, California scrub jay, or acorn woodpeckers (*Melanerpes formicivorus*), are identified nesting on or adjacent to the project site, a non-disturbance buffer of 75 feet shall be established or as otherwise prescribed by a qualified ornithologist. The buffer shall be demarcated with painted orange lath or via the installation of orange construction fencing. Disturbance within the buffer shall be postponed until it is determined by a qualified ornithologist that the young have fledged and have attained sufficient flight skills to leave the area or that the nesting cycle has otherwise completed.*

Nesting buffers shall be maintained until September 1 unless a qualified ornithologist determines that young have fledged and are independent of their nests at an earlier date. If nest protection buffers

are removed prior to September 1, the qualified biologist conducting the nesting surveys shall prepare and submit a report to the City of Antioch that provides details about the nesting outcome and the removal of buffers. The report shall be submitted prior to the time that nest protection buffers are removed if the date is before September 1.

Raptors (Including White-Tailed Kite)

IV-10 Prior to commencement of ground-disturbing activities or tree removal between February 1 and August 31, the project applicant shall retain a qualified biologist to conduct raptor nesting surveys. The raptor nesting surveys shall include examination of all trees within 300 feet of the entire project site, including trees that are not planned for removal. A written summary of the survey results shall be submitted to the City of Antioch Community Development Department. If nesting raptors are not identified during the surveys, further mitigation is not required.

If nesting raptors, including white-tailed kite, are identified during the surveys, the dripline of the nest tree shall be fenced with orange construction fencing (provided the tree is on the project site), and a 300-foot radius around the nest tree shall be staked with bright orange lath or other suitable staking. If the tree is located off the project site, then the buffer shall be demarcated per above where the buffer intersects the project site. The size of the buffer may be altered if a qualified raptor biologist conducts behavioral observations and determines the nesting raptors are well acclimated to disturbance. In such case, the raptor biologist shall prescribe a modified buffer that allows sufficient room to prevent undue disturbance/harassment to the nesting raptors. Construction or earth-moving activity shall not occur within the established buffer until it is determined by a qualified raptor biologist that the young have fledged (i.e., left the nest) and have attained sufficient flight skills to avoid project construction zones, which typically occurs by August 1. Initiation of construction or earth-moving activity may be earlier or later, as determined by a qualified raptor biologist. If a qualified biologist is not hired to watch the nesting raptors, then the buffers shall be maintained in place through the month of August and work within the buffer may commence September 1. If buffers are removed prior to September 1, the qualified raptor biologist monitoring the nesting buffer shall prepare and submit a report to the City of Antioch that provides details about the nesting outcome and the removal of buffers. The report shall be submitted prior to the time that nest protection buffers are removed if the date is before September 1.

San Joaquin Kit Fox

IV-11 The project proponent shall implement the following standard avoidance measures for San Joaquin kit fox:

- An education program shall be conducted by a qualified biologist prior to the start of construction to explain the endangered species concerns to contractors working at the project site. The program shall include an explanation of the FESA and CESA and any endangered species concerns in the area. A sign-in sheet shall be distributed to all participants of the education program and submitted to the City of Antioch within two weeks of program completion.*
- Qualified biologists shall conduct preconstruction den surveys no more than 14 days prior to site grading to ensure that potential kit fox dens are not disrupted. If “potential dens” are not identified during the surveys (potential dens are defined as burrows at least four inches in diameter which open up within two feet), further mitigation is not required. If potential dens are identified, infrared camera stations shall be set up and maintained for three consecutive nights at den openings prior to initiation of grading activities to determine the status of the potential dens. If kit fox is not found to be using the den, site grading may proceed unhindered. However, if a kit fox is found using a den site within the project site, the USFWS and the CDFW shall be notified and consulted before work activities resume. A written summary of the survey results shall be submitted to the City of Antioch Community Development Department.*
- To prevent harm to San Joaquin kit fox, any steep-walled holes and/or trenches excavated on the project site shall be completely covered at the end of each workday or escape ramps shall be provided to allow any entrapped animals to escape unharmed. All pipe sections stored at the project site overnight that are four inches in diameter or greater shall be inspected for San Joaquin kit fox before the pipes are moved or buried. If San Joaquin kit fox are identified in the work area at any time, the USFWS and/or the CDFW, as well as the City, shall be notified and consulted before work activities resume. All trash items shall be removed from the site to reduce the potential for attracting predators of San Joaquin kit fox. Contractors shall be prohibited from bringing firearms and pets to the job site.*

American Badger

IV-12 *The project applicant shall retain a qualified biologist to conduct a preconstruction den survey within 21 days prior to site grading. If potential dens are not identified, further mitigation is not required. If a potential den is located, infrared camera stations shall be set up and maintained for three consecutive nights at the potential den openings prior to initiation of grading/work activities to determine the status of the potential dens. If American badger is not found to be using the den, the burrow shall be filled, and site grading may proceed in the vicinity of the burrow(s) unhindered. However, if American badger is found to be using a den site within the area of proposed grading, provided it is not a natal den, the badger shall be passively and humanely evicted from its den if the individual could be impacted by grading or other activities. If a natal den is found, the project proponent shall consult with CDFW to prepare an eviction plan and shall submit the eviction plan to the City prior to implementation. A written summary of the survey results shall be submitted to the City of Antioch Community Development Department.*

Finding: Implementation of Mitigation Measures IV-1 through IV-12 would reduce potential impacts to special-status wildlife species to a less-than-significant level by requiring completion of preconstruction surveys and implementation of appropriate avoidance measures.

Impact IV-b: Would the project have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Wildlife or US Fish and Wildlife Service?

Impact IV-c: Would the project have a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

Mitigation Measures: The following mitigation measures have been adopted to address these impacts:

IV-13 *Prior to discharging any dredged or fill materials into any waters of the U.S. within the project site and/or the off-site improvement areas, the applicant shall obtain permit authorization to fill wetlands under Section 404 of the federal CWA (Section 404 Permit) from USACE. The Section 404 Permit application shall include an assessment of directly impacted, avoided, and preserved acreages to waters of the U.S. Mitigation measures shall be developed as part of the Section 404 Permit to ensure no net loss of wetland function and values. Mitigation for direct impacts to waters of the U.S. within the project site and/or the off-site improvement areas would occur at a minimum*

of 1:1 ratio for direct impacts by purchasing seasonal wetland credits from the Cosumnes Mitigation Bank or other wetland mitigation bank that services the project site, as approved by the USACE and the RWQCB.

Alternatively, the project proponent may create, preserve, and manage new seasonal wetlands on or off of the project site at a 2:1 mitigation ratio. A project-specific Wetland Mitigation and Monitoring Plan prepared by a qualified wetland restoration ecologist that includes the following information shall be provided to the City prior to conducting any activity that would result in the placement of any fill material into a water of the U.S. or water of the State:

- A description of the impacted water;*
- A map depicting the location of the mitigation site(s) and a description of existing site conditions;*
- A detailed description of the mitigation design that includes: (i) the location of the new seasonal wetlands; (ii) proposed construction schedule; (iii) a planting/vegetation plan; (iv) specific monitoring metrics, and objective performance and success criteria, such as delineation of created area as jurisdictional waters using USACE published methods; and (v) contingency measures if the created wetlands do not achieve the specified success criteria; and*
- Short-term and long-term management and monitoring methods.*

If the wetland mitigation site is a separate mitigation property, the project proponent will grant a conservation easement to a qualified entity, as defined by Section 81.5.3 of the California Civil Code, preserving the created seasonal wetland(s) in perpetuity, and establish an endowment fund to provide for the long-term management, maintenance, and monitoring of the created seasonal wetland(s). If the proposed project includes placing fill material into jurisdictional waters of the U.S. or waters of the State, the project proponent shall provide the City with a copy of permits issued by the USACE and RWQCB authorizing the fill.

In addition, a Water Quality Certification or waiver pursuant to Section 401 of the CWA must be obtained for Section 404 permit actions. Proof of compliance with the mitigation measure shall be submitted to the City of Antioch Community Development Department prior to the issuance of grading permits.

IV-14

Impacts to riparian habitat within CDFW's Section 1602 jurisdictional areas that would occur during the installation of two stormwater

outfalls in Sand Creek, construction of the Hillcrest Avenue bridge over Sand Creek, and the installation of the potential EVA/Pedestrian Bridge over Sand Creek, shall be mitigated through planting California native trees and/or shrubs within the Sand Creek buffer area. Impacted trees and shrubs shall be mitigated with a 3:1 (replacement to impacts) ratio. Replacement trees and shrubs shall be a minimum of one gallon size trees/shrub replacements.

In addition, the project proponent will implement appropriate BMPs to prevent construction related impacts that could introduce de minimus fill or other pollutants into Sand Creek and the eastern ephemeral channel on the project site. The measures shall include the installation of wildlife- friendly hay wattles and/or silt fence that will prevent unintended de minimus fill impacts to Sand Creek while the stormwater outfalls are constructed. In addition, orange silt fencing shall be installed at the top-of-bank of Sand Creek to prevent unintended human and equipment traffic adjacent to Sand Creek. Finally, the dripline of all protected trees within the drainages on the project site, if near work areas, shall be protected through the installation of orange construction fencing.

The project proponent shall satisfy this mitigation by providing the City of Antioch with a fully executed copy of a Streambed Alteration Agreement (SBAA) with the CDFW, if one is necessary, that includes these, or other functionally equivalent, BMPs, prior to installation of the two stormwater outfalls in Sand Creek, construction of the Hillcrest Avenue bridge over Sand Creek, and/or installation of the potential EVA/Pedestrian Bridge over Sand Creek. The project proponent shall implement the conditions of the executed SBAA.

Finding: Implementation of Mitigation Measures IV-13 and IV-14 would reduce potential impacts to riparian habitat or protected wetlands to a less-than-significant level by preparing a wetland mitigation plan and requiring wetland mitigation, subject to approval of the USACE, and full implementation of mitigation to riparian habitat and a Streambed Alteration Agreement with the CDFW, if needed.

Impact IV-e: Would the project conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?

Mitigation Measures: The following mitigation measure has been adopted to address this impact:

IV-15 *Prior to issuance of certificates of occupancy, all trees that are legally removed as part of the proposed project shall be replaced according to the following schedule, to the satisfaction of the City of Antioch Community Development Department:*

1. *Each established tree: two 24-inch box trees.*
2. *Each mature tree: two 48-inch box trees.*

The locations and sizes of the replacement trees shall be clearly shown on the final landscape plans, subject to review and approval by the City.

Finding: Implementation of Mitigation Measure IV-15 would reduce impacts related to tree preservation to a less-than-significant level by ensuring that all trees that are removed would be replaced appropriately.

Impact V-b: Would the project cause a substantial adverse change in the significance of a unique archaeological resource pursuant to Section 15064.5?

Impact V-c: Would the project disturb any human remains, including those interred outside of dedicated cemeteries?

Mitigation Measures: The following mitigation measures have been adopted to address these impacts:

V-1 *Prior to initiation of ground-disturbing activities, a consultant and construction worker tribal cultural resources training program shall be provided for all personnel involved in project implementation, to be administered by a qualified cultural resources specialist. The training program shall include relevant information regarding sensitive tribal cultural resources, including applicable regulations, protocols for avoidance, and consequences of violating State laws and regulations. The worker cultural resources awareness program shall also describe appropriate avoidance and minimization measures for resources that have the potential to be located on the project site, and shall outline what to do and whom to contact if any potential archaeological resources or artifacts are encountered. The program shall also underscore the requirement for confidentiality and culturally-appropriate treatment for any find of significance to Native Americans and behaviors, consistent with Native American tribal values. A sign-in sheet shall be distributed to all participants of the training program and submitted to the City of Antioch within two weeks of program completion.*

V-2 *In the event of the accidental discovery or recognition of any or human remains, further excavation or disturbance of the find or any nearby area reasonably suspected to overlie adjacent human remains shall not occur until compliance with the provisions of CEQA Guidelines Section 15064.5(e)(1) and (2) has occurred. The Guidelines specify that in the event of the discovery of human*

remains other than in a dedicated cemetery, no further excavation at the site or any nearby area suspected to contain human remains shall occur until the County Coroner has been notified to determine if an investigation into the cause of death is required. If the coroner determines that the remains are Native American, then, within 24 hours, the Coroner must notify the Native American Heritage Commission, which in turn will notify the most likely descendants who may recommend treatment of the remains and any grave goods. If the Native American Heritage Commission is unable to identify a most likely descendant or most likely descendant fails to make a recommendation within 48 hours after notification by the Native American Heritage Commission, or the landowner or his authorized agent rejects the recommendation by the most likely descendant and mediation by the Native American Heritage Commission fails to provide a measure acceptable to the landowner, then the landowner or his authorized representative shall rebury the human remains and grave goods with appropriate dignity at a location on the property not subject to further disturbances. Should human remains be encountered, a copy of the resulting County Coroner report noting any written consultation with the Native American Heritage Commission shall be submitted as proof of compliance to the City's Community Development Department.

V-3

If any prehistoric or historic artifacts, or other indications of cultural deposits, such as historic privy pits or trash deposits, are found once ground disturbing activities are underway, all work within the vicinity of the find(s) shall cease, the City of Antioch shall be notified, and the find(s) shall be immediately evaluated by a qualified archaeologist and Native American representatives from culturally affiliated Native American tribes to assess the significance of the find and make recommendations for further evaluation and treatment, as necessary. Such recommendations shall be documented in the project record. For any recommendations made by interested Native American tribes which are not implemented, a justification for why the recommendation was not followed will be provided in the project record. If the find is determined to be a historical or unique archaeological resource, contingency funding and a time allotment to allow for implementation of avoidance measures or appropriate mitigation shall be made available (CEQA Guidelines Section 15064.5). Work may continue on other parts of the project site while historical or unique archaeological resource mitigation takes place (Public Resources Code Sections 21083 and 21087).

If inadvertent adverse impacts to tribal cultural resources, unique archeology, or other cultural resources occurs, consultation with the culturally affiliated Native American tribes regarding the standards

contained in Public Resources Code sections 21084.3(a) and (b) and CEQA Guidelines section 15370 should occur, in order to coordinate for compensation for the adverse impacts by replacing or providing substitute resources or environments.

Finding: Implementation of Mitigation Measures V-1, V-2, and V-3 would reduce impacts related to unique archeological resources or human remains to a less-than-significant level by ensuring that any previously unknown cultural resources or human remains that are discovered during ground-disturbing activities are handled appropriately.

Impact VII-a: Would the project directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:

- iii. Seismic-related ground failure, including liquefaction?
- iv. Landslides?

Impact VII-c: Would the project be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?

Impact VII-d: Would the project be located on expansive soil, as defined in Table 18-1B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?

Mitigation Measures: The following mitigation measures have been adopted to address these impacts:

VII-1 Prior to issuance of any grading permits, all recommendations set forth in Sections 5.0, 6.0, and 7.0 of the Geotechnical Summary Report prepared for the proposed project shall be reflected on the project grading and foundation plans, subject to review and approval by the City Engineer.

VII-2 Prior to issuance of any grading permits, the project applicant shall submit to the City of Antioch Engineering Department, for review and approval, a design-level geotechnical exploration study produced by a California Registered Civil Engineer or Geotechnical Engineer and identify grading and building practices necessary to achieve compliance with the latest adopted edition of the California Building Standards Code's geologic, soils, and seismic requirements. Consistent with Section 8.0 of the Geotechnical Summary Report prepared for the proposed project, the design-level geotechnical exploration study shall include supplemental borings, surface samples, Cone Penetration Tests (CPTs) and laboratory soil testing to address the following geotechnical concerns:

- *Liquefaction-induced settlement risks, lateral spreading risks, and design considerations.*
- *Detailed foundation design criteria based on building types and surficial soil material properties.*
- *Identification of any undocumented fill located on the property.*

The design-level geotechnical exploration study shall identify measures to address construction requirements to mitigate any potential geotechnical hazards.

Finding: Implementation of Mitigation Measures VII-1 and VII-2 would reduce impacts related to seismic-related ground failure, liquefaction, landslides, lateral spreading, subsidence, and expansive, or otherwise unstable, soil to a less-than-significant level by requiring preparation of a design-level geotechnical study and ensuring implementation of the recommendations presented therein.

Impact VII-b: Would the project result in substantial erosion or the loss of topsoil?

Mitigation Measures: The following mitigation measure has been adopted to address this impact:

VII-3 Prior to issuance of grading and building permits, the project applicant shall submit, for the review and approval by the City Engineer, an erosion control plan that utilizes standard construction practices to limit the erosion effects during construction of the proposed project. Measures shall include, but are not limited to, the following:

- *Hydro-seeding;*
- *Placement of erosion control measures within drainage ways and ahead of drop inlets;*
- *The temporary lining (during construction activities) of drop inlets with “filter fabric” (a specific type of geotextile fabric);*
- *The placement of straw wattles along slope contours;*
- *Directing subcontractors to a single designation “wash-out” location (as opposed to allowing them to wash-out in any location they desire);*
- *The use of siltation fences; and*
- *The use of sediment basins and dust palliatives.*

Finding: Implementation of Mitigation Measure VII-3 would reduce impacts related to erosion to a less-than-significant level by requiring the preparation and implementation of an erosion control plan for use during construction.

Impact VII-f: Would the project directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

Mitigation Measures: The following mitigation measure has been adopted to address this impact:

VII-4 Prior to initiation of ground-disturbing activities, the applicant shall retain the services of a professional paleontologist to conduct a Worker's Environmental Awareness Training for the construction crew that will be conducting earthmoving activities (i.e., grading and excavation) at the project site and off-site improvement areas. The Environmental Awareness Training may be conducted concurrently with the tribal cultural resources training program required per Mitigation Measure V-1 of this Initial Study. Consistent with the recommendations of the 2020 Cultural Resources Assessment prepared for the proposed project by Natural Investigations, training shall include information on the types of fossils that may be encountered during project work, relevant compliance requirements, and the course of action to be taken in the event of an inadvertent fossil discovery.

Should any vertebrate fossils (e.g., teeth, bones), an unusually large or dense accumulation of intact invertebrates, or well-preserved plant material (e.g., leaves) be unearthed by the construction crew, ground-disturbing activity shall be diverted to another part of the project site and the City and paleontologist shall be called on-site to assess the find and, if significant, recover the find in a timely matter. Finds determined significant by a paleontologist shall then be conserved and deposited with a recognized repository, such as the University of California Museum of Paleontology. The alternative mitigation would be to leave the significant finds in place, determine the extent of significant deposit, and avoid further disturbance of the significant deposit. Within two weeks of training completion, proof of the construction crew awareness training shall be submitted to the City's Community Development Department in the form of a copy of training materials and the completed training attendance roster.

Finding: Implementation of Mitigation Measure VII-4 would reduce impacts related to unique paleontological resources to a less-than-significant level by requiring awareness training for all construction crew members and ensuring that any uncovered paleontological resources are properly handled and preserved.

Impact IX-b: Would the project create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the likely release of hazardous materials into the environment?

Mitigation Measures: The following mitigation measures have been adopted to address this impact:

- IX-1 Prior to final map approval, the project applicant shall submit to the City of Antioch Engineering Department, for review and approval, plans which show that future inhabited structures will not be located over the four on-site abandoned oil/gas wells. The plans shall be completed in compliance with the Division of Oil, Gas, and Geothermal Resources (DOGGR) Construction Site Review Program, which includes guidelines and recommendations for setbacks and mitigation measures for venting systems. If grading is proposed proximate to the four abandoned well locations, DOGGR shall be consulted to determine if the wells will require modification in casing height. In addition, DOGGR shall be consulted to determine if the well abandonment procedures are consistent with current requirements.*
- IX-2 If remnant oil/gas pipelines are encountered during site development work, the pipelines shall be abandoned and/or removed in accordance with applicable federal, State, and/or local standards to the satisfaction of the Contra Costa Environmental Health Department and the City Engineer. If any indicators of apparent soil contamination (soil staining, odors, debris fill material, etc.) are found at the project site associated with the petroleum pipelines, the impacted area shall be isolated from surrounding, non-impacted areas. The project environmental professional shall obtain samples of the potentially impacted soil for analysis of the contaminants of concern and comparison with applicable regulatory residential screening levels (i.e., Environmental Screening Levels, California Human Health Screening Levels, Regional Screening Levels, etc.). Where the soil contaminant concentrations exceed the applicable regulatory residential screening levels, the impacted soil shall be excavated and disposed of offsite at a licensed landfill facility to the satisfaction of the Contra Costa Environmental Health Department. If soil contaminants do not exceed the applicable regulatory residential screening levels, further action is not required.*

Finding: Implementation of Mitigation Measures IX-1 and IX-2 would reduce impacts related to the accidental release of hazardous materials to a less-than-significant level by requiring that future inhabited structures are not located over on-site abandoned oil/gas wells, and ensuring that, if encountered during site development work, remnant oil/gas pipelines are abandoned or removed appropriately.

Impact X-a: Would the project violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?

Mitigation Measures: The following mitigation measure has been adopted to address this impact:

X-1 Prior to issuance of grading permits, the contractor shall prepare a Storm Water Pollution Prevention Plan (SWPPP). The developer shall file the Notice of Intent (NOI) and associated fee to the SWRCB. The SWPPP shall serve as the framework for identification, assignment, and implementation of BMPs. The contractor shall implement BMPs to reduce pollutants in stormwater discharges to the maximum extent practicable. The SWPPP shall be submitted to the Director of Public Works/City Engineer for review and approval and shall remain on the project site during all phases of construction. Following implementation of the SWPPP, the contractor shall subsequently demonstrate the SWPPP's effectiveness and provide for necessary and appropriate revisions, modifications, and improvements to reduce pollutants in stormwater discharges to the maximum extent practicable.

Finding: Implementation of Mitigation Measure X-1 would reduce impacts related to water quality to a less-than-significant level by requiring the preparation and implementation of a SWPPP.

Impact XIII-a: Would the project result in generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?

Mitigation Measures: The following mitigation measures have been adopted to address this impact:

XIII-1 During construction activities, the use of heavy construction equipment shall adhere to Sections 5-17.04 and 5-17.05 of the City's Municipal Code with regard to hours of operation, which state that it is unlawful for any person to operate heavy construction equipment or otherwise be involved in construction activities during the hours specified below:

- 1. On weekdays prior to 7:00 AM and after 6:00 PM.*
- 2. On weekdays within 300 feet of occupied dwelling space, prior to 8:00 AM and after 5:00 PM.*
- 3. On weekends and holidays, prior to 9:00 AM and after 5:00 PM, irrespective of the distance from the occupied dwelling.*

Such standards shall be included, via written notation, on final improvement plans, to the satisfaction of the City Engineer.

XIII-2

The project applicant shall ensure that all on-site construction activities occur pursuant to the criteria identified in Policy 11.6.2, Temporary Construction, of the City of Antioch General Plan. Such criteria include, but are not limited to, preparation of a construction-related noise mitigation plan. The construction-related noise mitigation plan shall be submitted to the Community Development Department for review and approval prior to issuance of grading permits for the project. Items included in the plan could contain, but would not be limited to, the following:

- All equipment driven by internal combustion engines shall be equipped with mufflers which are in good working condition and appropriate for the equipment;*
- The construction contractor shall utilize “quiet” models of air compressors and other stationary noise sources where the technology exists;*
- At all times during project grading and construction, stationary noise-generating equipment shall be located as far as practical from noise-sensitive receptors;*
- Unnecessary idling of internal combustion engines shall be prohibited;*
- Owners and occupants of residential and non-residential properties located within 300 feet of the construction site shall be notified of the construction schedule in writing; and*
- The construction contractor shall designate a “noise disturbance coordinator” who shall be responsible for responding to any local complaints about construction noise. The disturbance coordinator would determine the cause of the noise complaint (e.g., starting too early, bad muffler, etc.) and institute reasonable measures as warranted to correct the problem. A telephone number for the disturbance coordinator shall be conspicuously posted at the construction site.*

XIII-3

A solid noise barrier measuring a minimum of six feet in height shall be constructed along Hillcrest Avenue where residences are located within 157 feet of the roadway. Suitable materials for the noise barrier include concrete panels, concrete masonry units, earthen berms, or any combination thereof. If roadway elevations and building pad elevations are not equal, the barrier heights and locations shall be reviewed once final grading plans are available. The final design of the noise barrier shall be approved by the Community Development Department prior to building permit issuance.

XIII-4 Prior to building permit issuance, the construction drawings for the project shall include a suitable form of forced-air mechanical ventilation for all proposed residential units, subject to approval by the Community Development Department, such that doors and windows may be kept closed at the occupant's discretion to control interior noise and achieve the City's 45 dB Ldn interior noise level threshold.

Finding: Implementation of Mitigation Measures XIII-1 through XIII-4 would reduce impacts related to the generation of noise to a less-than-significant level by requiring compliance with specific construction hours, preparation and implementation of a construction-related noise mitigation plan, construction of a noise barrier, and installation of adequate forced-air mechanical ventilation in all proposed residential units.

Impact XVIII-a: Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American Tribe, and that is: listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k)?

Impact XVIII-b: Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American Tribe, and that is a resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resources Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe?

Mitigation Measures: The following mitigation measure has been adopted to address this impact:

XVIII-1 Implement Mitigation Measures V-1, V-2, and V-3.

Finding: Implementation of Mitigation Measures V-1, V-2, and V-3 would reduce impacts related to tribal cultural resources to a less-than-significant level by ensuring that any previously unknown tribal cultural resources that are discovered during ground-disturbing activities are handled appropriately.

2. Significant and Unavoidable Impacts.

The following significant environmental impacts of the Project, including cumulative impacts, are unavoidable and cannot be mitigated in a manner that would reduce the significant impact to a less-than-significant level. Notwithstanding disclosure of these impacts, the City Council elects to approve the Project due to overriding considerations as set forth below in Part D, Statement of Overriding Considerations.

Air Quality and GHG Emissions

Impact 4.1-6 Generate GHG emissions, either directly or indirectly, that may have a significant impact on the environment, or conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of GHGs.

Mitigation Measures: The following mitigation measure has been adopted to address this impact to the extent feasible:

4.1-6 *Prior to the issuance of building permits, the applicant shall prepare and submit to the City a GHG Reduction Plan to quantifiably reduce GHG emissions so that the project will not cause a net increase in GHG emissions either through the implementation of the following on-site measures, through off-site measures such as purchasing carbon offsets that use CARB-consistent protocols or through other off-site mitigation measures as described in this mitigation measure, or a combination of on-site, carbon offsets, and other off-site mitigation measures. Proof of implementation of the GHG Reduction Plan shall be submitted to the City of Antioch Community Development Department.*

Examples of measures that may be used to reduce GHG emissions include, but are not limited to, the following:

- *Orient buildings to maximize passive solar heating;*
- *Use renewable diesel to fuel construction fleets;*
- *Promote ridesharing, transit, bicycling, and walking for work trips through dedication of preferential parking spaces, provision of on-site bicycle parking, provision of end-of-trip facilities such as bicycle lockers and on-site showers;*
- *Install electric vehicle charging infrastructure in excess of existing CBSC requirements;*
- *Provide fully operational charging stations and preferential parking spots for electric vehicles;*
- *Install energy star or equivalent appliances in all residences;*
- *Limit installation of natural gas fueled appliances;*

- *Install solar water heating;*
- *Use water efficient landscapes and native/drought-tolerant vegetation;*
- *Provide outdoor electrical outlets to allow for use of electrically powered landscaping equipment at all residences and park spaces within the project site;*
- *Construct on-site or fund off-site carbon sequestration projects (such as tree plantings or reforestation projects); and*
- *Purchase carbon credits to offset project annual emissions. Carbon offset credits shall be verified and registered with The Climate Registry, the Climate Action Reserve, or another source approved by CARB, BAAQMD, or the City of Antioch.*

If off-site mitigation measures are proposed, the applicant must be able to show that the emission reductions from identified projects are real, permanent through the duration of the project, enforceable, and are equal to the pollutant type and amount of the project impact being offset. In addition, any off-site measures shall be subject to review and approval by the City of Antioch Community Development Department. BAAQMD recommends that off-site mitigation projects occur within the nine-county Bay Area in order to reduce localized impacts and capture potential co-benefits. If BAAQMD has established an off-site mitigation program at the time a development application is submitted, as an off-site mitigation measure, the applicant may choose to enter into an agreement with BAAQMD and pay into the established off-site mitigation program fund, where BAAQMD would commit to reducing the type and amount of emissions identified in the agreement.

Finding: Implementation of Mitigation Measure 4.1-6 would require the project to incorporate design features to reduce GHG emissions to the maximum extent feasible. Consequently, with implementation of the mitigation measure, the Project's incremental contribution to the cumulatively significant effects of GHG emissions and global climate change would be reduced, but cannot be quantified with certainty at this time. Additional mitigation measures to further reduce the impacts were determined to be infeasible. Thus, the impact remains *cumulatively considerable and significant and unavoidable*.

Transportation

Impact 4.2-7 Conflict with a program, plan, ordinance, or policy addressing study freeway segments under Near-Term With Project conditions.

Mitigation Measures: The following mitigation measure has been adopted to address this impact to the extent feasible:

4.2-7 *Prior to issuance of building permits for the proposed project, the project applicant shall pay applicable regional transportation impact fees to the East Contra Costa Regional Fee and Financing Authority (ECCRFFA). Proof of fee payment shall be submitted to the City of Antioch.*

Finding: Implementation of Mitigation Measure 4.2-7 would ensure that the project contributes a fair share towards the widening of SR 4 between Balfour Road and Marsh Creek Road to improve freeway operations. However, given that timing for the required improvement has not yet been identified, completion of the improvement prior to occupation of the Project cannot be guaranteed. Additional mitigation measures to further reduce the impacts were determined to be infeasible. Thus, the impact remains temporarily *significant and unavoidable*.

Impact 4.2-8 Conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b).

Mitigation Measures: *None Feasible.*

Finding: Feasible mitigation to reduce the per capita VMT associated with the Project to less than 15 percent below regional averages (the applicable threshold of significance) does not exist. Additional mitigation measures to further reduce the impacts were determined to be infeasible. Thus, the impact remains *significant and unavoidable*.

Impact 4.2-12 Conflict with a program, plan, ordinance, or policy addressing study intersections under Cumulative With Project conditions (Sand Creek Road/SR 4 eastbound ramps and Sand Creek Road/SR 4 westbound ramps intersections).

Mitigation Measures: The following mitigation measures have been adopted to address this impact to the extent feasible:

4.2-12(a) *Prior to the issuance of the 165th building permit, the project applicant shall modify the eastbound approach to the Lone Tree Way at Hillcrest Avenue intersection to provide two left-turn lanes, two through lanes, and a through-right-shared lane through the reconstruction of the median, restriping, and signal modifications. Details of the improvements shall be defined in the Development*

Agreement. The improvements shall be completed to the satisfaction of the City Engineer.

- 4.2-12(b) *Prior to issuance of building permits, the project applicant shall pay applicable regional transportation impact fees to the ECCRFFA that would fund improvements at the Sand Creek Road/SR 4 eastbound ramps intersection, including construction of a slip-ramp for the eastbound Sand Creek to southbound SR 4 movement, eliminating the conflicting left-turn movement at the intersection. Proof of payment shall be submitted to the City of Antioch Community Development Department. It should be noted that the Sand Creek Road/SR 4 eastbound ramps intersection is located outside of the City of Antioch and is under the jurisdiction of Caltrans.*
- 4.2-12(c) *Prior to issuance of building permits, if the required improvements are added to the ECCRFFA regional fee program, the project applicant shall pay applicable regional transportation impact fees to the ECCRFFA that would fund the improvements. Proof of payment shall be submitted to the City of Antioch Community Development Department. It should be noted that the Sand Creek Road/SR 4 westbound ramps intersection is located outside of the City of Antioch and is under the jurisdiction of Caltrans.*

Finding: Implementation of Mitigation Measures 4.2-12(a) through (c) would reduce impacts at the Lone Tree Way/Hillcrest Avenue intersection to a less-than-cumulatively considerable level by ensuring payment of regional transportation impact fees and construction of improvements to Hillcrest Avenue. However, uncertainty exists regarding the timing and funding for required improvements to the Sand Creek Road/SR 4 eastbound ramps and Sand Creek Road/SR 4 westbound ramps intersections. In addition, both intersections are located outside of the City's jurisdiction and, thus, the City cannot ensure that improvements to such facilities would be completed. Additional mitigation measures to further reduce the impacts were determined to be infeasible. Thus, the project's incremental contribution to the cumulative impacts at the affected intersections would remain *cumulatively considerable and significant and unavoidable*.

3. Findings.

The Planning Commission recommends the City Council acknowledge that in making these findings, the City Council has considered the opinions of other agencies and members of the public, including opinions that disagree with some of the analysis and significance thresholds used in the EIR. The Planning Commission recommends the City Council find that the determination of significance thresholds is a judgment within the discretion of the City Council; the significance thresholds used in the EIR are supported by substantial evidence in the record, including the expert opinion of the EIR preparers and City staff; and the significance thresholds used in the EIR provide reasonable and

appropriate means of assessing the significance of the adverse environmental effects of the Project.

In particular, the EIR relied on significance criteria for evaluating impacts that are tailored to this type of project. The criteria used in this EIR to determine whether an impact is or is not “significant” are based on (a) CEQA-stipulated “mandatory findings of significance” listed in CEQA Guidelines section 15065; (b) the relationship of the Project effect to the adopted policies, ordinances and standards of the City and of responsible agencies; and (c) commonly accepted practice and the professional judgment of the EIR authors and City staff.

A full explanation of the environmental findings and conclusions can be found in the Final EIR and these findings hereby incorporate by reference the discussion and analysis in the Final EIR supporting the Final EIR’s determinations regarding the Project’s impacts and mitigation measures designed to address those impacts. In making these findings, the Planning Commission recommends the City Council ratify, adopt, and incorporate the analysis and explanation in the Final EIR, and ratifies, adopts, and incorporates in these findings the determinations and conclusions of the Final EIR relating to environmental impacts and mitigation measures, except to the extent any such determinations and conclusions are specifically and expressly modified by these findings.

The Planning Commission recommends the City Council adopt, and incorporate as conditions of approval of the Project, the mitigation measures set forth in the Mitigation Monitoring and Reporting Program attached to these findings as Exhibit A to reduce or avoid the potentially significant and significant impacts of the Project. The Planning Commission recommends the City Council acknowledge that in adopting these mitigation measures, the City Council intends to adopt each of the mitigation measures recommended for approval by the Final EIR. Accordingly, in the event a mitigation measure recommended in the Final EIR has inadvertently been omitted from Exhibit A, such mitigation measure is hereby adopted and incorporated in the findings below by reference. In addition, in the event the language describing a mitigation measure set forth in Exhibit A fails to accurately reflect the mitigation measures in the Final EIR due to a clerical error, the language of the mitigation measure as set forth in the Final EIR shall control, unless the language of the mitigation measure has been specifically and expressly modified by these findings.

The Planning Commission recommends the City Council hereby find that the adopted mitigation measures are changes or alterations that have been required in, or incorporated into, the Project which reduce or avoid significant effects on the environment to the maximum extent feasible.

Changes to mitigation measures were not made in response to any comments on the Draft EIR.

Part C. Alternatives

Summary of Discussion of Alternatives in the Final EIR

The Final EIR evaluates four potential alternatives to the Project. The EIR examines the environmental impacts of each alternative in comparison with the Project and the relative ability of each alternative to satisfy Project objectives.

Findings Relating to Alternatives

In making these findings, the Planning Commission recommends the City Council certify that it has independently reviewed and considered the information on alternatives provided in the Final EIR, including the information provided in comments on the Draft EIR and the responses to those comments in the Final EIR. The Final EIR's discussion and analysis of these alternatives is not repeated in these findings, but the discussion and analysis of the alternatives in the Final EIR is incorporated in these findings by reference.

The Final EIR describes and evaluates in detail four alternatives to the Project. The Planning Commission recommends the City Council acknowledge that the reasons for the City Council's decision to approve the Project instead of the remaining alternatives are presented below. The Planning Commission recommends the City Council find that the Project would satisfy the Project Objectives, and the remaining alternatives are unable to satisfy the Project objectives to the same degree as the Project. The Planning Commission recommends the City Council further find that, on balance, none of the remaining alternatives has environmental advantages over the Project that are sufficiently great to justify approval of such an alternative instead of the Project, in light of each such alternative's inability to satisfy the Project objectives to the same degree as the Project. Accordingly, the Planning Commission recommends the City Council determine to approve the Project instead of approving one of the remaining alternatives.

Description of Project Objectives

The Project objectives are the following:

1. To implement the City's General Plan and Sand Creek Focus Area of the General Plan goals by creating an economically viable project that is capable of providing various infrastructure improvements that are able to serve the project and facilitate service to future planned development, including trunk line infrastructure that is necessary for the ultimate development of the Sand Creek Focus Area of the General Plan, and public roadway improvements.
2. To help the City of Antioch provide its fair share of housing, and help alleviate a regional housing shortage, by providing a mix of housing types and sizes, some moderately affordable, and which can meet the needs of a variety of different and growing household sizes.
3. To expand upon Antioch's first residential gated community, and make it compatible with the surrounding residential uses, yet a visually identifiable

community that is at a scale and quality similar to gated residential developments in the greater East Bay.

4. To provide on-site amenities and recreational opportunities, such as a pool club and both a private and public pedestrian connection to the future Sand Creek trail.
5. To provide housing near major transportation and regional trails connections, with increased land use intensities near regional transportation connections.
6. To create a community that is family friendly or that could accommodate senior residents.
7. To implement the County's Growth Management Program by providing for urban development within the Urban Limit Line.
8. To contribute to the City of Antioch's economic and social viability by creating a community that creates jobs and attracts investment and positive attention.

Discussion and Findings Relating to the Alternatives Evaluated in the Draft EIR

Chapter 6 of the Draft EIR evaluates the following four alternatives, which are summarized below:

- No Project (No Build) Alternative;
- Buildout Pursuant to Existing Land Use Designations Alternative;
- Reduced Density Alternative; and
- Senior Housing Alternative.

No Project (No Build) Alternative.

Under CEQA, a "no-project alternative" compares the impacts of proceeding with a proposed project with the impacts of not proceeding with the proposed project. A no-project alternative describes the environmental conditions in existence at the time the Notice of Preparation was published, along with a discussion of what would be reasonably expected to occur at the site in the foreseeable future, based on current plans and consistent with available infrastructure and community services.

The No Project (No Build) Alternative is defined in the Draft EIR as the continuation of the existing conditions of the project site, which currently consists primarily of ruderal grasses and no structures. Because implementation of the No Project (No Build) Alternative would result in the site remaining under current conditions, physical environmental impacts would not occur. Therefore, implementation of the No Project (No Build) Alternative would result in fewer overall impacts compared to that of the Project. However, the No Project (No Build) Alternative would not meet any of the Project objectives.

On balance, the environmental benefits that might be achieved with this alternative are outweighed by its failure to achieve any of the Project objectives, and the City Council rejects this alternative.

Buildout Pursuant to Existing Land Use Designations Alternative.

The Buildout Pursuant to Existing Land Use Designations Alternative, which is considered another type of “no-project alternative,” would consist of buildout of the project site per the current City of Antioch General Plan land use designations at the maximum allowable densities. Per the City’s General Plan, approximately 115 acres in the eastern portion of the project site are designated Open Space/Senior Housing, while the remaining 43 acres in the western portion of the site are designated Hillside and Estate and Executive Residential/Open Space. It should be noted that the project site contains substantial constraints to development, such as excessive slopes and the Sand Creek corridor. Considering the site constraints, of the 115 acres currently designated as Open Space/Senior Housing, 57.5 acres were assumed to be developed with senior housing, and the remainder would be retained as open space. Of the 43 acres designated as Hillside and Estate and Executive Residential/Open Space, 21.5 acres were assumed to be developed with residences and 21.5 acres would be retained as open space. In total, the Alternative would include development of approximately 273 residential units.

The Draft EIR determined that the Buildout Pursuant to Existing Land Use Designations Alternative would be capable of fully or partially achieving the Project’s objectives. However, the Alternative would result in greater impacts related to air quality and GHG emissions and similar impacts related to transportation relative to the Project. As a result, the significant and unavoidable impacts determined for the Project would still be expected to occur under the Alternative.

Although the Alternative would generally achieve the project objectives, the significant and unavoidable impacts determined for the Project would not be avoided. As such, the City Council rejects this alternative.

Reduced Density Alternative.

The Reduced Density Alternative would consist of buildout of the project site with half as many residences as the Project. As such, the Alternative would develop 110 single-family residential units on a total disturbance area identical to the Project. With development of 110 residential units on 58.9 acres of land, the overall density would be reduced compared to the Project. The parks, open space features, and off-site improvements included as part of the Project would remain the same.

The Draft EIR determined that the Reduced Density Alternative would be capable of fully or partially achieving the Project’s objectives and would result in fewer impacts than the Project in both resource areas. However, the significant and unavoidable impacts determined for the Project would still be expected to occur under the Alternative.

Although the Alternative would generally achieve the project objectives, the significant and unavoidable impacts determined for the Project would not be avoided. As such, the City Council rejects this alternative.

Senior Housing Alternative.

Under the Senior Housing Alternative, all 220 units would consist of age-restricted senior/active adult units. The Senior Housing Alternative would be designed to reduce the total average daily trips and overall VMT. Otherwise, all other aspects, including the disturbance area and proposed roadway and utility improvements, of the Alternative would remain the same as the Project.

The Draft EIR determined that the Senior Housing Alternative would be capable of partially or fully achieving most of the Project's objectives but, because the Senior Housing Alternative would only include senior/adult units, the Alternative would not be capable of meeting Objective #2. The Alternative would result in fewer impacts than the Project to both resource areas. However, the significant and unavoidable impacts determined for the Project would still be expected to occur under the Alternative.

The Alternative would not fully achieve all of the project objectives, and the significant and unavoidable impacts determined for the Project would not be avoided. Thus, the City Council rejects this alternative.

Findings Regarding Reasonable Range of Alternatives

The Planning Commission recommends the City Council find that the range of alternatives evaluated in the EIR reflects a reasonable attempt to identify and evaluate various types of alternatives that would potentially be capable of reducing the Project's environmental effects, while accomplishing most but not all of the Project objectives. The Planning Commission recommends the City Council find that the alternatives analysis is sufficient to inform the City Council and the public regarding the tradeoffs between the degree to which alternatives to the Project could reduce environmental impacts and the corresponding degree to which the alternatives would hinder the City's ability to achieve the Project objectives.

Part D. Statement of Overriding Considerations

Pursuant to CEQA Guidelines Section 15092, the Planning Commission recommends the City Council find that in approving the Project it has eliminated or substantially reduced all significant and potentially significant effects of the Project on the environment where feasible, as shown in the EIR and described in these findings.

The Planning Commission recommends that in the City Council's judgment, the Project and its benefits outweigh its unavoidable significant effect. The following Statement of Overriding Considerations identifies the reasons why, in the City Council's judgment, the benefits of the Project, as approved, outweigh its unavoidable significant effect.

Any one of the stated reasons is sufficient to justify approval of the Project. Thus, even if a court were to conclude that not every reason set forth in this Statement is supported by substantial evidence, the Planning Commission recommends the City Council find that any individual reason is separately sufficient. This Statement is supported by the substantial evidence set forth in the Draft EIR, Final EIR, and the findings set forth above and in the documents incorporated by reference above.

The following considerations support approval of the Project:

1. The Project would provide citywide and regional economic benefits through tax revenues and project fees. According to the Fiscal Impact Analysis prepared for the Project, the Project at build-out is estimated to generate positive fiscal impacts in the range of \$88,472 to \$136,333 per year to the City's General Fund. In addition, the Project is estimated to generate between \$55,550 and \$111,096 per year in CFD 2018-2 Special Tax revenue at build-out to fund City Police Services. Furthermore, as a condition of approval, the Project would annex into, and financially contribute to, a Contra Costa Fire Protection District CFD.
2. The Project would create jobs for local residents through construction. Construction of the Project would create jobs by increasing the number of construction workers in the project area. Considering the nature and size of the Project, a substantial amount of construction workers would likely be needed in construction of the proposed residential uses and other proposed improvements. Additionally, building materials would most likely be purchased in the area, stimulating the local economy and businesses.
3. The Project would provide additional housing opportunities in the City of Antioch. Based on the City's 2015-2023 Housing Element Update, the Regional Housing Needs Allocation (RHNA) for the years 2014-2022 would require 1,448 residences. The Project would contribute an additional 220 residential units to increase the City's housing supply, which would help the City satisfy its RHNA goals.
4. The Project would preserve almost 100 acres of open space areas. The Project would preserve and protect an open space corridor along Sand Creek, including a 200-foot-wide buffer area for sensitive species and habitats to the south of the creek.

The Planning Commission recommends the City Council consider these benefits and considerations and consider the significant unavoidable environmental effects of the Project. The Planning Commission recommends the City Council determine that the economic, legal, social, technological, and other benefits of the Project outweigh the identified impacts. The Planning Commission recommends the City Council determine that the Project benefits set forth above override the significant and unavoidable environmental costs associated with the Project.

The Planning Commission recommends the City Council adopt the mitigation measures in the final Mitigation Monitoring and Reporting Program, incorporated by reference into these findings, and finds that any residual or remaining effects on the environment resulting from the Project, identified as significant and unavoidable in the Findings of Fact, are acceptable due to the benefits set forth in this Statement of Overriding Considerations. The Planning Commission recommends the City Council make this Statement of Overriding Considerations in accordance with Section 15093 of the CEQA Guidelines in support of approval of the Project.

Part E. Record of Proceedings

Various documents and other materials constitute the record upon which the Planning Commission recommends the City Council base these findings and the approvals contained herein. The location and custodian of these documents and materials is: Forrest Ebbs, Community Development Director, City of Antioch, 200 H Street, Antioch, CA 94531.

Part F. Mitigation Monitoring and Reporting Program

In accordance with CEQA and the CEQA Guidelines, the City must adopt a mitigation monitoring and reporting program to ensure that the mitigation measures adopted herein are implemented. The Planning Commission recommends the City Council hereby adopt the Mitigation Monitoring and Reporting Program for the Project attached to these findings as Exhibit A.

NOW, THEREFORE, BE IT FURTHER RESOLVED that the EIR for the Creekside/Vineyards at Sand Creek Project is HEREBY CERTIFIED pursuant to the California Environmental Quality Act. All feasible mitigation measures for the Project identified in the EIR and accompanying studies are hereby incorporated into this approval.

* * * * *

I HEREBY CERTIFY that the foregoing resolution was adopted by the Planning Commission of the City of Antioch at a regular meeting thereof held on the 17th day of February, 2021, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

FORREST EBBS
Secretary to the Planning Commission

4. MITIGATION MONITORING AND REPORTING PROGRAM

4.1 INTRODUCTION

Section 15097 of the California Environmental Quality Act (CEQA) requires all State and local agencies to establish monitoring or reporting programs for projects approved by a public agency whenever approval involves the adoption of either a “mitigated negative declaration” or specified environmental findings related to an EIR.

The following is the Mitigation Monitoring and Reporting Program (MMRP) for the Creekside/Vineyards at Sand Creek Project (proposed project). The intent of the MMRP is to ensure implementation of the mitigation measures identified within the EIR for the Creekside/Vineyards at Sand Creek Project. Unless otherwise noted, the cost of implementing the mitigation measures as prescribed by this MMRP shall be funded by the project applicant.

4.2 COMPLIANCE CHECKLIST

The MMRP contained herein is intended to satisfy the requirements of CEQA as they relate to the EIR for the Creekside/Vineyards at Sand Creek Project prepared by the City of Antioch. This MMRP is intended to be used by City staff and mitigation monitoring personnel to ensure compliance with mitigation measures during project implementation. Mitigation measures identified in this MMRP were developed in the EIR that was prepared for the proposed project.

The Creekside/Vineyards at Sand Creek Project EIR presents a detailed set of mitigation measures that will be implemented throughout the lifetime of the project. Mitigation is defined by CEQA Guidelines, Section 15370, as a measure that:

- Avoids the impact altogether by not taking a certain action or parts of an action;
- Minimizes impacts by limiting the degree or magnitude of the action and its implementation;
- Rectifies the impact by repairing, rehabilitating, or restoring the impacted environment;
- Reduces or eliminates the impact over time by preservation and maintenance operations during the life of the project; or
- Compensates for the impact by replacing or providing substitute resources or environments.

The intent of the MMRP is to ensure the implementation of adopted mitigation measures. The MMRP will provide for monitoring of construction activities as necessary and in-the-field identification and resolution of environmental concerns.

Monitoring and documenting the implementation of mitigation measures will be coordinated by the City of Antioch. The table in Section 4.3 identifies the mitigation measure, the monitoring action for the mitigation measure, the responsible party for the monitoring action, and timing of the monitoring action. The applicant will be responsible for fully understanding and effectively implementing the mitigation measures contained within the MMRP. The City will be responsible for monitoring compliance.



4.3 MITIGATION MONITORING AND REPORTING PROGRAM

The following table indicates the mitigation measure number, the impact the measure is designed to address, the measure text, the monitoring agency, implementation schedule, and an area for sign-off indicating compliance.



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
4.1 Air Quality and Greenhouse Gas Emissions				
4.1-1	Conflict with or obstruct implementation of the applicable air quality plan during project construction.	<p>4.1-1 Prior to approval of any grading plans, the project applicant shall show on the plans via notation that the contractor shall ensure that the heavy-duty off-road vehicles (50 horsepower or more) to be used in the construction project, including owned, leased, and subcontractor vehicles, shall achieve a project wide fleet average three percent NO_x reduction compared to the year 2022 California Air Resources Board (CARB) fleet average. The three percent NO_x reduction may be achieved by requiring a combination of engine Tier 3 or Tier 4 off-road construction equipment or the use of hybrid, electric, or alternatively fueled equipment. For instance, the emissions presented in Table 4.1-8 were achieved by requiring Rubber Tired Dozers and Cranes to be engine Tier 3.</p> <p>In addition, all off-road equipment operating at the construction site must be maintained in proper working condition according to manufacturer's specifications. Idling shall be limited to 5 minutes or less in accordance with the Off-Road Diesel Fueled Fleet Regulation as required by CARB. Clear signage regarding idling restrictions should be placed at the entrances to the construction site.</p> <p>Portable equipment over 50 horsepower must have either a valid District Permit to Operate</p>	City of Antioch Community Development Department	Prior to approval of grading plans and during construction



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
4.1-2	Conflict with or obstruct implementation of the applicable air quality plan during project operation.	<p>(PTO) or a valid statewide Portable Equipment Registration Program (PERP) placard and sticker issued by CARB.</p> <p>4.1-2 Prior to issuance of building permits for the proposed project, the project applicant shall demonstrate via project design and/or notation included on project design that only natural gas hearths (fireplaces) shall be installed in the proposed residences and wood-burning hearths shall be prohibited.</p> <p>Conformance with the foregoing requirements shall be confirmed through review and approval of building permit plans by the City of Antioch Community Development Department.</p>	City of Antioch Community Development Department	Prior to issuance of building permits
4.1-6	Generate GHG emissions, either directly or indirectly, that may have a significant impact on the environment, or conflict with an applicable plan, policy, regulation adopted for the purpose of reducing the emissions of GHGs.	<p>4.1-6 Prior to the issuance of building permits, the applicant shall prepare and submit to the City a GHG Reduction Plan to reduce GHG emissions to the maximum extent feasible. Proof of implementation of the GHG Reduction Plan shall be submitted to the City of Antioch Community Development Department.</p> <p>Examples of measures that may be used to reduce GHG emissions include, but are not limited to, the following:</p> <ul style="list-style-type: none"> • Orient buildings to maximize passive solar heating; • Use renewable diesel to fuel construction fleets; 	<p>City of Antioch Community Development Department</p> <p>Bay Area Air Quality Management District</p>	Prior to issuance of building permits



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		<ul style="list-style-type: none"> Promote ridesharing, transit, bicycling, and walking for work trips through dedication of preferential parking spaces, provision of on-site bicycle parking, provision of end-of-trip facilities such as bicycle lockers and on-site showers; Install electric vehicle charging infrastructure in excess of existing CBSC requirements; Provide fully operational charging stations and preferential parking spots for electric vehicles; Install energy star or equivalent appliances in all residences; Limit installation of natural gas fueled appliances; Install solar water heating; Use water efficient landscapes and native/drought-tolerant vegetation; Provide outdoor electrical outlets to allow for use of electrically powered landscaping equipment at all residences and park spaces within the project site; Construct on-site or fund off-site carbon sequestration projects (such as tree plantings or reforestation projects); and Purchase carbon credits to offset project annual emissions. Carbon offset credits shall be verified and 		



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
	system during construction activities.	<p>review and approval by the City Engineer. The requirements within the construction management plan shall include, but are not necessarily limited to, the following elements:</p> <ul style="list-style-type: none"> • Project staging plan to maximize on-site storage of materials and equipment; • A set of comprehensive traffic control measures, including scheduling of major truck trips and deliveries to avoid peak hours; lane closure proceedings; signs, cones, and other warning devices for drivers; and designation of construction access routes; • Permitted construction hours; • Location of construction staging; • Identification of parking areas for construction employees, site visitors, and inspectors, including on-site locations; and • Provisions for street sweeping to remove construction related debris on public streets. 		
4.2-7	Conflict with a program, plan, ordinance, or policy addressing study freeway segments under Near-Term With Project conditions.	<p>4.2-7 Prior to issuance of building permits for the proposed project, the project applicant shall pay applicable regional transportation impact fees to the East Contra Costa Regional Fee and Financing Authority (ECCRFPA). Proof of fee payment shall be submitted to the City of Antioch.</p>	City of Antioch Community Development Department	Prior to issuance of building permits



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project					
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule	Sign-off
4.2-12	Conflict with a program, plan, ordinance, or policy addressing study intersections under Cumulative With Project conditions.	<p>4.2-12(a) Prior to the issuance of the 165th building permit, the project applicant shall modify the eastbound approach to the Lone Tree Way at Hillcrest Avenue intersection to provide two left-turn lanes, two through lanes, and a through-right-shared lane through the reconstruction of the median, restriping, and signal modifications. Details of the improvements shall be defined in the Development Agreement. The improvements shall be completed to the satisfaction of the City Engineer.</p> <p>4.2-12(b) Prior to issuance of building permits, the project applicant shall pay applicable regional transportation impact fees to the ECCRFFA that would fund improvements at the Sand Creek Road/SR 4 eastbound ramps intersection, including construction of a slip-ramp for the eastbound Sand Creek to southbound SR 4 movement, eliminating the conflicting left-turn movement at the intersection. Proof of payment shall be submitted to the City of Antioch Community Development Department. It should be noted that the Sand Creek Road/SR 4 eastbound ramps intersection is located outside of the City of Antioch and is under the jurisdiction of Caltrans.</p> <p>4.2-12(c) Prior to issuance of building permits, if the required improvements are added to the ECCRFFA regional fee program, the project</p>	City Engineer	Prior to the issuance of the 165 th building permit	
			City of Antioch Community Development Department	Prior to issuance of building permits	
			City of Antioch Community	Prior to issuance of building permits	



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		applicant shall pay applicable regional transportation impact fees to the ECCRFFA that would fund the improvements. Proof of payment shall be submitted to the City of Antioch Community Development Department. It should be noted that the Sand Creek Road/SR 4 westbound ramps intersection is located outside of the City of Antioch and is under the jurisdiction of Caltrans.	Development Department	
Initial Study				
IV-a.	Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service.	Special Status Plants IV-1 Prior to initiation of ground-disturbing activities on the project site and off-site improvement areas, the project proponent shall retain a qualified biologist to conduct rare plant surveys within one year of the anticipated groundbreaking for the proposed project. The surveys shall be conducted following the CDFW (2018), USFWS (2000), and CNPS (2001), or the most current published survey guidelines. During the surveys, qualified botanists shall search for all the plants identified in the Biological Resources Analysis (Monk & Associates, 2020) as having the potential to occur on the project site and off-site improvement areas, and all plants that are considered locally rare as listed in the East Bay Chapter of the CNPS Database of Rare, Unusual and Significant Plants of Alameda and Contra Costa Counties for the Marsh	City of Antioch Community Development Department	Prior to initiation of ground-disturbing activities



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		<p>Creek/Lone Tree Valley area. Project construction shall not be initiated until all special-status plant surveys are completed and the mitigation is implemented, if necessary and required prior to starting construction.</p> <p>A special-status plant survey report that includes the methods used, survey participants, and associated findings shall be prepared and submitted to the City no more than 30 days following the completion of the final site visit. A record of any special-status plant species identified within the project site during the preconstruction surveys shall be submitted to the CNDDB. If new special-status plant populations are not found on the site during the appropriately timed surveys, additional mitigation is not required. If construction is not started within two years after the rare plant surveys are completed, the City may require additional rare plant surveys.</p> <p>If special-status plants are observed on the site during the survey, the populations shall be avoided to the maximum degree possible during project development, and a Mitigation and Monitoring Plan shall be prepared detailing the measures to be implemented to avoid the plant population. Measures shall include establishment of appropriate buffers during construction, fencing of the population prior to and during construction, and regular</p>		



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project					
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule	Sign-off
		<p>monitoring of the preserved population by a biologist during and after construction activities. The Mitigation and Monitoring Plan shall be implemented prior to the initiation of project grading. If the plant populations cannot be avoided, the applicant shall hire a qualified biologist to prepare a seed collection and replanting plan in coordination with the City of Antioch to reduce impacts to the identified special-status plant populations, subject to review and approval by the City of Antioch Community Development Department.</p> <p>California Red-Legged Frog</p> <p>IV-2 Prior to initiation of ground-disturbing activities on the project site and off-site improvement areas, the project applicant shall implement the following measures:</p> <ul style="list-style-type: none">An education program shall be conducted by a qualified biologist to explain the endangered species concerns to contractors/operators working at the project site. The education/training program shall include a description of California red-legged frog and its habitat, a review of the Endangered Species Act and the federal listing of the species, the general protection measures to be implemented to protect the frog and minimize take, and a delineation of the	<p>City of Antioch Community Development Department</p> <p>U.S. Fish and Wildlife Service</p>	<p>Prior to initiation of ground-disturbing activities and during construction activities</p>	



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		<p>limits of the work area. A sign-in sheet shall be distributed to all participants of the education/training program and submitted to the City of Antioch within two weeks of program completion.</p> <ul style="list-style-type: none"> The work areas adjacent to Sand Creek shall be isolated with suitable wildlife exclusion fencing (see below) that would block the movement of California red-legged frogs from entering the work areas. The wildlife exclusion fence shall also prevent mammals migrating along Sand Creek from entering the project site. The fence shall be installed along the northern border of the project site, adjacent to the Sand Creek Buffer Area, prior to the time any site grading or vegetation removal activities are implemented. The exact location of the fencing shall be determined by a qualified biologist. The fence shall remain in place during site grading or other construction-related activities and shall prevent frogs and wildlife from entering the project site work areas. While normally California red-legged frog exclusion fencing often consists of silt fencing, owing to the duration of project construction, the project proponent may install a more weather resilient fence that is durable enough to remain in place for the 		



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		<p>duration of construction, such as a commercially available exclusion fencing (e.g., ERTEC Fence). Fencing shall be installed by staking the route of the wildlife exclusion fencing in a 4-inch-deep trench. Then, the bottom of the fence shall be firmly seated in the trench. The project proponent may replace the wildlife exclusion fencing during construction with permanent fencing, approved by the City.</p> <ul style="list-style-type: none"> • A qualified biologist shall be onsite when grading activities occur within 300 feet of Sand Creek to conduct daily inspections of the fencing and to otherwise ensure that stranded animals are salvaged and relocated back to the stream channel. The biological monitor shall be responsible for ensuring that the wildlife exclusion fencing is not compromised and shall notify the onsite contractor representative when fencing needs to be repaired. • All construction work in Sand Creek associated with the outfall structures shall be scheduled for the dry season (May 15 through October 15) and when Sand Creek is dry or there is reduced flow in this creek. See also the permitting requirements specified in Mitigation Measure IV-14. Any necessary in-drainage work when 		



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project					
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule	Sign-off
		<p>there are flows shall be isolated from flows via the installation of temporary coffer dams that have flow-through bypass pipes ensuring that flows pass by the stormwater outfall work areas. Flows shall be diverted around isolated work areas either by gravity flow or, if necessary, by pumping water around the work area. No silty water shall be allowed to reenter the tributary below any in-drainage work area. Methods and materials shall be adapted in the field to match the size, shape, and anticipated flow volume of the drainage, and shall be pre-approved by the biological monitor. All divisions shall conform to the following provisions:</p> <ul style="list-style-type: none">o A qualified 10(a)(1)(A) biologist shall conduct preconstruction surveys for California red-legged frog prior to isolating any work area within Sand Creek. If any frogs are found in the work area, the USFWS shall be notified, and if the USFWS authorizes relocation, the frogs shall be moved from the two stormwater outfall work areas, up or downstream in Sand Creek to appropriate aquatic habitats. Upon			



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		<p>completion of the survey, if the outfall construction areas must be dewatered, coffer dams may be installed. Any isolated water shall be dewatered or as appropriate, seined by the biologist to search for frogs prior to pumping water out of the isolated work areas. The project biological monitor shall be present during all in-drainage work. Dewatered work areas shall not result in stranded aquatic wildlife.</p> <ul style="list-style-type: none"> Drainage diversion shall be practiced only where deemed unavoidable by the proposed project engineer and biological monitor. Diversion shall be limited to the minimum time period necessary to complete the work and restore the channel. Construction equipment shall work from above the top-of-bank. There shall be no vehicle passage, vehicle parking, or materials storage below the top-of-bank. All in-drainage and diversion work plans shall reflect and incorporate standard erosion 		



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MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project					
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule	Sign-off
		<p>control measures and Best Management Practices (BMPs) as prescribed in the project's Stormwater Pollution and Prevention Plan (SWPPP).</p> <ul style="list-style-type: none">○ In certain cases where water seeps into the dewatered area, sump pits may be excavated in the work area and seepage water would then be pumped back upstream behind the coffer dam. All discharged water shall be silt free. If silt is a problem, water shall be pumped through a silt sock into baker tank(s) prior to discharge back into the channel.○ All downstream flows shall be maintained throughout the period that coffer dams are installed.○ The entire work area below the top-of-bank, including the coffer dam location, shall be restored to the approximate pre-construction contours and shall be stabilized as necessary to withstand the expected high-water flows. All dam materials shall be			

MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		<p>completely removed from the channel when work is complete and shall not be disposed of in or near the channel.</p> <ul style="list-style-type: none"> ○ All trash that might attract predators to the project site shall be properly contained and removed from the site and disposed of regularly. All construction debris and trash shall be removed from the site when construction activities are complete. ○ All fueling and maintenance of equipment and vehicles, and staging areas shall be at least 60 feet from Sand Creek. The construction personnel shall ensure that contamination of California red-legged frog habitat does not occur and shall have a plan to promptly address any accidental spills. • To mitigate for permanent impacts to 60.7 acres of California red-legged frog dispersal habitat, the project proponent shall preserve dispersal habitat adjacent to occupied California red-legged frog habitat, or as otherwise approved by USFWS, at a minimum of a 1:1 impacts to 		



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		<p>replacement.¹ Protection shall be via the purchase of the mitigation land fee title or via recordation of a conservation easement over the mitigation land. Alternatively, the project proponent may purchase California red-legged frog credits at a 1:1 ratio from a USFWS-approved mitigation bank.</p> <ul style="list-style-type: none"> If mitigation credits are not used, prior to the start of construction, the project proponent shall record a conservation easement over the mitigation property preserving it in perpetuity as wildlife habitat. The easement shall be granted to a qualified conservation organization as defined by Section 815.3 of the California Civil Code. Prior to the start of construction, the project proponent shall prepare a habitat management plan that addresses management of the mitigation land that inures to the benefit of the California red-legged frog and shall submit the plan to the City of Antioch prior to the start of construction. The project proponent shall also establish an endowment 		

¹ The 60.7 acres of permanently impacted habitat includes off-site improvement areas that overlap with the Promenade/Vineyards at Sand Creek Project. For any off-site impacted habitat for which replacement habitat has already been provided as part of the Promenade/Vineyards at Sand Creek Project, further mitigation is not required.



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		<p>fund, or other funding mechanism to provide for the long-term management, maintenance, and monitoring of the mitigation site.</p> <p>The project proponent may satisfy the requirements of this mitigation measure by providing the City of Antioch with a copy of a biological opinion issued by the USFWS that includes these, or other functionally equivalent, habitat preservation measures prior to the start of construction.</p> <p>As an alternative to completion of MM IV-2, the project applicant could comply with one of the following conditions:</p> <ol style="list-style-type: none"> 1. Comply with the applicable terms and conditions of the ECCC HCP/NCCP, as determined in written "Conditions of Coverage" by the Conservancy, provided that the City has first entered into an agreement with the Conservancy for coverage of impacts to ECCC HCP/NCCP Covered Species; or 2. Comply with a habitat conservation plan and/or natural community conservation plan developed and adopted by the City, including payment of applicable fees, provided that CDFW and USFWS have approved the conservation plan. 		



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project					
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule	Sign-off
		California Tiger Salamander IV-3 Prior to initiation of construction activities, to mitigate for the permanent impacts to 60.7 acres of potential California tiger salamander migration/over-summering habitat, the project applicant shall compensate for impacted California tiger salamander migration/over-summering habitat at a minimum of a 1:1 impacts to replacement ratio. ² Mitigation land shall be permanently protected land within the Central California DPS range of the California tiger salamander within 1.3 miles of a known breeding site, or as otherwise approved by CDFW and USFWS. Protection shall be accomplished through the purchase of the mitigation land in fee title or via recordation of a conservation easement over the mitigation land. In lieu of this mitigation prior to construction, the project proponent may purchase California tiger salamander credits at a 1:1 ratio from an approved mitigation bank. If mitigation credits are not used, prior to the start of construction, the project proponent shall record a conservation easement over the mitigation property preserving it in perpetuity as wildlife habitat. The easement shall be	City of Antioch Community Development Department California Department of Fish and Wildlife U.S. Fish and Wildlife Service	Prior to initiation of ground-disturbing activities and during construction activities	

² The 60.7 acres of permanently impacted habitat includes off-site improvement areas that overlap with the Promenade/Vineyards at Sand Creek Project. For any off-site impacted habitat for which replacement habitat has already been provided as part of the Promenade/Vineyards at Sand Creek Project, further mitigation is not required.



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		<p>granted to a qualified conservation organization as defined by Section 815.3 of the California Civil Code. The project proponent shall prepare a habitat management plan that addresses management of the mitigation land that inures to the benefit of the California tiger salamander and shall submit the plan to the City of Antioch prior to the start of construction. The project proponent shall also establish an endowment fund, or other funding mechanism to provide for the long-term management, maintenance, and monitoring of the mitigation site.</p> <p>The project proponent may satisfy the requirements of this mitigation measure by providing the City of Antioch with a copy of a biological opinion issued by the USFWS that includes these, or other functionally equivalent, habitat preservation measures, to be implemented prior to initiation of construction activities.</p> <p>As an alternative to completion of MM IV-3, the project applicant could comply with one of the following conditions:</p> <ol style="list-style-type: none"> 1. Comply with the applicable terms and conditions of the ECCC HCP/NCCP, as determined in written "Conditions of Coverage" by the Conservancy, provided that the City has first entered 		



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		<p>into an agreement with the Conservancy for coverage of impacts to ECCC HCP/NCCP Covered Species; or</p> <p>2. Comply with a habitat conservation plan and/or natural community conservation plan developed and adopted by the City, including payment of applicable fees, provided that CDFW and USFWS have approved the conservation plan.</p>		
		<p>Western Pond Turtle</p> <p>IV-4 Prior to initiation of construction activities, a qualified biologist shall conduct a preconstruction survey of the two stormwater outfall work areas in Sand Creek, and if a western pond turtle is identified in the work area, the turtle shall be relocated to suitable habitat downstream. A written summary of the survey results shall be submitted to the City of Antioch Community Development Department. The work areas adjacent to Sand Creek shall be isolated with exclusion fencing in accordance with Mitigation Measure IV-2 that shall prevent western pond turtle from entering the work site and accidentally being harmed by construction activities.</p> <p>Preconstruction surveys for turtle nest sites in uplands adjacent to suitable aquatic habitat during spring and summer months shall be</p>	<p>City of Antioch Community Development Department</p> <p>California Department of Fish and Wildlife</p>	<p>Prior to initiation of and during construction activities</p>



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		<p>conducted within 30 days prior to beginning any ground-disturbing activities. If nests are not found, further consideration for western pond turtle nests is not warranted. If nest sites are located during preconstruction surveys adjacent to a proposed work area, the nest site plus a 50-foot buffer around the nest site shall be fenced where the buffer intersects a project work area to avoid impacts to the eggs or hatchlings which over-winter at the nest site. In addition, if nest(s) are located during surveys, moth balls (naphthalene) should be sprinkled around the vicinity of the nest (no closer than 10 feet) to mask human scent and discourage predators.</p> <p>Construction at the nest site and within the 50-foot buffer area shall be delayed until the young leave the nest (this could be a period of many months) or as otherwise advised and directed by a qualified biologist. A qualified CDFW approved biologist, with the concurrence of CDFW, may also relocate young pond turtles.</p>		
		<p>Golden Eagle</p> <p>IV-5 Prior to initiation of ground-disturbing activities or tree removal, preconstruction surveys shall be conducted by a qualified raptor biologist on the project site and within a zone of influence (determined by a qualified biologist) of all project-related activities during the golden</p>	City of Antioch Community Development Department	Prior to initiation of ground-disturbing activities or tree removal



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project					
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule	Sign-off
		<p>eagle breeding season (January through August). The zone of influence is affected by geographic barriers that affect direct line of sight from disturbance to the nest site, and/or distances that proposed activities could influence nesting behavior. The zone of influence shall be determined by a qualified raptor biologist. If nesting golden eagles are found nesting within the zone of influence, a qualified raptor biologist shall determine an appropriate buffer consistent with the USFWS' 2017 Recommended Buffer Zones for Ground-Based Human Activities Around Nesting Sites of Golden Eagles in California and Nevada. A written summary of the survey results shall be submitted to the City of Antioch Community Development Department.</p> <p>The USFWS' 2017 Recommended Buffer Zones for Ground-Based Human Activities Around Nesting Sites of Golden Eagles in California and Nevada, recommends buffer zones for active nests. Such recommended buffer zones may increase or decrease in size depending on specific site or activity circumstances and local jurisdiction recommendations. For any active nest found within a zone of influence of the project site, the qualified raptor biologist shall determine the appropriate buffer size(s) to ensure that project activities do not impact the active nest site. Buffer sizes are likely to be reduced in size when a qualified raptor biologist makes a</p>			



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		<p>determination that the nesting golden eagles are acclimated to mechanized activities and disturbances of the like, or the nest is shielded from disturbance by geographic barriers.</p> <p>If no active nesting golden eagles are identified during survey(s), project construction may commence without further regard for protection of nesting eagles. If golden eagles are found nesting in the project vicinity after project construction has commenced, it should be assumed that the golden eagles began nesting while the project site was under construction and thus, that the eagles are habituated to the ambient level of noise and disturbance emanating from the project site.</p> <p>If active nesting golden eagles are identified during the preconstruction surveys, the qualified biologist shall establish a nest protection buffer and no project-related disturbance shall be allowed within any established nesting buffer until the young fledge the nest or the nesting attempt is otherwise complete for the year. The buffer shall remain in place until the fledglings become independent of the nesting tree. The young can be considered successfully fledged when the eaglets no longer return to the nesting tree for several consecutive nights. A qualified raptor biologist shall monitor the nesting eagles initially for a period long enough to understand the nesting eagles.</p>		



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		<p>response to disturbance, and thereafter on a routine basis (at least once per week) until the nestlings successfully fledge and become independent of the nesting tree.</p> <p>It should be noted that if the developer initiates grading of the project site in the non-nesting season (September to December) and development disturbance remains continuous through the nesting season, and the golden eagles return and nest, it can be assumed that the golden eagles are sufficiently acclimated to the project disturbance. A qualified raptor biologist would be required to confirm the level of acclimation and would have to monitor the nesting attempt continuously through the nesting season to ensure that the project disturbance is not affecting the golden eagles nesting efforts and behaviors. After commencement of nesting, if the golden eagles respond negatively to the ongoing disturbance, a 600-foot buffer shall be immediately established and maintained under the supervision of the raptor biologist until the nesting cycle is completed, as determined by a qualified raptor biologist.</p>		
		<p>Swainson's Hawk</p> <p>IV-6 Prior to any project-related ground disturbance that occurs during the nesting season (March 15th to September 15th), a qualified biologist shall conduct a</p>	City of Antioch Community Development Department	Prior to any project-related ground disturbance that occurs during the Swainson's hawk



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		<p>preconstruction survey at least two survey periods prior to the start of construction. Surveys shall follow the protocol in the Recommended Timing and Methodology for Swainson's Hawk Nesting Surveys in California's Central Valley (Swainson's Hawk Technical Advisory Committee 2000), including the survey period lengths identified therein. A written summary of the survey results shall be submitted to the City of Antioch Community Development Department.</p> <p>If the proposed project could result in take of the Swainson's hawk, its nest, or eggs, typically assumed to be the case if a nest is detected within a 0.25-mile of the project site, the project proponent shall prepare a Swainson's Hawk Monitoring and Habitat Management Plan. If take of Swainson's hawk eggs, nestlings, fledglings could occur from the proposed activities, as determined by a qualified raptor biologist, protective buffers shall be established on the project site that shall prevent such take from occurring. The protective buffer around the active nest site shall be maintained until such time that the Swainson's hawks have completed their nesting cycle as determined by a qualified raptor biologist. The nest protection buffer shall be coordinated with the CDFW.</p> <p>If the preconstruction surveys find Swainson's hawk nests within 0.25 mile of the project site,</p>	California Department of Fish and Wildlife	nesting season (March 15 th to September 15 th)



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Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		<p>impacts to its foraging habitat shall be mitigated by preserving 60.7 acres of suitable Swainson's hawk foraging habitat (1:1 mitigation for permanent impacts to foraging habitat).³ The mitigation land used to mitigate impacts to the California tiger salamander (see Mitigation Measure IV-3) shall also constitute suitable Swainson's hawk foraging habitat.</p> <p>As an alternative to completion of Mitigation Measure IV-6, the project applicant could comply with one of the following conditions:</p> <ol style="list-style-type: none"> 1. Comply with the applicable terms and conditions of the ECCC HCP/NCCP, as determined in written "Conditions of Coverage" by the East Contra Costa County Habitat Conservancy (Conservancy), provided that the City has first entered into an agreement with the Conservancy for coverage of impacts to ECCCHCP/NCCP Covered Species; or 2. Comply with a habitat conservation plan and/or natural community conservation plan developed and adopted by the City, including payment of applicable fees, provided 		

³ The 60.7 acres of permanently impacted habitat includes off-site improvement areas that overlap with the Promenade/Vineyards at Sand Creek Project. For any off-site impacted habitat for which replacement habitat has already been provided as part of the Promenade/Vineyards at Sand Creek Project, further mitigation is not required.



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Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		<p>that CDFW and FWS have approved the conservation plan.</p> <p>Western Burrowing Owl</p> <p>IV-7 Prior to initiation of ground-disturbing activities, a preconstruction survey for burrowing owls shall be conducted. The CDFG's Staff Report on Burrowing Owl Mitigation (CDFG 2012) states that take avoidance (preconstruction) surveys shall be conducted 14 days prior to ground disturbance. As burrowing owls may recolonize a site after only a few days, time lapses between project activities trigger subsequent take avoidance surveys including but not limited to a final survey conducted within 24 hours prior to ground disturbance to ensure absence of the species. The results of the survey shall be submitted to the City of Antioch Community Development Department.</p> <p>Burrowing owl surveys shall be conducted by walking the entire project site and (where possible) in areas within 150 meters (approximately 500 feet) of the proposed project impact zone. The 150-meter buffer zone shall be surveyed to identify burrows and owls outside of the proposed disturbance area which may be impacted by factors such as noise and vibration (heavy equipment) during project construction.</p>	City of Antioch Community Development Department	Prior to initiation of ground-disturbing activities



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Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		<p>Pedestrian survey transects shall be spaced to allow 100 percent visual coverage of the ground surface. The distance between transect center lines shall be 7 meters to 20 meters and shall be reduced to account for differences in terrain, vegetation density, and ground surface visibility. Poor weather may affect the surveyor's ability to detect burrowing owls thus, the biologist shall avoid conducting surveys when wind speed is greater than 20 kilometers per hour and the site is affected by precipitation or dense fog. To avoid impacts to owls from surveyors, owls and/or occupied burrows shall be avoided by a minimum of 50 meters (approximately 160 feet) wherever practical to avoid flushing occupied burrows. Disturbance to occupied burrows shall be avoided during all seasons.</p> <p>If burrowing owls are detected on the site, the following restricted activity dates and setback distances are recommended per the CDFG's Staff Report on Burrowing Owl Mitigation (CDFG 2012).</p> <ul style="list-style-type: none"> From April 1 through October 15, low disturbance and medium disturbance activities shall have a 200-meter buffer while high disturbance activities shall have a 500-meter buffer from occupied nests. From October 16 through March 31, low disturbance activities shall have a 		



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		<p>50- meter buffer, medium disturbance activities shall have a 100-meter buffer, and high disturbance activities shall have a 500-meter buffer from occupied nests.</p> <ul style="list-style-type: none"> No earth-moving activities or other disturbance shall occur within the afore- mentioned buffer zones of occupied burrows. The buffer zones shall be fenced as well. If burrowing owls are found in the proposed project area, a qualified biologist shall delineate the extent of western burrowing owl habitat on the site. <p>The mitigation land used to mitigate impacts to the California tiger salamander (see Mitigation Measure IV-3) shall also constitute suitable western burrowing owl mitigation land.</p>		
		<p>Tricolored Blackbird</p> <p>IV-8 Prior to any ground-disturbing activities commencing between February 1 and August 31, the project applicant shall retain a qualified biologist to conduct a nesting survey for tricolored blackbird. A written summary of the survey results shall be submitted to the City of Antioch Community Development Department. If tricolored blackbirds are not identified during the surveys, further mitigation is not required.</p>	City of Antioch Community Development Department	Prior to any ground-disturbing activities commencing between February 1 and August 31 within the project site and off-site improvement areas



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Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule	Sign-off
		<p>If nesting tricolored blackbirds are identified during the surveys, a 300-foot radius around the nesting colony shall be staked with bright orange lath or other suitable staking. The size of the buffer may be altered if a qualified biologist conducts behavioral observations and determines the nesting tricolored blackbirds are well acclimated to disturbance. In such a case, the biologist shall prescribe a modified buffer that allows sufficient room to prevent undue disturbance or harassment to the nesting tricolored blackbirds. Construction or earth-moving activity shall not occur within the established buffer until it is determined by a qualified biologist that the young have fledged (i.e., left the nest) and have attained sufficient flight skills to avoid project construction zones, as typically occurs by August 1. Construction or earth-moving activity may occur earlier or later, subject to the discretion of a qualified biologist. If a qualified biologist is not hired to watch the nesting tricolored blackbirds, then the buffers shall be maintained in place through the month of August and work within the buffer can commence September 1. If buffers are removed prior to September 1, the qualified biologist monitoring the nesting buffer(s) shall prepare and submit a report to the City of Antioch that provides details about the nesting outcome and the removal of buffers. The report shall be submitted prior to the time that</p>			



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		<p>nest protection buffers are removed if the date is before September 1.</p> <p>Nesting Migratory Birds</p> <p>IV-9 If project site disturbance associated with the proposed project would commence between March 1 and September 1, a preconstruction nesting survey shall be completed in the 15-day period prior to commencing with any proposed project related disturbance on the project site or off-site improvement areas. The nesting survey shall be conducted on the project site and within a zone of influence around the project site. The zone of influence includes those areas off the project site where birds could be disturbed by earth-moving vibrations or noise as determined by a qualified ornithologist. Accordingly, the nesting survey(s) must cover the project site and an area around the project site boundary. A written summary of the survey results shall be submitted to the City of Antioch Community Development Department. If special-status birds are not identified during the surveys, further mitigation is not required.</p> <p>If special-status birds are identified nesting on or adjacent to the project site, a non-disturbance buffer of 100 feet shall be established or as otherwise prescribed by a qualified ornithologist. If common (that is, not special-status) birds, for example, California</p>	City of Antioch Community Development Department	If project site disturbance associated with the proposed project would commence between March 1 and September 1, within 15 days prior to commencing project-related disturbance



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		<p>towhee, California scrub jay, or acorn woodpeckers (<i>Melanerpes formicivorus</i>), are identified nesting on or adjacent to the project site, a non-disturbance buffer of 75 feet shall be established or as otherwise prescribed by a qualified ornithologist. The buffer shall be demarcated with painted orange lath or via the installation of orange construction fencing. Disturbance within the buffer shall be postponed until it is determined by a qualified ornithologist that the young have fledged and have attained sufficient flight skills to leave the area or that the nesting cycle has otherwise completed.</p> <p>Nesting buffers shall be maintained until September 1 unless a qualified ornithologist determines that young have fledged and are independent of their nests at an earlier date. If nest projection buffers are removed prior to September 1, the qualified biologist conducting the nesting surveys shall prepare and submit a report to the City of Antioch that provides details about the nesting outcome and the removal of buffers. The report shall be submitted prior to the time that nest protection buffers are removed if the date is before September 1.</p> <p>Raptors (Including White-Tailed Kite)</p> <p>IV-10 Prior to commencement of ground-disturbing activities or tree removal between February 1</p>	City of Antioch Community Development Department	Prior to commencement of ground-disturbing activities or tree removal between
				Sign-off



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		<p>and August 31, the project applicant shall retain a qualified biologist to conduct raptor nesting surveys. The raptor nesting surveys shall include examination of all trees within 300 feet of the entire project site, including trees that are not planned for removal. A written summary of the survey results shall be submitted to the City of Antioch Community Development Department. If nesting raptors are not identified during the surveys, further mitigation is not required.</p> <p>If nesting raptors, including white-tailed kite, are identified during the surveys, the dripline of the nest tree shall be fenced with orange construction fencing (provided the tree is on the project site), and a 300-foot radius around the nest tree shall be staked with bright orange lath or other suitable staking. If the tree is located off the project site, then the buffer shall be demarcated per above where the buffer intersects the project site. The size of the buffer may be altered if a qualified raptor biologist conducts behavioral observations and determines the nesting raptors are well acclimated to disturbance. In such case, the raptor biologist shall prescribe a modified buffer that allows sufficient room to prevent undue disturbance/harassment to the nesting raptors. Construction or earth-moving activity shall not occur within the established buffer until it is determined by a qualified raptor biologist that the young have fledged (i.e., left</p>		February 1 and August 31	



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		the nest) and have attained sufficient flight skills to avoid project construction zones, which typically occurs by August 1. Initiation of construction or earth-moving activity may be earlier or later, as determined by a qualified raptor biologist. If a qualified biologist is not hired to watch the nesting raptors, then the buffers shall be maintained in place through the month of August and work within the buffer may commence September 1. If buffers are removed prior to September 1, the qualified raptor biologist monitoring the nesting buffer shall prepare and submit a report to the City of Antioch that provides details about the nesting outcome and the removal of buffers. The report shall be submitted prior to the time that nest protection buffers are removed if the date is before September 1.		
		<p>San Joaquin Kit Fox</p> <p>IV-11 The project applicant shall implement the following standard avoidance measures for San Joaquin kit fox:</p> <ul style="list-style-type: none"> An education program shall be conducted by a qualified biologist prior to the start of construction to explain the endangered species concerns to contractors working at the project site. The program shall include an explanation of the FESA and CESA and any endangered species 	<p>City of Antioch Community Development Department</p> <p>U.S. Fish and Wildlife Service</p> <p>California Department of Fish and Wildlife</p>	<p>Prior to the start of construction and during construction activities on the project site and within the off-site improvement areas</p>



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		<p>concerns in the area. A sign-in sheet shall be distributed to all participants of the education program and submitted to the City of Antioch within two weeks of program completion.</p> <ul style="list-style-type: none">Qualified biologists shall conduct preconstruction den surveys no more than 14 days prior to site grading to ensure that potential kit fox dens are not disrupted. If “potential dens” are not identified during the surveys (potential dens are defined as burrows at least four inches in diameter which open up within two feet), further mitigation is not required. If potential dens are identified, infrared camera stations shall be set up and maintained for three consecutive nights at den openings prior to initiation of grading activities to determine the status of the potential dens. If kit fox is not found to be using the den, site grading may proceed unhindered. However, if a kit fox is found using a den site within the project site, the USFWS and the CDFW shall be notified and consulted before work activities resume. A written summary of the survey results shall be submitted to the City of Antioch Community Development Department.			



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Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		<ul style="list-style-type: none"> To prevent harm to San Joaquin kit fox, any steep-walled holes and/or trenches excavated on the project site shall be completely covered at the end of each workday or escape ramps shall be provided to allow any entrapped animals to escape unharmed. All pipe sections stored at the project site overnight that are four inches in diameter or greater shall be inspected for San Joaquin kit fox before the pipes are moved or buried. If San Joaquin kit fox are identified in the work area at any time, the USFWS and/or the CDFW, as well as the City, shall be notified and consulted before work activities resume. All trash items shall be removed from the site to reduce the potential for attracting predators of San Joaquin kit fox. Contractors shall be prohibited from bringing firearms and pets to the job site. 		
		<p>American Badger</p> <p>IV-12 The project applicant shall retain a qualified biologist to conduct a preconstruction den survey within 21 days prior to site grading. If potential dens are not identified, further mitigation is not required. If a potential den is located, infrared camera stations shall be set up and maintained for three consecutive</p>	<p>City of Antioch Community Development Department</p> <p>California Department of Fish and Wildlife</p>	<p>Within 21 days prior to site grading</p>



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		nights at the potential den openings prior to initiation of grading/work activities to determine the status of the potential dens. If American badger is not found to be using the den, the burrow shall be filled, and site grading may proceed in the vicinity of the burrow(s) unhindered. However, if American badger is found to be using a den site within the area of proposed grading, provided it is not a natal den, the badger shall be passively and humanely evicted from its den if the individual could be impacted by grading or other activities. If a natal den is found, the project proponent shall consult with CDFW to prepare an eviction plan and shall submit the eviction plan to the City prior to implementation. A written summary of the survey results shall be submitted to the City of Antioch Community Development Department.		
IV-b., IV-c.	Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Wildlife or US Fish and Wildlife Service. Have a substantial adverse effect on state or	IV-13 Prior to discharging any dredged or fill materials into any waters of the U.S. within the project site and/or the off-site improvement areas, the applicant shall obtain permit authorization to fill wetlands under Section 404 of the federal CWA (Section 404 Permit) from USACE. The Section 404 Permit application shall include an assessment of directly impacted, avoided, and preserved acreages to waters of the U.S. Mitigation measures shall be developed as part of the Section 404 Permit to ensure no net loss of wetland function and values. Mitigation for direct impacts to waters of the U.S. within the	City of Antioch Community Development Department U.S. Army Corps of Engineers Central Valley Regional Water Quality Control Board	Prior to issuance of grading permits



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	federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means.	<p>project site and/or the off-site improvement areas would occur at a minimum of 1:1 ratio for direct impacts by purchasing seasonal wetland credits from the Cosumnes Mitigation Bank or other wetland mitigation bank that services the project site, as approved by the USACE and the RWQCB.</p> <p>Alternatively, the project proponent may create, preserve, and manage new seasonal wetlands on or off of the project site at a 2:1 mitigation ratio. A project-specific Wetland Mitigation and Monitoring Plan prepared by a qualified wetland restoration ecologist that includes the following information shall be provided to the City prior to conducting any activity that would result in the placement of any fill material into a water of the U.S. or water of the State:</p> <ul style="list-style-type: none"> • A description of the impacted water; • A map depicting the location of the mitigation site(s) and a description of existing site conditions; • A detailed description of the mitigation design that includes: (i) the location of the new seasonal wetlands; (ii) proposed construction schedule; (iii) a planting/vegetation plan; (iv) specific monitoring metrics, and objective performance and success criteria, such as delineation of created area as jurisdictional waters using USACE 		



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		<p>published methods; and (v) contingency measures if the created wetlands do not achieve the specified success criteria; and</p> <ul style="list-style-type: none"> Short-term and long-term management and monitoring methods. <p>If the wetland mitigation site is a separate mitigation property, the project proponent will grant a conservation easement to a qualified entity, as defined by Section 81.5.3 of the California Civil Code, preserving the created seasonal wetland(s) in perpetuity, and establish an endowment fund to provide for the long-term management, maintenance, and monitoring of the created seasonal wetland(s). If the proposed project includes placing fill material into jurisdictional waters of the U.S. or waters of the State, the project proponent shall provide the City with a copy of permits issued by the USACE and RWQCB authorizing the fill.</p> <p>In addition, a Water Quality Certification or waiver pursuant to Section 401 of the CWA must be obtained for Section 404 permit actions. Proof of compliance with the mitigation measure shall be submitted to the City of Antioch Community Development Department prior to the issuance of grading permits.</p>		



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		<p>IV-14 Impacts to riparian habitat within CDFW's Section 1602 jurisdictional areas that would occur during the installation of two stormwater outfalls in Sand Creek, construction of the Hillcrest Avenue bridge over Sand Creek, and the installation of the potential EVA/Pedestrian Bridge over Sand Creek, shall be mitigated through planting California native trees and/or shrubs within the Sand Creek buffer area. Impacted trees and shrubs shall be mitigated with a 3:1 (replacement to impacts) ratio. Replacement trees and shrubs shall be a minimum of one gallon size trees/shrub replacements.</p> <p>In addition, the project proponent will implement appropriate BMPs to prevent construction related impacts that could introduce de minimus fill or other pollutants into Sand Creek and the eastern ephemeral channel on the project site. The measures shall include the installation of wildlife-friendly hay wattles and/or silt fence that will prevent unintended de minimus fill impacts to Sand Creek while the stormwater outfalls are constructed. In addition, orange silt fencing shall be installed at the top-of-bank of Sand Creek to prevent unintended human and equipment traffic adjacent to Sand Creek. Finally, the dripline of all protected trees within the drainages on the project site, if near work areas, shall be protected through the installation of orange construction fencing.</p>	<p>City of Antioch Community Development Department</p> <p>California Department of Fish and Wildlife</p>	<p>Prior to issuance of grading permits</p>



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Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule	Sign-off
		<p>The project proponent shall satisfy this mitigation by providing the City of Antioch with a fully executed copy of a Streambed Alteration Agreement (SBAA) with the CDFW, if one is necessary, that includes these, or other functionally equivalent, BMPs, prior to installation of the two stormwater outfalls in Sand Creek, construction of the Hillcrest Avenue bridge over Sand Creek, and/or installation of the potential EVA/Pedestrian Bridge over Sand Creek. The project proponent shall implement the conditions of the executed SBAA.</p>			
IV-e.	Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance.	<p>IV-15 Prior to issuance of certificates of occupancy, all trees that are legally removed as part of the proposed project shall be replaced according to the following schedule, to the satisfaction of the City of Antioch Community Development Department:</p> <p>1. Each established tree: two 24-inch box trees.</p> <p>2. Each mature tree: two 48-inch box trees.</p> <p>The locations and sizes of the replacement trees shall be clearly shown on the final landscape plans, subject to review and approval by the City.</p>	City of Antioch Community Development Department	Prior to issuance of certificates of occupancy	
V-b., V-c.	Cause a substantial adverse change in the significance of a unique	<p>V-1. Prior to initiation of ground-disturbing activities, a consultant and construction worker tribal cultural resources training</p>	City of Antioch Community	Prior to initiation of ground-disturbing activities	



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	archaeological resource pursuant to Section 15064.5. Disturb any human remains, including those interred outside of dedicated cemeteries.	<p>program shall be provided for all personnel involved in project implementation, to be administered by a qualified cultural resources specialist. The training program shall include relevant information regarding sensitive tribal cultural resources, including applicable regulations, protocols for avoidance, and consequences of violating State laws and regulations. The worker cultural resources awareness program shall also describe appropriate avoidance and minimization measures for resources that have the potential to be located on the project site, and shall outline what to do and whom to contact if any potential archaeological resources or artifacts are encountered. The program shall also underscore the requirement for confidentiality and culturally-appropriate treatment for any find of significance to Native Americans and behaviors, consistent with Native American tribal values. A sign-in sheet shall be distributed to all participants of the training program and submitted to the City of Antioch within two weeks of program completion.</p> <p>V-2 In the event of the accidental discovery or recognition of any or human remains, further excavation or disturbance of the find or any nearby area reasonably suspected to overlie adjacent human remains shall not occur until compliance with the provisions of CEQA Guidelines Section 15064.5(e)(1) and (2) has occurred. The Guidelines specify that in the</p>	Development Department	During ground-disturbing activities
			City of Antioch Community Development Department County Coroner	



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Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule	Sign-off
		<p>event of the discovery of human remains other than in a dedicated cemetery, no further excavation at the site or any nearby area suspected to contain human remains shall occur until the County Coroner has been notified to determine if an investigation into the cause of death is required. If the coroner determines that the remains are Native American, then, within 24 hours, the Coroner must notify the Native American Heritage Commission, which in turn will notify the most likely descendants who may recommend treatment of the remains and any grave goods. If the Native American Heritage Commission is unable to identify a most likely descendant or most likely descendant fails to make a recommendation within 48 hours after notification by the Native American Heritage Commission, or the landowner or his authorized agent rejects the recommendation by the most likely descendant and mediation by the Native American Heritage Commission fails to provide a measure acceptable to the landowner, then the landowner or his authorized representative shall rebury the human remains and grave goods with appropriate dignity at a location on the property not subject to further disturbances. Should human remains be encountered, a copy of the resulting County Coroner report noting any written consultation with the Native American Heritage Commission shall be</p>	Native American Heritage Commission		



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		<p>submitted as proof of compliance to the City's Community Development Department.</p> <p>V-3 If any prehistoric or historic artifacts, or other indications of cultural deposits, such as historic privy pits or trash deposits, are found once ground disturbing activities are underway, all work within the vicinity of the find(s) shall cease, the City of Antioch shall be notified, and the find(s) shall be immediately evaluated by a qualified archaeologist and Native American representatives from culturally affiliated Native American tribes to assess the significance of the find and make recommendations for further evaluation and treatment, as necessary. Such recommendations shall be documented in the project record. For any recommendations made by interested Native American tribes which are not implemented, a justification for why the recommendation was not followed will be provided in the project record. If the find is determined to be a historical or unique archaeological resource, contingency funding and a time allotment to allow for implementation of avoidance measures or appropriate mitigation shall be made available (CEQA Guidelines Section 15064.5). Work may continue on other parts of the project site while historical or unique archaeological resource mitigation takes place (Public Resources Code Sections 21083 and 21087).</p>	<p>City of Antioch Community Development Department</p> <p>Culturally affiliated Native American tribes</p>	<p>During ground-disturbing activities</p>



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		<i>If inadvertent adverse impacts to tribal cultural resources, unique archeology, or other cultural resources occurs, consultation with the culturally affiliated Native American tribes regarding the standards contained in Public Resources Code sections 21084.3(a) and (b) and CEQA Guidelines section 15370 should occur, in order to coordinate for compensation for the adverse impacts by replacing or providing substitute resources or environments.</i>			
VII-a., VII-c., VII-d.	Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving seismic-related ground failure, including liquefaction and landslides. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse. Be located on expansive soil, as defined in Table	VII-1 Prior to issuance of any grading permits, all recommendations set forth in Sections 5.0, 6.0, and 7.0 of the Geotechnical Summary Report prepared for the proposed project shall be reflected on the project grading and foundation plans, subject to review and approval by the City Engineer. VII-2 Prior to issuance of any grading permits, the project applicant shall submit to the City of Antioch Engineering Department, for review and approval, a design-level geotechnical exploration study produced by a California Registered Civil Engineer or Geotechnical Engineer and identify grading and building practices necessary to achieve compliance with the latest adopted edition of the California Building Standards Code's geologic, soils, and seismic requirements. Consistent with Section 8.0 of the Geotechnical Summary Report prepared for the proposed project, the design-level geotechnical exploration study shall	City Engineer 		



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	18-1B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property.	<p>include supplemental borings, surface samples, Cone Penetration Tests (CPTs) and laboratory soil testing to address the following geotechnical concerns:</p> <ul style="list-style-type: none"> • Liquefaction-induced settlement risks, lateral spreading risks, and design considerations. • Detailed foundation design criteria based on building types and surficial soil material properties. • Identification of any undocumented fill located on the property. <p>The design-level geotechnical exploration study shall identify measures to address construction requirements to mitigate any potential geotechnical hazards.</p>		
VII-b.	Result in substantial erosion or the loss of topsoil.	<p>VII-3</p> <p>Prior to issuance of grading and building permits, the project applicant shall submit, for the review and approval by the City Engineer, an erosion control plan that utilizes standard construction practices to limit the erosion effects during construction of the proposed project. Measures shall include, but are not limited to, the following:</p> <ul style="list-style-type: none"> • Hydro-seeding; • Placement of erosion control measures within drainage ways and ahead of drop inlets; • The temporary lining (during construction activities) of drop inlets 	City Engineer	Prior to issuance of grading and building permits



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Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		<p>with "filter fabric" (a specific type of geotextile fabric);</p> <ul style="list-style-type: none"> The placement of straw wattles along slope contours; Directing subcontractors to a single designation "wash-out" location (as opposed to allowing them to wash-out in any location they desire); The use of siltation fences; and The use of sediment basins and dust palliatives. 		
VII-f.	Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<p>VII-4 Prior to initiation of ground-disturbing activities, the applicant shall retain the services of a professional paleontologist to conduct a Worker's Environmental Awareness Training for the construction crew that will be conducting earthmoving activities (i.e., grading and excavation) at the project site and off-site improvement areas. The Environmental Awareness Training may be conducted concurrently with the tribal cultural resources training program required per Mitigation Measure V-1 of this Initial Study. Consistent with the recommendations of the 2020 Cultural Resources Assessment prepared for the proposed project by Natural Investigations, training shall include information on the types of fossils that may be encountered during project work, relevant compliance requirements, and the course to action to be taken in the event of an inadvertent fossil discovery.</p>	City of Antioch Community Development Department	Prior to initiation of and during ground-disturbing activities



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
		Should any vertebrate fossils (e.g., teeth, bones), an unusually large or dense accumulation of intact invertebrates, or well-preserved plant material (e.g., leaves) be unearthed by the construction crew, ground-disturbing activity shall be diverted to another part of the project site and the City and paleontologist shall be called on-site to assess the find and, if significant, recover the find in a timely manner. Finds determined significant by a paleontologist shall then be conserved and deposited with a recognized repository, such as the University of California Museum of Paleontology. The alternative mitigation would be to leave the significant finds in place, determine the extent of significant deposit, and avoid further disturbance of the significant deposit. Within two weeks of training completion, proof of the construction crew awareness training shall be submitted to the City's Community Development Department in the form of a copy of training materials and the completed training attendance roster.		
IX-b.	Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the likely release of hazardous materials into the environment.	IX-1 Prior to final map approval, the project applicant shall submit to the City of Antioch Engineering Department, for review and approval, plans which show that future inhabited structures will not be located over the four on-site abandoned oil/gas wells. The plans shall be completed in compliance with the Geologic Energy Management Division (CalGEM) Construction Site Review Program, which includes guidelines and	City of Antioch Engineering Department CalGEM	Prior to final map approval



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project					
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule	Sign-off
		<p>recommendations for setbacks and mitigation measures for venting systems. If grading is proposed proximate to the four abandoned well locations, CalGEM shall be consulted to determine if the wells will require modification in casing height. In addition, CalGEM shall be consulted to determine if the well abandonment procedures are consistent with current requirements.</p>			
	IX-2	<p>If remnant oil/gas pipelines are encountered during site development work, the pipelines shall be abandoned and/or removed in accordance with applicable federal, State, and/or local standards to the satisfaction of the Contra Costa Environmental Health Department and the City Engineer. If any indicators of apparent soil contamination (soil staining, odors, debris fill material, etc.) are found at the project site associated with the petroleum pipelines, the impacted area shall be isolated from surrounding, non-impacted areas. The project environmental professional shall obtain samples of the potentially impacted soil for analysis of the contaminants of concern and comparison with applicable regulatory residential screening levels (i.e., Environmental Screening Levels, California Human Health Screening Levels, Regional Screening Levels, etc.). Where the soil contaminant concentrations exceed the applicable regulatory residential screening levels, the impacted soil shall be excavated</p>	<p>City Engineer</p> <p>Contra Costa Environmental Health Department</p>	<p>If remnant oil/gas pipelines are encountered during site development work</p>	



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project					
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule	Sign-off
		and disposed of offsite at a licensed landfill facility to the satisfaction of the Contra Costa Environmental Health Department. If soil contaminants do not exceed the applicable regulatory residential screening levels, further action is not required.			
X-a.	Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality .	X-1 Prior to issuance of grading permits, the contractor shall prepare a Storm Water Pollution Prevention Plan (SWPPP). The developer shall file the Notice of Intent (NOI) and associated fee to the SWRCB. The SWPPP shall serve as the framework for identification, assignment, and implementation of BMPs. The contractor shall implement BMPs to reduce pollutants in stormwater discharges to the maximum extent practicable. The SWPPP shall be submitted to the Director of Public Works/City Engineer for review and approval and shall remain on the project site during all phases of construction. Following implementation of the SWPPP, the contractor shall subsequently demonstrate the SWPPP's effectiveness and provide for necessary and appropriate revisions, modifications, and improvements to reduce pollutants in stormwater discharges to the maximum extent practicable.	Director of Public Works/City Engineer	Prior to issuance of grading permits	
XIII-a.	Result in generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards	XIII-1 During construction activities, the use of heavy construction equipment shall adhere to Sections 5-17.04 and 5-17.05 of the City's Municipal Code with regard to hours of operation, which state that it is unlawful for any person to operate heavy construction	City Engineer	During construction activities	



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project				
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule
	established in the local general plan or noise ordinance, or applicable standards of other agencies.	<p>equipment or otherwise be involved in construction activities during the hours specified below:</p> <ol style="list-style-type: none"> 1. On weekdays prior to 7:00 AM and after 6:00 PM. 2. On weekdays within 300 feet of occupied dwelling space, prior to 8:00 AM and after 5:00 PM. 3. On weekends and holidays, prior to 9:00 AM and after 5:00 PM, irrespective of the distance from the occupied dwelling. <p>Such standards shall be included, via written notation, on final improvement plans, to the satisfaction of the City Engineer.</p>		
		<p>XIII-2 The project applicant shall ensure that all on-site construction activities occur pursuant to the criteria identified in Policy 11.6.2, Temporary Construction, of the City of Antioch General Plan. Such criteria include, but are not limited to, preparation of a construction-related noise mitigation plan. The construction-related noise mitigation plan shall be submitted to the Community Development Department for review and approval prior to issuance of grading permits for the project. Items included in the plan could contain, but would not be limited to, the following:</p> <ul style="list-style-type: none"> • All equipment driven by internal 	City of Antioch Community Development Department	Prior to issuance of grading permits



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MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project					
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule	Sign-off
		<p>disturbance coordinator shall be conspicuously posted at the construction site.</p>			
		<p>XIII-3 A solid noise barrier measuring a minimum of six feet in height shall be constructed along Hillcrest Avenue where residences are located within 157 feet of the roadway. Suitable materials for the noise barrier include concrete panels, concrete masonry units, earthen berms, or any combination thereof. If roadway elevations and building pad elevations are not equal, the barrier heights and locations shall be reviewed once final grading plans are available. The final design of the noise barrier shall be approved by the Community Development Department prior to building permit issuance.</p>	City of Antioch Community Development Department	Prior to issuance of building permits	
		<p>XIII-4 Prior to building permit issuance, the construction drawings for the project shall include a suitable form of forced-air mechanical ventilation for all proposed residential units, subject to approval by the Community Development Department, such that doors and windows may be kept closed at the occupant's discretion to control interior noise and achieve the City's 45 dB L_{dn} interior noise level threshold.</p>	City of Antioch Community Development Department	Prior to issuance of building permits	
XVIII-a., XVIII-b.	Cause a substantial adverse change in the significance of a tribal cultural resource. defined	<p>XVIII-1 Implement Mitigation Measures V-1, V-2, and V-3.</p>	See Mitigation Measures V-1, V-2, and V-3	See Mitigation Measures V-1, V-2, and V-3	



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project					
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule	Sign-off
	<p>in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American Tribe, and that is listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k).</p> <p>Cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place,</p>				



MITIGATION MONITORING AND REPORTING PROGRAM Creekside/Vineyards at Sand Creek Project					
Impact Number	Impact	Mitigation Measure	Monitoring Agency	Implementation Schedule	Sign-off
	or object with cultural value to a California Native American Tribe, and that is a resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resources Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe?				



ATTACHMENT B
GENERAL PLAN AMENDMENT RESOLUTION

**PLANNING COMMISSION
RESOLUTION NO. 2021-****

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ANTIOCH
RECOMMENDING TO THE CITY COUNCIL APPROVAL OF GENERAL PLAN
AMENDMENTS FOR THE CREEKSIDE/VINEYARDS AT SAND CREEK PROJECT**

WHEREAS, the City of Antioch (“City”) received an application from GBN Partners, LLC (“Applicant”) seeking City approval of the following: a General Plan Amendment; Master Development Plan/Rezone; Vesting Tentative Subdivision Map; Design Review; and Resource Management Plan for the development of a 220-unit residential community and associated improvements on approximately 58.9 acres of the 158.2-acre project site, as well as 1.8-acres of off-site improvements, which is known as the Creekside/Vineyards at Sand Creek Project (“Project”) (GP-19-06, PD-19-02);

WHEREAS, the project site consists of a 158.2-acre parcel located south of the future extension of Sand Creek Road in the southeastern portion of the City of Antioch, California;

WHEREAS, the project site is bordered by the City of Antioch/Contra Costa County line to the south and the City of Antioch/City of Brentwood limit to the east, and is identified by Assessor’s Parcel Number (APN) 057-050-024. Sand Creek is located to the north of the site, and State Route (SR) 4 is located approximately 0.38-mile east of the site. The project site is situated within the Sand Creek Focus Area of the General Plan;

WHEREAS, a Final Environmental Impact Report and Mitigation Monitoring and Reporting Program was prepared in accordance with the California Environmental Quality Act (“CEQA”) Guidelines Section 15162, and considered by the Planning Commission on February 17, 2021;

WHEREAS, on February 17, 2021, the Planning Commission recommended to the City Council certification of the Final Environmental Impact Report, based on findings of fact and adopting a Statement of Overriding Considerations and Mitigation Monitoring and Reporting Program;

WHEREAS, Section 65358 of the California Government Code provides for the amendment of all or part of an adopted General Plan;

WHEREAS, the primary purpose of the General Plan Amendment is to ensure consistency between the City of Antioch General Plan and the Project;

WHEREAS, the Project requires amendments to the General Plan Text to allow non-senior housing on small lots and to allow units for applications deemed complete prior to the Measure T election to be exempt for the unit cap, as well as an amendment to the General Plan Land Use Map to redesignate the site from Open Space/Senior Housing and Hillside, Estate and Executive Residential/Open Space to Medium Low Density Residential/Open Space;

WHEREAS, the proposed project site is of adequate size to accommodate the proposed development;

WHEREAS, the proposed project will provide adequate infrastructure to accommodate the proposed development;

WHEREAS, the Planning Commission duly gave notice of public hearing as required by law and on February 17, 2021 held a public hearing on the matter, and received and considered evidence, both oral and documentary.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby make the following findings for recommendation to the City Council of approval of the General Plan Amendment:

1. The proposed project conforms to the provisions and standards of the General Plan in that the proposed amendment is internally consistent with all other provisions of the General Plan and does not conflict with any of the previously adopted Goals, Policies and Programs of the General Plan;
2. The proposed Amendment is necessary to implement the goals and objectives of the General Plan in that it will further implement the City of Antioch Housing Element;
3. The proposed Amendment will not be detrimental to the public interest, convenience, and general welfare of the City in that the Amendment will result in a logical placement of land uses consistent with the overall intent of the General Plan;
4. The proposed project will not cause environmental damage in that the project prepared the Creekside/Vineyards at Sand Creek Project Final Environmental Impact Report and Mitigation Monitoring and Reporting Program which mitigated environmental impacts to the extent feasible. For significant and unavoidable impacts, the Planning Commission recommended the City Council adopt a Statement of Overriding Considerations; and
5. The proposed General Plan Amendment will not require changes to or modifications of any other plans that the City Council adopted before the date of this resolution.

NOW, THEREFORE, BE IT FURTHER RESOLVED that the Planning Commission hereby recommends the City Council adopt the Amendments to the General Plan Text and Land Use Map (GPA-19-06) as shown in Exhibit A and Exhibit B respectively.

* * * * *

I HEREBY CERTIFY that the foregoing resolution was adopted by the Planning Commission of the City of Antioch at a regular meeting thereof held on the 17th day of February, 2021, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

FORREST EBBS
Secretary to the Planning Commission

**EXHIBIT A
GENERAL PLAN TEXT AMENDMENT**

I. Table 4.B – Anticipated Maximum General Plan Build Out in the City of Antioch is hereby amended as follows:

- a. Place a footnote “2” on the Sand Creek Focus Area line item under Land Uses, and
- b. Insert footnote at bottom of Table 4.B that reads: “2. The stated maximum amended by Measure T for the Sand Creek Focus Area is exclusive of units for which development applications were determined by the City to be complete prior to November 4, 2020.”

II. Table 4.D – Anticipated Maximum General Plan Build Out in the General Plan Study Area is hereby amended as follows:

- a. Place a footnote “2” on the Sand Creek Focus Area line item under Land Uses, and
- b. Insert footnote at bottom of Table 4.D that reads: “2. The stated maximum amended by Measure T for the Sand Creek Focus Area is exclusive of units for which development applications were determined by the City to be complete prior to November 4, 2020.”

III. Antioch General Plan Section 4.4.6.7.k is hereby amended as follows:

A maximum of 2,100 dwelling units may be constructed within the Sand Creek Focus Area (exclusive of units for which development applications were determined by the City to be complete prior to November 4, 2020). Appropriate density bonuses may be granted for development of age-restricted housing for seniors; however, such density bonuses may not exceed the total maximum of 2,100 dwelling units for the Sand Creek Focus Area to the extent applicable.

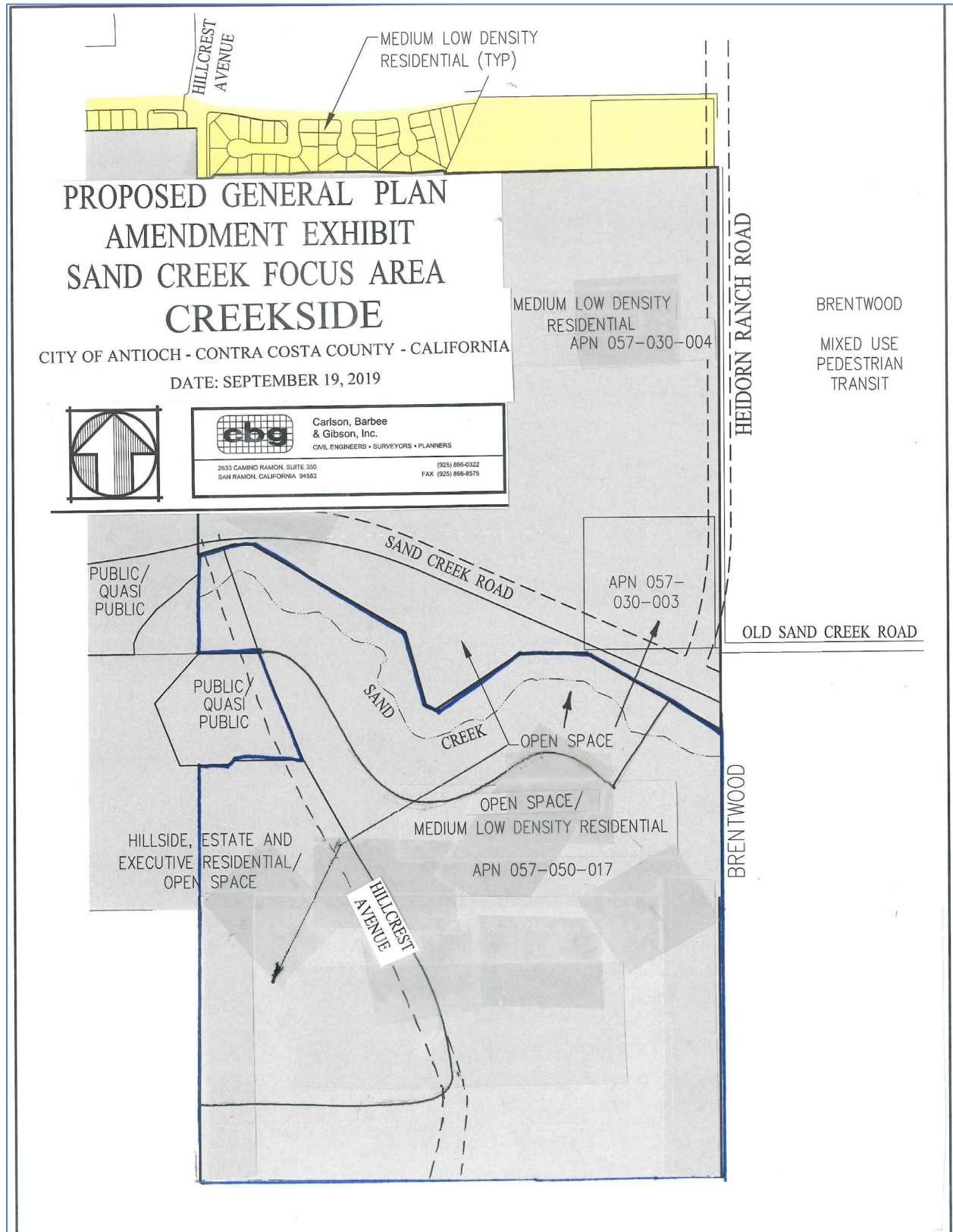
IV. Antioch General Plan Section 4.4.6.7.l is hereby amended as follows:

It is recognized that although the ultimate development yield for the Focus Area may be no higher than the 2,100 unit maximum described in subsection (k), the actual development yield is not guaranteed by the General Plan, and could be substantially lower.

V. Antioch General Plan Section 4.4.6.7.o is hereby amended as follows:

Small Lot Single Family Detached housing within the Aviano planned development, ~~and at the Promenade/Vineyards at Sand Creek, and Creekside/Vineyards at Sand Creek~~ planned developments with lots smaller than 7,000 square feet may be developed in the Sand Creek Focus Area east of Deer Valley Road within areas shown as Medium Low Density Residential and Low Density Residential in Figure 4.8. Small Lot Single Family Detached housing within the Limited Development Area with minimum lot sizes from approximately 4,000 square feet may be developed within the Limited Development Area. The anticipated population density for this land use type is fourteen to eighteen persons per acre developed with residential uses.

EXHIBIT B
PROPOSED GENERAL PLAN LAND USE MAP



ATTACHMENT C
PLANNED DEVELOPMENT RESOLUTION

**PLANNING COMMISSION
RESOLUTION NO. 2021-****

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ANTIOCH
RECOMMENDING TO THE CITY COUNCIL APPROVAL OF AN ORDINANCE TO
REZONE TO PLANNED DEVELOPMENT DISTRICT FOR THE
CREEKSIDE/VINEYARDS AT SAND CREEK PROJECT**

WHEREAS, the City of Antioch (“City”) received an application from GBN Partners, LLC (“Applicant”) seeking City approval of the following: a General Plan Amendment; Master Development Plan/Rezone; Vesting Tentative Subdivision Map; Design Review; and Resource Management Plan for the development of a 220-unit residential community and associated improvements on approximately 58.9 acres of the 158.2-acre project site, as well as 1.8-acres of off-site improvements, which is known as the Creekside/Vineyards at Sand Creek Project (“Project”) (GP-19-06, PD-19-02);

WHEREAS, the project site consists of a 158.2-acre parcel located south of the future extension of Sand Creek Road in the southeastern portion of the City of Antioch, California;

WHEREAS, the project site is bordered by the City of Antioch/Contra Costa County line to the south and the City of Antioch/City of Brentwood limit to the east, and is identified by Assessor’s Parcel Number (APN) 057-050-024. Sand Creek is located to the north of the site, and State Route (SR) 4 is located approximately 0.38-mile east of the site. The project site is situated within the Sand Creek Focus Area of the General Plan;

WHEREAS, a Final Environmental Impact Report and Mitigation Monitoring and Reporting Program was prepared in accordance with the California Environmental Quality Act (“CEQA”) Guidelines Section 15162, and considered by the Planning Commission on February 17, 2021;

WHEREAS, on February 17, 2021, the Planning Commission recommended to the City Council certification of the Final Environmental Impact Report, based on findings of fact and adopting a Statement of Overriding Considerations and Mitigation Monitoring and Reporting Program;

WHEREAS, the Planning Commission duly gave notice of public hearing as required by law and on February 17, 2021 held a public hearing on the matter, and received and considered evidence, both oral and documentary; and

WHEREAS, in consideration of the rezone, the granting of such rezone will not adversely affect the comprehensive General Plan.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby make the following findings for recommendation to the City Council for approval of the proposed zone change:

1. Each individual unit of the development can exist as an independent unit capable of creating an environment of sustained desirability and stability, and the uses proposed will not be detrimental to present and potential surrounding uses but instead will have a beneficial effect which could not be achieved under another zoning district. The Creekside/Vineyards at Sand Creek Project has been proposed as a master-planned community of different neighborhoods. The PD and Master Development Plan have been established for the purpose of creating a sustainable community compatible with existing and proposed surrounding development.
2. The streets and thoroughfares proposed meet the standards of the City’s Growth Management Program and adequate utility service can be supplied to all phases of the development. Arterial and collector streets through the project are designed to be consistent with the City’s Growth Management Program as well as the General Plan Circulation Element. As shown in the project’s Final EIR, adequate utility service can be supplied for all phases of the development.

3. Any residential component will be in harmony with the character of the surrounding neighborhood and community and will result in densities no higher than that permitted by the General Plan. The project includes a variety of lot sizes and housing types that are consistent with the overall intent of the Sand Creek Focus Area of the General Plan.
4. Any deviation from the standard zoning requirements is warranted by the design and additional amenities incorporated in the final development plan which offer certain usual redeeming features to compensate for any deviations that may be permitted. The proposed standards allow flexibility in development standards in order to accommodate the variety of lot types and to protect the on-site natural resources.
5. The area surrounding the PD District can be planned and zoned in coordination and substantial compatibility with the proposed development. The proposed project future street access and trail access to surrounding areas in order to ensure future development are consistent with the Sand Creek Focus Area.
6. The PD District conforms with the General Plan of the City. The amendments to the General Plan for the proposed project change the land use designations of the site from Open Space/Senior Housing and Hillside, Estate and Executive Residential/Open Space to Medium Low Density Residential/Open Space, as well as an amendment to the text of the Sand Creek Focus Area of the General Plan in order to add the option of non-age-restricted or senior residential on small lots. However, the overall intent of the Sand Creek Focus Area and the maximum number of units allowed, is being maintained.

BE IT FURTHER RESOLVED that the Planning Commission does hereby recommend to the City Council APPROVAL of the draft Ordinance (Exhibit A) to rezone the 58.9-acre project site located in the Sand Creek Focus Area of the General Plan (APN 057-050-024).

* * * * *

I HEREBY CERTIFY that the foregoing resolution was adopted by the Planning Commission of the City of Antioch at a regular meeting thereof held on the 17th day of February, 2021 by the following vote:

- AYES:**
- NOES:**
- ABSENT:**
- ABSTAIN:**

FORREST EBBS
Secretary to the Planning Commission

EXHIBIT A

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ANTIOCH TO REZONE THE 58.9-ACRE CREEKSIDE/VINEYARDS AT SAND CREEK PROJECT SITE (APN 057-050-024), FROM STUDY ZONE (S) TO PLANNED DEVELOPMENT DISTRICT

The City Council of the City of Antioch does ordain as follows:

SECTION 1:

The City Council determined on _____, that, pursuant to Section 15074 of the Guidelines of the California Environmental Quality Act, and after full consideration of the Environmental Impact Report, Mitigation Monitoring and Reporting Program, AND Statement of Overriding Considerations prepared for project, and on the basis of the whole record before it, the Environmental Impact Report for the Creekside/Vineyards at Sand Creek Project should be certified.

SECTION 2:

At its regular meeting of February 17, 2021, Planning Commission recommended that the City Council adopt the Ordinance to rezone the subject property from Study Zone (S) to Planned Development (PD) District for the Creekside/Vineyards at Sand Creek Project.

SECTION 3:

The Master Development Plan, adopted by City Council Resolution #2021-** establishes the land plan to implement the proposed PD zoning. The real property described in Exhibit B, attached hereto, is hereby rezoned from Study Zone (S) to Planned Development (PD) District for the Creekside/Vineyards at Sand Creek Project, and the zoning map is hereby amended accordingly.

SECTION 4:

The development standards, as defined below, for the subject property (APN 057-050-024), known as the Creekside/Vineyards at Sand Creek Project, are herein incorporated into this ordinance, and are binding upon said property.

Proposed Planned Development District Standard	Standard R-6 Zoning	Proposed PD Zoning for Single-Family Residential (SF)	Proposed PD Zoning for Active Adult Residential (AA)
Maximum Density	6 dwelling units per gross developable acre	All Lot Types: 4.6 dwelling units per gross acre (3.7 dwelling units per net developable acre)	All Lot Types: 4.6 dwelling units per gross acre (3.7 dwelling units per net developable acre)
Maximum Number of Units		All Lot Types: 220 Single Family Residences	All Lot Types: 220 Active Adult Residences
Minimum Lot Size	6,000 sq. ft.	Lot Type A: 45'x80', average Lot Size 4,200 SF Lot Type B: 50'x80', average Lot Size 4,630 SF	Lot Type A: 45'x80', average Lot Size 4,200 SF Lot Type B: 50'x80', average Lot Size 4,630 SF

Proposed Planned Development District Standard	Standard R-6 Zoning	Proposed PD Zoning for Single-Family Residential (SF)	Proposed PD Zoning for Active Adult Residential (AA)
		<u>Lot Type C</u> : 50'x90', average Lot Size 5,160 SF	<u>Lot Type C</u> : 50'x90', average Lot Size 5,160 SF
Minimum Lot Width	<u>Interior lot</u> : 60 feet. <u>Corner lot</u> : 65 feet.	<u>Lot Type A</u> : All lots shall have a minimum width of 45 feet at a distance of 20 feet from the right-of-way. <u>Lot Type B and C</u> : All lots shall have a minimum width of 50 feet at a distance of 20-feet from the right of way.	<u>Lot Type A</u> : All lots shall have a minimum width of 45 feet at a distance of 20 feet from the right-of-way. <u>Lot Type B and C</u> : All lots shall have a minimum width of 50 feet at a distance of 20-feet from the right of way.
Minimum Front Yard Setbacks	20 feet (reserved for landscaping only, excluding driveways).	<u>All Lot Types</u> : 10 foot minimum to porch front, 12 foot minimum to living space, (reserved for landscaping only, excluding driveways).	<u>All Lot Types</u> : 10 foot minimum to porch front, 12 foot minimum to living space, (reserved for landscaping only, excluding driveways).
Minimum Side Yard Setbacks	<u>Interior lot</u> : 5 feet. <u>Corner lot</u> : 10 feet. For at least 25% of the lots in a given subdivision, one side yard of an interior lot shall be 10 feet in width and the other side yard can be five feet.	<u>Lot Type A Interior lot</u> : 4 foot minimum. <u>Lot Type A Corner lot</u> : 4-foot interior/9-foot street-side. <u>Lot Type B and C Interior lot</u> : 5 foot. <u>Lot Type B and C Corner lot</u> : 5-foot interior/10-foot street-side. Architectural pop-outs and encroachments to the front, side and rear shall be allowed pursuant to Municipal Code Section 9-5.801.	<u>Lot Type A Interior lot</u> : 4 foot minimum. <u>Lot Type A Interior 'Active Adult' Duet lot</u> : Zero (0) foot minimum (duet) one side and 4-foot minimum alternate side. <u>Lot Type A Corner lot</u> : 4-foot interior/9-foot street-side. <u>Lot Type A Corner 'Active Adult' Duet lot</u> : Zero (0) foot minimum interior/9-foot streetside. <u>Lot Type B and C Interior lot</u> : 5 foot. <u>Lot Type B and C Interior 'Active Adult' Duet lot</u> : Zero (0) foot minimum one side and 5-foot minimum alternate side. <u>Lot Type B and C Corner lot</u> : 5-foot interior/10-foot street-side. <u>Lot Type B and C Corner 'Active Adult' Duet lot</u> : Zero (0) foot minimum interior/10-foot streetside. Architectural pop-outs and encroachments to the front, side and rear shall be allowed pursuant

Proposed Planned Development District Standard	Standard R-6 Zoning	Proposed PD Zoning for Single-Family Residential (SF)	Proposed PD Zoning for Active Adult Residential (AA)
			to Municipal Code Section 9-5.801.
Minimum Rear Yard Setbacks	20 feet	<p><u>Lot Type A, B, and C:</u> 10 foot minimum/12-foot average.</p> <p><u>Additionally, Lot Type C</u> with lots deeper than 95 feet: 15 foot minimum/18-foot average.</p>	<p><u>All Lot Types:</u> 10 foot minimum/12-foot average.</p> <p><u>Lot Type C with lots deeper than 95 feet:</u> 15 foot minimum/18-foot average.</p>
Accessory Structure Setbacks	Detached accessory structures shall be located behind the required front yard setback and cover no more than 40% of the required rear yard area. Minimum side yard for is 20 feet on corner lots and zero feet on interior lots. No minimum rear yard setback is required. Attached accessory buildings shall comply with the requirements applicable to the main building. A detached accessory building shall be at least five feet from any building.	<p><u>All Lot Types:</u> Interior lot: side yard and rear yard setback is zero feet.</p> <p><u>All Lot Types:</u> Corner lot: street side yard is 10 feet and rear /interior side yard is zero feet.</p>	<p><u>All Lot Types:</u> Interior lot: side yard and rear yard setback is zero feet.</p> <p><u>All Lot Types:</u> Corner lot: street side yard is 10 feet and rear /interior side yard is zero feet.</p>
Covered Patio	May encroach to within 10 feet of rear property line and to within three feet of a side property line.	<p><u>All Lot Types:</u> Covered Patio/"California Room": A covered area, attached or detached to the main structure, without walls on two or more sides.</p> <p><u>Covered Patio setbacks:</u> 3' minimum to rear and side yard. The wall-less sides of Covered Patios at the rear elevation can encroach further than architectural popouts. A California Room with a solid covered roof (not trellis) is limited to cover no more than 33% of the required rear yard.</p>	<p><u>All Lot Types:</u> Covered Patio/"California Room": A covered area, attached or detached to the main structure, without walls on two or more sides.</p> <p><u>Covered Patio setbacks:</u> 3' minimum to rear and side yard. The wall-less side of Covered Patios at the rear elevation can encroach further than architectural popouts. A California Room with a solid covered roof (not trellis) is limited to no more than 33% of the required rear yard.</p>
Maximum Building Height	35 feet	<p><u>All Lot Types:</u> 35 feet for single-story profile and two-story structures.</p> <p><u>All Lot Types:</u> 25 feet for one-story structures.</p>	<p><u>All Lot Types:</u> 35 feet for single-story profile and two-story structures.</p> <p><u>All Lot Types:</u> 25 feet for one-story structures.</p>
Maximum Lot Coverage (gross first floor living	40%	<u>Lot Type A and B:</u> 60% for single-story homes	<u>Lot Type A and B:</u> 60% for single-story; 54% for

Proposed Planned Development District Standard	Standard R-6 Zoning	Proposed PD Zoning for Single-Family Residential (SF)	Proposed PD Zoning for Active Adult Residential (AA)
plus garage area divided by the lot area and does not include Covered Patios/porches)		and 54% for two-story homes. <u>Lot Type C:</u> 60% for single-story or single-story profile homes and 54% for two-story homes.	two-story and single-story profile homes. <u>Lot Type C:</u> 63% for single story homes. 54% for two-story and single-story profile homes. If developed as an Active Adult community, all homes may be single-story – either detached or as duets, based upon market preferences. No two-story homes shall be required in an Active Adult community.
Parking and Driveways	20 feet from property line to front of garage. 2 spaces per unit in a garage, plus one guest parking space on the street within close proximity to the unit served.	<u>All Lot Types:</u> 20-foot minimum setback to garage door for lots with sidewalk along frontage. 18-foot minimum setback to garage door for lots without sidewalk along frontage Garage provides at least two off-street parking spaces. One on-street parking space must be provided in front of, or for corner lots the parking space may be on the street side yard of - each house (at least 20 feet of curb with exceptions for cul-de-sacs).	<u>All Lot Types:</u> 20-foot minimum setback to garage door for lots with sidewalk along frontage. 18-foot minimum setback to garage door for lots without sidewalk along frontage Garage provides at least two off-street parking spaces. One on-street parking space must be provided in front of, or for corner lots the parking space may be on the street side yard of - each house (at least 20 feet of curb with exceptions for cul-de-sacs).
Driveway Width	Minimum 10 feet	<u>Lot Type A:</u> Driveway width not to exceed 45% of lot frontage. <u>Lot Type B and C:</u> Driveway width not to exceed 40% of lot frontage.	<u>Lot Type A:</u> Driveway width not to exceed 45% of lot frontage. <u>Lot Type B and C:</u> Driveway width not to exceed 40% of lot frontage.
Landscape Requirements		The landscaped setbacks from arterial streets (Hillcrest Avenue) shall be as shown on the project's Vesting Tentative Map 9501 dated December 13, 2019.	The landscaped setbacks from arterial streets (Hillcrest Avenue) shall be as shown on the project's Vesting Tentative Map 9501 dated December 13, 2019.
Private Pool Club and Park		A private Pool Club and Parks shall be allowed within in the Vineyards at Sand Creek project.	A private Pool Club and Parks shall be allowed within in the Vineyards at Sand Creek project. If developed as an Active Adult Community, park spaces and programming may be adjusted to reflect the Active Adult programming. In no case shall this adjustment result in less

Proposed Planned Development District Standard	Standard R-6 Zoning	Proposed PD Zoning for Single-Family Residential (SF)	Proposed PD Zoning for Active Adult Residential (AA)
			park acreage in the gated community.
Model Home Complexes		One or more model home complexes that showcase the different lot sizes and products shall be allowed within the Vineyards at Sand Creek project.	One or more model home complexes that showcase the different lot sizes and products shall be allowed within the Vineyards at Sand Creek project.
RV Parking	For at least 25% of the lots in a given subdivision, one side yard of an interior lot shall be 10 feet in width and the other side yard can be five feet.	RV Parking and storage shall be prohibited onsite. This exclusion shall be included in the community's CC&R's.	RV Parking and storage shall be prohibited onsite. This exclusion shall be included in the community's CC&R's.
Private Curbs		Creekside/VSC Private Streets shall have the option of providing a beveled-curb as provided for in the City of Antioch Code.	Creekside/VSC Private Streets shall have the option of providing a beveled-curb as provided for in the City of Antioch Code.

SECTION 5:

The City Council finds that the public necessity requires the proposed zone change; that the subject property is suitable to the uses permitted in the proposed zone change; that said permitted uses are not detrimental to the surrounding property; and that the proposed zone change is in conformance with the Antioch General Plan, as amended.

SECTION 6:

This ordinance shall take effect and be enforced thirty (30) days from and after the date of its adoption and shall be published once within fifteen (15) days upon passage and adoption in a newspaper of general circulation printed and published in the City of Antioch.

* * * * *

I HEREBY CERTIFY that the forgoing ordinance was introduced and adopted at a regular meeting of the City Council of the City of Antioch, held on the ____ of _____, 2021, and passed and adopted at a regular meeting thereof, held on the ____ of _____, 2021, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Mayor of the City of Antioch

ATTEST:

City Clerk of the City of Antioch

EXHIBIT B

REZONE LEGAL DESCRIPTION

LEGAL DESCRIPTION

Real property in the City of Antioch , County of Contra Costa, State of California, described as follows:

BEING ALL OF PARCEL (B) OF THAT CERTAIN TRUST TRANSFER DEED RECORDED MAY 26, 2004, IN DOCUMENT NO. 2004-0199652 OF OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF CONTRA COSTA COUNTY, ALSO BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 1 NORTH, RANGE 2 EAST, MOUNT DIABLO BASE AND MERIDIAN.

EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCELS OF LAND:

(A) THAT PARCEL OF LAND DESCRIBED IN THE DEED TO PACIFIC GAS AND ELECTRIC COMPANY, RECORDED DECEMBER 12, 1991 IN BOOK 17077 OR 436.

(B) THAT PARCEL OF LAND DESCRIBED IN THE DEED TO PACIFIC GAS AND ELECTRIC COMPANY, RECORDED JANUARY 9, 2009 IN INSTRUMENT NO. 2009-3639, OFFICIAL RECORDS.

(C) BEGINNING AT THE NORTHEASTERN CORNER OF SAID SOUTHEAST QUARTER;

THENCE, FROM SAID POINT OF BEGINNING, ALONG THE NORTHERN LINE OF SAID SOUTHEAST QUARTER, NORTH 89°22'08" WEST (THE BEARING OF SAID NORTHERN LINE BEING TAKEN AS NORTH 89°22'08" WEST FOR THE PURPOSE OF MAKING THIS DESCRIPTION) 1,562.40 FEET;

THENCE, LEAVING SAID NORTHERN LINE, SOUTH 14°36'23" EAST 281.45 FEET;

THENCE, SOUTH 61°13'41" EAST 51.04 FEET;

THENCE, NORTH 57°49'21" EAST 516.24 FEET;

THENCE, SOUTH 89°22'08" EAST 324.45 FEET;

THENCE, SOUTH 59°24'33" EAST 788.29 FEET TO A POINT ON THE EASTERN LINE OF SAID SOUTHEAST QUARTER;

THENCE, ALONG SAID EASTERN LINE, NORTH 00°55'42" EAST 409.59 FEET TO SAID POINT OF BEGINNING.

TOGETHER THEREWITH, THE FOLLOWING DESCRIBED PARCEL OF LAND:

BEING A PORTION OF PARCEL C, AS SAID PARCEL C IS DESCRIBED IN THAT CERTAIN GRANT DEED RECORDED SEPTEMBER 5, 2002, IN INSTRUMENT NO. 2002-0312734 OF OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF CONTRA COSTA COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEASTERN CORNER OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 1 NORTH, RANGE 2 EAST, MOUNT DIABLO BASE AND MERIDIAN;

THENCE, FROM SAID POINT OF COMMENCEMENT, ALONG THE NORTHERN LINE OF SAID SOUTHEAST QUARTER, NORTH 89°22'08" WEST (THE BEARING OF SAID NORTHERN LINE BEING TAKEN AS NORTH 89°22'08" WEST FOR THE PURPOSE OF MAKING THIS DESCRIPTION) 1,562.40 FEET TO A POINT ON THE SOUTHERN LINE OF SAID PARCEL C, SAID POINT BEING THE POINT OF BEGINNING FOR THIS DESCRIPTION;

THENCE, FROM SAID POINT OF BEGINNING, LEAVING SAID SOUTHERN LINE OF PARCEL C, NORTH 14°36'23" WEST 100.92 FEET;

THENCE, NORTH 58°51'12" WEST 887.40 FEET;

THENCE, NORTH 89°23'27" WEST 91.74 FEET;

THENCE, SOUTH 75°29'23" WEST 158.77 FEET TO A POINT ON THE WESTERN LINE OF SAID PARCEL C;

THENCE, ALONG SAID WESTERN LINE, SOUTH 00°58'52" WEST 506.47 FEET TO THE SOUTHWESTERN CORNER OF SAID PARCEL C;

THENCE, FROM SAID SOUTHWESTERN CORNER, ALONG SAID SOUTHERN LINE OF PARCEL C, SOUTH 89°22'08" EAST 1,039.10 FEET TO SAID POINT OF BEGINNING.

EXCEPTING FROM A PORTION OF THE LAND:

AN UNDIVIDED ONE-HALF (1/2) RIGHT, TITLE AND INTEREST AND ESTATE IN AND TO ALL OIL, GAS AND OTHER HYDROCARBONS AND MINERALS, AS RESERVED IN THE DEED FROM LOUIS D. HEIDORN, ET AL, RECORDED MARCH 12, 1946, BOOK 889, PAGE 43, OFFICIAL RECORDS.

ALSO EXCEPTING FROM A PORTION OF THE LAND:

ALL OIL, GAS, CASINGHEAD GAS AND OTHER HYDROCARBONS AND MINERALS, AS GRANTED IN THE DEEDS TO LOUIS E. GINUCHIO, ET AL, IN THE DEEDS RECORDED DECEMBER 24, 1964, BOOK 4770, PAGES 815, 818, 821, 824, 836, 839 AND 842, OFFICIAL RECORDS.

EXCEPTING FROM THE REMAINING PORTION OF THE LAND:

ALL OIL, GAS, CASINGHEAD GAS AND OTHER HYDROCARBONS AND MINERALS, AS GRANTED IN THE DEEDS TO LOUIS E. GINUCHIO, ET AL, IN THE DEEDS RECORDED DECEMBER 24, 1964, BOOK 4770, PAGES 803, 806, 809, 812, 827, 830 AND 833, OFFICIAL RECORDS.

ALSO EXCEPTING FROM THE REMAINING PORTION OF THE LAND:

ALL RIGHTS RESERVED IN THE DEED FROM LOUIS E. GINUCHIO AND MARY BARTOLOMEI, AS THE DULY APPOINTED AND ACTING EXECUTORS UNDER WILL OF JOHN R. GINUCHIO JR., ALSO KNOWN AS JOHN GINUCHIO, JR., ALSO KNOWN AS JOHN GINUCHIO, JR., ALSO KNOWN AS JOHN R. GINUCHIO, DECEASED, RECORDED SEPTEMBER 15, 1989, BOOK 15347, PAGE 727, OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

ITS UNDIVIDED INTEREST IN ANY AND ALL OIL, GAS ANDS MINERALS OF WHATSOEVER KIND OR NATURE SITUATE THEREIN, NOW OR HEREAFTER DISCOVERED, AND THE RIGHTS TO EXPLORE FOR, DRILL AND PRODUCE ALL OR ANY THEREOF, AND THE RIGHT TO GRANT LEASES FOR THE EXPLORATION AND PRODUCTION THEREOF.

THIS LEGAL DESCRIPTION IS MADE PURSUANT TO THAT CERTAIN CERTIFICATE APPROVING A PW 443-03-14 LOT LINE ADJUSTMENT RECORDED SEPTEMBER 5, 2014 AS INSTRUMENT NO. 2014-0150641 OF OFFICIAL RECORDS.

APN: 057-050-024-9

ATTACHMENT D

VESTING TENTATIVE SUBDIVISION MAP, DESIGN REVIEW, AND RESOURCE MANAGEMENT PLAN RESOLUTION

**PLANNING COMMISSION
RESOLUTION NO. 2021-****

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ANTIOCH
RECOMMENDING APPROVAL OF A VESTING TENTATIVE SUBDIVISION MAP,
DESIGN REVIEW, AND RESOURCE MANAGEMENT PLAN FOR THE
CREEKSIDE/VINEYARDS AT SAND CREEK PROJECT**

WHEREAS, the City of Antioch (“City”) received an application from GBN Partners, LLC (“Applicant”) seeking City approval of the following: a General Plan Amendment; Master Development Plan/Rezone; Vesting Tentative Subdivision Map; Design Review; and Resource Management Plan for the development of a 220-unit residential community and associated improvements on approximately 58.9 acres of the 158.2-acre project site, as well as 1.8-acres of off-site improvements, which is known as the Creekside/Vineyards at Sand Creek Project (“Project”) (GP-19-06, PD-19-02);

WHEREAS, the project site consists of a 158.2-acre parcel located south of the future extension of Sand Creek Road in the southeastern portion of the City of Antioch, California. The project site is bordered by the City of Antioch/Contra Costa County line to the south and the City of Antioch/City of Brentwood limit to the east, and is identified by Assessor’s Parcel Number (APN) 057-050-024. Sand Creek is located to the north of the site, and State Route (SR) 4 is located approximately 0.38-mile east of the site. The project site is situated within the Sand Creek Focus Area of the General Plan;

WHEREAS, a Final Environmental Impact Report and Mitigation Monitoring and Reporting Program was prepared in accordance with the California Environmental Quality Act (CEQA) Guidelines Section 15162, and considered by the Planning Commission on February 17, 2021;

WHEREAS, on February 17, 2021, the Planning Commission recommended to the City Council certification of the Final Environmental Impact Report, based on findings of fact and adopting a Statement of Overriding Considerations and Mitigation Monitoring and Reporting Program;

WHEREAS, the applicant has prepared Design Guidelines for the Project in order to customize the City of Antioch’s Residential Design Guidelines specifically for the Project and to establish guidelines for future development within the Creekside/Vineyards at Sand Creek Project;

WHEREAS, the applicant has prepared a Resource Management Plan for the Project as called for in Section 10.3.2.(e) of the Antioch General Plan and consistent with the “Framework for a Resource Management Plan for the Sand Creek Focus Area” contained in General Plan Appendix A. The Resource Management Plan incorporates the biological resources mitigation measures identified in the Final Environmental Impact Report; and

WHEREAS, the Planning Commission duly gave notice of public hearing as required by law and on February 17, 2021, held a public hearing on the matter, and received and considered evidence, both oral and documentary.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby make the following findings for approval of a Vesting Tentative Subdivision Map:

1. The subdivision, design and improvements are consistent with the General Plan, as required by Section 66473.5 of the Subdivision Map Act and the City's Subdivision Regulations. The site has a General Plan Designation of Medium Low Density Residential and is zoned Planned Development and the subdivision will accommodate uses that are consistent with the General Plan on each of the lots created by the subdivision;
2. The subdivision proposed by the Vesting Tentative Map complies with the rules, regulations, standards and criteria of the City's Subdivision Regulations. The proposed subdivision meets the City's criteria for the map. The City's Planning and Engineering staff have reviewed the Vesting Tentative Map and evaluated the effects of the subdivision proposed and have determined that the Vesting Tentative Map as conditioned complies with and conforms to all the applicable rules, regulations, standards, and criteria of the City's Subdivision Regulations; and
3. The Conditions of approval protect the public safety, health and general welfare of the users of the project and surrounding area. In addition, the conditions ensure the project is consistent with City standards.

BE IT FURTHER RESOLVED that the Planning Commission hereby recommends City Council approval of the Vesting Tentative Subdivision Map (Exhibit A), Phasing Map (Exhibit B) Design Guidelines (Exhibit C), and Resource Management Plan (Exhibit D), subject to the following conditions of approval:

A. GENERAL CONDITIONS

1. The development shall comply with the City of Antioch Municipal Code, unless a specific exception is granted thereto, or is otherwise modified in these conditions.
2. Concurrent with the first submittal of grading or improvement plans, the applicant shall submit a site plan exhibit showing the site plan as modified by conditions and approvals.
3. This approval expires two years from the date of approval (expires February 17, 2023).

4. The applicant shall defend, indemnify, and hold harmless the City in any action brought challenging any land use approval or environmental review for the Project. In addition, applicant shall pay any and all costs associated with any challenge to the land use approval or environmental review for the Project, including, without limitation, the costs associated with any election challenging the Project.
5. A final and unchallenged approval of this project supersedes previous approvals that have been granted for this site.
6. Permits or approvals, whether discretionary or ministerial, will not be considered if the applicant is not current on fees, reimbursement and/or other payments that are due the City.
7. All advertising signs shall be consistent with the Sign Ordinance or as approved by the Community Development Director.
8. All required easements or rights-of-way for improvements shall be obtained by the applicant at no cost to the City of Antioch. Advance permission shall be obtained from any property or, if required from easement holders, for any work done within such property or easements.
9. All easements of record that are no longer required and affect individual lots or parcels within this project shall be removed prior to or concurrently with the recordation of the final map or subsequent separate document as approved by City Engineer.

B. VESTING TENTATIVE MAP CONDITIONS

1. The Vesting Tentative Map approval is subject to the time lines established in the State of California Subdivision Map Act.
2. Approval is based upon substantial conformance with the Vesting Tentative Map dated December 13, 2019.
3. Approval of this Vesting Tentative map shall not constitute the approval of any improvements shown on the Vesting Tentative map and shall not be construed as a guarantee of future extension or re-approvals of this or similar maps, nor is it an indication of future availability of water or sewer facilities or permission to develop beyond the capacities of these facilities.

C. DISTRICTS AND ANNEXATION

1. Prior to filing of a final map for recording, the applicant shall annex into CFD 2018-02 (Police Protection).

2. The property shall annex into CFD 2018-01 (Public Services) and accept a level of annual assessments enough to maintain public facilities in the vicinity of the project area at no cost to the City. The annual assessment shall cover the actual annual cost of maintenance as described in the Engineer's Report.

D. HOME OWNERS ASSOCIATION AND CC&RS

1. The applicant shall establish a Home Owners Association (HOA) for this project in conformance with the regulations set forth by the California Department of Real Estate. The HOA shall be responsible for maintaining:
 - All front yard landscaping.
 - All HOA owned parcels unless maintained by another HOA (including Parcels 'A', 'B', 'C', 'D', 'E', 'F', 'G', 'H', 'I', 'J', 'K', 'L', 'M', 'N', 'O' and 'P').
 - Storm drain facilities (pipes, structures and Parcel 'D' basin)
 - Streets labelled 'A', 'B', 'C', 'D', 'E', 'F', 'G' and 'H'.
 - The City shall be reimbursed for maintenance of landscape, roadway (including striping and signing), concrete (including sidewalk, curb, gutter and curb ramps), storm drain facilities, street lighting, and all other HOA facilities and amenities not maintained by the HOA to an acceptable City level.
2. Subject to approval by the state, the Codes, Covenants and Restrictions (CC&Rs) for the subdivision shall include a provision indicating that the City of Antioch is named as a third-party beneficiary with the right, but not the obligation, to enforce the provisions of the CC&Rs relating to the maintenance and repair of the property and improvements, including but not limited to landscaping, streets, curbs, gutters, street lights, parking, open space, storm water facilities and the prohibition of nuisances. The City shall have the same rights and remedies as the Association, Manager or Owners are afforded under the CC&Rs, including but not limited to rights of entry. This right of enforcement is in addition to all other legal and equitable remedies available to the City, including the right to refuse to issue building permits for any building or structure that is not in compliance with applicable federal, state or local laws, regulations, permits or approvals. Neither action nor inaction by the City shall constitute a waiver or relinquishment of any rights or remedies. In addition, the CC&Rs shall include a provision that any design approvals required by the CC&RS for construction, reconstruction and remodeling are in addition to any approvals needed from the City as well. Further, the CC&Rs cannot be terminated or amended materially without the prior written consent of the Community Development Director and the City Attorney of the City of Antioch. Material changes are those that would change the fundamental purpose of the development including but not limited to:

- City approvals of uses or external modifications.
- Property ownership or maintenance obligations including, but not limited to, common areas, storm water and landscaping.

The CC&Rs for this project shall be reviewed and approved by the City Attorney and the Community Development Director prior to the issuance of the first building permit.

3. The property shall annex into or establish and participate in a Lighting and Landscape District (LLD) and accept a level of annual assessments enough to maintain:
 - a. The street lights along frontage of public streets.
 - b. Landscaping along frontage of public streets.

E. CONSTRUCTION CONDITIONS

1. The use of construction equipment shall be as outlined in the Antioch Municipal Code and is restricted to weekdays between the hours 8:00 A.M. and 5:00 P.M., or as approved in writing by the City Manager. Requests for alternative days/time may be submitted in writing to the City Manager for consideration.
2. The project shall be in compliance with and supply all the necessary documentation for Antioch Municipal Code § 6-3.2: Construction and Demolition Debris Recycling.
3. Standard dust control methods and designs shall be used to stabilize the dust generated by construction activities. The applicant shall post dust control signage with a contact number of the applicant, City staff, and the air quality control board.
4. The site shall be kept clean of all debris (boxes, junk, garbage, etc.) at all times.

F. SITE AND PROJECT DESIGN

1. Provisions for mail delivery and locations of mailbox facilities shall be reviewed by the USPS and approved by the City Engineer prior to the approval of the final map.
2. All proposed improvements shall be constructed to City standards or as approved by the City Engineer.

3. All public streets shall intersect at approximately 90 degrees and meet the requirements of Caltrans Highway Design Manual for Intersection Design Standards (Topic 405), as approved by the City Engineer.
4. All driveways shall be perpendicular or radial to the street centerline, or as approved by the City Engineer.
5. Maximum driveway slope shall be 12% or as approved by the City Engineer.
6. All driveways shall be a minimum of five feet (5') from the curb return.
7. All public road right-of-way shall be located ten feet (10') behind the face-of-curb.
8. Curb ramps shall meet the latest version of Caltrans ramps.
9. Monolithic sidewalks with beveled curb shall be six inches (6") thick and reinforced as approved by the City Engineer. Sidewalks at driveway approaches shall be ADA complaint. Minimum sidewalks widths shall be as follows:
 - Adjacent to beveled curb, 4 feet excluding curb (bevel curb to be 12" deep by 3" high with ½" lip and 18" gutter).
 - Adjacent to vertical curb, 4.5 feet excluding curb.
10. Sight distance triangles shall be maintained per Antioch Municipal Code § 9-5.1101 Site Obstructions at Intersections, or as approved by the City Engineer.
11. A minimum of twenty feet (20') tangent shall extend beyond the return at intersections at public streets, or as approved by the City Engineer.
12. All lot sidelines shall be perpendicular or radial to the fronting street centerline at public streets for a distance of 20 feet, or as approved by the City Engineer.
13. Rear and side yard fencing shall be provided for all units. All fences shall be located at the top of slope, or as approved by the City Engineer.
14. In cases where a fence is to be built in conjunction with a retaining wall, and the wall face is exposed to a side street, the fence shall be setback a minimum of three feet (3') behind the retaining wall per Antioch Municipal Code § 9-5.1603, or as approved by the City Engineer.

15. The proposed street names listed below shall be approved by Planning Commission prior to recordation of the first final map. Changes to street names shall require Planning Commission review and approval.
 - Hillcrest Avenue (Existing).
 - Streets 'A', 'B', 'C', 'D', 'E', 'F', 'G' 'H' and 'I'.
 - Court 'A'.
16. The applicant shall provide a "checklist" of universal design accessibility features to home buyers as required by Health and Safety Code § 17959.6.
17. All improvements for each lot (water meters, sewer cleanouts, etc.) shall be contained outside of the driveway and within the lot and the projection of its sidelines, or as approved by the City Engineer.
18. One (1) on-street parking space per lot shall be located within close proximity to the unit served, as shown on the vesting tentative map dated December 13, 2019, or as approved by the City Engineer.
19. Cul-de-sac parking shall be provided as required by the City Engineer.
20. All fencing adjacent to open space (trails and basins) shall be wrought iron or other material as approved by the City Engineer. All fences shall be located at the top of slope, or as approved by the City Engineer
21. All two-car garages shall be a minimum of twenty feet by twenty feet (20' x 20') clear inside dimensions or as approved by the Community Development Director.
22. The applicant and then the HOA, once the CC&Rs are operative, shall maintain all undeveloped areas within this subdivision in an attractive manner, which shall also ensure fire safety.

G. UTILITIES

1. Public utilities shall be constructed to their ultimate size and configuration with the road construction in which they are to be located.
2. All existing and proposed utilities shall be undergrounded (e.g. transformers and PMH boxes) and subsurface in accordance with the Antioch Municipal Code, except the existing PG&E towers or as approved by the City Engineer.
3. All sewage shall flow by gravity to the intersecting street sewer main.

4. Sewer main system shall be designed to drain northerly on Hilcrest Avenue and connect to the existing or proposed future 15" sanitary sewer main at Heidorn Ranch Road through 'B' Street or as approved by the City Engineer.
5. Sewer system for interior private streets shall all be 8" unless approved by City Engineer otherwise.
6. All public utilities, including storm drain pipes and ditches, shall be installed in streets avoiding between lot locations. All proposed drainage facilities, including open ditches, be constructed of Portland Concrete Cement or as approved by the City Engineer.
7. Prior to the recordation of the first final map, the applicant shall submit hydrology and hydraulic analyses with a storm water control plan to Contra Costa County Flood Control District and the City of Antioch for review and approval and pay all related drainage fees at no cost to the City as directed by the City Engineer.
8. The main storm drain system shall flow generally in a northeasterly direction into a detention basin system and eventually flow into Sand Creek through a proposed 60" storm drain outfall subject to the approval of the Contra Costa County Flood Control District and the City of Antioch.
9. The secondary storm drain system along Hillcrest Avenue shall flow generally in a northerly direction into a 48" storm drain and proposed clean water outfall system and eventually flow into Sand Creek subject to the approval of the Contra Costa County Flood Control District and the City of Antioch.
10. The detention basin and associated improvements shall be constructed prior to issuance of first building permit for residential structures.
11. The applicant shall provide adequate water pressure and volume to serve this development. This will include a minimum residual pressure of 20 psi with all losses included at the highest point of water service and a minimum static pressure of 50 psi or as approved by the City Engineer. See Fire Requirements for additional water flow conditions.
12. Water systems shall be designed as a looped distribution system, if not already connecting as a looped system, developer shall be responsible for installing any water mains to create a looped system at no cost to the City.
13. No utility system lines and crossings shall run in between two lots.

14. The houses shall contain rain gutters and downspouts that direct water away from the foundation as approved by the City Engineer.
15. Prior to acceptance of public utilities, the developer shall provide GPS coordinates of all in and above ground assets. This includes all Water Distribution Utility features, Collection Utility features, Storm Water Utility features, and inverts associated with these features. Developer is to also include GPS coordinates of metal subdivision entryway signs, street signs, light poles, and irrigation controllers. These GPS coordinates must be taken on a survey-grade sub-meter GPS data receiver/collector and provided in GIS shapefile format using the North American 1983 Coordinate System.

H. LANDSCAPING

1. Landscaping on all slopes, medians, C.3 basins and open space areas shall be approved by the City Engineer and shall be installed, at no cost to the City.
2. The type and location of trees shall be as outlined in the project's Design Guidelines (Exhibit C).
3. Prior to issuance of residential building permits, developer shall submit typical front yard landscape plan(s) to demonstrate compliance with water conserving landscape requirements. Developer shall submit a landscape plan for each residential lot that City shall review for compliance with typical landscape plan(s) and approve prior to issuance of building permit.
4. Based on drought conditions, the City Engineer has the authority to delay some or all of the landscape Conditions of Approval.

I. FIRE REQUIREMENTS

1. The applicant shall comply with the following conditions provided by the Contra Costa County Fire Protection District:
 - a. Fire access roadways of less than 28-feet unobstructed width shall have NO PARKING – FIRE LANE signs posted, or curbs painted red with the words NO PARKING – FIRE LANE clearly marked, per 22500.1 CVC unless approved by the Fire Department and the City Engineer.
 - b. The cul-de-sacs or turnarounds shall have an outside turning radius of a minimum of a 45' or as approved by the City Engineer. Should the sidewalk be included in the turning radius, it shall be clear of street lights, fire hydrants and other obstructions.

- c. The applicant shall provide an adequate reliable water supply for fire protection with a minimum fire flow of 1750 GPM. Required flow shall be delivered from not more than one hydrant flowing simultaneously for the duration of 120 minutes while maintaining 20-pounds residual pressure in the main. (508.1), (B105) CFC
- d. The applicant shall provide hydrants of the East Bay type, which shall be maintained by the City. Approximate hydrant locations will be determined by the Fire District and approved by the City Engineer.
- e. Emergency apparatus access roadways and hydrants shall be installed, in service, and inspected by the Fire District prior to construction or combustible storage on site. (501.4) CFC. Gravel roads are not considered all-weather roadways for emergency apparatus access. The first lift of asphalt concrete paving shall be installed as the minimum sub base materials and capable of supporting the designated gross vehicle weight specified above.
- f. Premises identification shall be provided. Such numbers shall contrast with their background and be a minimum of four inches high with ½-inch stroke or larger as required to be readily visible from the street. (505.1) CFC, (501.2) CBC
- g. Plan review and inspection fees shall be submitted at the time of plan review submittal. Checks may be made payable to Contra Costa County Fire Protection District (CCCFPD).
- h. All proposed homes shall be protected with an approved automatic fire sprinkler system complying with the 2013 edition of NFPA 13D or Section R313.3 of the 2013 California Residential Code. Submit a minimum of two (2) sets of plans for each model home to this office for review and approval prior to installation. (903.2) CFC, (R313.3) CFC.
- i. The developer shall submit a computer-aided design (CAD) digital file copy of the site plan to the Fire District upon final approval of the site improvements plans or subdivision map. CAD file shall be saved in the latest AutoCAD.DXF file format. (501) CFC
- j. Submit plans to: Contra Costa County Fire Protection District, 2010 Geary Road, Pleasant Hill, CA 94523.
- k. The applicant shall agree to participate and/or assist in the formation of a Community Facilities District (CFD) to fund the incremental cost of fire protection and ambulance service delivery. The developer shall contact the Office of the Fire Chief for specific details on the CFD.

J. FEES

1. The applicant shall pay all City fees which have been established by the City Council and as required by the Antioch Municipal Code.
2. The applicant shall pay all pass-through fees. Fees include but are not limited to:
 - a. East Contra Costa Regional Fee and Financing Authority (ECCRFFA) Fee in effect at the time of building permit issuance.
 - b. Contra Costa County Fire Protection District Fire Development Fee in place at the time of building permit issuance.
 - c. Contra Costa County Map Maintenance Fee in affect at the time of recordation of the final map(s).
 - d. Contra Costa County Flood Control District Drainage Area fee.
 - e. School Impact Fees.
 - f. Delta Diablo Sanitation Sewer Fees.
 - g. Contra Costa Water District Fees.

K. MODEL HOMES

1. If developer requests model homes or sales trailer, prior to the placement of any sales trailers, plans shall be submitted to the Engineering Department for review and approval. Any trailer shall be placed out of the public right-of-way and shall have its own parking lot.
2. The model home complex parking lot location and design shall be subject to the City Engineer's approval.
3. The model home landscaping shall be drought tolerant, with total area of spray irrigation for the complex not to exceed 50 percent of the landscaping area.

L. GRADING

1. Prior to the approval of the grading plan(s), the City Engineer shall determine if it is necessary to engage soils and structural engineers, as well as any other professionals, deemed necessary to review and verify the adequacy of the building plans submitted for this project. If deemed necessary by the City Engineer, this condition may include field inspections by such professionals to verify implementation of the plans. Costs for these services shall be borne by the applicant.
2. The grading operation shall take place at a time, and in a manner, so as not to allow erosion and sedimentation. The slopes shall be landscaped and reseeded as soon as possible after the grading operation ceases. Erosion

measures shall be implemented during all construction phases in accordance with an approved erosion and sedimentation control plan.

3. A grading permit shall be pulled prior to any grading operations.
4. All lots and slopes shall drain to approved drainage facilities as approved by the City Engineer.
5. All grading shall be accomplished in a manner that precludes surface water drainage across any property line.
6. All lots shall be graded to drain positively from the rear to the street or as approved by the City Engineer.
7. The swales adjacent to the house structure shall have a minimum of a two percent (2%) slope or as directed by the City Engineer.
8. All off-site grading is subject to the coordination and approval of the affected property owners and the City Engineer. The applicant shall submit written authorization to “access, enter, or grade” adjacent properties prior to performing any work.
9. Any sale of a portion (or portions) of this project to multiple developers shall include the necessary agreement and/or grading easements to assure that project-wide grading conforms to the approved map and conditions of this resolution.
10. The grading plan for this development shall be approved by the City Engineer.
11. All elevations shown on the plans shall be on NAVD 88 as approved by the City Engineer.
12. Retaining or sound walls shall not be constructed in City right-of-way or other City maintained parcels unless approved by the City Engineer.
13. All retaining and sound walls shall be of masonry construction.
14. All retaining walls shall be reduced in height to the maximum extent practicable and the walls shall meet the height requirements in the front yard setback and sight distance triangles as required by the City Engineer.
15. The back-to-back or side-to-side grading transitions from lot-to-lot shall have a maximum slope of 2:1 and shall be accommodated entirely on the lower lot or as approved by the City Engineer.

16. The minimum concrete gutter flow slope shall be 0.75%.
17. All property lines shall be located at the top of slope.

M. CONSERVATION/NPDES

1. Water conservation measures, including low volume toilets, flow restrictors in showers and the use of drought tolerant landscaping, shall be used.
2. The project shall comply with all Federal, State, and City regulations for the National Pollution Discharge Elimination System (NPDES) (AMC§6-9). (Note: Per State Regulations, NPDES Requirements are those in affect at the time of the Final Discretionary Approval.) Under NPDES regulations, the project is subject to provision C.3: New development and redevelopment regulations for storm water treatment. Provision C.3 requires that the project include storm water treatment and source control measures, as well run-off flow controls, so that post-project runoff does not exceed estimated pre-project runoff. C.3 regulations require the submittal of a Storm Water Control Plan (SWCP) that demonstrates how compliance will be achieved. The SWCP shall be submitted simultaneously with the project plans. For the treatment and flow-controls identified in the approved SWCP, a separate Operation and Maintenance Plan (O&M) shall be submitted and approved before the Building Department will issue Certificate of Occupancy permits. Both the approved SWCP and O&M plans shall be included in the project CC&Rs. Prior to building permit final and issuance of a Certificate of Occupancy, the applicant shall execute any agreements identified in the Storm Water Control Plan that pertain to the transfer of ownership and/or long-term maintenance of storm water treatment or hydrograph modification BMPs. Already stated in COAs below, 5.c and 5.h.w.
3. Additional information regarding the project SWCP is necessary and modifications to the SWCP shown on the proposed Vesting Tentative Map may be required in order to comply with C.3 regulations.
4. The following requirements of the federally mandated NPDES program (National Pollutant Discharge Elimination System) shall be complied with as appropriate, or as required by the City Engineer:
 - a. Prior to issuance of permits for building, site improvements, or landscaping, the applicant shall submit a permit application consistent with the applicant's approved Storm Water Control Plan, and include drawings and specifications necessary for construction of site design features, measures to limit directly connected impervious area, pervious pavements, self-retaining areas, treatment BMPs, permanent source

control BMPs, and other features that control storm water flow and potential storm water pollutants.

- b. The Storm Water Control Plan shall be certified by a registered civil engineer, and by a registered architect or landscape architect as applicable. Professionals certifying the Storm Water Control Plan shall be registered in the State of California and submit verification of training, on design of treatment measures for water quality, not more than three years prior to the signature date by an organization with storm water treatment measure design expertise (e.g., a university, American Society of Civil Engineers, American Society of Landscape Architects, American Public Works Association, or the California Water Environment Association), and verify understanding of groundwater protection principles applicable to the project site (see Provision C.3.i of Regional Water Quality Control Board Order R2 2003 0022).
- c. Prior to building permit final and issuance of a Certificate of Occupancy, the applicant shall submit, for review and approval by the City, a final Storm Water BMP Operation and Maintenance Plan in accordance with City of Antioch guidelines. This O&M plan shall incorporate City comments on the draft O&M plan and any revisions resulting from changes made during construction. The O&M plan shall be incorporated into the CC&Rs for the Project.
- d. Prior to building permit final and issuance of a Certificate of Occupancy, the applicant shall execute and record any agreements identified in the Storm Water Control Plan which pertain to the transfer of ownership and/or long-term maintenance of storm water treatment or hydrograph modification BMPs.
- e. Prevent site drainage from draining across sidewalks and driveways in a concentrated manner.
- f. Collect and convey all storm water entering, and/or originating from, the site to an adequate downstream drainage facility without diversion of the watershed. Submit hydrologic and hydraulic calculations with the Improvement Plans to Engineering Division for review and approval.
- g. Prior to issuance of the grading permit, submit proof of filing of a Notice of Intent (NOI) by providing the unique Waste Discharge Identification Number (WDID#) issued from the Regional Water Quality Control Board.
- h. Submit a copy of the Storm Water Pollution Prevention Plan (SWPPP) for review to the Engineering Department prior to issuance of a building and/or grading permit. The general contractor and all subcontractors and suppliers of materials and equipment shall implement these BMP's.

Construction site cleanup and control of construction debris shall also be addressed in this program. Failure to comply with the approved construction BMP may result in the issuance of correction notices, citations, or a project stop work order.

- i. Install appropriate clean water devices at all private storm drain locations immediately prior to entering the public storm drain system. Always implement Best Management Practices (BMP's).
 - j. Install on all catch basins "No Dumping, Drains to River" decal buttons.
 - k. If sidewalks are pressure washed, debris shall be trapped and collected to prevent entry into the storm drain system. No cleaning agent may be discharged into the storm drain. If any cleaning agent or degreaser is used, wash water shall be collected and discharged to the sanitary sewer, subject to the approval of the sanitary sewer District.
 - l. Include erosion control/storm water quality measures in the final grading plan that specifically address measures to prevent soil, dirt, and debris from entering the storm drain system. Such measures may include, but are not limited to, hydro seeding, gravel bags and siltation fences and are subject to review and approval of the City Engineer. If no grading plan is required, necessary erosion control/storm water quality measures shall be shown on the site plan submitted for an on-site permit, subject to review and approval of the City Engineer. The applicant shall be responsible for ensuring that all contractors and subcontractors are aware of and implement such measures.
 - m. Sweep or vacuum the parking lot(s) a minimum of once a month and prevent the accumulation of litter and debris on the site. Corners and hard to reach areas shall be swept manually.
 - n. Ensure that the area surrounding the project such as the streets stay free and clear of construction debris such as silt, dirt, dust, and tracked mud coming in from or in any way related to project construction. Areas that are exposed for extended periods shall be watered regularly to reduce wind erosion. Paved areas and access roads shall be swept on a regular basis. All trucks shall be covered.
 - o. Clean all on-site storm drain facilities a minimum of twice a year, once immediately prior to October 15 and once in January. Additional cleaning may be required if found necessary by City Inspectors and/or City Engineer.
5. Per State Regulations, all impervious surfaces including off-site roadways to be constructed as part of the project, are subject to C.3 requirements.

N. FINAL SUBDIVISION MAP REQUIREMENTS

1. The Final Subdivision Map submittal per each individual phase, excluding the initial large lot Parcel Map intended for the subdivision of parcels for phasing, shall include all the required information described in Title 9, Chapter 4, Article 5: Final Maps, of the Antioch Municipal Code, including, but not limited to:
 - a. Improvement security in one of the following forms:
 - i. Bond or bonds issued by one or more duly authorized corporate securities in an amount equal to 100% of the total estimated costs of the improvements for faithful performance, and in an amount equal to 100% of the total estimated costs of the improvements for labor and materials.
 - ii. A deposit, either with the city or a responsible escrow agent or trust company, at the option of the City Engineer, of money or negotiable bonds of the kind approved for securing deposits of public moneys, in the amounts and for security as specified above, to be released in the same manner as described above for bonds.
 - iii. An irrevocable letter of credit in form acceptable to the City Attorney issued by a financial institution acceptable to the City Attorney in an amount equal to 100% of the total estimated costs of the improvements for faithful performance, no part thereof to be released until such time as specified by state law.
 - b. An original, signed subdivision agreement, to be executed by the subdivider or his agent, guaranteeing the completion of the construction of the improvements required by the governing body within a specified time and payment therefore, satisfactory to the City Attorney as to legality and satisfactory to the City Engineer as to amount.
 - c. A letter from the Tax Collector showing that all payable taxes have been paid and a bond for the payment of taxes then a lien but not yet payable, as required by the Subdivision Map Act.
 - d. A cash payment, or receipt therefore, of all the fees required for the checking and filing of the maps and the inspections of the construction; payment for the street signs to be furnished and installed by the city, if required by the subdivider; a cash deposit for the payment of such fire hydrant rental fees as may be established

by the respective fire districts or water company or district having jurisdiction; and any other applicable fees or deposits.

- e. Deeds for the easements or rights-of-way for road purposes map.
 - f. Written evidence acceptable to the city, in the form of rights of entry or permanent easements across private property outside the subdivision, permitting or granting access to perform the necessary construction work and permitting the maintenance of the facility.
 - g. Agreements acceptable to the city, executed by the owners of existing utility easements within the proposed roads rights-of-way, consenting to the dedication of roads or consenting to the joint use of the rights-of-way as may be required by the city for the purpose use and convenience of the roads.
 - h. A surety bond acceptable to the city, guaranteeing the payment of the taxes and assessments which will be a lien on the property, as set forth in the Subdivision Map Act, when applicable.
 - i. Payment of map maintenance fee.
 - j. Payment of the assessment district apportionment fee, if applicable.
 - k. Consent and election form for annexation into Police Services Fee CFD.
 - l. Evidence of payment of Contra Costa County Flood Control District fees.
 - m. A preliminary soil report, prepared by a civil engineer who is registered by the state, based upon adequate test borings or excavations of every subdivision, as defined in Cal. Gov't Code §§ 66490 and 66491. The preliminary soil report may be waived if the City Engineer shall determine that, due to the knowledge of such department as to the soil qualities of the subdivision, no preliminary analysis is necessary.
- 2. Concurrent with submittal of the first Final Subdivision Map, the applicant shall submit a consent and election form for annexation into all required districts, including Community Facilities District and Lighting and Landscape District.
 - 3. All easements of record that are no longer required and affect individual lots or parcels within this project site shall be removed prior to or concurrently with the recordation of the Final Subdivision Map.

O. MITIGATION MONITORING AND REPORTING PROGRAM

1. The developer shall comply with all mitigation measures identified in the Mitigation Monitoring and Reporting Program.

P. PROJECT SPECIFIC CONDITIONS

1. All private streets shall be HOA maintained.
2. All private streets shall have sidewalks on both sides to the satisfaction of the City Engineer.
3. Right-of-way shall be acquired from Pacific Gas & Electric (PG&E) for the construction and dedication of Hillcrest Avenue to the City at no cost to the City.
4. Roadways may be configured for storm water treatment directed towards center medians; designs shall be as approved by City Engineer.
5. Hillcrest Avenue bridge over Sand Creek shall have a width of 92' edge to edge.
6. Hillcrest Ave shall have a right-of-way width of 112' and designed with a minimum traffic index (TI) of 8 and a minimum pavement thickness of 6" AC over 16" Class II AB.
 - The Creekside Project shall dedicate the entire 112' right-of-way width for Hillcrest Avenue.
 - The Creekside Project shall build Interim Hillcrest Avenue, which shall include full frontage improvements on the east and west side including curb, gutter, 6' sidewalk, and landscaping.
 - Construction of northbound and southbound #2 travel lanes shall include bike lanes, interim 40'-wide concrete median curb, center median LED streetlights, and center median landscaping.
 - Ultimate Hillcrest Avenue in a four (4) lane configuration including ultimate median islands shall be the responsibility of future development.
 - Medians and shoulders shall be landscaped to the satisfaction of the City Engineer.

7. Slope on westerly frontage of Hillcrest Avenue shall be 3:1 maximum.
8. An emergency vehicle access to the north shall be provided and design shall be satisfactory to Contra Costa County Fire Protection District and as approved by the City Engineer.
9. Curb ramps shall be installed per current ADA standards on the corners of the intersections for the following locations:
 - 'I' Street and Hillcrest Avenue
10. 'I' street shall be a public street and have a full right-of-way width of 60'.
11. A reimbursement agreement shall be conditioned onto future development of adjacent properties (APNs 057-050-021 & 057-042-006) in order to provide reimbursement for the fair share of design and construction costs of 'I' street and oversized utilities. Total costs shall be submitted to the City after completion of construction and fair share amounts shall be determined and approved by the City Engineer.
12. Minimum pavement thickness and design for this development shall be as follows:
 - Public Streets ('I' Street): width of 60', TI = 6, and 4" AC over 12" CL II AB.
 - Private Streets (Streets labelled 'A', 'B', 'C', 'D', 'E', 'F', 'G' and 'H'): widths may vary subject to the approval of the City Engineer, TI = 6, 4" and AC over 12" CL II AB.
13. Trail system pathways shall be a minimum width of 10' feet with concrete or asphalt concrete.
14. 6' masonry sound walls shall be installed on the backs of all residential lots and sides of corner lots along the frontage of Hillcrest Avenue. Decorative

stone veneer pilasters shall be located at regular intervals of between 8 and 20 feet, to the satisfaction of the Community Development Director.

15. Fencing around stormwater detention basin, Parcel 'D' shall be wrought iron fencing or as approved by the City Engineer.
16. The project shall comply with all recommendations from the Traffic Impact Analysis (TIA) and Final Environmental Impact Report (FEIR), including:
 - A new traffic signal to be installed at the intersection of 'B' Street and Hillcrest Avenue (Main entry to the development).
 - Sand Creek Road/Hillcrest Avenue traffic signal to be modified.
 - Any other traffic related modifications, lane widening, turn lanes as identified in the Traffic Impact Analysis (TIA), including payment of regional fees.
 - All costs shall be borne by the developer.
17. All park and picnic equipment and materials are to follow current City standards or as approved by the City Engineer.
18. No in-between lot openings shall be allowed for ingress/egress or utility crossings.
19. As recommended by the Parks and Recreation Commission, the following conditions shall apply:
 - a. The Creekside Vineyards at Sand Creek project shall meet its park land dedication requirements through the payment of park-in-lieu fees in the amount of \$330,000; and
 - b. The "private park" shall meet all the City's Park Design Standards current at the time of the park's construction; and
 - c. The City will consider a park-in-lieu fee credit based on the detail park parcels "B" and "C" submittal incorporating the "local park basic elements" and meeting the qualification criteria per Code Section 9-4.1010(C) and (D)(6).
20. The project shall be built in conformance with the Design Guidelines (Exhibit C) unless modified by conditions of approval. Any deviation from or modification to the Design Guidelines shall be approved by the Planning Commission.

Q. PHASING CONDITIONS

1. Prior to development of any phase of the subdivision, the applicant shall

secure a use permit and design review approval from the Planning Commission for that phase.

2. The order and phasing boundaries of project construction shall conform to the proposed Phasing Plan, dated December 10, 2019, Exhibit B to this resolution. Proposed changes to the Phasing Plan shall be submitted to the City prior to or in conjunction with the use permit application required for the affected phase(s). Changes in the Phasing Plan are subject to approval by the Zoning Administrator or the Planning Commission. Use permit applications are subject to approval by the Planning Commission.

3. **Phase One:**

Prior to the issuance of the 1st building permit within Phase One, the following improvements shall be completed to the satisfaction of the City Engineer:

- a. Hillcrest Avenue from the intersection at Sand Creek Road south to 'B' Street, including the bridge over Sand Creek.
- b. Interim Hillcrest Avenue shall be constructed with east and west side curb, gutter, sidewalk and landscaping including Parcel H, 12' northbound and southbound #2 travel lanes with 8' bike lanes, interim 40'-wide landscaped median with concrete median curbs, median LED streetlights, and all utilities from the bridge over Sand Creek to the south curb returns of 'B' Street. The transition from the bridge section shall be as approved by the City Engineer. Improvements shall include conduits and pull boxes for the portion of a traffic signal at Hillcrest Avenue and 'B' Street located within the improvement limits, all as approved by the City Engineer.
- c. 'B' Street (Neighborhood Entry): 'B' Street shall be fully constructed from Hillcrest Avenue to the Community Site including lighting and median and right of way landscaping.
- d. Parcel B (Community Site): The community park design shall be approved by the Parks and Recreation Commission and/or Planning Commission, in conformance with Antioch Code Article 10, Section 9-4.1001 thru 1014.
- e. Parcel C (Park): The park and trail design shall be approved by the Parks and Recreation Commission and/or Planning Commission, in conformance with Antioch Code Article 10, Section 9-4.1001 thru 1014.

f. Parcel G (Park): The park design shall be approved by the Parks and Recreation Commission and/or Planning Commission, in conformance with Antioch Code Article 10, Section 9-4.1001 thru 1014.

g. Parcel D (Detention Basin): Parcel 'D' shall be fully constructed.

Prior to the issuance of the 75th building permit and the 30th Certificate of Occupancy, the following improvements shall be completed to the satisfaction of the City Engineer:

h. Heidorn Ranch Road EVA Connection as required by CCCFPD.

i. Parcel B (Community Site): Park shall be fully constructed.

j. Parcel C (Park): Park shall be fully constructed.

k. Parcel G (Park): Park shall be fully constructed.

4. Phase Two:

Prior to the issuance of the 1st building permit for a lot within Phase Two, the following shall be completed to the satisfaction of the City Engineer:

a. Hillcrest Avenue/'B' Street Traffic Signal: The applicant shall fully construct a traffic signal at the intersection of Hillcrest Avenue and 'B' Street.

b. Remaining portion of interim Hillcrest Avenue through to 'G' Street shall be fully constructed with east side and west curb, gutter, sidewalk and landscaping including Parcel I, 12' northbound and southbound #2 travel lanes with 8' bike lanes, interim 40'-wide landscaped median with concrete median curbs, median LED streetlights, and all utilities, including interconnect conduit and pull boxes. Improvements shall include conduits and pull as approved by the City Engineer.

5. Phase Three:

Prior to the issuance of the 1st building permit for a lot within Phase Three, the following shall be completed to the satisfaction of the City Engineer:

a. 'I' Street: 'I' Street shall be fully constructed from Hillcrest Avenue westerly to the Phase boundary, including lighting. The easterly connection to Hillcrest Avenue will be in an interim manner, as approved by the City Engineer.

- b. Parcel O (Detention Basin): Parcel 'O' shall be fully constructed.
- c. Parcel J (Park): The park design shall be approved by the Parks and Recreation Commission and/or Planning Commission, in conformance with Antioch Code Article 10, Section 9-4.1001 thru 1014.

Prior to the issuance of the 10th building permit for a lot within Phase Three, the following shall be completed to the satisfaction of the City Engineer:

- d. Parcel J (Park): Park shall be fully constructed.

* * * * *

I HEREBY CERTIFY that the foregoing resolution was adopted by the Planning Commission of the City of Antioch at a regular meeting thereof held on the 17th day of February, 2021, by the following vote:

AYES:

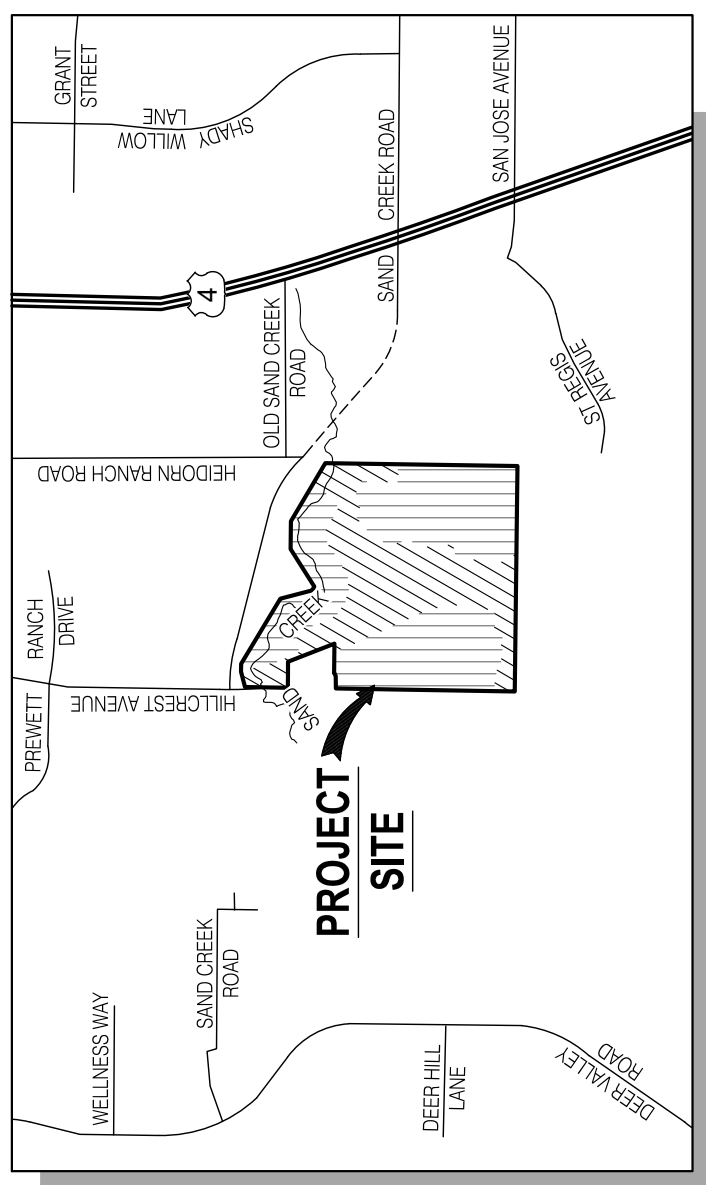
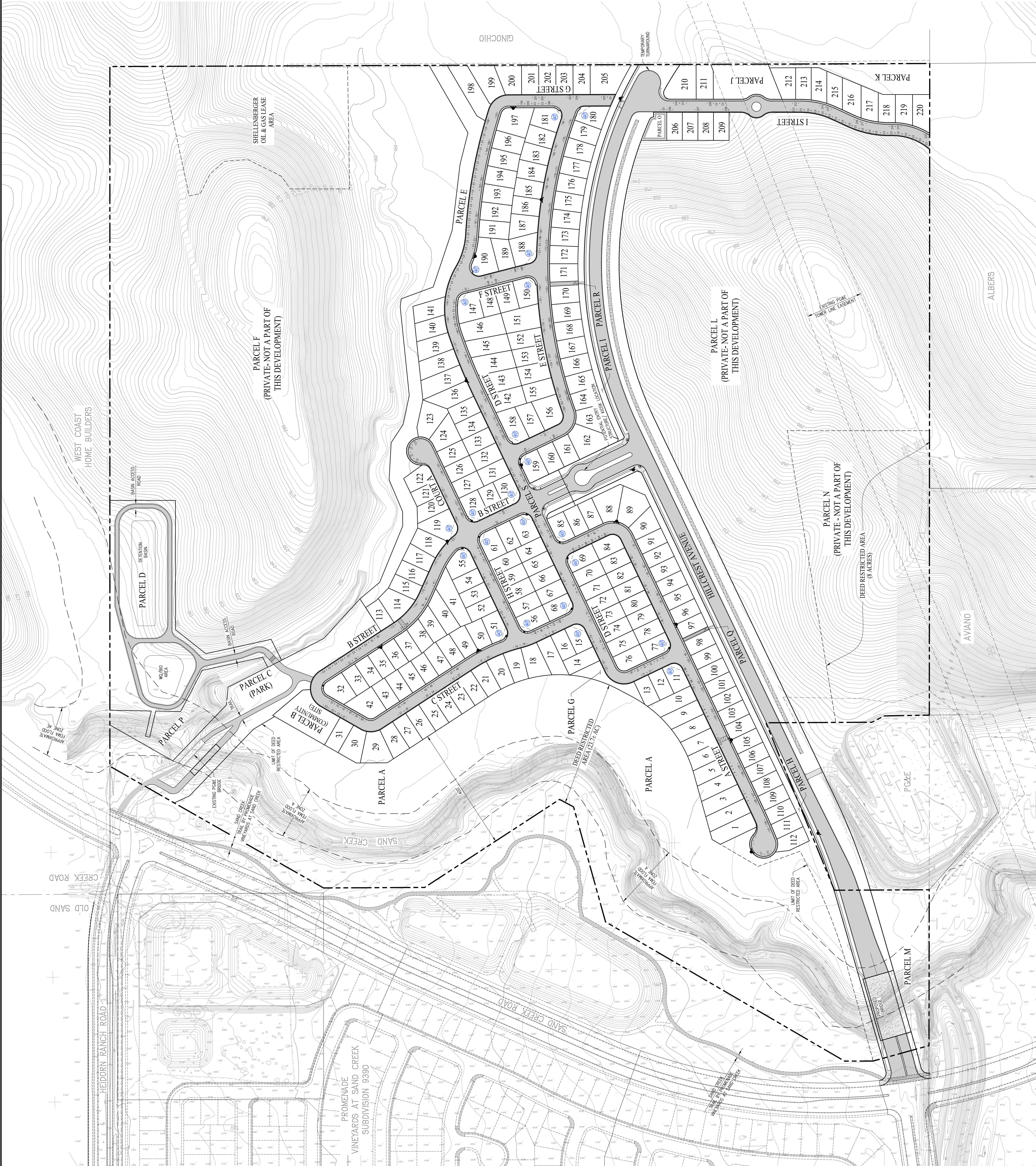
NOES:

ABSENT:

ABSTAIN:

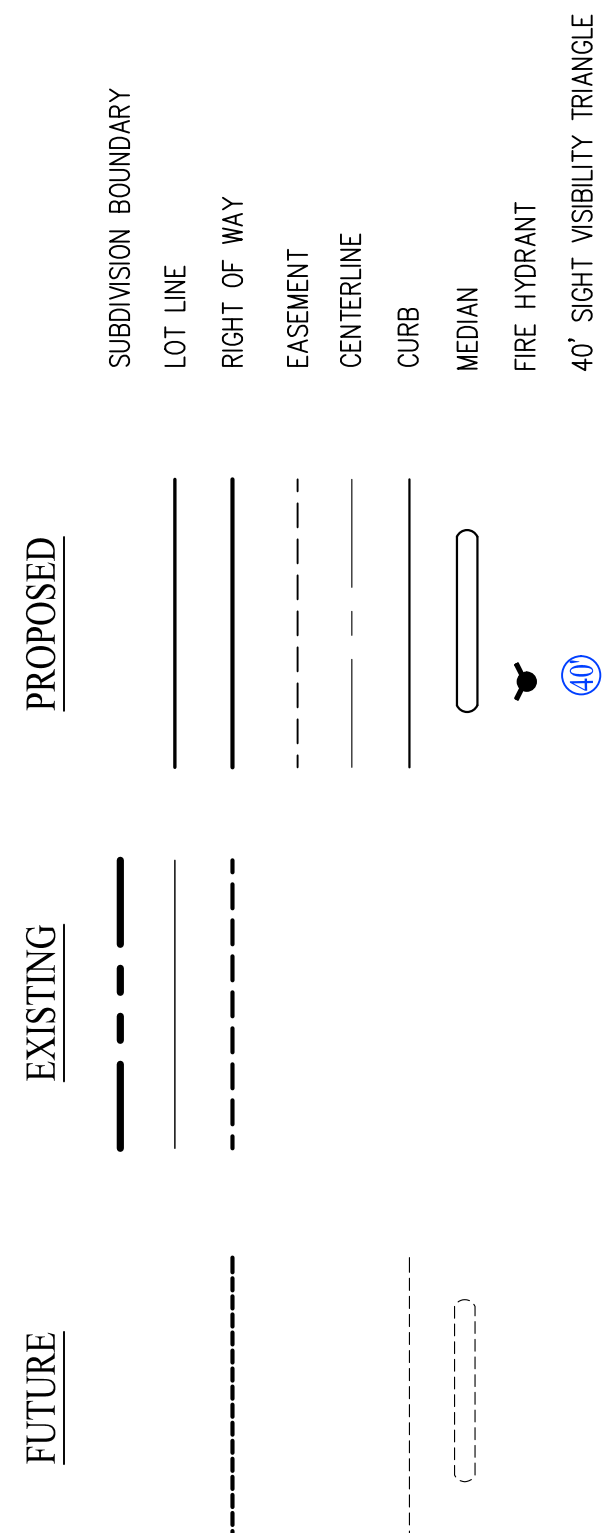
FORREST EBBS
Secretary to the Planning Commission

EXHIBIT A
VESTING TENTATIVE SUBDIVISION MAP



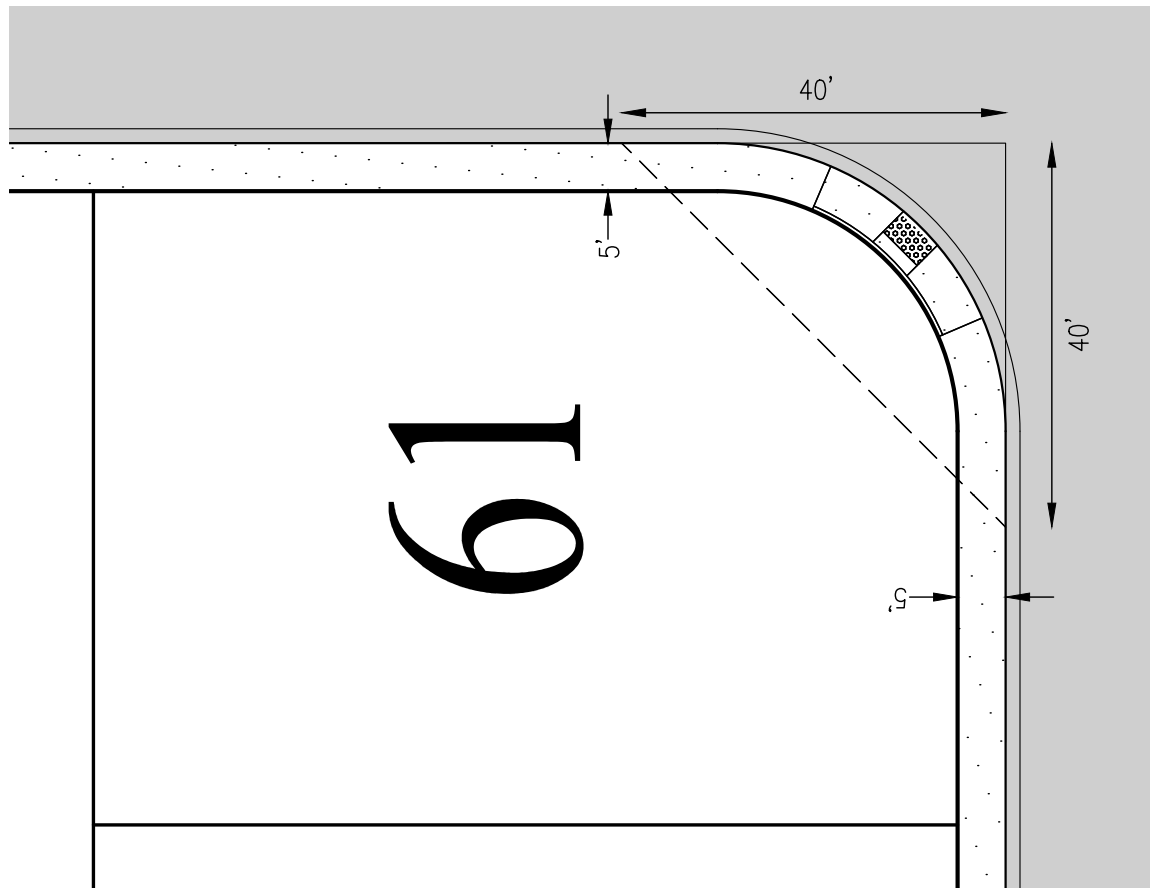
VICINITY MAP
NOT TO SCALE

LEGEND



NOTE: 40' SIGHT TRIANGLE DOES NOT APPLY AT CURBS AND KNUCKLES

TYPICAL SPEED BUMP DETAIL
NOT TO SCALE



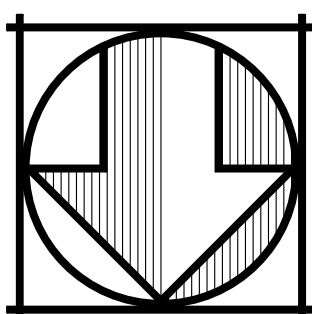
PARKING TYPE	RATIO	NUMBER OF SPACES	RATIO	NUMBER OF SPACES
GARAGE (COVERED)	2 SPACES/200	440 SPACES	2 SPACES/200	440 SPACES
GUEST PARKING (ON-STREET)	1 SPACE/200	220 SPACES	-	220 SPACES
ADDITIONAL ON-STREET PARKING	-	-	-	24 SPACES
TOTAL	-	660 SPACES	-	660 SPACES

GUEST PARKING (PARALLEL SPACES) DIMENSIONS
INTERIOR: 8' X 23'
END OF ROW: 8' X 20'

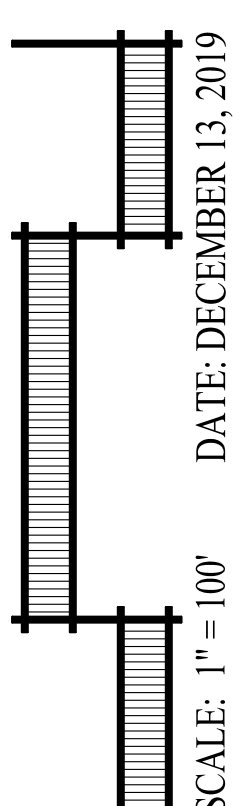
VESTING TENTATIVE MAP
AND PARKING PLAN
CREEKSIDE

VINEYARDS AT SAND CREEK
SUBDIVISION 9501

CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA



SAN RAMON • (925) 866-0322
SACRAMENTO • (916) 975-1877
WWW.CBGR.COM
CIVIL ENGINEERS • SURVEYORS • PLANNERS



DATE: DECEMBER 13, 2019
JOB NO.: 974-51

SHEET NO.
5
OF 5 SHEETS

EXHIBIT B
PHASING MAP

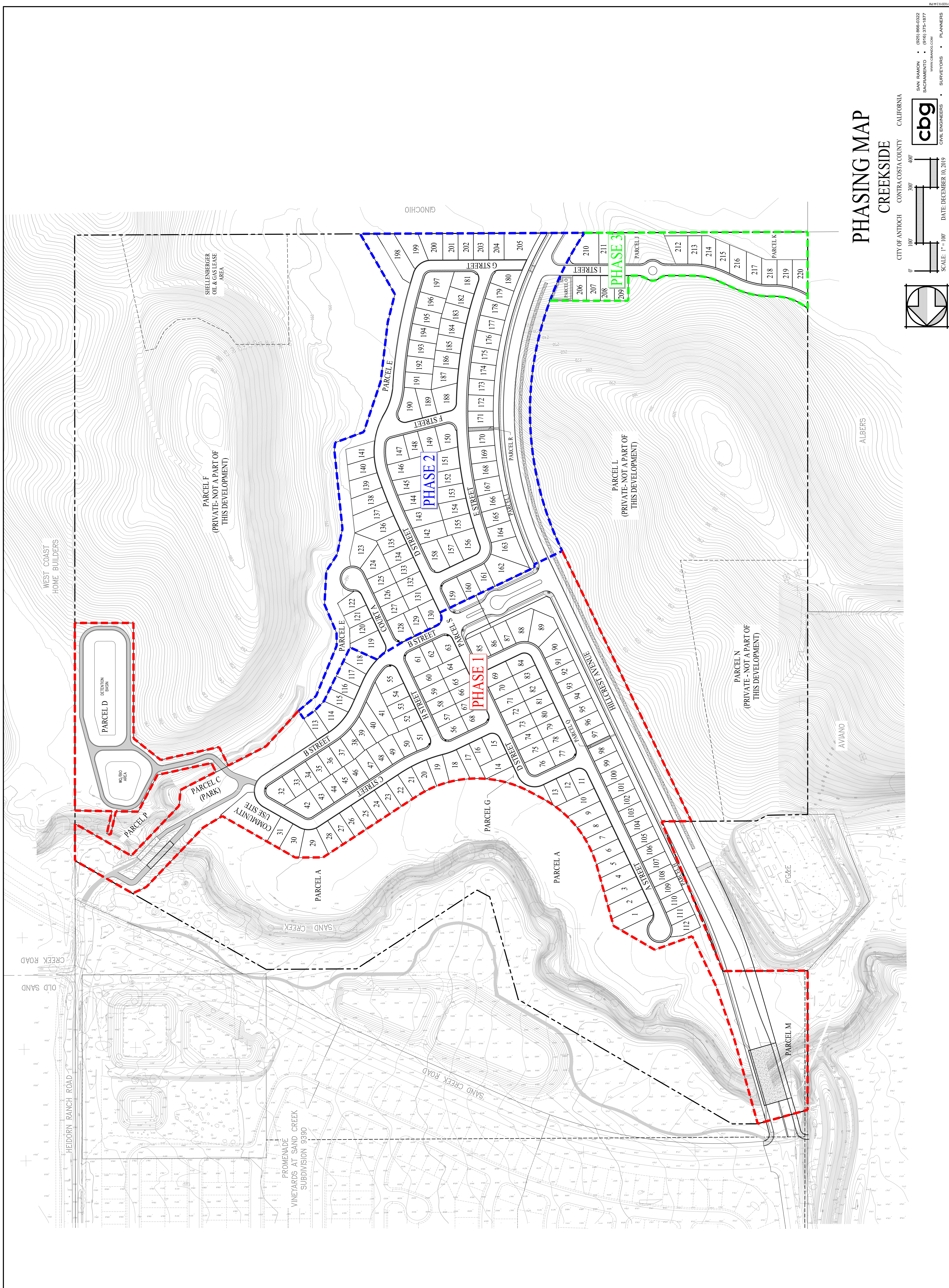


EXHIBIT C
DEVELOPMENT STANDARDS AND DESIGN GUIDELINES

The Development Standards and Design Guideline booklet is available on the City of Antioch website at <https://www.antiochca.gov/fc/community-development/planning/ProjectDOCs/GP-19-06.pdf>

EXHIBIT D
RESOURCE MANAGEMENT PLAN

**DRAFT
RESOURCE MANAGEMENT PLAN
CREEKSIDE
CITY OF ANTIOCH, CALIFORNIA**

August 14, 2020

Prepared for

GBN Partners, LLC
3820 Blackhawk Road
Danville, California 94506

Attention: Ms. Lisa Borba

Prepared by

Monk & Associates, Inc.
1136 Saranap Avenue, Suite Q
Walnut Creek, California 94595
Contact: Mr. Zach Stratton

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FIGURES (At Back of Report)

Figure 1. The Creekside Project Site Regional Map.

Figure 2. The Creekside Project Site Location Map.

Figure 3. Aerial photograph of the Creekside Project Site.

ATTACHMENTS

Attachment A. Biological Resources Analysis: Project Description Areas for Creekside, CBG,
November 7, 2019.

1. INTRODUCTION

The Resource Management Element of the City of Antioch's General Plan requires the preparation of a "Resource Management Plan" for properties located within the Sand Creek Focus Area. Specifically, the General Plan states: "Because of the sensitivity of the habitat areas within the Sand Creek Focus Area, and to provide for mitigation of biological resources impacts on lands in natural open space, as well as for the long-term management of natural open space, a project-specific Resource Management Plan based on the Framework Resource Management Plan attached as Appendix A to this General Plan shall be prepared and approved prior to development of the Sand Creek Focus Area properties." (Section 4.0, Land Use, City of Antioch General Plan).

The purpose of the Resource Management Plan is to (1) determine the significance of the resources found onsite and their relationship to resources in the surrounding area; (2) define areas that should be maintained as open space, based on the significance of the onsite resources and their relationship to resources in the surrounding area; and (3) identify mechanisms to protect and manage open spaces. [City of Antioch General Plan, § 10.3.2e] The General Plan includes a "Framework Resources Management Plan" (Framework) [City of Antioch General Plan, Appendix A]. The Framework provides the criteria that subsequent Resource Management Plans should use to evaluate the significance of any onsite natural resources within the Sand Creek Focus Area, and their relationship to the surrounding area, and to determine the appropriate amount and type of mitigation for impacts to onsite natural resources.

The Framework takes a broad and integrated approach to natural resources within the Sand Creek Focus Area. The approach is based on three, specifically enumerated, principles of conservation biology, which this Resource Management Plan has employed. First, the onsite biological resources are considered in terms of their contribution to natural communities at a regional scale. Second, the framework utilizes the concept of landscape corridors to link existing areas of preserved habitat. Third, methods for minimizing and mitigating the adverse effects of development are addressed under the Framework. These three principles are addressed in this Resource Management Plan for the Creekside project, presented below.

2. PROPERTY LOCATION AND SETTING

The approximately 158.2-acre proposed project site, which is all of Assessor's Parcel Number (APN) 057-050-024, is located west of Highway 4 and south of Lone Tree Way in the City of Antioch, Contra Costa County, California (Figures 1 and 2). The Development Area is 58.9 acres onsite, and 1.9 acres offsite, with the remaining 97.5 acres remaining as private open space. The site is generally rectangular; however, the northern boundary is an irregular shape, following the alignment of Sand Creek. Sand Creek flows west to east adjacent to the northern boundary of the project site and eventually flows into Marsh Creek in the City of Brentwood. The project site has been dry-land farmed since the 1930s and consists primarily of non-native vegetation, although it is also subject to a number of energy and communication easements and is within the historical boundaries of the Brentwood Oil & Gas Field.

The project site is surrounded by undeveloped land to the east, south, and west. The northern boundary of the project site includes a 400-foot wide, 23.7-acre, "Sand Creek Buffer Area" that

includes a portion of Sand Creek and approximately 200 feet on either side of the creek's centerline. The area immediately west of the proposed development area includes approximately 8 acres that are subject to a deed restriction that generally prevents any future disturbance of this 8 acres (dedicated open space). The east side of the project site is also generally bordered by undeveloped land. Like the project site, the adjacent undeveloped areas are subject to numerous energy and communication easements and are within the historical boundaries of the Brentwood Oil & Gas Field. Currently, there is one active oil and gas lease area (the "Shellenberger Lease"), which is located near the project site's southeastern border. Old utility access roads and existing pipelines run below ground and cross Sand Creek.

The project site is located in an area of Antioch that is rapidly transitioning from agricultural uses to residential and commercial development. The parcel directly north of the project site is the Vineyards at Sand Creek/Promenade Project Site ("Promenade Project"), a 650-unit residential development that is currently under construction. The "Aviano Development Project," which is also currently under construction is located to the northwest of the project site. To the west is a PG&E facility and privately-owned land planned for future residential development in the City of Antioch's General Plan. Figures 2 and 3 provides an aerial photograph that shows the project site features and the surrounding land uses.

3. PROPOSED PROJECT

The Creekside Project is the second phase of the Vineyards at Sand Creek Residential Community (the first phase being the Promenade Project) and includes the development of approximately 220 single-family units on the approximately 58.6-acre project site. The project will include housing, landscaped areas, roadways, and utility improvements, as illustrated on the attached exhibit entitled: *Biological Resources Analysis: Project Description Areas for Creekside*, prepared by CBG, dated November 7, 2019 (Attachment A).

The main water quality detention basin area is proposed east of the residential area, adjacent to Sand Creek. Two detention basins will collect and treat stormwater for the majority of the residential development. Treated stormwater from these two basins will flow north into Sand Creek via an outfall structure constructed on the south side of the existing outfall facility previously constructed by the Promenade Project.

A second "clean water" outfall into Sand Creek is proposed adjacent to a southern extension of Hillcrest Avenue (bridge, roadway and utilities), north of the residential area. Natural drainage from the northern portion of the adjacent western hillslope will be collected and discharged via this outfall structure. A third "clean water" stormwater outfall (dispersal point) is proposed east of the residential area, at the far southern end of the project site. Natural drainage from the southern portion of the western hillslope will be collected, treated and dispersed.

Dry utilities and water lines will be installed within the proposed Hillcrest Avenue bridge to connect to utilities in Hillcrest Avenue. A second EVA/pedestrian bridge will be constructed adjacent to and 25-feet west of the existing PG&E bridge in the northeastern corner of the site; water, sewer, and dry utilities will be attached to that EVA/pedestrian bridge to connect with existing utilities in Heidorn Ranch Road.

This development also will require offsite grading on approximately 11 acres located adjacent to the project site (“Offsite Grading Areas”). The Offsite Grading Areas, shown on Attachment A, will be contoured and hydroseeded.

4. MITIGATION

The City’s Draft Environmental Impact Report for the Creekside/Vineyards at Sand Creek Project (EIR) (City of Antioch, July 2020) found the project will impact 60.7 acres that provide suitable habitat for special status species, and that the appropriate mitigation for these impacts is the preservation, at a minimum 1:1 ratio, of suitable offsite habitat or through the purchase of species mitigation credits or by participation in the East Contra Costa County Habitat Conservation Plan and Natural Communities Conservation Plan (HCP/NCCP) if available. As described in the City’s Draft EIR, the offsite habitat must provide certain habitat qualities, such as grasslands and proximity to occupied dispersal habitat or known breeding habitat. GBN Partners, LLC is currently evaluating potential mitigation property that will satisfy the EIR mitigation measures. Consistent with the EIR, an offsite mitigation site would need to be managed to benefit a complement of known locally occurring listed species, including California red-legged frogs (*Rana draytonii*), the California tiger salamander (*Ambystoma californiense*), and San Joaquin kit fox (*Vulpes macrotis*).

5. NATURAL COMMUNITIES

The Framework identifies four natural communities within the Sand Creek Focus Area that must be considered: (1) Grassland; (2) stream and riparian; (3) chaparral, scrub and rock outcrop; and (4) oak woodland and savannah. According to the Framework, these natural communities support “umbrella” and other special status species. The Framework addresses the relationship between these natural communities and the existing preserved lands located in regional proximity to the Focus Area. Resource Management Strategies for each of the natural communities are also addressed by the Framework. Each of the natural communities, their presence on the Creekside property, and the applicability of the Framework’s Resource Management Strategies are discussed below.

5.1 Grassland Community

The Framework defines grassland communities as areas that are vegetated by both annual and perennial grasses, with lesser amounts of forbs that are commonly used as rangeland. Grassland communities include areas that have been “lightly cultivated for dryland farming in some years, which retain key ecological characteristics of grassland under this use.” The Framework excludes areas “that have been intensively cultivated in most years” from grassland communities [City of Antioch General Plan, App. A, p.4]. In the east Contra Costa County area immediately surrounding the Focus Area, the Framework recognizes relatively narrow bands of grasslands that extend west from the Altamont Pass area to the southeast of the Focus Area, through the cities of Brentwood and Antioch, and along the north flank of Mt. Diablo and into East Bay Regional Park District (EBRPD) lands to the west of the Focus Area [City of Antioch General Plan, App. A, p.4].

Habitats and species the Framework typically associates with the grassland community include a small number of vernal pools (some with vernal pool fairy shrimp (*Branchinecta lynchi*)) located

in the eastern part of the Focus Area, San Joaquin kit fox, California tiger salamander, burrowing owl (*Athene cunicularia*), and Alameda whipsnake (*Masticophis lateralis euryxanthus*) (in grasslands within several hundred feet of chaparral, scrub and rock outcrops) [City of Antioch General Plan, App. A, pp. 5-7]. The San Joaquin kit fox and burrowing owl are considered “umbrella” species by the Framework, although the Framework recognizes that the Focus Area is at the northerly edge of the kit fox’s range and the kit fox’s presence within the Focus Area would only be on an irregular basis in very small numbers. The Framework describes the distribution of burrowing owls in and around the Focus Area as variable.

Significant areas of grasslands west, northwest and south of the Focus Area have been set aside in regional parks and permanent open spaces. The Framework recommends preserving grasslands in and around the Focus Area that are connected to these existing grasslands. Within the Focus Area, the Framework classifies strategic grassland communities that should be targeted for preservation. Grasslands east of Deer Valley Road (the Creekside project site is in this area) are classified as the least important for preservation, areas in the Lone Tree Valley between Deer Valley Road and Empire Mine Road have intermediate strategic value (where adjoining land uses are urban on one side), and areas west of Empire Mine Road and in Horse Valley have the highest strategic value (where adjoining parkland and open space are preserved for natural values) [City of Antioch General Plan, App. A, p.10]. Outside of the Focus Area, the Framework recommends closing the “gap” between Cowell Ranch and Black Diamond Mines Regional Preserve by preserving the grassland community within Horse Valley and Deer Valley, and lands between those two valleys [City of Antioch General Plan, App. A, p.10].

Consistent with these recommendations, the Framework identifies the following Resource Management Strategies for Grassland Corridors in the Focus Area [City of Antioch General Plan, App. A, p.11]:

- Designate a portion of the lands in the Focus Area adjacent to EBRPD (shown on Figure 8 of the Framework) preserved lands as natural open space.
- Designate the Horse Creek watershed portion (shown on Figure 8 of the Framework) of the Focus Area as natural Open Space.
- Provide incentives to preserve linkages and corridors between EBRPD lands and existing open grasslands to the south of the Focus Area.

5.1.1 GRASSLAND COMMUNITIES AT THE CREEKSIDE PROJECT SITE

The Creekside project site has been actively farmed for more than 80 years, and does not represent a true “grassland community” under the Framework. However, it has retained some ecological characteristics of a grassland community. Although the site has been disked routinely since the 1930s greatly reducing the probability of western burrowing owl to occur, the margins of the farmed areas of the project site provides suitable habitat conditions, albeit marginal habitat, for this owl.

The site also provides potential migration habitat for San Joaquin kit fox, although the site does not provide suitable sized burrows for denning, based on surveys conducted by M&A biologists.

The closest CNDDDB record for this species was recorded in the 1970s and is located 2.75 miles south of the project site (Occurrence No. 936). However, independently conducted surveys cited in *Relative Abundance of Endangered San Joaquin Kit Fox (Vulpes macrotis mutica) Based on Scat-Detection Dog Surveys* (Smith et. al. 2006) were unable to document presence of San Joaquin kit fox in Contra Costa County, suggesting that it is likely that San Joaquin kit fox is extirpated from Contra Costa County.

The closest record for California tiger salamander occurs 0.25- mile south of the project site (CNDDDB Occurrence No. 856). California tiger salamander larvae are recorded to occur in a pond at this location. There are eight additional California tiger salamander records known from within two miles of the project site. Regardless, the project site has been disked and farmed annually since the early 1930s. Ground squirrel control has been actively practiced on the project site for decades and accordingly, subterranean refugia available for California tiger salamander is rare, at best, in the vicinity of the project site. Due to an absence of suitable refugia on the farmed project site, it does not provide suitable over- summering upland habitat for California tiger salamander. In addition, the project site supports no potential (aquatic) breeding habitat that could be used by this salamander. As such, no suitable California tiger salamander breeding or over-summering habitat will be affected by the proposed project.

The closest record for Alameda whipsnake is located 3.5 miles west of the project site (CNDDDB Occurrence No.68). The project site does not provide “core habitat” for the Alameda whipsnake (i.e., there are no chaparral and coastal scrub communities within the project site), and the closest core habitat is located approximately 3 miles from the project site. As such, no suitable Alameda whipsnake habitat will be affected by the proposed project.

As the Creekside project site is not adjacent to EBRPD lands or other preserved open space areas, most of the Resource Management Strategies listed above do not apply to the project site. However, the project will preserve linkages and wildlife corridors; Sand Creek, located just north of the project site, provides a valuable wildlife corridor with suitable cover, foraging, water resources, and migration pathways that lead to other natural habitats. Wildlife corridors are linear and/or regional habitats that provide connectivity to other natural vegetation communities within a landscape fractured by urbanization and other development. Wildlife corridors have several functions: 1) they provide avenues along which wide-ranging animals can travel, migrate, and breed, allowing genetic interchange to occur; 2) populations can move in response to environmental changes and natural disasters; and 3) individuals can recolonize habitats from which populations have been locally extirpated (Beier and Loe 1992). All three of these functions can be met if both regional and local wildlife corridors are accessible to wildlife. Sand Creek provides a local wildlife corridor for common mammals and birds such as raccoon (*Procyon lotor*), opossum (*Didelphis virginiana*), gray fox (*Urocyon cinereoargenteus*), coyote (*Canis latrans*), red-tailed hawk (*Buteo jamaicensis*), great horned owl (*Bubo virginianus*) and Nuttall’s woodpecker (*Picoides nuttallii*) among many others. Medium and large mammal movements along this creek will remain unaffected by the proposed project. Also, the diverse riparian woodland provides important avian habitat that is used seasonally by migrant species and year-round by resident birds. The project as currently proposed would not adversely impact wildlife movement corridors.

5.2 Stream and Riparian Community

The Framework defines the stream and riparian community as areas where water flows in discrete paths, ranging from small swales to substantial streams. Within the Focus Area, this community comprises less than 2% of the landscape, but is widely distributed [City of Antioch General Plan, App. A, p.7]. The stream and riparian community in the Focus Area flows from west to east, and drains to watersheds located outside of the Focus Area. Sand Creek is the primary stream community, and a portion of upper Horse Valley Creek is located in the southern extension of the Focus Area. The stream and riparian community within the Focus Area does not provide a key linkage and movement corridor for many species, but the California red-legged frog is identified as a species associated with the Focus Area's riparian community. [City of Antioch General Plan, App. A, pp.7-8].

The Resource Management Strategies for stream and riparian communities within the Framework recommends an open space corridor on both sides of Sand Creek, within which no grading or other development would occur [City of Antioch General Plan, App. A, p.14]. The Framework does not require complete avoidance of the creek or specify the size of the open space corridor, but it does suggest evaluating whether the General Plan's recommended 250 foot creek corridor (roughly 125 feet on either side of the creek centerline) is sufficient to buffer the creek from any adjoining golf and residential development.

5.2.1 STREAM AND RIPARIAN COMMUNITIES AT THE CREEKSIDE PROJECT SITE

Sand Creek flows west to east just north of the project site boundary. The creek receives urban runoff from developments to the northwest, and from a larger as yet undeveloped watershed further to the northwest. The average distance between ordinary high water marks (OHWM) in Sand Creek is 12 feet and it is approximately 70 to 150 feet wide between the top-of-banks. Sand Creek is incised approximately 20 feet down below the existing grade of the project site; it has steeply-sloped banks and a flood plain terrace near the top of banks on each side of the thalweg. Scattered riparian woodland is associated with Sand Creek. Tree species found in the riparian woodland along Sand Creek include valley oak (*Quercus lobata*), California buckeye (*Aesculus californica*), bluegum eucalyptus (*Eucalyptus globulus*), arroyo willow (*Salix lasiolepis*), and big-leaf maple (*Acer macrophyllum*). The open non-canopied habitats within Sand Creek allow for localized occurrences of herbaceous and shrubby understories. California rose (*Rosa californica*) grows in dense thickets along portions of the creek, while sneezeweed (*Helenium puberulum*), California sagebrush (*Artemisia californica*), California mugwort (*Artemisia douglasiana*), and white sweetclover (*Melilotus albus*) are scattered along the creek banks and at the water line. Annual beardgrass (*Polypogon monspeliensis*), cattails (*Typha latifolia*), brown-headed rush (*Juncus phaeocephalus* ssp. *paniculatus*), Baltic rush (*Juncus balticus* ssp. *ater*) and water cress (*Nasturtium officinale*) grow in scattered locations in the creek channel as well.

The closest known CNDDDB record of California red-legged frog is 0.70-mile west of the project site within Sand Creek (CNDDDB Occurrence No. 933). In addition, there are three additional CNDDDB records of this frog within 2 miles of the project site. Consequently, Sand Creek is regarded as occupied, and the lands adjacent to the creek including the project site constitute potential upland dispersal habitat for this frog.

The project as currently proposed would not adversely impact wildlife movement corridors since the Creekside Project will remain outside of a 400-ft wide (23.7-acre) Sand Creek Buffer Area that is subject to an existing deed restriction that will preserve the Buffer Area in its existing undeveloped condition. The two outfall structures and the two clear span bridges over Sand Creek will not impact the value of this wildlife corridor.

5.3 Chaparral, Scrub and Rock Outcrop Community

According to the Framework, the chaparral, scrub and rock outcrop community occurs on thin-soiled areas that may contain chaparral, grasses, and broadleaved herbs, or may support minimal vegetation [City of Antioch General Plan, App. A, p.8]. The rock outcrop community is generally limited to ridgetops, and excludes grassland and oak woodland or savannah on deeper soils. Within the Focus Area, this community is found primarily in the western part of the Focus Area, and otherwise extends eastward only on the ridges on either side of Sand Creek. The Framework associates the Alameda whipsnake with this community, in the southwestern part of the Focus Area [City of Antioch General Plan, App. A, p.8].

5.3.1 CHAPARRAL, SCRUB AND ROCK OUTCROP COMMUNITIES AT THE CREEKSIDE PROJECT SITE

The project site does not support a chaparral, scrub or rock outcrop community.

5.4 Oak Woodland and Savannah Community

The Framework defines the oak woodland and savannah community as typified by one or more species of oaks, and generally located on moist north-facing slopes [City of Antioch General Plan, App. A, p.9]. Non-native trees and vegetation, such as eucalyptus trees are excluded from the community by the Framework. No sensitive species are associated with the oak woodland and savannah community within the Focus Area.

5.4.1 OAK WOODLAND AND SAVANNAH COMMUNITIES AT THE CREEKSIDE PROJECT SITE

There are a number of eucalyptus and other non-native trees on the project site. Scattered riparian woodland is associated with Sand Creek, an intermittent creek that runs west to east along the northern project site's border. Tree species found in the riparian woodland along Sand Creek include valley oak (*Quercus lobata*) trees, among other riparian species. However, there are no oaks on the site, and it does not support an oak woodland and savannah community.

6. MITIGATION FOR IMPACTS TO NATURAL COMMUNITIES

As described in the Framework, impacts to natural communities and their associated special status species from development within the Sand Creek Focus Area is unavoidable [City of Antioch General Plan, App. A, p.11]. However, the magnitude or intensity of the impact from development with the Focus Area is not uniform across the Focus Area. The Framework designates the land within the Focus Area into one of three "Impact Zones" (Zone 1, Zone 2, Zone 3) [City of Antioch General Plan, App. A, pp. 13, and shown on Figure 9 of the Framework].

The Framework recommends in-kind mitigation, with a minimum 1:1 mitigation ratio. By way of example, the Framework explains that mitigation for impacts to California tiger salamander breeding and over-summering habitat "would be required to preserve grassland habitats that

support conditions for the tiger salamander in an amount that is equal to or greater than the acreage of the impacted site. Conversely, if the tiger salamander was absent from that site, the preservation lands would not need to contain the specific habitat values for this species” [City of Antioch General Plan, App. A, p.3].

The Framework also recognizes the value of preserving higher quality habitat. Zone 3 lands will generally require the most mitigation, and similarly, the preservation of Zone 3 lands will be given additional mitigation credit, or value, and less mitigation may be required to encourage the preservation of Zone 3 habitats.

These mitigation goals are reflected in the Framework’s Resource Management Strategies for Key Grassland Sensitive Resources in the Focus Area [City of Antioch General Plan, App. A, p.12] which encourage:

- Sufficient mitigation for impacts resulting from individual development proposals to adequately protect the habitat of key grassland sensitive resources.
- Carefully tailored mitigation to reflect the relative importance of the specific lands proposed for development.
- Incentives to encourage the purchase of mitigation lands in those areas deemed to be of greater strategic importance to maintaining the integrity of the grassland resources in the region.

The Resource Management Strategies for the Stream and Riparian Community encourage off-site compensatory mitigation for impacts to Sand Creek, particularly on lands designated for grassland community mitigation [City of Antioch General Plan, App. A, p.14].

The Creekside project site is designated as Impact Zone 1, which generally requires the least mitigation (1:1 in-kind mitigation). As described above, the proposed project will impact approximately 60 acres of marginal grassland community ecological characteristics, but nonetheless does provide suitable upland dispersal habitat for the California red-legged frog, suitable habitat for California tiger salamander, and potential migration habitat for the San Joaquin kit fox.

Under the Framework, mitigation for the project’s permanent impacts to grasslands should consist of approximately 60.7 acres of land of the same ecological value.

In accordance with the EIR, the project will preserve ecologically suitable mitigation property, at a minimum 1:1 ratio, or secure habitat mitigation credits or participate in the HCP/NCCP if available, prior to the start of construction. The mitigation site will be managed to benefit a complement of known locally occurring listed species, including California red-legged frogs, the California tiger salamander, and San Joaquin kit fox.

7. MANAGEMENT OF PRESERVED LANDS

Once lands have been identified for preservation, the Framework recommends preparing a site-specific management plan that addresses the site's key sensitive species, permitted activities (e.g., cattle grazing, new trails in the future), grazing management (if applicable), activities that will not be permitted on the site (such as use of rodenticide, dicing, recreational activities that would require substantial alteration of the habitat, etc.), and the funding mechanism (such as an endowment) to pay for the site's long-term management.

The EIR is consistent with this recommendation, and if mitigation credits are not used, a conservation easement granted to a qualified conservation organization will be recorded over suitable mitigation property, a habitat management plan will be prepared and submitted to the City, and an endowment will be established to pay for the long-term management, maintenance, and monitoring of the mitigation site as described in the City's EIR. Management and monitoring within the mitigation site is likely to include invasive species monitoring (only those species categorized as "high" invasiveness by CAL-IPC) and vegetation management to control such invasive species, grazing to manage vegetation height and abundance, trash removal, fencing maintenance, and special-status species surveys. The habitat management plan will specify the habitat objectives the plan is intended to achieve, a monitoring schedule, the contents and frequency of any monitoring reports. Allowed and prohibited uses, such as when and where the application of pesticides is permitted and prohibited, areas where grazing is not permitted, and other site-specific actions will be addressed in the plan, and in the conservation easement. The conservation easement will also address prohibited activities, such as, commercial or industrial uses, construction and other ground disturbing activities, mining activities, subdivision of the site, removing vegetation other than for habitat management purposes, and most recreational or agricultural activities.

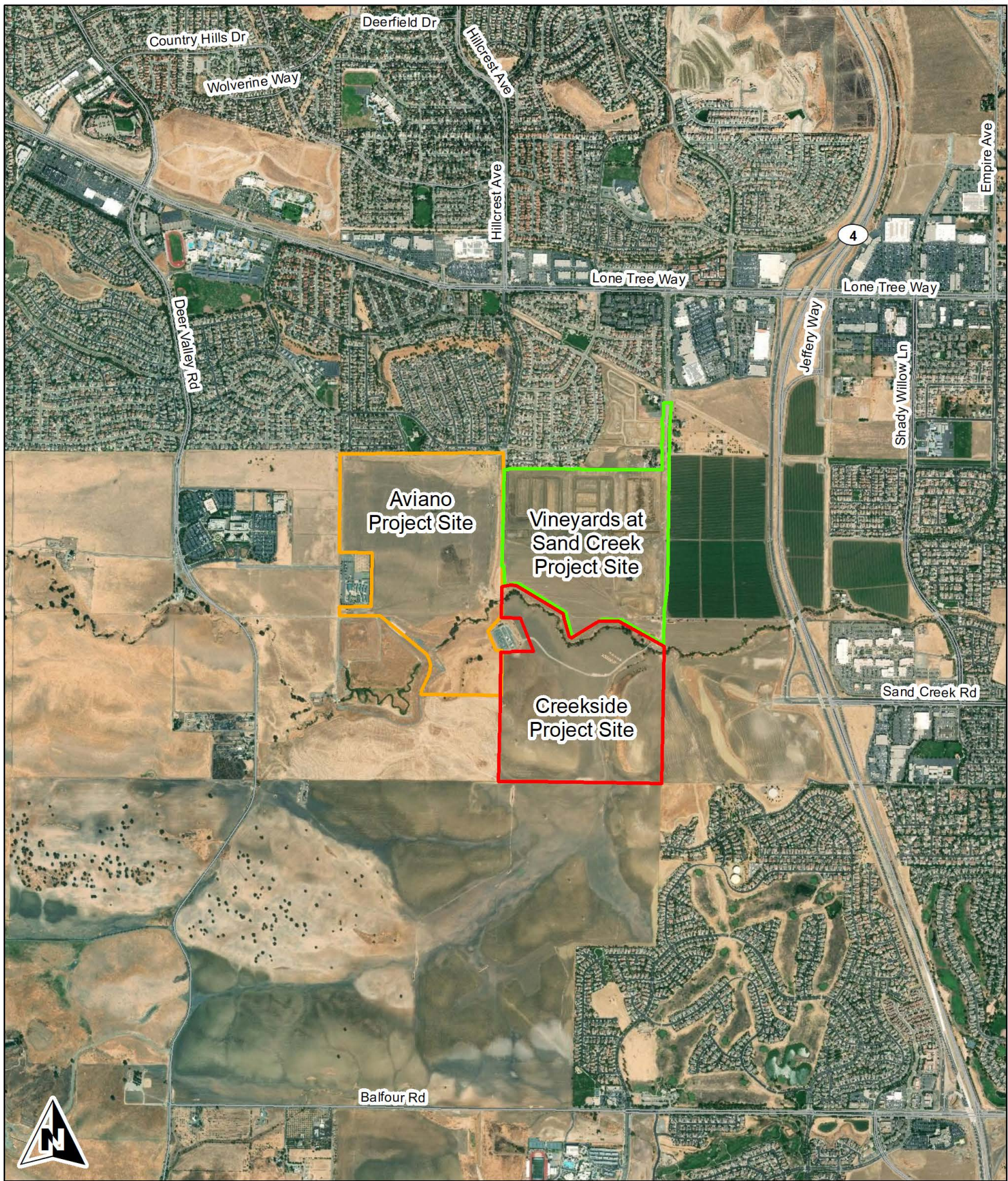
The plan will include sufficient information to determine the cost of implementing the short-term and long-term management and monitoring actions. The project proponent will establish an operational, non-wasting endowment that will provide the Grantee, or other approved land manager with sufficient funds for implementing the plan.

8. LITERATURE CITED

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Figure 1. Creekside Project Site
Regional Map
Antioch, California

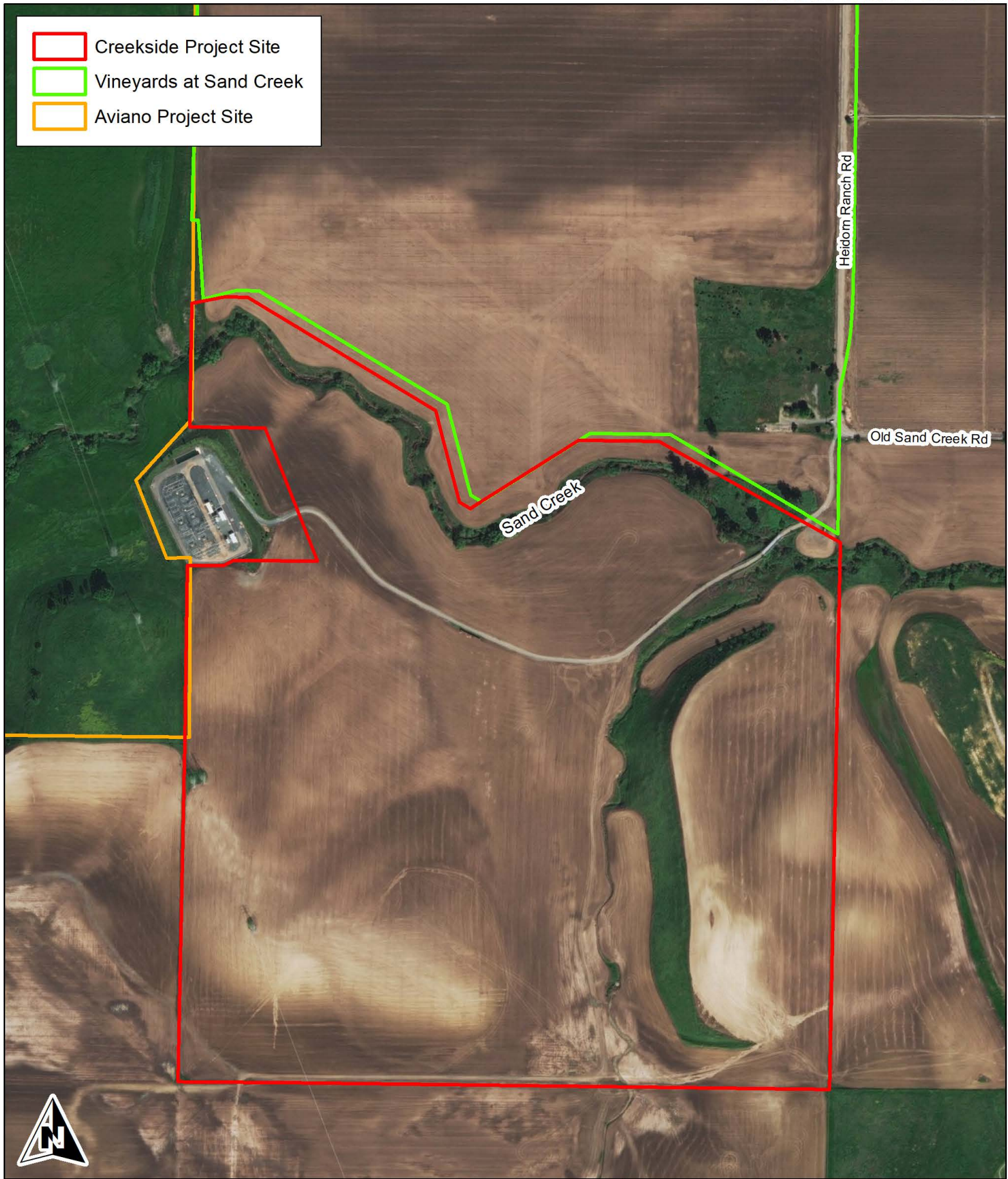


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Figure 2. Creekside Project Site
Location Map
Antioch, California

37.943112 -121.755134
7.5-Minute Antioch South quadrangle
Section 9: T1N R2E
Aerial Photograph Source: ESRI
Map Projection: NAD 83, October 28, 2019

D49



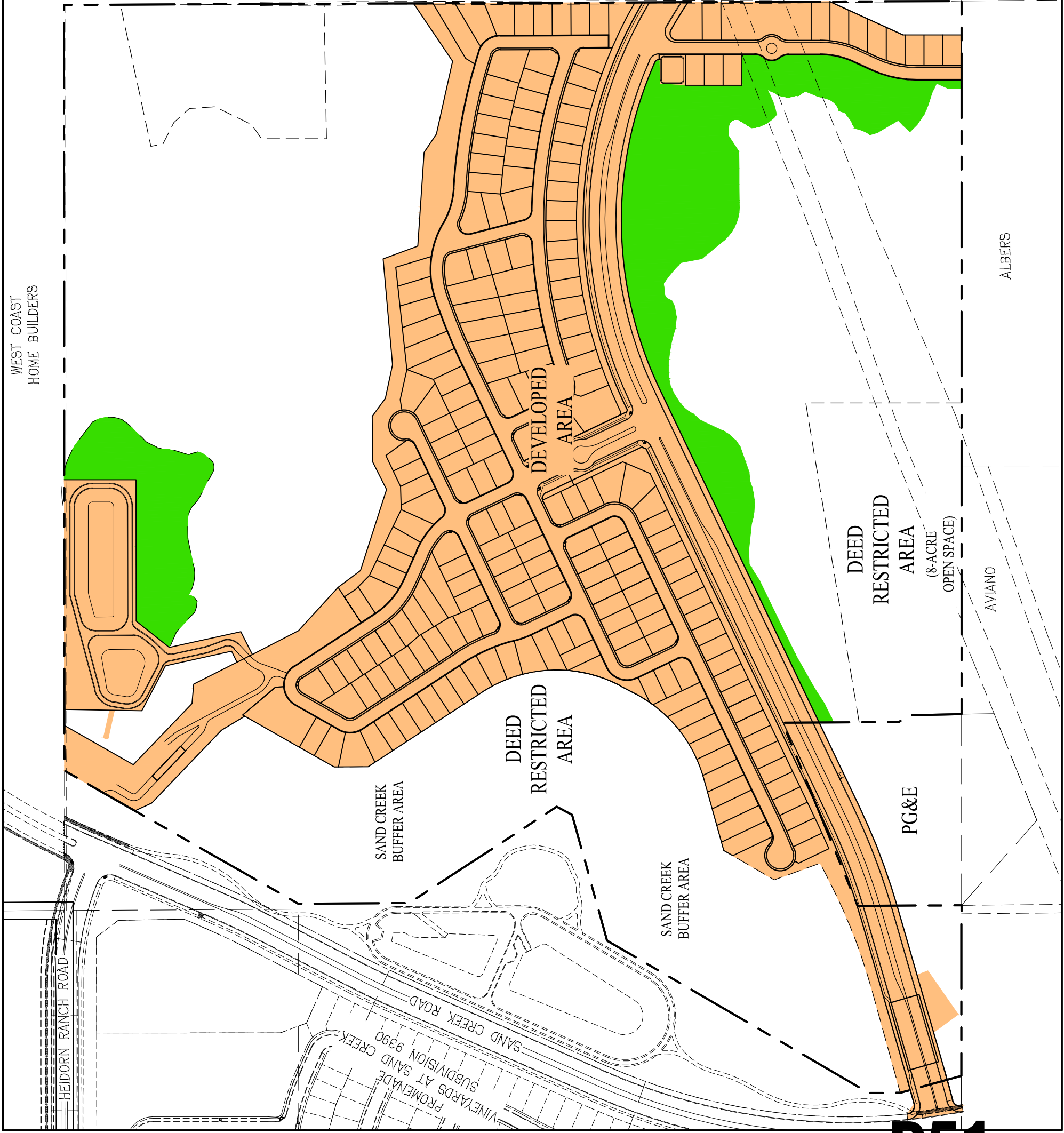
Monk & Associates
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Figure 3. Aerial Photograph of the
Creekside Project Site
Antioch, California



Aerial Photograph Source: ESRI
Map Projection: NAD 83, October 28, 2019

D50

WEST COAST
HOME BUILDERS

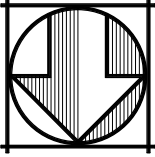


LEGEND

-  OFFSITE (NO IMPACT) (58.3 AC)
-  OFFSITE GRADING/
TEMPORARY IMPACT (11.0± AC)
-  DEED RESTRICTED AREA (31.7± AC)
-  DEVELOPED AREA (58.6± AC)

**BIOLOGICAL RESOURCES
ANALYSIS:
PROJECT DESCRIPTION AREAS
CREEKSIDE**

CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA
DATE: NOVEMBER 7, 2019 SCALE: 1"=300'



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ATTACHMENT E

STAFF REPORT TO THE CITY OF ANTIOCH PLANNING COMMISSION FOR CONSIDERATION AT THE MEETING OF DECEMBER 5, 2018

Prepared by: Cindy Gnos, Contract Planner 
Approved by: Alexis Morris, Planning Manager 
Date: November 30, 2018
Subject: Preliminary Development Plan for the Creekside Vineyards Project

RECOMMENDATION

It is recommended that the Planning Commission provide feedback to staff regarding the proposal and to provide direction to the applicant for the Final Development Plan submittal.

REQUEST

The applicant is requesting a preliminary development plan review of a proposal to develop approximately 220 single-family units on approximately 50 acres of a 158-acre site. The project site is located in southeast Antioch in the Sand Creek Focus Area of the Antioch General Plan. The site is currently zoned Study District (S) and identified by the following Contra Costa County Assessor's Parcel Number (APN): 057-050-024.

The purpose of a preliminary plan is to gather feedback from the Planning Commission and others in order for the applicant to become aware of concerns and/or issues prior to final development plan and tentative map submittal. As a standard practice, preliminary plans are not conditioned; rather a list of needed items, information, and issues to be addressed is compiled for the applicant to address prior to a final development plan hearing.

ENVIRONMENTAL

Preliminary plan review is a non-entitlement action and does not require environmental review. The final development plan and other entitlements associated with the application would require compliance with the California Environmental Quality Act (CEQA). The appropriate CEQA document will be determined at the time of application submittal and preparation of an Initial Study checklist.

BACKGROUND

The subject site is within the 2,700-acre Sand Creek Focus Area located in the southern portion of the City of Antioch, and as shown on the City's General Plan Land Use Map.

The General Plan anticipates this Focus Area to evolve into a large-scale planned community that provides a mix of housing and commercial opportunities. In 2016, the Vineyards at Sand Creek project was approved to the north, including development of up to 650 single-family residential units on 141.6 acres. The Vineyards at Sand Creek project included an amendment to the General Plan text and land use designations, among other entitlements. To the northwest of the project site, the Aviano project was approved in 2015 to allow a conversion from senior to standard single-family residential uses to allow 533 units on 184 acres. Further west, The Ranch project adopted by initiative in 2018, amended the General Plan and zoning to allow approximately 1,177 new single-family units, a retail village, fire station, and parks/open space/trails on approximately 1,852 acres.

ANALYSIS

Issue #1: Project Overview

The preliminary plan for the proposed project consists of 220 single family homes in a gated community on approximately 50 acres of a 158-acre site south of the future Sand Creek Road. The average density of the residential development would be approximately 4.6 units per net acre (1.4 units per gross acre). The development could either accommodate market rate or age-restricted units.

The proposed project includes an extension of Hillcrest Avenue from the future Sand Creek Road through the project site at the base of the western hill to the southern property boundary adjacent to the Ginocchio Focus Area of the General Plan. A bridge over Sand Creek would accommodate the Hillcrest Avenue extension. Two gated entrances are proposed accessing the western portion of the site, with one being just south of Sand Creek and the other approximately mid-point of the development. An additional gated access is proposed to access the 21 homes proposed east of Hillcrest Avenue.

The preliminary plans show the project site arranged into three main phases. Phase one includes the lots east of Hillcrest Avenue and north of the main entry, including the community use site. The second phase would include the residential lots east of Hillcrest Avenue and south of the Main Entry. The third phase includes the residential lots east of Hillcrest along the site's southern boundary, and a small park beneath the PG&E tower easement.

The proposed project includes lot sizes and development standards consistent with the approved Vineyards at Sand Creek project to the north. Two lots sizes are provided, including 50 x 90 foot lots in the northern portion and 55 x 90 foot lots in the southern portion. The proposed project also includes a community use site that is sized to accommodate a small multi-purpose building and pool area. In addition, a small park area is proposed at the southern end of the site. A pedestrian connection to the Sand Creek Trail on the north side of Sand Creek is proposed to be provided by using the existing PG&E bridge crossing Sand Creek near the terminus of Heidorn Ranch Road.

A water quality/detention basin would be provided on the eastern portion of the site with an enhanced drainage area along the eastern portion of the single-family homes at the base of the hill.

The project site has significant constraints. Sand Creek is the site's northerly boundary and significant hills exist on the east and west sides of the site. A natural drainage area exists at the base of the eastern hill that collects and conveys rainfall to Sand Creek. In addition, a PG&E tower easement is located across the hill on the west, as well as additional energy and communication easements. Previous and existing pipelines run below ground and cross Sand Creek and the natural drainage area in a number of locations. A PG&E facility is located west of the proposed Hillcrest Avenue extension. An 8-acre open space easement is also located on the western hill.

The future project entitlements would include a CEQA document, a General Plan Amendment, a Master Development Plan, Final Development Plan and Planned Development Rezone, a Resource Management Plan, a Tentative Map, a Use Permit, Design Review, and a Development Agreement.

Issue #2: Consistency with the General Plan

The General Plan currently designates the project site as Open Space/Senior Housing. The Sand Creek Focus Area notes that senior housing may consist of Single Family Detached, Small Lot Single Family Detached, or Multi-Family Attached Housing. The applicant is requesting the Senior Housing designation be replaced with a Medium Low Density Residential (MLDR) designation in order to allow either senior housing or market rate.

The Sand Creek Focus Area Policy 4.4.6.7(b)(n) states that Single-Family Detached housing within suburban-style subdivisions with lot sizes ranging from 7,000 square feet to 10,000 square feet may be developed within the Sand Creek Focus Area within areas shown as Residential and Low Density Residential. Policy 4.4.6.7(b)(p) encourages the development of age-restricted senior housing which may be developed in any of the residential areas of the Sand Creek Focus Area. The proposed project includes lots ranging from 4,500 to 5,160 square feet and is not restricting the development to senior housing. Therefore, the proposed project would require a General Plan Amendment to change the land use designations of the site from Open Space/Senior Housing to MLDR. The Sand Creek Focus Area did not include a MLDR designation as a single-family detached residential designation; however, one was created for the Vineyards at Sand Creek project to the north.

MLDR is characterized in the General Plan as a typical subdivision, as well as other detached housing such as zero lot line units and patio homes. Areas designated as MLDR are typically located on level terrain with relatively few geological or environmental constraints. The maximum allowable density is six dwelling units per acre. According to the preliminary plan for the proposed project, the density is 4.6

dwelling units per acre, which is under the maximum density allowed under the MLDR General Plan designation.

According to the General Plan, achievement of maximum densities within the Sand Creek Focus Area is not guaranteed nor implied. The final density is determined by development design, any onsite constraints such as physical or environmental, available infrastructure, and other factors.

The Vineyards at Sand Creek project to the north contains similar lot sizes and density to the proposed project and is being built out with a combination of age-restricted and market rate single family homes. The small lot sizes and density was accomplished through a General Plan Amendment applying the MLDR designation to the project site. The Aviano project to the northwest, similarly has small lot single family with lots a minimum of 5,000 square feet. The Aviano project was consistent with the General Plan when the development was proposed for senior housing; however, when the applicant requested removal of the senior housing for the project, a General Plan Amendment was required to allow the small lots for market rate single family housing in the Low Density Residential land use designation.

The two approved projects in the Sand Creek Focus Area were not consistent with the land use and intent of the General Plan and development was facilitated with General Plan Amendments. The proposed project is consistent in density and lot size with the other two projects. The Planning Commission should consider whether the continuation of the small lot market rate single family units is appropriate for this site.

It should also be noted that the General Plan includes standards for police staffing in the City, which are currently not met. Adding residents to the City creates a new demand for Police services, which will need to be addressed in the project's submittal. Currently, residential projects have been conditioned to participate in a funding mechanism to address this deficiency based upon the project's impact. In addition, the future application submittal will need to conduct a fiscal impact analysis due to the required General Plan Amendment.

Other General Plan policy consistency issues are discussed within each of the topic areas below.

Issue #3: Site Plan

The preliminary proposal consists of a 220 small lot single-family unit subdivision on approximately 58 acres of a 158-acre site. The residential development would be located south of the future alignment of Sand Creek Road and mostly east of an extension of Hillcrest Avenue.

The project would require the approval of a Final Development Plan and Planned Development (PD) Rezone. The Final Development Plan and PD District would list the development standards applicable to the project site, including setbacks, lot sizes, and

building heights. The applicant has indicated that the development standards and design guidelines would be similar to the Vineyards at Sand Creek project to the north.

Sand Creek

The proposed project includes the required setback from Sand Creek. The lots, however, back on to the creek area and other than a pedestrian crossing at Heidorn Ranch Road, the creek amenity is ignored. Staff recommends that the subdivision be reoriented to take advantage of the amenity. This could be accomplished with a street fronting the creek allowing a view from the subdivision to the creek. At a minimum, a portion of the streets should be adjacent to the creek to allow view corridors to the amenity. Another option is to move the community use site or park to a location adjacent to the creek, possibly at the trail connection to allow maximum enjoyment of the creek and increased use of the trail.

Block length

According to the City of Antioch's Residential Design Guidelines for single-family residential, the length of blocks within single-family subdivisions should be between 300 and 400 feet. According to the Zoning Ordinance (9-4.204) the length should not exceed 1,000 feet. The two areas along Hillcrest Avenue exceed 1,000 feet in length. Staff recommends relocating the A Street entrance to mid-block, breaking up the 1,200-foot block length. This is especially needed on small lots because the ability to stagger setbacks of the homes is reduced on 90-foot-deep lots. The current design would result in a long row of homes backing onto Hillcrest Avenue with little variation, which is not consistent with the Design Guidelines. The extended block south of the main entrance has a slight curve to the street which may serve to help break up the long block; however, staff recommends alternative design solutions be explored.

Hillcrest Landscape Setback

Typically, a 30-foot landscape setback is provided along arterials between the right-of-way and the subdivision wall. The applicant is proposing 20 feet along Hillcrest Avenue. The Vineyards at Sand Creek project to the north included a 20-foot setback along Hillcrest Avenue and Sand Creek Road, and a 37-foot setback along Heidorn Ranch Road.

The grading plan indicates a 4-foot retaining wall at the back of the lots on Hillcrest Avenue. Cross-sections should be provided to show how the masonry wall, landscaping, street, and proposed residential unit interface.

I Street

The proposed project includes 21 lots west of Hillcrest Avenue at the southern portion of the site. These lots appear to require significant grading. If these lots continue to remain part of the project, staff recommends that they be created as view lots to take advantage of the topography and view to the south. The submitted plans also show a narrow strip of undeveloped land immediately south of the proposed lots. Staff would recommend removal of this strip or the application shall describe the intended use and maintenance of the difficult to access area.

Issue #4: Grading

The submitted preliminary grading plan appears to include significant grading on the western hill to accommodate Hilcrest Avenue and the homes along I Street. Based on the preliminary plans submitted, staff cannot determine compliance with the Hillside Development Policies of the General Plan. Section 5.4.14 of the General Plan outline the different types of grading allowed on slopes less than 25 percent, between 25 and 35 percent, between 35 and 50 percent, and greater than 50 percent. The future application submittal should include a colored slope map which indicates which portions of the site are within the ranges of slopes described above. In addition, the application shall include a written description of the project's compliance with the Hillside Development Policies. All retaining walls shall be shown on the plans.

Issue #5: Open Space and Parks

The preliminary site plan includes two useable open space areas. One is a community use site which is intended to accommodate a small multi-purpose building and pool area. The second is along I Street at the southern end of the property which is intended to accommodate a dog park and/or bocce courts. The submitted plans do not give the sizes of these two useable open space areas, but it appears to total less than one acre. According to Section § 9-4.1004 of the Antioch Municipal Code, the amount of land to be dedicated for parks is based on the average number of persons per dwelling unit multiplied by the standard of 5.0 acres per 1,000 persons. At 220 single-family dwelling units, a minimum of 3.3 acres of parkland must be included in the proposed project (0.015 average requirement per dwelling unit x 220 dwelling units = 3.3 acres). The proposed project includes a significant amount of open space; however, the amount of useable open space appears to be less than an acre. The future application submittal should detail the acreage for useable open space.

It should also be noted that the proposed useable open space is within a gated community and would be private open space. Antioch Municipal Code Section § 9-4.1010(A) outlines how private open space can offset the parkland dedication requirements. Therefore, in addition to the private parkland included in the proposed project, the payment of parkland dedication in-lieu fees will be required consistent with Code.

As noted above, staff recommends the community use site and/or park be located adjacent to the creek near the trail connection to allow maximum enjoyment of the creek amenity and increased use of the trail. Consideration should also be given to increasing the size of usable open space for the subdivision.

The project also includes a drainage area at the base of the eastern hill. Portions of the drainage area are visible from B Street and D Street. The remainder of the drainage

area has lots backing on to it which will contain view fences. The applicant has indicated the drainage area would include shade trees and benches along the neighborhood sidewalks. A detailed plan will need to be submitted with the application in order to understand where the trails and benches are located to ensure maximum use and visibility.

PG&E currently has a creek crossing and an access road starting at Heidorn Ranch Road for access to their site located to the west near Hillcrest Avenue. The applicant is proposing to use this creek crossing and access road as a trail connection for the subdivision's access to the public trail on the north side of Sand Creek. As part of the application submittal, PG&E will need to sign off on the applicant's proposed use of the PG&E facilities.

The hillside areas to the east and west of the project site would remain undeveloped. The applicant has indicated that the areas will continue to remain in dry-farmed agricultural production. Upon submittal of the future development application, staff requests the applicant provide additional detail for the use and on-going maintenance of the undeveloped areas. If it continues to be dry-farmed, access should be described as well as the interface with the proposed residential units. The discussion should also detail fire prevention measures proposed. In addition, the submitted application should include a description of the purpose of the deed restriction for the 8-acre parcel on the western hill.

Issue #6: Circulation

As described above, the preliminary site plan shows two gated entrances into the eastern portion of the project and one gated entry to the western portion of the site. These entrances from Hillcrest Avenue to the eastern portion of the site would require a right-turn lane to prevent queuing onto Hillcrest Avenue. The entrances need to be redesigned to allow a six to eight vehicle cue for the gate. In addition, the entrance needs to be double wide to allow a vehicle to pass at the control panel. The proposed application shall include the gate swings on the plans to allow staff review for adequacy. In addition, as noted above, the entrances should be relocated to break up the long blocks along Hillcrest Avenue. In addition, as noted below, staff recommends the gated entrance to the western portion of the site be removed and a public street constructed.

The applicant has located the Hillcrest Avenue extension at the base of the western hill. Hillcrest Avenue right-of-way is shown to cross the property owned by PG&E. PG&E will need to be a signatory on the development application in order to ensure that they are in agreement with the location of the proposed roadway right-of-way on their property.

Hillcrest Avenue is proposed to connect to the Ginochio Focus Area to the south. The Ginochio Focus Area is located south of the Sand Creek Focus Area and is currently unincorporated in Contra Costa County. Based upon the location of the Ginochio Focus Area, should the area be annexed, it could be located in either Brentwood or Antioch.

Hillcrest Avenue could extend further south to Balfour Road in Brentwood if the Ginochio Focus Area is ever developed. Staff recommends the applicant coordinate with Brentwood to confirm the plan for the connection to the south. In the interim, because the connection to the south could be a long time in the future, staff recommends that the terminus of Hillcrest Avenue be designed with an adequate turnaround until such time that the roadway extends south.

Staff also recommends that the proposed I Street extend to the Albers property to the west in order to maximize circulation in the area. I Street would need to be widened to a minor collector (40 feet) and be a public street; therefore, the residences could not be gated. I Street should also be located along the south property line to create the view lots and remove the narrow undeveloped strip as discussed above.

The end of G Street at the landscape area of Hillcrest Avenue should be redesigned to include a hammerhead/elbow or right-out exit only onto Hillcrest Avenue. In addition, it should be located along the south property line to create view lots and remove the narrow undeveloped strip of land, similar to I Street.

The applicant has noted that the internal streets would have parking on both sides, but sidewalks on only one side of the street. This could be considered for a gated community, and is what was approved for the Vineyards at Sand Creek development to the north. Planning Commission should give consideration whether sidewalks should be provided on both sides of the street to meet City standards.

The Zoning Ordinance requires unrestricted access to the rear yard for recreational vehicles (RV) for 25 percent of single-family lots. The proposed preliminary site plan makes it difficult to provide the required number of RV parking spaces. Requiring RV parking may not be practical for this type of development and could be appropriately excluded by prohibiting RV parking in the development's Covenants, Codes and Restrictions (CC&Rs). Prohibiting RV parking is consistent with other approved subdivisions with similar constraints, including Vineyards at Sand Creek to the north. The ultimate PD zoning would include any variation from these development standards; therefore, the Commission would have the ability to allow flexibility with RV parking for this project.

Issue #7: Infrastructure

The developer is required to provide all infrastructure necessary to serve the site, including utility tie-ins such as water, streets, sanitary sewer, and storm drainage systems. The proposed project includes extending water to the project site by an extension of the 16-inch trunk line in Hillcrest Avenue. The waterline would potentially be looped back to a Heidorn Ranch Road line via a connection over Sand Creek adjacent to the PG&E bridge.

Sewer service would be provided by an extension of the 24-inch line from the Vineyards at Sand Creek project to the north over Sand Creek at the PG&E bridge.

Storm drainage from the developed portions of the project site will be directed to a proposed detention/water quality basin on the eastern slope and flow into San Creek via an outfall structure constructed within the south side of the outfall facility constructed by the Vineyards at Sand Creek project. The basin would provide mitigation for detention, water quality, and hydromodification. The drainage from the western hill will be caught prior to it reaching Hillcrest Avenue and be directed to a new outfall next to the Hillcrest Avenue bridge. Drainage from the eastern hill would remain undisturbed and be allowed to continue draining naturally into the enhanced drainage area at the base of the slope. Staff is concerned about the feasibility of an upslope drainage basin and would need more details to confirm that it will meet stormwater requirements. A detailed drainage report and stormwater control plan should be submitted with the future development application. In addition, details regarding access to the basin for maintenance should be provided.

The maintenance of the utilities within the internal private streets will be addressed in the tentative map conditions of approval and the development agreement.

Issue #8: Architecture, Landscaping and Walls

The applicant has not included any architecture, detailed landscaping, or wall designs with this preliminary plan application. The City's Design Guidelines for single-family residential discusses having entries that incorporate special paving, architectural elements, and landscaping to set the overall tone for the community's character. In addition, the City's Design Guidelines promote high quality architectural design for single-family residential units including: windows, doors, entries with front porches; roof and upper story details; garages; and building materials and finishes. Staff recommends that the future application submittal comply with the Design Guidelines to ensure high quality design.

Issue #9: Other Issues

Outside Agency Comments

To date, staff has received no comments from outside agencies.

Issued #10: Conclusion

The purpose of a preliminary plan is to gather feedback from the Planning Commission and others in order for the applicant to become aware of concerns and/or issues prior to Final Development Plan submittal. As standard practice, preliminary plans are not conditioned; rather a list of needed items, information, and issues to be addressed is compiled for the applicant to address prior to a final plan hearing. Staff suggests the following, along with any issues brought up by the Planning Commission, be considered by the applicant.

Policy Discussion by the Planning Commission

- Consideration of the General Plan Amendment to change from senior housing to allow small-lot market rate housing.

Modifications to the Project Design

- Take maximum advantage of the Sand Creek amenity.
- Relocate useable open space to adjacent to Sand Creek and the proposed trail connection.
- Break up the long block lengths.
- Increased landscaping along Hillcrest Avenue.
- Incorporate I and G Street view lots.
- Redesigned entrances on Hillcrest Avenue.
- Interim turnaround area at terminus of Hillcrest Avenue.
- I Street as a public minor collector and extended to Albers property to the west.
- Redesigned terminus of G Street.
- Consideration of sidewalks on both sides of internal streets.

Items to be Submitted with the Future Development Application

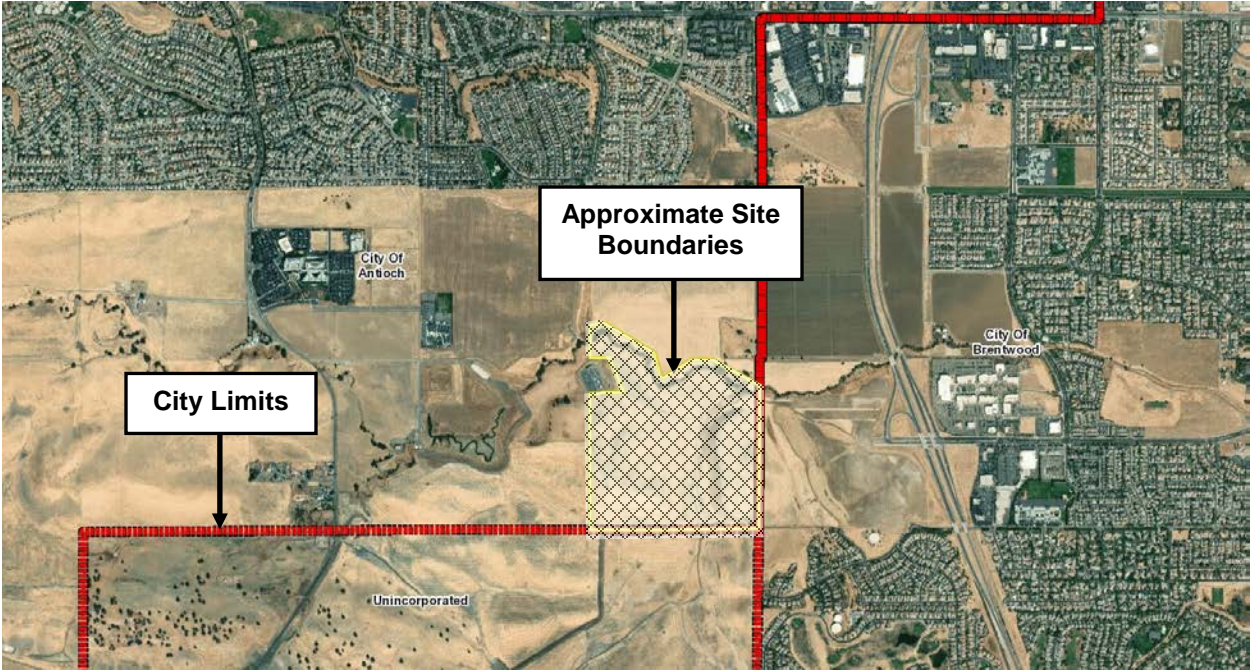
- Fiscal impact analysis.
- Visual and written compliance with Hillside Development Policies.
- Detailed description of parks and trails, including as they relate to enhanced drainage area.
- Description of open space areas, access, maintenance, and fire prevention.
- Coordination with PG&E.
- Coordination with City of Brentwood on future Hillcrest Avenue and Balfour Road connection.
- Detailed drainage report and stormwater control plan.

ATTACHMENTS

- A. Project Vicinity Map
- B. Sand Creek Focus Area General Plan Map
- C. Applicant's Creekside – Vineyards at Sand Creek Project Description
- D. Creekside Conceptual Site Plan
- E. Creekside Preliminary Grading Plan
- F. Creekside Landscape Concept

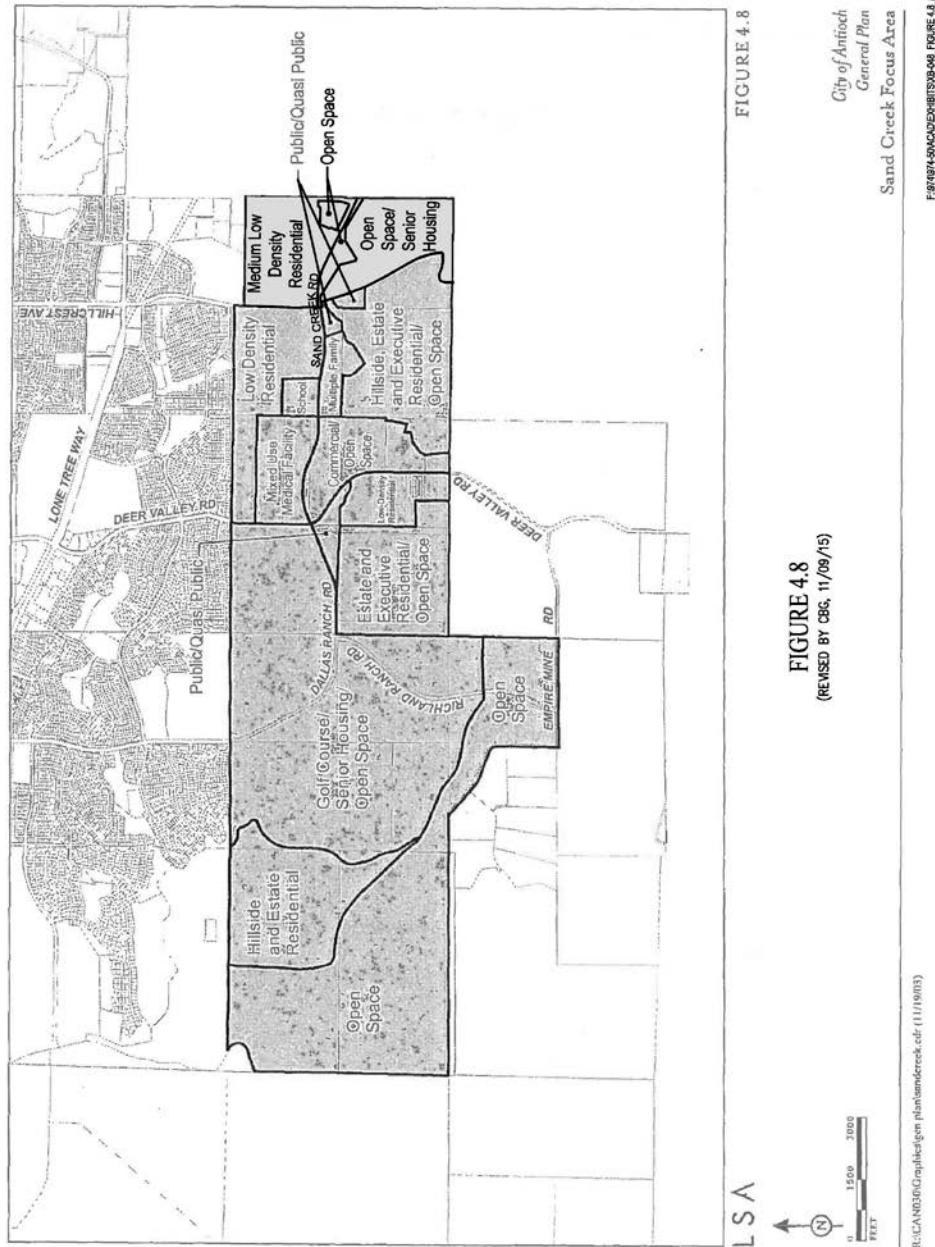
ATTACHMENT “A”

PROJECT VICINITY MAP



ATTACHMENT “B”

Figure 4.8: Sand Creek



ATTACHMENT “C”

“Creekside – Vineyards at Sand Creek” Project Description

A. PROJECT SITE

1. Location

The approximately 158-acre **Creekside/The Vineyards at Sand Creek Project** is a continuation of the Promenade/Vineyards at Sand Creek Project approved by the City of Antioch in 2016, and is located in southeast Antioch in the Sand Creek Focus Area of the Antioch General Plan. The City of Antioch is located in eastern Contra Costa County and is bordered to the north by the San Joaquin River Delta; to the east by the City of Brentwood and the City of Oakley; to the west by the City of Pittsburg and unincorporated portions of the County; and to the south by unincorporated portions of the County.

2. Surrounding Land Use

The project site is currently undeveloped and adjacent to entitled yet undeveloped residential land uses including Promenade/Vineyards at Sand Creek residential project to the north, and the Aviano residential project to the northwest. Additionally, Sand Creek and a deed-restricted buffer from Sand Creek borders the northern boundary of the project site. Sand Creek is a deeply incised channel, with its top of bank defined by a change in elevation of 14-feet – from the 150 contour to the flowline at the 136 contour. To the east are undeveloped parcels in the City of Brentwood, planned for future residential development, to the south is undeveloped dry-farmed land outside Antioch’s Sphere of Influence and Planning Area, and to the west is a PG&E facility and privately owned land planned for future residential development in the City of Antioch’s General Plan.

3. Site Characteristics

The project site consists of both on-site (referred to as the “Project Site”) and off-site impact areas. These areas are described in detail below.

- a. **Project Site.** The 158-acre proposed Creekside/VSC project site is comprised of one undeveloped parcel (APN 057-050-024). The site is generally rectangular, however the northern boundary shifts north and south in an irregular shape, following the alignment of Sand Creek. The site’s terrain is characterized by a flat valley bordered by hill forms on the west and east side. Elevations onsite range from 150 to 325 feet above mean sea level. The central flat area topography falls from southwest to northeast at approximately 1 to 2 percent slope. A shallow area exists at the base of the eastern hillslope and appears to collect local natural drainage during rainfall events, draining into Sand Creek. Sand Creek, a tributary of Marsh Creek, flows in a northeasterly direction and is on the Project Site, but north of the proposed Project Site improvements. The Project Site has been dry-land farmed since the 1930s and consists primarily of non-native vegetation. At least nine energy and communication easements exist on the Project Site, affecting the western and eastern portions of the Project Site, and the southern boundary. Previous and existing, pipelines run below ground and cross Sand Creek and the natural drainage area in a number of locations.
- b. **Off-Site Impact Areas.** The proposed project includes two off-site impact areas. Both affect the Promenade/VSC Project site to the north, and were anticipated with that previous approval.

The first off-site impact area facilitates the construction of an extension of Hillcrest Avenue (112-foot right of way) to create a new intersection with the planned Sand Creek Road. Improvements would include roadway and utility connections for approximately 100 feet. These improvements (i.e. Hillcrest Avenue roadway, utilities) would affect approximately 0.25 acres off-site. This off-site area is primarily flat and located north of the Creekside/VSC Project, on the Promenade/VSC Project site. Hillcrest Avenue in this location is identified in the City General Plan, and its alignment has been very carefully planned to span Sand Creek at the least impactful location, and provide permanent access to the existing PG&E facility and beyond.

The second off-site impact area facilitates the construction of sewer and water connections across Sand Creek near Heidorn Ranch Road. The Promenade/VSC Project proposes to extend these utilities and their easements (located west of Parcel E, Subdivision 9360) to the south of the ultimate Sand Creek Road right of way. The Creekside/VSC Project will extend these utilities further south to the Project Site, crossing Sand Creek adjacent to the existing PG&E bridge.

4. Land Use Designations

The Project Site is within the 2,700-acre Sand Creek Focus Area located in the southern portion of the City of Antioch, and as shown on the City's General Plan Land Use Map. The General Plan anticipates this Focus Area developed into a large-scale planned community that provides a mix of housing, commercial and open space opportunities.

The General Plan designates the majority of the Project Site as "Open Space/Senior Housing" The Senior Housing residential Policy "q" states that "senior housing may consist of Single Family Detached, Small Lot Single Family Detached or Multi-Family Attached Housing...". These housing types describe a range of lot sizes permitted including a maximum density of 20 du/acre (MFAH 40 persons per acre), to lots smaller than 7,000 SF (SLSFD 14-18 persons per acre), to lots ranging between 7,000 to 10,000 SF (SFD 8-12 persons per acre).

The Project Site is zoned (S) Study District and the adjacent off-site areas are zoned PD on the Antioch Zoning Map. The Study District zoning is intended as an interim designation, until all land use studies are completed for a development project.

B. PROJECT RESIDENTIAL OBJECTIVE

Similar to the Promenade/VSC Project, the proposed Creekside/VSC project would develop a private gated residential community that includes the flexibility to be developed as market rate or senior single family, consisting of approximately 220 detached residential units.

C. PROPOSED PROJECT

The proposed Creekside/VSC project includes the development of approximately 220 single-family units on approximately 50-acres of the 158-acre site. Approximately two-thirds of the site will remain open space, with much of that remaining in agricultural production. The developed area will include housing, landscaped areas, roadway and utility improvements. A 100-foot extension of Hillcrest Avenue (roadway and utilities), and trunk sewer and water-looping connections, would occur off-site. The following provides a summary of the project's primary components.

1. Residential Concept

The proposed Creekside/VSC project includes approximately 220 single-family residential units on approximately 50 acres south of the future alignment of Sand Creek Road. The Creekside/VSC Project is a continuation of the Promenade/VSC Project to the north, so neighborhood design, restricted or non-restricted housing types, lot size, density and house design will be similar. The average density of the residential development would be approximately 4.6 units per gross acres. Similar to the Promenade/VSC project, at least six (6) different models each with three different elevations would be constructed, on lots ranging from approximately 4,500 to 5,160 square feet. The site could be developed in three phases. The proposed First Phase includes the residential lots east of Hillcrest Avenue and north of the Main Entry. This would also include the community use site. The proposed Second Phase includes the residential lots east of Hillcrest Avenue and south of the Main Entry. The proposed Third Phase includes the residential lots west of Hillcrest Avenue and a park area within the PG&E tower easement along the roadway. If developed as Market Rate, the majority of the homes would be two-story, with two car garages. An Active Adult neighborhood could have a mix of two-story and single-story homes, but this mix will be dictated by future buyer preferences. A 6-foot tall sound wall is proposed behind the home lots backing up to the major thoroughfare (Hillcrest Avenue). View fencing is proposed for lots backing up to the enhanced drainage area.

2. Recreation, Landscaping and Open Space

Based upon comments received from staff at our Pre-Application Conference held June 20, 2018, the proposed project includes a community use site and landscape areas within the residential area. The community use site is sized to accommodate a small multi-purpose building and pool area, but it's ultimate programming will be dictated by future buyer preference. A park area that could accommodate a nice-sized dog park and perhaps bocce courts is proposed within the PG&E easement area in Phase 3 adjacent to the roadway. While an amount of grass area in parks is typically desired for family neighborhoods, outside of field areas, the project will include a notable focus on drought-tolerant and adaptive plant species. The drainage area would be enhanced, and additional shade trees and benches along the neighborhood sidewalks would connect views of this new amenity with a Project trail connection over Sand Creek (utilizing the PG&E bridge) for a pedestrian connection to the Sand Creek Trail to the north. These types of facilities would most likely be private, and available to residents and their guests. A detention/water quality basin to handle the development flows is proposed east of the residential area. No development is proposed atop the western and eastern hill forms, with these areas remaining in agricultural production. Additionally, the Creekside/VSC Project will stay outside of the 400-ft wide (23.7-Acre) Sand Creek Buffer Easement along Sand Creek and the 8-Acre Open Space Easement on top the western hill form. Open space, buffer areas, park areas and landscape areas are depicted on the attached Conceptual Site Plan and Preliminary Grading Plan.

Landscaping would be provided throughout the project site, and would conform to the requirements and provisions of Article 10, Section 9-5.1001 of the Antioch Zoning Code. Project landscaping would consist of street trees, shrubs, groundcover, agricultural plantings and open lawn areas. Both the Main Entry and the Secondary Entrances to the project site would be landscaped, as would the project side (east side) of Hillcrest Avenue including roadway medians. Private landscaping and parks throughout the Project site would be maintained by the HOA or a Landscape and Lighting District (LLD). Individual residences would also be landscaped with trees, shrubs, groundcover and some lawns, and would be

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maintained by the individual owners. Public spaces, common spaces and private landscaping areas will have an emphasis on drought-tolerant and adaptive plant species.

The proposed project may also include the on-site preservation and/or purchase (in fee or through conservation easements) of off-site habitat to mitigate for the potential loss of special-status habitat on the project site, if necessary.

3. Circulation, Parking and Streetscape

Vehicular ingress and egress to the Creekside/VSC Project Site would be provided from Hillcrest Avenue via a centrally located Main Entry, a Secondary Entry to the north of the Main Entry, and an EVA/Secondary Entry intersection to the south. The construction of Hillcrest Avenue would span Sand Creek and include sidewalk and landscaping on the east side of the roadway. Right-of-way improvements would be narrowed down to necessary roadway, utilities and pedestrian facilities within the area of the Sand Creek crossing, to be least impactful to this environment. The First Phase neighborhood would include construction of approximately 1,500 lineal feet of Hillcrest Avenue in a 4-lane divided roadway configuration from south of the future Sand Creek Road right-of-way to the Main Entry. The First Phase would also include construction of the northerly Secondary Entry and the Main Entry. Potentially, the project would request initial use of this Secondary Entry for construction and a limited amount of home sales.

Vehicular ingress and egress to the Second Phase of the Creekside/VSC Project would include construction of approximately 1,000 additional lineal feet of Hillcrest Avenue in a 4-lane divided roadway configuration from south of the Main Entry to the southerly EVA/Secondary Entry intersection. The Second Phase would also include construction of the EVA. Potentially, the Project could request phasing in full improvement of the Hillcrest Avenue roadway.

Vehicular ingress and egress to the Third Phase of the Antioch South Project would include construction of the southern Secondary Entry on the west side of Hillcrest Avenue, across from the Phase 2 EVA.

A Traffic signal would be installed at the Main Entry, and pedestrian access to the site would be provided by a sidewalk located on Hillcrest Avenue adjacent to the project site. Pedestrian facilities are not proposed on the west side of Hillcrest Avenue. Upon PG&E quitclaim of its existing bridge when direct access via Hillcrest Avenue is provided, an additional pedestrian connection to and from the Creekside/VSC Project could be facilitated over Sand Creek towards the Sand Creek Trail and Heidorn Ranch Road, on this bridge.

Interior vehicular circulation would be provided by a traditional grid pattern of private two-way streets that connect back to the entrances. The private streets are proposed with a 41-ft right of way (36-ft curb to curb with a 5-foot attached monolithic sidewalk on one side of the street). The street section will allow two-way traffic and parking both sides. Each residential unit would have a two-car garage and driveway with additional street parking.

4. Utilities and Infrastructure

As the project site is currently undeveloped, public utilities including potable water, sanitary sewer, improved stormwater drainage, improved power, and telecommunication services are not currently provided on the site. The following describes how the project proposes to improve the site to provide these standard services.

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- a. **Water Service.** Potable water would be distributed to the Creekside/VSC project site by an extension of the 16-inch Zone III trunk line in Hillcrest Avenue. The waterline would potentially be looped back to a Heidorn Ranch Road line via a connection over Sand Creek adjacent to the PG&E bridge. The City has also indicated an interest in reserving space in Phase 3 to facilitate looping of the waterline within this roadway for the neighboring project to the west.
- b. **Sanitary Sewer.** Sanitary Sewer service would be provided to the Creekside/VSC project site by an extension of the 24-inch sanitary sewer pipe from the Promenade/VSC Project extended over Sand Creek adjacent to the PG&E bridge.
- c. **Storm Water.** The project site has historically been cultivated with dry-land farming crops and naturally drains to the east and northeast. The site is within the Sand Creek Drainage Area, and is located just downstream of the regional detention facility that the Contra Costa County Flood Control District recently built. Storm drainage from the *developed portions of the Project site* (Hillcrest Avenue and the neighborhoods) will be directed to the detention/water quality basin, and flow into Sand Creek via an outfall structure constructed within the south side of the outfall facility constructed by the Promenade/VSC Project. The basin would provide mitigation for detention, water quality and hydromodification. The *western hillslope drainage* will be caught prior to it reaching Hillcrest Avenue, and directed north to a new outfall next to the Hillcrest Avenue Bridge. The *eastern hillslope* will remain undisturbed, and allowed to continue draining naturally into the drainage area, as it does today.
- d. **Power and Communications.** Electricity to the Creekside/VSC project site would be provided by PG&E. AT&T provides telephone and DSL service and Comcast and Astound provide cable television and internet services citiwide. Dry utilities, electrical, gas, and technology lines would be extended from those existing beneath Hillcrest Avenue.

5. Project Construction

Project grading would be balanced onsite. As explained above, the proposed Creekside/VSC project would be built in three main phases. The First phase of the project would commence in 2021 and the final phase of construction is expected to be completed in 2025, barring a repeat of the most recent housing meltdown.

D. DISCRETIONARY ACTIONS

The proposed project would require a series of discretionary actions as described below.

1. General Plan Amendment.

The project would require the approval of a General Plan Amendment to add the option of market rate or senior residential by replacing it with a Medium Low Density Residential designation.

2. Master Development Plan/Planned Development Rezone.

The project would require the approval of a Master Development Plan and Planned Development Rezone. The Master Development Plan and PD District would list the development standards applicable to the project site, including setbacks, lot sizes and building heights.

3. Vesting Tentative Map.

Vesting Tentative Map approval is required to authorize subdivision of the project site into multiple parcels to accommodate approximately 220 single family residential units as well as public roadway, parks and open space parcels.

4. Use Permit.

A Use Permit is required to further clarify the details of each phase of the proposed project and to ensure that each component complies with established provisions of the proposed PD District.

5. Design Review.

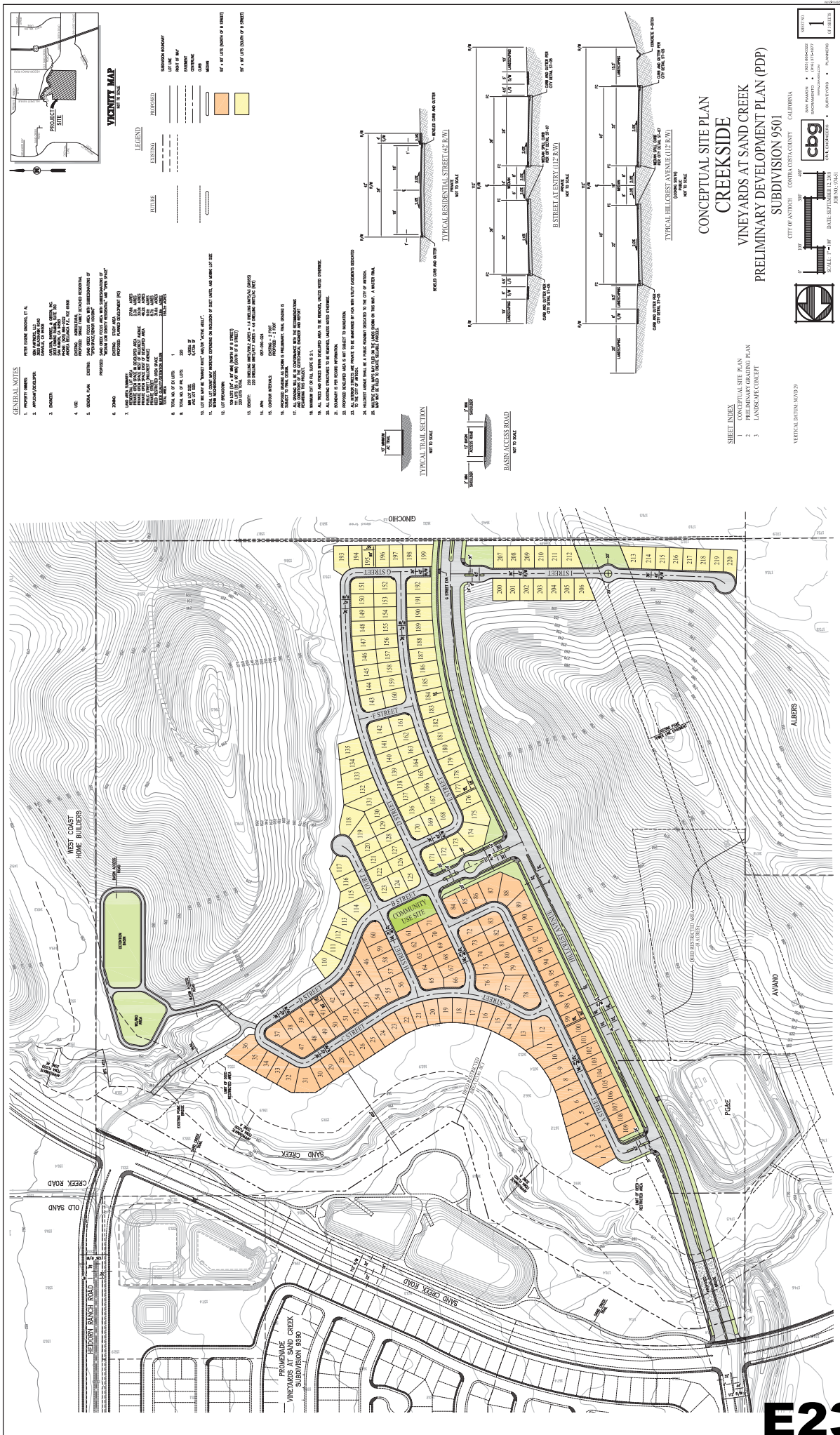
Design Review is required to authorize the proposed building conceptual architecture, landscaping, and site design of the residential community and to ensure consistency with the City of Antioch's General Plan and Zoning Ordinance design policies and criteria, except where specifically amended by the approvals.

6. Development Agreement.

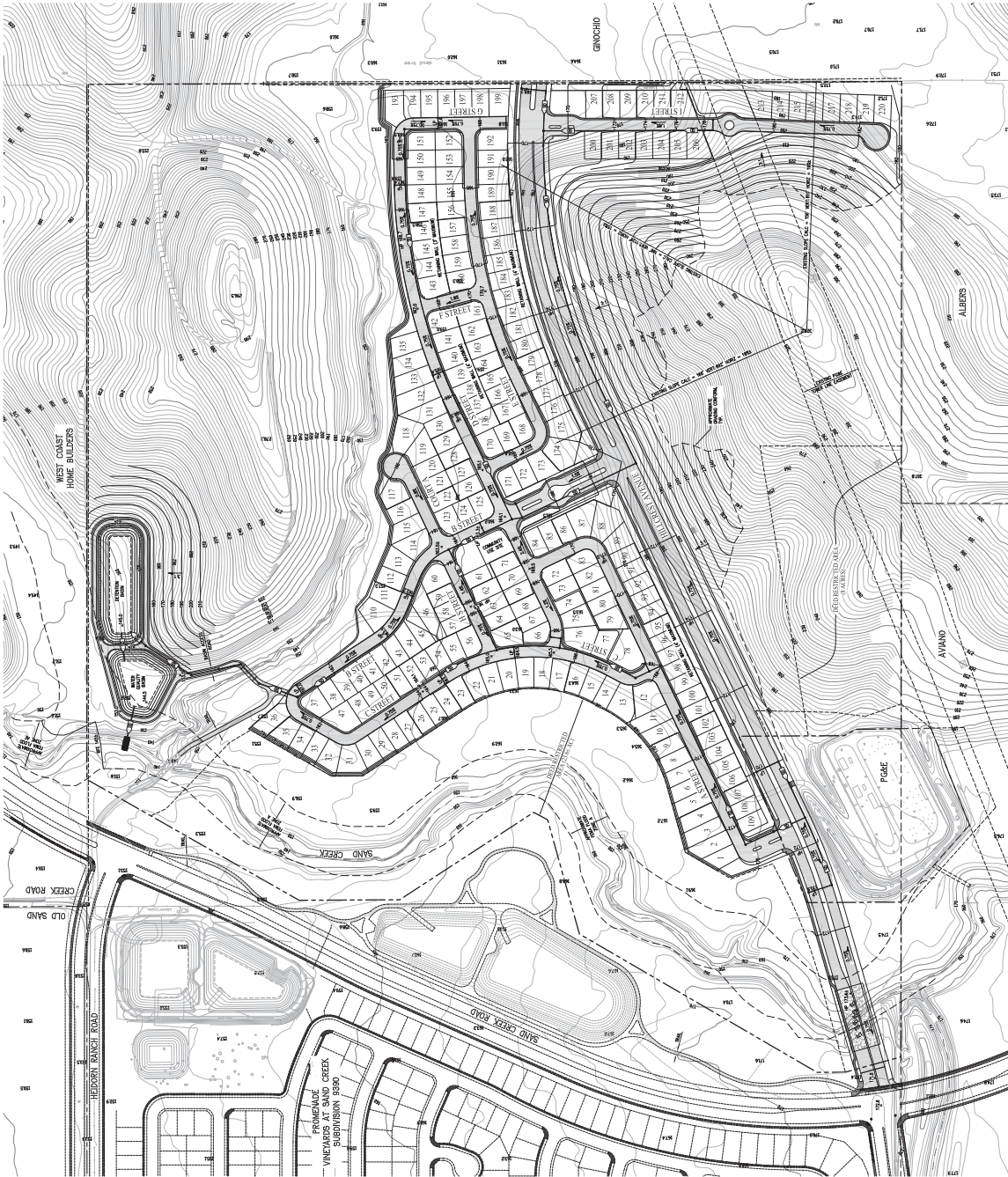
It is anticipated that a Development Agreement approval will be requested.

END

ATTACHMENT “D”



ATTACHMENT “E”



VICINITY MAP
NOT TO SCALE

LEGEND

	EXISTING
	PROPOSED
	PROPOSED
	PROPOSED
	PROPOSED
	PROPOSED

VERTICAL DATUM: NVD 29

**PRELIMINARY GRADING PLAN
CREEKSIDE
VINEYARDS AT SAND CREEK
PRELIMINARY DEVELOPMENT PLAN (PDP)
SUBDIVISION 9501**

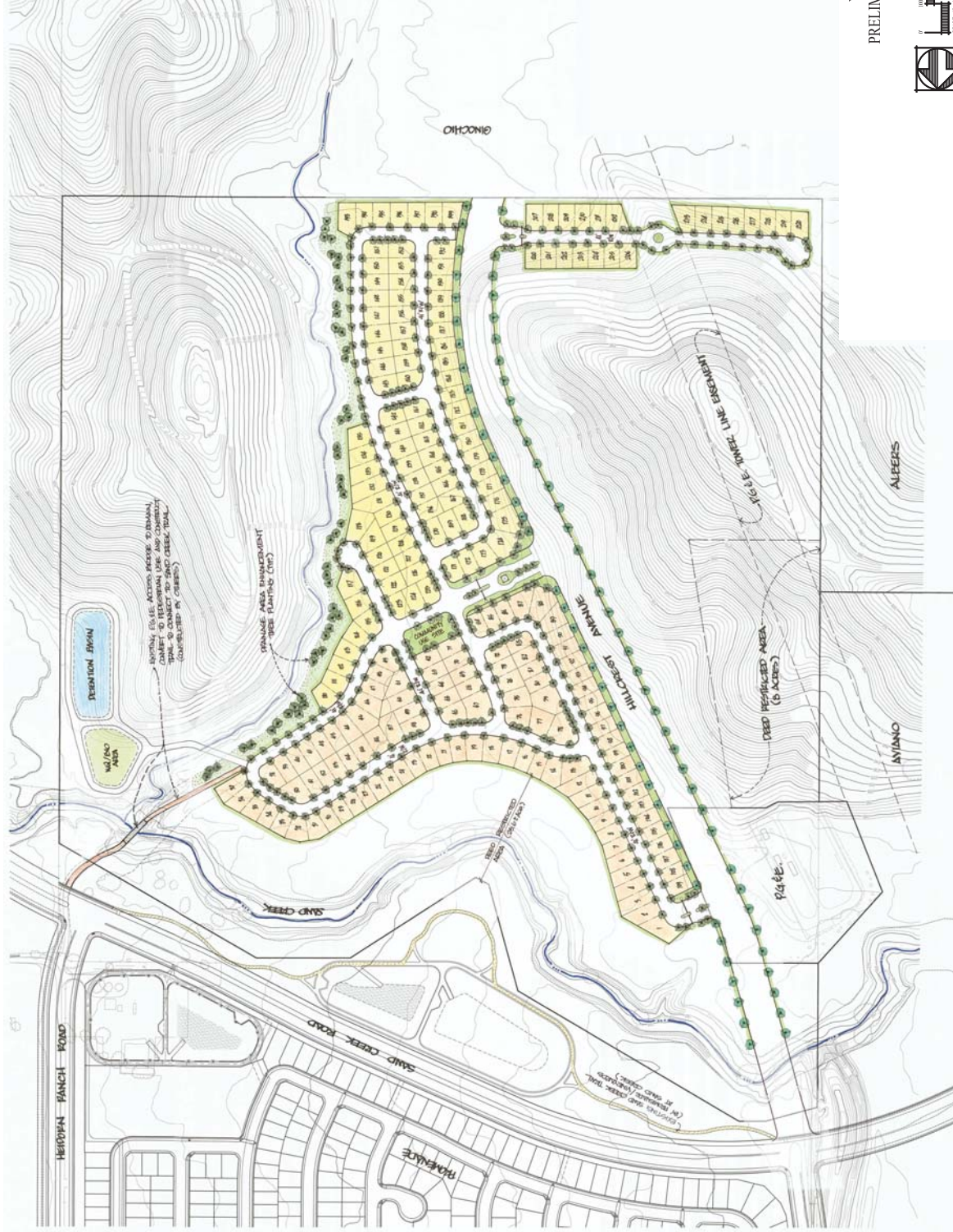
CITY OF ANIMAS • CONTRA COSTA COUNTY • CALIFORNIA

cbg

DATE: 04/11/2011
DRAWN BY: J. B. BROWN
CHECKED BY: J. B. BROWN
DATE: 04/11/2011
SCALE: 1" = 40'

2

ATTACHMENT “F”



LANDSCAPE CONCEPT
CREEKSIDE
VINEYARDS AT SAND CREEK
PRELIMINARY DEVELOPMENT PLAN (PDP)
SUBDIVISION 9501

CITY OF ANIMAS • CONTRA COSTA COUNTY • CALIFORNIA
DATE: SEPTEMBER 2024
SCALE: 1" = 400'
DATE: SEPTEMBER 2024
100% FINAL
3
cbg
CITY OF ANIMAS • CONTRA COSTA COUNTY • CALIFORNIA
DATE: SEPTEMBER 2024
SCALE: 1" = 400'
DATE: SEPTEMBER 2024
100% FINAL

**CITY OF ANTIOCH
PLANNING COMMISSION**

**Regular Meeting
6:30 p.m.**

**December 5, 2018
City Council Chambers**

Chair Parsons called the meeting to order at 6:30 P.M. on Wednesday, December 5, 2018 in the City Council Chambers. She stated that all items that can be appealed under 9-5.2509 of the Antioch Municipal Code must be appealed within five (5) working days of the date of the decision. The final appeal date of decisions made at this meeting is 5:00 P.M. on Wednesday, December 12, 2018.

ROLL CALL

Present: Commissioners Schneiderman, Motts, Martin, Soliz, Zacharatos,
and Chair Parsons
Absent: Vice Chair Turnage
Staff: Director of Community Development, Forrest Ebbs
Captain, Tony Morefield
Project Manager, Ken Warren
Planning Manager, Alexis Morris
Associate Planner, Kevin Scudero
Contract Planner, Cindy Gnos
Interim City Attorney, David Richie
Minutes Clerk, Kitty Eiden

PLEDGE OF ALLEGIANCE

PUBLIC COMMENTS

None.

CONSENT CALENDAR

1. Approval of Minutes: October 17, 2018
November 7, 2018

On motion by Commissioner Zacharatos, seconded by Commissioner Martin, the Planning Commission approved the minutes of October 17, 2018 and November 7, 2018, as presented. The motion carried the following vote:

AYES: Schneiderman, Motts, Martin, Soliz Zacharatos and Parsons
NOES: None
ABSTAIN: None
ABSENT: Turnage

NEW PUBLIC HEARING

2. **Z-18-08 – 211 & 215 West 19th Street Rezone** – Lloyd Arnold requests Planning Commission approval to rezone the properties at 211 and 215 West 19th Street (APN's 067-264-011, 067-264-002) from Single Family Residential (R-6) to Convenience Commercial (C-1).

Associate Planner Scudero presented the staff report dated November 30, 2018 recommending the Planning Commission approve the resolution recommending that the City Council approve the proposed rezone of 211 and 215 West 19th Street (APN's 067-264-011, 067-264-002) (Z-18-08).

Chair Parsons opened and closed the public hearing with no members of the public requesting to speak.

RESOLUTION NO. 2018-30

On motion by Commissioner Zacharatos, seconded by Commissioner Soliz, the Planning Commission approved the resolution recommending that the City Council approve the proposed rezone of 211 and 215 West 19th Street (APN's 067-264-011, 067-264-002) (Z-18-08). The motion carried the following vote:

AYES:	<i>Schneiderman, Motts, Martin, Soliz, Zacharatos and Parsons</i>
NOES:	<i>None</i>
ABSTAIN:	<i>None</i>
ABSENT:	<i>Turnage</i>

3. **PDP-18-02 – Creekside Vineyards PDP** – GBN Partners requests review of a preliminary development plan, which is not an entitlement, of a proposal to develop approximately 50 acres or a 158-acre site into a residential community of approximately 220 residential units. The units could be market rate or age-restricted for seniors. The project site is located southwest of the intersection of Heidorn Ranch Road and Old Sand Creek Road, south of the approved Vineyards at Sand Creek (a.k.a. Promenade) project within the Sand Creek Focus Area. The site is identified by the following Contra Costa County Assessor's Parcel Numbers (APN: 057-050-024).

Contract Planner Gnos presented the staff report dated November 30, 2018 recommending the Planning Commission provide feedback to staff regarding the proposal and to provide direction to the applicant for the Final Development Plan submittal.

In response to Commissioner Motts, Contract Planner Gnos clarified that the change in the MLDR designation would allow for a mix of senior and market rate housing. She stated it would be possible to have a designation for larger lot sizes on the market rate product and single story/smaller lots on the senior portion.

In response to Commissioner Martin, Planning Manager Morris reported that the nearest high school was Dozier Libby Medical High School and when this item was a development application, it would be routed to all school districts so they could provide feedback. She clarified that Hillcrest Avenue would have a bus stop and the exact location would be determined by Tri Delta transit. She noted this would be a gated community so if they wanted a senior shuttle, the developer would have to work directly with Tri Delta Transit.

In response to Chair Parsons, Planning Manager Morris explained that staff had made recommendations on the plan to the applicant and Planning Commission. She noted the applicant, being on an aggressive schedule, asked for the meeting this evening which limited the time that they could work with the applicant on the recommendations or revisions. She further noted it was a preliminary process and it would not be fruitful to ask them to revise plans prior to this meeting because the Planning Commission may or may not agree with staff's recommendations.

In response to Commissioner Schneiderman, Contract Planner Gnos stated the CEQA analysis had not been done yet; however, when the Aviano project changed from senior to single family, the increase in traffic did not significantly change the levels of service.

Planning Manager Morris added that the City had market rate single family products smaller than 5000 to 6000 square foot lots and the most recent entitled were approximately 5000 square foot.

In response to Commissioner Soliz, Planning Manager Morris clarified that this gated community would be required to have an HOA that would be responsible for maintaining the park facilities. Additionally, she noted new residential development would be required to annex into the Police Community Facilities District.

Chair Parsons opened the public hearing.

Matt Beinke, GBN Partners representing the applicant thanked staff for bringing the project to the Commission this evening. He noted their goal was to get direction from the Planning Commission so they could begin the application process. He explained this was another phase of the Vineyards at Sand Creek and the process was to mimic that analysis, vision, design and planning. He stated that they would rather do an analysis for both senior and market rate so all questions regarding the impacts could be answered thoroughly.

In response to Commissioner Motts, Mr. Beinke stated that he believed one-third of the project would be market rate on the smaller lots, and the balance would be active adult. He explained that with regards to I Street, they would have to meet with the neighboring property owner to determine how to move forward with a gate for the area. With regards to the location and size of the public use area, he noted at this point it was somewhat arbitrary as the market rate product may slightly change it.

Chair Parsons stated she believed this project was an extension of what had already been approved and she liked that it would be consistent.

Lewis Broschard, Deputy Fire Chief and Interim Fire Marshall for Contra Costa County, thanked staff for providing copies of their letter to the Commission and staff this evening. He expressed concern with the plans for development in the Sand Creek Focus area because fire, EMS protection, and infrastructure was not adequate to serve future development in the area. He noted a funding mechanism was needed to cover the ongoing cost of personnel and equipment.

In response to Commissioner Martin, Chief Broschard explained that they were limited in what they could require by the California Fire Code or California Building Code; however, they could make recommendations to exceed those requirements. He noted current codes were years behind current issues and trends. He further noted they were willing to speak with developers on innovative ideas that may not be code requirements but would be best practices to mitigate issues.

Commissioner Martin stated his concern was for the area east of the project noting there was no access readily available.

Chief Broschard stated this was a preliminary design and he believed the developer would recognize that certain access points needed to be addressed in future plans.

In response to Commissioner Zacharatos, Director of Community Development Ebbs commented that The Ranch Initiative included an offer of dedication for a fire station and the City collected a fire facilities fee on every building permit issued. He noted that development could move forward without a fire station; however, it was in everyone's interest to have a station in the area. He explained that the location for the proposed fire station was just to the northwest of this project.

Chief Broschard explained that the station was approximately one and a half miles away and travel time was two and a half minutes. He noted currently the closest station was on Folsom Drive, approximately three and a half miles away.

In response to Commissioner Soliz, Director of Community Development Ebbs stated that it would be possible to meter development based on when infrastructure is built; however, there would need to be a really good reason to meter development.

Chair Parsons closed the public hearing.

Commissioner Motts stated he believed the fire station and staffing of the facility was a problem; however, he would recommend a political fix to raise funds for the project. He noted he felt this project was an extension of what was already approved. He further noted he would like to see the senior housing component. He voiced his support for the staff recommendations.

Commissioner Martin recommended the following items be addressed:

- Access issue for the fire district
- Location for trash receptacles on narrow lots
- Discussion on the pipeline that runs through the property and potential impacts
- If changed to MLDR, the senior portion of housing should be single story
- Larger park facilities to serve an MLDR project
- Sidewalks on both sides of the street

Commissioner Martin stated he liked all of staff's recommendations and thanked them for doing a thorough job. He noted he felt it was an excellent location for all senior housing. He expressed concern if "I" Street was continued down, there would not be enough room for an extension and agreed that no gate should be built if it was extended.

Commissioner Zacharatos concurred with Commissioner Martin that sidewalks were necessary on both sides of the street and the public recreational area should be enlarged. She supported staff's recommendations and acknowledged their thoroughness.

Commissioner Soliz stated he was impressed with staff's work on the project. He voiced concern regarding public safety as it related to fire service and power lines in the area. He agreed that access issues needed to be resolved for the Fire District. He supported sidewalks on both sides of the street. He discussed the importance of preserving the hillsides. He commented that he looked forward to seeing this project come back with additional modifications.

Commissioner Schneiderman voiced her support for sidewalks on both sides of the street and expanding park facilities. She suggested traffic calming measures on the larger stretches of roads.

Commissioner Motts suggested expanding the public use and open space area and moving it so that it would be adjacent to Sand Creek.

Chair Parsons stated she believed it was a great project. She stated she felt the County needed to address the fire district issues and she hoped that those issues would be resolved by the time this development came to fruition. She wished the applicant luck and stated she looked forward to the project moving forward.

4. **General Plan Update** – The City of Antioch proposes to amend the General Plan to reflect the recent amendments to the Antioch Municipal Code to address Cannabis Businesses. Specifically, the City seeks to amend Table 4.A – Appropriate Land Use Types to include a new land use category of Cannabis Business with reference to the Antioch Municipal Code. Additional minor text amendments may also be considered.

Director of Community Development Ebbs presented the staff report dated November 30, 2018 recommending the Planning Commission adopt the resolution recommending approval of an amendment to the General Plan to reflect the recent amendments to the Antioch Municipal Code to address Cannabis Businesses. He distributed a revised map for the Eastern Waterfront Employment Focus Area and recommended the Planning Commission adopt the resolution with the substitutions recommended by staff this evening.

Chair Parsons opened and closed the public hearing with no members of the public requesting to speak.

In response to Commissioner Martin, Director of Community Development Ebbs stated that they were not confident the changes that the Housing Bill regarding transit oriented development adjacent to BART stations would have an impact in Antioch.

Chair Parsons stated she believed the Hillcrest Specific Plan should have already been put in motion.

In response to Commissioner Soliz, Director of Community Development Ebbs clarified that they were trying to correct the General Plan and Zoning to eliminate conflicts and provide clarity. He noted this action would insert cannabis business into the business park areas, where the cannabis overlay occurred and clarify that it was Council's intent to entertain applications. He commented that those applications would still have to come to the Planning Commission prior to going to Council.

Commissioner Soliz stated that he believed the reason Wightman Lane was rezoned was because residents on Phillips Lane were not interested in becoming part of the sanitation district as it was expanding.

In response to Commissioner Soliz, Director of Community Development Ebbs stated this change would have no impact with their involvement with the sanitation or sewer district.

RESOLUTION NO. 2018-31

On motion by Commissioner Martin, seconded by Commissioner Motts, the Planning Commission adopted the resolution recommending approval of an amendment to the General Plan to reflect the recent amendments to the Antioch Municipal Code to address Cannabis Businesses plus minor additional changes including the new document pages 4.9 – 4.14 and 4-32 as presented this evening by staff. The motion carried the following vote:

AYES:	Schneiderman, Motts, Martin, Soliz, Zacharatos and Parsons
NOES:	None
ABSTAIN:	None
ABSENT:	Turnage

ORAL COMMUNICATIONS

In response to Commissioner Motts, Director of Community Development Ebbs stated that he would be ordering binders for the Planning Commission and they should be available in approximately 30-days.

Commissioner Motts wished everyone a Merry Christmas.

On behalf of the Commission, Chair Parsons wished everyone a Merry Christmas and Happy Holiday.

WRITTEN COMMUNICATIONS

None.

COMMITTEE REPORTS

Commissioner Motts reported that the last Transplan meeting had been cancelled.

ADJOURNMENT

Chair Parsons adjourned the Planning Commission at 7:57 P.M.

Respectfully Submitted,
Kitty Eiden

ATTACHMENT F
CITY OF
ANTIOCH
CALIFORNIA

STAFF REPORT TO THE PARKS AND RECREATION COMMISSION

DATE: Regular Meeting of December 17, 2020

TO: Parks and Recreation Commission

SUBMITTED BY: Vicky Lau, Junior Engineer *VL*

APPROVED BY: John Samuelson, Public Works Director/City Engineer *JS*

SUBJECT: Creekside Vineyards at Sand Creek Subdivision 9501 Determination of the Dedication of Land or Payment of Park-In-Lieu Fees

RECOMMENDED ACTION

It is recommended that the Parks and Recreation Commission adopt the resolution and forward to the Planning Commission a determination that the Creekside Vineyards at Sand Creek Subdivision 9501 is subject to a payment of \$330,000 of park land dedication park-in-lieu fees and that the payment of fees is subject to credit reimbursement in accordance with the City's Municipal Code (Code) and to condition the "Private Park" to meet all the City's park design standards.

BACKGROUND

The applicant proposes a new residential subdivision (Creekside Vineyards at Sand Creek) that would create 220 new single-family residential lots on an existing undeveloped parcel on the southerly end of the City of Antioch and east of the southerly extension of Hillside Avenue after crossing Sand Creek Road and Sand Creek.

The Subdivision Ordinance (Section 9-4.1002) requires the dedication of land for the development of parks or the payment of park-in-lieu fees or both for all new subdivisions creating five or more lots. The Code requires that the Parks and Recreation Commission forward a determination of the needed land dedication or fees to the Planning Commission for consideration with the proposed subdivision map.

The Code includes a formula for determining the required land dedication and the corresponding park-in-lieu fees. The City strives to provide 5.0 acres of land for each 1,000 persons. The number of persons per dwelling unit is determined by the Code and is shown in the following table along with corresponding land dedication and park-in-lieu fee requirements.

Unit Category	Average Persons/Unit	Land Dedication/Unit	In-Lieu Fees/Unit
Single-Family, Detached	3.0	0.015 acres	\$ 1,500
Single-Family, Attached	2.2	0.011 acres	\$1,100
Duplexes	1.9	0.0095 acres	\$950
Multi-Family	1.9	0.0095 acres	\$950
Mobile Homes	1.9	0.0095 acres	\$950
Senior Housing	1.5	0.0075 acres	\$750

This project would ordinarily require a dedication of 3.30 acres (143,748 square feet) of land. However, Section 9-4.1005(B) states that subdivisions creating 50 dwelling units or more must dedicate land at the option of the City or pay the park-in-lieu fees. The project dedication and payment requirements are described in the following table:

	Persons	Land Dedication	In-lieu Fees
Per Unit	3 persons	0.015 acres	\$ 1,500
Project Total	660 persons	3.30 acres	\$330,000

In general when determining whether land should be dedicated, the Parks and Recreation Commission is directed to consider the General Plan; any applicable adopted Specific Plan; the topography, geography, access, and location of land in the subdivision available for dedication; the size and shape of the subdivision and the land available for dedication; the feasibility of dedication; the compatibility of dedication with the General Plan and/or Specific Plan; and the availability of previously acquired park property.

Based on the Vesting Tentative Map, Creekside Vineyards at Sand Creek Subdivision 9501 submitted, the following parcels are reserved as park parcels.

Parcel	Designation	Acres	Owner	Comments
"B"	Community Center	0.42	HOA	Qualify as private park
"C"	Park Parcel	2.84	HOA	Qualify as private park
"G"	Park Parcel	0.17	HOA	Qualify as private park
"J"	Park Parcel	0.49	HOA	Qualify as private park
Total	Park Parcels	3.94	HOA	Parcels "B" and "C" are contiguous

The total acreage is 3.94 acres (171,626 square feet) dedicated as parks which exceeds the 3.30 acres required. However, all four park parcels are deemed as "Private Park" and will be maintained by the Homeowners Association (HOA) formed by this subdivision. Parcel "B" is for a community center but labelled as a park parcel on the Vesting Tentative Map. As such there is zero dedication of park land and hence this subdivision will be required to pay the full park-in-lieu fees.

Per Section 9-4.1010(C) and (D)(6), this private park may qualify for park-in-lieu fee credit if it exceeds the minimum of 2 acres of contiguous parcel and provides a minimum of four of the following "Local Park Basic Elements" or a combination of such and other recreational improvements which will meet the specific recreation park needs of the future residents of the area. Park Parcels "B" and "C" covering 3.26 acres may be eligible for

park-in-lieu fee credit based on the qualification criteria. The following table represents the minimum acreage required before credit will be given for a particular element and the maximum credit which will be allowed for each element, though the element may encompass a larger area:

Criteria List for Park Parcels "B" and C" only	Acres	
	Minimum	Maximum
Children's Play Apparatus Areas	0.50	0.75
Family Picnic Areas	0.25	0.75
Landscape Park-Like and Quiet Areas	0.50	1.00
Game Court Areas	0.25	0.50
Turf Playfields	1.00	3.00
Swimming Pools with Adjacent Deck and Lawn Areas	0.25	0.50
Recreation Center Buildings	0.15	0.25

The Creekside Vineyards at Sand Creek Project Design Guidelines and Landscape Illustrations dated December 2019 describe the intent of the park spaces and design concepts. The descriptive text and preliminary drawings indicate the project's likely potential to be able to comply with the criteria list. In addition, park parcels "B" and "C" are located in the first phase of the project which will facilitate the determination of credit reimbursement at the start of the project.

Staff recommends that the Parks and Recreation Commission Condition the "Private Park" to meet all the City's park design standards current at the time of construction of the park such as irrigation, benches, tables, play equipment, BBQs, garbage cans, dog park, etc. In the event the HOA is dissolved and City must take over the maintenance of the "Private Park."

SUMMARY

Staff recommends that the Parks and Recreation Commission adopt the resolution and forward to the Planning Commission a determination that the project is subject to the following:

1. A payment of \$330,000 be paid to the City of Antioch to meet the Project's park land dedication park-in-lieu fees.
2. To Condition the "Private Park" to meet all the City's park design standards current at the time of construction of the park.
3. A park-in-lieu fee credit may be considered based on the detail park parcels "B" and "C" submittal incorporating the "Local Park Basic Elements" and meeting the qualification criteria per Code Section 9-4.1010(C) and (D)(6).

ATTACHMENTS

- A. Resolution
- B. Vicinity Map
- C. Vesting Tentative Map
- D. Creekside Vineyards at Sand Creek Project Design Guidelines

ATTACHMENT "A"

RESOLUTION NO. 2020/**

RESOLUTION OF THE CITY PARKS AND RECREATION COMMISSION OF THE CITY OF ANTIOCH RECOMMENDING TO THE CITY PLANNING COMMISSION ACCEPTANCE OF PARK-IN-LIEU FEES IN THE AMOUNT OF \$330,000 TO MEET THE PARK LAND OBLIGATION OF THE CREEKSIDE VINEYARDS AT SAND CREEK SUBDIVISION

WHEREAS, the City of Antioch has received an application for the Creekside Vineyards at Sand Creek project, a subdivision that includes 220 single-family dwelling units;

WHEREAS, the City requires that subdivisions that include residential development shall dedicate land or pay park-in-lieu fees or both;

WHEREAS, the total calculated park land obligation for the Project is 3.30 acres as established by the City of Antioch Municipal Code for purposes of park land dedication;

WHEREAS, the park-in-lieu fees for the Creekside Vineyards at Sand Creek project has been calculated at \$330,000 based on the requirements of the City of Antioch Municipal Code;

WHEREAS, the Subdivision Ordinance states that subdivisions creating 50 dwelling units or more must dedicate land at the option of the City of Antioch or pay the park-in-lieu fees or both;

WHEREAS, the "Private Park" is conditioned to meet all the City's park design standards current at the time of park construction;

WHEREAS, the Creekside Vineyards at Sand Creek project may be considered for park-in-lieu fee credit based on the detail park parcels "B" and "C" submittal incorporating the "Local Park Basic Elements" and meeting the qualification criteria; and

NOW, THEREFORE, BE IT RESOLVED, that the Park and Recreation Commission does recommend to the Planning Commission:

1. That the Creekside Vineyards at Sand Creek project meet its park land dedication requirements through the payment of park-in-lieu fees in the amount of \$330,000; and
2. Condition the "private park to meet all the City's Park Design Standards current at the time of the park's construction; and
3. Consider a park-in-lieu fee credit based on the detail park parcels "B" and "C" submittal incorporating the "local park basic elements" and meeting the qualification criteria per Code Section 9-4.1010(C) and (D)(6).

RESOLUTION NO. 2020/XX

December 17, 2020

Page 2

* * * * *

I HEREBY CERTIFY that the foregoing resolution was passed and adopted by the Parks and Recreation Commission of the City of Antioch at a regular meeting thereof held on the 17th day of December 2020 by the following vote:

AYES:

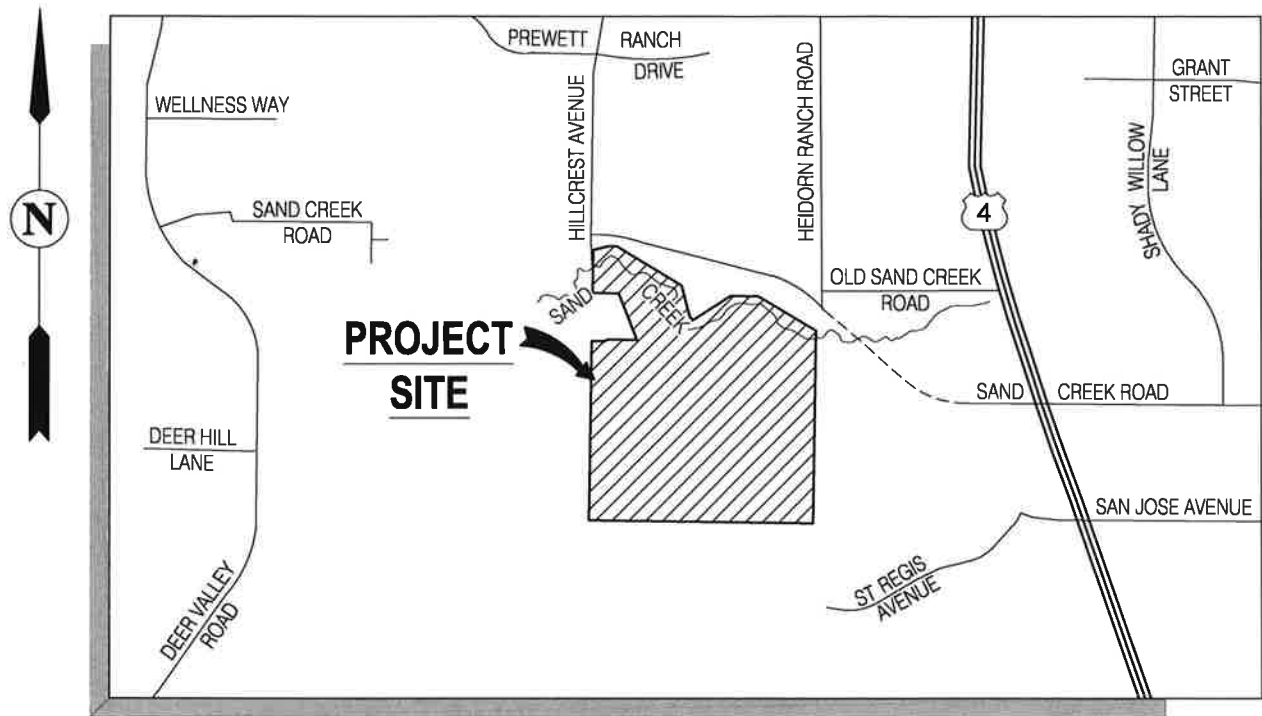
NOES:

ABSTAINS:

ABSENT:

NANCY KAISER
CLERK TO THE PARKS AND RECREATION COMMISSION

ATTACHMENT "B"



VICINITY MAP

NOT TO SCALE

VICINITY MAP CREEKSIDE

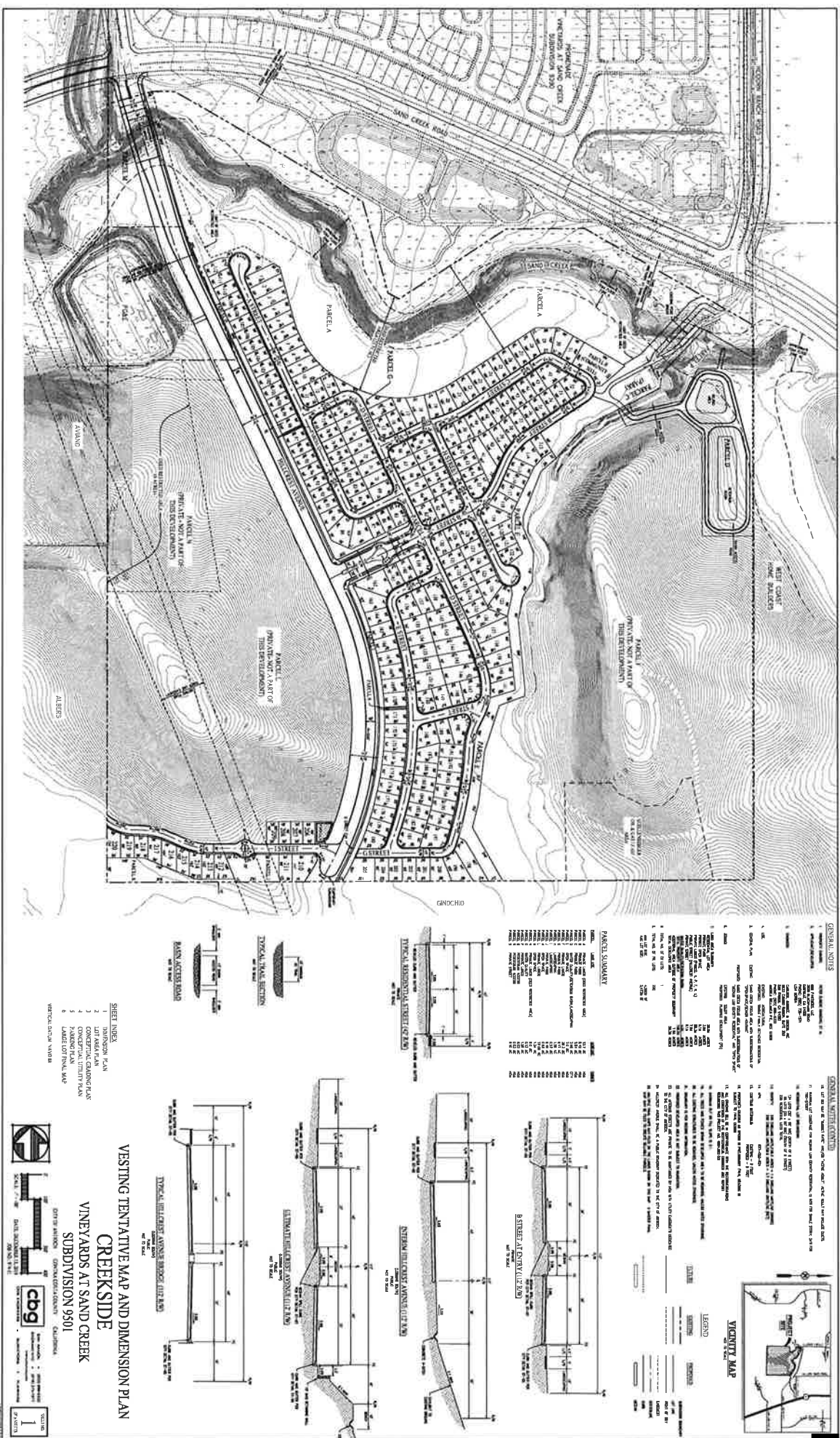
CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA

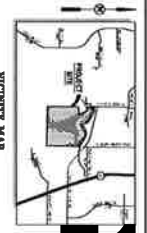
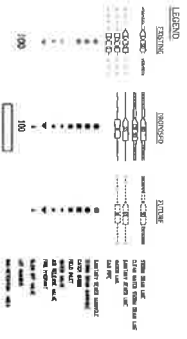
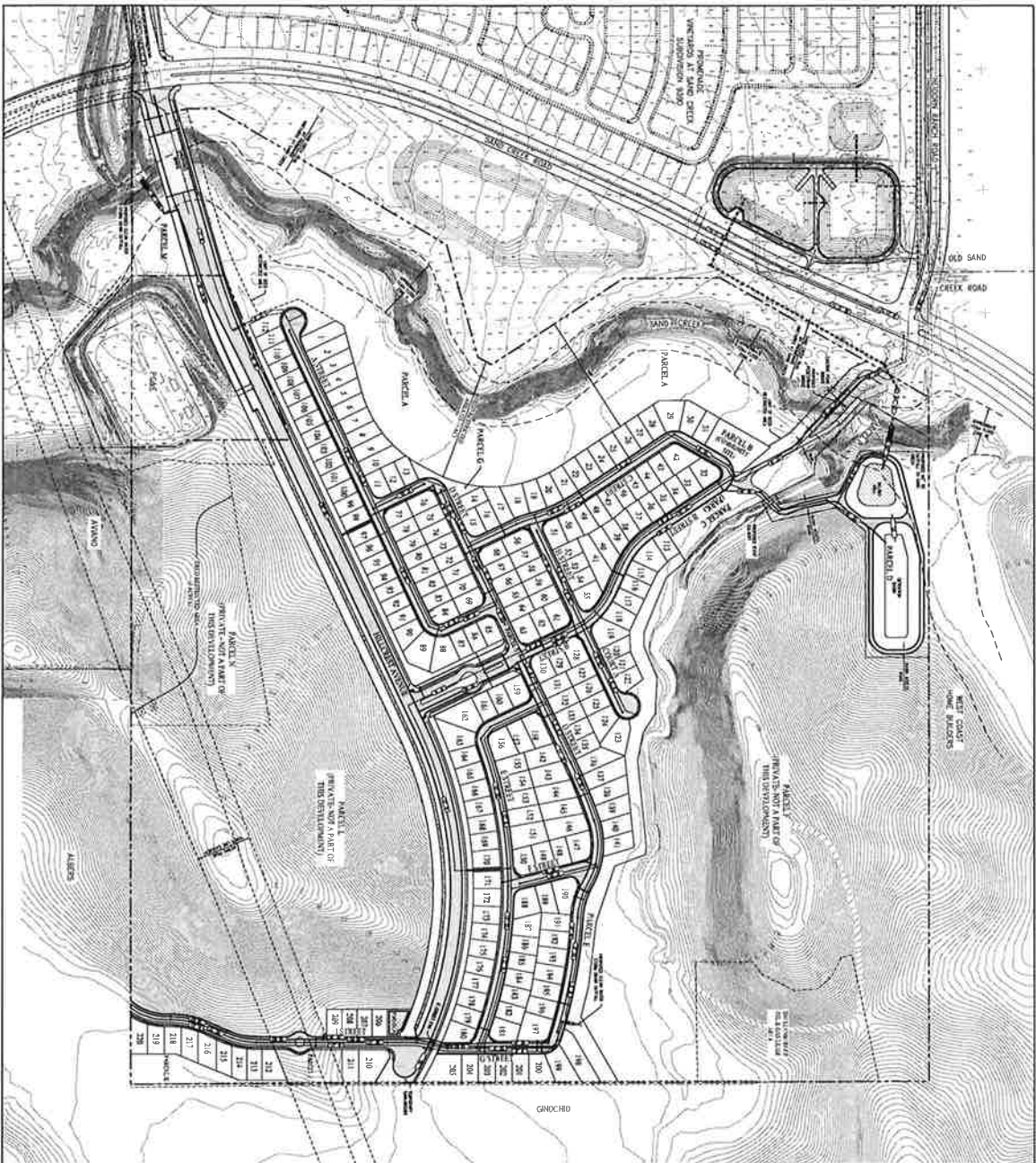
DATE: 11/19/20




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**VESTING TENTATIVE MAP
AND CONCEPTUAL UTILITY PLAN
CREEK SIDE
VINEYARDS AT SAND CREEK
SUBDIVISION 9501**



CITY OF SAN DIEGO
SAND CREEK SUBDIVISION 9501

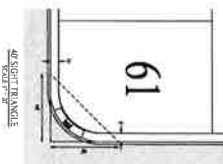


CONCEPTUAL DESIGN
SAND CREEK SUBDIVISION 9501

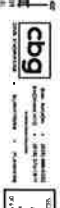
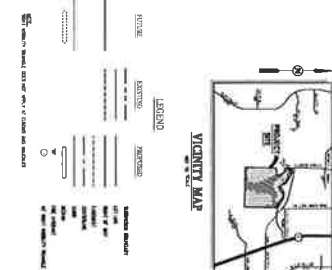
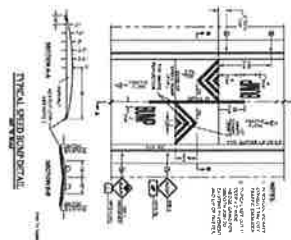


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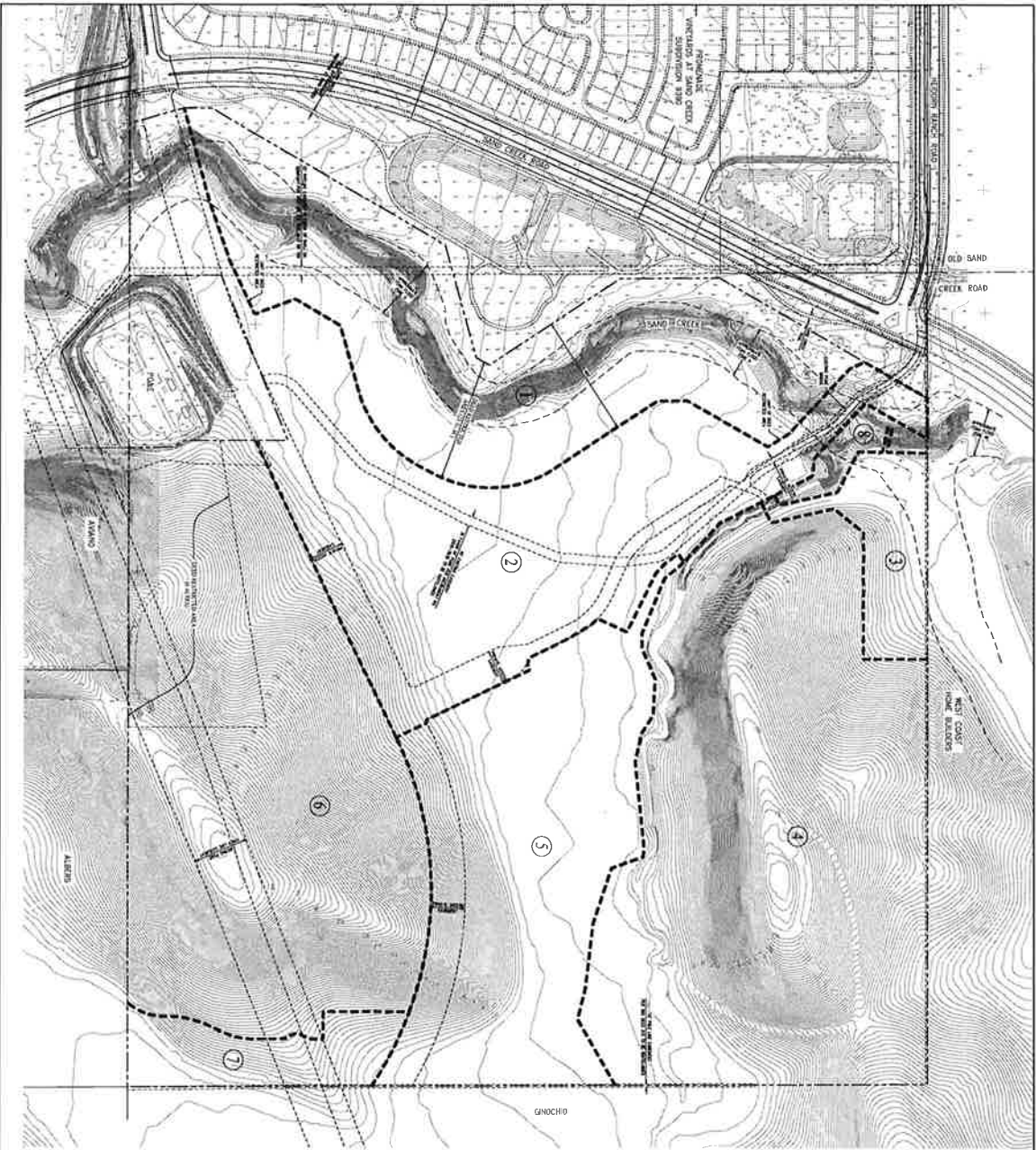
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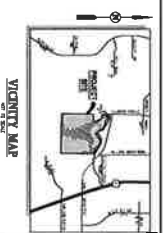
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2	1,234	0.028	100	100	100	100	1,000,000
3	1,234	0.028	100	100	100	100	1,000,000
4	1,234	0.028	100	100	100	100	1,000,000
5	1,234	0.028	100	100	100	100	1,000,000
6	1,234	0.028	100	100	100	100	1,000,000
7	1,234	0.028	100	100	100	100	1,000,000
8	1,234	0.028	100	100	100	100	1,000,000
9	1,234	0.028	100	100	100	100	1,000,000
10	1,234	0.028	100	100	100	100	1,000,000



VESTING TENTATIVE MAP
AND PARKING PLAN
CREKESIDE
VINEYARDS AT SAND CREEK
SUBDIVISION 9501



- LEGEND**
- Proposed Lot
 - Existing Lot
 - Proposed Road
 - Existing Road
 - Water
 - Topography



VESTING TENTATIVE MAP AND LARGE LOT FINAL MAP
CREEKSIDE
VINEYARDS AT SAND CREEK
SUBDIVISION 9501

City of San Diego, Department of Planning and Economic Development
 1000 La Jolla Village Drive, Suite 100, San Diego, CA 92161
 (619) 594-6000
 www.sandiego.gov

cbg
 CONSULTING
 1000 La Jolla Village Drive, Suite 100, San Diego, CA 92161
 (619) 594-6000
 www.cbgsd.com

6

CREEKSIDE VINEYARDS AT SAND CREEK Antioch, California

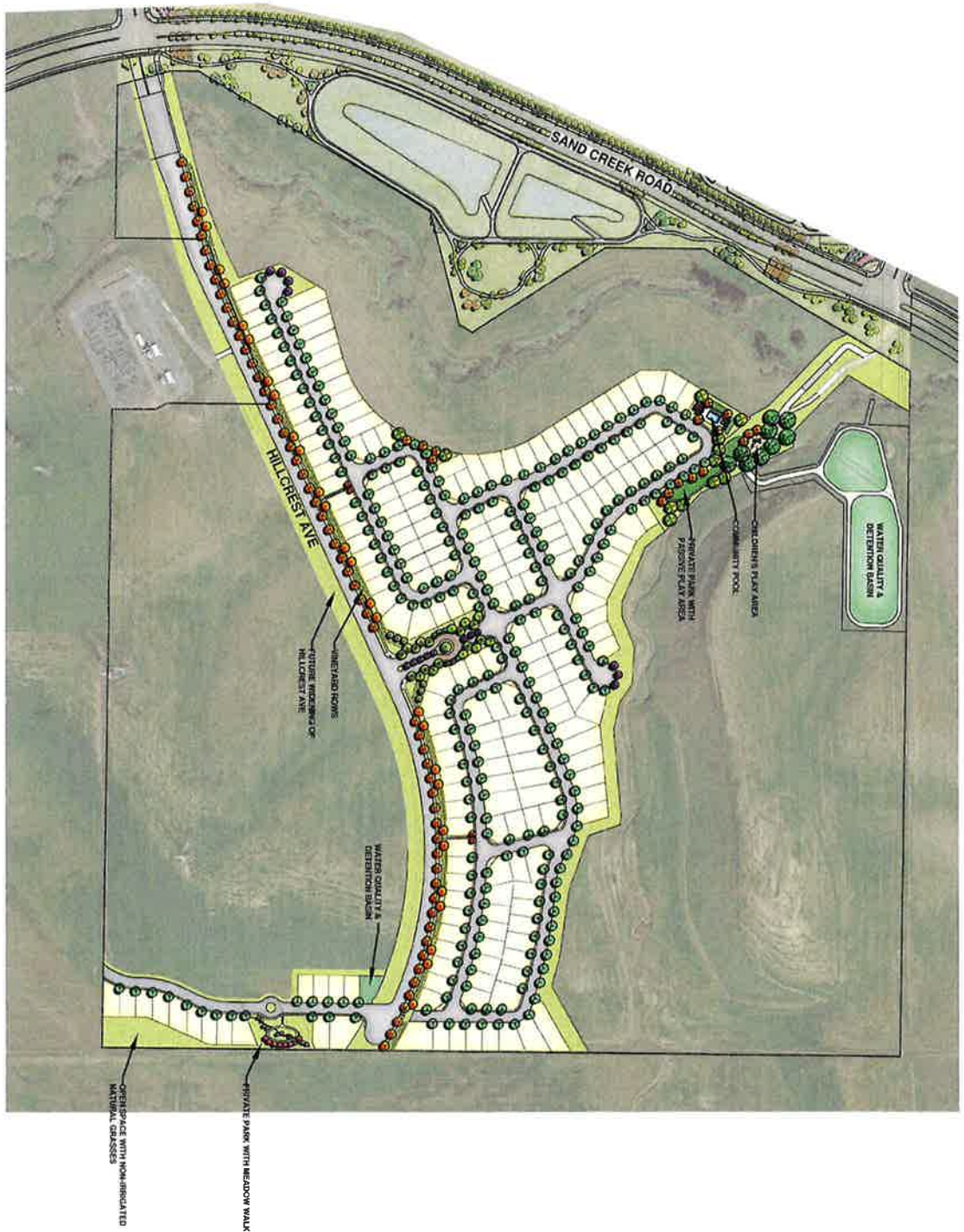
ILLUSTRATIVE SITE PLAN DECEMBER 2019



Vendor/Client Association
Carbon, Laidlaw
& Carbon, Inc.



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CREEKSIDE VINEYARDS AT SAND CREEK Antelope, California

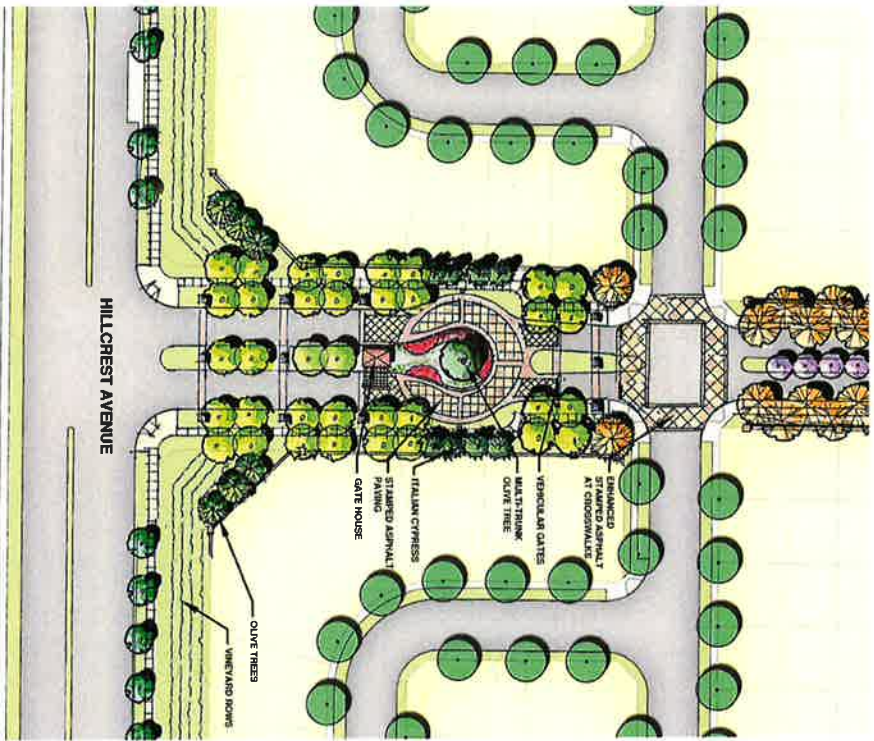
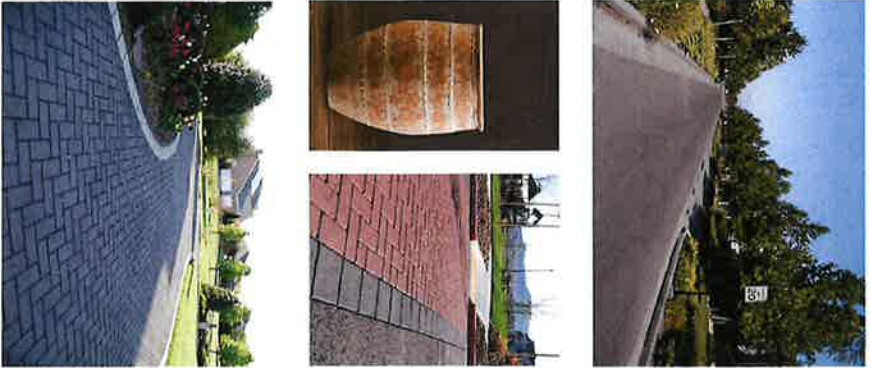
ENTRY AT HILLCREST AVENUE DECEMBER 2019



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3000 Valley View Drive
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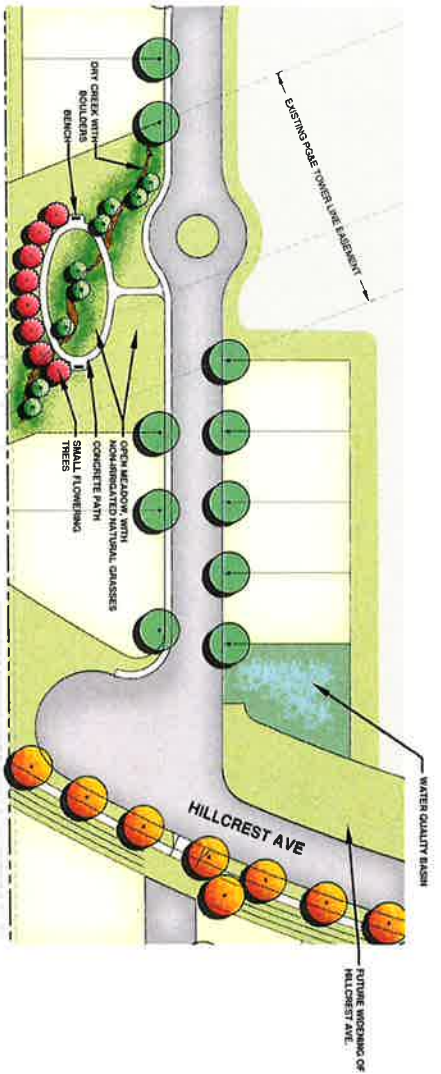
GBN Partners
3820 Blackhawk Road
Danville, CA 94506

CREEKSIDE VINEYARDS AT SAND CREEK Antioch, California

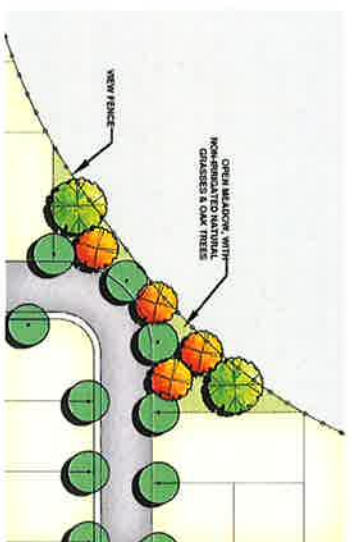
COMMUNITY POOL & NEIGHBORHOOD PARK PARCEL B & C DECEMBER 2019



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A PARCELS J AND O - PRIVATE PARK AND WATER QUALITY BASIN



B PARCELS G - PRIVATE PARK



SCALE: 1" = 40'-0"

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CREEKSIDE VINEYARDS AT SAND CREEK
Antioch, California

PRIVATE PARKS
DECEMBER 2019

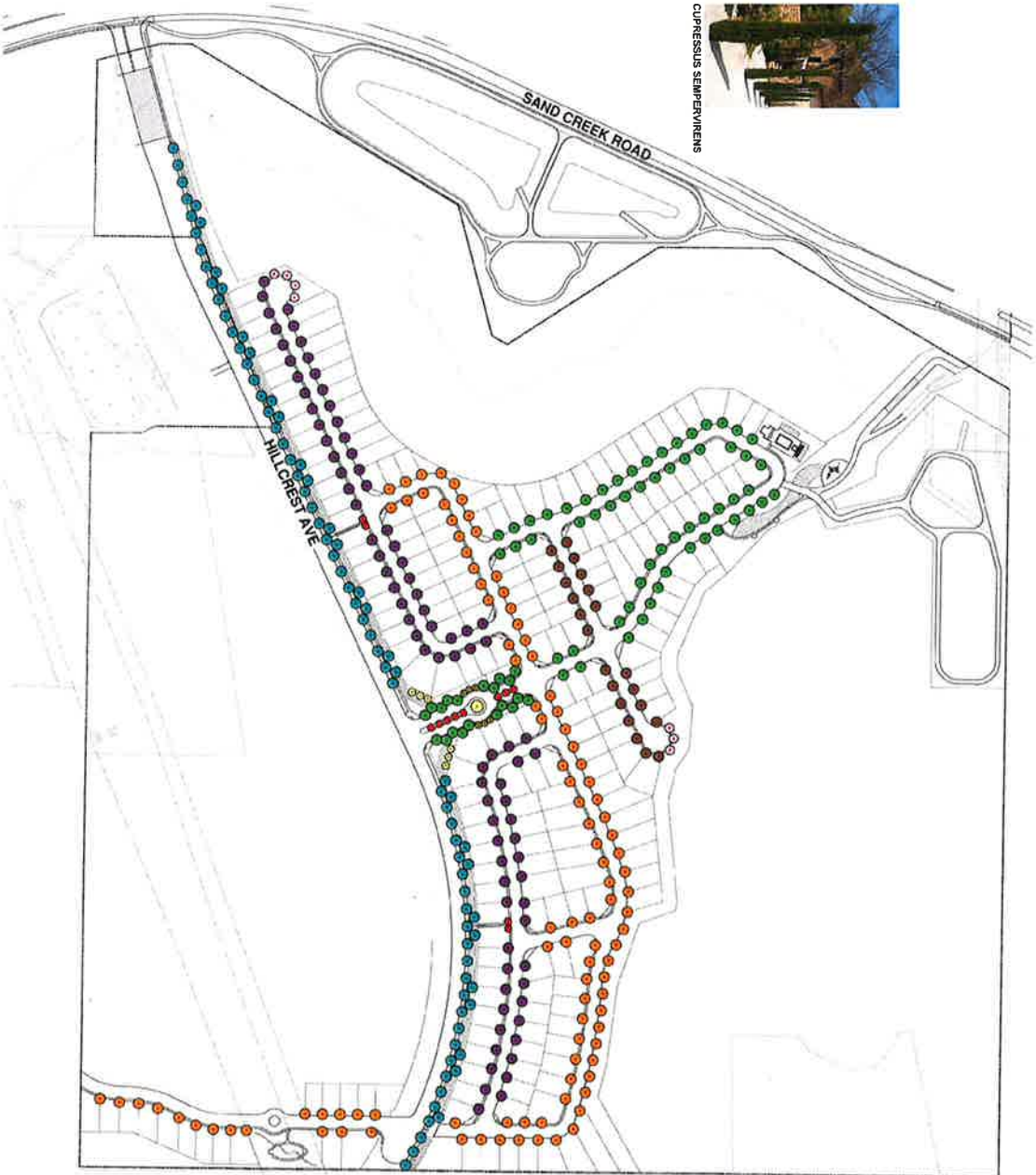


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**CREEKSIDE
VINEYARDS AT SAND CREEK**
Antelope, California



PRELIMINARY TREES

BOTANICAL NAME

COMMON NAME

STREET TREES	
	DATE PLANTED (BY NUMBER)
1	CHRYSLER DRIVE/FRANKLIN
2	LAUREL STREET / "HOLSTED"
3	OLGA HENRIKSEN DRIVE NE.
4	WELLS CHURCHMAN TRAIL LAKE
5	PL. DANIELA R. VOLLMER
6	HEINRICH C. VOLLMER RESERVE
7	FRANK C. NEW BLVD/ST
8	DAVIDSON DRIVE/ALMA
9	WELLS DRIVE
10	ITALIA CHURCH
11	PINE CLIFF DRIVE
12	IRMA HILL DRIVE
13	CHURCH STREET
14	LINDEN PLANT
15	FRANKLIN LAKE PL.
16	PL. ANDRÉAS HENRIKSEN
17	BUCKLEBEE DRIVE



STREET TREE PLAN

DECEMBER 2019

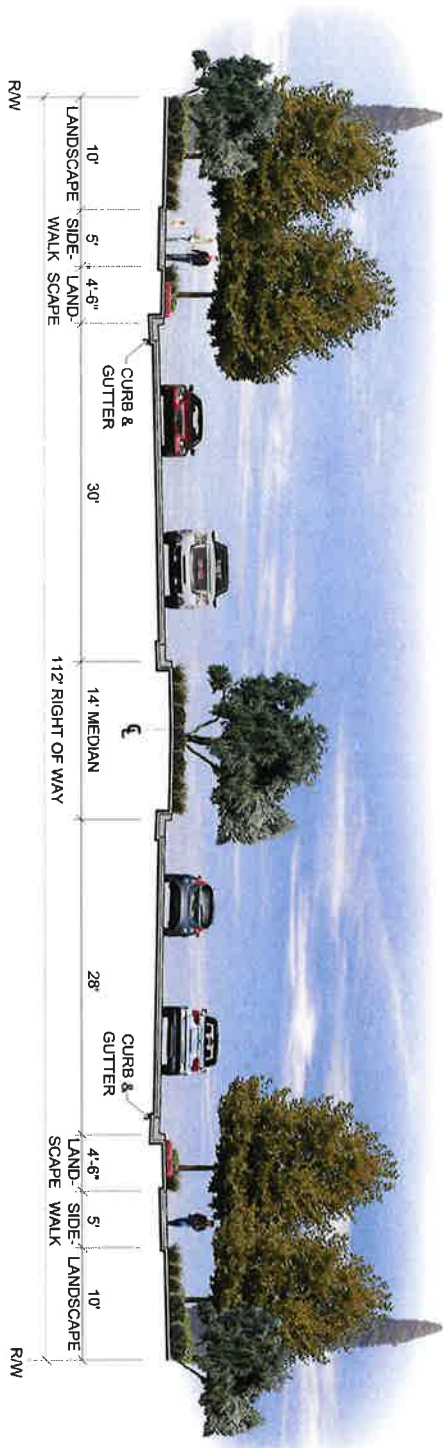


vander Zanden Ausbacher
1001 Poplar Valley Road, Suite 100
Pittsburg, CA 95961
916/835-2704 (2000)

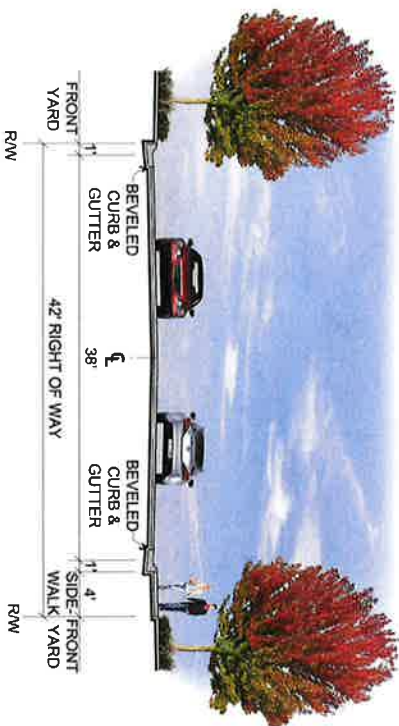


10418

A ENTRY STREET SECTION



B TYPICAL STREET SECTION



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Danville, CA 94506

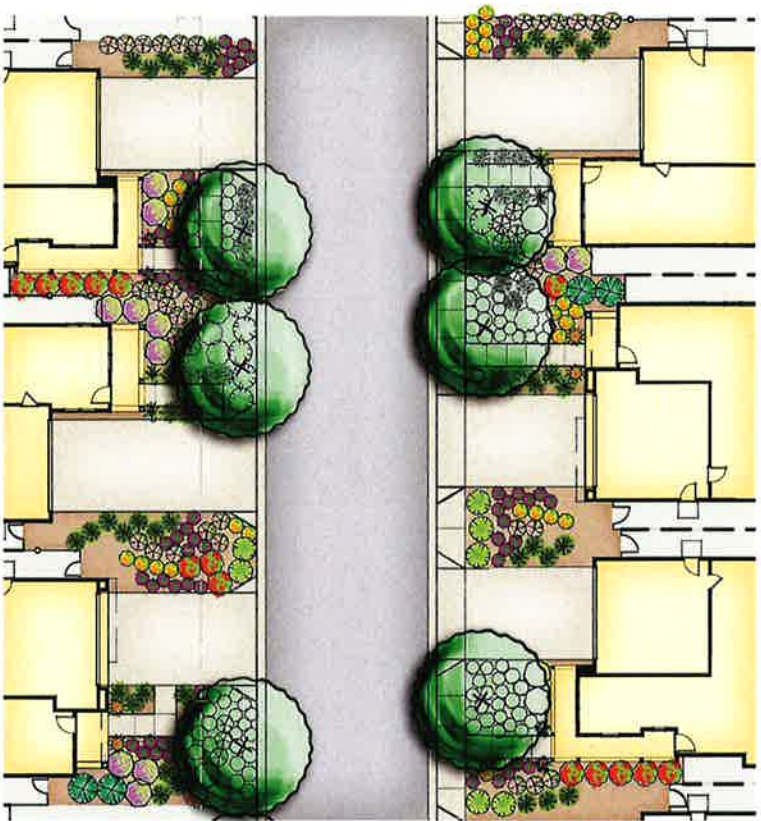
**CREEKSIDE
VINEYARDS AT SAND CREEK**
Antioch, California

TYPICAL STREET SECTIONS
DECEMBER 2019

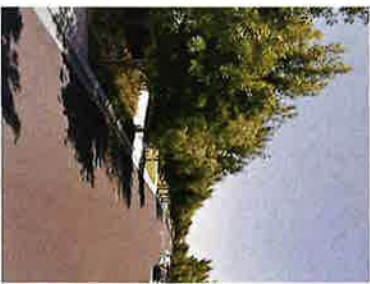


VTA
L-6

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A TYPICAL RESIDENTIAL STREETSCAPE



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Danville, CA 94506

CREEKSIDE VINEYARDS AT SAND CREEK Antioch, California

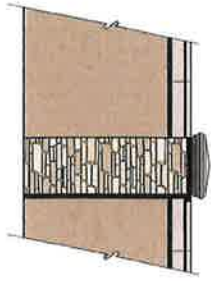
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TYPICAL FRONT YARDS DECEMBER 2019



VanderTolken Associates
The Landscape Architect
3820 Blackhawk Road
Danville, CA 94506
Tel: 925.341.1888
www.vanderTolken.com

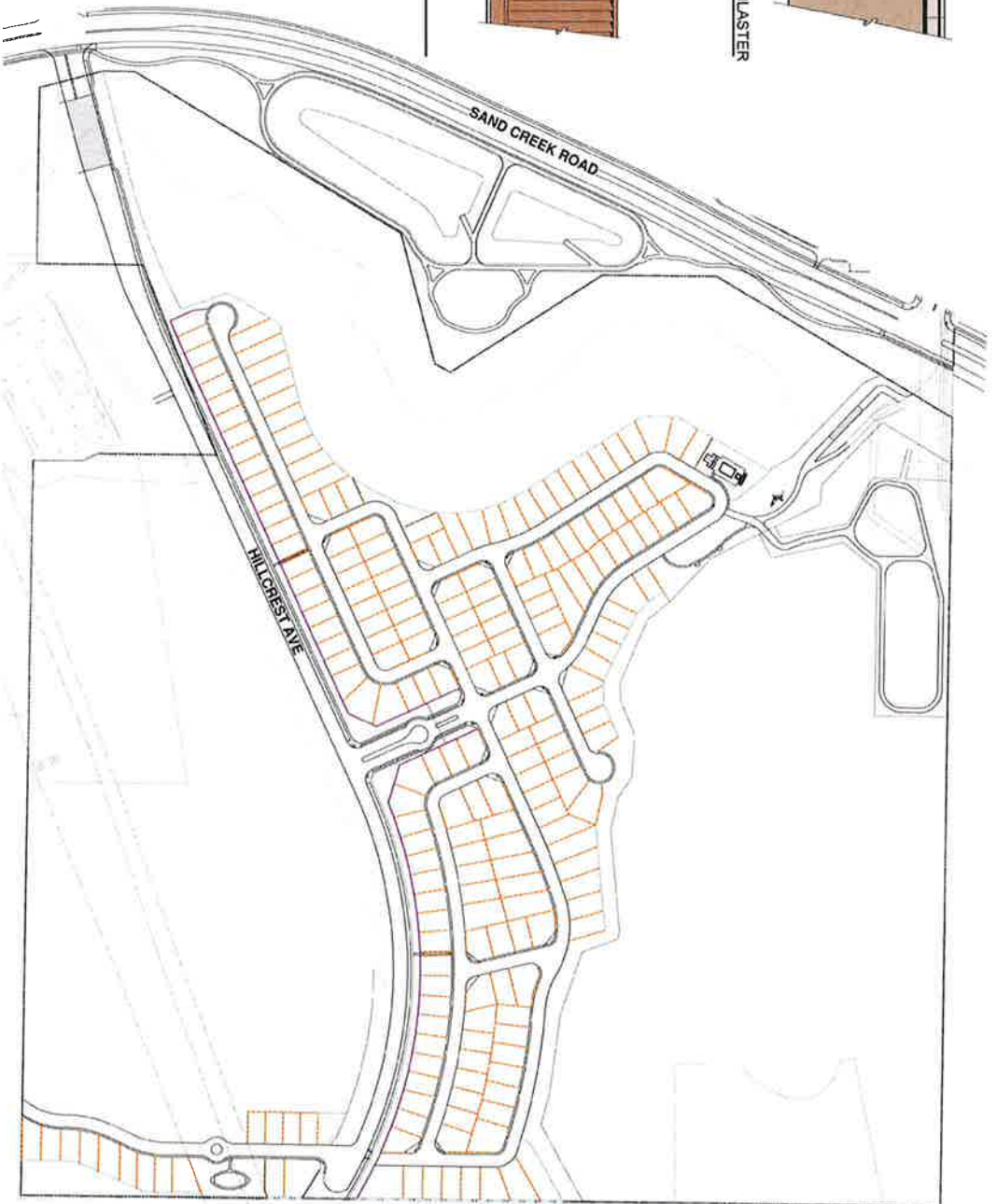




A SOUNDWALL W/ VENEER PLASTER



B GOOD NEIGHBOR FENCE



PRELIM WALL & FENCE LEGEND

- SOUND WALL W/ VENEER PLASTER
SEE DETAIL A, THIS SHEET
- - - 6" HIGH GOOD NEIGHBOR FENCE
SEE DETAIL B, THIS SHEET
- - - 6" HIGH TUBE STEEL FENCE W/ VENEER PLASTER
SEE DETAIL C, THIS SHEET



C TUBE STEEL FENCE W/ PLASTER



D TUBE STEEL FENCE



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3820 Blackhawk Road
Danville, CA 94506

CREEKSIDE VINEYARDS AT SAND CREEK
Antioch, California

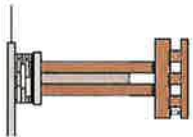
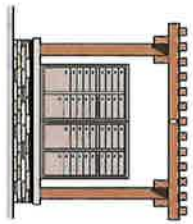
WALL/FENCE PLAN & DETAILS
DECEMBER 2019



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A MAILBOX CLUSTERS



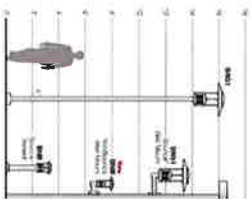
B BENCH



C TRASH RECEPTACLE



D DOG PICK-UP STATION



E RESIDENTIAL NEIGHBORHOOD LIGHT AND BOLLARD

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3820 Blackhawk Road
Danville, CA 94508

CREEKSIDE
VINEYARDS AT SAND CREEK
Antioch, California

SITE FURNITURE
DECEMBER 2019



van der Ploeg Associates
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(415) 774-1100
www.vanderploeg.com



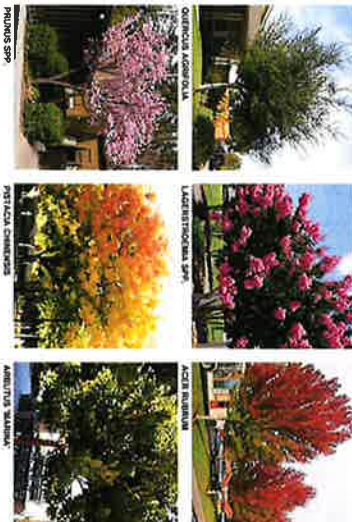
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COMMON NAME	SYNOPSIS
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TREES

[illegible]

TREES



SHRUBS



GROUND COVER



GRASSES



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Danville, CA 94506

**CREEKSIDE
VINEYARDS AT SAND CREEK**
Antioch, California

PLANT PALETTE
DECEMBER 2019

cbg
Carpenter, Herbert
1 Cbpoos Inc

VTA

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L-10

RESOLUTION NO. 2020/04

RESOLUTION OF THE CITY PARKS AND RECREATION COMMISSION OF THE CITY OF ANTIOCH RECOMMENDING TO THE CITY PLANNING COMMISSION ACCEPTANCE OF PARK-IN-LIEU FEES IN THE AMOUNT OF \$330,000 TO MEET THE PARK LAND OBLIGATION OF THE CREEKSIDE VINEYARDS AT SAND CREEK SUBDIVISION

WHEREAS, the City of Antioch has received an application for the Creekside Vineyards at Sand Creek project, a subdivision that includes 220 single-family dwelling units;

WHEREAS, the City requires that subdivisions that include residential development shall dedicate land or pay park-in-lieu fees or both;

WHEREAS, the total calculated park land obligation for the Project is 3.30 acres as established by the City of Antioch Municipal Code for purposes of park land dedication;

WHEREAS, the park-in-lieu fees for the Creekside Vineyards at Sand Creek project has been calculated at \$330,000 based on the requirements of the City of Antioch Municipal Code;

WHEREAS, the Subdivision Ordinance states that subdivisions creating 50 dwelling units or more must dedicate land at the option of the City of Antioch or pay the park-in-lieu fees or both;

WHEREAS, the "Private Park" is conditioned to meet all the City's park design standards current at the time of park construction;

WHEREAS, the Creekside Vineyards at Sand Creek project may be considered for park-in-lieu fee credit based on the detail park parcels "B" and "C" submittal incorporating the "Local Park Basic Elements" and meeting the qualification criteria; and

NOW, THEREFORE, BE IT RESOLVED, that the Park and Recreation Commission does recommend to the Planning Commission:

1. That the Creekside Vineyards at Sand Creek project meet its park land dedication requirements through the payment of park-in-lieu fees in the amount of \$330,000; and
2. Condition the "private park to meet all the City's Park Design Standards current at the time of the park's construction; and
3. Consider a park-in-lieu fee credit based on the detail park parcels "B" and "C" submittal incorporating the "local park basic elements" and meeting the qualification criteria per Code Section 9-4.1010(C) and (D)(6).

* * * * *

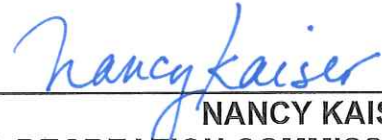
I HEREBY CERTIFY that the foregoing resolution was passed and adopted by the Parks and Recreation Commission of the City of Antioch at a regular meeting thereof held on the 17th day of December 2020 by the following vote:

AYES:

NOES:

ABSTAINS:

ABSENT:



NANCY KAISER

CLERK TO THE PARKS AND RECREATION COMMISSION

STAFF REPORT TO THE PLANNING COMMISSION

DATE: Regular Meeting of February 17, 2021

SUBMITTED BY: Kevin Scudero, Associate Planner *HTB for KS*

APPROVED BY: Alexis Morris, Planning Manager *(a)*

SUBJECT: **Ducky's Car Wash**
(UP-19-08, AR-19-15)

RECOMMENDED ACTION

It is recommended that the Planning Commission take the following actions:

1. Approve the resolution recommending that the City Council approve the Ducky's Car Wash CEQA Addendum.
2. Approve the resolution recommending that the City Council approve a Final Development Plan, Use Permit, and Design Review subject to conditions of approval (UP-19-08, AR-19-15).

DISCUSSION

Requested Approvals

The applicant, Richard Miller, requests approval of an Addendum to the Bank of Agriculture and Commerce and Auto Spa project Initial Study/Mitigated Negative Declaration (IS/MND), a Final Development Plan, Use Permit and Design Review approval for self-service car wash at the northwest corner of Lone Tree Way and Country Hills Drive (APN's 055-071-113, 055-071-114). Each request is described in detail below:

1. Addendum: The Planning Commission must recommend approval of the Addendum to the Bank of Agriculture and Commerce and Auto Spa project IS/MND to City Council prior to taking action on the other resolutions for the project.
2. Final Development Plan: The project is located in a previously approved Planned Development Zoning District (PD-06-02), therefore, approval of a Final Development Plan is required.
3. Use permit: The Zoning Ordinance requires that a use permit be approved prior to the construction of any phase of an approved PD district.

4. Design review: Design review of the project's architecture, design and landscaping is required.



Environmental

An Addendum to the Bank of Agriculture and Commerce and Auto Spa project Initial Study/Mitigated Negative Declaration (IS/MND) was prepared for the proposed project. The Addendum without attachments is provided as Attachment "G" to this staff report. The Bank of Agriculture and Commerce and Auto Spa project IS/MND and Addendum are also available online at <https://www.antiochca.gov/community-development-department/planning-division/environmental-documents/>.

CEQA and CEQA Guidelines establish the type of environmental documentation that is required when changes to a project occur after adoption or certification of an IS/MND. Section 15164(b) states, "An addendum to an adopted Negative Declaration may be prepared if only minor technical changes or additions are necessary or none of the conditions described in Section 15162 calling for the preparation of a subsequent EIR [Environmental Impact Report] or Negative Declaration have occurred."

In order to give a degree of finality to CEQA documentation, Section 15162 of the CEQA Guidelines states that when an Environmental Impact Report (EIR) has been certified or a negative declaration has been adopted for a project, no subsequent EIR or Negative Declaration (ND) shall be prepared for the project unless the lead agency determines, on the basis of substantial evidence in the light of the whole record, that one or more of the following occur:

1. Substantial changes are proposed in the project, which will require major revisions of the previous EIR or ND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
2. Substantial changes occur with respect to the circumstances under which the project is undertaken, which will require major revisions of the previous EIR or ND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or
3. New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete, or the ND was adopted, shows any of the following:
 - a. The project will have one or more significant effects not discussed in the previous EIR or ND,
 - b. Significant effects previously examined will be substantially more severe than shown in the previous EIR or ND,
 - c. Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative, or
 - d. Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or ND would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

As explained throughout the attached Addendum, these three “thresholds” for triggering a Subsequent IS/MND have not been met; therefore, a Subsequent IS/MND is not required. As a result, an addendum is the appropriate environmental document for the project.

As part of the analysis in the Addendum it was determined that a previous mitigation measure requiring the lengthening of the eastbound left turn pocket on Lone Tree Way at Country Hills Drive was no longer necessary because the amount of trips generated by the project was significantly reduced due to the removal of the proposed bank from the project on the adjacent parcel.

Background

On December 16, 2008 the City Council approved the Bank of Agriculture and Commerce and Auto Spa project. The project approvals included an IS/MND, Planned Development Rezone, Final Development Plan, Vesting Tentative Map, and Use Permit. The project also received Design Review approval from the Design Review board on December 10, 2008. The original project included the subdivision of the existing parcel into two parcels with a bank on the western parcel and a car wash on the eastern parcel. The applicant processed the lot subdivision but never constructed the project. The Planned Development zoning that permits the car wash does not expire but the Final Development Plan, Use Permit and Design Review approvals have since expired, which is why the applicant is going through the entitlement process again. The revised project only includes the development of a car cash on the eastern parcel and the western parcel is not part of this application, with the exception of a portion of the access driveway for the development. Any future development on the western parcel would be subject to a similar entitlement process as the Car Wash project.

ANALYSIS

Project Overview

The applicant proposes to construct an approximately 6,500 square foot self-service car wash with 23 covered vacuum stalls on an approximately 1.3-acre site at the northwest corner of the intersection of Lone Tree Way and Country Hills Drive. The proposed hours of operation during the winter for the car wash are seven days a week 8:00 AM to 5:00 PM and seven days a week 8:00 AM to 6:00 PM for the remainder of the year. The maximum number of employees on-site at any time will be five. This count includes the Onsite Manager, service advisors and production employees that guide the customers onto the car wash conveyor system and offer customers any support they may require when using the vacuum stations. Additional project components include site landscaping, trash enclosure and the construction of a deceleration along Lone Tree Way.

Project plans and a project description of the business are included as Attachments C and D, respectively, to the staff report.

General Plan, Zoning, and Land Use

The General Plan designation of the site is Business Park. The zoning of the site is Planned Development (PD-06-02). A car wash is allowed on this site subject to the approval of a Final Development Plan and Use Permit.

The surrounding land uses and zoning designations are noted below:

North:	Business Park / Planned Development (PD)
South:	Gas Station/Fast Food Restaurant / Planned Development (PD)
East:	Vacant Land / Planned Development (PD)
West:	Single Family Residential / Planned Development (PD)

Site Plan, Circulation and Parking

The proposed project will include an approximately 6,500 square foot car wash located at the north end of the site with queuing space for twelve vehicles. The site will also have twenty-three covered vacuum stalls for customers exiting the car wash and seven uncovered parking stalls that will be used by employees. While the Antioch Municipal Code does not have a specific parking standard for this type of car wash the traffic impact analysis conducted for the previously approved 2008 project determined that seven parking spaces was sufficient for the site.

There is one driveway providing access to the subject site from Lone Tree Way. The driveway is located toward the western side of the property and will serve as access to both the Car Wash site and any future development on the parcel to the west. The flow of traffic for the site is designed so that vehicles entering from Lone Tree Way will proceed to the north end of the site and enter the car wash tunnel that will run west to east. Upon the exit from the car wash tunnel the vehicles will then travel east to west where they will then have access to the vacuum stalls before continuing on to the access driveway to exit the site. A deceleration lane will also be added along the project frontage to provide vehicles the opportunity to pull out of the flow of traffic and slow down to enter the site.

Section 3.1.6H of the Citywide Design Guidelines states that decorative paving treatments shall be incorporated into driveway entries, therefore staff has included a condition of approval that a decorative paving treatment be added to the driveway entry from Lone Tree Way.

Architecture

Staff is asking the Planning Commission to provide direction on whether they feel the proposed building design is appropriate for the location or whether a new design should be submitted that is more consistent with the Citywide Design Guidelines. Should the commission want the applicant to come back with a new design you can still approve the land use and addendum while deferring the design review to a future meeting. Should the commission feel the design is appropriate staff has added a condition of approval that the flat surface of the building along the EBMUD trail be planted or landscaped to deter graffiti and provide visual articulation on that façade.

While the applicant has clearly put a lot of thought into the design of the building, staff is concerned that the proposed design is not entirely consistent with the Antioch Citywide Design Guidelines. Section 3.1.4 of the guidelines encourages a regional architectural style such as Craftsman or Spanish Colonial Revival with the intent being that the architectural style will create a particular character and a sense of consistency throughout a commercial development. The design proposed by the applicant is not a regional architectural style.

The proposed car wash building is designed to have a modern, clean and fresh look with white and light grey neutral colors, gold accent color and straight lines and edges. The building is designed with durable materials such as a CMU ground face block wainscoting,

and steel framed wall above it. The main exterior finish materials are phenolic panels which are a durable composite wood material with a smooth finish and visible seam lines between the panels. The applicant states that the phenolic panels are “easy to clean, extremely weather resistant, do not melt with fire, extremely durable, and modern looking.” The roofing material will be a standing seam metal roof painted Tahoe Blue.

Diagonal windows and lines are introduced in the façade to create accent and add an interesting design feature to the building. Wood textured phenolic panels were also placed in a manner to provide mass and accent to the design of the structure. The applicant states that the “design concept is a transition out of a traditional look for car wash design and will provide something that stands out from other structures in the commercial neighborhood.”

The proposed vacuum canopies will have a blue fabric awning with an attached hose and trash receptacle. The vacuum hose will be attached to the adjustable crossbar. A detail of the vacuum canopy has been included as Attachment “H” to the staff report.

Another area where the proposed building is not in compliance with the Citywide Design Guidelines are the types of materials being used. The guidelines state that the building materials should complement and blend with the surrounding environment and buildings. The proposed materials do not blend with the surrounding environment nor are they on the encouraged list of materials to be used. The proposed metal roof and phenolic panels are listed as discouraged materials in the Citywide Design Guidelines. The materials are also reflective and glossy which is also discouraged by the Citywide Design Guidelines.

Lastly, the project site has an adjacent parcel that potentially could be developed in the future. The current allowed uses on the adjacent parcel are either a bank or business offices. The expectation is that all of the buildings in a planned development are architecturally compatible and given the unique design of the proposed car wash building staff has concerns as to whether that would be possible for any new building on the adjacent parcel.

Signage and Landscaping

Staff is recommending that a revised sign package consistent with Citywide Design Guidelines be submitted for review and approval by the Zoning Administrator. A copy of the proposed signage is included as Attachment “E” to the staff report.

The proposed building and monument signage are not consistent with Citywide Design Guidelines for signage. The signage package utilizes internally illuminated acrylic signage for building and monument signs, which is not allowed per the design guidelines. The sign base is also not of approved materials and there are no architectural elements used to provide design interest.

The Citywide Design Guidelines encourage the use of durable materials and states that painted metal or wood are appropriate materials for signs. The guidelines also state that architectural elements such as columns or pilasters should be used to provide design interest and frame the sign.

The landscaping is located primarily around the perimeter of the site. The landscape plan includes a variety of drought tolerant trees, shrubs and ground cover that meet the City of Antioch standards. Additional trees were placed in the front landscape setback to provide additional screening of the vacuum stalls along Lone Tree Way.

ATTACHMENTS

- A. Resolution Recommending that the City Council approve the Addendum to the Bank of Agriculture and Commerce and Auto Spa IS/MND
- B. Resolution Recommending that the City Council approve the Final Development Plan, Use Permit, and Design Review for the Ducky's Car Wash Project
- C. Project Plans
- D. Project Description
- E. Signage Plans
- F. Contra Costa Fire Comment Letter
- G. CEQA Addendum (no attachments)
- H. Vacuum Canopy Detail

ATTACHMENT A

PLANNING COMMISSION RESOLUTION NO. 2021-**

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ANTIOCH RECOMMENDING THAT THE CITY COUNCIL ADOPT THE ADDENDUM TO THE INITIAL STUDY/MITIGATED NEGATIVE DECLARATION FOR THE BANK OF AGRICULTURE AND AUTO SPA PROJECT AS ADEQUATE FOR ADDRESSING THE ENVIRONMENTAL IMPACTS OF THE PROPOSED PROJECT

WHEREAS, the City Council of the City of Antioch adopted Resolution No. 2008/111 Certifying the Initial Study/Mitigated Negative Declaration (IS/MND) for the Bank of Agriculture and Commerce and Auto Spa Project as adequate for addressing the environmental impacts of the project;

WHEREAS, the City received an application from Richard Miller to modify the Bank of Agriculture and Auto Spa Project, including a request for a Final Development Plan, Use Permit and Design Review for the development of a self-service car wash on 1.3 acres. The project is located on the northwest corner of Lone Tree Way and Country Hills Drive (APN's 055-071-113, 055-071-114);

WHEREAS, the City determined that the appropriate environmental document for the proposed Ducky's Car Wash project is an Addendum to the Bank of Agriculture and Commerce and Auto Spa Project (IS/MND); and

WHEREAS, the Planning Commission, after notice, held a public hearing before said Commission on February 17, 2021, and recommended that the City Council adopt the Addendum to the Bank of Agriculture and Commerce and Auto Spa Project (IS/MND).

NOW, THEREFORE, BE IT RESOLVED AND DETERMINED, as follows:

1. The foregoing recitals are true and correct.
2. **THE PLANNING COMMISSION** hereby finds that substantial changes are not proposed to the project that would require major revisions to the 2008 IS/MND due to the involvement of new significant environmental effects or a substantial increase in the severity of a previously identified effect.
3. **THE PLANNING COMMISSION** hereby finds that substantial changes have not occurred with respect to the circumstances under which the project is undertaken requiring major revisions to the 2008 IS/MND due to the involvement of new significant environmental effects or a substantial increase in the severity of a previously identified effect.

4. **THE PLANNING COMMISSION** hereby finds that there is no new information of substantial importance which was not known and could not have been known at the time the 2008 IS/MND was certified showing any of the following:
- a. The project will have a new significant effect not previously discussed in the 2008 IS/MND.
 - b. The project will not cause any significant effect examined in the 2008 IS/MND to be substantially more severe.
 - c. The mitigation measures in the 2008 IS/MND and adopted in the CEQA Findings for the 2008 Bank of Agriculture and Commerce and Auto Spa Project remain feasible but some have been modified to reflect the proposed project. All mitigation measures identified in this Addendum and required for the proposed project as identified in the 2008 IS/MND that are necessary to reduce the potentially significant impacts to a level of insignificance will be made a requirement of the project and are acceptable by the project proponent.
 - d. There are no mitigation measures or alternatives which are considerably different from those analyzed in the 2008 IS/MND that would substantially reduce one or more significant effects on the environment.
5. **THE PLANNING COMMISSION** hereby finds that the removal of mitigation measure TRAN-1 requiring the lengthening of the left turn pocket on eastbound Lone Tree Way at Country Hills Drive is justified because the significant reduction of trips the revised project will generate does not trigger the need for the left turn lane to be lengthened.

BE IT FURTHER RESOLVED that the Addendum to the IS/MND for the Bank of Agriculture and Commerce and Auto Spa Project is hereby RECOMMENDED FOR ADOPTION pursuant to the California Environmental Quality Act. All feasible mitigation measures for the project identified in the IS/MND, Addendum and accompanying studies are hereby incorporated into this approval.

* * * * *

I HEREBY CERTIFY that the foregoing resolution was adopted by the Planning Commission of the City of Antioch at a regular meeting thereof held on the 17th day of February, 2021, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

FORREST EBBS
Secretary to the Planning Commission

ATTACHMENT B

PLANNING COMMISSION RESOLUTION NO. 2021-**

RESOLUTION OF THE CITY OF ANTIOCH PLANNING COMMISSION RECOMMENDING THAT THE CITY COUNCIL APPROVE A FINAL DEVELOPMENT PLAN, USE PERMIT AND DESIGN REVIEW (UP-19-08, AR-19-15) FOR THE DUCKY'S CAR WASH PROJECT

WHEREAS, the City received an application from Richard Miller, for approval of an Addendum Bank of Agriculture and Commerce and Auto Spa project Initial Study / Mitigated Negative Declaration, a Final Development Plan, Use Permit and Design Review for the development of a self-service car wash on 1.3 acres (UP-19-08, AR-19-15). The project site is located at the northwest corner of Lone Tree Way and Country Hills Drive (APN's 055-071-113, 055-071-114);

WHEREAS, the City determined an Addendum to Bank of Agriculture and Commerce and Auto Spa project Initial Study / Mitigated Negative Declaration is the appropriate environmental document pursuant to Section 15164 of the Guidelines of the California Environmental Quality Act;

WHEREAS, the Planning Commission recommended adoption of the Addendum to the Bank of Agriculture and Commerce and Auto Spa project Initial Study / Mitigated Negative Declaration to the City Council;

WHEREAS, the Planning Commission duly gave notice of public hearing as required by law;

WHEREAS, on February 17, 2021, the Planning Commission duly held a public hearing on the matter, and received and considered evidence, both oral and documentary.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission makes the following findings for approval of a Final Development Plan:

1. Each individual unit of the development can exist as an independent unit capable of creating an environment of sustained desirability and stability, and the uses proposed will not be detrimental to present or potential surrounding uses but instead will have a beneficial effect which could not be achieved under another zoning district;
2. The streets and thoroughfares proposed meet the standards of the City's Growth Management Program and adequate utility service can be supplied to all phases of the development because the project will be constructing all the required streets and utilities to serve the project. The Project will be required to pay for all

improvements to the site as well as its fair share of impacts to all public services. The project has been reviewed and no significant impacts on utilities or services has been identified;

3. The commercial components of the Project are justified economically at the location proposed;
4. There are no residential components of the project;
5. There are no industrial components of the project;
6. Any deviation from the standard zoning requirements is warranted by the design and additional amenities incorporated in the final development plan which offer certain unusual redeeming features to compensate for any deviations that may be permitted. The project is substantially in conformance with zoning requirements for commercial developments;
7. The area surrounding the -D District can be planned and zoned in coordination and substantial compatibility with the proposed development; because the development is compatible with the surrounding neighborhood and the uses are consistent with the General Plan;
8. The Project and the PD District conform to the General Plan of the City in that the car wash use is an automotive use that is consistent with the General Plan designation of Business Park established for the project site.

NOW, THEREFORE, BE IT FURTHER RESOLVED, that the Planning Commission does hereby make the following findings for approval of a Use Permit:

1. The granting of such use permit will not be detrimental to the public health or welfare or injurious to the property or improvements in such zone or vicinity because the project has been designed to comply with the City of Antioch Municipal Code requirements.
2. The use applied at the location indicated is properly one for which a use permit is authorized because the City of Antioch Zoning Ordinance requires a use permit for all uses established in a Planned Development District (PD).
3. That the site for the proposed use is adequate in size and shape to accommodate such use, and all yards, fences, parking, loading, landscaping, and other features required, to other uses in the neighborhood. The site plan complies with the City of Antioch standards and contains adequate queuing space and parking for a car wash use.

4. That the site abuts streets adequate in width and pavement type to carry the kind of traffic generated by the proposed use. The project site is located at the intersection of Lone Tree Way and Country Hills Drive. Both streets are adequate in width and pavement type to carry the traffic generated by the proposed use.
5. That the granting of such use permit will not adversely affect the comprehensive General Plan because the proposed use is consistent with the General Plan designations of Business Park.

NOW, THEREFORE, BE IT FURTHER RESOLVED that the Planning Commission of the City of Antioch does hereby recommend APPROVAL to the City Council of a Final Development Plan, Use Permit, and Design Review for the development of a self-service car wash on 1.3 acres (UP-19-08, AR-19-15). The project site is located at the northwest corner of Lone Tree Way and Country Hills Drive (APN's 055-071-113, 055-071-114) subject to the following conditions:

A. GENERAL CONDITIONS

1. This approval expires two years from the date of approval by the Planning Commission (February 17, 2023), unless a building permit has been issued and construction has diligently commenced thereon and has not expired, or an extension has been approved by the Zoning Administrator. Requests for extensions must be received in writing with the appropriate fees prior to the expiration of this approval. No more than one one-year extension shall be granted.
2. No permits or approvals, whether discretionary or mandatory, shall be considered if the applicant is not current on fees, reimbursement payments and other monies that are due.
3. The development and all proposed improvements shall comply with the City of Antioch Municipal Code and City Standards, unless a specific exception is granted thereto or approved by the City Engineer.
4. All required easements or rights-of-way shall be obtained by the applicant at no cost to the City of Antioch. Advance permission shall be obtained from any property or easement holders for any work done within such property or easements.
5. City staff shall inspect the site for compliance with conditions of approval prior to final inspection approval.

6. The applicant shall obtain an encroachment permit for all work to be done within the public right-of-way or easement, and peak commute-hour traffic shall not be impeded by construction-related activity.
7. All existing easements shall be identified on the site plan and all plans that encroach into existing easements shall be submitted to the easement holder for review and approval, and advance written permission shall be obtained from any property owner or easement holder for any work done within such property or easement.

B. CONSTRUCTION CONDITIONS

1. The use of construction equipment shall be as outlined in the Antioch Municipal Code § 5-17.05. Requests for alternative days/times may be submitted in writing to the City Manager for consideration.
2. The project shall comply with and supply all the necessary documentation for AMC § 6-3.2: Construction and Demolition Debris Recycling.
3. Standard dust control methods shall be used to stabilize the dust generated by construction activities. The developer shall post dust control signage with the contact number of the Developer, the Bay Area Air Quality Management District and the City.
4. Driveway access to neighboring properties shall be maintained at all times during construction.

C. UTILITIES

1. All existing and proposed utilities (e.g. transformers and PMH boxes) shall be undergrounded and subsurface in accordance with the Antioch Municipal Code, except existing P.G.& E. towers, if any, or as approved by the City Engineer.
2. Prior to issuance of a building permit, the applicant shall submit hydrologic and hydraulic calculations for review to the City for design and construction of storm drain facilities that adequately collect and convey stormwater entering or originating within the development to the nearest adequate man-made drainage facility or natural watercourse, without diversion of watershed.
3. All storm water flows shall be collected onsite and discharged into an approved public storm drain system.

4. Trash enclosures shall drain to sanitary sewer, subject to the requirements of Contra Costa County Environmental Health, and shall incorporate methods to contain runoff at the front-gate and pedestrian access point to prevent storm water from entering the enclosure.
5. The sewer collection system shall be constructed to function as a gravity system.
6. A reduced pressure backflow preventer assembly shall be installed on all City water meter services.
7. All onsite utilities outside a public utility easement or as determined by the City Engineer shall be privately owned and maintained and connected to public facilities in accordance with City Standards.
8. Double detector check valve backflow assemblies shall be installed at each end of the private fire line and enclosed within easements granted to the City.
9. The developer shall provide adequate water pressure and volume to serve this development, as approved by the City Engineer. This will include a minimum residual pressure of 20 psi with all losses included at the highest point of water service and a minimum static pressure of 50 psi.
10. The applicant shall install all infrastructure to serve the site. Infrastructure for access to the site (sewer, water, storm, joint trench, and surface improvements) shall be completed prior to issuance of a certificate of occupancy for the site.
11. All proposed drainage facilities, including open ditches, shall be constructed of Portland Concrete Cement or as approved by the City Engineer.

D. LANDSCAPING

1. Sight distance triangles shall be maintained per AMC § 9-5.1101, Site Obstructions at Intersections, or as approved by the City Engineer. Landscaping and signage shall not create a sight distance problem.
2. Detailed landscaping and irrigation plans for the entire site shall be submitted to the City for review and approval. All landscaping and irrigation shall be installed in accordance with approved plans prior to the issuance of certificates of occupancy for this building.
3. Landscaping for the project shall be designed to comply with the applicable requirements of City of Antioch Ordinance No. 2162-C-S The State Model Water Efficient Landscape Ordinance (MWELo). Prior to issuance of a building permit,

the applicant shall demonstrate compliance with the applicable requirements of the MWELO in the landscape and irrigation plans submitted to the City.

4. Landscape shall show immediate results. Landscaped areas shall be watered, weeded, pruned, fertilized, sprayed, and/or otherwise maintained as necessary. Plant materials shall be replaced as needed to maintain the landscaping in accordance with the approved plans.
5. All trees shall be a minimum 24" box size and all shrubs shall be a minimum 5-gallon size.
6. Landscaping on sidewalk planters along property and adjacent property (APN 055-071-113) frontage along Lone Tree Way shall be installed to the satisfaction of the City Engineer.

E. FIRE REQUIREMENTS

1. All requirements of the Contra Costa Fire District shall be met.

F. FEES

1. The developer shall pay all City fees which have been established by the City Council and as required by the Antioch Municipal Code.
2. The developer shall pay all pass-through fees required by the development
3. The property shall annex into Street Lighting and Landscape District 2A Zone 9 and accept a level of annual assessments sufficient to maintain street lights and landscaping adjacent to the project. The annual assessment shall cover the actual annual cost of maintenance as described in the Engineer's Report.

G. GRADING

1. The grading operation shall take place at a time and in a manner so as not to allow erosion and sedimentation. The slopes shall be landscaped and reseeded as soon as possible after the grading operation ceases. Erosion measures shall be implemented during all construction phases in accordance with an approved erosion and sedimentation control plan.

2. The final grading plan for this development shall be approved by the City Engineer and signed by a California licensed civil engineer. No grading is allowed without a grading permit issued by the Building Department.
3. All elevations shown on the grading and improvement plans shall be on the USGS 1929 sea level datum or NAVD 88 with conversion information, or as approved by the City Engineer.
4. All slopes shall drain to approved drainage facilities as approved by the City Engineer.
5. Wall and fence locations and elevations shall be included on the grading plan.
6. Any existing wells or septic systems on the property shall be properly abandoned under permit from the Contra Costa County Environmental Health Department.
7. All grading shall be accomplished in a manner that precludes surface water drainage across any property line.
8. Swales adjacent to structures shall have a minimum of a 1% slope or as directed by the City Engineer.
9. All off-site grading is subject to the coordination and approval of the affected property owners and the City Engineer. The developer shall submit written authorization to "access, enter, or grade" adjacent properties prior to performing any work.
10. Retaining walls shall be of masonry construction and shall not be constructed in City right-of-way or other City maintained parcels unless approved by the City Engineer.
11. All retaining walls shall be reduced in height to the maximum extent practicable and any walls or signage shall meet the height requirements in the setback and sight distance triangles as required by the City Engineer.

H. CONSERVATION/NPDES

1. The project shall comply with all Federal, State, and City regulations for the National Pollution Discharge Elimination System (NPDES) (AMC§6-9). Under NPDES regulations, the project is subject to provision C.3: New development and redevelopment regulations for storm water treatment. Provision C.3 requires that the project include storm water treatment and source control measures, as well run-off flow controls, so that post-project runoff does not exceed estimated pre-project runoff. C.3 regulations require the submittal of a Storm Water Control

Plan (SWCP) that demonstrates how compliance will be achieved. The SWCP shall be submitted simultaneously with the project plans. An Operation and Maintenance Plan (O&M) for the treatment and flow-controls in the approved SWCP shall be submitted and approved before the Building Department will issue Certificate of Occupancy permits and shall be included in the project CC&Rs. Prior to building permit final and issuance of a Certificate of Occupancy, the applicant shall execute any agreements identified in the Storm Water Control Plan that pertain to the transfer of ownership and/or long-term maintenance of storm water treatment or hydrograph modification BMPs.

2. The following requirements of the federally mandated NPDES program (National Pollutant DISCHARGE Elimination System) shall be complied with as appropriate, or as required by the City Engineer:
 - a. Prior to issuance of permits for building, site improvements, or landscaping, the applicant shall submit a permit application consistent with the applicant's approved Storm Water Control Plan, and include drawings and specifications necessary for construction of site design features, measures to limit directly connected impervious area, pervious pavements, self-retaining areas, treatment BMPs, permanent source control BMPs, and other features that control storm water flow and potential storm water pollutants.
 - b. The Storm Water Control Plan shall be certified by a registered civil engineer, and by a registered architect or landscape architect as applicable. Professionals certifying the Storm Water Control Plan shall be registered in the State of California and submit verification of training, on design of treatment measures for water quality, not more than three years prior to the signature date by an organization with storm water treatment measure design expertise (e.g., a university, American Society of Civil Engineers, American Society of Landscape Architects, American Public Works Association, or the California Water Environment Association), and verify understanding of groundwater protection principles applicable to the project site (see Provision C.3.i of Regional Water Quality Control Board Order R2 2003 0022).
 - c. Prior to building permit final and issuance of a Certificate of Occupancy, the applicant shall submit, for review and approval by the City, a final Storm Water BMP Operation and Maintenance Plan in accordance with City of Antioch guidelines. This O&M plan shall incorporate City comments on the draft O&M plan and any revisions resulting from changes made during construction. The O&M plan shall be incorporated into the CC&Rs for the Project.

- d. Prior to building permit final and issuance of a Certificate of Occupancy, the applicant shall execute and record any agreements identified in the Storm Water Control Plan which pertain to the transfer of ownership and/or long-term maintenance of storm water treatment or hydrograph modification BMPs.
- e. Prevent site drainage from draining across sidewalks and driveways in a concentrated manner.
- f. Collect and convey all storm water entering, and/or originating from, the site to an adequate downstream drainage facility. Submit hydrologic and hydraulic calculations with the Improvement Plans to Engineering Services for review and approval.
- g. Prior to issuance of the grading permit, submit proof of filing of a Notice of Intent (NOI) by providing the unique Waste Discharge Identification Number (WDID#) issued from the Regional Water Quality Control Board.
- h. Submit a copy of the Storm Water Pollution Prevention Plan (SWPPP) for review to the Engineering Department prior to issuance of a building and/or grading permit. The general contractor and all subcontractors and suppliers of materials and equipment shall implement these BMP's. Construction site cleanup and control of construction debris shall also be addressed in this program. Failure to comply with the approved construction BMP may result in the issuance of correction notices, citations, or a project stop work order.
- i. Install appropriate clean water devices at all private storm drain locations immediately prior to entering the public storm drain system. Implement Best Management Practices (BMP's) at all times.
- j. Install on all catch basins "No Dumping, Drains to River" decal buttons.
- k. If sidewalks are pressure washed, debris shall be trapped and collected to prevent entry into the storm drain system. No cleaning agent may be discharged into the storm drain. If any cleaning agent or degreaser is used, wash water shall be collected and discharged to the sanitary sewer, subject to the approval of the sanitary sewer District.
- l. Include erosion control/storm water quality measures in the final grading plan that specifically address measures to prevent soil, dirt, and debris from entering the storm drain system. Such measures may include, but are not limited to, hydro seeding, gravel bags and siltation fences and are subject to review and approval of the City Engineer. If no grading plan is

required, necessary erosion control/storm water quality measures shall be shown on the site plan submitted for an on-site permit, subject to review and approval of the City Engineer. The applicant shall be responsible for ensuring that all contractors and subcontractors are aware of and implement such measures.

- m. Sweep or vacuum the parking lot(s) a minimum of once a month and prevent the accumulation of litter and debris on the site. Corners and hard to reach areas shall be swept manually.
- n. Ensure that the area surrounding the project such as the streets stay free and clear of construction debris such as silt, dirt, dust, and tracked mud coming in from or in any way related to project construction. Areas that are exposed for extended periods shall be watered regularly to reduce wind erosion. Paved areas and access roads shall be swept on a regular basis. All trucks shall be covered.
- o. Clean all on-site storm drain facilities a minimum of twice a year, once immediately prior to October 15 and once in January. Additional cleaning may be required if found necessary by City Inspectors and/or City Engineer.
- p. Install full trash capture device(s) in storm water catch basins that collect water from the project site. A "full trash capture device" is defined as any device or series of devices that traps all particles retained by a 5mm mesh screen and has a design treatment capacity of not less than the peak flow rate resulting from a one-year, one-hour, storm in the tributary drainage catchment area. Selected devices must be detailed on the building permit plan submittal and approved by Public Works prior to installation.

I. PROPERTY MAINTENANCE

- 1. A parking lot sweeping program shall be implemented on all parcels within the development that, at a minimum, provides for sweeping immediately prior to the storm season and prior to each storm event.
- 2. The project shall comply with AMC § 5-1.204. Upon development of the adjacent parcel (APN 055-071-113) the applicant shall enter into an approved maintenance agreement reflective of standards contained in AMC § 5-1.204(G). The approved maintenance agreement shall cover all of the parcels within the development.
- 3. The property maintenance agreement shall be recorded on all future parcels in the development.

4. The site shall be kept clean of all debris (boxes, junk, garbage, etc.) at all times.

J. FINAL IS/MND AND MITIGATION MONITORING AND REPORTING PROGRAM

1. The applicant shall comply with all mitigation measures identified in the Mitigation Monitoring and Reporting Program and subsequent Addendum.
2. The applicant shall mitigate any impacts on wildlife, including State and Federally listed threatened and endangered species, and their habitat by compliance with one of the following:
 - a. Implementing, or making enforceable commitments to implement, all applicable mitigation measures in the project environmental documents, as well as any additional measures as may be required by the California Department of Fish & Wildlife (CDFW) or the U.S. Fish & Wildlife Service (FWS), and obtaining a letter(s) from CDFW and FWS stating that the project has fulfilled the requirements of applicable State and Federal wildlife protection laws and regulations; or
 - b. Complying with applicable terms and conditions of the ECCC HCP/NCCP, as determined in written "Conditions of Coverage" by the East Contra Costa County Habitat Conservancy (Conservancy), provided that the City has first entered into an agreement with the Conservancy for coverage of impacts to ECCCHCP/NCCP Covered Species; or
 - c. Complying with a habitat conservation plan and/or natural community conservation plan developed and adopted by the City, including payment of applicable fees, provided that CDFW and FWS have approved the conservation plan.

K. PROJECT SPECIFIC CONDITIONS

1. This final development plan, use permit and design review approval applies to the development of Ducky's Car Wash as depicted on the project plans and materials submitted to the Community Development Department on May 15, 2020.
2. All on-site curbs, gutters and sidewalks shall be constructed of Portland cement concrete.
3. Asphalt paving shall have a minimum slope of 2%, concrete paving shall have a minimum slope of 0.75%, and asphalt paving for identified accessible parking stalls and access routes may have a minimum slope of 1.5% and a maximum 2% slope, or as approved by the City Engineer.
4. All access drive aisles shall be constructed per current ADA and City standards, subject to review and approval by the City Engineer.

5. The applicant shall install and maintain parking lot and pathway lights and landscaping within the project area at no cost to the City.
6. The parking lot striping and signing plan shall be approved by the City Engineer.
7. All parking spaces shall be double-striped, and all parking lot dimensions shall meet minimum City of Antioch Municipal Code requirements.
8. The applicant shall show a turning template on the site plan verifying that trucks can safely ingress, egress, and successfully maneuver throughout the site.
9. All cracked, broken or damaged concrete curb, gutter and/or sidewalks along Lone Tree Way (in the public right-of-way along the project frontage) shall be removed and replaced as required by the City Engineer and at no cost to the City.
10. A revised sign package consistent with the Citywide Design Guidelines for signage shall be submitted for Zoning Administrator approval prior to issuance of building permits for building and monument signage.
11. No more than ten percent (10%) of parking spaces shall be compact per AMC §9-5.1711.
12. No Parking Any Time (R26) signage shall be installed per California MUTCD standards at locations along project frontage as approved by the City Engineer.
13. The existing curb ramp at the corner of Lone Tree Way and Country Hills Drive shall be modified if necessary, to meet current ADA requirements.
14. The garbage company shall provide approval for the location of all trash enclosures, subject to the approval of the City Engineer. Trash enclosures shall not be located within any easement areas.
15. A stop sign shall be installed at driveway exit onto Lone Tree Way.
16. Mutual access and parking agreement shall be recorded with adjacent parcel (APN 055-071-113) as approved by the City Engineer.
17. No overnight parking of vehicles shall be allowed onsite.
18. No outdoor storage shall be allowed.
19. The project shall install bicycle parking stalls per the requirements of Antioch Municipal Code Section 9-5.1707

20. Decorative paving shall be added to the project driveway at the entrance to the development.
21. The flat surface of the building façade along the EBMUD trail shall be planted or landscaped to deter graffiti and provide visual articulation on that façade.
22. In alignment with the City's adopted Climate Action Plan (2010), the City requires this development to install at least 1 "Idle Free" incidental sign encouraging drivers not to idle their vehicle in order to reduce air pollution and greenhouse gas emissions. The City recommends the sign be placed in an area where drivers are likely to see it when they park and wait, such as at the beginning of a drive thru or pick up area. The sign's location shall be shown on plans and shall be reviewed and approved by staff at the building permit stage. The City requires that the sign be 12"x18" and meet existing City requirements for signage, such as for no parking signs, traffic sign mounting, and signage in the right of way. The applicant shall visit the Idle Free Bay Area website at <https://idlefreebayarea.org/resources/> in order to view a sample bilingual Idle Free sign. This template sign can be used by the applicant when having a sign designed and printed.
23. The landscaping shown on the small remainder parcel at the northeast corner of Lone Tree Way and Country Hills Drive (APN 055-071-115) shall be removed, The owner is responsible for maintenance of this small remainder parcel and should reach out to the East Bay Municipal Utility District to inquire about deeding the parcel to them.

* * * * *

I HEREBY CERTIFY that the foregoing recommendation was passed and adopted by the Planning Commission of the City of Antioch, at a regular meeting thereof, held on the 17th day of February, 2021 by following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

FORREST EBBS
Secretary to the Planning Commission

PROJECT NAME:

DUCKY'S CAR WASH

PROJECT ADDRESS:

LONE TREE WAY & COUNTRY HILLS DRIVE,
ANTIOCH CA 94509

APN:

APN: 095-071-113 IS PART OF THE ACCESS ROADWAY
RELATED TO THE CAR WASH DEVELOPMENT ON PARCELS
095-071-1554 AND 095-071-114-7

PROJECT DESCRIPTION

NEW SINGLE STORY CAR WASH TUNNEL W/ OFFICE
SPACE AND CUSTOMER LOUNGE & RESTROOMS.
INCLUDES PARKING AREAS FOR EMPLOYEES AND
CUSTOMERS W/ COVERED SELF SERVICE VACUUM
STALLS.
THE CAR WASH PROJECT TO BE LOCATED AT THE
CORNER OF LONE TREE WAY AND COUNTRY HILLS DRIVE
BY DUCKY'S CAR WASH WILL BE A MODERN, CLEAN AND
EFFICIENT CAR WASHING SOLUTION.

BUILDING DESIGN:

The car wash building is designed to have a modern, clean, and Fresh
look, with white and light grey neutral colors, and straight lines and
edges. Design concept is a transition out of traditional look for car
wash design, and provide something that will stands out with other
structures around the commercial neighborhood. This will attract
local and transient customers around the area. It will keep the
business going and will be generating profit, which will be in favor for
both the business owner, the community, and the City of Antioch.

The building is designed with durable materials such as at the base
which is a CMU ground face block walls wainscoting, and wall steel-
framed above it. Supported by metal stud framing are the main
exterior finish materials called phenolic panels. These materials are
easy to clean. It is extremely weather resistant, and does not melt
with fire, extremely durable, and modern looking. Roofing material will
be standing seam metal roof, in light bluish-grey neutral color that
blends with the color of the walls, and the rest of the building
materials used.

Diagonal windows and lines is introduced in the facade to create
accent and interesting design feature of the building. Wood textured
phenolic panels were also placed continuously from the end corner
wall up to the roof, then tapering to the other end then down wall.
Another design feature of the car wash that provided mass and
accent to the design of the structure.

CONDITION:
ANY DEVELOPMENT ON THE ADJACENT PARCEL WILL
NEED TO BE ARCHITECTURALLY COMPATIBLE WITH THE
CAR WASH DESIGN.

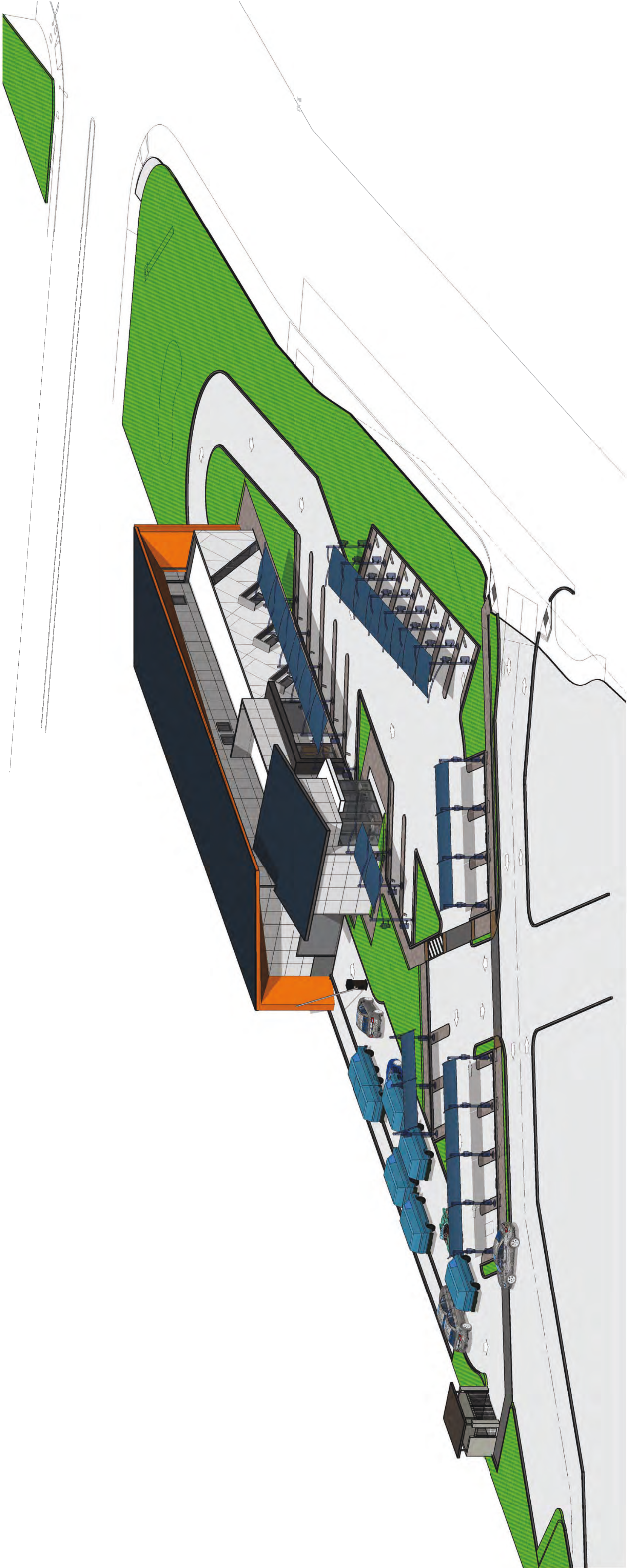
PROPOSED OFF-SITE IMPROVEMENTS:
Scope of work for the proposed off-site improvements include the
following:
1. Construction of deceleration lane (right-turn) to site.
2. Construction of new driveway.
3. Striping and Signage.
4. The above works requires right-of-way dedication to the City.

SITE DESIGN AND LANDSCAPE:

Enhanced landscaping is provided along all the perimeters at a low
level height of less than 32 inches in height. This allows a view to the
Car Wash and at the same time is used as buffer to minimize noise that
is coming from car washing and vacuum equipment.

The site is designed to allow efficient traffic flow of incoming and
outgoing vehicles. Cars that need to be serviced for car washing has
been provided with access road on the perimeter of the lot so that
cars will go around the property without interrupting the vehicles
inside the lot that is serviced to operate the vacuum equipment.

MONUMENT SIGN:
The monument sign is composed of Lexan-polycarbonate faces and
translucent vinyl graphics with aluminum frame and backlit with LED
strip lights. The base is made out of Aluminum cladding with Tex coat
finish painted "SW'Cityscape" MA



1 AERIAL VIEW

SHEET INDEX

- A-0 COVER SHEET
- C-2.1 HORIZONTAL CONTROL PLAN
- C-3.1 GRADING PLAN
- C-3.2 CONTROL PLAN
- C-4.1 UTILITY PLAN
- C-5.1 STORM WATER CONTROL PLAN
- L-1 IRRIGATION PLAN
- L-2 PLANTING PLAN
- L-3 PLANT PALETTE
- DTL-1 LANDSCAPE DETAILS
- DTL-2 LANDSCAPE DETAILS
- A-1 SITE PLAN
- A-2 FLR. PLAN & ROOF PLAN
- A-3 ELEVATIONS
- A-4 PERSPECTIVES
- EO.01 SYMBOL LIST AND CUTSHEETS
- E1.00 SITE LIGHTING PLAN
- E1.01 SITE LIGHTING CALCULATIONS

As you can see, the car rides through the car wash tunnel on
a flush mounted, user-friendly belt system. This provides a
much safer manner in which to move the car along the wash
process both for the customer and the employees of the
business.

After emerging from the tunnel, customers will have the
option to utilize an array of free vacuums provided to the
customer for their convenience. In addition to the vacuum
system, each vacuum station will offer the customer an air
nozzle for getting into the hard to reach area behind the
vehicle side mirrors, clean towels and convenient garbage
bins at each station. The end result is a vehicle washing
experience that takes less than five minutes to deliver and
results in a very CLEAN, SHINY AND DRY car.

Customers will also like the lower prices that come with the
Express Exterior Car Wash process with prices starting at
about \$12.00 for a base wash. Customers will also have the
option to join our "Monthly Unlimited Wash Club", where one
can wash as many times as convenient in a 30 day period of
time. The Ducks Unlimited Monthly Wash Plans start at \$24.99.

Our car wash will meet and exceed all standards for water
conservation, and energy efficiency. This location will join
our other Bay Area Car Wash locations as a Member of the
Bay Area Green Business Coalition and we support and offer
discounts to alternative energy vehicles.

The business will be open seven days a week from 8am
to 6pm from March through October and from 8am to 5pm
from November through February.

COVER SHEET

A-0

4/10/2020

DUCKY'S CAR WASH

Richard Miller

Lone Tree Way Cor. Country Hills Drive
Antioch CA 94509

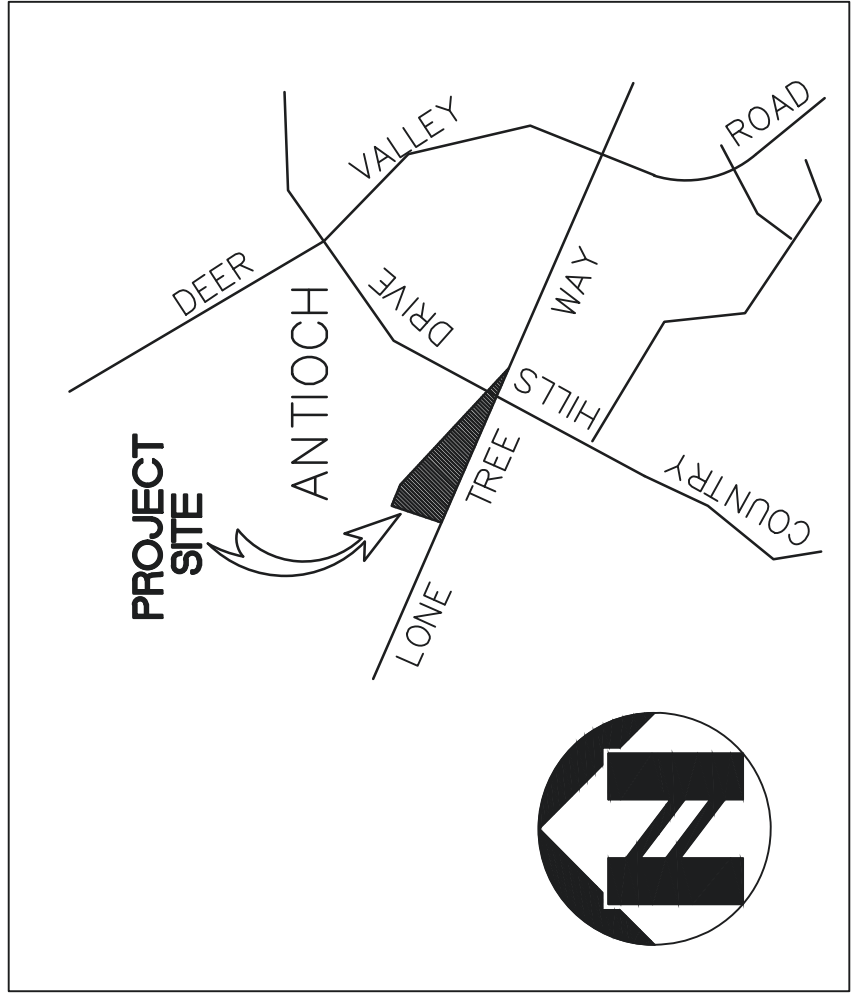
GENERAL ABBREVIATIONS / LEGEND

BFP	BACKFLOW PREVENTER	JP	JOINT POLE	SSCO	SANITARY SEWER CLEANOUT
CB	CATCH BASIN	JT	JOINT TRENCH	SSMH	SANITARY SEWER MANHOLE
CL	CENTERLINE	LF	LINEAR FEET	SW	SIDEWALK
DCV	DETECTOR CHECK VALVE	LW	MONITORING WELL	T	TELEPHONE LINE
DE	DIRT ELEVATION	OHE	OVERHEAD ELECTRIC	TC	TOP OF CURB
DWT	DRIVEWAY	OHT	OVERHEAD TELEPHONE	TH	TOP OF RETAINING WALL
E	ELECTRIC BOX	PAE	PUBLIC ACCESS EASEMENT	TORW	TOP OF RETAINING WALL
EP	ELECTRIC LINE	PB	PULL BOX	TP	TELEPHONE POLE
EX	EXISTING	PCC	PORTLAND CEMENT CONCRETE	TSB	TRAFFIC SIGNAL
FK	EDGE OF PAVEMENT	PGAE	PACIFIC GAS & ELECTRIC	VG	VALLEY GUTTER
FDC	FIRE DEPARTMENT CONNECTION	PIV	POST INDICATOR VALVE	W	WATER PIPE
FF	FINISHED FLOOR	PUE	PUBLIC UTILITY EASEMENT	WM	WATER METER
FL	FLOWLINE	PVC	POLYVINYL CHLORIDE PIPE	WMW	WATER METER WELL
FS	FINISHED SURFACE/FIRE SERVICES	R	RIDGE LINE	WMW	MONITORING WELL
G	GAS PIPE	RCP	REINFORCED CONCRETE PIPE	WMW	POWER POLE
GB	GRADE BREAK	RP	REDUCED PRESSURE PRINCIPLE BACKFLOW	WMW	IRON PIPE
GM	GAS METER	SD	STORM DRAIN PIPE	WMW	RAILROAD SPIKE
GP	GUARD POST	SDCB	STORM DRAIN CATCH BASIN	WMW	STANDARD CITY MONUMENT
GR	GRATE	SDCO	STORM DRAIN CLEANOUT	WMW	SURVEY MONUMENT
HCR	HANDICAP RAMP	SDMH	STORM DRAIN MANHOLE	WMW	STORM DRAIN MANHOLE
INV	INVERT	SS	SANITARY SEWER PIPE	WMW	STORM DRAIN MANHOLE

STREET SIGN	STREET LIGHT
WATER VALVE	WATER VALVE
TREE WITH SIZE	TREE REMOVAL
TRANSFORMER	TRANSFORMER
BARBED WIRE FENCE	CHAIN-LINKED FENCE
WOOD FENCE	SAWCUT LINE
WALL	WALL
EXISTING STORM DRAIN CATCH BASIN	EXISTING WATER METER / GAS METER
EXISTING STORM DRAIN LINE	EXISTING SANITARY SEWER CLEANOUT
EXISTING FIRE HYDRANT	EXISTING SANITARY SEWER MANHOLE
EXISTING SANITARY SEWER MANHOLE	EXISTING SANITARY SEWER MANHOLE

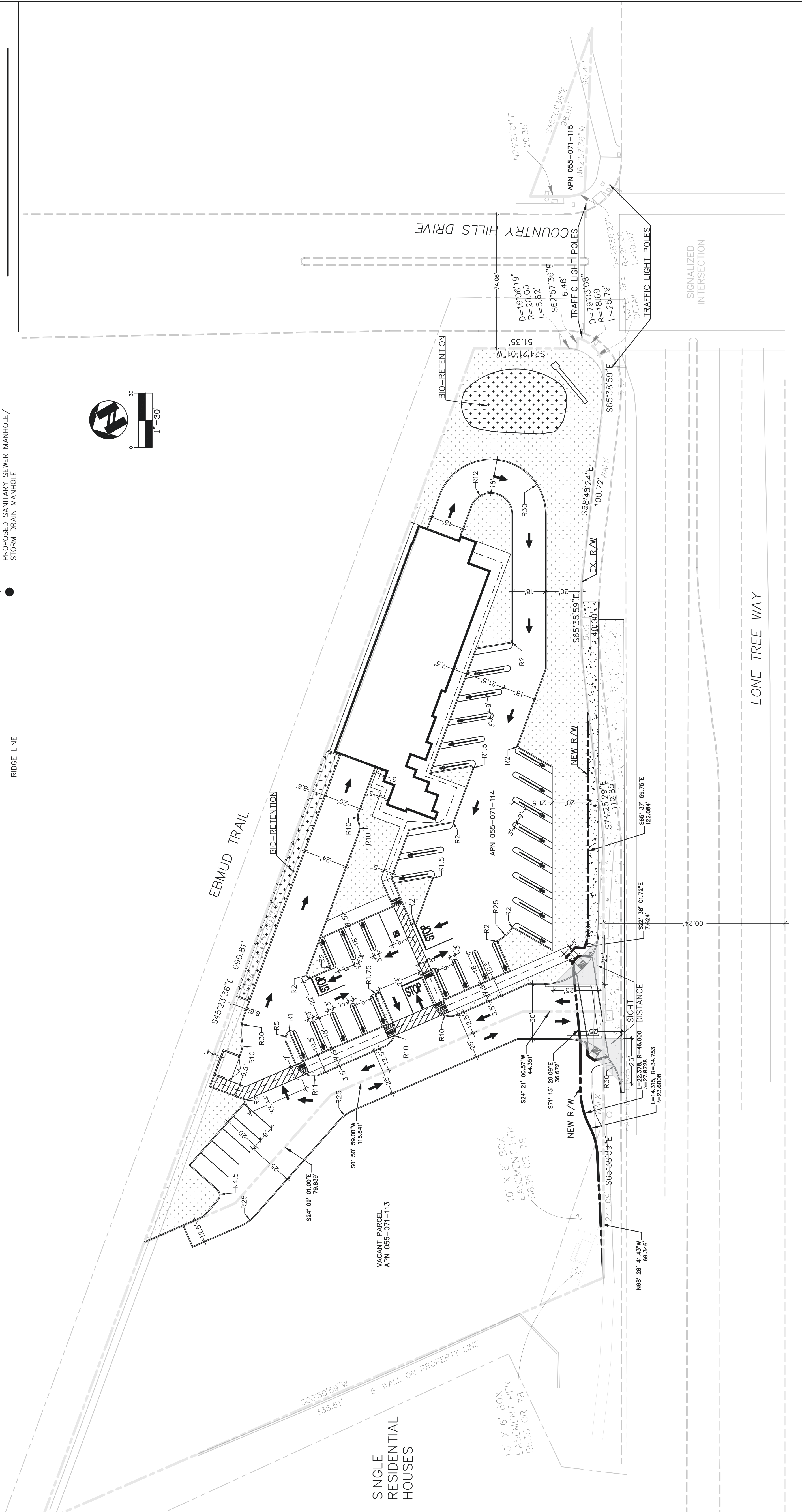
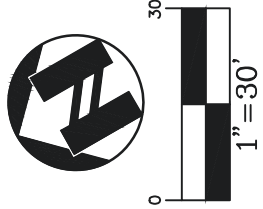
STORM DRAIN MANHOLE	PROPOSED FIRE LANE
EXISTING WATER VALVE	HANDICAP RAMP
EXISTING GAS VALVE	EXISTING WATER LINE
EXISTING CONTOUR	EXISTING GAS LINE
EXISTING ELEVATION	EXISTING SANITARY SEWER LINE
TC - TOP OF CURB ELEVATION	EXISTING STORM DRAIN LINE
FS - FINISHED SURFACE	EXISTING ELECTRICAL LINE
GR - GRATE ELEVATION	EXISTING TELEPHONE LINE
FL - FLOW LINE	PROPOSED FIRE SERVICE
HP - HIGH POINT	PROPOSED WATER LINE
PROPOSED CONTOUR	PROPOSED GAS LINE
SLOPE	PROPOSED SANITARY SEWER LINE
PROPOSED CURB	PROPOSED STORM DRAIN LINE
PROPOSED BIOSWALE CURB	PROPOSED ELECTRICAL LINE
PROPOSED CURB AND GUTTER	PROPOSED TELEPHONE LINE
	PROPOSED JOINT UTILITY TRENCH
	RIDGE LINE

PROPOSED FENCE	PROPOSED FIRE LANE
PROPERTY LINE	HANDICAP RAMP
MATCH LINE	EXISTING WATER LINE
LIMIT OF DEMOLITION	EXISTING GAS LINE
GRADE BREAK	EXISTING SANITARY SEWER LINE
PROPOSED CONTOUR	EXISTING STORM DRAIN LINE
SLOPE	EXISTING ELECTRICAL LINE
PROPOSED GAS VALVE	EXISTING TELEPHONE LINE
OVERLAND RELEASE	PROPOSED FIRE SERVICE
CONTROLLER CABINET	PROPOSED WATER LINE
FIRE HYDRANT	PROPOSED GAS LINE
GUY POLE	PROPOSED SANITARY SEWER LINE
HANDICAP SPACE	PROPOSED STORM DRAIN LINE
PROPOSED STORM DRAIN CATCH BASIN	PROPOSED ELECTRICAL LINE
PROPOSED WATER METER / GAS METER	PROPOSED TELEPHONE LINE
PROPOSED SANITARY SEWER CLEANOUT	PROPOSED JOINT UTILITY TRENCH
PROPOSED STORM DRAIN CLEANOUT	RIDGE LINE
PROPOSED FIRE HYDRANT	
PROPOSED SANITARY SEWER MANHOLE / STORM DRAIN MANHOLE	



VICINITY MAP

N. T. S.



APN 055-071-113
APN 055-071-114
APN 055-071-115

PROJECT DATA

BASIS OF BEARINGS:
ALL BEARINGS ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM ZONE III, ESTABLISHED FROM THE EXISTING MONUMENTAL LINE OF LONE TREE WAY AS SHOWN ON CONTRA COSTA COUNTY RECORDS IN BOOK 5708 OF OFFICIAL RECORDS AT PAGE 456. BEARING SHOWN AS SOUTH 73° 10' 52" EAST FOR GROUND DISTANCES. MULTIPLY EXPRESSED DISTANCES BY 1.00007.

BENCHMARK:
BM IS CCCC#3061 ELEVATION= 150.131'. IS EBMUD DISK SET IN EAST SIDE OF CONCRETE M.H. OVER THE NORTHERN EBMUD AQUADUCT 75'+- NORTH OF LONE TREE WAY 325'+- WEST OF LONE TREE WAY. DISK STAMPED (P185+26.97 P185+62.80 ELEV. 149.871).

UTILITY NOTES:
ALL UTILITIES SHOWN HEREON ARE BASED ON USA MARKINGS IN THE FIELD. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPE SIZES AND/OR STRUCTURES SHOWN ON THIS SURVEY WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE LOCATION OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

HORIZONTAL CONTROL PLAN
C-2.1

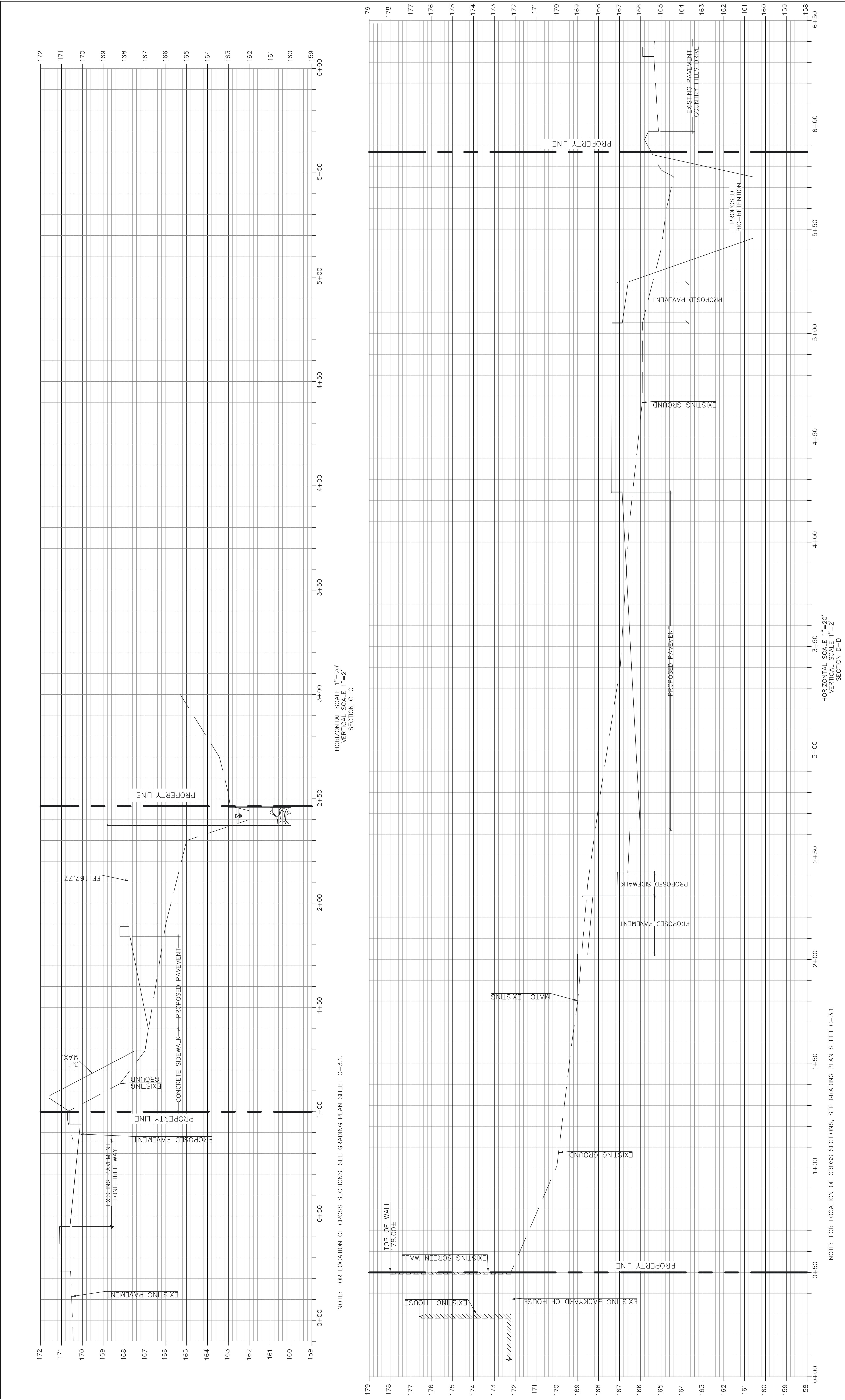
March 23, 2020

DUCKY'S CAR WASH
Richard Miller
Lone Tree Way cor. Country Hills Drive
Antioch, Contra Costa County, California

ams
associates, inc. PLANNING ENGINEERING SURVEYING

801 YGNACIO VALLEY ROAD
SUITE 220
WALNUT CREEK, CA 94596
925-943-2777 FAX 925-943-2778

LDA Partners
DESIGNERS & ARCHITECTS



CROSS SECTIONS

C-3.2

March 23, 2020

05-1930

DUCKY'S CAR WASH

Richard Miller
Lone Tree Way cor. Country Hills Drive
Antioch, Contra Costa County, California

STORM DRAIN NOTES

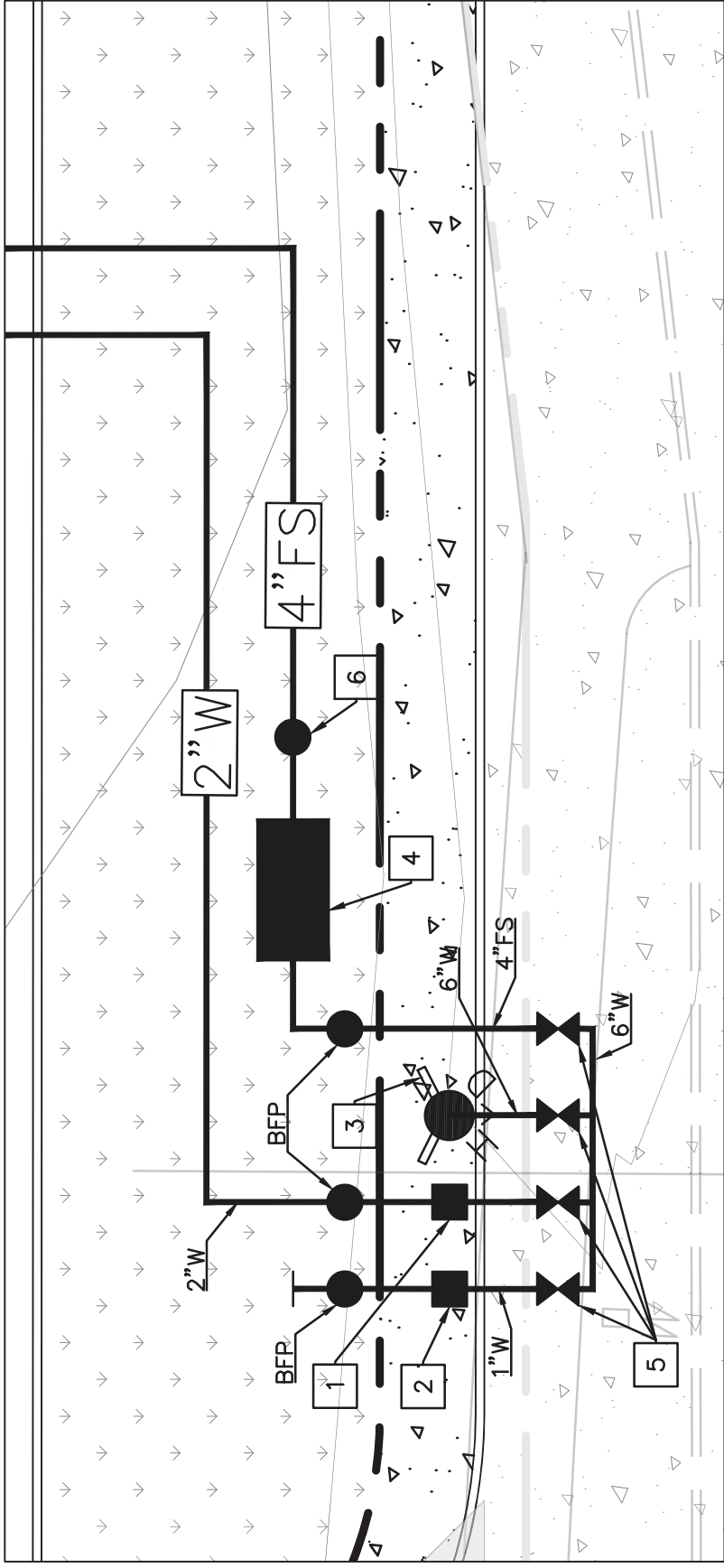
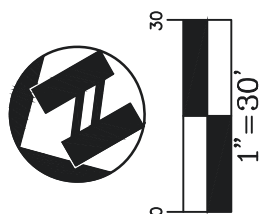
- 1 INSTALL 36 LF 18" STORM DRAIN PIPE @ S=0.007
- 2 INSTALL 308 LF 18" STORM DRAIN PIPE @ S=0.005
- 3 INSTALL 207 LF 18" STORM DRAIN PIPE @ S=0.003
- 4 INSTALL 121 LF 12" STORM DRAIN PIPE @ S=0.005
- 5 INSTALL 27 LF 6" PERFORATED PIPE
- 6 INSTALL 110 LF 6" PERFORATED PIPE
- 7 INSTALL 52 LF 12" PVC PIPE @ S=0.020
- 8 INSTALL 226 LF 8" PVC PIPE @ S=0.005
- 9 INSTALL 48 LF 8" PVC PIPE @ S=0.010
- 13 INSTALL 13 LF 6" PERFORATED PIPE
- 11 INSTALL 14 LF 6" PERFORATED PIPE
- 12 INSTALL 32 LF 6" PERFORATED PIPE
- 13 EXISTING 16 LF 10" STORM DRAIN PIPE @ S=0.005
- 14 REMOVE THE EXISTING STORMDRAIN PIPE

SANITARY SEWER NOTES

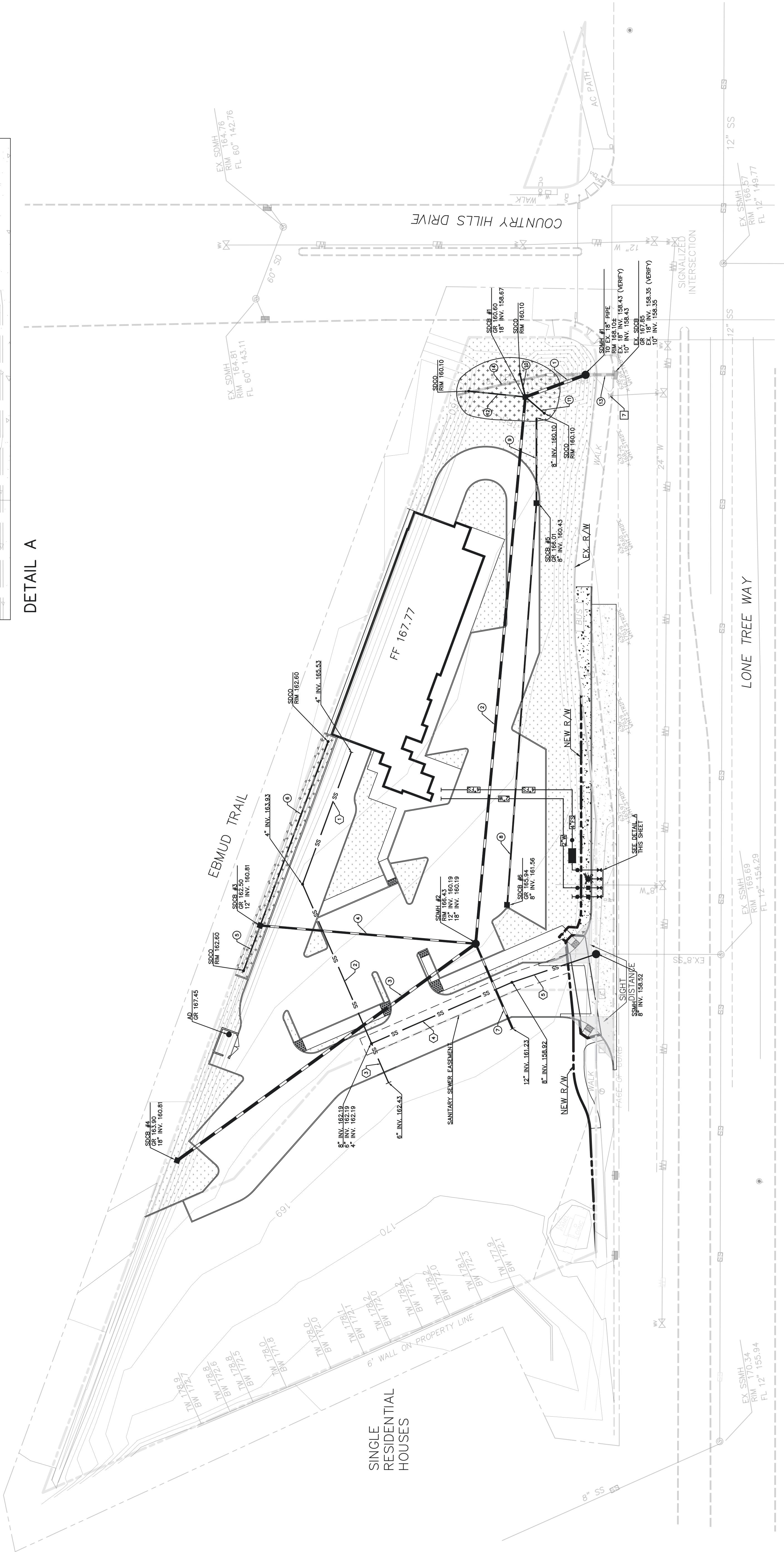
- 1 INSTALL 79 LF 4" SANITARY SEWER PVC PIPE @ S=0.0202
- 2 INSTALL 97 LF 4" SANITARY SEWER PVC PIPE @ S=0.0179
- 3 INSTALL 24 LF 6" SANITARY SEWER PIPE @ S=0.0100
- 4 INSTALL 86 LF 8" SANITARY SEWER VCP PIPE @ S=0.0380
- 5 INSTALL 50 LF 8" SANITARY SEWER VCP PIPE @ S=0.0080

WATER NOTES

- 1 INSTALL 2" WATER METER WITH 2" BACKFLOW PREVENTER
- 2 INSTALL 1" WATER METER WITH 2" BACKFLOW PREVENTER
- 3 INSTALL FIRE HYDRANT
- 4 INSTALL DOUBLE DETECTOR CHECK VALVE
- 5 INSTALL WATER VALVE
- 6 INSTALL FIRE DEPARTMENT CONNECTION
- 7 EXISTING FIRE HYDRANT TO REMAIN



DETAIL A



UTILITY PLAN

C-4.1

March 23, 2020

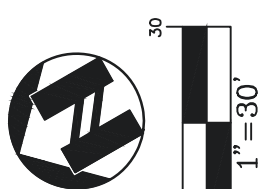
05-1930

DUCKY'S CAR WASH

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Antioch, Contra Costa County, California

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LEGEND

DRAINAGE MANAGEMENT AREA

INTEGRATED MANAGEMENT PRACTICE

DRAINAGE AREA

DRAINAGE ARROW

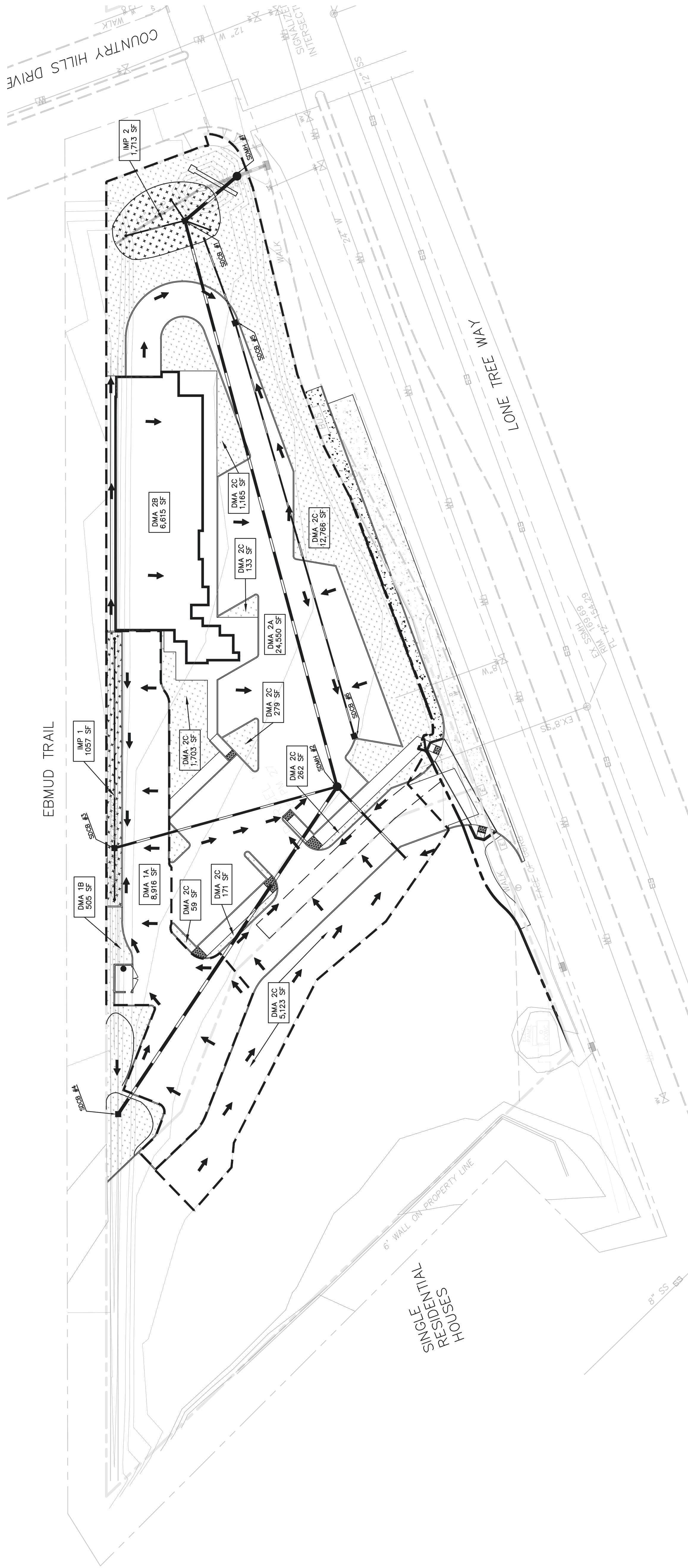
BIO-RETENTION AREA

IMPERVIOUS AREA

PREVIOUS AREA

Software Tool Warnings
No warnings to report.

Report generated on 10/15/2019 12:00:00 AM by the Contra Costa Clean Water Program IMP Sizing Tool software (version 1.3.1.0).



THE IRRIGATION PLAN WILL BE IN COMPLIANCE WITH THE WATER EFFICIENT LANDSCAPE ORDINANCE AND THE REQUIRED DOCUMENTATION WILL BE INCLUDED.

IRRIGATION LEGEND

SYMBOL	MFG	DESCRIPTION	MODEL NO.	DETAIL
	Rain Bird	Remote Control Valve	PEB	DTL-1/5
	Rain Bird	Drip Control Zone Kit Flow = 0.20 - 5.00 GPM Flow = 3.00 - 15.00 GPM	XCZ-075-PRF XCZ-100-PRF	DTL-2/1 DTL-2/1
	Rain Bird	XFS-CV Dripline	XFS-CV-06-18	DTL-2/5-9
	Rainbird	Sub-Surface Drip Operation Indicator - 1 Per Drip Zone	OPERIND	DTL-2/4
	Nibco	Full Port PVC Ball valve in valve box for manual flushing	Line size	DTL-2/3
	Nibco	Ball valve - one at each valve manifold	Line size	DTL-1/8
	Wilkins BPDI	1" Reduced Pressure GuardShack Enclosure FrostGuard Insulated Blanket	975XL GS FG	DTL-1/2 DTL-1/3 DTL-1/3
	Nibco	Gate Valve	Line size	DTL-2/9
	Hunter	Irrigation Controller Confirm location	PHC-24	DTL-1/1
	Rain Bird	Master Valve 1" Normally closed	PEB	DTL-1/9
	Rain Bird	Flow Sensor	FS100B	DTL-1/1
	Rain Bird	Quick Coupler in valve box	33DRC	DTL-1/7
		Point of Connection See Civil Engineer's Drawings		
		Verify Size & Location in Field		
		Sleeving under pavement		
		Double Line Size		
		Valve Callout & Tag		

Valve No.	Valve Size	GPM of zone	SF or LF
Line Spacing	Emitter/Flow	# of Heads	Body Type

SYMBOL	PATTERN	MFG	MODEL #	NOZZLE	PSI	GPM/GPH
	Deep Root Bubbler	Rain Bird	RWS-M-B-C	1402	30	0.50

IRRIGATION NOTES

- THE IRRIGATION SYSTEM IS DESIGNED FOR 20 GPM WITH A MINIMUM OPERATING PRESSURE OF 40 PSI.**
The Irrigation Contractor shall verify water pressure prior to installation. Report any difference between the water pressure indicated on the drawings and the actual pressure reading at the irrigation point of connection to the Owner's authorized representative.

This design is diagrammatic. All piping, valves, etc. shown within paved areas is for design clarification only and shall be installed in planting areas where possible. Avoid any conflicts between the irrigation system, planting and architectural features.

Do not willfully install the irrigation system as shown on the drawings when it is obvious in the field that obstructions, grade differences or differences in the area dimensions exist that might not have been considered in the engineering. Such obstructions or differences should be brought to the attention of the Landscape Architect. The Contractor shall assume full responsibility for any revisions necessary.

It is the responsibility of the Irrigation Contractor to familiarize himself with all grade differences, location of walls, retaining walls, etc. He shall coordinate his work with the General Contractor and other Subcontractors for the location and the installation of pipe sleeves through walls, under roadways, paving, structures, etc.

Due to the scale of the drawings, it is not possible to indicate all offsets, fittings, sleeves, etc., which may be required. The Contractor shall carefully investigate the structural and finished conditions affecting all of his work and plan his work accordingly, furnishing such fittings, etc., as may be required to meet such conditions. Drawings are generally diagrammatic and indicative of the work to be installed. The work shall be installed in such a manner as to avoid conflicts between irrigation systems, planting, and architectural features.

Each controller shall have its own independent ground wire.

Valve locations shown are diagrammatic. Install in planting areas where possible.

All valve control wires shall be a minimum No. 14 AWG copper UL approved for direct burial in ground. Size wiring per controller and valve manufacturer's recommendations. Connect wires as detailed per manufacturer's specifications.

Splicing of 24 volt wires will not be permitted except in valve boxes. Leave a 24" coil of excess wire at each splice and 100 feet of center along wire run. Tape wire in bundles 10 feet on center. No taping permitted inside sleeves.

Install a spare control wire of a different color along the entire main line. Loop 36" excess wire into each single valve box and into one valve box in each group of valves.

When SPRAY SPRINKLERS are used in the project:
A. The Contractor shall flush and adjust all sprinkler heads for optimum performance and to prevent over spray onto walks, roadways and /or buildings as much as possible. This shall include selecting the best degree of arc to fit the existing site conditions and to throttle the flow control at each valve to obtain the optimum operating pressure and to prevent misting for each system.
B. The Contractor shall ensure sprinkler heads are set perpendicular to finish grade of the area to be irrigated unless otherwise designated on the plans.
C. The Contractor shall install a Rain Bird SAM pop-up body (integral

- check valve) or a King Bros. CV series check valve on shrub risers in lieu of Schedule 80 coupling at locations where low head drainage will cause erosion and excess water use.
The Contractor shall make field adjustments to the system at locations of vertical obstructions (street lights, trees, fire hydrants, etc.) that interfere with the spray pattern of sprinkler heads so as to prevent proper coverage. Adjustments shall be made by installing a quarter, third or half circle head at the sides of the obstruction so as to provide proper coverage. The contractor shall not use variable arc nozzles. All adjustments shall be made at no additional cost to the owner.
In planting areas 4'-0" wide and narrower, and in all lawn areas, 6" pop-up bodies shall be used. In all other spray zones use 12" pop-up bodies. Bubbles are to be installed on Sch. 80 risers.

When DRIPLINE is used in the project:
The Contractor shall install as indicated on the drawings.
Use only Teflon tape on all threaded locations.
Dripline can be installed with the emitters facing up, down or sideways.
Cap or plug all openings as lines have been installed to prevent intrusion of materials that would obstruct the pipe and leave in place until removal is necessary for completion of installation.
Thoroughly flush all water lines before installing Air Relief Valves.

Notify Architect of any aspects of layout which will provide incomplete or insufficient water coverage of plant material and do not proceed until his instructions are obtained.

In addition to the sleeves and conduits shown on the drawings, the Irrigation Contractor shall be responsible for the installation of sleeves and conduits of sufficient size under all paved areas.

All lateral piping beneath paved areas shall be Schedule 40 PVC pipe.

Where it is necessary to excavate adjacent to existing trees, the Contractor shall use all possible care to avoid injury to trees, and tree roots. Excavation in areas where two (2) inch and larger roots occur shall be done by hand. Roots two (2) inches and larger in diameter shall be wrapped in a plastic bag and secured with a rubber band. Trenches adjacent to tree should be closed within twenty-four (24) hours; where this is not possible, the side of the trench adjacent to the tree shall be kept shaded with burlap or canvas.

Install valve boxes 12" from and perpendicular to walk, curb, lawn, building or landscape feature. At multiple valve box groups, each box shall be an equal distance from the walk, curb, lawn, etc. and each box shall be 12" apart. Short side of valve box shall be parallel to walk, curb, lawn, etc.

All wire connections to be made in valve box with water tight connectors per manufacturers directions. Wire splices shall not be permitted unless approved by the Owners Representative or the Landscape Architect. Wire splice locations must be indicated on "As-Built's" per the Specifications.

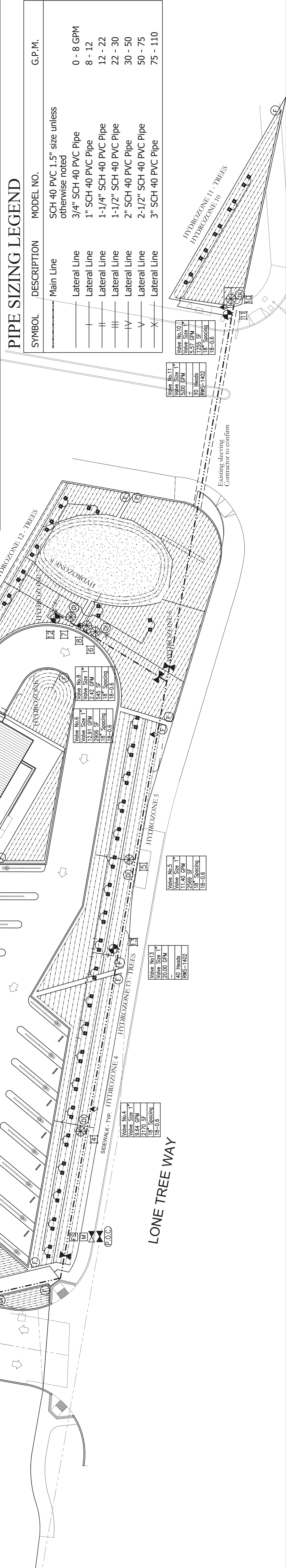
Irrigation Contractor to notify all local jurisdictions for inspection and testing of installed back flow prevention device.

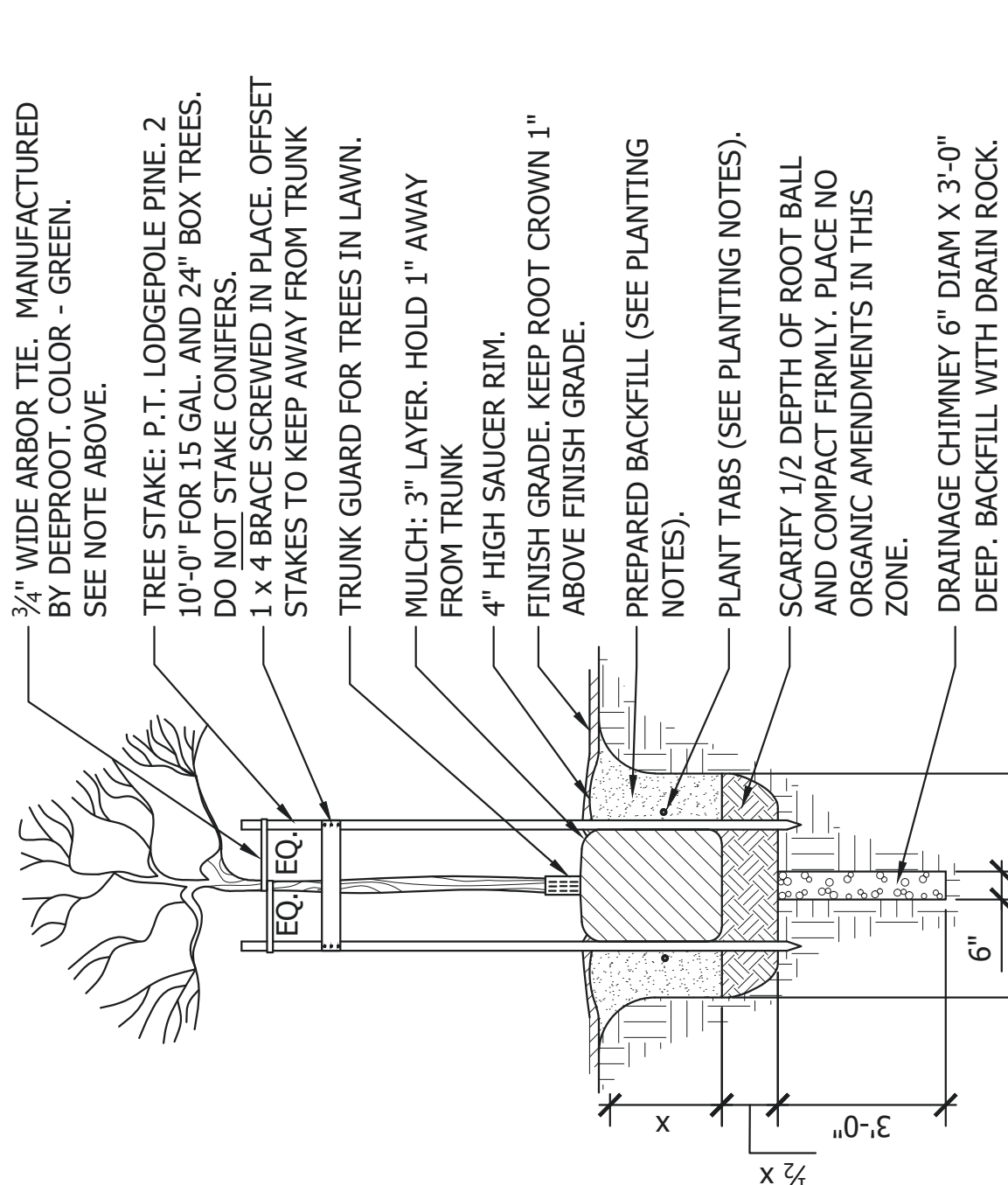
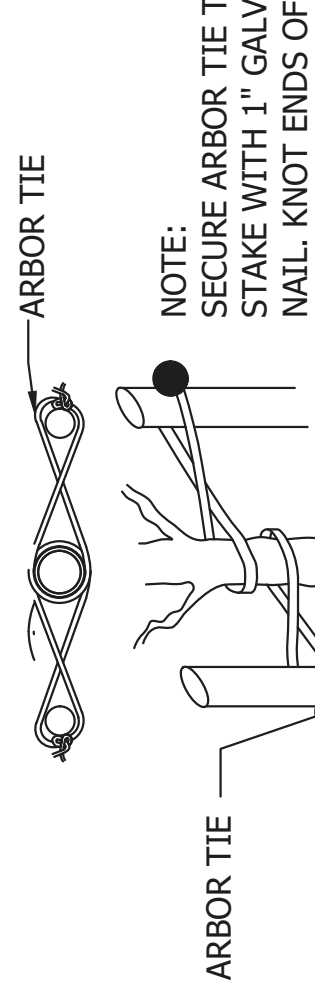
Prior to trenching, call Underground Service Alert, (1-800) 227-2600.

Remote Control Legend: attach a laminated, typewritten legend inside each controller door stating the areas covered by each remote control valve. Valves, or adjacent piping in the valve box are to be labeled with an indelible marker with the appropriate number corresponding to the controller legend for easy identification.

PIPE SIZING LEGEND

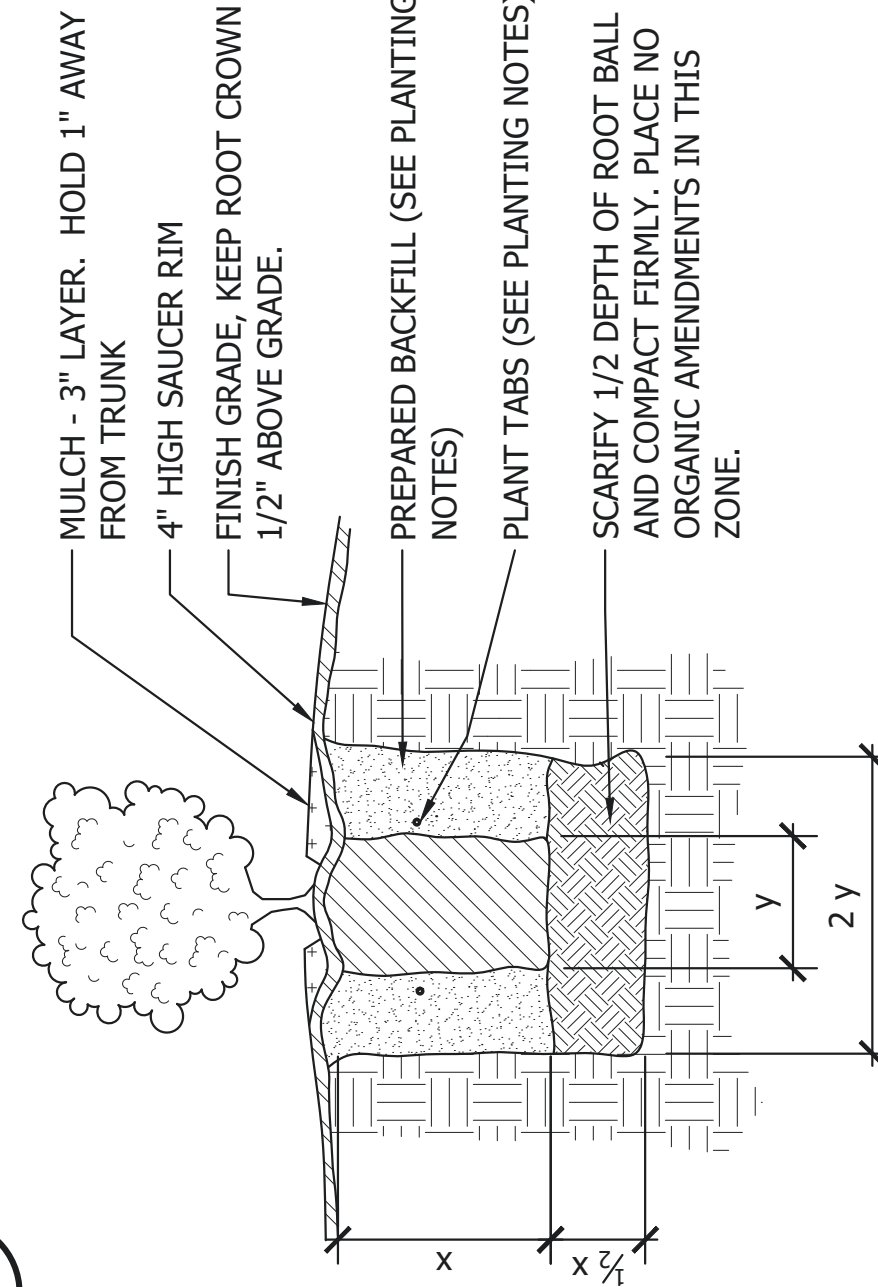
SYMBOL	DESCRIPTION	MODEL NO.	G.P.M.
	Main Line	SCH 40 PVC 1.5" size unless otherwise noted	0 - 8 GPM
	Lateral Line	3/4" SCH 40 PVC Pipe	8 - 12
	Lateral Line	1" SCH 40 PVC Pipe	12 - 22
	Lateral Line	1-1/4" SCH 40 PVC Pipe	22 - 30
	Lateral Line	1-1/2" SCH 40 PVC Pipe	30 - 50
	Lateral Line	2" SCH 40 PVC Pipe	50 - 75
	Lateral Line	2-1/2" SCH 40 PVC Pipe	75 - 110





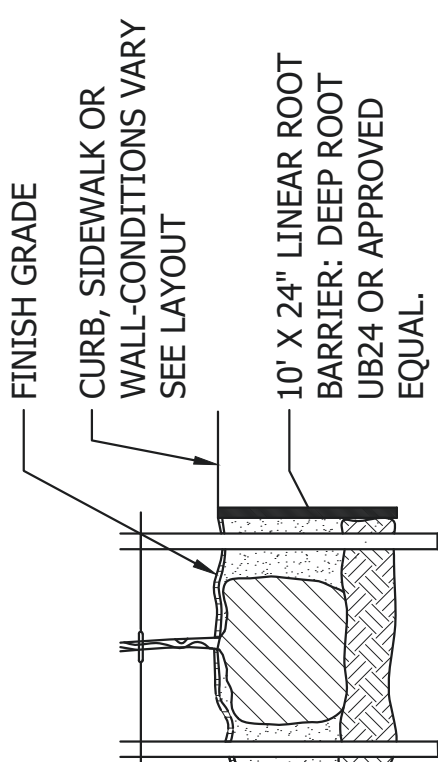
NOTE: WRAP TREE TRUNKS WITH CRINKLE PAPER TREE WRAP UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. LEONARD CRINKLED PAPER AVAILABLE FROM A.M. LEONARD (800) 543-8955 www.amleo.com

10 TREE PLANTING
NO SCALE

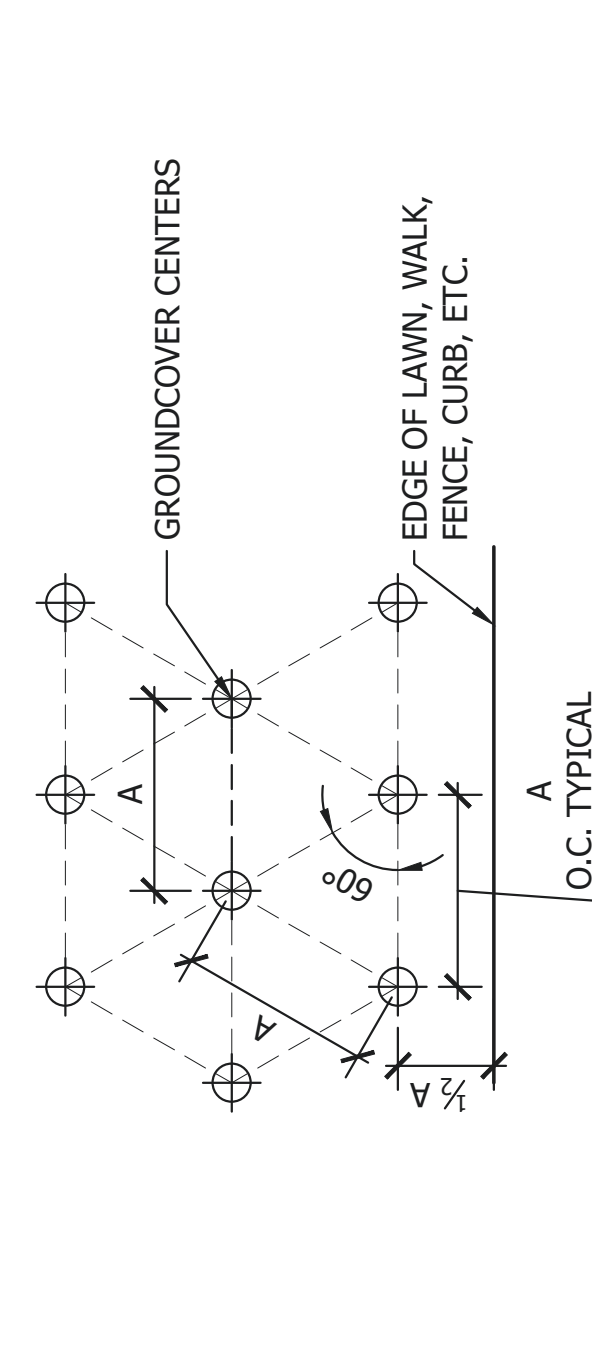


11 SHRUB PLANTING
NO SCALE

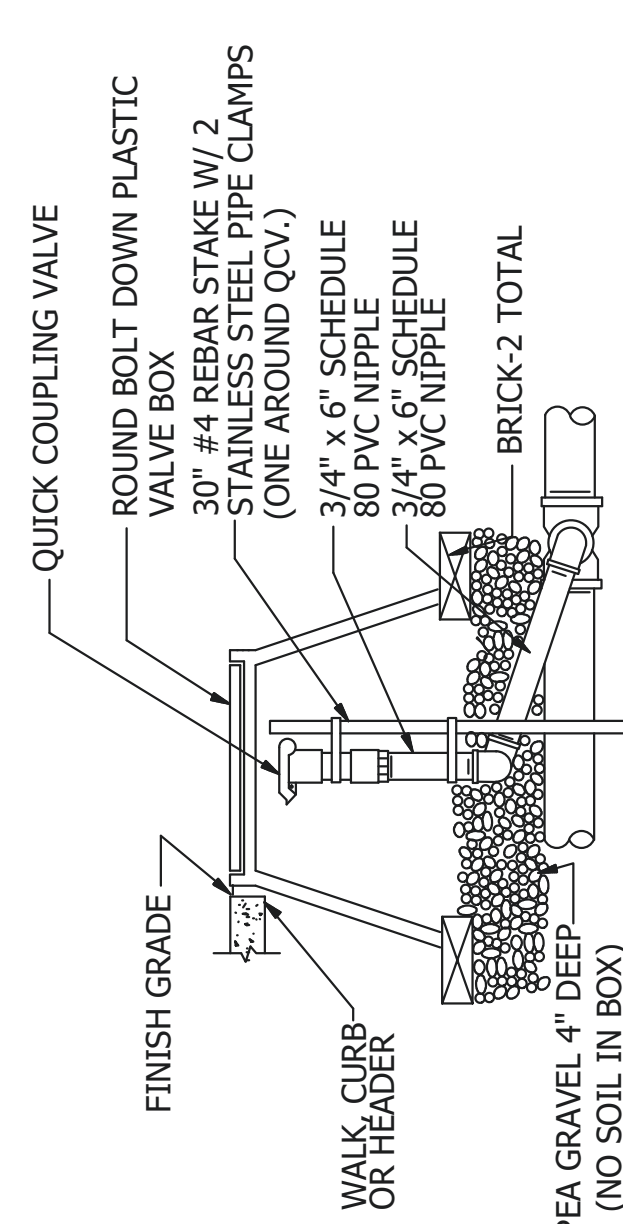
NOTES:
1. ROOT BARRIER TO BE INSTALLED AT LOCATIONS WHERE TREES ARE 12" OR LESS FROM CURB, SIDEWALK OR WALL. INSTALL AT WALL LOCATIONS UNLESS WALL HAS A 24" DEEP CONTINUOUS FOOTING.
2. SEE TREE PLANTING DETAIL FOR ADDITIONAL INFORMATION.



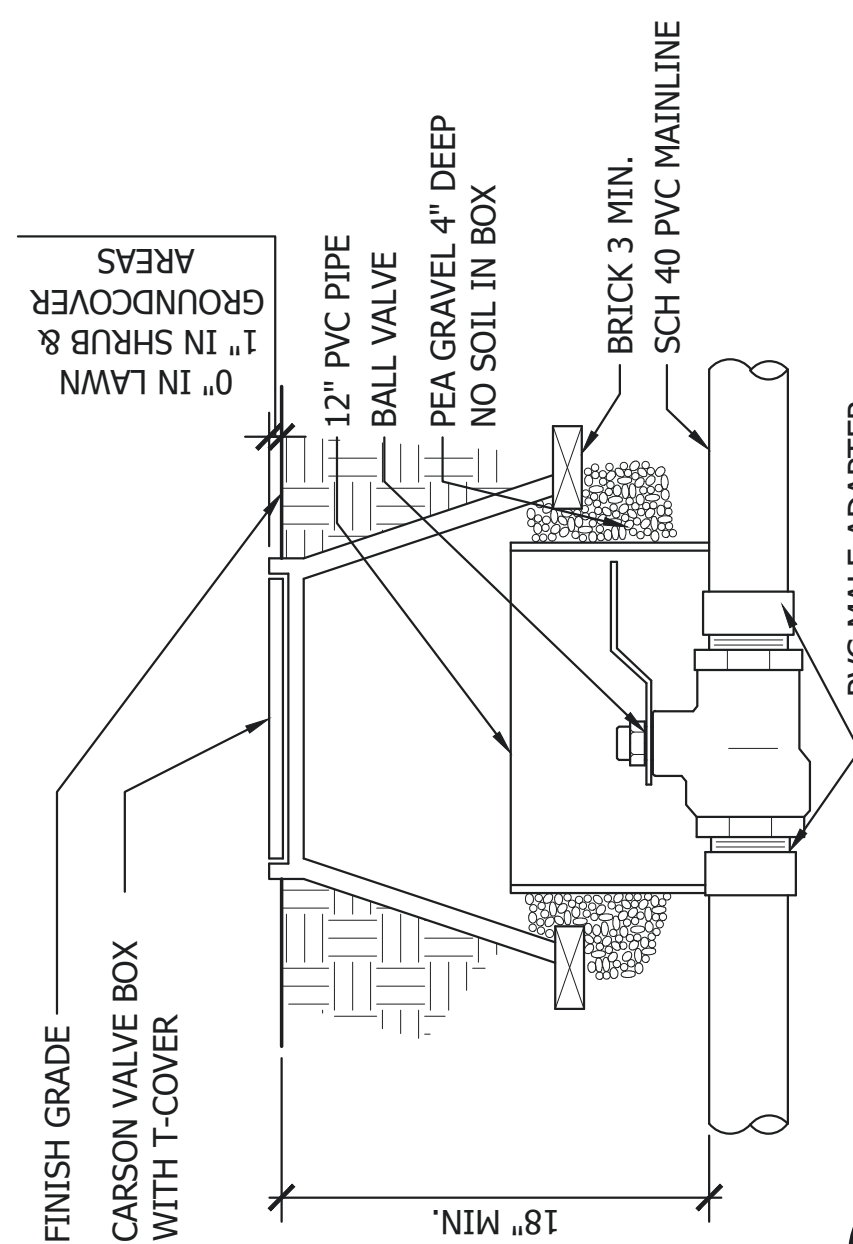
12 ROOT BARRIER DETAIL
NO SCALE



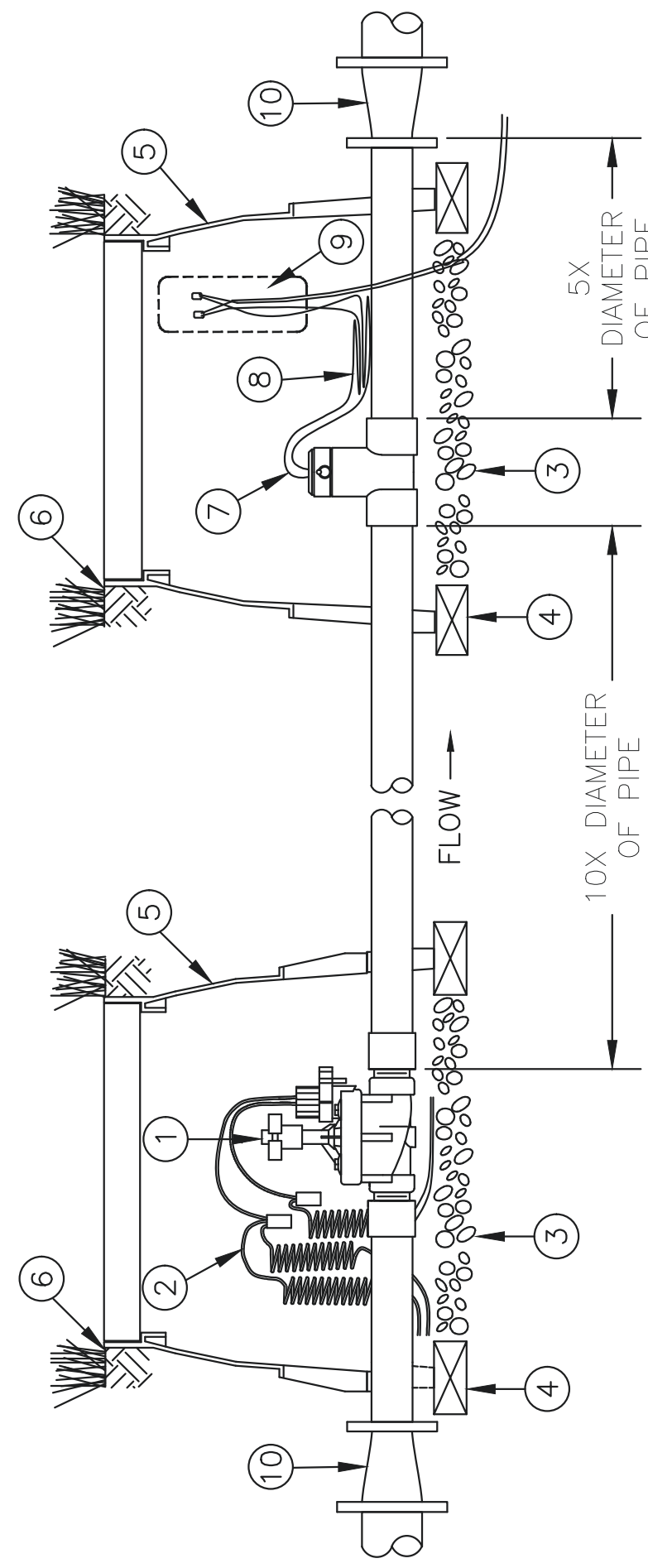
6 GROUND COVER SPACING
NO SCALE



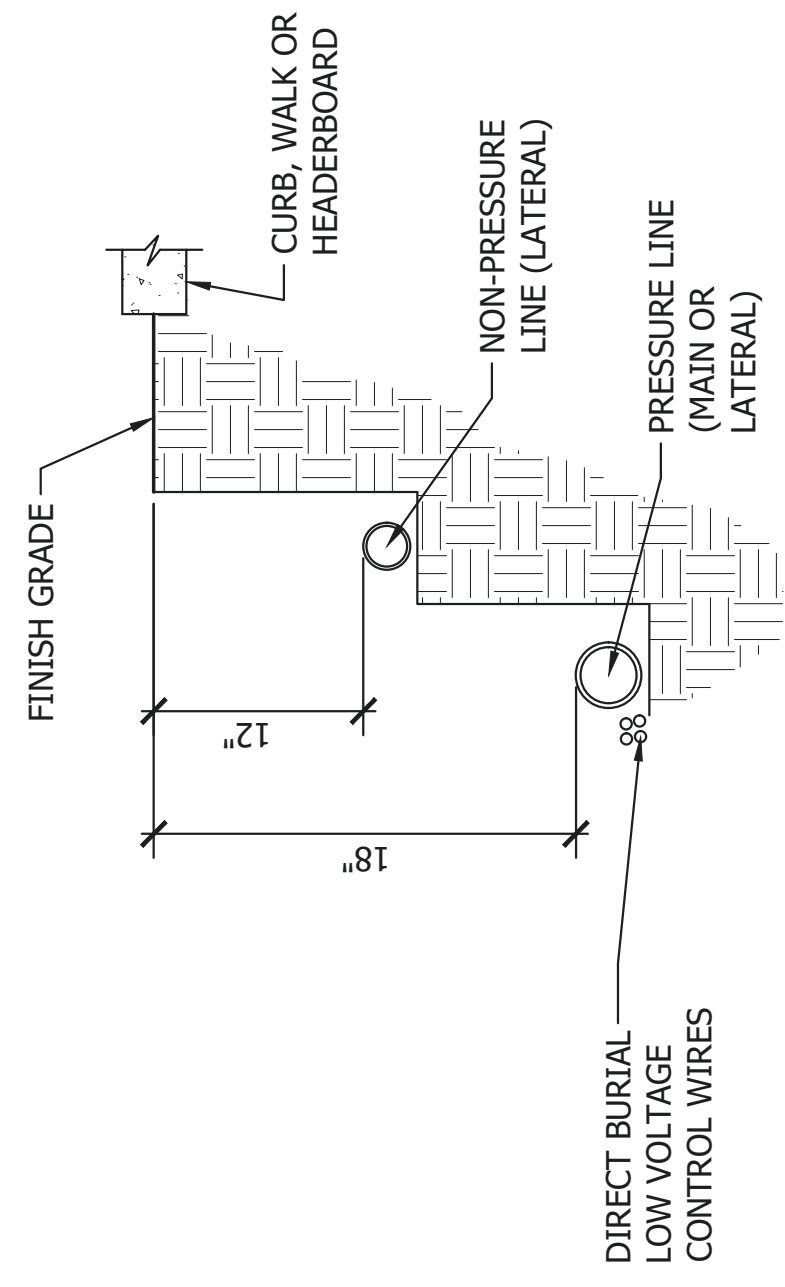
7 QUICK COUPLER
NO SCALE



8 BALL VALVE
NO SCALE

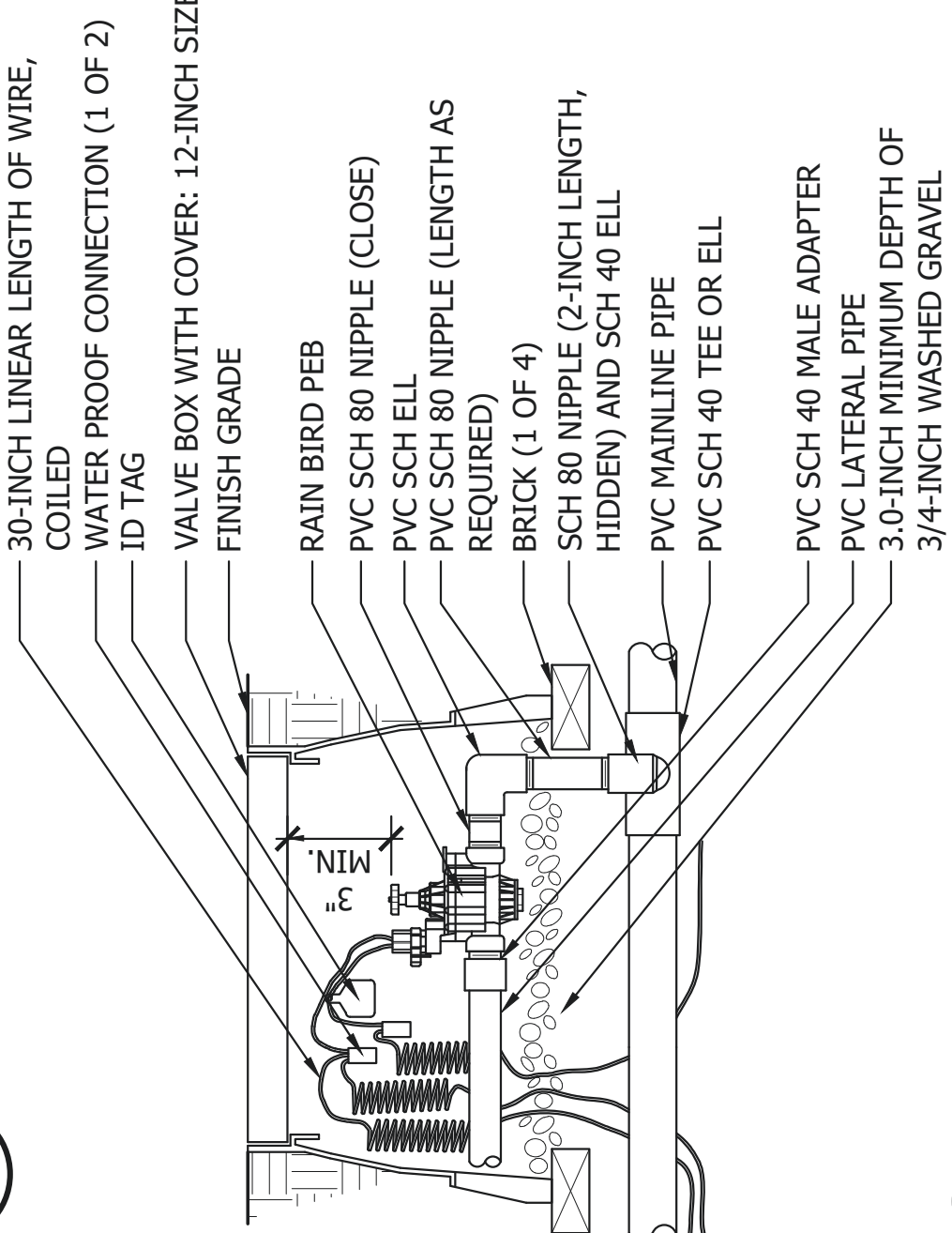


9 MASTER VALVE/FLOW SENSOR
NO SCALE



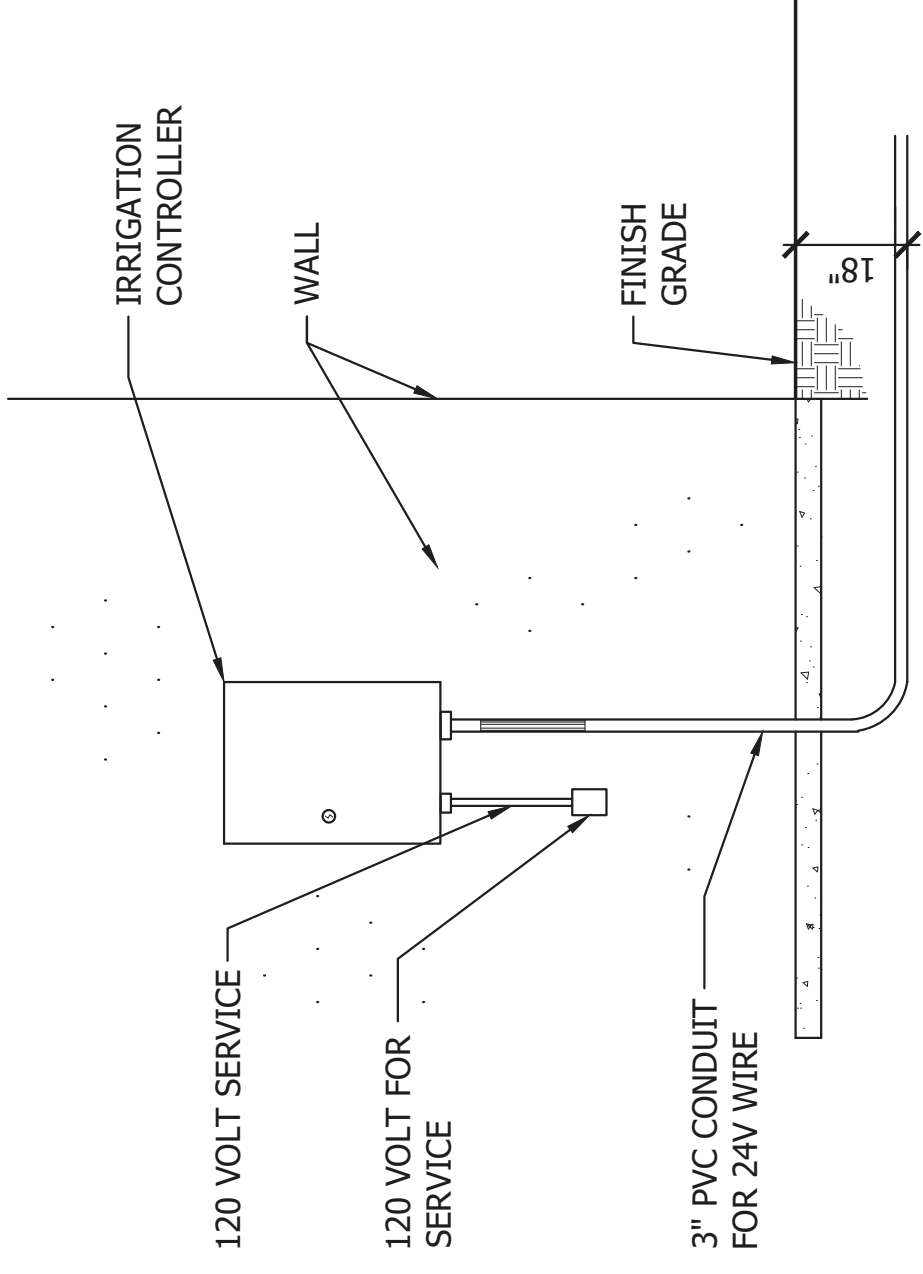
NOTES:
1. TRENCHING AND BACKFILLING SHALL BE PER STANDARD SPECIFICATIONS.
2. MINIMUM BACKFILL RELATIVE COMPACTION SHALL BE 90%.
3. BUNDLE CONTROL WIRES TOGETHER AND TAPE TO PIPE AT 10' INTERVALS.

4 IRRIGATION LINE TRENCHING
NO SCALE

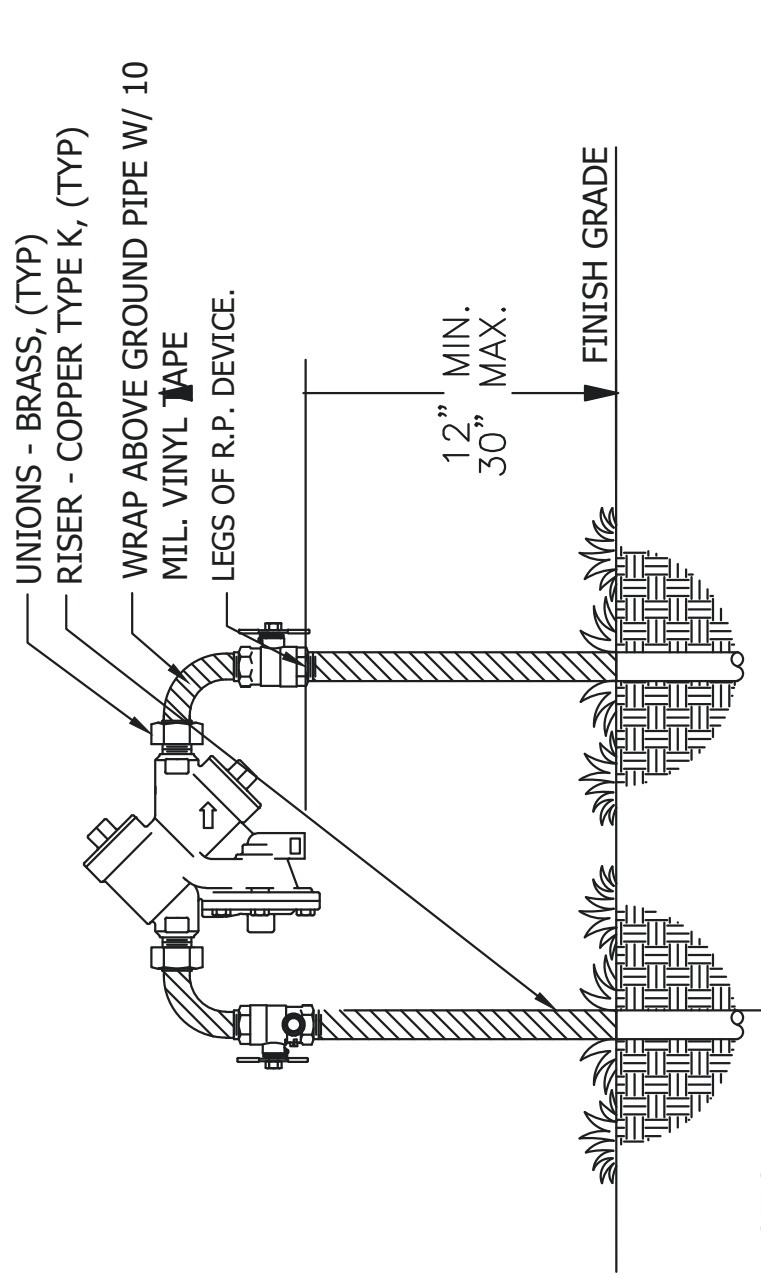


5 RAIN BIRD REMOTE CONTROL VALVE
NO SCALE

1. RAIN BIRD PEB SERIES MASTER VALVE(S)
2. WIRE TO CONTROLLER MASTER VALVE CIRCUIT. LEAVE EXTRA 36-INCH LENGTH, COILED.
3. 3.0-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
4. BRICK (1 OF 4)
5. VALVE BOX WITH COVER - 12-INCH SIZE
6. FINISH GRADE
7. RAIN BIRD FS SERIES 100B FLOW SENSOR. SEE LEGEND.
8. PE-CABLE TO FLOW SENSING EQUIPMENT AT CONTROLLER ASSEMBLY. LEAVE EXTRA 36-INCH LENGTH, COILED.
9. SEE FLOW SENSING WIRING DETAIL FOR WIRING DIAGRAM.
10. CONCENTRIC REDUCER.

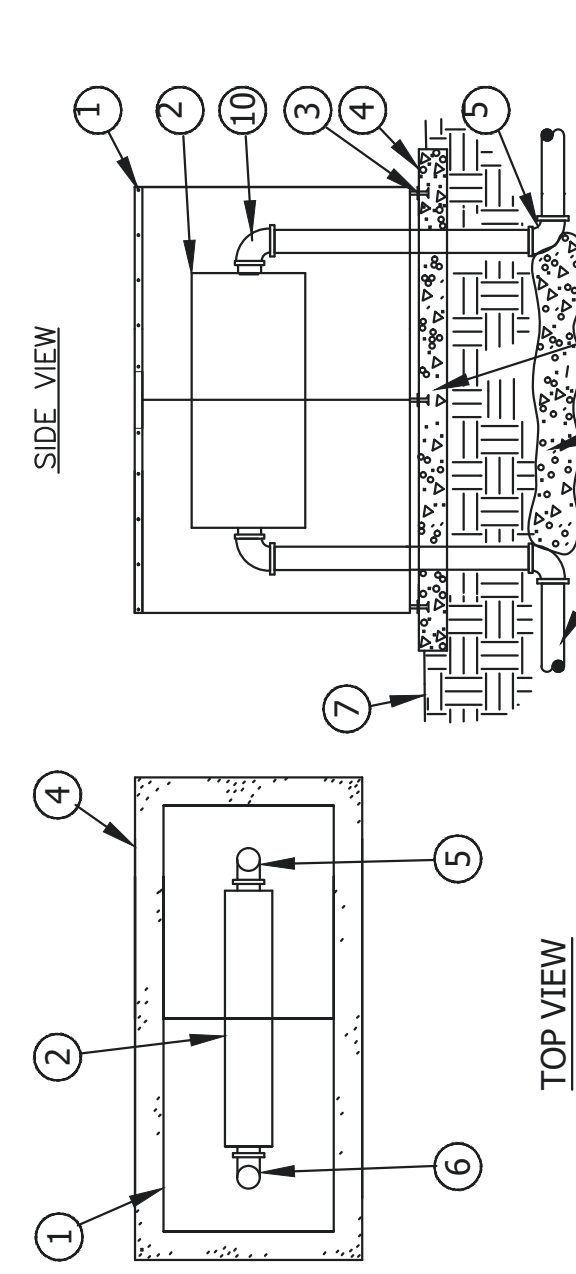


1 WALL MOUNTED CONTROLLER
NO SCALE



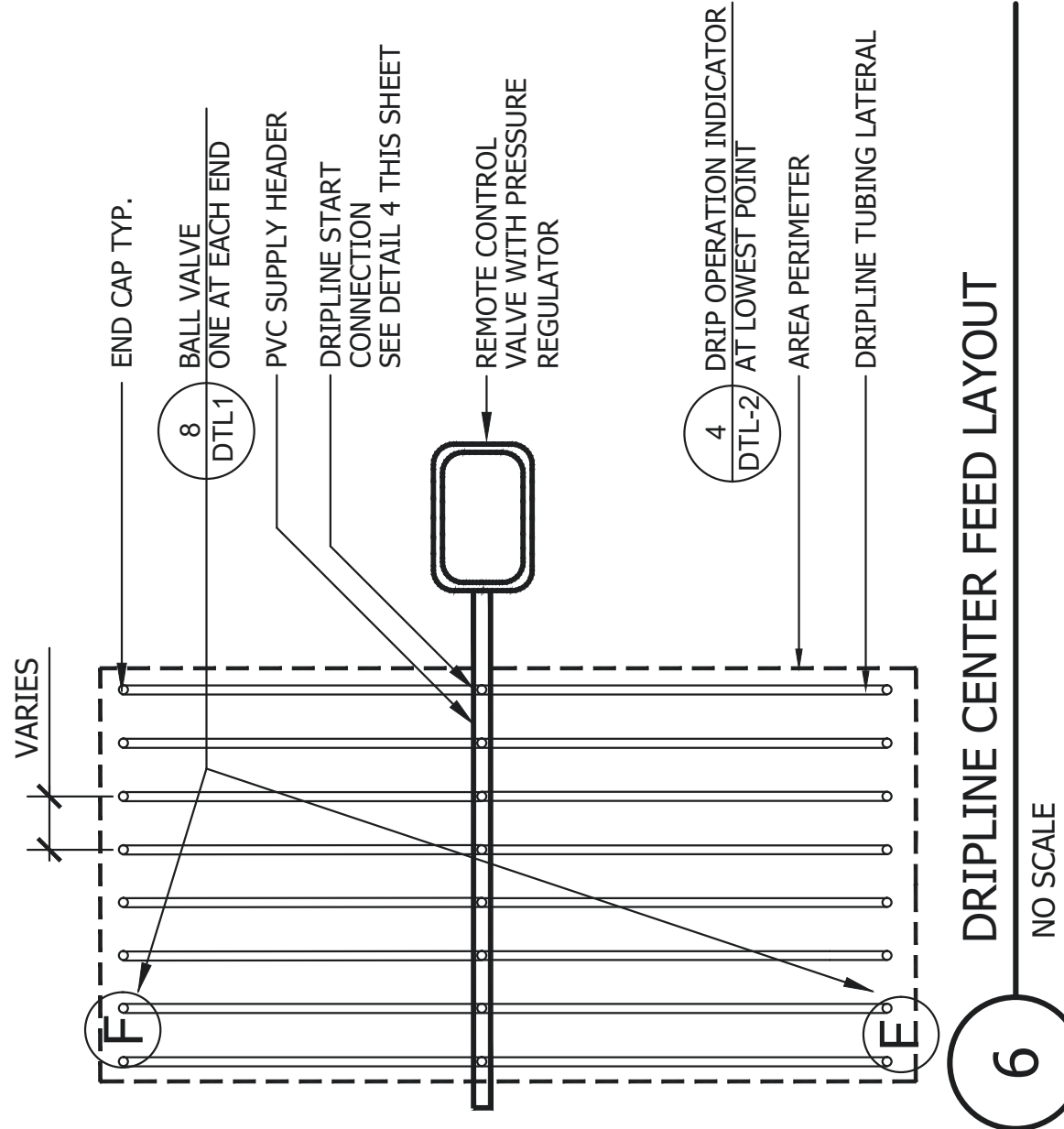
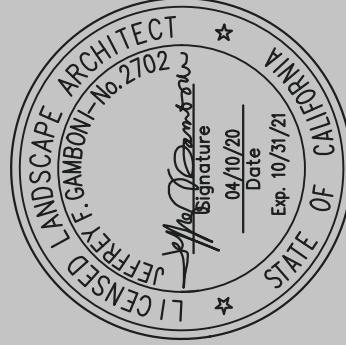
NOTES:
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.
2. PROVIDE REINFORCED CONCRETE SLAB AND THRUST BLOCKS AT BASE AND AS NECESSARY TO STABILIZE WRAP ABOVE GROUND PIPE W/ 10 MIL VINYL TAPE.
4. SEE RPVB ENCLOSURE DETAIL BELOW FOR ADDITIONAL INFORMATION.

2 REDUCED PRESSURE VACUUM BREAKER
NOT TO SCALE

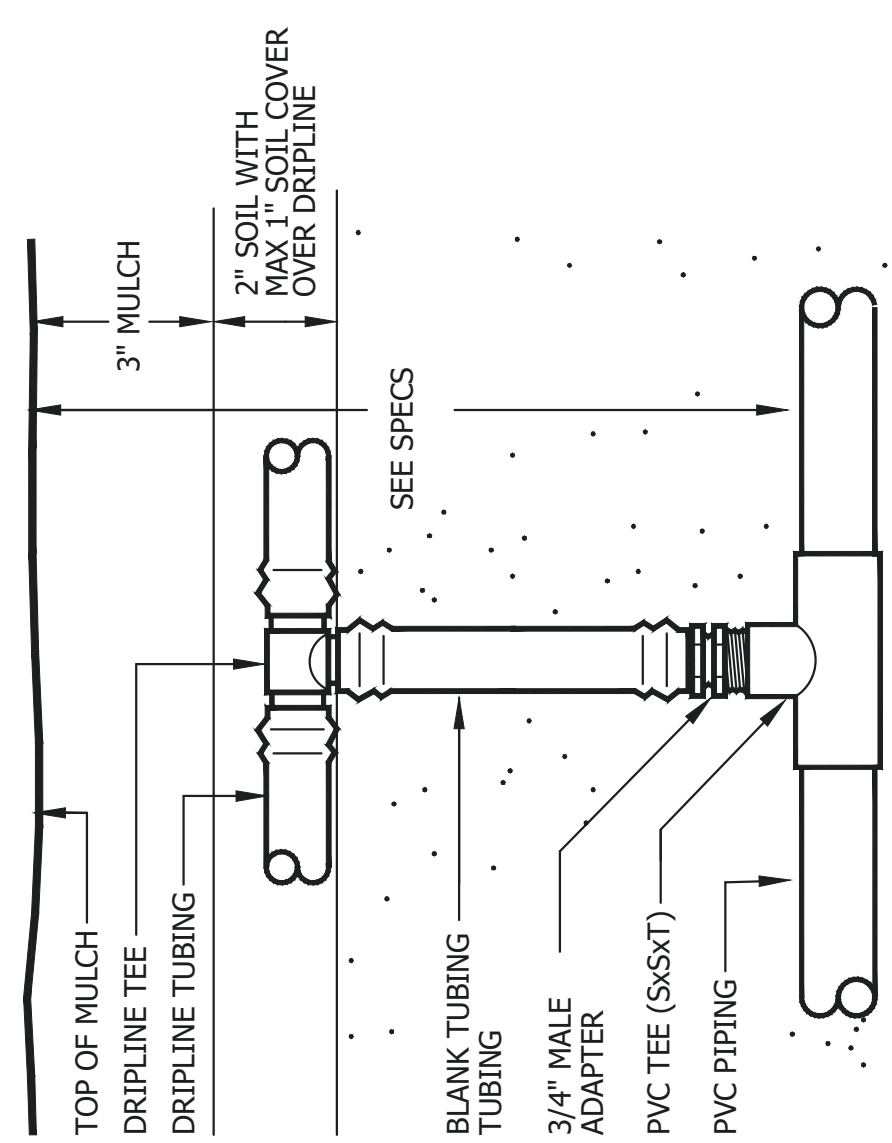
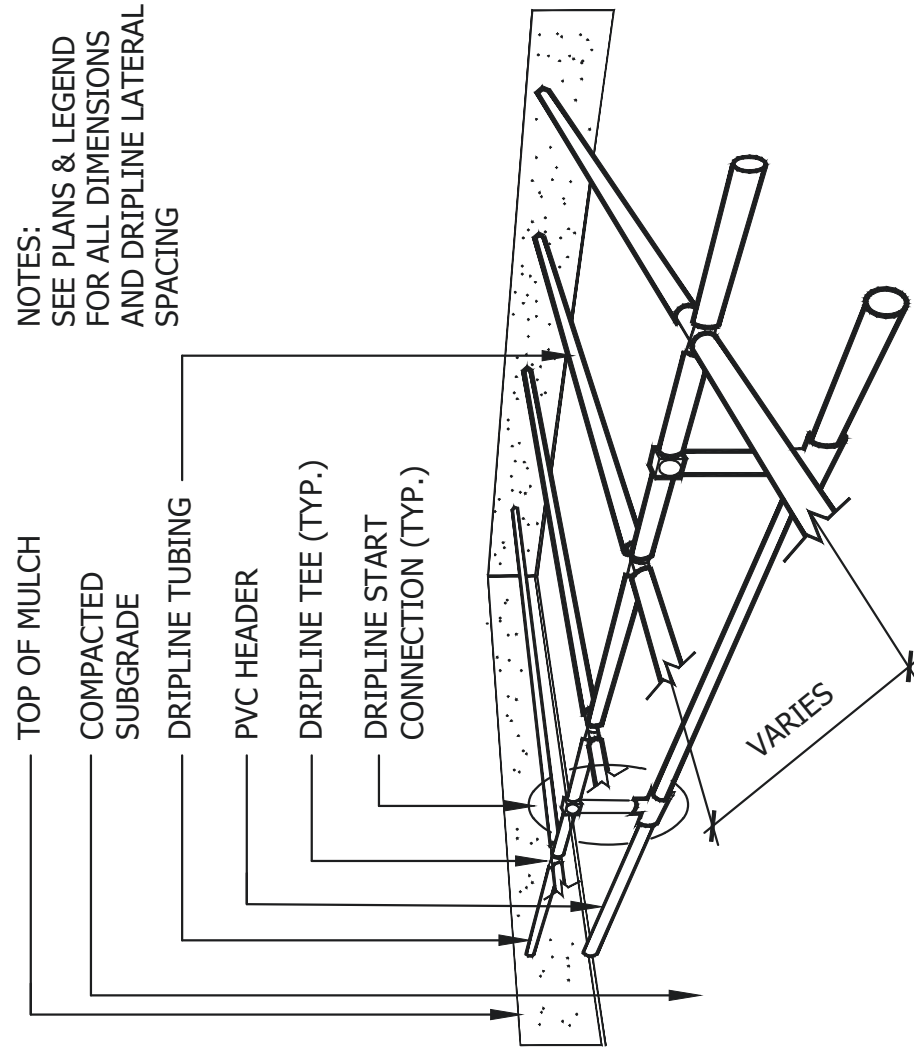


3 RPVB ENCLOSURE
NO SCALE

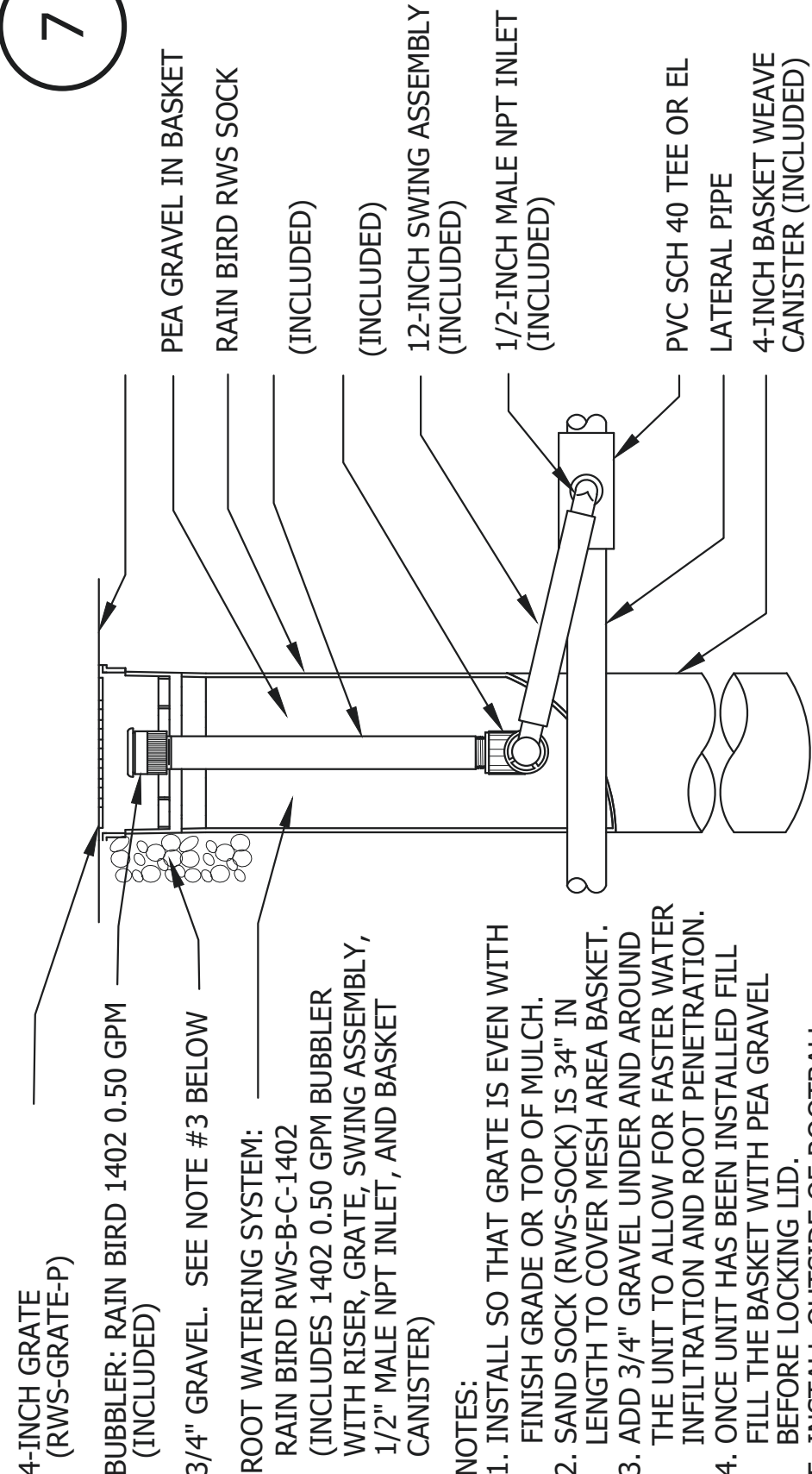
LEGEND
1. REDUCED PRESSURE VACUUM BREAKER ENCLOSURE BOLTED TO CONCRETE PAD. SEE LEGEND
2. INSULATED BLANKET AT RPVB. SEE LEGEND
3. ANCHOR ROD (TYPICAL).
4. POURED CONCRETE BASE - 6" MINIMUM THICKNESS. EXTEND 4" BEYOND OUTSIDE DIMENSIONS OF ENCLOSURE.
5. WATER SERVICE INLET PIPING.
6. WATER SERVICE OUTLET PIPING.
7. FINISH GRADE.
8. SUPPORT ROD (TYPICAL).
9. CONCRETE SUPPORT BLOCK.
10. BRASS UNIONS (TYPICAL).



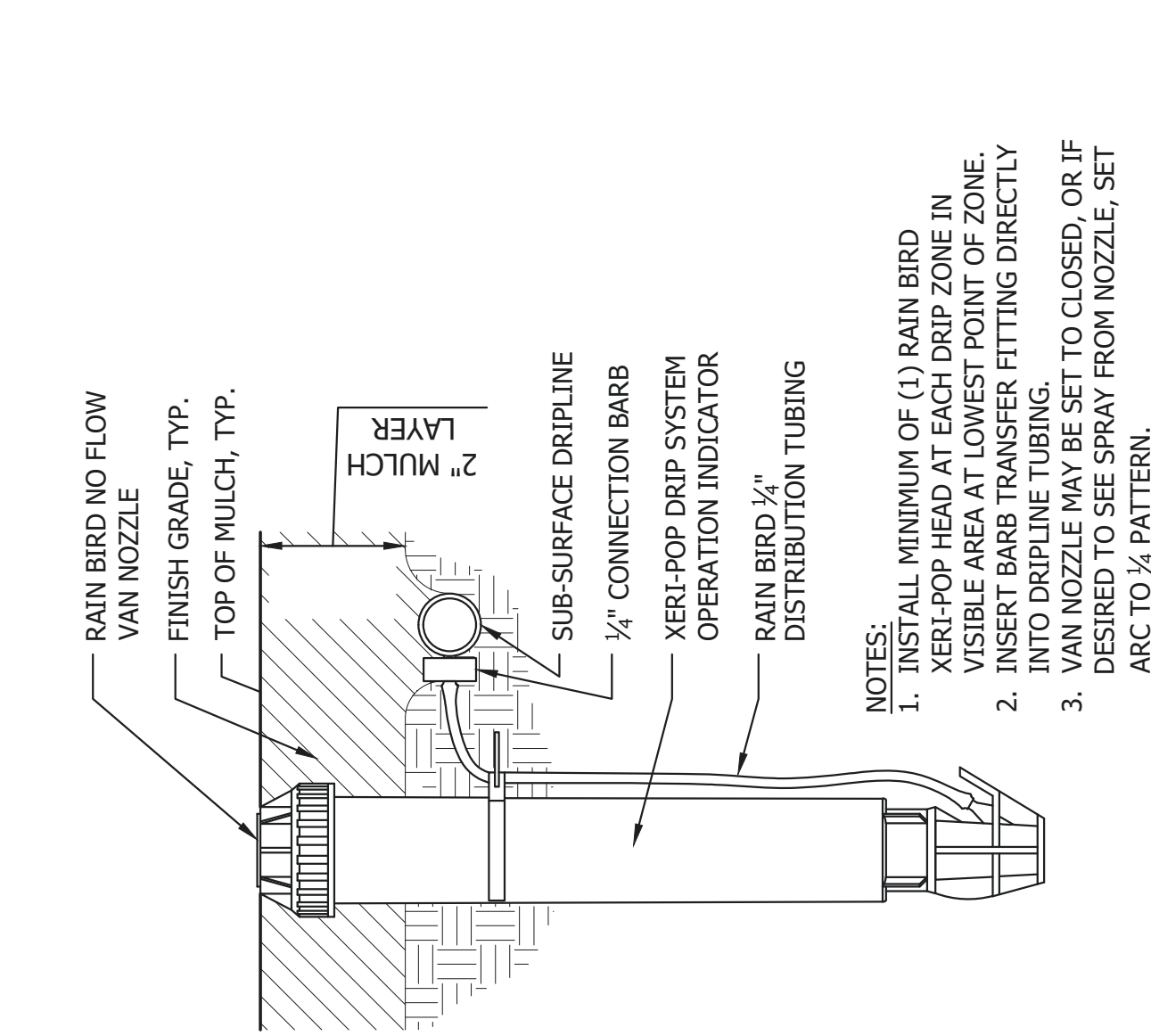
8 DRIPLINE SUB HEADER INSTALLATION
NO SCALE



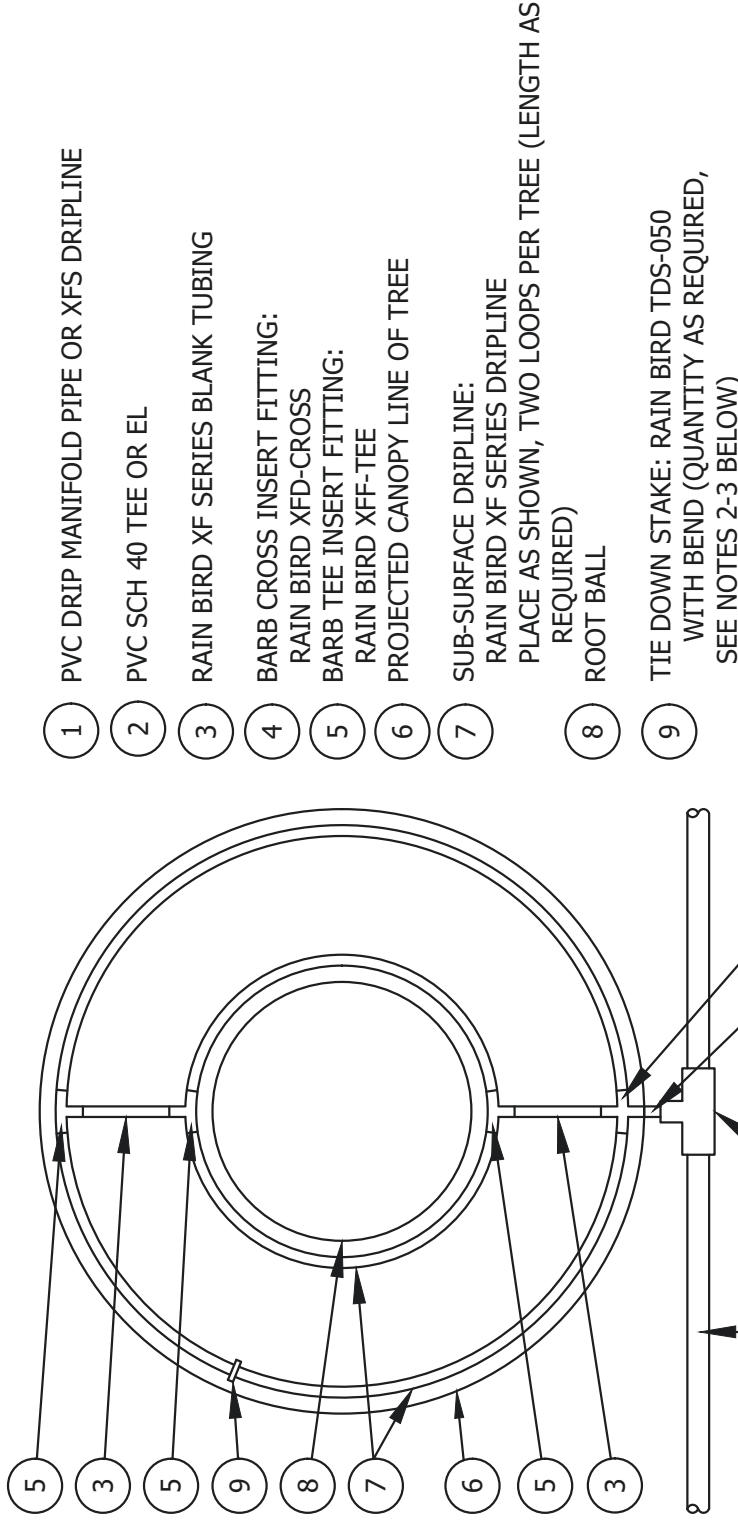
9 DRIPLINE START CONNECTION (PVC TO TEE)
NO SCALE



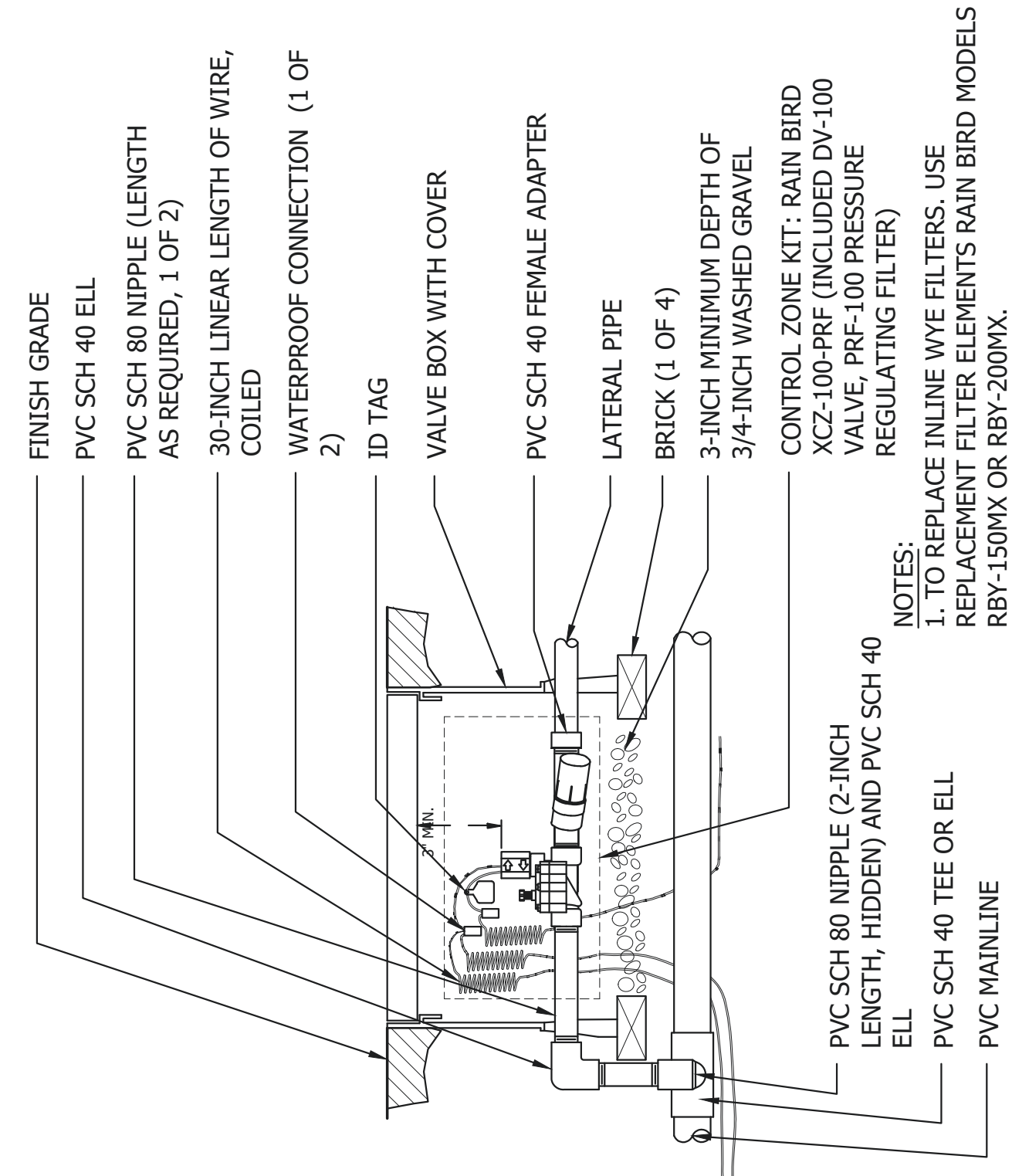
10 DEEP ROOT BUBBLER
NO SCALE



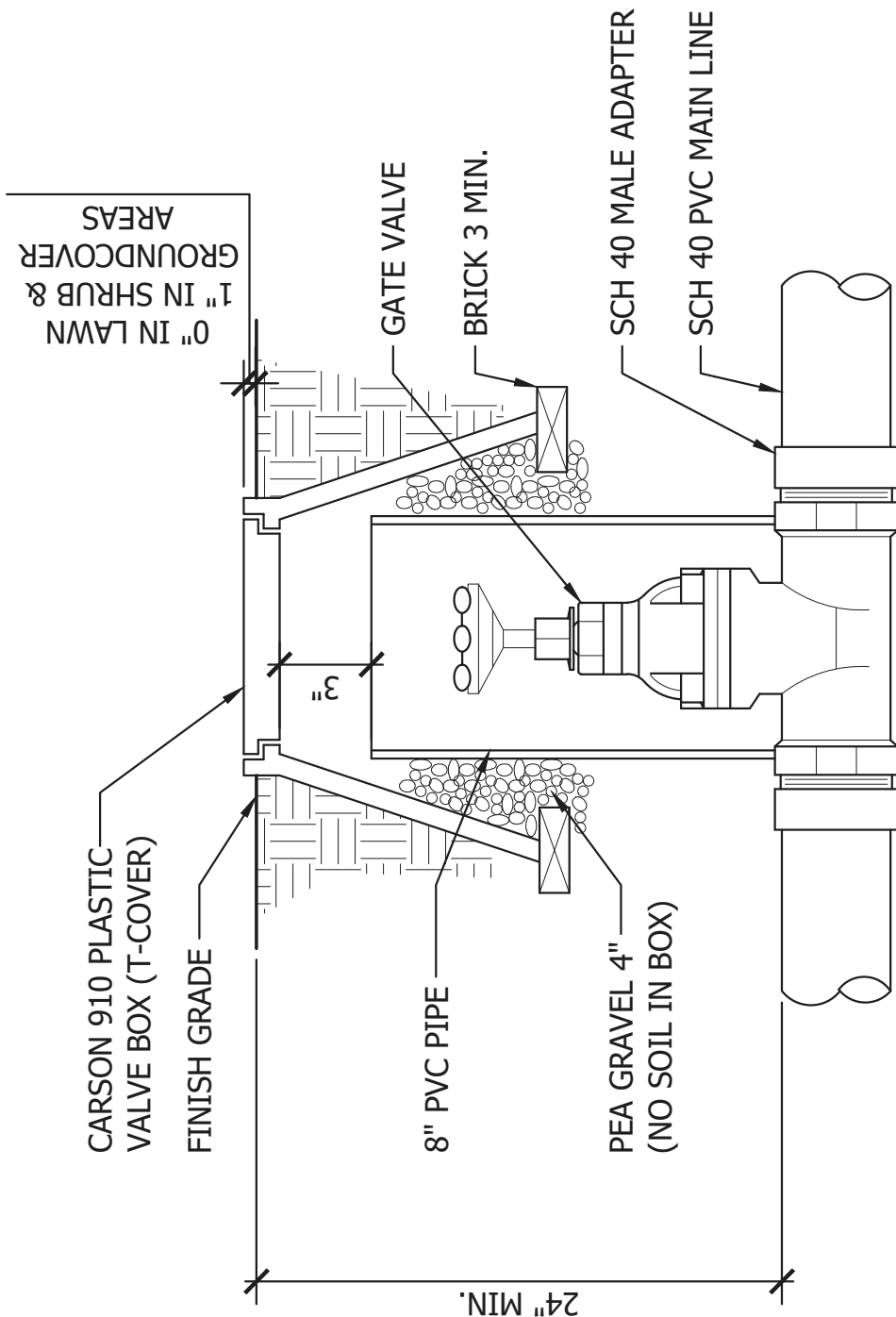
4 RAIN BIRD SUB-SURFACE DRIP OPERATION INDICATOR
NO SCALE



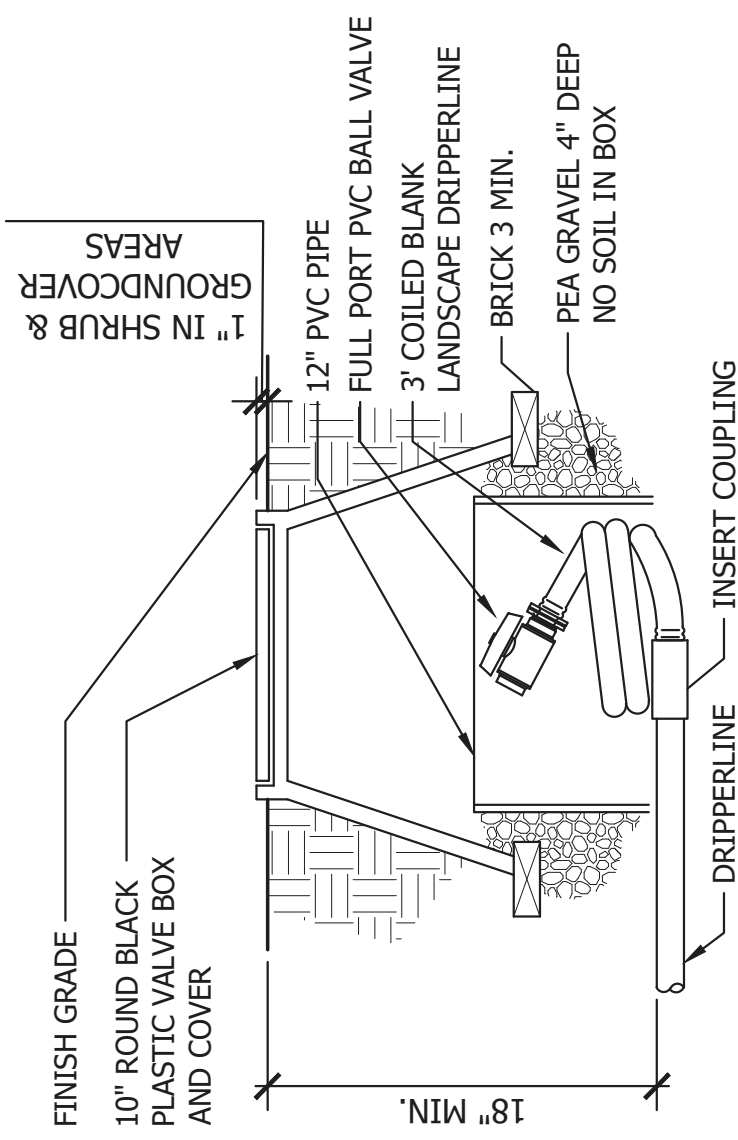
5 XFS SUB-SURFACE DRIPLINE AROUND TREE
NO SCALE



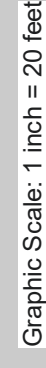
1 RAIN BIRD XCZ-100-PRF REMOTE CONTROL VALVE
NO SCALE



2 GATE VALVE
NO SCALE



3 BALL VALVE AT FLUSHING LOCATION
NO SCALE



The map shows the area around Dallas Ranch Middle School. The proposed site for the new building is located on Lone Tree Way, between Country Hills Dr & Lone Tree Way. The site is marked with a red pin and a hatched area. A large arrow points to this location. The map includes various landmarks such as Dallas Ranch Middle School, Dallas Ranch Elementary School, and several commercial establishments like McDonald's, Starbucks, and AMC Deer Valley 16. The map also shows several streets including Lone Tree Way, Country Hills Dr, and Deer Valley Rd.

APN : 095-0711-113
ZONING: P-D
SITE AREA: 34,204 SF (0.90 AC)
BUILDING AREA: 6,498 SF

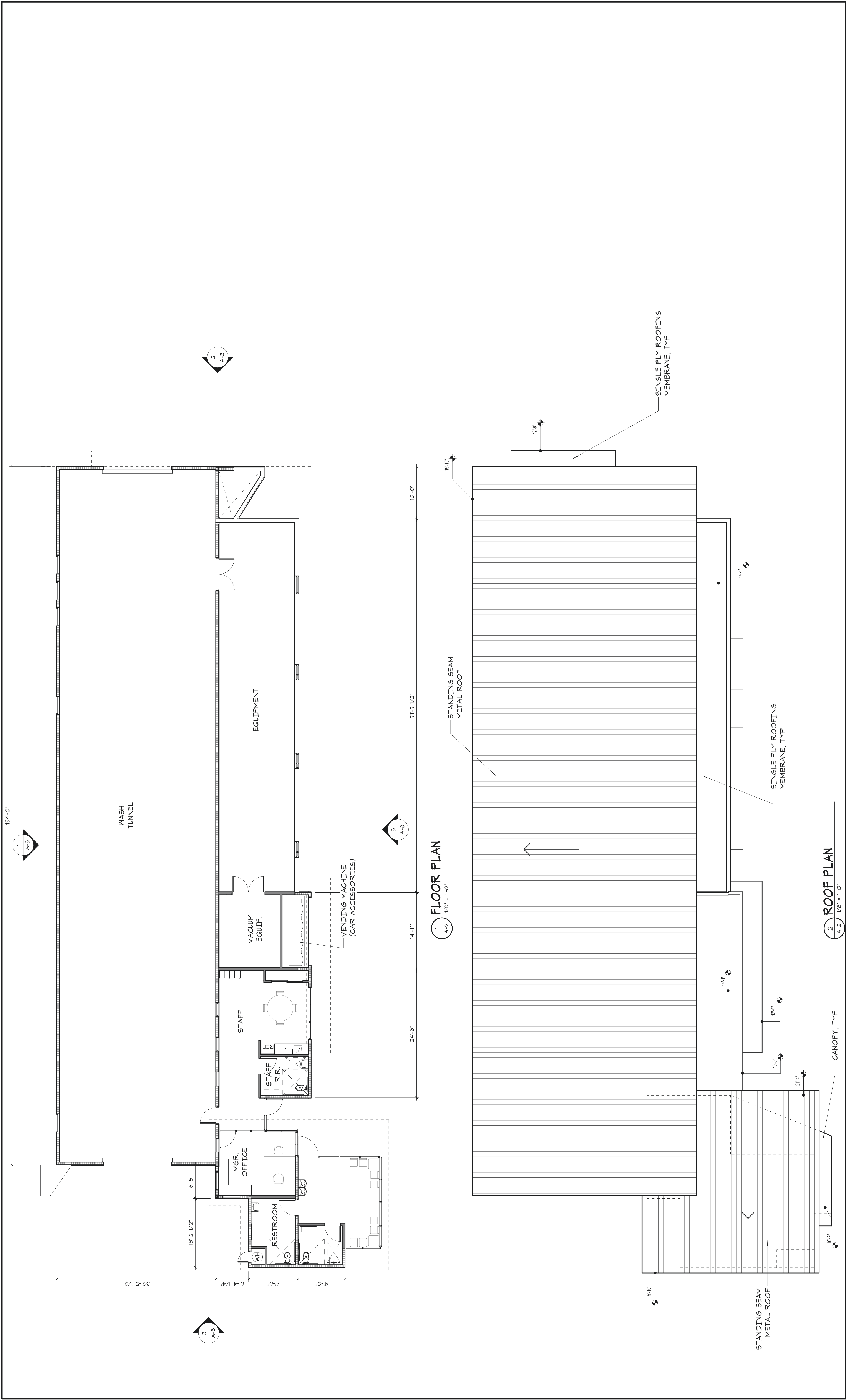
FAR = Gross Flr. Area/Lot Area = 0.17

LANDSCAPE AREA : 19,313 SF = 49%

PARKING REQUIRED: 4 STALLS (MAX. EMPLOYEES WORKING AT ANY ONE TIME)

PARKING PROVIDED: 7 STALLS (FOR EMPLOYEES)

VACUUM PARKING PROVIDED: 23 STALLS



FLOOR PLAN

A-2

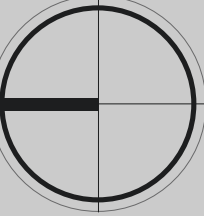
04/10/2020

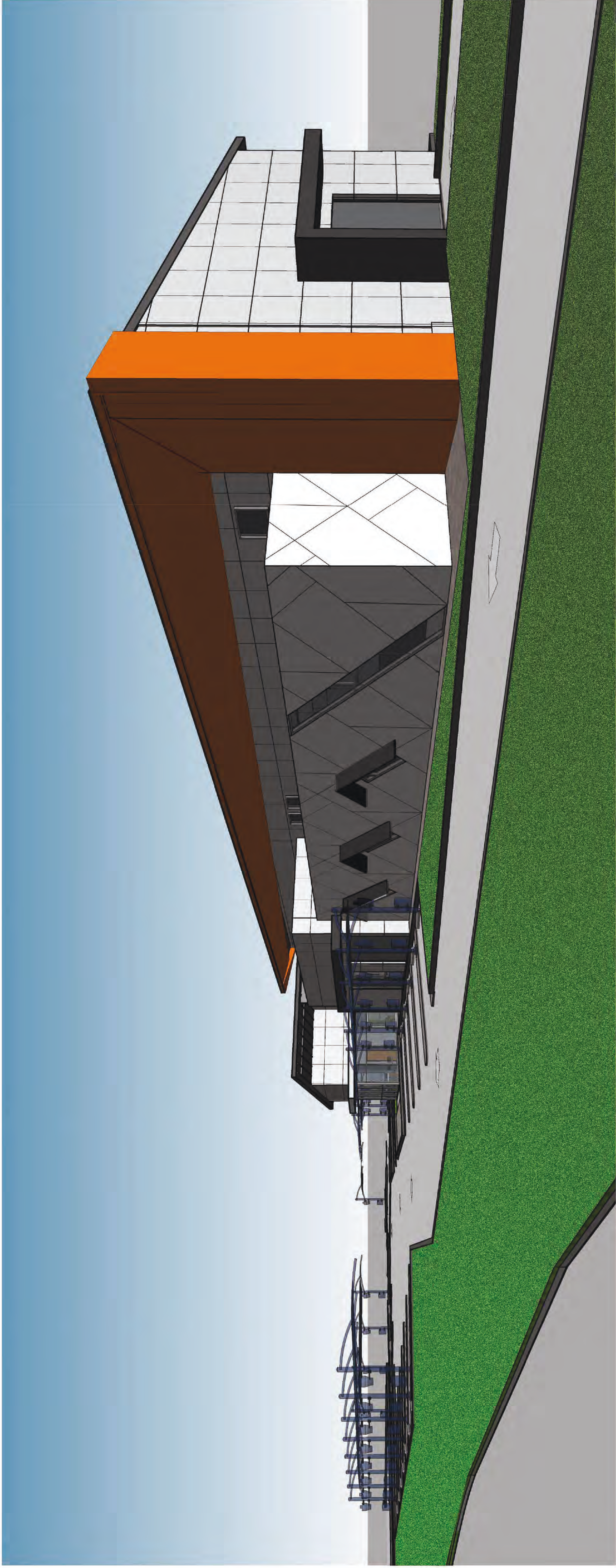
DUCKY'S CAR WASH

Richard Miller

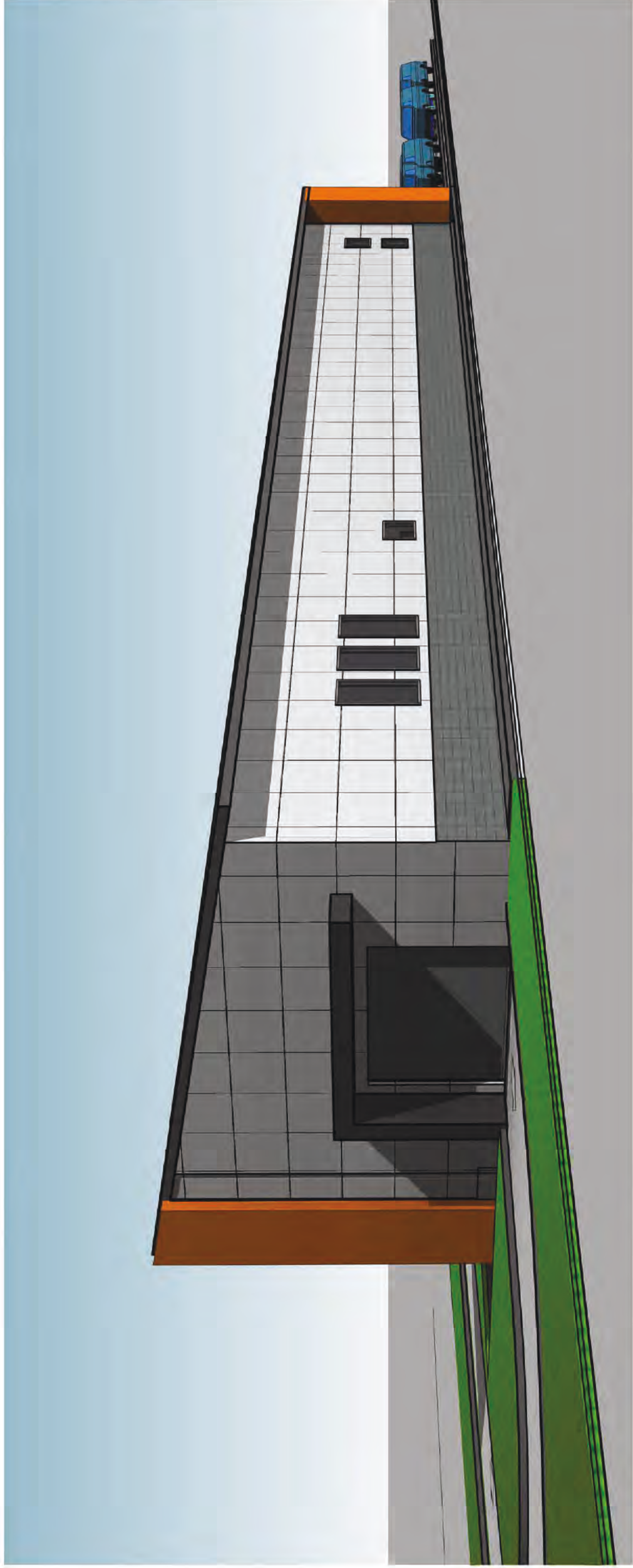
Lone Tree Way Cor. Country Hills Drive
Antioch CA94509

Graphic Scale: 1 Inch = 20 feet





1 3D View A
A-4



2 3D View B
A-4



3 3D View C
A-4

Perspectives

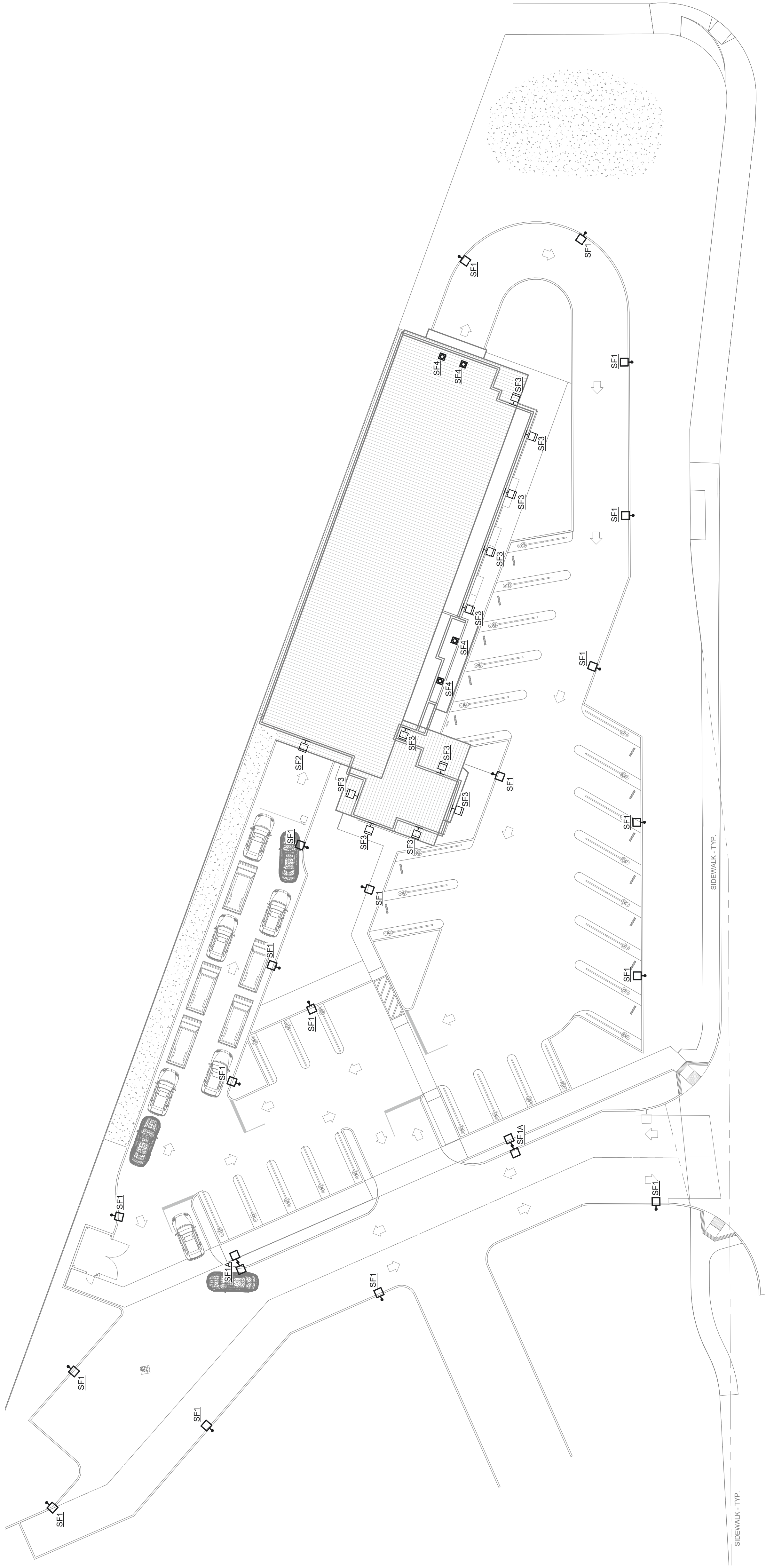
A-4

04/10/20

DUCKY'S CAR WASH

Richard Miller

Lone Tree Way Cor. Country Hills Drive
Antioch CA 94509



1 SITE LIGHTING PLAN

SCALE: 1" = 20'-0"

SITE LIGHTING PLAN

E1.00

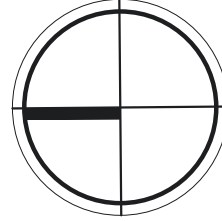
5/16/2019

DUCKY'S CAR WASH

Richard Miller

LONE TREE WAY & COUNTRY HILLS DRIVE,
ANTIOCH, CA 94509

The Engineering Enterprise
CONSULTING ENGINEERS
11250 COUNTRY HILLS DRIVE
AUBURN, CA 95603
(530) 886-8556



SITE LIGHTING CALCULATIONS

E1.01

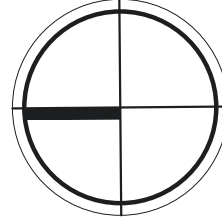
5/16/2019

DUCKY'S CAR WASH

Richard Miller

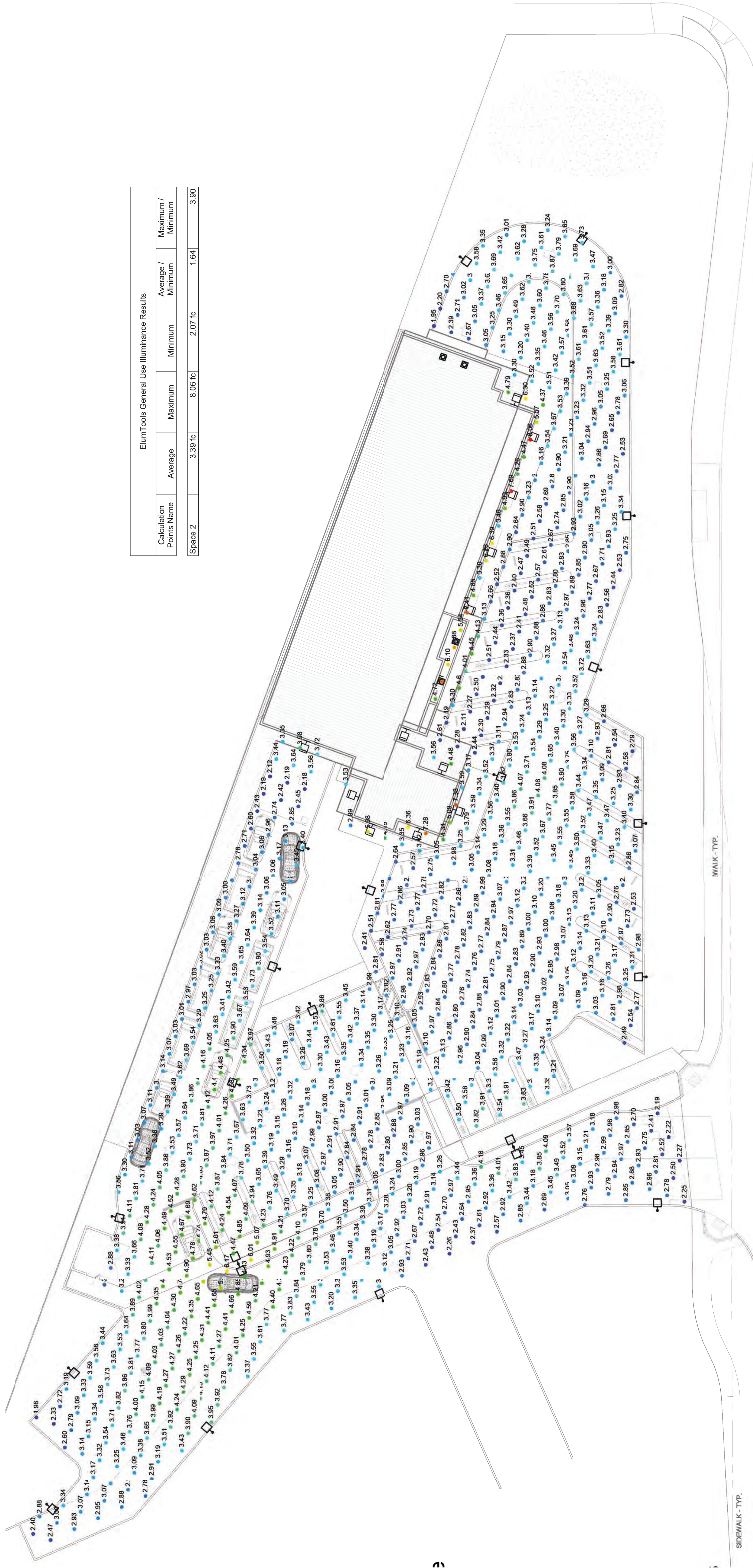
LONE TREE WAY & COUNTRY HILLS DRIVE,
ANTIOCH, CA 94509

The
Engineering
Enterprise
CONSULTING ENGINEERS
11250 GREEN
AUBURN, CA 95603
(530) 886-6556



1 SITE LIGHTING CALCULATIONS

SCALE: 1" = 20'-0"



ElumTools General Use Illuminance Results				
Calculation Points Name	Average	Maximum	Minimum	Average / Minimum
Space 2	3.39 fc	8.06 fc	2.07 fc	1.64
				3.90

DUCKY'S CAR WASH – PROJECT DESCRIPTION

BUILDING DESIGN:

The car wash building is designed to have a modern, clean, and fresh look, with white and light grey neutral colors, and straight lines and edges. Design concept is a transition out of traditional look for car wash design, and provide something that will stand out with other structures around the commercial neighborhood. This will attract local and transient customers around the area. It will keep the business going and will be generating profit which will be in favor for both the business owner, the community, and the City of Antioch.

The building is designed with durable materials such as at the base which is a CMU ground face block walls wainscoting, and wall steel-framed above it. Supported by metal stud framing are the main exterior finish materials called phenolic panels. These materials are easy to clean. It is extremely weather resistant, and does not melt with fire, extremely durable, and modern looking. Roofing material will be standing seam metal roof, in light bluish-grey neutral color that blends with the color of the walls, and the rest of the building materials used.

Diagonal windows and lines is introduced in the façade to create accent and interesting design feature of the building. Wood textured phenolic panels were also placed continuously from the end corner wall up to the roof, then tapering to the other end then down wall. Another design feature of the car wash that provided mass and accent to the design of the structure.

CONDITION:

ANY DEVELOPMENT ON THE ADJACENT PARCEL WILL NEED TO BE ARCHITECTURALLY COMPATIBLE WITH THE CAR WASH DESIGN.

PROPOSED OFF-SITE IMPROVEMENTS:

Scope of work for the proposed off-site improvements include the following:

1. Construction of deceleration lane (right-turn) to site.
2. Construction of new driveway.
3. Striping and Signage.
4. The above works requires right-of-way dedication to the City.

SITE DESIGN AND LANDSCAPE:

Enhanced landscaping is provided along all the perimeters at a low level height of less than 32 inches in height. This allows a view to the Car Wash and at the same time is used as buffer to minimize noise that is coming from car washing and vacuum equipment.

The site is designed to allow efficient traffic flow of incoming and outgoing vehicles. Cars that need to be serviced for car washing has been provided with access road on the perimeter of the lot so that cars will go around the property without interrupting the vehicles inside the lot that is serviced to operate the vacuum equipment.

MONUMENT SIGN:

The monument sign is composed of Lexan-polycarbonate faces and translucent vinyl graphics with aluminum frame and backlit with LED strip lights. The base is made out of Aluminum cladding with Tex coat finish painted SW"Cityscape"

LED Illuminated Channel Letter System

404"

27" **DUCKY'S CAR WASH** A

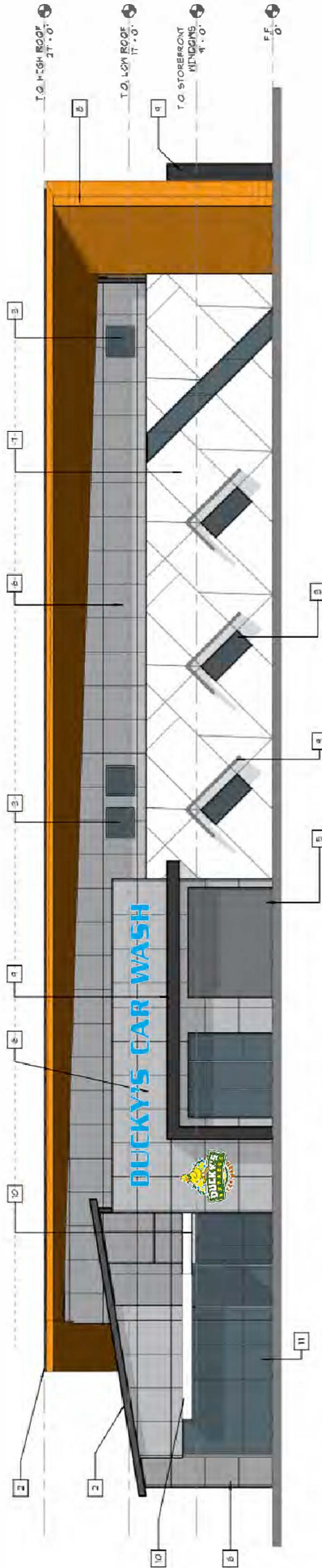
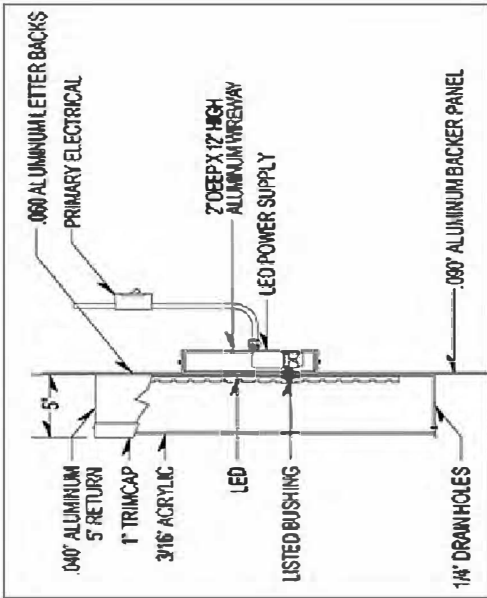
76"



B

Logo:
White Returns
White Trimcap
3M Translucent Digitally Printed
Over 2447 White Acrylic

White Returns
White Trimcap
3M Translucent "Light European Blue"
Over 2447 White Acrylic



156' Frontage

5 EXTERIOR ELEVATION - SOUTH

1/2" = 1'-0"

TRACYSIGN INC

Lic # 907315

Ducky's Car Wash
Lone Tree Way at Country Hills Dr.
Antioch Ca

Customer Approved
Landlord Approved

3771 W. 11th St.
Tracy, Ca. 95304
V 209.835.3464
F 209.835.3471

342"

DUCKY'S CAR WASH

76"

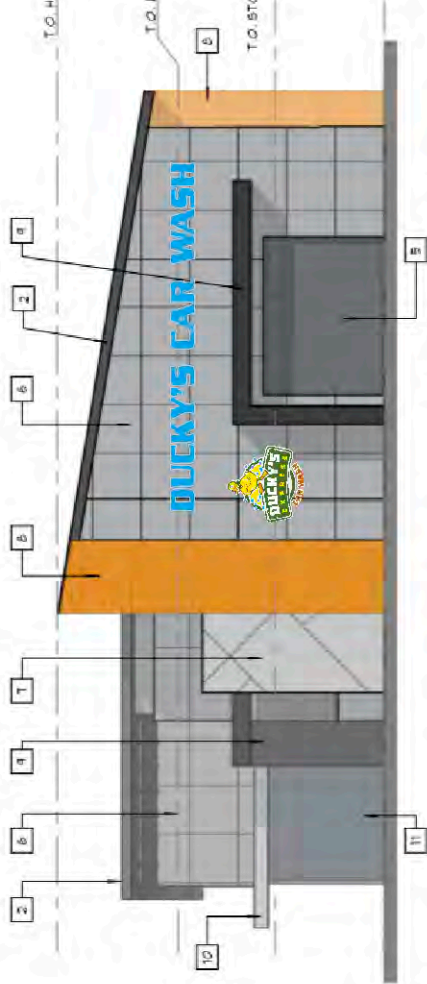
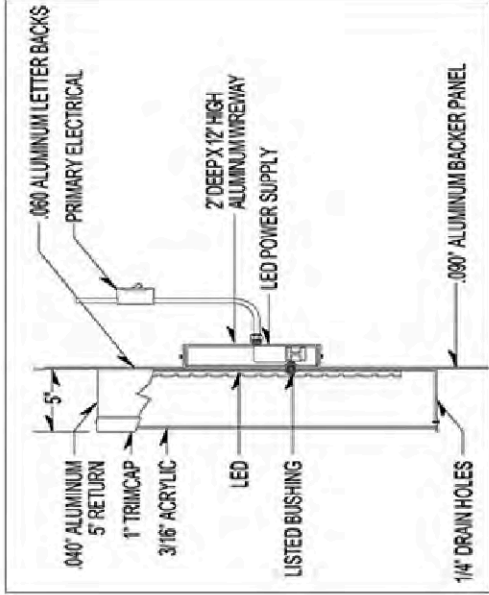


77"

D

White Returns
White Trimcap
3M Translucent "Light European Blue"
Over 2447 White Acrylic

Logo:
White Returns
White Trimcap
3M Translucent Digitally Printed
Over 2447 White Acrylic



2 EXTERIOR ELEVATION - EAST 66' Frontage

A-B 1/8" = 1'-0"

TRACYSIGN INC

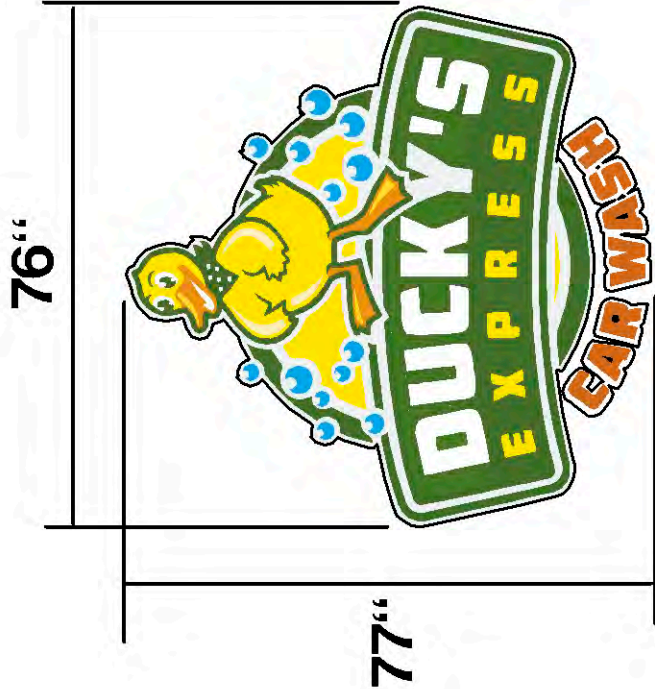
Lic # 907315

Ducky's Car Wash
Lone Tree Way at Country Hills Dr.
Antioch Ca

Customer Approved
Landlord Approved

3771 W. 11th St.
Tracy, Ca. 95304
V 209.835.3464
F 209.835.3471

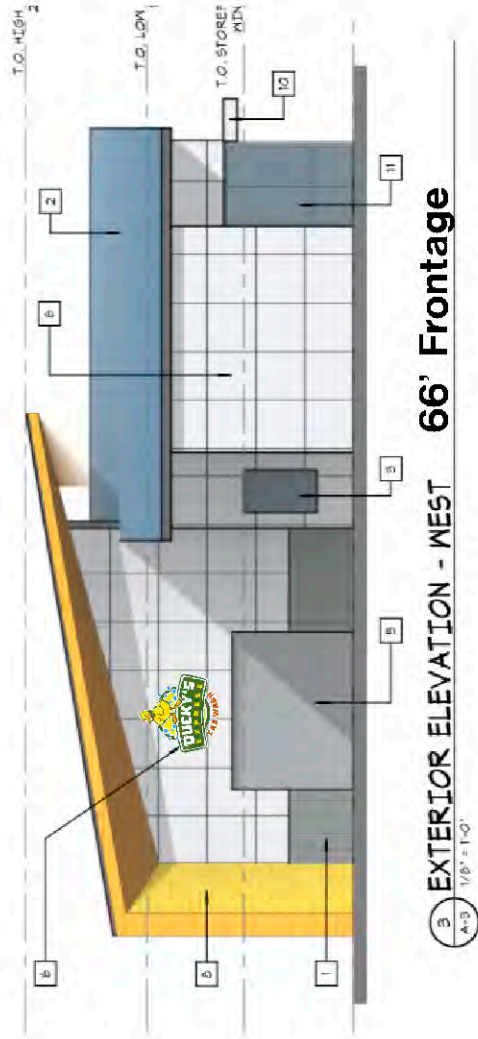
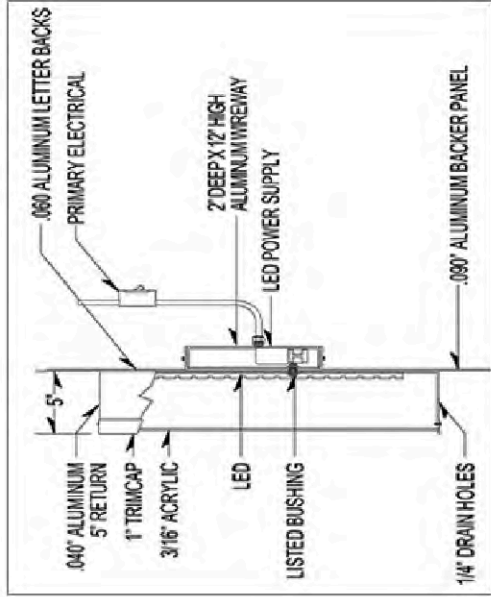
LED Illuminated Channel Letter System



White Returns
White Trimcap
3M Translucent "Light European Blue"
Over 2447 White Acrylic

Logo:
White Returns
White Trimcap
3M Translucent Digitally Printed
Over 2447 White Acrylic

C



3 1/8" = 1'-0" EXTERIOR ELEVATION - WEST 66' Frontage

TRACYSIGN INC
Lic # 907315

Ducky's Car Wash
Lone Tree Way at Country Hills Dr.
Antioch Ca

Customer Approved
Landlord Approved

3771 W. 11th St.
Tracy, Ca. 95304
V 209.835.3464
F 209.835.3471

L



SloanLED PrismBEAM 24V
LED solution for retrofitting older cabinets.

Copyright Clearance Center, Inc.

Dimensions $B \times H$ _____ Sample tested _____ $0.75 \text{ m} \times 0.75 \text{ m}$
 Variable tested _____ $(\text{Volume } V) \text{ m}^3$
 _____ $0.75 \text{ m} \times 1.75 \text{ m}$
 _____ $(1.0 \text{ m} \times 1.75 \text{ m})$

Efficiency $\frac{1}{100}$ 100

Stable isotope composition of $\delta^{13}\text{C}$ (‰) = $\frac{1000}{R_{\text{std}}}$ (‰)

Expenses (Amount Due) _____ Sample Date _____ 5/6/12/2011

Double ended 35 1/2" (714-488) end

Copolymer composition at 40°C (to = 60%)

Protection class _____ (N.A.A. 2004)

1000

_____ (Signature)
_____ (Print Name)

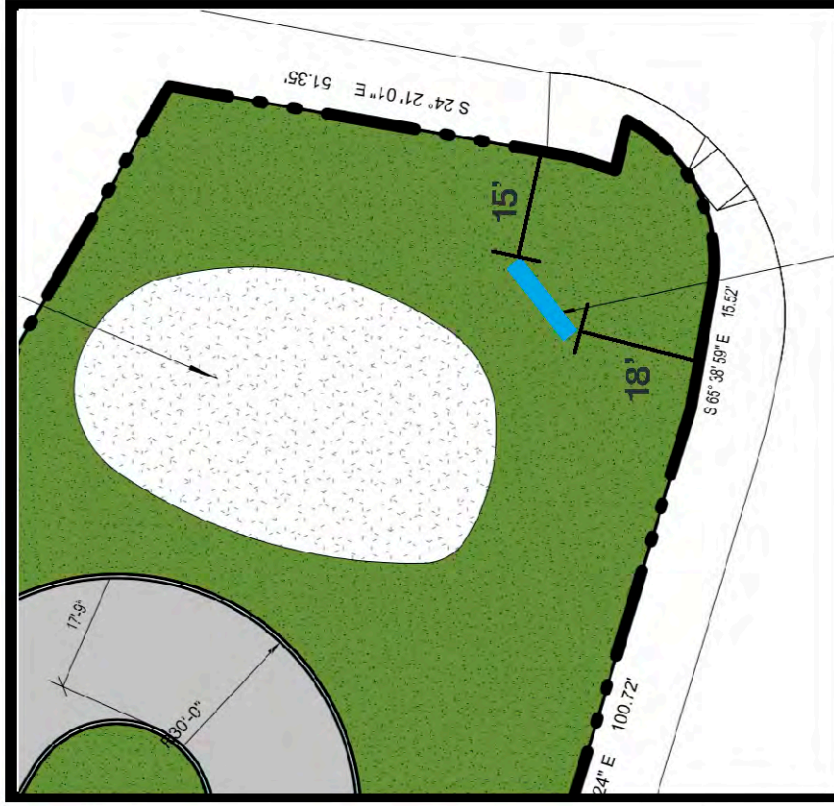
Lic # 907315

Ducky's Car Wash
Lone Tree Way at Country Hills Dr.
Antioch Ca

© 2000 Blackwell Science Ltd *Journal of Internal Medicine* 247: 115–122

Approved and Proposed

3771 W. 11th St.
Tracy, Ca. 95304
V 209.835.3464
F 209.835.3471



TRACYSIGN INC
Lic # 907315

Ducky's Car Wash
Lone Tree Way at Country Hills Dr.
Antioch Ca

Customer Approved
Landlord Approved

3771 W. 11th St.
Tracy, Ca. 95304
V 209.835.3464
F 209.835.3471

ATTACHMENT F

Contra Costa County



Fire Protection District

June 25, 2020

Mr. Richard Miller.
4850 Redwood Road
Napa, CA 94558

Subject: Ducky's Car Wash
0 Lone Tree Way and Country Hills Drive, Antioch
CCCFPD Project No.: P-2020-02822

Dear Mr. Miller:

We have reviewed the development plan application to establish a car wash of approximately 6,498 sq ft of undetermined construction type at the subject location. The following is required for Fire District approval in accordance with the 2019 California Fire Code (CFC), the 2019 California Building Code (CBC), and Local and County Ordinances and adopted standards:

1. Access as shown on appears to comply with Fire District requirements.

Provide emergency apparatus access roadways with all-weather (paved) driving surfaces of not less than 20-feet unobstructed width, and not less than 13 feet 6 inches of vertical clearance, to within 150 feet of travel distance to all portions of the exterior walls of every building. Access shall have a minimum outside turning radius of 45 feet, and must be capable of supporting the imposed fire apparatus loading of 37 tons. Access roadways shall not exceed 20% grade. Grades exceeding 16% shall be constructed of grooved concrete per the attached Fire District standard. (503) CFC

2. Access roadways of **less than 28-feet** unobstructed width shall have signs posted or curbs painted red with the words **NO PARKING – FIRE LANE** clearly marked. (22500.1) CVC, (503.3) CFC

Access roadways of **28 feet or greater, but less than 36-feet** unobstructed width shall have **NO PARKING – FIRE LANE** signs posted, allowing for parking on one side only or curbs painted red with the words **NO PARKING – FIRE LANE** clearly marked. (22500.1) CVC, (503.3) CFC

3. Submit at least two sets of architectural drawings to the Fire District for review and pay the associated fees.
4. All new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the interior of the building. The building owner shall have the testing conducted and the results submitted to the Fire District prior to the building final. (510.1) CFC

5. The developer shall provide an adequate and reliable water supply for fire protection as set forth in the California Fire Code. (507.1) CFC
6. The building as proposed shall be protected with an approved automatic fire sprinkler system complying with the 2019 edition of NFPA 13. Submit a minimum of two (2) sets of plans to this office for review and approval prior to installation. (903.2) CFC, (R313.3) CRC, Contra Costa County General Plan / Contra Costa County Ordinance 2019-37.
7. Flammable or combustible liquid storage tanks shall **not** be located on the site without obtaining approval and necessary permits from the Fire District. (3401.4) CFC
8. Provide safety during construction. (Ch.33) CFC
9. The developer shall submit a minimum of two (2) complete sets of plans and specifications of the subject project, including plans for any of the following required deferred submittals, to the Fire District for review and approval **prior to** construction to ensure compliance with minimum requirements related to fire and life safety. Plan review and inspection fees shall be submitted at the time of plan review submittal. (105.4.1) CFC, (901.2) CFC, (107) CBC
 - Building construction plans
 - Private underground fire service water mains
 - Fire sprinklers
 - Fire alarm
 - Emergency Responder Radio Coverage System (ERRCS)

CONTACT THE FIRE DISTRICT (MINIMUM 2 WORKING DAYS IN ADVANCE) AT 925-941-3300 EXT 3902 TO SCHEDULE AN INSPECTION OF THE ACCESS AND HYDRANT INSTALLATION PRIOR TO CONSTRUCTION OR THE STORAGE OF COMBUSTIBLE MATERIALS ON THE JOB SITE.

Our preliminary review comments shall not be construed to encompass the complete project. Additional plans and specifications may be required after further review.

If you have any questions regarding this matter, please contact this office at (925) 941-3300.

Sincerely,



Steve Rupnow
Fire Inspector

cc: City of Antioch Community Development
200 H Street
Antioch CA 94509

File: 0 LONETREE WAY and COUNTRY HILLS DR-PL-P-2020-02822



Ducky's Car Wash Project

CEQA Addendum to Adopted Mitigated
Negative Declaration

December 17, 2020

Prepared for:

City of Antioch
200 H Street
Antioch, CA 94509

Prepared by:

Stantec Consulting Services Inc.
1340 Treat Boulevard Suite 300
Walnut Creek CA US 94597

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LIST OF ATTACHMENTS

Attachment A. Air Quality and Greenhouse Gas Assessment of Ducky’s Car Wash Project



Abbreviations

AB	Assembly Bill
BAAQMD	Bay Area Air Quality Management District
CALGreen	California Green Building Standard Code
CEQA	California Environmental Quality Act
City	City of Antioch
dB	Decibels
EIR	Environmental Impact Report
GHG	Greenhouse gas
ISMND	Initial Study/Mitigated Negative Declaration
PG&E	Pacific Gas and Electric



DUCKY'S CAR WASH PROJECT

CEQA Addendum to Adopted Mitigated Negative Declarations

1.0 SUMMARY

This document is an Addendum to the adopted Initial Study/Mitigated Negative Declaration (ISMND) that was prepared for the Bank of Agriculture and Commerce and Auto Spa Project (hereafter referred to as the approved project) (City of Antioch 2008), located at the intersection of Lone Tree Way and Country Hills Drive, in the City of Antioch (City). The ISMND for the approved project was prepared in compliance with the California Environmental Quality Act (CEQA) in support of the discretionary approvals required to develop the project. The ISMND was adopted and approved by the City on December 16, 2008. The approved project would construct and operate an approximately 3,500-square-foot full-service bank, as well as an approximately 5,125-square-foot car wash with two shade canopies on approximately 2.3 acres.

Since the time of project approval, Richard Miller (project proponent) has modified the project (hereafter referred to as the modified project). The primary modification to the approved project is the removal of the Bank of Agriculture and Commerce from the development. The primary focus of this Addendum is to analyze the environmental impact(s) of proposed changes to the approved project. This evaluation will determine whether any new significant environmental impacts that were not previously identified in the adopted ISMND would result from the modified project, or whether previously identified significant impacts would be substantially more severe as a result of these changes.

As described herein, an evaluation has been conducted that confirms that the impacts from the modified project would not be more severe than those from implementation of the approved project, and no new significant impacts would occur. This Addendum also evaluates whether any changes in circumstances surrounding the modified project or new information of substantial importance would cause new significant environmental effects or a substantial increase in the severity of such effects beyond what was identified in the adopted ISMND. The evaluation of changes in the circumstances and new information is focused on whether changes of substantial importance have occurred to environmental conditions on the project site and in the area or to applicable plans, policies, or regulations.



DUCKY'S CAR WASH PROJECT

CEQA Addendum to Adopted Mitigated Negative Declarations

2.0 PURPOSE OF THE ADDENDUM

The purpose of this Addendum is to evaluate whether the modified project as currently proposed would result in any new or substantially greater significant effects or require any new mitigation measures not identified in the 2008 ISMND for the approved project. This Addendum together with the 2008 ISMND will be used by the City when considering approval of the modified project.



3.0 CEQA AUTHORITY FOR THE ADDENDUM

CEQA and CEQA Guidelines establish the type of environmental documentation that is required when changes to a project occur after adoption or certification of an ISMND. Section 15164(b) states, "An addendum to an adopted negative declaration may be prepared if only minor technical changes or additions are necessary or none of the conditions described in Section 15162 calling for the preparation of a subsequent [environmental impact report] or negative declaration have occurred."

In order to give a degree of finality to CEQA documentation, Section 15162 of the CEQA Guidelines states that when an Environmental Impact Report (EIR) has been certified or a negative declaration has been adopted for a project, no EIR shall be prepared for the project unless the lead agency determines, on the basis of substantial evidence in the light of the whole record, that one or more of the following occur:

1. Substantial changes are proposed in the project, which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
2. Substantial changes occur with respect to the circumstances under which the project is undertaken, which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or
3. New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete, or the negative declaration was adopted, shows any of the following:
 - a. The project will have one or more significant effects not discussed in the previous EIR or negative declaration,
 - b. Significant effects previously examined will be substantially more severe than shown in the previous EIR,
 - c. Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative, or
 - d. Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

It has been determined through the analysis contained herein that none of the conditions requiring preparation of a Subsequent Mitigated Negative Declaration have occurred and that the changes as part of the modified project would not result in additional significant impacts or a substantial increase in the severity of previously identified significant impacts. There are no substantial changes to the immediate



DUCKY'S CAR WASH PROJECT

CEQA Addendum to Adopted Mitigated Negative Declarations

environmental setting of the project site which have been identified since project approval and adoption of the ISMND. No other additional information of substantial importance, which would require major revisions to earlier analyses that would warrant preparation of a Subsequent EIR pursuant to Section 15162 of the CEQA Guidelines has been found. As such, pursuant to CEQA, this Addendum is the appropriate documentation to address the proposed changes to the approved project. The adopted ISMND and associated technical appendices are incorporated by reference herein.



4.0 PROJECT DESCRIPTION

The modified project is in southeastern Antioch, on the northwest corner of Lone Tree Way and Country Hills Drive. The project site is an undeveloped parcel that was historically used for agriculture. The original 2.3-acre project site was subdivided into two parcels as part of the project approval in 2008 and is designated as a business park under the City of Antioch's General Plan and zoned planned development. The modified project would be located on the approximate 1.3-acre parcel on the east side of the approved project site, in Contra Costa County, Assessor's Parcel Number 055-071-114.

4.1 SURROUNDING LAND USES AND SETTING

The project site encompasses about 1.3 acres on a parcel that is currently vacant and undeveloped. The site is surrounded by urban development. Surrounding land uses are as follows:

- **North:** Immediately adjacent to the north side of the project site is the Mokelumne walking trail and just beyond that to the north is offices.
- **South:** Lone Tree Way is immediately south of the project site and a gas station and fast food restaurant lie beyond that.
- **East:** Country Hills Drive is immediately east of the project site and a vacant parcel of land lies east beyond that.
- **West:** Immediately west of the project site is the undeveloped parcel that was part of the approved project. Beyond the parcel are single family residences.

4.2 SUMMARY OF THE APPROVED PROJECT

The project that was approved in 2008 involves the development of an approximately 2.3-acre parcel consisting of an approximately 3,500-square-foot, full-service bank, as well as an approximately 5,125-square-foot car wash with two shade canopies. The hours of operation for the car wash were approved for 7:00 a.m. to 7:00 p.m. Noise levels during the construction phase were expected to vary up to a maximum of 90 decibels (dB) at 50 feet from the construction site during the noisiest phases of construction. It was expected that, during the construction period, commercial uses surrounding the project site could be exposed to noise levels exceeding 70 dB for short periods of time. The approved project included a four-blower system with four motors to dry the vehicles as they leave the car wash tunnel. Thus, operational noise was expected; however, noise levels at the nearest residence were not expected to exceed the General Plan level of 60 dB. The approved project was expected to generate 58 morning peak hour trips and 195 afternoon peak hour trips, which includes both the bank and the car wash.

The approved project also included offsite improvements including the construction of a deceleration lane (right-turn) into the site, construction of a new driveway, road striping and signage, and right-of-way dedication to the City.



4.3 SUMMARY OF PROJECT CHANGES

This Addendum addresses proposed changes to the approved project. The primary change is the removal of the previously proposed Bank of Agriculture and Commerce in the parcel to the west of the project site. The modified project includes a new single-story car wash tunnel with office space, a customer lounge, and restrooms. The project includes parking areas for employees and customers with 23 covered self-service vacuum stalls. Other changes between the 2008-approved project description and the modified project are summarized in Table 1.

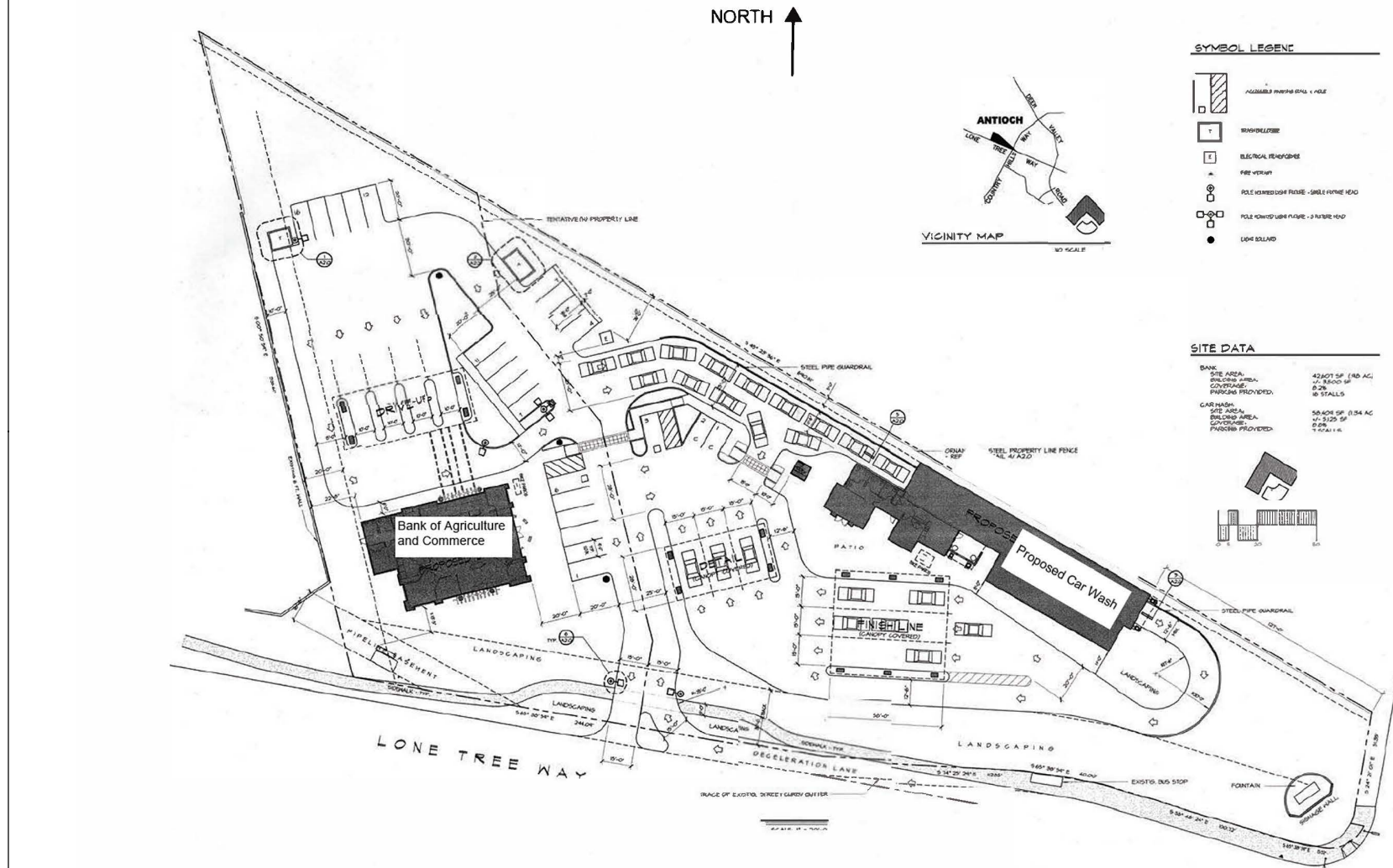
Table 1. Project Changes

Approved project	Modified Project
3,500-square-foot full-service bank, as well as an approximately 5,125-square-foot car wash with two shade canopies	6,336-square-foot car wash, only; the bank would not be constructed
23 automobile parking stalls (16 for the bank and 7 for the car wash)	5 automobile parking stalls
Estimated operational trips (bank and car wash) 58 morning peak hour trips and 195 afternoon peak hour trips	Estimated operational trips: 13 morning peak hour trips and 38 afternoon peak hour trips
No covered vacuum stalls	23 covered vacuum stalls

Figure 1 depicts the layout of the original approved project, which includes a 3,500 square foot bank, a 5,125 square foot car wash building with two canopied parking areas for about nine to 12 cars for detailing and finishing, 23 automobile parking stalls (16 for the bank and seven for the car wash), and four drive up teller stalls (bank only). The layout of the approved project included about 101,000 square feet of impervious area. Figure 2 depicts the modified project, which would instead include five automobile parking stalls, 23 covered self-service vacuum stalls, a 6,336-square-foot car wash building and 0.92 acre (about 40,000 square feet) of impervious area on the eastern portion of land that was included and evaluated in the adopted ISMND. The general layout of the two facilities is similar, with automobiles entering from Lone Tree way, and traveling north to the entrance of the carwash. The main building layout is on the northern side of the parcel, similar to the approved project. The revised layout would result in a reduction of approximately 45 morning peak hour trips, 157 afternoon peak hour trips, 15 automobile parking stalls and 61,000 square feet of impervious area.

As discussed further below, any potential impacts related to the modifications associated with project parking areas have been evaluated in the approved ISMND and would be mitigated to a less-than-significant level with the incorporation of the same adopted mitigation measures.





Project Location: Antioch, California
Source: Abrams Associates Traffic Engineering, Inc.

Client/Project: Ducky's Car Wash
Project: Draft CEQA Addendum to Adopted Mitigated Negative Declaration
Figure No. 1

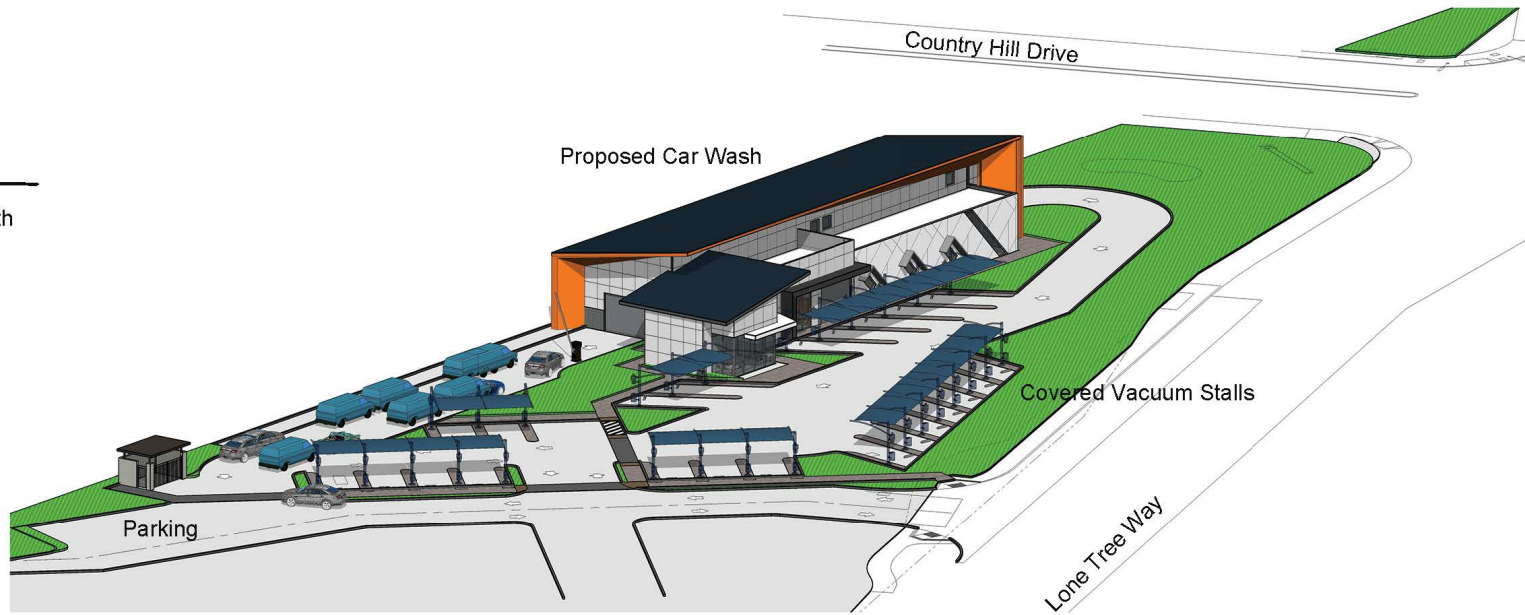
Title

Ducky's Car Wash Approved Project Layout



Disclaimer: This document has been prepared based on information provided by others as cited in the Notes section. Stantec has not verified the accuracy and/or completeness of this information and shall not be responsible for any errors or omissions which may be incorporated herein as a result. Stantec assumes no responsibility for data supplied in electronic format, and the recipient accepts full responsibility for verifying the accuracy and completeness of the data.

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Project Location
Antioch, California

Source: LDA Partners.

Client/Project
Ducky's Car Wash
Project
Draft CEQA Addendum to Adopted Mitigated Negative Declaration

Figure No.

2

Title

**Ducky's Car Wash Modified Project
Layout**



Disclaimer: This document has been prepared based on information provided by others as cited in the Notes section. Stantec has not verified the accuracy and/or completeness of this information and shall not be responsible for any errors or omissions which may be incorporated herein as a result. Stantec assumes no responsibility for data supplied in electronic format, and the recipient accepts full responsibility for verifying the accuracy and completeness of the data.

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5.0 COMPARATIVE ANALYSIS OF IMPACTS

5.1 MODIFIED PROJECT IMPACTS

Updated potential impacts on resources that were previously discussed in the 2008 adopted ISMND are discussed in more detail below. New analysis not previously conducted in the 2008 document is provided, where appropriate, based on the updated 2018 Appendix G CEQA checklist. As noted, there would be no new potential environmental impacts as the modified project would comply with all requirements and applicable mitigation measures identified in the 2008 adopted ISMND including the following:

- AIR-1: construction-phase air quality measures
- BIO-1: pre-construction nesting surveys and monitoring during construction
- CULT-1: halt ground disturbing activities in the event of an inadvertent discover of cultural resources
- GEO-1: geotechnical design measures
- GEO-2: (implement Mitigation Measure AIR-1), construction-phase air quality measures
- HYD-1: preparation and implementation of a stormwater pollution prevention plan
- HYD-2: preparation and implementation of a stormwater control plan
- HYD-3: install an oil-water separator
- HYD-4: drainage plans that will not create potential hydromodification impacts downstream
- NOISE-1: limit construction activities that generate noise levels above 60 dB Community Noise Equivalent Level
- TRAN-1: lengthen eastbound turn lane

Consistent with the approved project, impacts associated with the modified project would be within the scope of the analysis of the 2008 adopted ISMND and would be less than significant.

5.1.1 Aesthetics

The 2008 adopted ISMND did not identify any scenic resources that would be impacted by the approved project. The City's General Plan contains policies designed to protect scenic vistas from adverse impacts. Important scenic resources within the City such as the Mt. Diablo ridgeline and the San Joaquin River, are not visible from the site. The modified project would not result in the degradation of the existing visual character of the site and its surroundings and may enhance the visual character of the area 1) by eliminating a vacant parcel in an urban area and 2) through enhanced landscaping. The site is not considered a scenic resource and the modified project would be within the scope of the impacts identified in the 2008 adopted ISMND and impacts to aesthetics would be less than significant.



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5.1.2 Agriculture and Forestry Resources

The project site was not originally identified to contain important farmland, pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency; Williamson Act lands; timberland; or forestland. The modified project is not located on important farmland pursuant to the Farmland Mapping and Monitoring Program (DOC 2020). The site is situated in an urban setting and is not currently used as farmland. Therefore, the modified project would be within the scope of the impacts identified in the 2008 adopted ISMND, and there would be no impacts to agriculture or forestry resources.

5.1.3 Air Quality

With respect to air quality impacts resulting from the modified project, construction and operation of the modified project would not exceed any quantitative impacts. The 2008 ISMND used the Bay Area Air Quality Management District's (BAAQMD's) 1999 Air Quality Guidelines, but the City of Antioch has chosen to use the 2017 California Environmental Quality Act Air Quality Guidelines for screening and analysis purposes for air quality impacts. Pursuant to the 2017 Air Quality Guidelines, if a project does not exceed the thresholds contained in the 2017 Air Quality Guidelines (BAAQMD 2017), it would result in a less-than-significant impact.

The 1999 BAAQMD Air Quality Guidelines did not have numeric thresholds for construction emissions, but they recommended incorporation of best management practices for the control of fugitive dust. These best management practices were incorporated into the approved project as Mitigation Measure AIR-1. The modified project would also incorporate this mitigation measure. The approved project operational emissions were determined to be less than the BAAQMD 1999 thresholds of significance (i.e., 80 pounds per day of reactive organic gases, nitrogen oxide pollutants, and inhalable particles with diameters that are generally 10 micrometers and smaller) which resulted in a less-than-significant impact. The modified project would not result in operational-related air pollutants or precursors that would exceed the current BAAQMD's thresholds of significance, which are more stringent than the 1999 thresholds, indicating that ongoing modified project operations would not be considered to have the potential to generate a significant quantity of air pollutants (see Attachment 1). The modified project would be within the scope of the impacts identified in the 2008 adopted ISMND, and with implementation of Mitigation Measure AIR-1, impacts to air quality would be less than significant.

5.1.4 Biological Resources

The biological resource that was identified to potentially occur on the project site was burrowing owl (*athene cunicularia*). Recent data inquiries concluded that, burrowing owl is the only special status species that has the potential to occur on the project site (CDFW 2020; USFWS 2020a). However, it is unlikely the site is used by the species for nesting or foraging due to the high impact of human disturbance and marginal habitat quality. The vacant and undeveloped project site has been previously subject to disking and mowing. The site is also surrounded by urban development. The site is not known to contain or provide habitat for candidate, sensitive, or special-status species. Mitigation Measure BIO-1 from the 2008 adopted ISMND would be implemented to reduce potential impacts that the modified project may have on burrowing owl, and impacts would be less than significant. The modified project site



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does not contain any riparian habitat or other sensitive natural community identified in local or regional plans, policies, or regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service (USFWS 2020b). There are no wetlands located within the modified project site (Google Earth 2020; USFWS 2020c). The modified project would be within the scope of the impacts identified in the 2008 adopted ISMND, and with implementation of Mitigation Measure BIO-1, impacts to biological resources would be less than significant.

5.1.5 Cultural Resources

The 2008 adopted ISMND did not identify any cultural resources or human remains that would be impacted by the approved project. No historical or archaeological resources are known to exist at the project site or in the immediate vicinity. During project grading and excavation, there is the possibility that unidentified historical or archaeological resources could be discovered, causing a significant impact. Mitigation Measure CULT-1 from the 2008 ISMND would be implemented, requiring the construction contractor to halt ground disturbing activities in the event of an inadvertent discovery to reduce potential impacts that the modified project may have on historical and archaeological resources, and impacts would be less than significant. The modified project would be within the scope of the impacts identified in the 2008 adopted ISMND, and with implementation of Mitigation Measure CULT-1, impacts to cultural resources would be less than significant.

5.1.6 Energy

The 2008 adopted ISMND did not contain an analysis of energy impacts resulting from the approved project, therefore this is new analysis since approval of the approved project. During construction, vehicles, including worker commuter vehicles and heavy construction equipment, would require the use of gasoline and diesel fuel for power. Construction is anticipated to last approximately seven months. This short duration of equipment usage would not create a wasteful or significant increase in demand for fuel supplies; therefore, impacts to energy resources would be less than significant.

Operation of the modified project would result in the consumption of energy to power equipment and lighting. Pacific Gas and Electric (PG&E) provides electricity and natural gas services to the City of Antioch. The City is located within PG&E's Delta Distribution Planning Area, which covers the eastern portion of Contra Costa County from Bay Point to Discovery Bay. Electricity distribution facilities are located throughout the Distribution Planning Area, with no one set of facilities dedicated to serving the City. On October 31, 2008, PG&E completed construction of a new distribution substation in Antioch, located approximately 4 miles south of East 18th Street and Drive-In Way. The Antioch substation improves the reliability and safety of electric services to southern Antioch. Electricity to the modified project would be provided by PG&E. All electricity infrastructure would be located underground and would tie into existing infrastructure.

It is expected that building energy consumption associated with the modified project would not be any more inefficient, wasteful, or unnecessary than for any other similar buildings in the region. Current state regulatory requirements for new building construction contained in the 2016 California Green Building Standard Code (CALGreen) and Title 24 Building Energy Efficient standards would increase energy



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efficiency and reduce energy demand in comparison to existing commercial structures, and therefore reduce actual environmental effects associated with energy use from the modified project. Additionally, the CALGreen and Title 24 standards have increased efficiency standards through each update. Therefore, while the modified project would result in a small increase in electricity demand, the electricity would be consumed more efficiently and would be typical of this type of development. Compliance with future building code standard would result in increased energy efficiency.

The City's General Plan includes Energy Objective 10.8.1 to reduce the reliance on nonrenewable energy sources in existing and new commercial, industrial, and public structures through implementation of energy resource policies to encourage the use of renewable energy and decrease energy demand. Additionally, General Plan Objective 7.4.1 includes the Non-Motorized Transportation Objective to maintain a safe, convenient, and continuous network of pedestrian sidewalks, pathways, and bicycle facilities to facilitate bicycling and walking as alternatives to the automobile. The City's Climate Action Plan also includes strategies focused on green building, renewable energy, transportation and land use, education, and waste management.

The modified project would not conflict with the energy objectives of the General Plan or the strategies in its Climate Action Plan. The modified project would comply with the versions of California Code of Regulations Titles 20 and 24, including CALGreen, that are applicable at the time that building permits are issued and with all applicable City measures. Impacts on energy from the modified project would be less than significant.

5.1.7 Geology and Soils

The 2008 adopted ISMND indicated that the project site is not situated within an Alquist-Priolo Earthquake Fault Zone, however the project site is subject to ground shaking. Due to its proximity to areas with moderate seismic activity, the modified project would be subject to ground shaking which presents a potential hazard to the structure. A geotechnical study was performed for the approved project, that indicated that the project site is comprised of soils that are cohesive in nature with a very stiff to hard consistency, and the potential for liquefaction at the project site is very low. The project site is nearly level and would not be subject to landslides. The modified project would be subject to Mitigation Measure GEO-1 from the 2008 ISMND, which would require that the project design meet or exceed the California Building Code standard for structural design requirements, thus reducing potential impacts to a less-than-significant level.

Grading and site preparation during construction of the modified project could expose soils and cause an increase in the potential for localized erosion. The City's grading permit would include provisions to reduce erosion during construction. Additionally, implementation of Mitigation Measure GEO-2 from the 2008 ISMND would further reduce erosion, and impacts would be less than significant. The modified project would be within the scope of the impacts identified in the 2008 adopted ISMND, and with implementation of Mitigation Measures GEO-1 and GEO-2, impacts to geology and soils would be less than significant.



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5.1.8 Greenhouse Gas Emissions

GHG emissions would be generated from construction and operation of the modified project; however, GHG emissions would not exceed BAAQMD thresholds for operations. At the time of the preparation of the 2008 ISMND, the CEQA Guidelines had yet to be amended to include the evaluation of GHGs, although the 2008 ISMND acknowledged it was an emerging subject and provided a qualitative discussion of the project's impacts. The 2008 ISMND stated that there are currently no federal, state, air district, or City of Antioch thresholds of significance by which the above project emissions can be determined to be significant or not; and the document did not provide any numeric estimates. Since the preparation of the 2008 ISMND, thresholds for GHG emissions has continued to be in flux with BAAQMD providing its quantitative recommendations in its 2017 Guidance. However, the numeric threshold of 660 metric tons of carbon dioxide equivalent was used to assess operational impacts. The modified project's estimated annual emissions, 245 metric tons of carbon dioxide equivalent, would be below the threshold, and project impacts would be less than significant.

5.1.9 Hazards and Hazardous Materials

The 2008 adopted ISMND indicated that a small amount of commercially available hazardous materials such as oil and paint could be used during project construction but would not be of such quantities to present a threat to human or environmental health. Additionally, operation of the approved project would not increase the use of hazardous materials within and around the project site. The modified project is expected to use the same commercially available construction materials and would not require the use of hazardous materials onsite. There are no known hazardous materials on the site (CSWRCB 2020). One school is located within 0.25 mile of the modified project, Hilltop Christian School (located east of the site on Deer Valley Road). As noted, construction would include the use of small quantities of commercially available hazardous materials. Operation of the modified project would not substantially increase the use of hazardous materials within and around the project site. Small quantities of construction-related materials could be released within 0.25 mile of the school; however, such releases would not create a significant hazard and impacts would be less than significant. The modified project would be within the scope of the impacts identified in the 2008 adopted ISMND and impacts to hazards and hazardous materials would be less than significant.

5.1.10 Hydrology and Water Quality

The 2008 adopted ISMND identified potential water quality issues during construction due to runoff from construction activities and impervious surfaces. The modified project would result in less acres disturbed during construction; however, runoff may still occur. Implementation of Mitigation Measure HYD-1 from the 2008 adopted ISMND requiring the construction contractor to prepare and implement a stormwater pollution prevention plan would reduce impacts resulting from construction-related pollutants to less than significant.

The modified project would result in a decrease of impervious surfaces; the amount of impervious surface would be about 40 percent less than what was expected for the approved project. The modified project would be subject to Mitigation Measure HYD-2 and Mitigation Measure HYD-4 which require compliance



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with provision C.3 of the National Pollutant Discharge Elimination System: through this provision, the modified project will implement a Storm Water Control Plan. The Storm Water Control Plan addresses runoff from impervious surfaces by filtering water through infiltration planters, vegetated swales, and media filtration units. Additionally, discharge water from the modified project could result in excess oil entering the sewer system. Implementation of Mitigation Measure HYD-3, requiring an oil water separator would reduce impacts to water quality. As such, the modified project would not significantly increase impacts to water quality as compared to the approved project, and no new mitigation measures would be required.

The modified project would not require the use of groundwater; thus, the modified project would not decrease supplies or impede sustainable management of the basin. The site is not currently used as a groundwater recharge basin; therefore, the addition of 61,000 square feet (1.4 acres) of impervious area would not interfere with groundwater recharge. There are no enclosed bodies of water in the vicinity of the site that would cause tsunamis or seiches. The modified project site is not located in a flood hazard zone as defined by the Federal Emergency Management Agency, (FEMA 2009) and is not subject to inundation.

The modified project would be within the scope of the impacts identified in the 2008 adopted ISMND, and with implementation of Mitigation Measures HYD-1 through HYD-4, impacts on hydrology and water quality would be less than significant.

5.1.11 Land Use and Planning

Consistent with the approved project, the modified project includes the establishment of a commercial facility on a parcel that has a general plan designation of business park and is zoned planned development within the City (City of Antioch 2020). As such, the modified project would not divide an established community and would be compatible with the City's existing General Plan and zoning designations for the site (City of Antioch 2003). The modified project would be within the scope of the impacts identified in the 2008 adopted ISMND and impacts to land use and planning would be less than significant.

5.1.12 Mineral Resources

The 2008 adopted ISMND did not identify as mineral resources on the project site. The modified project would be situated on the eastern side of the parcel that was previously analyzed for the approved project and was not identified to have any mineral resources on the project site. The modified project would be within the scope of the impacts identified in the 2008 adopted ISMND and there would be no impacts on mineral resources.

5.1.13 Noise

The 2008 adopted ISMND identified construction-related noise impacts resulting from the approved project, however determined that noise levels of project operations would be below established noise standards. Construction and operation of the modified project would generate noise and vibration in the project vicinity similar to the approved project. However, implementation of Mitigation Measure NOI-1



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which requires the contractor to limit construction-related activities that generate noise levels in excess of 60 decibels would reduce potential noise impacts to less-than-significant levels. Operational impacts would remain less than significant without the need for mitigation as the operational noise levels would be similar to those evaluated in the approved project. As such, the modified project would not significantly increase noise impacts as compared to the approved project, and no new mitigation measures would be required. The modified project would be within the scope of the impacts identified in the 2008 adopted ISMND, and with implementation of Mitigation Measure NOI-1, impacts on noise would be less than significant.

5.1.14 Population and Housing

The 2008 adopted ISMND determined that the approved project would not induce substantial population growth. The nature of the modified project would not result in population growth. Laborers would be needed for both construction and operation; however, it is expected that labor would be from local sources and would not induce any population increases in the City. The modified project would be within the scope of the impacts identified in the 2008 adopted ISMND and there would be no impacts on population and housing.

5.1.15 Public Services

The 2008 adopted ISMND determined that the approved project would not result in a significant increased demand for fire or police protection and would not require additional schools or cause an increase in demand for public parks. The modified project includes the construction of a commercial facility. As such, the project does not result in physical impacts associated with new or physically altered governmental facilities. The modified project would be within the scope of the impacts identified in the 2008 adopted ISMND and there would be no impacts on public services.

5.1.16 Recreation

The 2008 adopted ISMND determined that the approved project would not impact recreational facilities, nor require the construction or expansion of existing recreational facilities. The addition of a commercial facility in the City would not result in an increased use of recreational facilities. The site is located adjacent to the Mokelumne Trail; however, the modified project would not result in an increase in users of the walking trail. The modified project does not include the construction of new or expanded recreational facilities. The modified project would be within the scope of the impacts identified in the 2008 adopted ISMND and there would be no impacts on recreation.

5.1.17 Transportation

The 2008 adopted ISMND determined that the approved project would potentially impact traffic within the study area. An increase of peak hour trips was estimated at 58 a.m. peak hour trips and 195 p.m. peak hour trips. The approved project also identified that the expected restriping of existing right turn lanes on Lone Tree Way would improve level of service within the intersections near the project site.



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The modified project would result in a reduction of expected peak hour trips, due to the removal of one commercial facility on the project site. The estimated peak hour trips associated with the modified project would be about 13 a.m. peak hour trips and 38 p.m. peak hour trips. As such, traffic impacts are expected to be minimal and would not conflict with the City of Antioch's existing Transportation and Circulation element of their General Plan.

Contra Costa County's new Transportation Analysis guidelines screening criteria for vehicle miles travelled indicates that if a project includes 10,000 square feet or less of non-residential space, the project should be expected to cause a less than significant impact under CEQA and would not require further vehicle miles travelled analysis (Contra Costa County 2020). The modified project consists of a 6,336 square feet car wash. Since the modified project would consist of non-residential use and is less than 10,000 square feet, it can be presumed to have a less than significant impact.

Additionally, though the modified project would have a small increase in the number of vehicles travelling directly to/from the site, the addition of the modified project would create a new retail opportunity (car wash) for people who may travel to/from another similar site in another part of the City, which would therefore result in a net reduction of vehicle miles travelled within the City to other car washes, and would therefore be less than significant. The modified project would be within the scope of the impacts identified in the 2008 adopted ISMND and transportation impacts would be less than significant.

The 2008 traffic study identified Mitigation Measure TRAN-1, which required the lengthening of the eastbound left turn lane at the intersection of Lone Tree Way and Country Hills Drive to allow space for adequate deceleration and reduce cumulative future projected traffic conditions as identified for the approved project (Abrams Associates 2008). Given impacts from the modified project would be less than significant, Mitigation Measure TRAN-1 is no longer necessary to reduce any potential impacts and will therefore not be implemented as part of the modified project.

5.1.18 Tribal Cultural Resources

Potential impacts to tribal cultural resources was added to the CEQA Appendix G Checklist in July 2015 as a result of the passage and implementation of Assembly Bill (AB) 52; therefore, this topic was not evaluated in the 2008 adopted ISMND. AB 52 is applicable to all CEQA projects for which a Notice of Preparation, Notice of Mitigated Negative Declaration or Notice of Negative Declaration was filed or issued after July 1, 2015. Because the Notice of Intent to Adopt a Mitigated Negative Declaration for the 2008 approved project was filed before July 1, 2015, AB 52 does not apply to the modified project.

5.1.19 Utilities and Service Systems

The 2008 adopted ISMND indicated that the approved project would be served by existing City-owned and -operated water and wastewater treatment systems. These facilities would not require expansion to accommodate the approved project, and the resulting impact would be less than significant on utilities. The modified project would require connection to the existing City-owned and -operated water and wastewater treatment system. Project wastewater would be conveyed to the Delta Diablo Wastewater Treatment Facility. The treatment plant is currently meeting all State and Federal wastewater discharge requirements; therefore, the project would not necessitate the creation of new or the expansion of existing



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facilities to provide service to the project. The City's 2016 Urban Water Management Plan (City of Antioch 2016) states the City will have an adequate water supply during normal years, single dry years, and multiple dry years through 2040 with existing entitlements, and includes short-term water purchases and a voluntary short-term conservation program during periods of drought conditions. Additionally, the modified project would be required to comply with the water conservation requirements codified in Title 6, Chapter 10 of the Municipal Code. Therefore, the modified project would be served by existing entitlements, and no new or expanded entitlements would be needed.

Solid waste disposal capacity would not pose a constraint to the solid waste disposal needs of the modified project. Solid waste collection and disposal in the Antioch areas is provided by Pleasant Hill Bayshore Disposal. Solid waste and recyclables from the City are taken to the Contra Costa Transfer and Recovery Station located in Martinez. Recyclables are separated out and stored at the Transfer and Recovery Station before shipment to recycling markets. Solid waste is transferred from the Transfer and Recovery Station to the Keller Canyon Landfill in Pittsburg. The Keller Canyon Landfill has a permitted capacity of 75,018,280 million cubic yards with a remaining capacity of 63,408,410 million cubic yards, and therefore has adequate capacity to serve the modified project (CalRecycle 2020).

The modified project would be within the scope of the impacts identified in the 2008 adopted ISMND and impacts on utilities would be less than significant.

5.1.20 Wildfire

At the time of preparation of the 2008 adopted ISMND, Wildfire was not assessed as it was not a resource topic in the Appendix G checklist. The project site is nearly level in an urbanized area and would not exacerbate wildfire risks or expose occupants to wildfire pollutants, nor would the modified project impair and adopted emergency response plan or emergency evacuation plan. The modified project would have no impact on wildfire.



6.0 CONCLUSION

Based on the above, as with the approved project, impacts associated with the modified project would remain less than significant as they are within the scope of impacts identified and evaluated in the adopted ISMND. No new or substantially more severe significant effects would occur, and no additional mitigation measures would be required.



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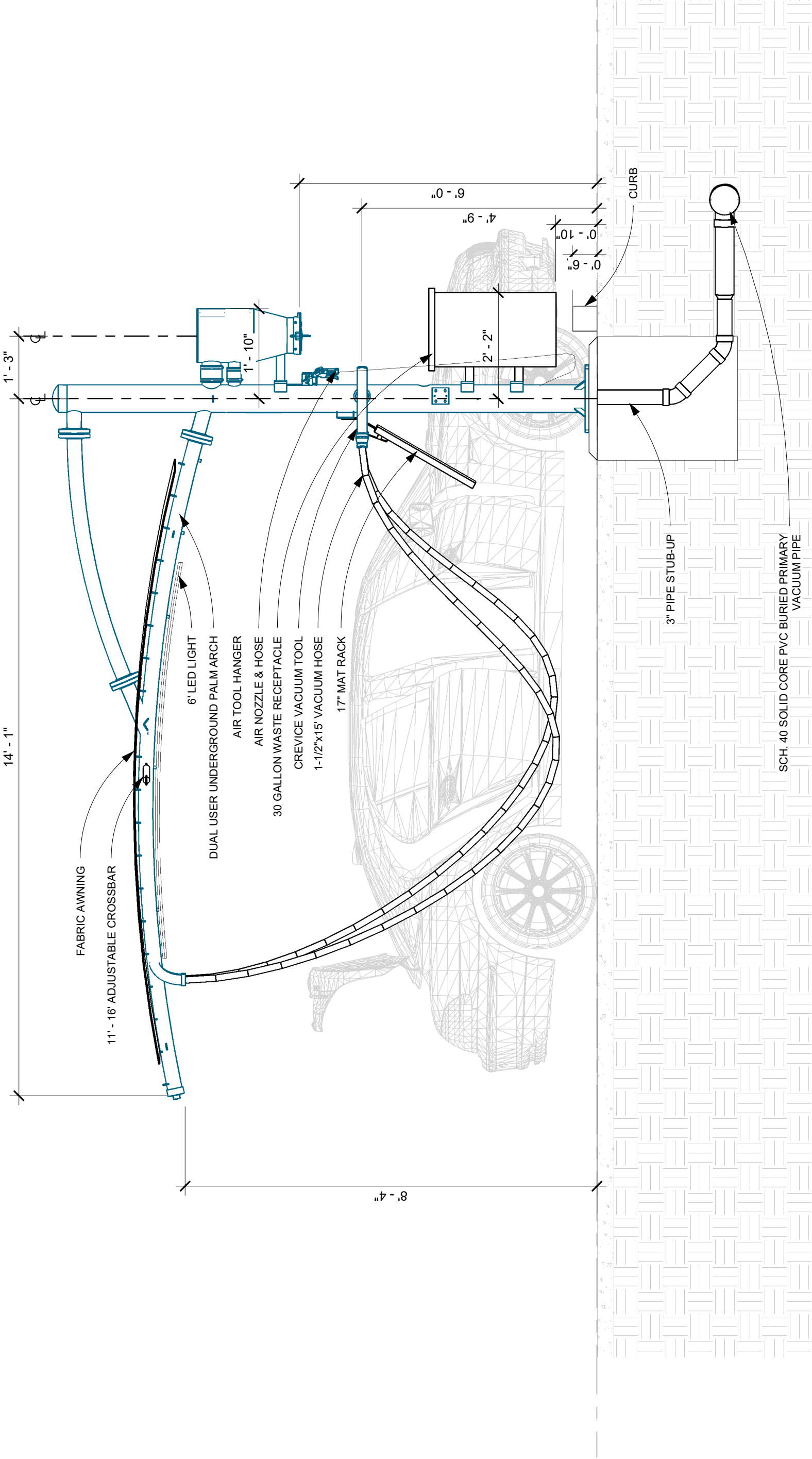
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FIELD VERIFY ALL DIMENSIONS



1 PARKING ELEVATION

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#		Revision	By	Chk	Date
1	REVISED SPACE NUMBERS		KM	TT	10/16/19

PARKING ELEVATION				
Project Number		19-0844		
Date		10/1/09		
Drawn By		KM		
Checked By		MB		

V301