

**ANNOTATED
AGENDA
CITY OF ANTIOCH PLANNING COMMISSION
ANTIOCH COUNCIL CHAMBERS
THIRD & “H” STREETS**

WEDNESDAY, MAY 4, 2016

6:30 P.M.

**NO PUBLIC HEARINGS WILL BEGIN AFTER 10:00 P.M.
UNLESS THERE IS A VOTE OF THE PLANNING COMMISSION
TO HEAR THE MATTER**

APPEAL

All items that can be appealed under 9-5.2509 of the Antioch Municipal Code must be appealed within five (5) working days of the date of the decision. The final appeal date of decisions made at this meeting is 5:00 p.m. on **WEDNESDAY, MAY 11, 2016**.

If you wish to speak, either during “public comments” or during an agenda item, fill out a Speaker Request Form and place in the Speaker Card Tray. This will enable us to call upon you to speak. Each speaker is limited to not more than 3 minutes. During public hearings, each side is entitled to one “main presenter” who may have not more than 10 minutes. These time limits may be modified depending on the number of speakers, number of items on the agenda or circumstances. No one may speak more than once on an agenda item or during “public comments”. Groups who are here regarding an item may identify themselves by raising their hands at the appropriate time to show support for one of their speakers.

ROLL CALL

6:30 P.M.

Commissioners	Motts, Chair (absent)
	Zacharatos, Vice Chair
	Parsons
	Mason
	Hinojosa (absent)
	Husary

PLEDGE OF ALLEGIANCE

PUBLIC COMMENTS

CONSENT CALENDAR

All matters listed under Consent Calendar are considered routine and are recommended for approval by the staff. There will be one motion approving the items listed. There will be no separate discussion of these items unless members of the Commission, staff or the public request specific items to be removed from the Consent Calendar for separate action.

1. **APPROVAL OF MINUTES:** April 20, 2016 **APPROVED**

* * * END OF CONSENT CALENDAR * * *

STAFF REPORT

NEW PUBLIC HEARING

2. **UP-15-13, AR-15-13, V-15-05 – ARCO AM/PM Gas Station/Convenience Store –** PM Design Group, applicant, on behalf of Jagdish Kumar Bhalla, property owner, requests Planning Commission approval of a use permit, design review, and a variance for the demolition of the existing gas station and construction of a new gas station with a 3,769 square-foot convenience store. The variance request would allow the sale of alcoholic beverages within 500' of another alcohol sales outlet, which is ordinarily prohibited by Municipal Code. The project is located at 2610 Contra Loma Boulevard **(APN 076-191-038-9)**.

RESOLUTION NO. 2016-08

ORAL COMMUNICATIONS

STAFF REPORT

WRITTEN COMMUNICATIONS

COMMITTEE REPORTS

ADJOURNMENT (7:08 PM)

Notice of Availability of Reports

This agenda is a summary of the discussion items and actions proposed to be taken by the Planning Commission. For almost every agenda item, materials have been prepared by the City staff for the Planning Commission's consideration. These materials include staff reports which explain in detail the item before the Commission and the reason for the recommendation. The materials may also include resolutions or ordinances which are proposed to be adopted. Other materials, such as maps and diagrams, may also be included. All of these materials are available at the Community Development Department located on the 2nd floor of City Hall, 3rd and H Streets, Antioch, California, 94509, between the hours of 8:00 a.m. and 11:30 a.m. or by appointment only between 1:00 p.m. and 5:00 p.m. Monday through Friday for inspection and copying (for a fee). Copies are also made available at the Antioch Public Library for inspection. Questions on these materials may be directed to the staff member who prepared them, or to the Community Development Department, who will refer you to the appropriate person.

Notice of Opportunity to Address the Planning Commission

The public has the opportunity to address the Planning Commission on each agenda item. You may be requested to complete a yellow Speaker Request form. Comments regarding matters not on this Agenda may be addressed during the "Public Comment" section on the agenda.

Accessibility

The meetings are accessible to those with disabilities. Auxiliary aids will be made available for persons with hearing or vision disabilities upon request in advance at (925) 779-7009 or TDD (925) 779-7081.

**CITY OF ANTIOCH
PLANNING COMMISSION**

**Regular Meeting
6:30 p.m.**

**April 20, 2016
City Council Chambers**

Chair Motts called the meeting to order at 6:32 P.M. on Wednesday, April 20, 2016 in the City Council Chambers. He stated that all items that can be appealed under 9-5.2509 of the Antioch Municipal Code must be appealed within five (5) working days of the date of the decision. The final appeal date of decisions made at this meeting is 5:00 P.M. on Wednesday, April 27, 2016.

ROLL CALL

Present: Commissioners Parsons, Mason, Husary, Zacharatos, and Chair Motts
Absent: Commissioner Hinojosa
Staff: City Attorney, Michael Vigilia
Director of Community Development, Forrest Ebbs
Minutes Clerk, Kitty Eiden

PLEDGE OF ALLEGIANCE

PUBLIC COMMENTS

Fred Hoskins, Antioch resident, expressed concern that the Public Notice for the Draft Chapters of the Downtown Specific Plan had not address a proposal for the use of the Beede Lumber Property.

CONSENT CALENDAR

1. Approval of Minutes: March 16, 2016

On motion by Commissioner Zacharatos, seconded by Commissioner Parsons. the Planning Commission approved the minutes of March 16, 2016, as presented. The motion carried the following vote:

AYES: Parsons, Mason, Husary, Zacharatos, and Motts
NOES: None
ABSTAIN: None
ABSENT: Hinojosa

NEW PUBLIC HEARING

- 2. Downtown Specific Plan** – The City of Antioch will be holding a public hearing to provide a status update and to receive direction regarding the ongoing Downtown Antioch Specific Plan effort. The Downtown Specific Plan is funded by the Strategic Growth Council and the Department of Conservation through a Sustainable Communities Planning Grant Award.

Director of Community Development Ebbs and Project Manager Oshinsky presented the staff report dated April 15, 2016, and a PowerPoint presentation recommending the Planning Commission 1) Review the draft chapters of the Downtown Specific Plan presented with this report; and, 2) Provide staff with input and direction on any desired changes to the Downtown Specific Plan chapters.

The Planning Commission provided the following input and direction on the Downtown Specific Plan:

Vision, Guiding Principles and Context

Vice Chair Zacharatos suggested policy 1.2.5.3 include Somersville Road.

Commissioner Parsons suggested policy 1.2.3.7 focus on the Lone Tree Golf Course. She spoke in support of prioritizing safe bicycle transit and an overpass for the train tracks. She noted parking was insufficient downtown.

Commissioner Mason questioned the viability of improving Waldie Plaza as event space noting there are times when the train suspends events. Speaking to policy 1.2.4.2, he noted market rate housing in Antioch was affordable housing. He suggested adding policies to address free wifi and improved lighting especially in areas with high calls for service.

Vice Chair Zacharatos spoke in support of improving lighting throughout the City. She recommended building up the retail base prior to more housing being developed.

LAND USE

Rivertown Mixed Use Historic District (MU)

Chair Motts suggested utilizing the City owned parking lot and the end of “G” Street for a signature destination such as shops / restaurants located on the trail system.

Commissioner Parsons suggested adding infrastructure as a major issue downtown, specifically the aging sewer system, sidewalks and streets in disrepair.

Commissioner Mason spoke to the importance of expanding upon policy 1.2.5.2 as it pertained to sufficient curb cut outs. He suggested consideration of a program for designating one-way streets and diagonal parking.

Director of Community Development Ebbs stated the Development and Land Use Standards for the Rivertown Mixed Use Historic District (MU) – Retail Major should require a Use Permit and therefore be changed from a “P” to a “U” designation. He noted restaurants that hold a liquor license should require a Use Permit.

Neighborhood Commercial District (C-N)

Chair Motts reported there was a downtown merchant group that was working with the Main Street Alliance based out of Suisun.

Director of Community Development Ebbs stated the goal was to form a partnership with a Downtown Business Association.

Chair Motts declared a recess at 8:02 P.M. The meeting reconvened at 8:08 P.M. with all Commissioners present with the exception of Commissioner Hinojosa who was previously noted as absent.

PUBLIC COMMENT

Rick Fallon, Antioch resident, thanked staff for the presentation and the Commission for their dedication. He stated he was opposed to high density housing in downtown and expressed concern for the under staffed Antioch Police Department. He expressed interest in investing in Antioch and spoke in support of mixed use with retail development on the first floor with residential above.

Chair Motts explained a high density residential project in downtown was not on the agenda this evening. He thanked Mr. Fallon for his input and encouraged him to remain involved.

Neighborhood Preservation District (NP)

Commissioner Parsons requested Prosserville Park spelling be corrected within the document.

Commissioner Mason suggested incorporating a program for community gardens within walking distance of higher density housing.

Chair Motts suggested the lot on Second Street next to the Marina be utilized for mixed use with retail development on the first floor with residential above. He added with the area prone to flooding there may be an opportunity to utilize the area as a wetlands feature.

Commissioner Parsons stated pipelines on the Second Street lot should be considered.

Commissioner Mason expressed concern regarding the legality of applying the residential inspection program to one area of the City.

Commissioner Parsons spoke in support of prioritizing the rental inspection program for the entire City.

Following discussion, the Planning Commission voiced their support for the 33' wide lot development concept and height of 35' and up to 2 stories.

Commercial Regional District (C-R)

Director of Community Development Ebbs stated he would be providing the Planning Commission with an update on the creek improvements.

Waterfront (WF)

Commissioner Parsons expressed concern regarding the parking lot sinking at the Marina. She spoke in support of a residential loft project on Opportunity Site "B".

Chair Motts suggested the Glass Container Office on 4th Street be considered for a coffee shop and Opportunity Site "C" considered for a hotel or convention center.

In response to Commissioner Parsons, City Attorney Vigilia explained there needed to be appraisals by the City and property owner and there would have to be an agreed upon price to exercise eminent domain for the Hickmott Cannery Site.

DOWNTOWN DESIGN GUIDELINES

Chair Motts reported he had been working with Public Works Department on an idea for connecting a trail from Black Diamond Regional Park to the Marina and downtown. He stated he would like Antioch to take the lead on this project with the stakeholders. He spoke in support of improving Waldie Plaza and agreed with Commissioner Mason that it would not fulfill requirements for a large event venue.

Director of Community Development Ebbs commented that there were opportunities to close streets and provide space for larger events downtown.

Commissioner Parson reiterated her concerns for adequate parking downtown.

Director of Community Development Ebbs encouraged the Commission to send him any further comments regarding the Downtown Specific Plan.

Chair Motts thanked staff for all their hard work and spoke in support of the Downtown Design Guidelines as presented.

3. Election of Chair and Vice Chair

Chair Motts stated he had served as Chair for approximately 6-months and he would be willing to continue.

On motion by Commissioner Parsons, seconded by Commissioner Husary, the Planning Commission members present unanimously appointed Kerry Motts as Chair and Janet Zacharatos as Vice Chair of the Planning Commission. The motion carried the following vote:

AYES:	<i>Parsons, Mason, Husary, Zacharatos, and Motts</i>
NOES:	<i>None</i>
ABSTAIN:	<i>None</i>
ABSENT:	<i>Hinojosa</i>

ORAL COMMUNICATIONS

Director of Community Development Ebbs introduced City Attorney Vigilia.

City Attorney Vigilia stated his work in the City of Hayward had made him very optimistic for Antioch.

Chair Motts stated they were pleased to have City Attorney Vigilia join City staff.

WRITTEN COMMUNICATIONS

None.

COMMITTEE REPORTS

Chair Motts reported on his attendance at the TRANSPLAN meeting.

ADJOURNMENT

Chair Motts adjourned the Planning Commission at 8:57 P.M. to the next regularly scheduled meeting to be held on May 4, 2016.

Respectfully Submitted,
Kitty Eiden

**STAFF REPORT TO THE PLANNING COMMISSION
FOR CONSIDERATION AT THE MEETING OF MAY 4, 2016**

Prepared by: Forrest Ebbs, Community Development Director



Date: April 27, 2016

Subject: UP-15-13, AR-15-13, V-15-05 – ARCO AM/PM

RECOMMENDATION

It is recommended that the Planning Commission **APPROVE** UP-15-13, AR-15-13, and V-15-05 with the findings and subject to the conditions in the attached resolution.

REQUEST

The applicant, PM Design Group, requests Planning Commission approval of a use permit, design review, and a variance for construction of a new gas station with a 3,769 square-foot convenience store and associated parking lot and landscape improvements. The purpose of the variance is to permit the sale of alcohol within 500' of another alcohol sales outlet. The project is located on a developed parcel at 2610 Contra Loma Boulevard (APN 076-191-015) (Attachment A).

BACKGROUND

The site currently contains an ARCO gas station with a very small convenience store and dual-bay service garage. The existing building contains approximately 1,925 square feet. The proposal includes demolition of the building, canopy, and entire site and construction of an entirely new gas station with a much larger convenience store, new canopy and new circulation. The new building will meet current franchise requirements for design and accessibility.

ENVIRONMENTAL

Under the California Environmental Quality Act (CEQA), the project qualifies for a Categorical Exemption, pursuant to Section 15303, as construction of a small structure with an increase of less than 2,500 square feet.

ANALYSIS

Issue #1: Project Overview

The proposed project includes demolition of the entire site and no existing features will remain. The proposed site will include a new 3,764 square-foot AM/PM convenience store with an attached drive-through car wash tunnel. The building will also house a

Subway restaurant, accessible only from the convenience store. A total of twelve parking spaces will be provided for the convenience store. In addition, the proposal includes construction of a new 5,016 square-foot canopy over nine fuel dispensers arranged in three rows. Additional site details including new landscaping, a trash enclosure, and wooden fencing are also proposed.

The project also includes revised circulation. The convenience store will be located at the northern end of the property and will be oriented to the south. The car wash queue will go behind the building towards the west. The canopy and fuel pumps will be located at the center of the site. Access to the site will be from the existing single driveway on Contra Loma Boulevard and two existing driveways on Buchanan Road.

Issue #2: General Plan, Zoning Consistency, and Land Use

The General Plan designation of the property site is Neighborhood Commercial. The site is zoned C-2 (Neighborhood/Community Commercial), which is intended to accommodate various types of retail and commercial uses. A convenience store and an auto service station both require approval of a use permit.

The surrounding land uses and zoning designations are noted below.

North:	Highway 4 / C-2
South:	Buchanan Road / Office Building / C-2
East:	Contra Loma Blvd / Paint Store / Vacant Lot / C-2
West:	Office Building / C-2

Issue #3: Alcohol Sales

Antioch Municipal Code Section 9-5.3831, Liquor Establishments, states the following:

- (A) No on-sale or off-sale liquor establishments shall be operated within a radius of 500 feet from any other on-sale or off-sale liquor establishments or any school, public park, playground, recreational center, day care center, or other similar use.
- (B) This restriction shall not apply to the following uses:
 - (1) Retail markets having a minimum 10,000 square feet of floor area which devote no more than 5% of such floor area to the sale, display and storage of alcoholic beverages.
 - (2) Restaurants which derive a minimum of 51% of their gross receipts from the sale of meals.
 - (3) Special event functions such as neighborhood or community festivals, provided all necessary city, state and other permits are secured.

The proposed AM/PM convenience store is located approximately 375' from Dave's Liquors at 1008 Fitzuren Road and 475' from 7-Eleven at 2707 Contra Loma Boulevard. Dave's Liquors possesses a Type 21-Off Sale General license, which authorizes the

sale of all manner of alcoholic beverages. 7-Eleven possesses a Type 20-Off-Sale Beer and Wine license, which authorizes only the sale of beer and wine.

The applicant is requesting a variance to the dimensional standard imposed by this requirement. A letter justifying the request and addressing the findings is attached to this report.

Staff has reviewed the applicant's letter and believes that justifiable findings can be made to support a variance. The AM/PM convenience store will be oriented towards the freeway, is separated by two major streets, and the nature of the store is different from the nearby stores. Specifically, the AM/PM convenience store operates as a secondary use to the gas station. It is also governed by strict franchise requirements that limit its sale. Further, the applicant has agreed to conditions limiting the type of alcohol to be sold. There would only be beer and wine sold and no single serve beer or wine-derived products would be sold. Staff has strengthened this commitment by adding additional conditions of approval. The Findings and Conditions of Approval for this Variance are contained in the attached resolution.

Issue #4: Architecture, Design, and Landscaping

The proposed site would demonstrate standard franchise architecture and site design. The building is generally rectangular with tan stucco siding on the body with brown tower elements and an arched entry feature. A flat architectural canopy extends across the main (south) and side (east) elevations and tile details accent the tower elements. The primary storefront is predominantly glass and the side (east) elevation contains additional architectural detailing in the form of a wall trellis on the otherwise unadorned walls.

The proposed canopy is a cream color with three structural columns asymmetrically placed. The columns have minor cornice details near the top and the canopy contains a broad blue dimensional bull-nosed band with central circular sign elements. A continuous illuminated led strip is located in the center of the band.

The landscaping is located primarily along the street frontage on Contra Loma Boulevard and the State Route 4 boundary. The trees are New Bradford Pears along Contra Loma, Arbutus Marina along State Route 4, Sawleaf Zelkova in the parking lot, and Valley Oak and Arbutus Marina at the rear of the building. Each of these are appropriate trees for their function and location.

Between the trees on Contra Loma Boulevard, there will be additional low-water usage plants including Rosemary, Juniper, and Blue Oat Grass. The areas around the corner and monument sign would have Drift Rose. Additional similar planting would be placed between the trash enclosure and street and along the western perimeter fence. The landscaping is similarly appropriate for location and is consistent with regulations pertaining to low-water usage. Notably, the landscape areas will also be used for infiltration of storm water, as required by law.

Staff believes that the design of the building and site are appropriate for the location and believes them to certainly be an improvement to the site from its current condition.

Issue #5: Signs

The proposal includes new signs on the building, a new monument sign on Buchanan Road, and a new pole sign adjacent to the State Route 4 boundary. The wall signs are all appropriately scaled and conform to the City's sign regulations. Although they will be internally-illuminated, none of the signs are oriented so as to be visible from residential zones or uses.

The proposed pole sign, however, conflicts with Section 5.4.13.g of the Community Image and Design Element of the General Plan, which states "Pole Signs are not to be permitted. Signs are to be designed to reflect the general low-rise character of the City. Low monument-type signs are appropriate for identifying freestanding commercial uses, shopping centers, and business/office complexes...."

Because of this conflict, staff cannot recommend approval of the sign and a variance is only sufficient to resolve inconsistency with the Zoning Ordinance – it cannot address General Plan inconsistency. The Planning Commission should be advised that the site previously contained a pole sign that was removed by Caltrans as part of the widening of State Route 4. The Zoning Ordinance does not offer any special status for the removed sign that would enable it to be re-erected at this time.

Issue #6 Use Permit

Both a convenience store and the auto service station uses require a Use Permit. Staff recommends approval of a single Use Permit for both elements since the two uses are integrated as proposed. That said, staff has included a series of operational conditions that would apply to the project. These conditions are intended to address the potential for off-site impact that compels the need for a Use Permit.

ATTACHMENTS

- A: Vicinity Map
- B: Justification Letter from Applicant, dated April 7, 2016
- C: Proposed Plans, dated January 5, 2016

**CITY OF ANTIOCH PLANNING COMMISSION
RESOLUTION NO. 2016-****

**RESOLUTION OF THE CITY OF ANTIOCH PLANNING COMMISSION APPROVING
A USE PERMIT, VARIANCE, AND DESIGN REVIEW FOR ARCO AM/PM AUTO
SERVICE STATION AND CONVENIENCE STORE (UP-15-13, AR-15-13, V-15-05)**

WHEREAS, the City of Antioch received a request from PM Design Group for approval of a use permit, design review, and a variance for construction of a new, gas station with an approximately 3,764 square-foot convenience store containing a retail sales area, a fast food restaurant, and an attached drive-through car wash. The project is located on the site of an existing gas station at 2610 Contra Loma Boulevard (APN 076-191-015); and

WHEREAS, the proposed development is a “project” as defined by the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et seq.; and

WHEREAS, the project is categorically exempt under CEQA Guideline 15303, as construction of a small structure with an increase of floor area of no more than 2,500 square feet; and

WHEREAS, the Planning Commission duly gave notice of public hearing as required by law; and

WHEREAS, the Planning Commission on March 16, 2016, duly held a public hearing and received and considered evidence, both oral and documentary; and

WHEREAS, the Planning Commission does determine:

1. The granting of such Use Permit will not be detrimental to the public health or welfare or injurious to the property or improvements in such zone or vicinity.

The proposed gas station use has been established at this site has not proven to be detrimental to the public health or otherwise injurious to the property or improvements in the C-2 zone or vicinity. The site is adjacent to State Route 4 and is accessible from major public streets. The continued use of the site for an auto service station will not further impact the community.

The proposed convenience store, as conditioned, will offer convenience retail merchandise, primarily to gas-purchasing patrons. The site is adequate in size to accommodate the ordinary traffic associated with a convenience store and conditions have been put in place to minimize or eliminate any potential off-site impacts.

2. The use applied at the location indicated is properly one for which a Use Permit is authorized.

The site is zoned C-2 (Community/Neighborhood Commercial), which allows convenience stores and auto service stations with a Use Permit.

3. The site for the proposed use is adequate in size and shape to accommodate such use, and all parking, and other features required, to other uses in the shopping center.

The project site contains 1.1 acres and the project has been designed to accommodate ordinary vehicle traffic, as well as occasional fuel delivery trucks. Further, the queue for the car wash is capable of containing ordinary stacking of vehicles. The project has been designed to current standards . The project will provide twelve parking spaces in addition to the nine parking spaces contained within the canopy, for a total of 21 parking spaces. The required parking for this land use is 19 parking spaces.

4. That the site abuts streets and highways adequate in width and pavement type to carry the kind of traffic generated by the proposed use.

The project site is located on Contra Loma Boulevard, near its intersection with State Route 4. It will be replacing a similar land use and is not anticipated to generate significantly new traffic.

5. The granting of such Use Permit will not adversely affect the comprehensive General Plan.

The Use Permit, as conditioned, will be consistent with the General Plan because it supports the continued use of the site for commercial purposes. Both the auto service station and convenience store are permissible within the Neighborhood Commercial land use designation described in the General Plan.

Findings for Variance

6. That there are exceptional or extraordinary circumstances or conditions applicable to the property involved, or to the intended use of the property, that do not apply generally to the property or class of use in the same zone or vicinity;

The project site is located directly adjacent to State Route 4 and immediately adjacent to the eastbound off-ramp. It similarly is not adjacent to any residential uses. This unique adjacency to the freeway, along with its primary sales of gasoline, will allow the store to operate as a service to the traveler, rather than the neighborhood resident. This location is unique to this property.

7. That the granting of such variance will not be materially detrimental to the public health or welfare or injurious to the property or improvements in such zone or vicinity;

The granting of this variance would allow the sales of alcohol as an ancillary use to the sales of gasoline, fast food, and other convenience retail services . The project, as conditioned, would ensure that the sales of alcohol does not become a more prominent element of the business, but that it would remain a convenience to patrons already in the store for other business. With these conditions in place, along with the corresponding revocable Use Permit, the granting of the variance will not be materially detrimental to the public health or welfare or be injurious to the property or improvements in the zone or vicinity. In addition, the large intersection of Contra Loma Boulevard and Buchanan Road physically separates the subject property from the other alcohol sales uses.

8. That because of special circumstances applicable to the subject property, including size, shape, topography, location, or surroundings, the strict application of the zoning provisions is found to deprive the subject property of privileges enjoyed by other properties in the vicinity under the identical zone classifications; and

The two alcohol sales outlets that are within 500' of the project are located across Contra Loma Boulevard, a major thoroughfare, and Buchanan Road. Their location is beyond the control of the property owner and their settings and characteristics are markedly different. Dave's Liquors is a traditional liquor store located in a shopping center alongside a restaurant and other commercial uses and across from residential apartments. It sells a full array of alcoholic beverages and is not visible from the project site, despite its proximity. The 7-Eleven is located across two major streets and within a commercial shopping center, which abuts a residential neighborhood. The context and setting of these two other alcohol sales outlets is entirely different and restrictions on alcohol sales are reasonable. The 500' separation requirement would deprive the subject property of privileges that are enjoyed by these two other properties in the vicinity, which are both located within the same C-2 Zoning District. More so, the project site is not located adjacent to or across from a residential use, as is the case of the other two sites.

9. That the granting of such variance will not adversely affect the comprehensive General Plan.

The redevelopment of this site into a modern, attractive gas station with additional complementary uses is wholly consistent with the General Plan's desires for new commercial development, good design, and investment in

existing neighborhoods. The granting of this variance will not affect the General Plan.

NOW THEREFORE BE IT RESOLVED, the Planning Commission of the City of Antioch does hereby APPROVE UP-15-13, AR 15-13 and V-15-05, to allow the construction of an auto service station with a convenience store with alcohol sales, subject to the following conditions.

A. GENERAL CONDITIONS

1. The applicant shall defend, indemnify, and hold harmless the City in any action brought by a third party to challenge the land use entitlement. In addition, if there is any referendum or other election action to contest or overturn these approvals, the applicant shall either withdraw the application or pay all City costs for such an election.
2. The project shall be implemented as indicated on the application form and accompanying materials provided to the City and in compliance with the Antioch Municipal Code, or as amended by the Planning Commission.
3. No building permit will be issued unless the plan conforms to the site plan as approved by the Planning Commission and the standards of the City.
4. This approval expires two years from the date of approval (expires May 4, 2018), unless a building permit has been issued and construction has diligently commenced thereon and has not expired, or an extension has been approved by the Zoning Administrator. Requests for extensions must be received in writing with the appropriate fees prior to the expiration of this approval. No more than one one-year extension shall be granted.
5. No permits or approvals, whether discretionary or mandatory, shall be considered if the applicant is not current on fees, reimbursement payments, and any other payments that are due.
6. All required easements or rights-of-way shall be obtained by the applicant at no cost to the City of Antioch. Advance permission shall be obtained from any property or easement holders for any work done within such property or easements.

B. CONSTRUCTION CONDITIONS

1. The use of construction equipment shall be restricted to weekdays between the hours of 8:00 a.m. and 5:00 p.m., or as approved in writing by the City Manager.

2. The project shall be in compliance with and supply all the necessary documentation for AMC 6-3.2: Construction and Demolition Debris Recycling.
3. Building permits shall be secured for all proposed construction associated with this facility, including any interior improvements not expressly evident on the plans submitted.

C. FIRE REQUIREMENTS

1. All requirements of the Contra Costa County Fire Protection District shall be met:
 - a. The developer shall submit three (3) complete sets of plans and specifications of the subject project, including plans for any of the following required submittals, to the Fire District for review and approval prior to construction to ensure compliance with minimum requirements related to fire and life safety. The required re-submittals shall include tenant improvement plans, fire sprinklers, and fire alarm (105.4.1) CFC, (901.2) CFC, (107) CBC.
 - b. Plan review and inspection fees shall be submitted at the time of plan review submittal. Checks may be made payable to "CCCFPD" (Contra Costa County Fire Protection District).

D. FEES

1. The applicant shall pay all fees as required by the City Council.
2. The applicant shall pay the Regional Traffic Impact Fee as well as all other applicable fees, including any future increase in the Regional Traffic Impact Fee.
3. The applicant shall pay the Contra Costa County Fire Protection District Fire Development Fee in place at the time of building permit issuance.
4. The applicant shall pay any required Drainage Area fees prior to the issuance of any building permits for this project.
5. The developer shall pay all applicable Delta Diablo Sanitation District fees prior to the issuance of any building permits for this project.

E. PROPERTY MAINTENANCE

1. A parking lot sweeping program shall be implemented that, at a minimum, provides for sweeping immediately prior to, and once during, the storm season.

2. The project shall comply with Property Maintenance Ordinance Section 5-1.204. No final landscape and irrigation plan shall be considered to be complete without an approved maintenance agreement reflective of standards contained in Section 5-1.204(G).
3. The site shall be kept clean of all debris (boxes, junk, garbage, etc.) at all times.
4. No signs shall be installed on this site without prior City approval.

F. GRADING

1. The grading operation shall take place at a time, and in a manner, so as not to allow erosion and sedimentation. Erosion measures shall be implemented during all construction phases in accordance with an approved erosion and sedimentation control plan.
2. The grading plan for this development shall be approved by the City Engineer.
3. The final grading plan for this development shall be signed by a California licensed civil engineer and approved by the City Engineer.
4. All elevations shown on the improvement plans shall be on the USGS 1929 sea level datum.

G. CONSERVATION/NPDES

1. The project shall comply with all Federal, State, and City regulations for the National Pollution Discharge Elimination System (NPDES) (AMC§6-9). Under NPDES regulations, the project is subject to provision C.3: New development and redevelopment regulations for storm water treatment. Provision C.3 requires that the project include storm water treatment and source control measures, as well run-off flow controls, so that post-project runoff does not exceed estimated pre-project runoff. C.3 regulations require the submittal of a Storm Water Control Plan (SWCP) that demonstrates how compliance will be achieved. The SWCP shall be submitted simultaneously with the project plans. An Operation and Maintenance Plan (O&M) for the treatment and flow-controls in the approved SWCP shall be submitted and approved before the Building Department will issue Certificate of Occupancy permits and shall be included in the project CC&Rs. Prior to building permit final and issuance of a Certificate of Occupancy, the applicant shall execute any agreements identified in the Storm Water Control Plan that pertain to the transfer of ownership and/or long-term maintenance of storm water treatment or hydrograph modification BMPs.

2. The following requirements of the federally mandated NPDES program (National Pollutant DISCHARGE Elimination System) shall be complied with as appropriate, or as required by the City Engineer:
 - a. Prior to issuance of permits for building, site improvements, or landscaping, the applicant shall submit a permit application consistent with the applicant's approved Storm Water Control Plan, and include drawings and specifications necessary for construction of site design features, measures to limit directly connected impervious area, pervious pavements, self-retaining areas, treatment BMPs, permanent source control BMPs, and other features that control storm water flow and potential storm water pollutants.
 - b. The Storm Water Control Plan shall be certified by a registered civil engineer, and by a registered architect or landscape architect as applicable. Professionals certifying the Storm Water Control Plan shall be registered in the State of California and submit verification of training, on design of treatment measures for water quality, not more than three years prior to the signature date by an organization with storm water treatment measure design expertise (e.g., a university, American Society of Civil Engineers, American Society of Landscape Architects, American Public Works Association, or the California Water Environment Association), and verify understanding of groundwater protection principles applicable to the project site (see Provision C.3.i of Regional Water Quality Control Board Order R2 2003 0022).
 - c. Prior to building permit final and issuance of a Certificate of Occupancy, the applicant shall submit, for review and approval by the City, a final Storm Water BMP Operation and Maintenance Plan in accordance with City of Antioch guidelines. This O&M plan shall incorporate City comments on the draft O&M plan and any revisions resulting from changes made during construction. The O&M plan shall be incorporated into the CC&Rs for the Project.
 - d. Prior to building permit final and issuance of a Certificate of Occupancy, the applicant shall execute and record any agreements identified in the Storm Water Control Plan which pertain to the transfer of ownership and/or long-term maintenance of storm water treatment or hydrograph modification BMPs.
 - e. Prevent site drainage from draining across sidewalks and driveways in a concentrated manner.
 - f. Collect and convey all storm water entering, and/or originating from, the site to an adequate downstream drainage facility. Submit hydrologic and hydraulic calculations with the Improvement Plans to Engineering Services for review and approval.

- g. Prior to issuance of the grading permit, submit proof of filing of a Notice of Intent (NOI) by providing the unique Waste Discharge Identification Number (WDID#) issued from the Regional Water Quality Control Board.
- h. Submit a copy of the Storm Water Pollution Prevention Plan (SWPPP) for review to the Engineering Department prior to issuance of a building and/or grading permit. The general contractor and all subcontractors and suppliers of materials and equipment shall implement these BMP's. Construction site cleanup and control of construction debris shall also be addressed in this program. Failure to comply with the approved construction BMP may result in the issuance of correction notices, citations, or a project stop work order.
- i. Install appropriate clean water devices at all private storm drain locations immediately prior to entering the public storm drain system. Implement Best Management Practices (BMP's) at all times.
- j. Install on all catch basins "No Dumping, Drains to River" decal buttons.
- k. If sidewalks are pressure washed, debris shall be trapped and collected to prevent entry into the storm drain system. No cleaning agent may be discharged into the storm drain. If any cleaning agent or degreaser is used, wash water shall be collected and discharged to the sanitary sewer, subject to the approval of the sanitary sewer District.
- l. Include erosion control/storm water quality measures in the final grading plan that specifically address measures to prevent soil, dirt, and debris from entering the storm drain system. Such measures may include, but are not limited to, hydro seeding, gravel bags and siltation fences and are subject to review and approval of the City Engineer. If no grading plan is required, necessary erosion control/storm water quality measures shall be shown on the site plan submitted for an on-site permit, subject to review and approval of the City Engineer. The applicant shall be responsible for ensuring that all contractors and subcontractors are aware of and implement such measures.
- m. Sweep or vacuum the parking lot(s) a minimum of once a month and prevent the accumulation of litter and debris on the site. Corners and hard to reach areas shall be swept manually.
- n. Ensure that the area surrounding the project such as the streets stay free and clear of construction debris such as silt, dirt, dust, and tracked mud coming in from or in any way related to project construction. Areas that are exposed for extended periods shall be watered regularly to reduce wind erosion. Paved areas and access roads shall be swept on a regular basis. All trucks shall be covered.

- o. Clean all on-site storm drain facilities a minimum of twice a year, once immediately prior to October 15 and once in January. Additional cleaning may be required if found necessary by City Inspectors and/or City Engineer.

H. UTILITIES

1. All existing and proposed utilities shall be undergrounded (e.g. transformers and PMH boxes) and subsurface in accordance with the Antioch Municipal Code, except existing P.G. & E. towers, if any or as approved by the City Engineer.
2. Underground utilities shall be designed to flow approximately parallel to the centerline of the street, or as approved by the City Engineer.
3. All curbs, gutters, driveway aprons, and sidewalks adjacent to the site shall be replaced to City standard in their entirety concurrent with the project. All curbs, gutters and sidewalks shall be constructed of Portland cement concrete.
4. The sewer collection system shall be constructed to function as a gravity system.
5. If necessary, a public utilities easement that encompasses public utilities shall be provided as directed by the City Engineer.
6. All ground mounted utility appurtenances such as transformers, AC condensers, backflow devices, etc., shall be located out of public view and adequately screened in such a manner as to minimize the visual and acoustical impact. Screening may include a combination of landscaping and/or masonry to the satisfaction of the Community Development Department. All gas and electrical meters shall be concealed and/or painted to match the building
7. The applicant shall prepare a final site plan and elevations of all on-site mechanical equipment (including HVAC condensers, transformers, switch boxes, backflow devices, PG&E transformers, etc.) and specifics of how such equipment shall be screened from public view. This plan, with an approval stamp from the City of Antioch shall be submitted to the utility provider for review. Any necessary changes or deviations from the approved utility location and/or screening shall be reviewed by the Community Development Department prior to installation and may be subject to discretionary Design Review processing and fees.
8. Improvements and fees that are required by the Contra Costa County Flood Control District shall be implemented, as approved by the City Engineer.

9. The developer shall provide adequate water pressure and volume to serve this development, as approved by the City Engineer. This will include a minimum residual pressure of 20 psi with all losses included at the highest point of water service and a minimum static pressure of 50 psi.

I. LANDSCAPING

1. Landscaping and signage shall not create a sight distance problem.
2. Detailed landscaping and irrigation plans for the entire site shall be submitted to the City for review and approval. All landscaping and irrigation shall be installed in accordance with approved plans prior to the issuance of certificates of occupancy for this building.
3. Landscaping for the project shall be designed to comply with the applicable requirements of the 2015 California State Model Water Efficient Landscape Ordinance (MWELO). Prior to issuance of a building permit, the applicant shall demonstrate compliance with the applicable requirements of the MWELO in the landscape and irrigation plans submitted to the City.

J. PROJECT-SPECIFIC CONDITIONS

1. The approval applies specifically to the architectural plans submitted to the Community Development Department and dated January 5, 2016. Any forthcoming plans submitted for any purpose shall be entirely consistent with these received plans and any minor modifications require the approval of the Zoning Administrator. Issuance of a Building Permit, Grading Permit or other permit does not negate or supersede this requirement.
2. The following conditions shall apply to the sale of alcohol at this site:
 - a. Only beer and wine may be sold.
 - b. Containers of beer may only be sold in packages of six or fewer.
 - c. Malt liquor shall not be sold.
 - d. The total sales area dedicated to the sale of alcoholic beverages shall be restricted as follows:
 - i. No more than 12 linear feet of refrigerated cooler display; and
 - ii. No more than 60 square feet of convenience store floor area.
 - e. Wine shall only be sold in units of 750 ml or greater.

- f. Fortified wines shall not be sold.
3. Signs shall be further restricted as follows:
 - a. The 25'-0" ID Sign (Pole Sign) is not approved and may not be installed.
 - b. Permanent signs may only be installed as demonstrated on the approved plans, and as conditioned herein.
 - c. Temporary signs, displays, inflatable devices, or similar attractions may not be installed on the site, except within the approved POP signage frames shown on the approved plans or within the windows as described below.
 - d. No more than 50% of the total window area may be covered with graphic lettering, signage, or other devices that may obscure vision into the building.
4. The Building Permit applicant shall comply with all Garbage, Recycling, and Organics disposal and collection storage requirements at the time of Building Permit Issuance, or as directed by the Community Development Director, and shall modify the trash enclosure to contain adequate space for all collection devices as directed.
5. The operator shall store all cardboard and other refuse entirely within the enclosure or within the store.
6. Any public utility easements that need to be modified shall be processed at no cost to the City.
7. Backflows shall be provided on domestic and fire water services per City Standards.
8. All asphalt pavement shall have a minimum slope of 2 per cent and concrete shall have a minimum slope of 0.75 per cent as directed by the City Engineer.
9. The parking lot striping shall be City standard double striping.
10. No more than 10 percent of parking spaces shall be compact per AMC §9-5.1711.
11. An encroachment permit shall be obtained for connection to any public utilities and the installation of backflows.

* * * * *

RESOLUTION NO. 2016-**

May 4, 2016

Page 12

I HEREBY CERTIFY that the foregoing resolution was passed and adopted by the Planning Commission of the City of Antioch at a regular meeting thereof held on the 4th day of May, 2016.

AYES:

NOES:

ABSTAIN:

ABSENT:

FORREST EBBS, SECRETARY TO THE
PLANNING COMMISSION

ATTACHMENT “A”

ATTACHMENT "A"



ATTACHMENT “B”

REUBEN, JUNIUS & ROSE, LLP

April 7, 2016

By Email (febbs@ci.antioch.ca.us)

Forrest Ebbs
Community Development Director
City of Antioch Community Development Department
P.O. Box 5007
Third & H Streets
Antioch, CA 94531

Re: 2610 Contra Loma Boulevard – Variance for Liquor Sales
Our File No.: 10262.01

Dear Forrest:

I represent Bhalla Services Inc. (“Bhalla”), owner of 2610 Contra Loma Boulevard, which seeks a variance from the 500 foot separation requirements of Section 9-5.3831 of the Antioch Planning and Zoning Code. While we propose liquor sales within 500 feet of another establishment with liquor sales, the quality of the proposed operation, which will take all necessary steps to avoid negative impact of such sales, justifies a variance from the Code.

A. Project Background

The Project proposes to rebuild the ARCO Station at the Site, to include an attractive and modern facility with gas, a car wash and a large AM/PM with a Subway. The new facility will offer a variety of goods, including snacks and sandwiches. Plans are attached as **Exhibit A**.

Bhalla also seeks to sell beer and wine at the facility. Such sales will be strictly limited. There will be no sale of hard alcohol, malt liquor or fortified wines. There will also be no sales of single beverages. It is estimated that beer and wine will be no more than 10% of store stock sales. The attached Plans show that the shelf space is very limited for beer and wine, with the majority of stock made up of candy, chips, meat and other snacks. Bhalla will strictly enforce rules against drinking and loitering at the Site. This will not be a facility where people will congregate and drink. Instead, motorists will fill up, have their cars washed, grab some snacks and purchase a six-pack or bottle of wine to take home with them.

Under Antioch Planning and Zoning Code Section 5.3831, no on-sale or off-sale liquor establishments shall be operated within a radius of 500 feet from any other on-sale or off-sale

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Community Development Director
City of Antioch Community Development Department
April 7, 2016
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liquor establishments, measured door to door. There are currently two establishments with liquor licenses within 500 feet of the station, 7-Eleven and Dave's Liquors, which are both across Contra Loma Boulevard. Therefore, Bhalla seeks a variance from the separation requirement of the Code.

B. Variance Findings

The required Variance findings are met as follows:

- 1. There are exceptional or extraordinary circumstances or conditions applicable to the property involved, or to the intended use of the property, that do not apply generally to the property or class of use in the same zone or vicinity.**

There are exceptional and extraordinary circumstances here because Bhalla proposes beer and wine sales at an establishment that provides primarily other goods. This is not a liquor store or similar establishment that provides a high percentage of liquor sales and attracts customers looking solely for alcohol sales. Instead, the majority of the patrons will buy gas and other products. The liquor license will present the convenience of also being able to purchase a six-pack of beer or a bottle of wine along with gas and snacks, to be consumed at home.

- 2. The granting of such variance will not be materially detrimental to the public health or welfare or injurious to the property or improvements in such zone or vicinity.**

AM/PM provides a brand presence that ensures that the facility will be operated in a professional manner, including responsible liquor sales. As discussed above, liquor sales will be limited to beer and wine and will not include sale of single serve alcoholic beverage that would be likely to be consumed near the premises. Absolutely no alcohol will be consumed on site. Beer and wine sales will provide a convenience to customers who will be able to buy gas, snacks, subway sandwiches, and also buy wine or beer to take with them and consume elsewhere. The location is highly accessible from the highway, but is isolated by various roadways from other commercial areas. Because of this, and because the primary product is gas, most customers will travel to the Site by car and will be traveling a distance after stopping. Therefore, the sale will not be materially detrimental to the public health or welfare or injurious to the property or improvements in the area.

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City of Antioch Community Development Department
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Page 3

3. **Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the zoning provisions is found to deprive the subject property of privileges enjoyed by other properties in the vicinity under the identical zone classifications.**

The Site happens to be within 500 feet of other establishments that sell liquor. However, it is isolated from the other sites by Contra Loma Boulevard. In addition, patrons will not generally be traveling on foot between the locations. Therefore, the intent of the Code to prevent a concentration of liquor uses is not met by denying a liquor license, while at the same time it would deprive Bhalla of a privilege enjoyed by properties that do not happen to be within 500 feet of another establishment with liquor sales.

4. **The granting of such variance will not adversely affect the comprehensive General Plan.**

The Project is consistent with the Antioch General Plan, including the Land Use Element, Community Image and Design Element and Economic Development Element

1. Land Use Element

The Land Use Element focuses on the balance of growth in the community with the facilities necessary to support that growth. The new gas station, car wash and AM/PM will be able to support the greater number of drivers that come with increased residential growth. In addition, the proposed expanded facility will provide increased employment opportunities, while minimizing conflicts between land uses, which is consistent with Section 4.2 of the Land Use Element. The Project is consistent with the goal to "establish a land use mix which serves to develop Antioch into a balanced community in which people can live work, shop and have recreation without needing to leave the City." It will provide an attractive, convenient asset to the community, where both residents and those passing through can fill up the tank, get a car wash, and pick up snacks and wine or beer to take home with them.

2. Community Image and Design Element

The Community Image and Design Element addresses the visual quality and character of the built environment. Here, the overall project will add to the visual quality of the City, providing a new attractive facility and landscaping. In addition, the landscaping, which will be water efficient and designed as an

Forrest Ebbs
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City of Antioch Community Development Department
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integral part of the overall site plan, complies with Section 5.4.15 of the Community Image and Design Element.

3. Economic Development Element

The Project meets the goal of the Economic Development Element of contributing to a healthy and vibrant local economy. It will meet the goal of "maximizing local economic opportunities for businesses and individuals" as set forth in Section 6.1 by allowing expansion and modernization of a local business, while also providing an increased tax base and additional jobs. Granting the variance is compatible with the existing economic development incentives set forth in Section 6.1.5 and the goal of providing a positive business climate as set forth in Section 6.3.2.

C. Conclusion

Granting a variance for liquor sales will allow Bhalla to develop a new facility that will be an asset to the community. It will provide an attractive, landscaped facility that will conveniently offer gas, car wash, snacks, sandwiches and beer and wine for drivers passing through the area or heading home. At the same time, the stringent restrictions on liquor sales will insure that none of the negative impacts sometimes associated with liquor sales will result from the Project.

Please let me know if you have any questions. I appreciate your consideration, and look forward to presenting the Project for hearing.

Very truly yours,

REUBEN, JUNIUS & ROSE, LLP



Jody Knight

Enclosures

cc: Jeff Orwig, Bhalla Services, Inc.

EXHIBIT A

B5

ARCO PROJECT
2610 CONTRA LOMA BLVD.
ANTIOCH, CA 94509

SHEET INDEX

- COR COVER SHEET
1 OF 1 TOPGRAPHIC AND BOUNDARY SURVEY
2 PROPOSED SITE PLAN
3 PROPOSED FLOOR PLAN
4 PROPOSED EXISTING ELEVATIONS
5 PROPOSED EXISTING ELEVATIONS
6 PROPOSED EXISTING ELEVATIONS
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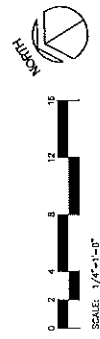
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ABBREVIATIONS

AB	ASBESTOS	AB	ASBESTOS	AB	ASBESTOS
AC	ACRYLIC	AC	ACRYLIC	AC	ACRYLIC
AD	ADHESIVE	AD	ADHESIVE	AD	ADHESIVE
AE	ALUMINUM	AE	ALUMINUM	AE	ALUMINUM
AF	ALUMINUM FINISH	AF	ALUMINUM FINISH	AF	ALUMINUM FINISH
AG	ALUMINUM GLASS	AG	ALUMINUM GLASS	AG	ALUMINUM GLASS
AH	ALUMINUM HANGING	AH	ALUMINUM HANGING	AH	ALUMINUM HANGING
AI	ALUMINUM INSULATION	AI	ALUMINUM INSULATION	AI	ALUMINUM INSULATION
AJ	ALUMINUM JOINT	AJ	ALUMINUM JOINT	AJ	ALUMINUM JOINT
AK	ALUMINUM KITCHEN	AK	ALUMINUM KITCHEN	AK	ALUMINUM KITCHEN
AL	ALUMINUM LAMINATE	AL	ALUMINUM LAMINATE	AL	ALUMINUM LAMINATE
AM	ALUMINUM MANTLE	AM	ALUMINUM MANTLE	AM	ALUMINUM MANTLE
AN	ALUMINUM NAIL	AN	ALUMINUM NAIL	AN	ALUMINUM NAIL
AO	ALUMINUM OIL	AO	ALUMINUM OIL	AO	ALUMINUM OIL
AP	ALUMINUM PANEL	AP	ALUMINUM PANEL	AP	ALUMINUM PANEL
AQ	ALUMINUM QUARTZ	AQ	ALUMINUM QUARTZ	AQ	ALUMINUM QUARTZ
AR	ALUMINUM RAIL	AR	ALUMINUM RAIL	AR	ALUMINUM RAIL
AS	ALUMINUM SILL	AS	ALUMINUM SILL	AS	ALUMINUM SILL
AT	ALUMINUM TIE	AT	ALUMINUM TIE	AT	ALUMINUM TIE
AV	ALUMINUM VALVE	AV	ALUMINUM VALVE	AV	ALUMINUM VALVE
AW	ALUMINUM WALL	AW	ALUMINUM WALL	AW	ALUMINUM WALL
AX	ALUMINUM WINDOW	AX	ALUMINUM WINDOW	AX	ALUMINUM WINDOW
AY	ALUMINUM YARD	AY	ALUMINUM YARD	AY	ALUMINUM YARD
AZ	ALUMINUM ZONE	AZ	ALUMINUM ZONE	AZ	ALUMINUM ZONE
BA	BALCONY	BA	BALCONY	BA	BALCONY
BB	BALCONY BALUSTRADE	BB	BALCONY BALUSTRADE	BB	BALCONY BALUSTRADE
BC	BALCONY CLOSET	BC	BALCONY CLOSET	BC	BALCONY CLOSET
BD	BALCONY DECK	BD	BALCONY DECK	BD	BALCONY DECK
BE	BALCONY ENTRANCE	BE	BALCONY ENTRANCE	BE	BALCONY ENTRANCE
BF	BALCONY FINISH	BF	BALCONY FINISH	BF	BALCONY FINISH
BG	BALCONY GLASS	BG	BALCONY GLASS	BG	BALCONY GLASS
BH	BALCONY HANGING	BH	BALCONY HANGING	BH	BALCONY HANGING
BI	BALCONY INSULATION	BI	BALCONY INSULATION	BI	BALCONY INSULATION
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BK	BALCONY KITCHEN	BK	BALCONY KITCHEN	BK	BALCONY KITCHEN
BL	BALCONY LAMINATE	BL	BALCONY LAMINATE	BL	BALCONY LAMINATE
BM	BALCONY MANTLE	BM	BALCONY MANTLE	BM	BALCONY MANTLE
BN	BALCONY NAIL	BN	BALCONY NAIL	BN	BALCONY NAIL
BO	BALCONY OIL	BO	BALCONY OIL	BO	BALCONY OIL
BP	BALCONY PANEL	BP	BALCONY PANEL	BP	BALCONY PANEL
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BS	BALCONY SILL	BS	BALCONY SILL	BS	BALCONY SILL
BT	BALCONY TIE	BT	BALCONY TIE	BT	BALCONY TIE
BV	BALCONY VALVE	BV	BALCONY VALVE	BV	BALCONY VALVE
BW	BALCONY WALL	BW	BALCONY WALL	BW	BALCONY WALL
BX	BALCONY WINDOW	BX	BALCONY WINDOW	BX	BALCONY WINDOW
BY	BALCONY YARD	BY	BALCONY YARD	BY	BALCONY YARD
BZ	BALCONY ZONE	BZ	BALCONY ZONE	BZ	BALCONY ZONE
CA	CABINET	CA	CABINET	CA	CABINET
CB	CABINET BALUSTRADE	CB	CABINET BALUSTRADE	CB	CABINET BALUSTRADE
CC	CABINET CLOSET	CC	CABINET CLOSET	CC	CABINET CLOSET
CD	CABINET DECK	CD	CABINET DECK	CD	CABINET DECK
CE	CABINET ENTRANCE	CE	CABINET ENTRANCE	CE	CABINET ENTRANCE
CF	CABINET FINISH	CF	CABINET FINISH	CF	CABINET FINISH
CG	CABINET GLASS	CG	CABINET GLASS	CG	CABINET GLASS
CH	CABINET HANGING	CH	CABINET HANGING	CH	CABINET HANGING
CI	CABINET INSULATION	CI	CABINET INSULATION	CI	CABINET INSULATION
CJ	CABINET JOINT	CJ	CABINET JOINT	CJ	CABINET JOINT
CK	CABINET KITCHEN	CK	CABINET KITCHEN	CK	CABINET KITCHEN
CL	CABINET LAMINATE	CL	CABINET LAMINATE	CL	CABINET LAMINATE
CM	CABINET MANTLE	CM	CABINET MANTLE	CM	CABINET MANTLE
CN	CABINET NAIL	CN	CABINET NAIL	CN	CABINET NAIL
CO	CABINET OIL	CO	CABINET OIL	CO	CABINET OIL
CP	CABINET PANEL	CP	CABINET PANEL	CP	CABINET PANEL
CQ	CABINET QUARTZ	CQ	CABINET QUARTZ	CQ	CABINET QUARTZ
CR	CABINET RAIL	CR	CABINET RAIL	CR	CABINET RAIL
CS	CABINET SILL	CS	CABINET SILL	CS	CABINET SILL
CT	CABINET TIE	CT	CABINET TIE	CT	CABINET TIE
CV	CABINET VALVE	CV	CABINET VALVE	CV	CABINET VALVE
CW	CABINET WALL	CW	CABINET WALL	CW	CABINET WALL
CX	CABINET WINDOW	CX	CABINET WINDOW	CX	CABINET WINDOW
CY	CABINET YARD	CY	CABINET YARD	CY	CABINET YARD
CZ	CABINET ZONE	CZ	CABINET ZONE	CZ	CABINET ZONE
DA	DALY	DA	DALY	DA	DALY
DB	DALY BALUSTRADE	DB	DALY BALUSTRADE	DB	DALY BALUSTRADE
DC	DALY CLOSET	DC	DALY CLOSET	DC	DALY CLOSET
DD	DALY DECK	DD	DALY DECK	DD	DALY DECK
DE	DALY ENTRANCE	DE	DALY ENTRANCE	DE	DALY ENTRANCE
DF	DALY FINISH	DF	DALY FINISH	DF	DALY FINISH
DG	DALY GLASS	DG	DALY GLASS	DG	DALY GLASS
DH	DALY HANGING	DH	DALY HANGING	DH	DALY HANGING
DI	DALY INSULATION	DI	DALY INSULATION	DI	DALY INSULATION
DJ	DALY JOINT	DJ	DALY JOINT	DJ	DALY JOINT
DK	DALY KITCHEN	DK	DALY KITCHEN	DK	DALY KITCHEN
DL	DALY LAMINATE	DL	DALY LAMINATE	DL	DALY LAMINATE
DM	DALY MANTLE	DM	DALY MANTLE	DM	DALY MANTLE
DN	DALY NAIL	DN	DALY NAIL	DN	DALY NAIL
DO	DALY OIL	DO	DALY OIL	DO	DALY OIL
DP	DALY PANEL	DP	DALY PANEL	DP	DALY PANEL
DQ	DALY QUARTZ	DQ	DALY QUARTZ	DQ	DALY QUARTZ
DR	DALY RAIL	DR	DALY RAIL	DR	DALY RAIL
DS	DALY SILL	DS	DALY SILL	DS	DALY SILL
DT	DALY TIE	DT	DALY TIE	DT	DALY TIE
DV	DALY VALVE	DV	DALY VALVE	DV	DALY VALVE
DW	DALY WALL	DW	DALY WALL	DW	DALY WALL
DX	DALY WINDOW	DX	DALY WINDOW	DX	DALY WINDOW
DY	DALY YARD	DY	DALY YARD	DY	DALY YARD
DZ	DALY ZONE	DZ	DALY ZONE	DZ	DALY ZONE
EA	EARTH	EA	EARTH	EA	EARTH
EB	EARTH BALUSTRADE	EB	EARTH BALUSTRADE	EB	EARTH BALUSTRADE
EC	EARTH CLOSET	EC	EARTH CLOSET	EC	EARTH CLOSET
ED	EARTH DECK	ED	EARTH DECK	ED	EARTH DECK
EE	EARTH ENTRANCE	EE	EARTH ENTRANCE	EE	EARTH ENTRANCE
EF	EARTH FINISH	EF	EARTH FINISH	EF	EARTH FINISH
EG	EARTH GLASS	EG	EARTH GLASS	EG	EARTH GLASS
EH	EARTH HANGING	EH	EARTH HANGING	EH	EARTH HANGING
EI	EARTH INSULATION	EI	EARTH INSULATION	EI	EARTH INSULATION
EJ	EARTH JOINT	EJ	EARTH JOINT	EJ	EARTH JOINT
EK	EARTH KITCHEN	EK	EARTH KITCHEN	EK	EARTH KITCHEN
EL	EARTH LAMINATE	EL	EARTH LAMINATE	EL	EARTH LAMINATE
EM	EARTH MANTLE	EM	EARTH MANTLE	EM	EARTH MANTLE
EN	EARTH NAIL	EN	EARTH NAIL	EN	EARTH NAIL
EO	EARTH OIL	EO	EARTH OIL	EO	EARTH OIL
EP	EARTH PANEL	EP	EARTH PANEL	EP	EARTH PANEL
EQ	EARTH QUARTZ	EQ	EARTH QUARTZ	EQ	EARTH QUARTZ
ER	EARTH RAIL	ER	EARTH RAIL	ER	EARTH RAIL
ES	EARTH SILL	ES	EARTH SILL	ES	EARTH SILL
ET	EARTH TIE	ET	EARTH TIE	ET	EARTH TIE
EV	EARTH VALVE	EV	EARTH VALVE	EV	EARTH VALVE
EW	EARTH WALL	EW	EARTH WALL	EW	EARTH WALL
EX	EARTH WINDOW	EX	EARTH WINDOW	EX	EARTH WINDOW
EY	EARTH YARD	EY	EARTH YARD	EY	EARTH YARD
EZ	EARTH ZONE	EZ	EARTH ZONE	EZ	EARTH ZONE
FA	FACED	FA	FACED	FA	FACED
FB	FACED BALUSTRADE	FB	FACED BALUSTRADE	FB	FACED BALUSTRADE
FC	FACED CLOSET	FC	FACED CLOSET	FC	FACED CLOSET
FD	FACED DECK	FD	FACED DECK	FD	FACED DECK
FE	FACED ENTRANCE	FE	FACED ENTRANCE	FE	FACED ENTRANCE
FF	FACED FINISH	FF	FACED FINISH	FF	FACED FINISH
FG	FACED GLASS	FG	FACED GLASS	FG	FACED GLASS
FH	FACED HANGING	FH	FACED HANGING	FH	FACED HANGING
FI	FACED INSULATION	FI	FACED INSULATION	FI	FACED INSULATION
FJ	FACED JOINT	FJ	FACED JOINT	FJ	FACED JOINT
FK	FACED KITCHEN	FK	FACED KITCHEN	FK	FACED KITCHEN
FL	FACED LAMINATE	FL	FACED LAMINATE	FL	FACED LAMINATE
FM	FACED MANTLE	FM	FACED MANTLE	FM	FACED MANTLE
FN	FACED NAIL	FN	FACED NAIL	FN	FACED NAIL
FO	FACED OIL	FO	FACED OIL	FO	FACED OIL
FP	FACED PANEL	FP	FACED PANEL	FP	FACED PANEL
FQ	FACED QUARTZ	FQ	FACED QUARTZ	FQ	FACED QUARTZ
FR	FACED RAIL	FR	FACED RAIL	FR	FACED RAIL
FS	FACED SILL	FS	FACED SILL	FS	FACED SILL
FT	FACED TIE	FT	FACED TIE	FT	FACED TIE
FV	FACED VALVE	FV	FACED VALVE	FV	FACED VALVE
FW	FACED WALL	FW	FACED WALL	FW	FACED WALL
FX	FACED WINDOW	FX	FACED WINDOW	FX	FACED WINDOW
FY	FACED YARD	FY	FACED YARD	FY	FACED YARD
FZ	FACED ZONE	FZ	FACED ZONE	FZ	FACED ZONE
GA	GALVANIZED	GA	GALVANIZED	GA	GALVANIZED
GB	GALVANIZED BALUSTRADE	GB	GALVANIZED BALUSTRADE	GB	GALVANIZED BALUSTRADE
GC	GALVANIZED CLOSET	GC	GALVANIZED CLOSET	GC	GALVANIZED CLOSET
GD	GALVANIZED DECK	GD	GALVANIZED DECK	GD	GALVANIZED DECK
GE	GALVANIZED ENTRANCE	GE	GALVANIZED ENTRANCE	GE	GALVANIZED ENTRANCE
GF	GALVANIZED FINISH	GF	GALVANIZED FINISH	GF	GALVANIZED FINISH
GG	GALVANIZED GLASS	GG	GALVANIZED GLASS	GG	GALVANIZED GLASS
GH	GALVANIZED HANGING	GH	GALVANIZED HANGING	GH	GALVANIZED HANGING
GI	GALVANIZED INSULATION	GI	GALVANIZED INSULATION	GI	GALVANIZED INSULATION
GJ	GALVANIZED JOINT	GJ	GALVANIZED JOINT	GJ	GALVANIZED JOINT
GK	GALVANIZED KITCHEN	GK	GALVANIZED KITCHEN	GK	GALVANIZED KITCHEN
GL	GALVANIZED LAMINATE	GL	GALVANIZED LAMINATE	GL	GALVANIZED LAMINATE
GM	GALVANIZED MANTLE	GM	GALVANIZED MANTLE	GM	GALVANIZED MANTLE
GN	GALVANIZED NAIL	GN	GALVANIZED NAIL	GN	GALVANIZED NAIL
GO	GALVANIZED OIL	GO	GALVANIZED OIL	GO	GALVANIZED OIL
GP	GALVANIZED PANEL	GP	GALVANIZED PANEL	GP	GALVANIZED PANEL
GQ	GALVANIZED QUARTZ	GQ	GALVANIZED QUARTZ	GQ	GALVANIZED QUARTZ
GR	GALVANIZED RAIL	GR	GALVANIZED RAIL	GR	GALVANIZED RAIL
GS	GALVANIZED SILL	GS	GALVANIZED SILL	GS	GALVANIZED SILL
GT	GALVANIZED TIE	GT	GALVANIZED TIE	GT	GALVANIZED TIE
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GW	GALVANIZED WALL	GW	GALVANIZED WALL	GW	GALVANIZED WALL
GX	GALVANIZED WINDOW	GX	GALVANIZED WINDOW	GX	GALVANIZED WINDOW
GY	GALVANIZED YARD	GY	GALVANIZED YARD	GY	GALVANIZED YARD
GZ	GALVANIZED ZONE	GZ	GALVANIZED ZONE	GZ	GALVANIZED ZONE
HA	HARDWARE	HA	HARDWARE	HA	HARDWARE
HB	HARDWARE BALUSTRADE	HB	HARDWARE BALUSTRADE	HB	HARDWARE BALUSTRADE
HC	HARDWARE CLOSET	HC	HARDWARE CLOSET	HC	HARDWARE CLOSET
HD	HARDWARE DECK	HD	HARDWARE DECK	HD	HARDWARE DECK
HE	HARDWARE ENTRANCE	HE	HARDWARE ENTRANCE	HE	HARDWARE ENTRANCE
HF	HARDWARE FINISH	HF	HARDWARE FINISH	HF	HARDWARE FINISH
HG	HARDWARE GLASS	HG	HARDWARE GLASS	HG	HARDWARE GLASS
HH	HARDWARE HANGING	HH	HARDWARE HANGING	HH	HARDWARE HANGING
HI	HARDWARE INSULATION	HI	HARDWARE INSULATION	HI	HARDWARE INSULATION
HJ	HARDWARE JOINT	HJ	HARDWARE JOINT	HJ	HARDWARE JOINT
HK	HARDWARE KITCHEN	HK	HARDWARE KITCHEN	HK	HARDWARE KITCHEN
HL	HARDWARE LAMINATE	HL	HARDWARE LAMINATE	HL	HARDWARE LAMINATE
HM	HARDWARE MANTLE	HM	HARDWARE MANTLE	HM	HARDWARE MANTLE
HN	HARDWARE NAIL	HN	HARDWARE NAIL	HN	HARDWARE NAIL
HO	HARDWARE OIL	HO	HARDWARE OIL	HO	HARDWARE OIL
HP	HARDWARE PANEL	HP	HARDWARE PANEL	HP	HARDWARE PANEL
HQ	HARDWARE QUARTZ	HQ	HARDWARE QUARTZ	HQ	HARDWARE QUARTZ
HR	HARDWARE RAIL	HR	HARDWARE RAIL	HR	HARDWARE RAIL
HS	HARDWARE SILL	HS	HARDWARE SILL	HS	HARDWARE SILL
HT	HARDWARE TIE	HT	HARDWARE TIE	HT	HARDWARE TIE
HV	HARDWARE VALVE	HV	HARDWARE VALVE	HV	HARDWARE VALVE
HW	HARDWARE WALL	HW	HARDWARE WALL	HW	HARDWARE WALL
HX	HARDWARE WINDOW	HX	HARDWARE WINDOW	HX	HARDWARE WINDOW
HY	HARDWARE YARD	HY	HARDWARE YARD	HY	HARDWARE YARD
HZ	HARDWARE ZONE	HZ	HARDWARE ZONE	HZ	HARDWARE ZONE
IA	IRON	IA	IRON	IA	IRON
IB	IRON BALUSTRADE	IB	IRON BALUSTRADE	IB	IRON BALUSTRADE
IC	IRON CLOSET	IC	IRON CLOSET	IC	IRON CLOSET
ID	IRON DECK	ID	IRON DECK	ID	IRON DECK
IE	IRON ENTRANCE	IE	IRON ENTRANCE	IE	IRON ENTRANCE
IF	IRON FINISH	IF	IRON FINISH	IF	IRON FINISH
IG	IRON GLASS	IG	IRON GLASS	IG	IRON GLASS
IH	IRON HANGING	IH	IRON HANGING	IH	IRON HANGING
II	IRON INSULATION	II	IRON INSULATION	II	IRON INSULATION
IJ	IRON JOINT	IJ	IRON JOINT	IJ	IRON JOINT
IK	IRON KITCHEN	IK	IRON KITCHEN	IK	IRON KITCHEN
IL	IRON LAMINATE	IL	IRON LAMINATE	IL	IRON LAMINATE
IM	IRON MANTLE	IM	IRON MANTLE	IM	IRON MANTLE
IN	IRON NAIL	IN	IRON NAIL	IN	IRON NAIL
IO	IRON OIL	IO	IRON OIL	IO	IRON OIL
IP	IRON PANEL	IP	IRON PANEL	IP	IRON PANEL
IQ	IRON QUARTZ	IQ	IRON QUARTZ	IQ	IRON QUARTZ
IR	IRON RAIL	IR	IRON RAIL	IR	IRON RAIL
IS	IRON SILL	IS	IRON SILL	IS	IRON SILL
IT	IRON TIE	IT	IRON TIE	IT	IRON TIE
IV	IRON VALVE	IV	IRON VALVE	IV	IRON VALVE
IW	IRON WALL	IW	IRON WALL	IW	IRON WALL
IX	IRON WINDOW	IX	IRON WINDOW	IX	IRON WINDOW
IY	IRON YARD	IY	IRON YARD	IY	IRON YARD
IZ	IRON ZONE	IZ	IRON ZONE	IZ	IRON ZONE
JA	JAPANESE	JA	JAPANESE	JA	JAPANESE
JB	JAPANESE BALUSTRADE	JB	JAPANESE BALUSTRADE	JB	JAPANESE BALUSTRADE
JC	JAPANESE CLOSET	JC	JAPANESE CLOSET	JC	JAPANESE CLOSET
JD	JAPANESE DECK	JD	JAPANESE DECK	JD	JAPANESE DECK
JE	JAPANESE ENTRANCE	JE	JAPANESE ENTRANCE	JE	JAPANESE ENTRANCE
JF	JAPANESE FINISH	JF	JAPANESE FINISH	JF	JAPANESE FINISH
JG	JAPANESE GLASS	JG	JAPANESE GLASS	JG	JAPANESE GLASS
JH	JAPANESE HANGING	JH	JAPANESE HANGING	JH	JAPANESE HANGING
JI	JAPANESE INSULATION	JI	JAPANESE INSULATION	JI	JAPANESE INSULATION
IJ	JAPANESE JOINT	IJ	JAPANESE JOINT	IJ	JAPANESE JOINT
JK	JAPANESE KITCHEN	JK	JAPANESE KITCHEN	JK	JAPANESE KITCHEN
JL	JAPANESE LAMINATE	JL	JAPANESE LAMINATE	JL	JAPANESE LAMINATE
JM	JAPANESE MANTLE	JM	JAPANESE MANTLE	JM	JAPANESE MANTLE
JN	JAPANESE NAIL	JN	JAPANESE NAIL	JN	JAPANESE NAIL
JO	JAPANESE OIL	JO	JAPANESE OIL	JO	JAPANESE OIL
JP	JAPANESE PANEL	JP	JAPANESE PANEL	JP	JAPANESE PANEL
JQ	JAPANESE QUARTZ	JQ	JAPANESE QUARTZ	JQ	JAPANESE QUARTZ
JR	JAPANESE RAIL	JR	JAPANESE RAIL	JR	JAPANESE RAIL
JS	JAPANESE SILL	JS	JAPANESE SILL	JS	JAPANESE SILL
JT	JAPANESE TIE	JT	JAPANESE TIE	JT	JAPANESE TIE
JV	JAPANESE VALVE	JV	JAPANESE VALVE	JV	JAPANESE VALVE
JW	JAPANESE WALL	JW	JAPANESE WALL	JW	JAPANESE WALL
JX	JAPANESE WINDOW	JX	JAPANESE WINDOW		



PROPOSED SITE PLAN -

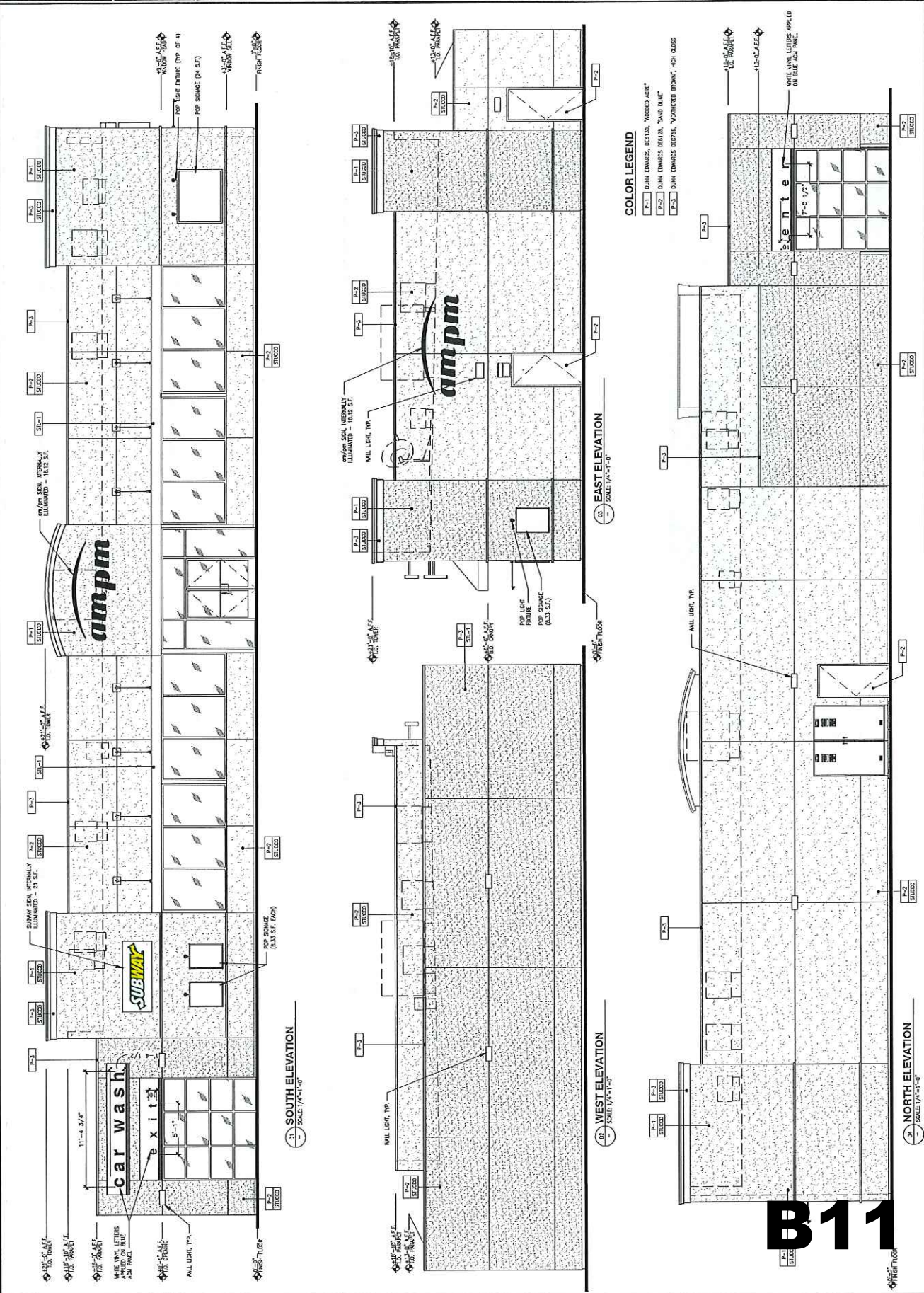


1 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

Figure 1 is a bar chart showing the distribution of the number of points (0 to 18) for the first 1000 points of the sequence. The x-axis is labeled 'SCALE: 1/10¹⁰' and the y-axis is labeled '18'. The bars show a distribution that is roughly bell-shaped, peaking around 4-6 points.



1 PROPOSED ROOF PLAN



Scale

REVISION

DATE

6/08/15 PRE-APPLICATION MEETING

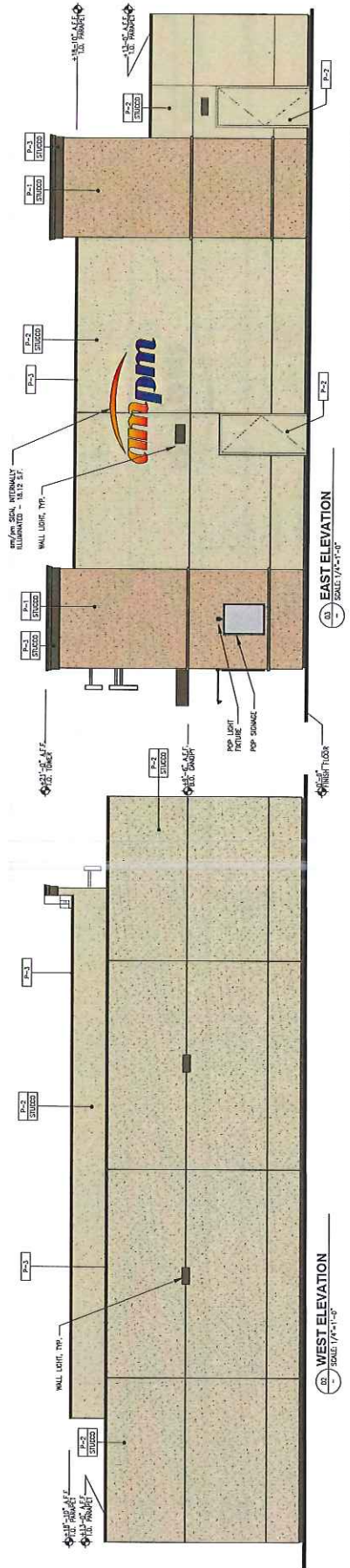
ARCO NTI
2610 CONTRA LOMA BLVD.
ANTIOCH, CA 94509

Project Number
BS115001.0

Sheet Name

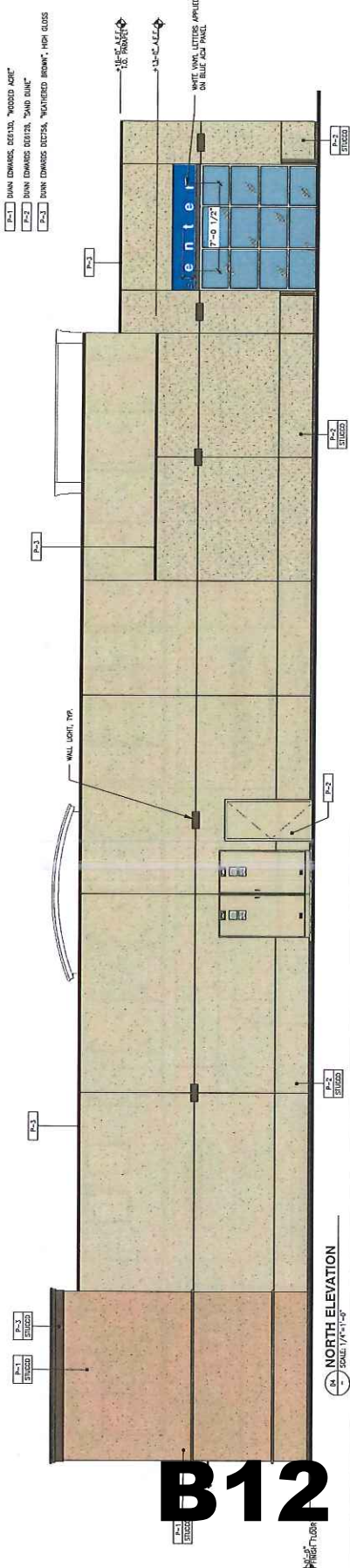
PROPOSED
BUILDING
ELEVATIONS

Sheet Number
3.1



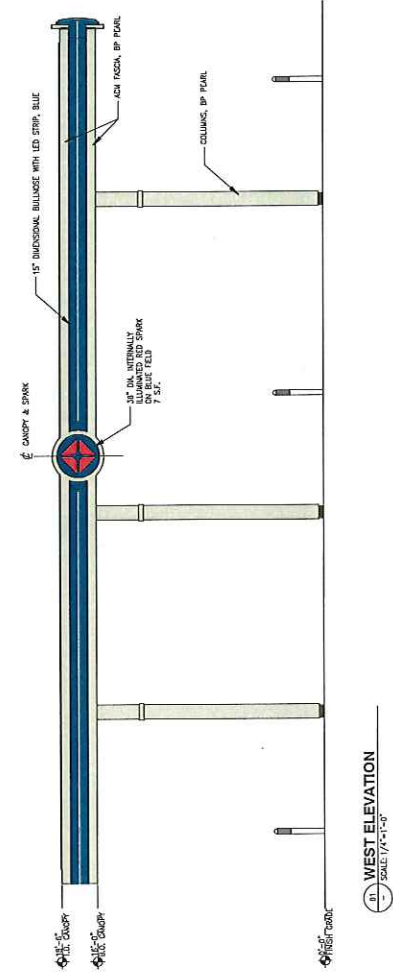
COLOR LEGEND

- P-1 SUN CHARGES, DETAIL, "WOODED ASH"
- P-2 SUN CHARGES, DETAIL, "SAND BIRCH"
- P-3 SUN CHARGES, DETAIL, "LIGHTER BROWN", HIGH GLOSS

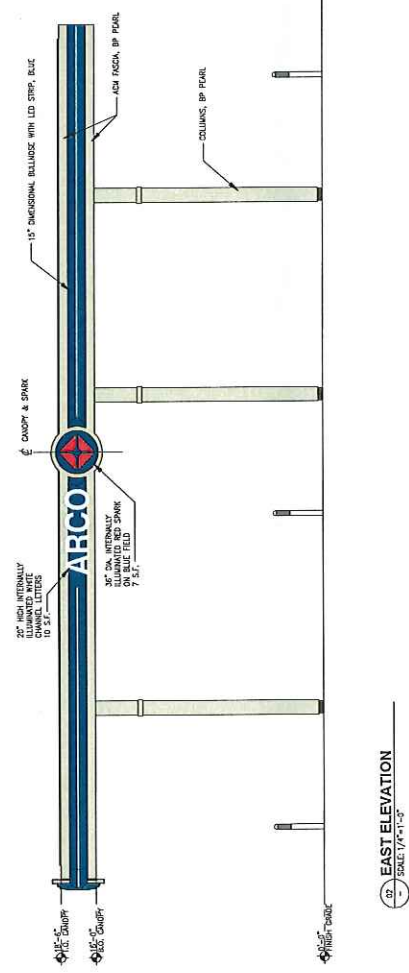


B12

EXTERIOR PAINTS
 COLOR: BP PEARL, GLOSSY PROF. - #40837, NISIAN LEDOUT



11. WEST ELEVATION
 SCALE: 1/4"=1'-0"



12. EAST ELEVATION
 SCALE: 1/4"=1'-0"

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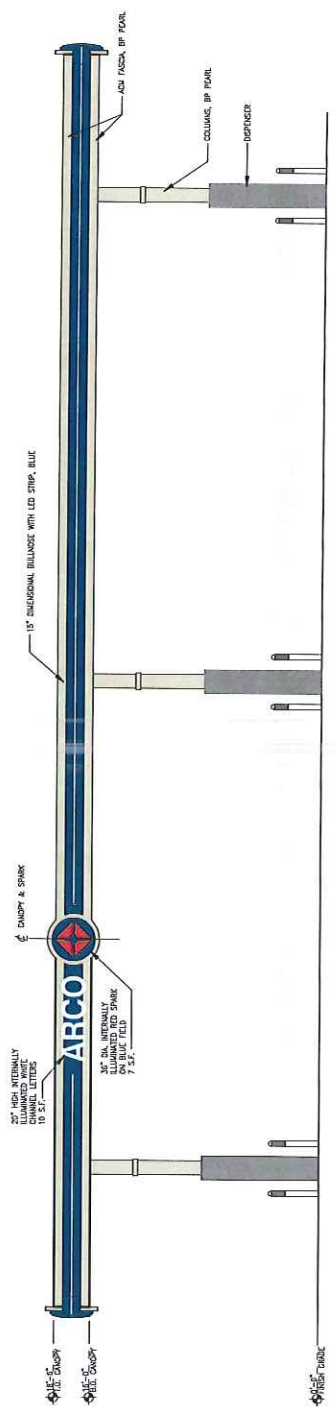
Project Number
 BS115001.0

Sheet Name
 PROPOSED
 CANOPY
 ELEVATIONS

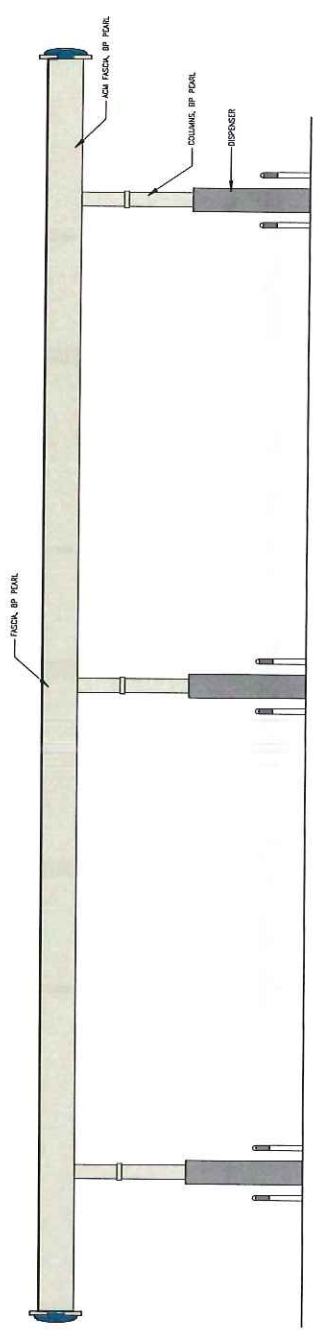
Sheet Number
 4

EXTERIOR PAINTS

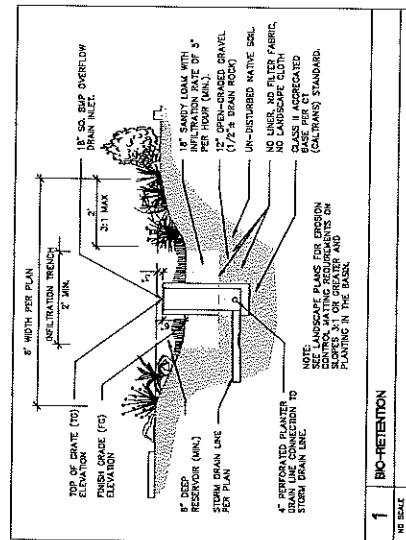
COLOR BP PEARL: GIGIEN PMS® - 40053 * NEON LEMON*



10. SOUTH ELEVATION
SCALE: 1/4"=1'-0"



11. NORTH ELEVATION
SCALE: 1/4"=1'-0"



BMP NUMERIC SIZING CALCULATION							
AREA ID	SURFACE	TOTAL AREA (S.F.)	BMP TO BE USED	BMP ID	DESIGN FACTOR	TREATMENT AREA REQUIRED (S.F.)	TREATMENT AREA PROVIDED (S.F.)
DMA 1	SIDEWALK, ROOF, PAVEMENT	11,148	BIO-RETENTION	IMP 1	0.04	445.9	689
DMA 2	CANOPY, PAVEMENT	22,919	BIO-RETENTION	IMP 2	0.04	916.8	1,002
TOTAL		34,067				1,362.7	1,691

BMP NUMERIC SIZING CALCULATION

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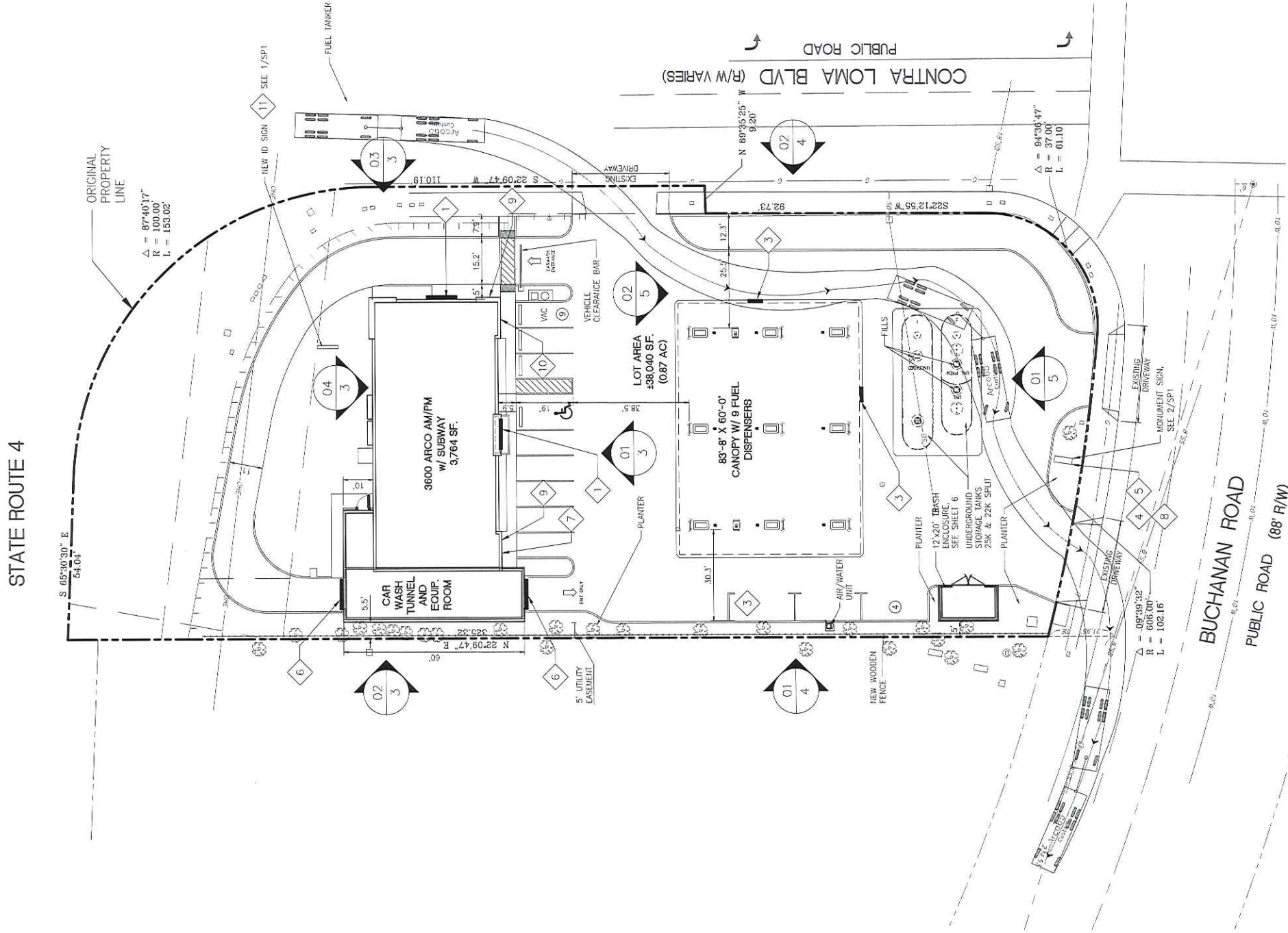
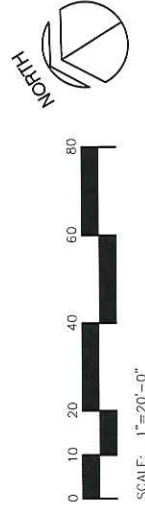
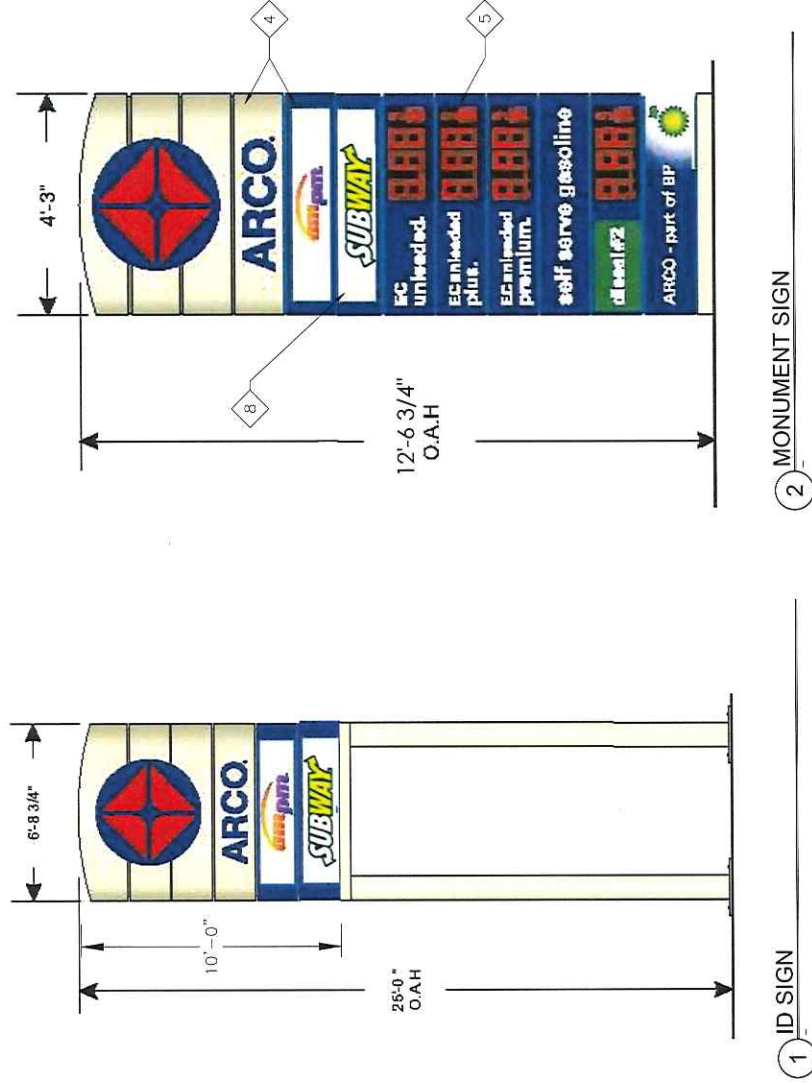
**PRELIMINARY
BMP**



50491 0/10/2015

ATTACHMENT “C”

SIGN CALCULATIONS						
#	DESCRIPTION	DIMENSIONS	SQ. FT.	QUANTITY	TOTAL SQ. FT.	COMMENT
1	AM/PM LOGO	10'-0" 1/2" x 4'-3"	42.71	2	85.42	INTERNALLY ILLUMINATED
2	NOT USED	-	-	-	-	-
3	ARCO SPARK LOGO	36" DIA.	7.07	2	14.14	INTERNALLY ILLUMINATED
4	MONUMENT - ARCO LOGO PANEL	4'-3" x 6'-0"	25.5	1	25.5	INTERNALLY ILLUMINATED
5	MONUMENT - DIGITAL PRICE SIGN	4'-3" x 5'-0"	N/A	1	N/A	STATE REQUIRED
6	CARWASH SIGN	10'-0" x 1'-2"	N/A	2	N/A	INFORMATIONAL SIGN
7	SUBWAY SIGN	2'-10" x 6'-10"	19.33	1	19.33	INTERNALLY ILLUMINATED
8	MONUMENT - SUBWAY PANEL	4'-3" x 1'-0"	4.25	1	4.25	INTERNALLY ILLUMINATED
9	BUILDING POP SIGN	3'-4" x 2'-6"	N/A	3	N/A	INFORMATIONAL SIGN
10	BUILDING POP SIGN	5'-4" x 4'-6"	N/A	1	N/A	INFORMATIONAL SIGN
11	ID SIGN	6'-8 3/4" x 10'-0"	67.3	1	67.3	(E) TO BE RELOCATED INTERNALLY ILLUMINATED
	TOTAL SQ. FT.				215.94	



[illegible]

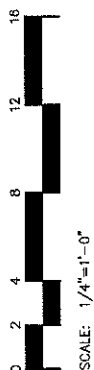
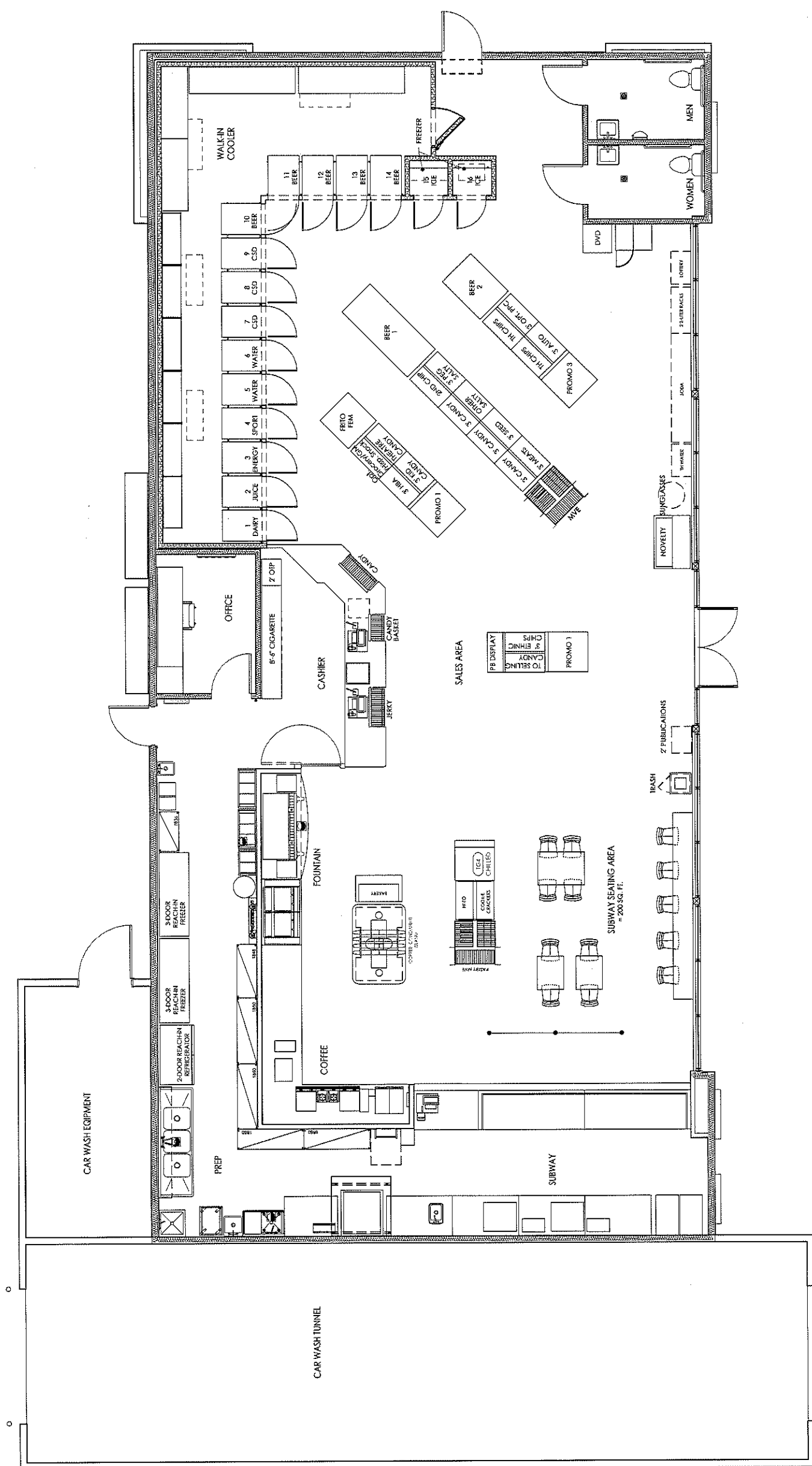
ARCO NTI
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ANTIOCH, CA 94509

Project Number
BSI15001.0

Sheet Name

PROPOSED
FLOOR
PLAN

Sheet Number



1 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

Seed

REVISION
DATE
6/08/15 PRE-APPLICATION MEETING
12/11/15 PLANNING

ARCO NTI
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ANTIOCH, CA 94509

Project Number
BS115001.0

Sheet Name

PROPOSED
ROOF
PLAN

Sheet Number

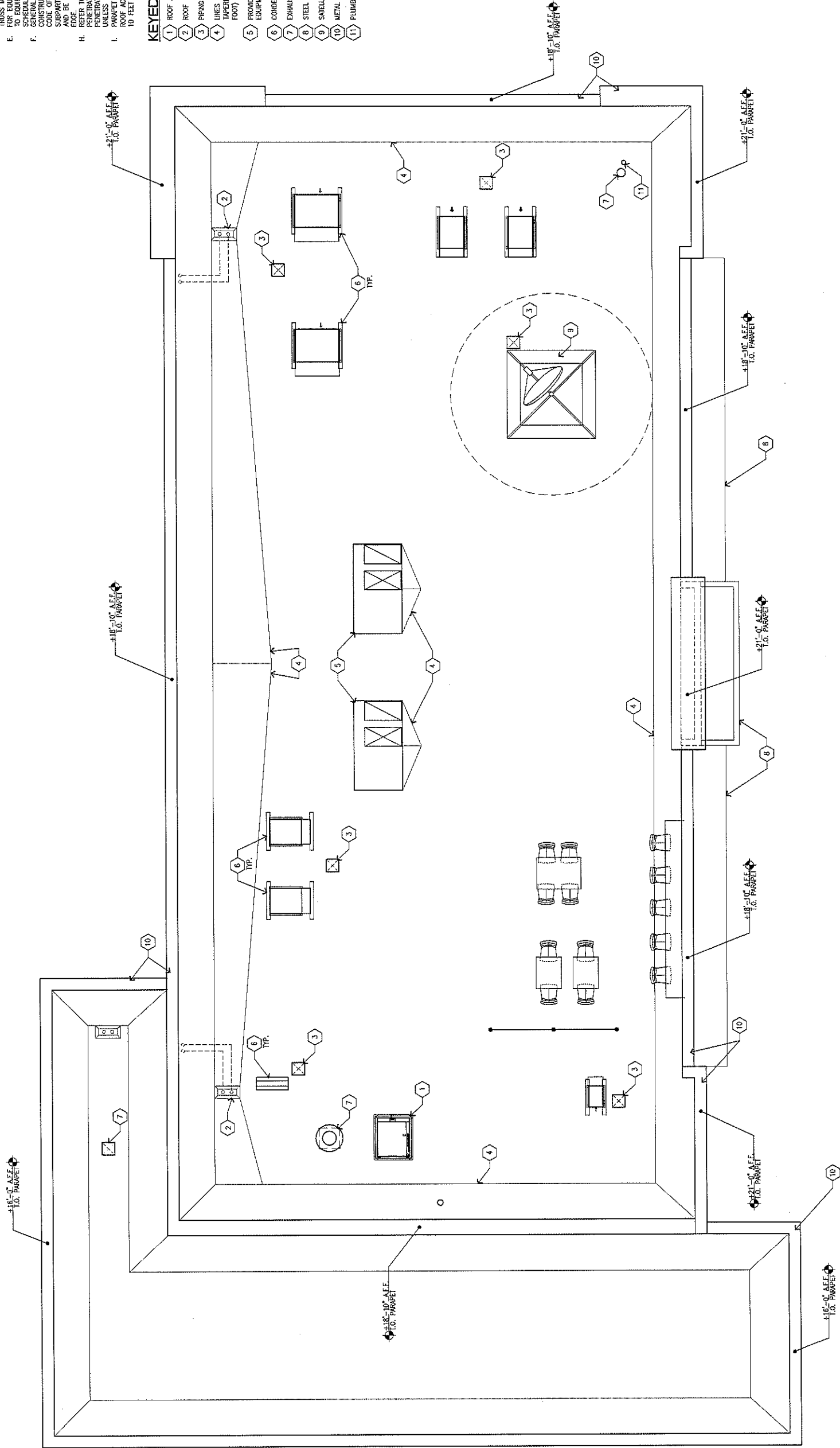
2

GENERAL NOTES

- A. REFER TO SPECIFICATION SHEETS A7.3 & A7.4 FOR ROOF SYSTEM, INCLUDING GUARANTEES, CURBS, FLASHING, AND ECT.
B. REFER TO ROOFING MANUFACTURERS WRITTEN INSTRUCTIONS AND TECHNICAL DATA SHEETS. INSTALLATION CONTRACTOR TO PROVIDE COMPLETE ROOFING PACKAGE PER MANUFACTURERS RECOMMENDATIONS.
C. ROOF ASSEMBLY SHALL COMPLY WITH U.L. F-90 AND FM CLASS "B" RATINGS INCLUDING COPING, FLASHING, FLASHING, AND ECT.
D. ROOF STRUCTURE, UNLESS APPROVED IN WRITING BY THE ARCHITECT, STRUCTURAL ENGINEER, AND THE TRUSS MANUFACTURER.
E. FOR EQUIPMENT COMPRESSOR & CONDENSER REFER TO EQUIPMENT MANUFACTURERS' SPECIFICATIONS. SCHEDULE ON SHEET 02.1.
F. GENERAL CONTRACTOR IS TO PROVIDE TEMPORARY CONSTRUCTION PERIMETER GUARDRAIL TO COMPLY WITH CODE OF FEDERAL REGULATIONS 29 CFR 1926 SUBPART M (OSHA), GUARDRAIL TO BE 42" HEIGHT AND BE ABLE TO WITHSTAND 200 POUNDS AT TOP EDGE.
H. REFER TO MECHANICAL PLANS FOR VENT PIPE PENETRATION AND CURB DETAILS. ALL ROOF PENETRATIONS SHALL BE THROUGH THE CURBS, UNLESS NOTED OTHERWISE.
I. ROOF ACCESS TO MECHANICAL EQUIPMENT / ROOF ACCESS SHALL BE MINIMUM 42" HIGH WITHIN 10 FEET OF ROOF EDGE.

KEYED NOTES

1. ROOF ACCESS LADDER
2. ROOF DRAIN AND OVERFLOW
3. PIPING CURBS
4. LINES REPRESENT LIMITS OF CROCKETS FORMED BY TAPERED ROOF INSULATION (MIN. PITCH IS 1/8" PER FOOT)
5. PROVIDE ROOF CURBS FOR ALL MECHANICAL EQUIPMENT
6. CONDENSER CURBS
7. EXHAUST FAN THROUGH ROOF
8. STEEL CANOPY BELOW
9. SATELLITE ON BALLASTED CURB
10. METAL COPING CAP
11. PLUMBING VENT



1 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

C5

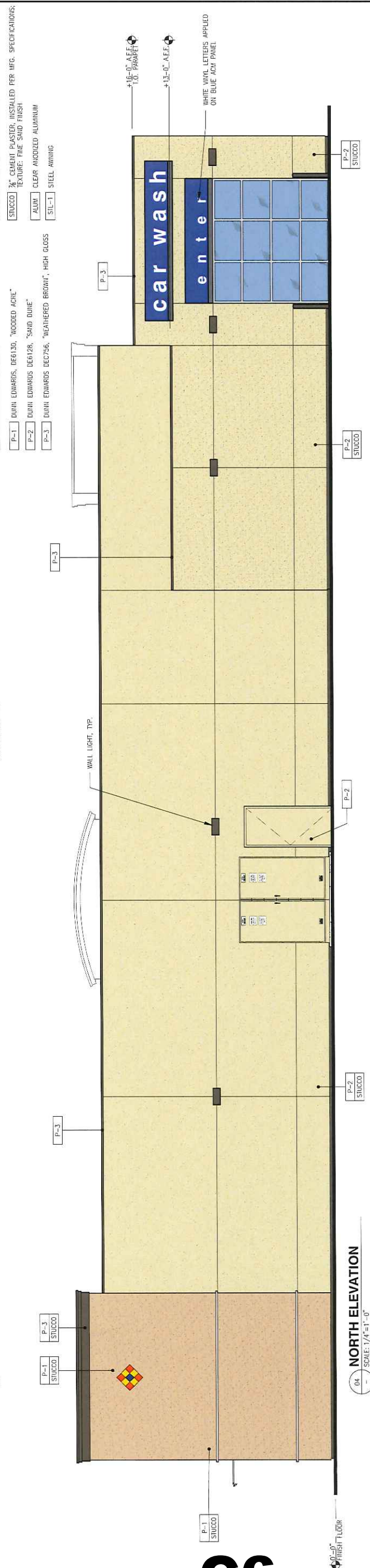
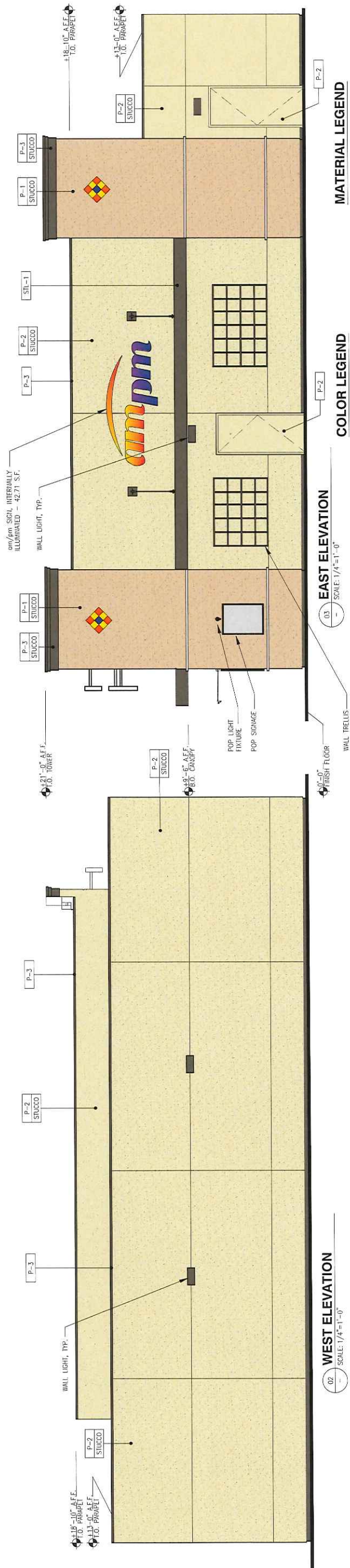
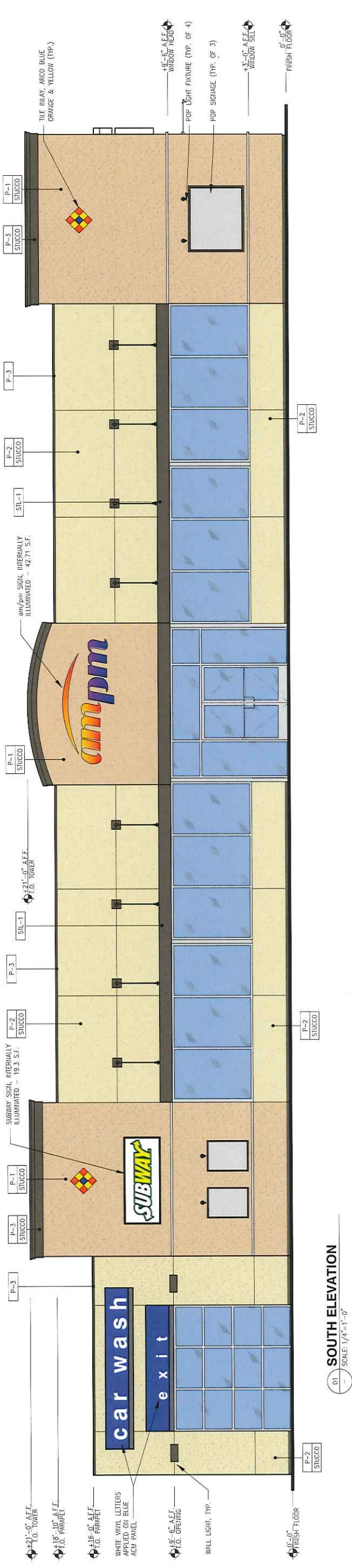
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Project Number
BSI15001.0

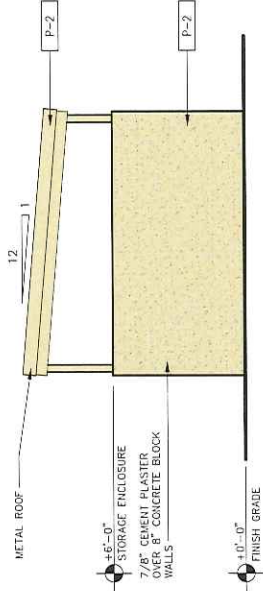
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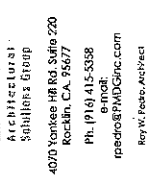
PROPOSED
BUILDING
ELEVATIONS

Sheet Number 3



C6



[illegible]

Project Number
BSI15001.0

Sheet Name

**PRELIMINARY
GRADING AND
DRAINAGE PLAN**

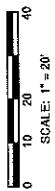
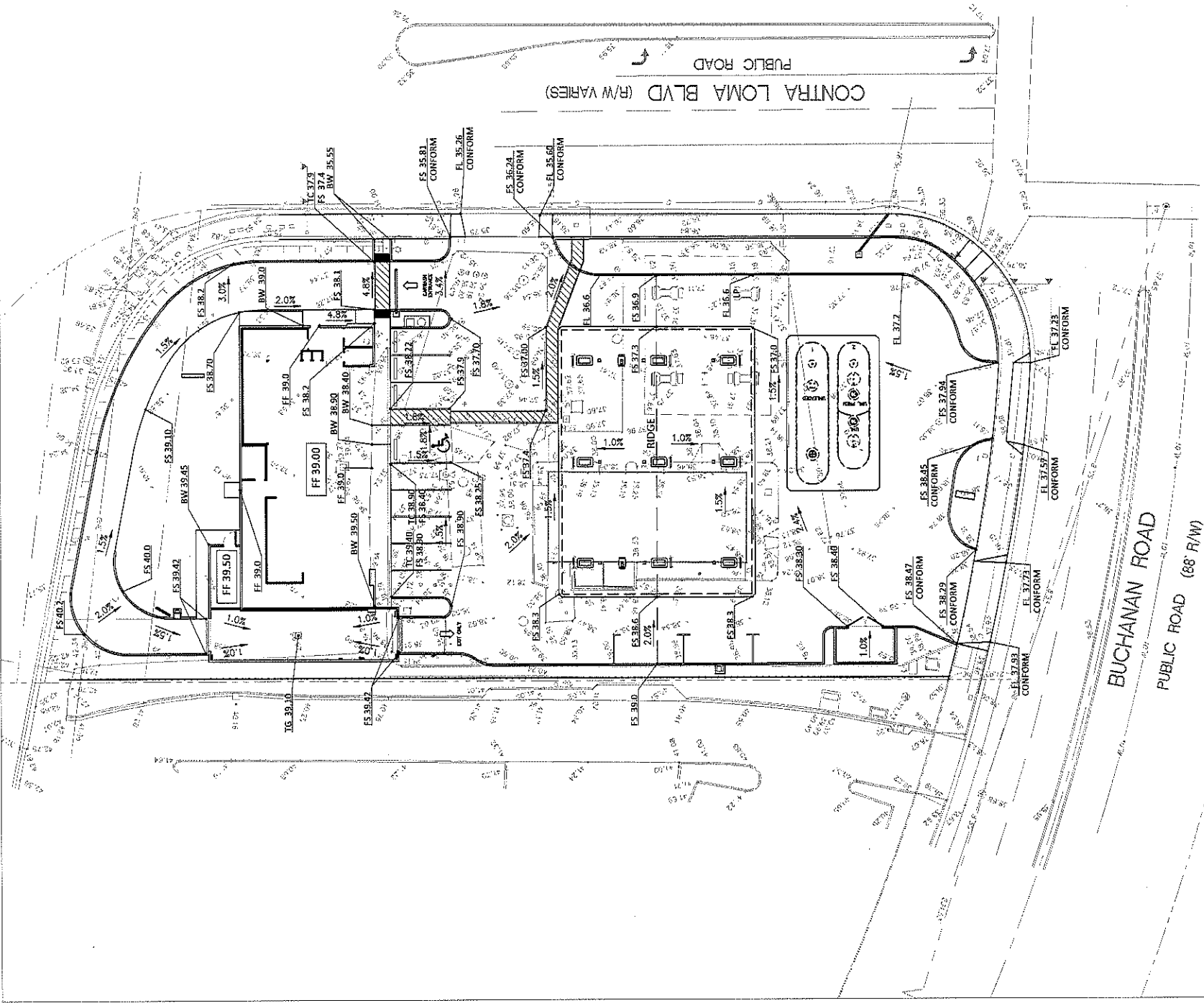
Sheet Number
01[illegible]

EXISTING SPOT ELEVATION
 PROPOSED ELEVATION
 DIRECTION OF DRAINAGE FLOW
 ADA PATH OF TRAVEL
 LIMIT OF PROPOSED WORK/CONFORM
 FLOW LINE

EP	EDGE OF PAVEMENT	LP	LOW POINT
BW	BACK OF WALK	TC	TOP OF CURB
FS	FACE OF SURFACE	FF	TOP OF FLOOR SLAB
FL	FLOW LINE	TP	TOP OF PAVEMENT
GB	GRADE BREAK	TS	TOP OF SLAB
LP	EDGE OF SWALE OR GUTTER	TG	TOP OF GRATE
HP	HIGHT POINT		

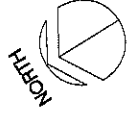
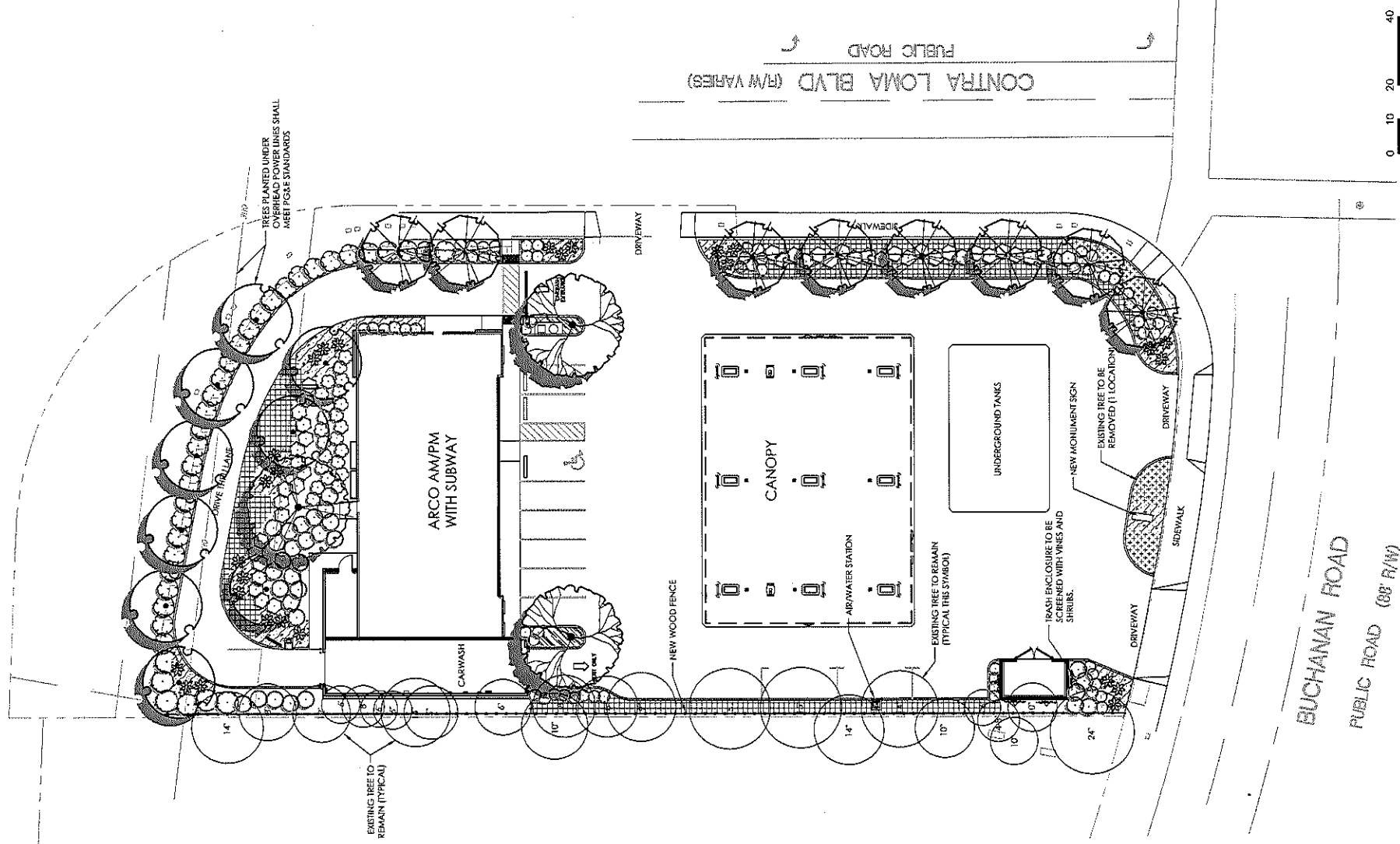
THIS PROJECT IS IN FLOOD ZONE AE - WHERE BASE FLOOD ELEVATION IS DETERMINED AT 38.00 FEET.

PANEL NO: 06013C 0327F
DATED: JUNE 16, 2009



















c10





SCALE: 1"=20'-0"

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	WUCOLS
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TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	WUCOLS
	9	Arbutus x 'Madina' / Arbutus Standard	15 gal	Low
	8	Pyrus calleryana 'New Bradford' / New Bradford Pear	15 gal	Medium
	1	Quercus laevis / Valley Oak	15 gal	Low
	2	Zelkova serrata / Sawleaf Zelkova	15 gal	Medium
TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WUCOLS
	66	Barberry thunbergii 'Maximiliana' / Cherry Bonito Japanese Barberry	5 gal	Low
	30	Ceanothus x 'Dark Star' / California Lilac	5 gal	Low
	6	Dodonaea viscosa 'Purpurea' / Purple Leafed Hopseed Bush	5 gal	Low
	23	Loxopetalum chinensis rubrum 'Rozzlebert' / Rozzlebert Fringe Flower	5 gal	Medium
	31	Myrica californica 'Buddha' / Pacific Wax Myrtle	5 gal	Low
	27	Phormium x 'Alison Blackman' / New Zealand Flax	5 gal	Low
	43	Rhamnus californica 'Mount San Bruno' / California Coffeeberry	5 gal	Low
VINE/SPALER	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WUCOLS
	4	Ficus pumila / Creeping Fig	5 gal	Medium
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT	WUCOLS
	187	Helictotrichon sempervirens / Blue Oat Grass	1 gal	Low
	13	Juniperus horizontalis 'Icee Blue' TM / Icee Blue Juniper	1 gal	Low
	61	Rosa x 'Peach Drift' / Drift Rose	1 gal	Medium
	211	Rosmarinus officinalis 'Huntington Carpet' / Huntington Carpet Rosemary	1 gal	Low

1. All landscape planting areas shall receive a uniform 3"-4" layer of organic mulch top dressing.
2. Irrigation will be drip and will conform to the City of Antioch Water Conservation Ordinance.

HYDROZONE DESCRIPTION	TOTAL S.F.	AREA (%)	Max. Applied Water Allowance MAWA (Gal/1%)	Estimated Water use EWU (Gallons/Yeod)
LOW WATER USE PLANTS	6,402	84	(51.1) [(62) / (7) (231)]	(51.1) [(62) / (31) (402)] (1,851) = 71,586
MEDIUM WATER USE PLANTS	1,229	16	(51.1) [(62) / (7) (231)]	(51.1) [(62) / (5) (1229)] (1,851) = 22,504

TOTAL	7,631	100	169,236 gal.	94,490 gal.
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$$\text{Maximum Applied Water Allowance (MAWA)} = \frac{\text{Annual EI}}{(\text{Conversion factor}) \cdot (\text{Irrigation efficiency})}$$