



Delta Courtyard Apartments

February 15, 2023

810 Wilbur Avenue
UP-22-14, AR-22-14



Quick Facts

Applicant: Mike Serpa,
810 Wilbur Associates, LLC

APN: 065-110-006

Zoning: High Density
Residential (R-25)

GP Land Use: High Density
Residential

Land Area: 2.86 acres

Prop. Building Area:
36,800 SF

Project Description

The applicant is seeking Use Permit and Design Review approval for the construction of a new 74-unit apartment complex at 810 Wilbur Avenue. The subject site is a 2.86-acre vacant parcel. The project scope includes the construction of two apartment buildings with a mix of one-, two- and three-bedroom apartments, resulting in 74 units total with 4 very low-income units. Site improvements include the construction of a new parking lot, lighting, landscaping, outdoor open space and stormwater detention basins. The applicant has also applied for a Density Bonus to increase the base density of the project from 71.5 units to 74 units.

Requested Approvals

USE PERMIT, DESIGN REVIEW, DENSITY BONUS

STAFF RECOMMENDATION: APPROVE

BACKGROUND

Subject Site

The subject site is a vacant 2.86 parcel with frontage along Wilbur Avenue. The subject site is zoned High Density Residential (R-25) and has a General Plan Land Use Designation of High Density Residential.



Site History

In 2016 the subject site received Use Permit, Design Review and Density Bonus approval for a 126-unit affordable rental apartment project. The 2016 project was on 4.46 acre site that included the current project site as well as a portion of the adjacent property to the east, 710 Wilbur Avenue. The project was never constructed and the approvals have since expired.

Project Timeline

- Pre-Application Review: September 30, 2021
- Project Submitted to City: July 11, 2022
- Second Submittal: September 20, 2022
- Project Deemed Complete: October 11, 2022
- Planning Commission Review: February 15, 2023

Analysis

Overview

The applicant is seeking Use Permit, Design Review and Density Bonus approval to construct a two-building courtyard style apartment complex with 74 units at 810 Wilbur Avenue. The project scope includes the construction of two apartment buildings with a mix of one-, two- and three-bedroom apartments, resulting in 74 units total with 4 very low-income units. Site improvements include the construction of a new parking lot, lighting, landscaping, outdoor open space and stormwater detention basins. A detailed breakdown of the unit types can be found in the table below:

Unit Type	Proposed
1 Bedroom	34 units
2 Bedroom	22 units
3 Bedroom	18 units
Total	74 units

Table 1. Unit Counts by Type

General Plan, Zoning, and Land Use

The General Plan designation of the site is High Density Residential. The zoning designation of the site is High Density Residential (R-25). The proposed use is allowed subject to Use Permit and Design Review approval.

Comparison of Adjacent Properties			
Vicinity	GP Land Use	Zoning	Current Use
North	Light Industrial	Light Industrial (M-1)	Tri-Delta Transit Offices
South	Medium Low Density Residential	Single Family Residential (R-6)	Single Family Homes
East	High Density Residential	High Density Residential (R-25)	Residential
West	High Density Residential	Planned Development District 88-5	Residential Apartments

Table 2 provides a summary of required development standards and proposed development characteristics. A Density Bonus application is required to achieve the desired project density.

Development Standards	Existing Condition/Standard	Proposed
Site Size	2.86 acres	No Change
General Plan Land Use Designation	High Density Residential	No Change
Zoning	R-25	No Change
Unit Count	N/A Site is Vacant	74 units
Project Density (Dwelling units per acre)	20-25 units per acre	26 units per acres Density Bonus Application
Off-Street Parking	94 spaces	124 spaces
Height	45 ft.	40 ft.

Table 2. Delta Courtyard Development Standards

Article 7. Multi-Family Residential Development Standards

Article 7 of the City Antioch Zoning Code prescribes Multi-Family Residential Development Standards that are intended to promote a high quality design and provide a pleasant residential environment within the context of higher density development. An analysis of how the proposed project is meeting the multi-family residential development standards is included as Attachment E to the staff report.

Density Bonus & Parking

California's "State Density Bonus Law" (Government Code Sections 65915 through 65918) gives housing developers the right to build additional dwelling units and obtain flexibility in local development requirements, in exchange for building affordable housing. Article 35 "Density Bonus Program" of the Antioch Municipal Code implements these State requirements (Section 9-5.3501-9-5.3502).

Flexibility is granted through concessions, waivers and other forms of assistance:

- **Concession** – A reduction in site development standards or a modification of zoning code or architectural design requirements. Examples include: reduced parking requirement, architectural modifications, etc.
- **Waiver** – The City is not permitted to apply any development standard which physically precludes the construction of the project (including the density bonus and the granted concessions/incentives). The applicant may request the City waive or reduce development standards that would prevent the density bonus project from physically

being built. Examples: height, setbacks, lot coverage, open space, etc. There is no limit on the number of development standard waivers that may be requested or granted.

The applicant is not requesting any concessions or waivers as part of the project. However, the maximum parking requirements under California Density Bonus Law are requested and the applicant is proposing to provide four (4) very-low income units as part of the project to qualify for the reduced parking requirements. Pursuant to California's Density Bonus Law the city may not require more than the following parking ratios for a density bonus project:

Studio	1 space
1 Bedroom	1 space
2 Bedroom	1.5 spaces
3 Bedroom	1.5 spaces
4 Bedroom	2.5 spaces

Table 3. Parking Requirements Pursuant to State Density Bonus Law

The project will utilize the maximum parking requirements allowed under State Density Bonus Law. This includes a requirement of 94 parking spaces for the project. The applicant is proposing to provide 124 parking spaces with a mix of garage parking, carports, and uncovered parking spaces.

1 Bedroom (1 space per unit)	34 units provided	34 spaces
2 Bedrooms (1.5 spaces per unit)	22 units provided	33 spaces
3 Bedrooms (1.5 spaces per unit)	18 Units provided	27 spaces
	Total units provided: 74	Parking Required: 94 spaces

Table 4. Project Parking Requirement

Based on the R-25 Zoning District density standard of 20-25 units/acre, the project site could accommodate up to 71.5 units. Under State Density Bonus Law, the project requests a 20% density bonus to achieve 74 units. In exchange, the project proposes to include four (4) units on site which would be affordable to very low-income (VLI) households (30-50% of Area Median Income).

Base # Units	% VLI Units	# VLI Units	Bonus %	Units Provided	Maximum Density Project
71.5	5.6%	4	20%	74 Units	85 Units

Table 4. Density Bonus

Housing Affordability

Section 9-5.3502 of the Antioch Municipal Code requires an affordable housing agreement.

§ 9-5.3502 DENSITY BONUS PROVISIONS

(F) The applicant shall enter into an agreement with the city to ensure the continued affordability of all affordable units or the continued reservation of such units for qualifying senior citizens. Prior to receiving a building permit for any project that receives a density bonus or any incentive, concession, waiver, or reduction of development standards pursuant to this section, such agreement shall be recorded as a covenant against the property.

Special Condition 1 requires the applicant to enter into an Affordable Housing Agreement prior to the issuance of any permits.

SP-1 Affordable Housing Agreement. Pursuant to Antioch Municipal Code Section 9-5.3502 (F), the applicant shall enter into a regulatory agreement with the City of Antioch guaranteeing that four (4) units on site will be affordable to very low income households, consistent with the Density Bonus application request. The City Council shall approve the Affordable Housing Agreement prior to issuance of any demolition, grading or building permit.

Housing Element Opportunity Site

As part of the City of Antioch's fifth cycle housing element adopted on April 14, 2015 the subject property was designated as an opportunity site and rezoned to High Density Residential (R-25) to allow multi-family development up to 25 units per acre. The City of Antioch had proposed to rezone the site to High Density Residential (R-35) for the sixth cycle housing element that was recently adopted on January 24, 2023. However, during the public review of the draft housing element the current development was application was received. The site was then no longer proposed to be rezoned as part of the housing element but it was included in the Housing Sites Inventory as a pending project.

Use Permit

A Use Permit is required for the establishment of a Multi-Family Residential development with a density greater than 20 dwelling units per acre pursuant to Antioch Municipal Code (AMC) section 9-5.3803 Table of Land Use Regulations.

AMC section 9-5.2701(D) states that use permits are required of "use classifications that have unusual site development features or operating characteristics requiring special consideration so that they may be designed, located, and operated compatibly with uses on adjoining properties and in the surrounding area."

Architecture

Pursuant to Section 9-5.2607 of the Antioch Municipal Code (AMC), all new development within the City is subject to Design Review approval. The purpose of the Design Review process is to promote the orderly development of the City, encourage high quality site design and planning, protect the stability of land values and investments, and ensure consistency with the Citywide Design Guidelines.

The architectural style is rectilinear volumes with a mix of hardiboard, horizontal siding and stucco in muted earth tone colors with grey, black and green colored metal highlights. The façade is articulated by changes in plane with balcony and shade element projections. These features extend the full height of the building. The roof parapet is varied in height and there are sloped roof projections at the balcony areas.

Signage & Landscaping

The proposed landscaping is located primarily around the perimeter site with a 15-foot landscaping setback along Wilbur Avenue. The conceptual planting plan includes a variety of drought tolerant trees, shrubs and ground cover that meet the City of Antioch standards.

The proposed project signage includes an entry monument located near the driveway on Wilbur Avenue. The sign is approximately 6 feet high with a recessed stucco face, horizontal lap siding and matte black metal letters. Further along the driveway, there is a directory sign. Each building has attached signs, approximately two feet by two feet, which identify the building name as well as the unit numbers within. All of the proposed signs are architecturally compatible with the building design.

Site Plan & Circulation

The project site is accessed via a right-in/right-out driveway on Wilbur Avenue. The proposed project will include two apartment buildings oriented in a U-shape around central courtyards. The north court has accent paving, an outdoor dining area with a barbecue, a lawn with natural seating, an outdoor lounge with a fire pit, meditation garden, and a bicycle repair station. The south court has accent paving, an outdoor lounge with a fire pit, lawn area, an open patio area, a community garden area, natural tot lot, and bicycle repair station. There is additional landscaping along the street frontage, side property lines and the large bio-retention area at the rear of the property. Staff has added a condition of approval that the proposed "natural tot lot" be modified to a more traditional playground for children.

The trash receptacles for the property are located in the interior of the building and will be accessed via a drive aisle located between the two buildings. The project was routed to Republic Services to review the location of the trash receptacles and they deemed it acceptable.

Environmental Analysis

This proposed project is Categorically Exempt from the California Environmental Quality Act (CEQA) under Article 19, Section 15332 Infill Development. Class 32 consists of projects characterized as in-fill development meeting the following conditions:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- (c) The project site has no value, as habitat for endangered, rare or threatened species.
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- (e) The site can be adequately served by all required utilities and public services.

The subject site is 2.86 acres and is surrounded by existing utilities, public services and urban uses.

Development Engineering Review

The Development Engineering Division reviewed the proposed plans for compliance with Code and local requirements. Conditions of Approval were provided to staff and are attached to the report.

Contra Costa County Fire District Review

The Contra Costa Fire Department reviewed the proposed plans for compliance with Code and local requirements. Conditions of Approval were provided to staff and are attached to the report.

ATTACHMENTS

- A. Resolution approving Density Bonus, Use Permit and Design Review with Exhibit A Conditions of Approval
- B. Project Description
- C. Project Application
- D. Project Plans
- E. Multi-Family Development Standards Analysis
- F. CCCFD Comment Letter
- G. FY 2022 Home Rent Maximums

ATTACHMENT A
RESOLUTION APPROVING DENSITY BONUS, USE PERMIT & DESIGN REVIEW
FOR 810 WILBUR "DELTA COURTYARD APARTMENTS"
WITH EXHIBIT A CONDITIONS OF APPROVAL
(UP-22-14, AR-22-14)
(SEPARATE PAGE)

**PLANNING COMMISSION
RESOLUTION # 2023-xx**

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ANTIOCH
APPROVING THE USE PERMIT, DESIGN REVIEW AND DENSITY BONUS FOR THE DELTA
COURTYARD APARTMENTS PROJECT
(UP-22-14, AR-22-14)
(APN: 065-110-006)**

WHEREAS, the City of Antioch (“City”) received an application from 810 Wilbur Associates, LLC for approval of Use Permit, Design Review and Density Bonus for the development of a 74-unit apartment complex and associated site improvements at 810 Wilbur Avenue (UP-22-14, AR-22-14) (APN 065-110-006);

WHEREAS, the application was deemed complete on October 11, 2022;

WHEREAS, the project is Categorically Exempt from CEQA pursuant to Article 19, Section 15332 Infill Development. Class 32 consists of projects characterized as in-fill development;

WHEREAS, the Planning Commission held a public hearing and considered all public comments received, the presentation by City staff, the staff report, and all other pertinent documents regarding the proposed request; and

WHEREAS, on February 3, 2023 a public hearing notice was published in the East County Times and posted in three public places pursuant to California Government Code Section 65090 on for the public hearing held on February 15, 2023.

NOW, THEREFORE, BE IT RESOLVED AND DETERMINED, that the Planning Commission hereby make the following findings for approval of the requested Use Permit pursuant to Section 9-5.2703 “Required Findings” (B) (1) (a-e) of the Antioch Municipal Code:

- a. That the granting of such use permit will not be detrimental to the public health or welfare or injurious to the property or improvements in such zone or vicinity.

Finding: The Use Permit to exceed 20 units per acre will not be detrimental to the public health or welfare or injurious to the property or improvements in the vicinity, in that the project meets the City of Antioch objective design standards and is adequately served by public utilities.

- b. That the use applied at the location indicated is properly one for which a use permit is authorized.

Finding: The City of Antioch Municipal Code requires that development exceeding 20 units per acre requires a Use Permit for up to 25 units per acre. The Zoning and General Plan designations for the project site are for high density residential development. In addition, State law notes that the applicability of the requested Density Bonus does not require the need for a Rezone or General Plan Amendment.

- c. That the site for the proposed use is adequate in size and shape to accommodate such use, and all yards, fences, parking, loading, landscaping, and other features required.

Finding: The proposed 74-unit apartment complex is located on a 2.86-acre site. The proposed development complies with all standards identified in the Municipal Code, and state mandated parking maximums. The proposed use is consistent with the type and intensity of development anticipated for the site.

- d. That the site abuts streets and highways adequate in width and pavement type to carry the kind of traffic generated by the proposed use.

Finding: The project site is accessed by Wilbur Avenue, which is designated an arterial in the City's Circulation Element of the General Plan. Wilbur Avenue is adequate in width and pavement type to carry the kind of traffic generated by the proposed use.

- e. That the granting of such use permit will not adversely affect the comprehensive General Plan because the proposed uses and design are consistent with the General Plan.

Finding: The General Plan designation for the project site is High Density Residential. The proposed apartment complex is consistent with the designation and with the surrounding uses and will not adversely affect the comprehensive General Plan. In addition, the site is identified as an opportunity site in the City's Housing Element.

NOW THEREFORE BE IT FURTHER RESOLVED that the Planning Commission hereby approve the Use Permit, Design Review and Density Bonus for the 74-unit Delta Courtyard Apartments project (UP-22-14, AR-22-14) subject to the Findings and Exhibit A Conditions of Approval.

* * * * *

I HEREBY CERTIFY that the foregoing resolution was adopted by the Planning Commission of the City of Antioch at a regular meeting thereof held on the 15th day of February, 2023, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

FORREST EBBS
Secretary to the Planning Commission

EXHIBIT A
CONDITIONS OF APPROVAL
(SEPARATE PAGE)

EXHIBIT A: CONDITIONS OF APPROVAL, Delta Courtyard Apartments, 810 Wilbur Avenue (UP-22-14, AR-22-14)
DRAFT

General Conditions		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification</u> (date and Signature)
1.	Project Approval. This Design Review, Density Bonus, and Use Permit approval is for 810 Wilbur Avenue (APN 065-110-006) as substantially shown and described on the project plans, except as required to be modified by conditions herein. Plans date received September 20, 2022, as presented to the Planning Commission on February 15, 2023 (“Approval Date.”). For any condition herein that requires preparation of a Final Plan where the project applicant has submitted a conceptual plan, the project applicant shall submit final plan(s) in substantial conformance with the conceptual plan, but incorporate the modifications required by the conditions herein for approval by the City.	City of Antioch	On-Going	Planning Department	
2.	Project Approval Expiration. This User Permit, Design Review and Density Bonus approval expires on February 15, 2025 (two years from the date on which this approval becomes effective) or at an alternate time specified as a condition of approval, unless a building permit has been issued and construction diligently pursued. The approval may be renewed by the Zoning Administrator for a period up to an additional two (2) years, provided that, at least ten (10) days before expiration an application for renewal of the approval is filed with the Community Development Department. The Zoning Administrator may grant a renewal of an approval where there is no change in the original application, or there is no request to change any condition of approval for up to two additional years from the expiration date.	City of Antioch	On-Going	Planning Department	

EXHIBIT A: CONDITIONS OF APPROVAL

3.	<p>City Fees. The applicant shall pay any and all City and other related fees applicable to the property, as may be modified by conditions herein. Fees shall be based on the current fee structure in effect at the time the relevant permits are secured and shall be paid before issuance of said permit or before any City Council final action approval. Notice shall be taken specifically of Plan Check, Engineering, Fire and Inspection Fees. The project applicant shall also reimburse the City for direct costs of planning; building and engineering plan check and inspection, as mutually agreed between the City and applicant.</p> <p><i>Discretionary or ministerial permits/approvals will not be considered if the developer is not current on fees, balances, and reimbursement that are outstanding and owed to the City.</i></p>	City of Antioch	On-Going	Community Development Department	
4.	<p>Pass-Through Fees. The developer shall pay all pass-through fees. Fees include but are not limited to:</p> <p>East Contra Costa Regional Fee and Financing Authority (ECCRFFA) Fee in effect at the time of building permit issuance.</p> <p>Contra Costa County Fire Protection District Fire Development Fee in place at the time of building permit issuance.</p> <p>Contra Costa County Map Maintenance Fee in affect at the time of recordation of the final map(s).</p> <p>Contra Costa County Flood Control District Drainage Area fee.</p> <p>School Impact Fees.</p> <p>Delta Diablo Sanitation Sewer Fees.</p> <p>Contra Costa Water District Fees.</p>	City of Antioch	On-Going	Community Development Department	
5.	<p>Appeals. Pursuant to Section 9-5.2509 of the Antioch Municipal Code, any decision made by the Planning Commission which would otherwise constitute final approval or denial may be appealed to the City Council. Such appeal shall be in writing and shall be filed with the City Clerk within five (5) working days after the decision. All appeals to the City Council from the Planning Commission shall be accompanied by a filing fee established by a resolution of the City Clerk.</p>	City of Antioch	Within 5 Days of Planning Commission Action	Planning Department	

EXHIBIT A: CONDITIONS OF APPROVAL

6.	Requirement for Building Permit. Approval granted by the Planning Commission does not constitute a building permit or authorization to begin any construction or on-site demolition. An appropriate permit issued by the Community Development Department must be obtained before constructing, enlarging, moving, converting, or demolishing any building or structure within the city.	City of Antioch	On-Going	Building Department	
7.	Modifications to Approved Plans. The project shall be constructed as approved and with any additional changes required pursuant to the Zoning Administrator or Planning Commission Conditions of Approval. Planning staff may approve minor modifications in the project design, but not the permitted land uses. A change requiring discretionary approval and any other changes deemed appropriate by the Planning staff shall require further Planning Commission approval through the discretionary review process.	City of Antioch	On-Going	Planning Department	
8.	Hold Harmless Agreement/Indemnification. The applicant (including any agent thereof) shall defend, indemnify, and hold harmless, the City of Antioch and its agents, and employees, from any claim, action, or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul the City's approval concerning this application. The city will promptly notify the applicant of any such claim action or proceeding and cooperate fully in the defense.	City of Antioch	On-Going	Planning Department	

EXHIBIT A: CONDITIONS OF APPROVAL

	Public Works Standard Conditions	<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
9.	City Standards. All proposed improvements shall be constructed to City standards or as otherwise approved by the City Engineer in writing.	City of Antioch	On-Going	Public Works Department	
10.	Utility Construction. Relocation of Public utilities and construction of new private utilities shall be constructed to their ultimate size and configuration within the existing parcel boundary of APN 065-110-006-7 as shown on these preliminary entitlement plan documents submitted to the City for review by the developer.	City of Antioch	On-Going	Public Works Department	
11.	Utility Mapping. Prior to acceptance of public utilities, the developer shall provide GPS coordinates of all below ground and above ground utilities. This includes all Water Distribution Utility features, sewer collection Utility features, Storm Water Utility features, and inverts associated with these features. Developer shall also include GPS coordinates of metal subdivision entryway signs, street signs, light poles, and irrigation controllers. These GPS coordinates must be taken on a survey-grade sub-meter GPS data receiver/collector and provided in GIS shapefile format using the NAVD 88 (with conversion information).	City of Antioch	Prior to Acceptance of Public Utilities	Public Works Department	
12.	Sewer. All sewage shall flow by gravity to the intersecting street sewer main located in North Lake Drive. The sewer connection shall be to a concrete manhole installed in the paved street. Compliance to City standard plans and specifications shall be required on all utility connections to the City sewer system. Proper backfill, compaction and road repair shall also be in accordance with City specifications and standard plans.	City of Antioch	On-Going	Public Works Department	

EXHIBIT A: CONDITIONS OF APPROVAL

13.	<p>Storm Drain Design/Construction. The developer shall design, and construct storm drain facilities (bioretention and pipelines) to adequately collect and convey stormwater entering or originating within the development to the nearest adequate man-made drainage facility located in North Lake Drive without diversion of the watershed.</p> <p>a. All private utilities, including storm drainpipes and ditches, shall be installed through-out the site low spots and landscape areas surrounding building, parking areas, driveways and sidewalks. Per City requirements drainage pipes should be installed in the sidewalk or curbs or made to flow under the sidewalk or curbs so not to cause a slippery hazardous condition in wet conditions. All proposed drainage facilities, including open ditches, drainage swales in parking lots shall be constructed of Portland Concrete Cement or as approved by the City Engineer.</p> <p>b. Storm drain system shall flow to the Bioretention Basins shown on the site plan with no diversion out of existing watershed(s).</p> <p>c. The Bioretention basin and associated improvements shall be constructed and operational prior to issuance of 1st occupancy permit of the residential apartment complex.</p> <p>d. The Bioretention basin shall be designed to the satisfaction of the City Engineer with an emergency overflow inlet acting as a spillway to provide controlled overflow relief for large storm events. A maintenance vehicle access from the parking lot of the bottom of the bason shall be 15' wide and constructed of 2" thick of ¾" -1" gravel at not to exceed grade of 20% so the basin can be periodically cleaned of silt and debris when</p>	City of Antioch	At the Time of Building Permit Submittal	Public Works Department	
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EXHIBIT A: CONDITIONS OF APPROVAL

	basin becomes full of material and does not function properly. An Operations and Maintenance Manual shall be submitted for the basin prior to the issuance of the first building permit.				
14.	Water Pressure. The developer shall provide adequate water pressure and volume for fire flow and domestic use to serve this development. This will include a minimum residual pressure of 20 psi with all losses included at the highest sprinkler unit in the of Building and a minimum static pressure of 20 psi at the water service or as approved by the City Engineer. See Fire Requirements for additional water flow conditions.	City of Antioch	On-Going	Public Works Department	
15.	Requirement for a looped Water Main System shall be waived if the developer can prove by sprinkler / water line calculations and analysis by a state approved sprinkler contractor or registered civil engineer that the proposed single line water main through the project can adequately provide enough pressure and fireflow to the building fire sprinkler system to meet minimum flow of 1000 gpm at 20 psi pressure requirements and supply minimum flow of 1500 gpm to the furthest fire hydrant from the public main. If minimum fire flow and pressure requirements for the building sprinkler system and minimum flow and pressure requirements to the farthest fire hydrant cannot be meet, the water system shall be designed as a looped private water main distribution system with the same above requirements. All the proposed fire hydrants shall be connected to this on-site private water line and all fire hydrants shall be privately maintained and connected to double detector check valve assembly per city requirements as approved by the City Engineer. The developer shall be responsible for installing this private water line from the public water main in the street to site and installing the required double detector check valve assembly and 2 water meters (domestic & Irrigation) at no cost to the City in accordance with City standards and City requirements.	City of Antioch	On-Going	Public Works Department	

EXHIBIT A: CONDITIONS OF APPROVAL

16.	<p>Hydrology Analysis. The developer shall submit hydrology and hydraulic analyses and report of the storm drainage system as part of the storm water control plans. The analysis shall demonstrate adequacy of the in-tract drainage system, bioretention basin and have no impacts of flooding the downstream drainage system. The analysis shall be reviewed and approved by Contra Costa County Flood Control and the City of Antioch Engineering Division.</p>	City of Antioch	At the time of Building Permit Submittal	Public Works Department	
17.	<p>Retaining Walls</p> <ol style="list-style-type: none"> 1. Public Right of Way. Retaining walls shall not be constructed in City right-of-way or other City maintained parcels unless otherwise approved by the City Engineer. 2. Materials. All retaining walls shall be of concrete masonry unit construction. 3. Height. All retaining walls shall be reduced in height to the maximum extent practicable and the walls shall meet the height requirements in the front yard setback and sight distance triangles as required by the City Engineer. 4. There shall be a 1.7' wide concrete lined drainage ditch for catching and removing surface drainage from the retaining slope behind the wall. 5. The 2:1 slope above the retaining wall shall be landscaped with trees, ground cover, grass or erosion control vegetation as shown on the preliminary landscape plans. 	City of Antioch	On-Going	Public Works Department	

EXHIBIT A: CONDITIONS OF APPROVAL

	Conservation/NPDES	<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
18.	C.3 Compliance. Per State Regulations, all impervious surfaces including off-site roadways to be constructed as part of the project are subject to C.3 requirements.	State of California	On-Going	Public Works Department	
19.	<p>NPDES. The project shall comply with all Federal, State, and City regulations for the National Pollution Discharge Elimination System (NPDES) (AMC§6-9). (Note: Per State Regulations, NPDES Requirements are those in affect at the time of the Final Discretionary Approval.)</p> <p>Under NPDES regulations, the project is subject to provision C.3: "New development and redevelopment regulations for storm water treatment."</p> <p>a. Requirements. Provision C.3 requires that the project include storm water treatment and source control measures, as well run-off flow controls so that post-project runoff does not exceed estimated pre-project runoff.</p> <p>b. Storm Water Control Plan. C.3 regulations require the submittal of a Storm Water Control Plan (SWCP) that demonstrate plan compliance. The SWCP shall be submitted to the Building Division for Engineering Division review concurrent with site improvement plans.</p> <p>c. Operation and Maintenance Plan. For the treatment and flow-controls identified in the approved SWCP, a separate Operation and Maintenance Plan (O&M) shall be submitted to the Building Department at the time of permit submittal.</p>	Federal Government	At the Time of Building Permit Submittal	Public Works	
20.	NPDES Plan Submittal Requirements. The following requirements of the federally mandated NPDES program (National Pollutant	Federal Government	At the Time of Building Permit Submittal	Public Works	

EXHIBIT A: CONDITIONS OF APPROVAL

	<p>Discharge Elimination System) shall be complied with as appropriate, or as required by the City Engineer:</p> <p>a. Application. Prior to issuance of permits for building, site improvements, or landscaping, the developer shall submit a permit application consistent with the developer’s approved Storm Water Control Plan, and include drawings and specifications necessary for construction of site design features, measures to limit directly connected impervious areas, pervious pavements, self-retaining areas, treatment BMPs, permanent source control BMPs, and other features that control storm water flow and potential storm water pollutants.</p> <p>b. Certified Professional. The Storm Water Control Plan shall be certified by a registered civil engineer, or by a registered architect or landscape architect as applicable. Professionals certifying the Storm Water Control Plan shall be registered in the State of California on design of treatment measures for water quality, not more than three years prior to the signature date by an organization with storm water treatment measure design expertise (e.g., a university, American Society of Civil Engineers, American Society of Landscape Architects, American Public Works Association, or the California Water Environment Association), and verify understanding of groundwater protection principles applicable to the project site (see Provision C.3.i of Regional Water Quality Control Board Order R2 2003 0022).</p> <p>c. Final Operation & Maintenance Plan. Prior to building permit final and issuance of a Certificate of Occupancy, the developer shall submit, for review and approval by the City, a final Storm Water BMP Operation and Maintenance Plan in accordance with City of Antioch guidelines. This O&M plan shall incorporate City comments on the draft O&M plan and any revisions</p>				
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EXHIBIT A: CONDITIONS OF APPROVAL

	<p>resulting from changes made during construction. The O&M plan shall be incorporated into the CC&Rs for the Project.</p> <p>d. Long Term Management. Prior to building permit final and issuance of a Certificate of Occupancy, the developer shall execute and record any agreements identified in the Storm Water Control Plan which pertain to the transfer of ownership and/or long-term maintenance of storm water treatment or hydrograph modification BMPs.</p> <p>e. Design Details.</p> <p>i. Prevent site drainage from draining across public sidewalks and driveways in a concentrated manner by installing drain pipes within or under the sidewalks per city details.</p> <p>ii. Install on all catch basins “No Dumping, Drains to River” decal buttons in curb at all new curb inlets.</p> <p>f. Hydrology Calculations. Collect and convey all storm water entering, and/or originating from, the site to an adequate downstream drainage facility without diversion of the watershed. Submit hydrologic and hydraulic calculations with the Improvement Plans to the City Engineering Department for review and approval and to Contra Costa County Flood Control District.</p> <p>g. Regional Water Quality Control. Prior to issuance of the grading permit, submit proof of filing of a Notice of Intent (NOI) by providing the unique Waste Discharge Identification Number (WDID#) issued from the Regional Water Quality Control Board.</p> <p>h. SWPP. Submit a copy of the Storm Water Pollution Prevention Plan (SWPPP) for review to the Engineering Department prior to</p>				
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EXHIBIT A: CONDITIONS OF APPROVAL

	<p>issuance of a building and/or grading permit. The general contractor and all subcontractors and suppliers of materials and equipment shall implement these BMP's. Construction site cleanup and control of construction debris shall also be addressed in this program. Failure to comply with the approved construction BMP may result in the issuance of correction notices, citations, or a project stop work order.</p> <p>i. BMP. Install appropriate clean water devices at all private storm drain locations immediately prior to entering the public storm drain system and Implement Best Management Practices (BMP's) at all times to the project.</p> <p>j. Erosion Control. Include erosion control/storm water quality measures in the grading plan that specifically address measures to prevent soil, dirt, and debris from entering the storm drain system. Such measures may include, but are not limited to, hydro seeding, gravel bags and siltation fences or other measures that are subject to review and approval of the City Engineer. A grading plan will be required with the necessary erosion control/storm water quality measures shall be shown on the site plan submitted for an on-site permit, subject to review and approval of the City Engineer. The developer shall be responsible for ensuring that all contractors and subcontractors are aware of and implement such measures.</p> <p>k. On-Going Maintenance.</p> <p>i. Sweep or vacuum the parking lot(s) a minimum of once a month and prevent the accumulation of silt, litter and debris on the site. Corners and hard to reach areas shall be swept manually.</p>				
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EXHIBIT A: CONDITIONS OF APPROVAL

	<p>ii. If sidewalks are pressure washed, debris shall be trapped and collected to prevent entry into the storm drain system. No cleaning agent may be discharged into the storm drain. If any cleaning agent or degreaser is used, wash water shall be collected and discharged to the sanitary sewer, subject to the approval of the sanitary sewer District.</p> <p>iii. Ensure that the area surrounding the project such as the streets stay free and clear of construction debris such as silt, dirt, dust, and tracked mud coming in from the project construction. Areas that are exposed for extended periods shall be watered regularly to reduce wind erosion. Paved areas and access roads shall be swept on a regular basis. All loads in dump trucks shall be covered per City requirements.</p> <p>iv. Clean all on-site storm drain facilities a minimum of twice a year, once immediately prior to October 15 and once in January. Additional cleaning may be required if found necessary by City Inspectors and/or City Engineer.</p> <p><i>Additional information regarding the project SWCP is necessary and modifications to the SWCP shown on the proposed Vesting Tentative Map may be required in order to comply with C.3 regulations.</i></p>				
	Fire Standards	<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
21.	All requirements of the Contra Costa County Fire Protection District shall be met including those in the letter dated November 4, 2022 and included as Attachment F to the staff report.	Contra Costa Fire Protection District	On-Going	Contra Costa Fire Protection District	

EXHIBIT A: CONDITIONS OF APPROVAL

	Building Permit Submittal	<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
22.	Requirement for Phasing Plan. The project shall be built continuously in one phase. If the project will become a phased project, then the developer shall provide a phasing plan to the Community Development Department and Engineering Department for review and approval. The developer shall install proper erosion control measures on any vacant land area so future building site complies with state and local NPDES requirements.	City of Antioch	At the time of Building Permit Submittal	Community Development Department	
23.	Final Landscape Plans. The applicant shall submit final landscape plans that identify specific plant materials to be used, including all trees, shrubs and groundcover, providing both common and botanical names, sizes and quantities at the time of building permit submittal.	City of Antioch	At the time of Building Permit Submittal	Building Department	
24.	Water Efficient Landscape Ordinance. Landscaping for the project shall be designed to comply with the applicable requirements of City of Antioch Ordinance No. 2162-C-S The State Model Water Efficient Landscape Ordinance (MWELo). The applicant shall demonstrate compliance with the applicable requirements of the MWELo in the landscape and irrigation plans submitted to the City.	City of Antioch	At the time of Building Permit Submittal	Community Development Department	
25.	Common Area Landscaping. Landscaping on all slopes, medians, C.3 basins and open space areas shall be approved by the City Engineer and shall be installed at the applicant's expense.	City of Antioch	At the time of Building Permit Submittal	Public Works Department	

EXHIBIT A: CONDITIONS OF APPROVAL

26.	Property Drainage. The site buildings shall contain rain gutters and downspouts that direct water away from the foundation towards the closest drainage inlet of the site in accordance with the international building code and as approved by the City Engineer.	City of Antioch	At the Time of Building Permit Submittal	Public Works Department	
27.	Utility Location on Private Property. All existing improvements that are disturbed shall be relocated within (water meters, sewer cleanouts, etc.) the immediate area of site as defined by the preliminary utility plans and approved by the City Engineer.	City of Antioch	At the Time of Building Permit Submittal	Public Works Department	

EXHIBIT A: CONDITIONS OF APPROVAL

Grading Improvements		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification</u> (date and Signature)
28.	Requirement for Grading Permit. A grading permit will be required and issued prior to commencement of any grading operations. The permit shall be obtained through the City's Building Department subject to review and approval by the City Engineer. The submitted plans shall incorporate any modifications required by the Conditions of Approval.	City of Antioch	At the time of Building Permit Submittal	Public Works	
29.	Soils. Prior to the approval of the grading plan(s), the City Engineer shall determine if a soils engineer is required to review the building permit plan set submitted for this project. If deemed necessary by the City Engineer, field inspections by such professionals will be required to verify compliance with the approved plans. Costs for these consulting services shall be incurred by the developer.	City of Antioch	At the time of Building Permit Submittal	Public Works	
30.	Off-Site Grading. All off-site grading is subject to the coordination and approval of the affected property owners and the City Engineer. The developer shall submit written authorization to "access, enter, and/or grade" adjacent properties prior to issuance of permit and performing any work.	City of Antioch	At the time of Building Permit Submittal	Public Works	
31.	Grading Easements. Any sale of a portion (or portions) of this project to another developer shall include the necessary CCR's , and/or grading easements to assure that project-wide grading conforms to the approved development conditions of approval.	City of Antioch	At the time of Building Permit Submittal	Public Works	

EXHIBIT A: CONDITIONS OF APPROVAL

At the Time of Building Permit Issuance		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification</u> (date and Signature)
32.	Sewer System Requirements. The sewer system for the subject site shall be designed in accordance with City standard plans and requirements to the satisfaction of the City Engineer prior to issuance of building permit.	City of Antioch	At the time of Building Permit Issuance	Building Department	
33.	Demolition Permit. Site demolition shall not occur until construction permits are issued for the development project. All demolition shall be in accordance with permits issued by the City and Bay Area Air Quality Management District (BAAQMD).	City of Antioch	At the time of Building Permit Issuance	Community Development Department	
34.	Encroachment Permit. The applicant shall obtain an encroachment permit from the Engineering Division before commencing any construction activities within any public right-of-way or easement.	City of Antioch	At the time of Building Permit Issuance	Community Development Department	

EXHIBIT A: CONDITIONS OF APPROVAL

At the Time of Construction		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification</u> (date and Signature)
35.	Collection of Construction Debris. During construction the Developer shall place on site a Waste Management dumpster or other container to gather all construction debris on a regular basis and place them in a Waste Management dumpster or other container that is emptied on a regular basis consistent with the Construction and Demolition Debris Ordinance. When appropriate, use tarps on the ground to collect fallen debris or splatters that could contribute to stormwater pollution.	City of Antioch	On-Going	Building Department	
36.	Construction Hours. Construction activity shall be as outlined in in the Antioch Municipal Code. Construction activity is limited to 8:00 AM to 5:00 PM Monday-Friday or as approved in writing by the City Manager. Requests for alternative construction hours shall be submitted in writing to the City Engineer. days/times restricted to the hours of 8:00 a.m. to 6:00 p.m.	City of Antioch	On-Going	Building Department/ Public Works Department	
37.	Demolition, Debris, Recycling. The project shall be in compliance with and supply all the necessary documentation for Antioch Municipal Code § 6-3.2: Construction and Demolition Debris Recycling.	City of Antioch	On-Going	Building Department/ Public Works Department	

EXHIBIT A: CONDITIONS OF APPROVAL

38	<p>Filter Materials at Storm Drain Inlet. Install filter materials (such as sandbags, filter fabric, etc.) at the storm drain inlet nearest the downstream side of the project site prior to:</p> <ul style="list-style-type: none"> a) start of the rainy season (October 1). b) site dewatering activities. c) street washing activities. d) saw cutting asphalt or concrete; and e) order to retain any debris or dirt flowing into the city storm drain system. <p>Filter materials shall be maintained and/or replaced as necessary to ensure effectiveness and prevent street flooding and erosion of soil on City streets and storm drain system. Dispose of used filter particles in the trash or at local approved landfill facility.</p>	City of Antioch	On-Going	Building Department	
39.	<p>Archeological Remains. In the event subsurface archeological remains are discovered during any construction or preconstruction activities on the site, all land alteration work within 100 feet of the find shall be halted, the Community Development Department notified, and a professional archeologist, certified by the Society of California Archeology and/or the Society of Professional Archeology, shall be notified. Site work in this area shall not occur until the archeologist has had an opportunity to evaluate the significance of the find and to outline appropriate mitigation measures, if deemed necessary. If prehistoric archeological deposits are discovered during development of the site, local Native American organizations shall be consulted and involved in making resource management decisions.</p>	City of Antioch	On-Going	Community Development Department	

EXHIBIT A: CONDITIONS OF APPROVAL

		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
40.	Erosion Control Measures. The grading operation shall take place at a time, and in a manner, so as not to allow erosion and sedimentation. The slopes shall be landscaped and reseeded as soon as possible after the grading operation ceases. Erosion measures shall be implemented during all construction phases in accordance with an approved erosion and sedimentation control plan.	City of Antioch	On-Going	Community Development Department	
41.	Dust Control. Standard dust control methods and designs shall be used to stabilize the dust generated by construction activities. The developer shall post dust control signage with a contact number of the developer, City staff, and the air quality control board.	City of Antioch	On-Going	Community Development Department	
42.	Debris Removal. The site shall be kept clean of all debris (boxes, junk, garbage, etc.) at all times.	City of Antioch	On-Going	Community Development Department	
	Prior to Issuance of Occupancy Permit	<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
43.	Planning Inspection. Planning staff shall conduct a site visit to review exterior building elevations for architectural consistency with the approved plans and landscape installation (if required). All exterior finishing details including window trim, paint, gutters, downspouts, decking, guardrails, and driveway installation shall be in place prior to scheduling the final inspection.	City of Antioch	Prior to Occupancy Permit	Planning Department	

EXHIBIT A: CONDITIONS OF APPROVAL

44.	Debris Removal. All mud, dirt or construction debris shall be carried off the construction site and shall be removed prior to scheduling the final Planning inspection. No materials shall be discharged onto a sidewalk, street, gutter, storm drain or creek.	City of Antioch	Prior to Occupancy Permit	Building Department	
45.	Fire Prevention. A final Fire inspection shall occur to inspect all fire prevention systems constructed as part of the project. Inspections shall occur prior to final occupancy permit issuance.	Contra Costa County Fire Protection District	Prior to Occupancy Permit	Fire Department	
46.	Damage to Street Improvements. Any damage to existing street and site improvements during construction or adjacent property improvements in the immediate area of the impacts of the project, shall be repaired and/or rebuilt to the satisfaction of the City Engineer at the full expense of the developer. This shall include sidewalks, asphalt and concrete pavement, slurry seal existing AC pavements, parking lot curb and gutter, landscaping, street reconstruction along the project frontage, as may be required by the City Engineer to make the developed area looking new.	City of Antioch	Prior to Occupancy Permit	Building Department	
47.	Right-of-Way Construction Standards. All improvements within the public right-of-way, including curb, gutter, sidewalks, driveways, paving and utilities, shall be constructed in accordance with approved standards and/or plans and shall comply with the standard plans and specification of the City Engineer.	City of Antioch	Prior to Occupancy Permit	Public Works	

EXHIBIT A: CONDITIONS OF APPROVAL

	Special Conditions of Approval	<u>Regulation Source</u>	<u>Timing/ Implementa tion</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
SP-1	Affordable Housing Agreement. Pursuant to Antioch Municipal Code Section 9-5.3502 (F), the applicant shall enter into a regulatory agreement with the City of Antioch guaranteeing that four (4) units on site will be affordable to very low-income households, consistent with the Density Bonus application request. The City Council shall approve the Affordable Housing Agreement prior to issuance of any demolition, grading or building permit.	City of Antioch	At the time of Building Permit Issuance	Planning Division	
SP-2	Trash Enclosure. Dumpsters shall be stored as shown on the project plans. Dumpster pick-up areas shall be identified on the site so the area is reserved for trash truck pickup. The trash collection area shall be kept clean at all times with the signs specifying when trash collection will occur in these designated areas of the site.	City of Antioch	Prior to Occupancy Permit	Planning Division	
SP-3	Tot Lot. The proposed tot lot shall be graded at a flat 1%-3% maximum grade and normal children play equipment (slide, swings, climbing apparatus, teeter-totter, etc) installed similar to what would be found in a small tot lot in a public park. The area shall have a rubber mats, typical playground floor covering made of similar materials found at City parks in accordance with City park playground standards. A 6 ' high screen wall shall placed between the play area and the parking lot to shield it from view. The wall shall be architecturally compatible with the building architecture.	City of Antioch	Prior to Occupancy Permit	Planning Division	

EXHIBIT A: CONDITIONS OF APPROVAL

SP-4	Trash Receptacles. City Park type of trash receptables shall be placed in all barbeques and table eating areas of the site where food would be prepared, eaten and cooked. A trash receptacle shall also be placed in close proximity to the garden area of the site so gardeners can dispose of weeds and excess harvest materials left over from gardening. The barbeque and garden areas shall be kept clean at all times by site maintenance crews.	City of Antioch	Prior to Occupancy Permit	Planning Division	
SP-5	Existing utility easements vacated and new PUE's. The topography survey of the project identifies an existing 15' wide and 20' wide utility easement across the entire parcel (APN 065-244-028) site shall be vacated. A new 5' wide public utility easement (PUE) shall be established over the new underground dry utilities along Wilbur Avenue and under the existing overhead lines and new underground utilities that are to be constructed. If warranted, a new PUE shall be established on site over all new utility lines to be installed from the public right way to the various buildings.	City of Antioch	Prior to Occupancy Permit	Public Works	
SP-6	Pre-Construction Meeting. The developer shall hold a pre-construction meeting at the City offices of the construction of the project, During such pre-construction meeting the developer shall inform the city the construction schedule of the project, provide the listed below items, approximate area of disturbance, time frames he will need inspections, hours of work, construction detours, flagging etc., The developer shall provide the adjacent businesses and adjacent residents to the construction notice of construction flyer 48 hours prior to start of construction of the following: Address of Work Start Date of Work End Date of Work Hours of Work Type of Work Contact Person Company Name Telephone	City of Antioch	Prior to issuance of building permit	Public Works	

EXHIBIT A: CONDITIONS OF APPROVAL

SP-7	Double Detector Check Valve Assembly. The developer shall install the required sprinkler Double Detector Check Valve assembly in an enclosed area screened by landscaping or small 3.5' high masonry walls or placed within the building or in a underground vault so it is not visible from public view.	City of Antioch	Prior to Occupancy Permit	Public Works	
SP-8	25' driveway entrance on Wilbur Ave. The developer shall construct a 25' wide concrete driveway on Wilbur Avenue in accordance with the approved site plan and City standard plans and specifications to the satisfaction of the City Engineer. This driveway shall drain to the public street and shall have vertical curb on each side of the pavement.	City of Antioch	Prior to Occupancy Permit	Public Works	
SP-9	Police Services CFD. The applicant shall annex into the existing Community Facilities District (CFD) 2018-02 (Police Protection).	City of Antioch	Prior to Occupancy Permit	Public Works	
SP-10	Fire Services CFD. The applicant shall annex into CFD 2022-1 (Antioch Fire Protection and Emergency Response Services). This CFD is administered by the Contra Costa County Fire Protection District. To comply with this condition, the applicant must provide the City proof of annexation by furnishing a copy of the resolution passed by the County Board of Supervisors	City of Antioch	Prior to Occupancy Permit	Public Works	
SP-11	Public Services CFD. The applicant shall annex into the existing CFD 2002-01 (Public Services).	City of Antioch	Prior to Occupancy Permit	Public Works	

**ATTACHMENT B
PROJECT DESCRIPTION
(SEPARATE PAGE)**

6/13/2022

Delta Courtyard Apartments – 810 Wilbur Ave.

Project Description

The project, Delta Courtyard Apartments, located at 810 Wilbur Ave., is a two-building courtyard-style apartment complex with 74 dwelling units. The unit breakdown has thirty-four (34) 1-bedroom units, twenty-two (22) 2-bedroom units, and eighteen (18) 3-bedroom units. The buildings are mirror images of each other, 3 stories at 40ft high.

The architectural style is rectilinear volumes with a mix of hardiboard, horizontal siding and stucco in muted earth tone colors with grey, black, and green colored metal highlights. The façade is articulated by changes in plan with balcony and shade element projections. These features extend the full height of the building. The roof parapet is varied in height and there are sloped roof projections at the balcony areas.


The buildings are oriented in a U-shape around central courtyards. The north court has accent paving, an outdoor dining area with bbq, a lawn with natural seating, an outdoor lounge with a fire pit, meditation garden, and a bicycle repair station. The south court has accent paving, an outdoor lounge with a fire pit, a lawn area, an open patio area, a community garden area, a tot lot, and a bicycle repair station. There is further landscaping along the street frontage, along the side property lines, and the large bio-retention area at the rear of the property.

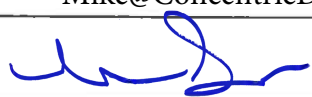
The site is 2.86 acres. The project is in the R-25 High Density Residential zone with a base density of 71.5 dwelling units. The project proposes 4 Very-Low-Income units, 5.6% of base density, which provides a 20% density bonus that allows up to 85 units. The project proposes 74 dwelling units. Per the density bonus parking count, 94 parking stalls are required. The project proposes 124 parking stalls with a mix of garage parking, carports, and uncovered parking.

**ATTACHMENT C
PROJECT APPLICATION
(SEPARATE PAGE)**

CITY OF ANTIOCH
DEVELOPMENT APPLICATION

Site Location	810 WILBUR AVE.
Assessor's Parcel No. (s)	065-110-006
Total Acreage	2.86
Brief Description of Request: USE PERMIT FOR 2 BUILDING APARTMENT COMPLEX WITH 74 RESIDENTIAL UNITS.	

PROPERTY OWNER OF RECORD	
Name	810 Wilbur Associates LLC
Company Name	810 Wilbur Associates LLC
Address	1470 Civic Court, Suite 340 Concord, CA 94520
Phone #	925-389-1675
Email	Mike@ConcentricDG.com
Signature	

APPLICANT	
Name	Michael Serpa
Company Name	810 Wilbur Associates LLC
Address	1470 Civic Court, Suite 340 Concord, CA 94520
Phone #	925-389-1675
Email	Mike@ConcentricDG.com
Signature	

PLEASE SIGN AND RETURN WITH YOUR APPLICATION

STATEMENT OF UNDERSTANDING

In signing this Statement of Understanding in conjunction with the attached application to the City of Antioch, Department of Community Development for Project:

DELTA COURTYARD APARTMENTS - 810 WILBUR AVE.

I understand that charges for materials and staff time spent processing this application will be billed monthly and is based on an hourly rate as identified in the current fiscal year fee schedule. Application processing includes but is not limited to plan checking and processing, meetings, phone calls, research, email, and staff report preparation. Further, I understand that my initial deposit is not a fee and actual charges may be in excess of the deposit. The deposit will be returned to me at the conclusion of the process after all invoices have been paid. If invoices are not paid on a monthly basis, processing will be terminated until all past due amounts have been paid. Failure to pay invoices on a monthly basis may also result in an application being deemed incomplete; postponement of hearings or meetings; and/or inability to obtain a building permit.

I assume full responsibility for all costs incurred by the City in processing this application.

Further, I understand that approval of my project is NOT guaranteed and may be denied. In the case of a denial, I understand that I am still responsible for all costs incurred by the City in processing this application.

I hereby authorize employees, officials and agents of the City of Antioch to enter upon the subject property, as necessary, to inspect the premises and process this application.

DATE: 6/20/2022

NAME: 810 Wilbur Associates LLC

SIGNATURE:  _____

.....

Property owner signature for authorization to enter property and process the application. This is required only if the applicant is not the property owner.

DATE: _____

NAME: _____

SIGNATURE: _____

**ATTACHMENT D
PROJECT PLANS
(SEPARATE PAGE)**

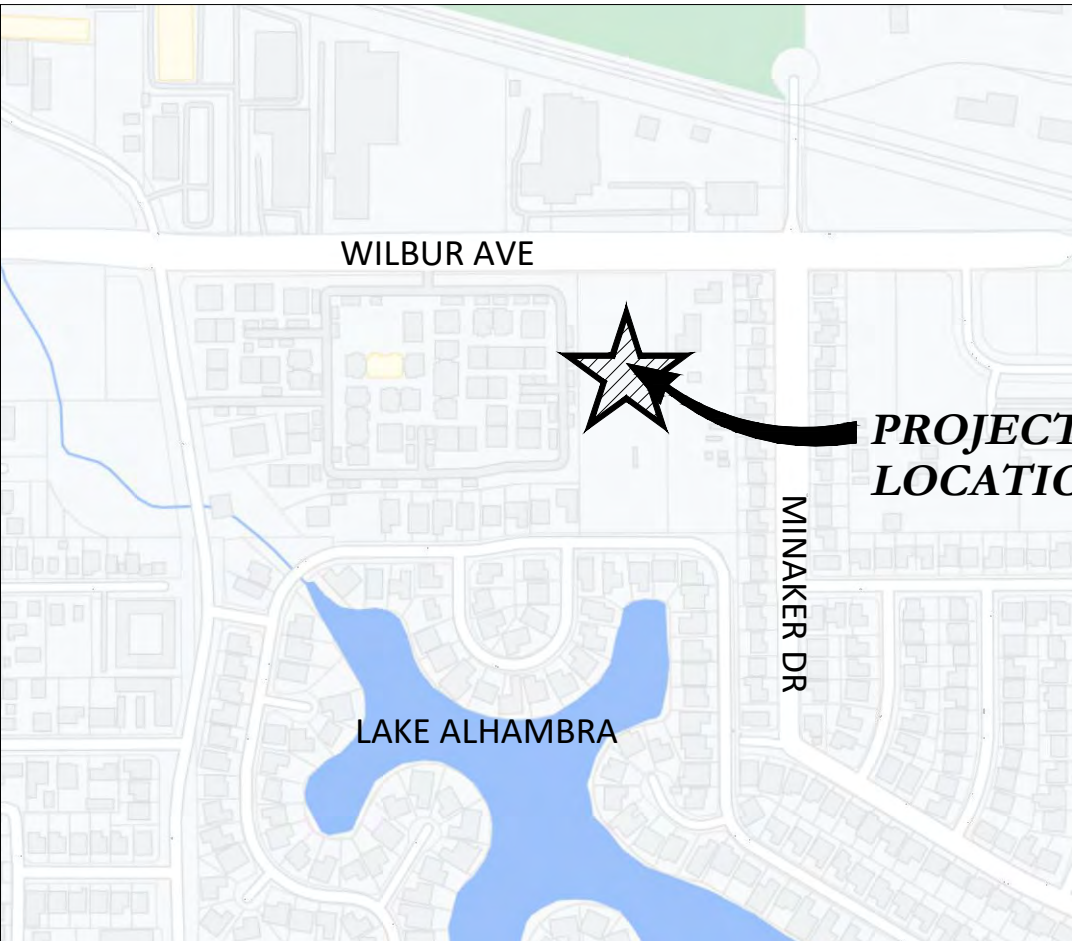


DELTA COURTYARD APARTMENTS

ANTIOCH, CA

VICINITY MAP

NOT TO SCALE



PROJECT DATA

SITE & PERMIT DATA:

APN:	065-110-006
ADDRESS:	810 WILBUR AVE.
PRIOR USE PERMIT:	UP-15-16
CURRENT CCCFD PERMIT:	P-2021-05550

SHEET INDEX

ARCHITECTURAL

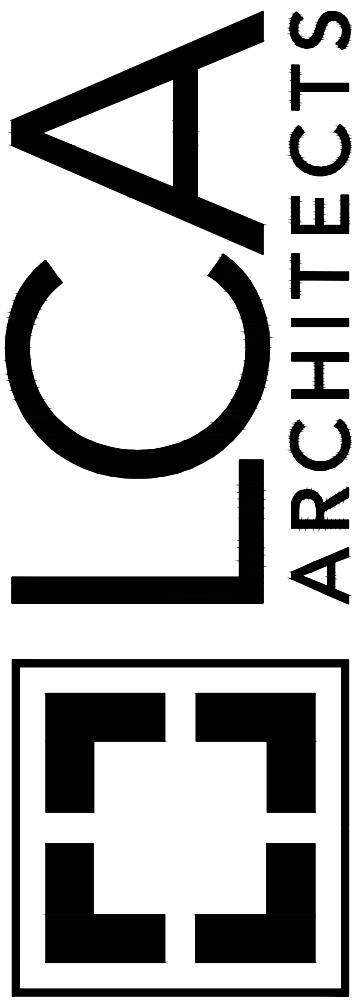
A0.1	COVER SHEET
A1.1	PROPOSED CONCEPTUAL PHASED SITE PLAN
A1.2	NOT USED
A1.3	EXISTING CONDITIONS AND PHOTOS
A2.1	TYPICAL UNIT PLANS
A3.1	TYPICAL LEVEL 1 FLOOR PLAN
A3.2	TYPICAL LEVEL 2 FLOOR PLAN
A3.3	TYPICAL LEVEL 3 FLOOR PLAN
A3.4	TYPICAL ROOF PLAN
A4.1	EXTERIOR ELEVATIONS
A4.2	EXTERIOR ELEVATIONS
A5.1	COLORS AND MATERIALS
A6.1	BUILDING SECTIONS
A6.2	SITE SECTIONS
A7.1	TYPICAL DETAILS
LT.1	PHOTOMETRIC AND LIGHTING PLAN

CIVIL ENGINEERING:

1	PRELIMINARY DESIGN PLANS TITLE SHEET
2	TOPOGRAPHIC SURVEY & DEMOLITION PLAN
3	SECTIONS & DETAILS
4	PRELIM. GRADING, DRAINAGE & UTILITY DESIGN
5	PRELIM. GRADING, DRAINAGE & UTILITY DESIGN
6	PRELIM. C.3 STORM WATER CONTROL PLAN
7	ENGINEERED CROSS-SECTIONS
8	TRUE CROSS-SECTIONS
9	TRAFFIC SIGNING AND STRIPING PLAN

LANDSCAPE ARCHITECTURE:

L-1	PLAN LIST, CHARACTER IMAGES, AND SHEET INDEX
L-2	PLANT PALETTE
L-3	OVERALL SITE, FENCING, & LIGHTING PLAN
L-4	NORTH COURT ENLARGEMENT
L-5	SOUTH COURT ENLARGEMENT
L-6	HYDROZONE PLAN



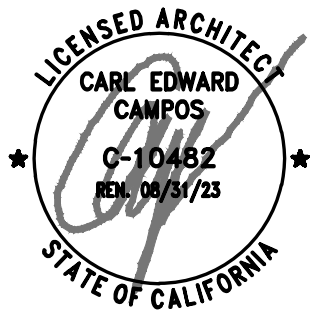
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1970 BROADWAY, SUITE 800
OAKLAND, CALIFORNIA 94612
(510) 272-1060

810 WILBUR
AVENUE APARTMENTS
ANTIOCH, CALIFORNIA



LCA ARCHITECTS

RESTRICTED ARCHITECTURAL DRAWINGS

THE INFORMATION, PLANS, DESIGNS, NOTES AND
ARRANGEMENTS SHOWN ON THIS DRAWING ARE
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FOR ACCURACY OF CONCEPTUAL INFORMATION
OR OF INFORMATION SUPPLIED BY OTHERS.

COVER SHEET

SCALE:

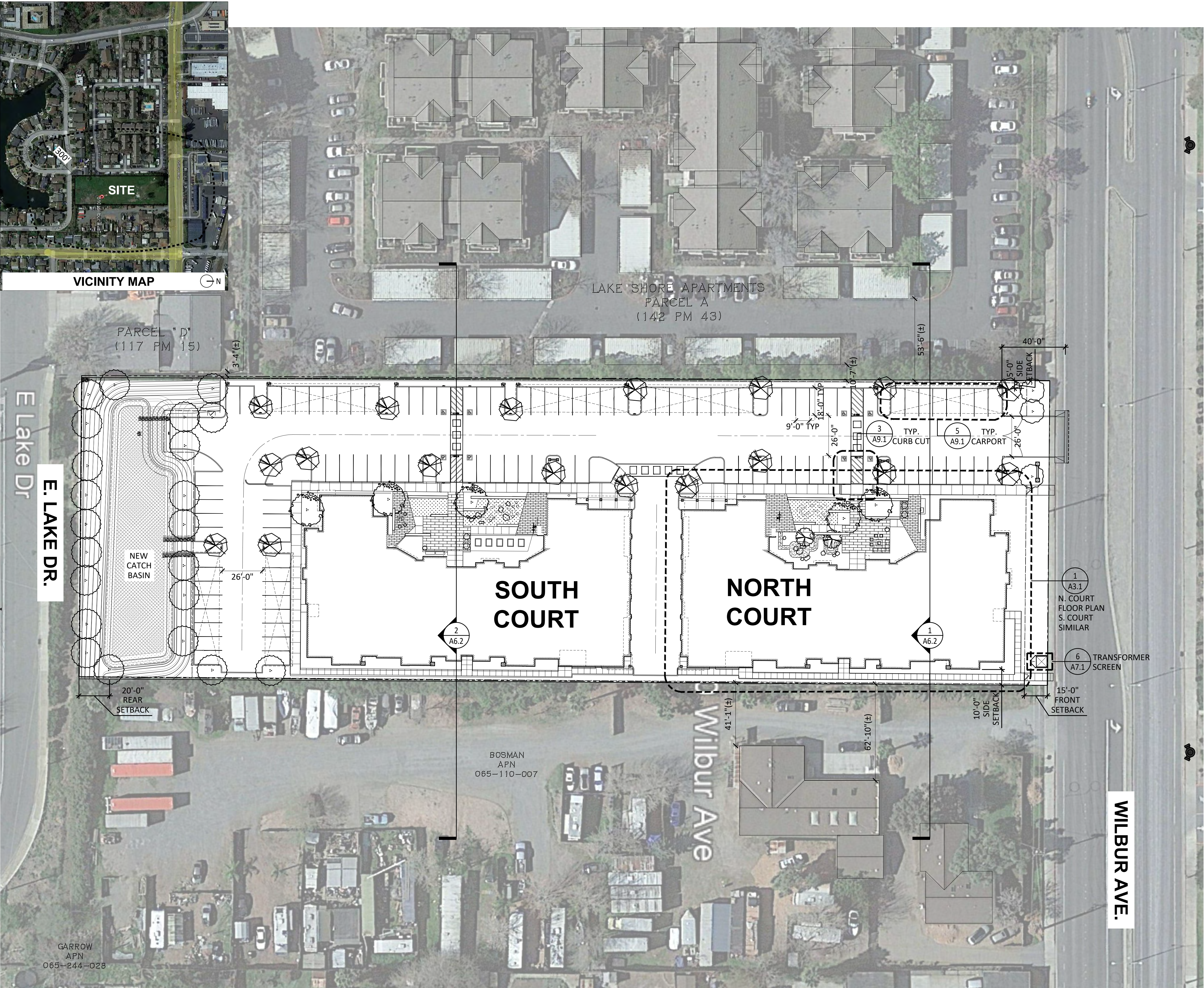
DATE: 9 / 19 / 2022

REVISIONS:

PROJECT NO.

A0.1

SHEET 99 OF



PROJECT DATA	
APN#	065110006
GENERAL PLAN:	HIGH DENSITY RESIDENTIAL
ZONING:	R-25
LOT AREA:	2.86 ACRES / 123,841 SF
LOT COVERAGE:	18,400 SF PER BUILDING = 36,800 SF (BUILDING FOOTPRINTS) + 7,512 (6 CARPORTS) = 44,312 SF $\frac{44,312}{123,841} = 36\% (50\% \text{ ALLOWED})$
LANDSCAPE AREA:	30,145 SF LANDSCAPING = 24% + 6,267 BIO-RETENTION = 36,412 = 29% (25% REQUIRED)
HEIGHT LIMIT:	40ft PROPOSED (45ft ALLOWED)

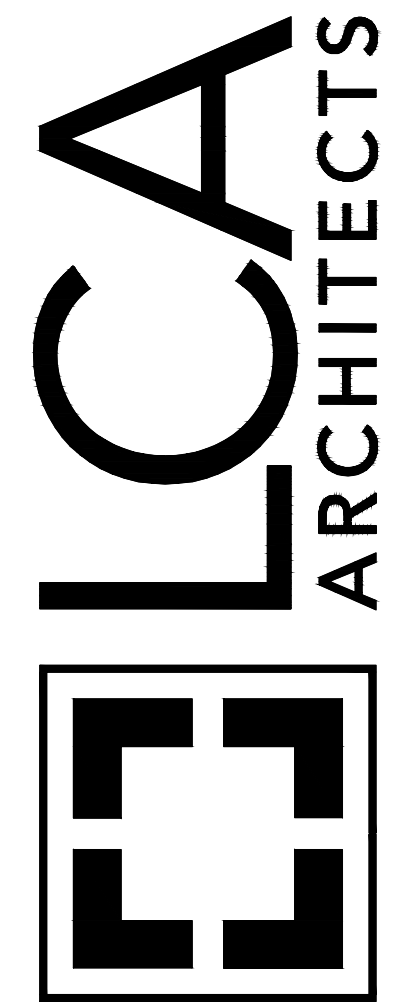
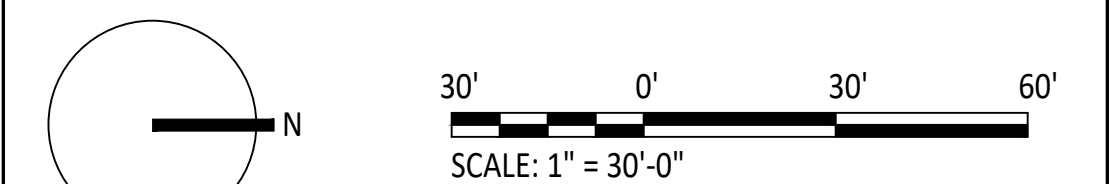
UNITS:	
UNIT MIX - TYPICAL BUILDING:	
(8) 1-BEDROOM - TYPE 1 UNITS	= 672 NET SF
(9) 1-BEDROOM - TYPE 2 UNITS	= 668 NET SF
(5) 2-BEDROOM - TYPE 1 UNITS	= 940 NET SF
(6) 2-BEDROOM - TYPE 2 UNITS	= 1,049 NET SF
(9) 3-BEDROOM - TYPE 1 UNITS	= 1,123 NET SF

(37) UNITS TOTAL PER BUILDING x 2 BUILDINGS =
74 UNITS TOTAL

PARKING:	
Base Density 2.86 acres x 25 du/ac = 71.5 dwelling units	
Affordable Units to be Provided 4 Very Low Income Units = 5.6% of base density	
Very Low Income Density Bonus 5.6% Affordable Unit Percentage provides a 20% Density Bonus (71.5 base density units + 14.3 bonus units = 85.8 units maximum)	
Total Units Proposed 74 Units	
Incentives/Concession %5 Very Low Income allows for (1) Incentive or Concession (To be determined)	
Density Bonus Parking Requirements	
1 Bedroom (1 space per unit)	= 34 units x 1 = 34 spaces
2 Bedroom (1.5 spaces per unit)	= 22 units x 1.5 = 33 spaces
3 Bedroom (1.5 spaces per unit)	= 18 x 1.5 = 27 spaces
	94 spaces total
Guest Parking (none required)	= 0 spaces
Total Parking Required	= 94 spaces
Total Parking Provided	= 124 spaces

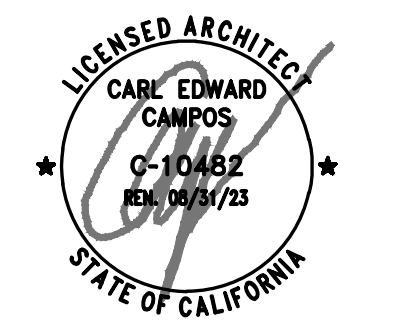
SITE INFORMATION:

SEE CIVIL DRAWINGS FOR FURTHER LOT INFORMATION INCLUDING EASEMENTS AND ADJACENT STREET INFORMATION.



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810 WILBUR AVENUE APARTMENTS
ANTIOCH, CALIFORNIA



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PROPOSED CONCEPTUAL SITE PLAN

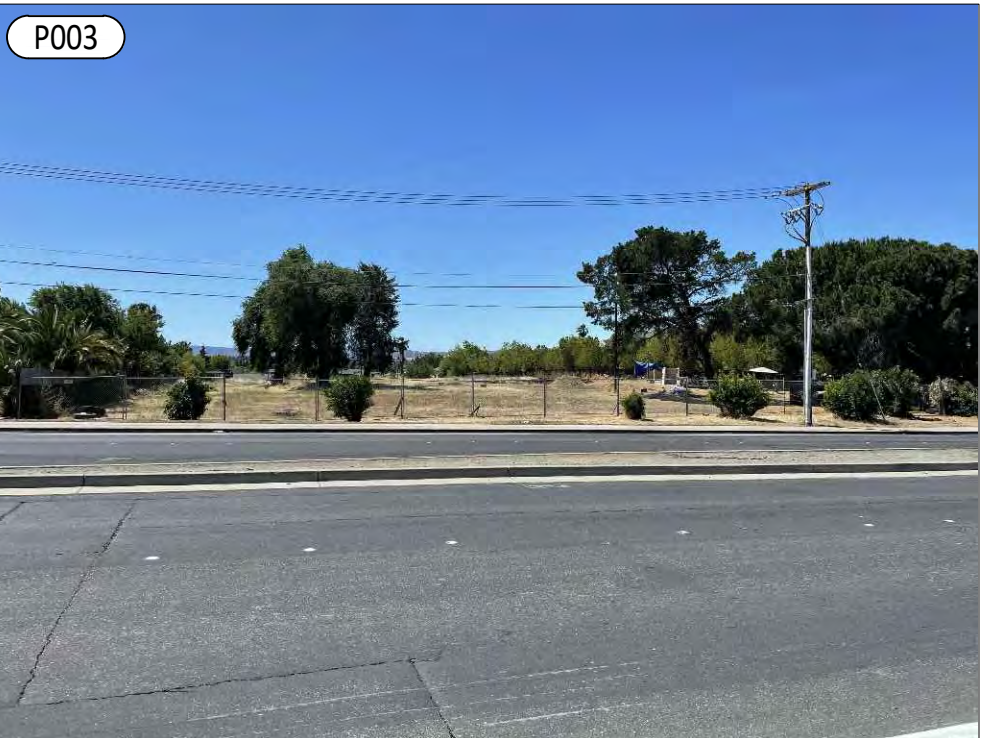
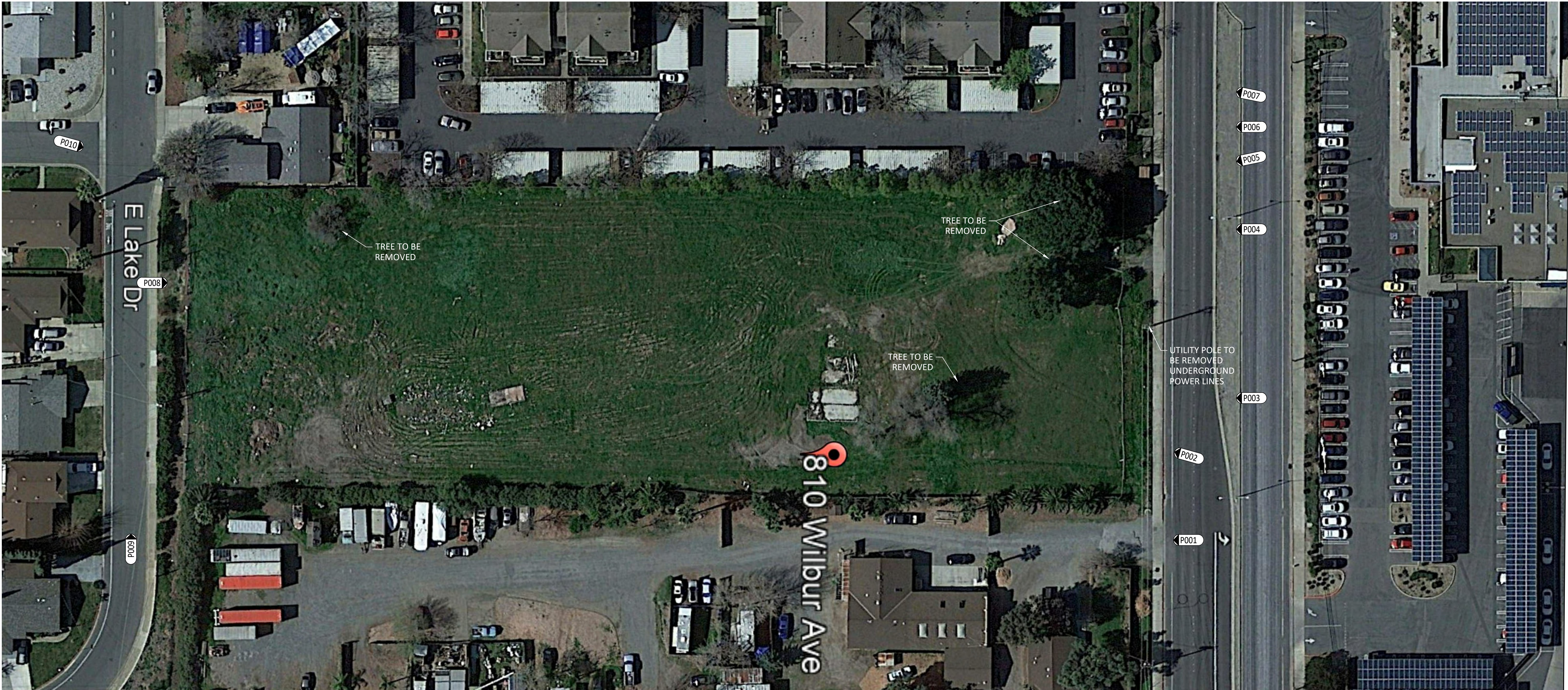
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DATE: 9 / 19 / 2022

REVISIONS:

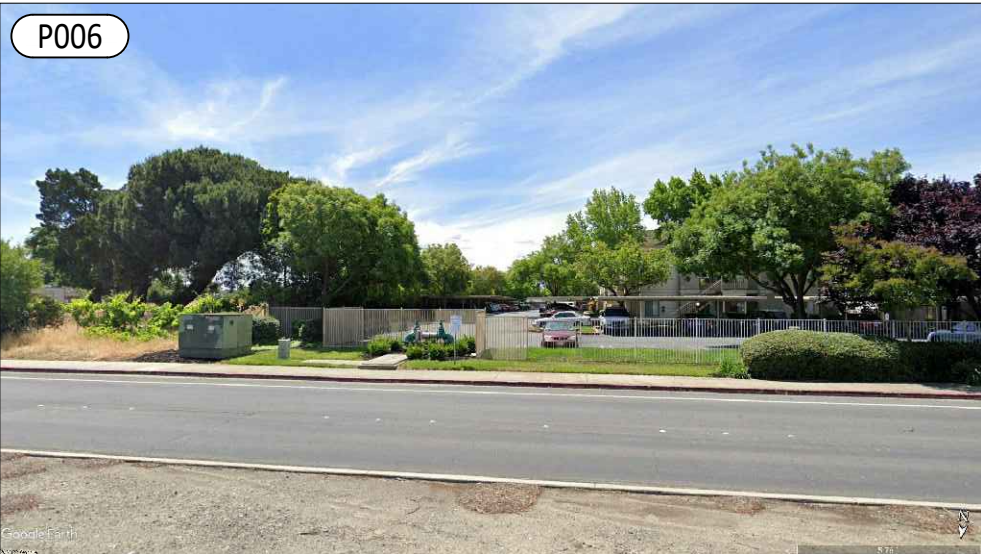
PROJECT NO.
A1.1
SHEET OF

1 PROPOSED CONCEPTUAL SITE PLAN

1" = 30'-0"



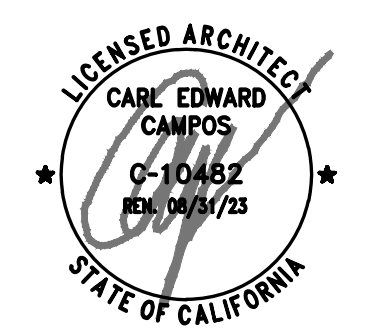
NOTE:
SEE ARBORIST REPORT



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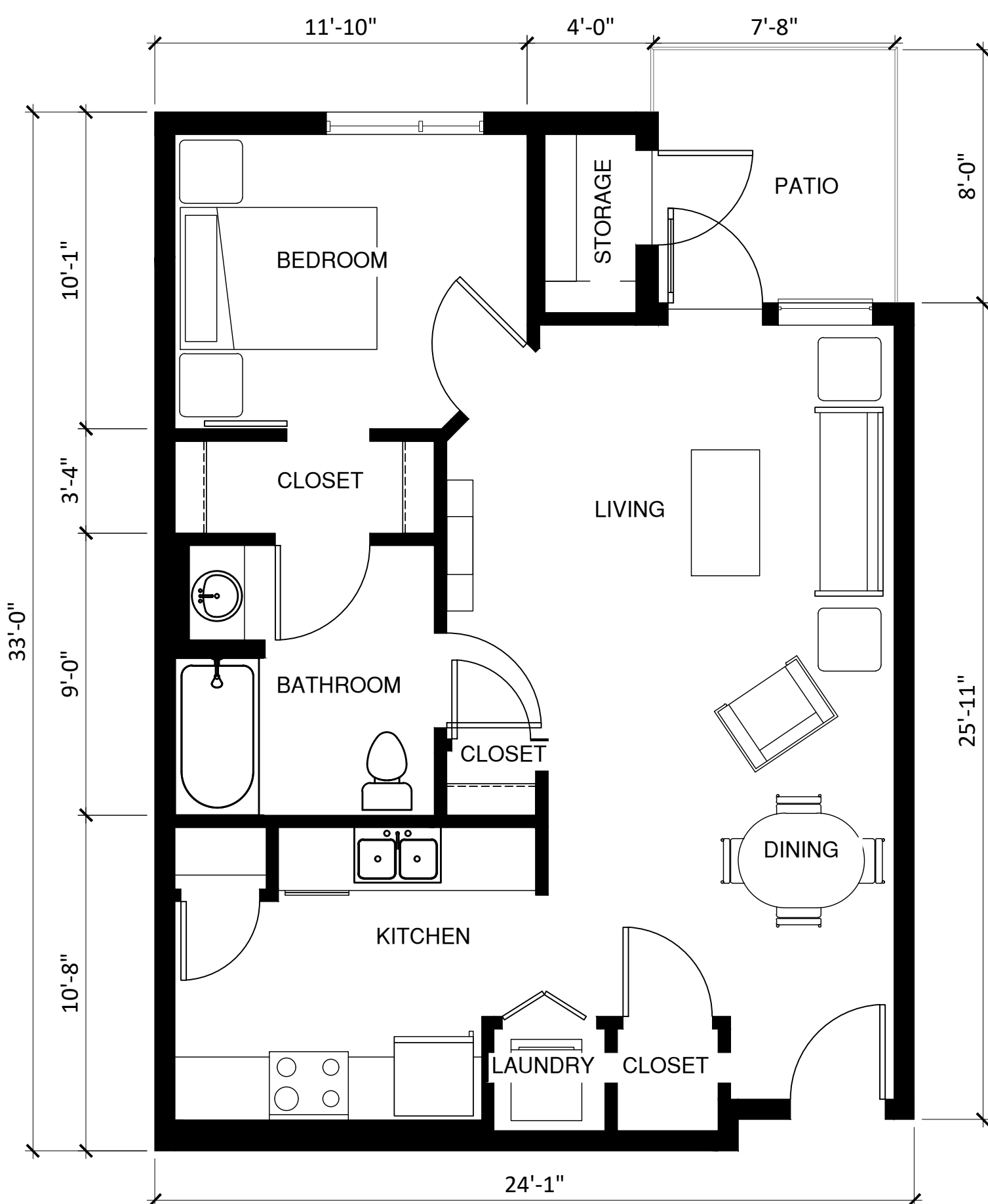
EXISTING CONDITIONS AND PHOTOS

SCALE: NOT TO SCALE
DATE: 9/19/2022

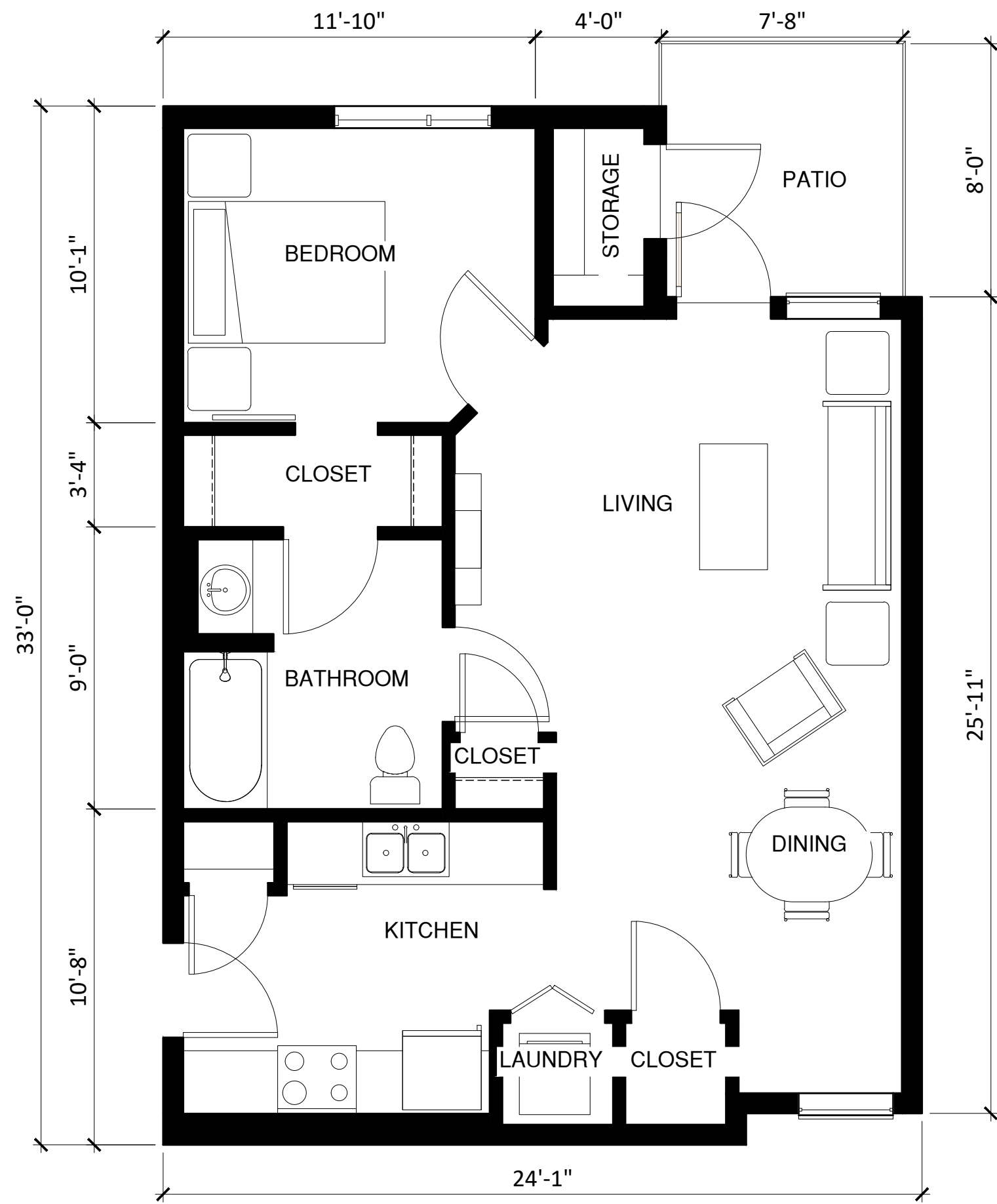
REVISIONS:

PROJECT NO.

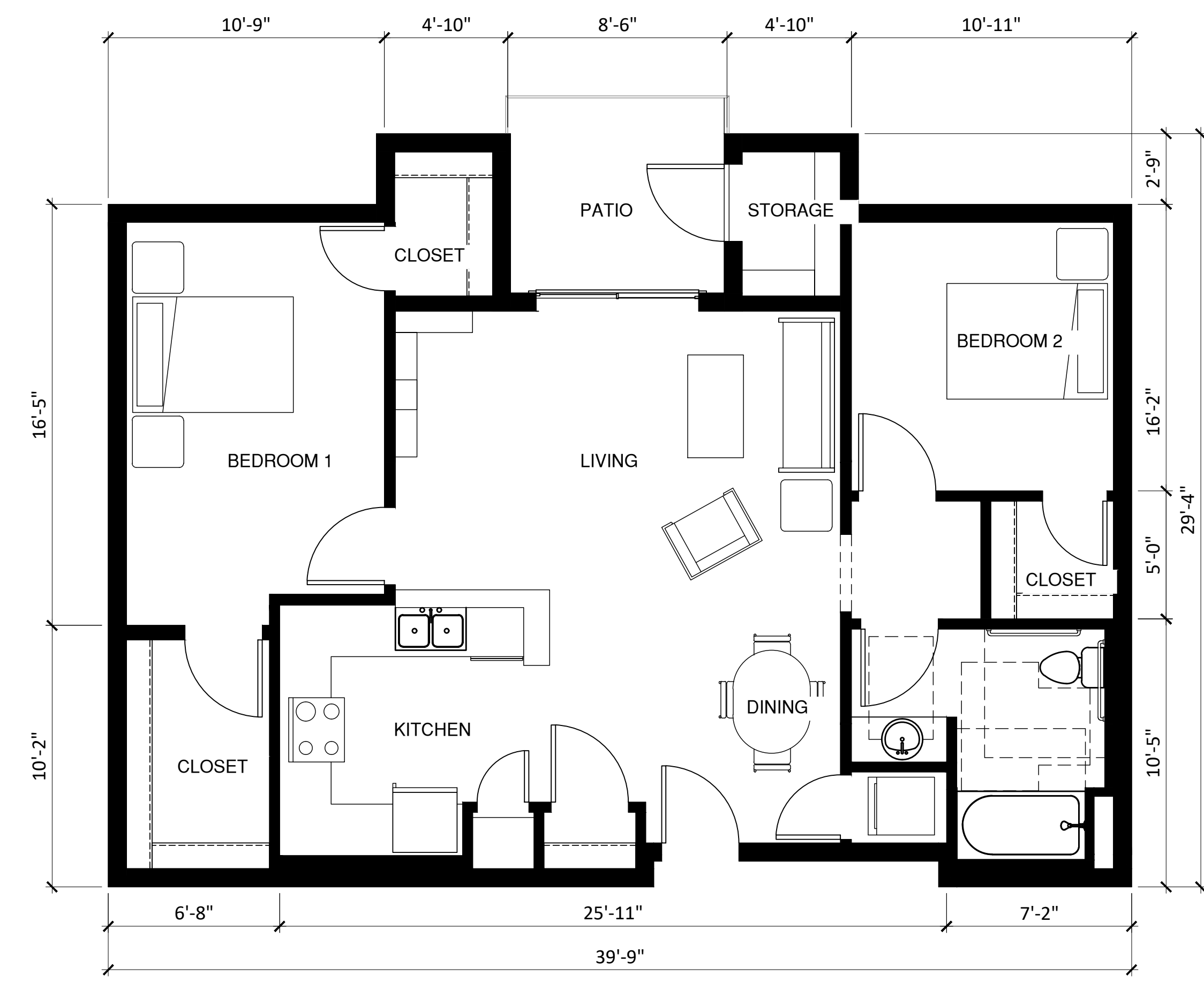
A1.3
SHEET9 OF



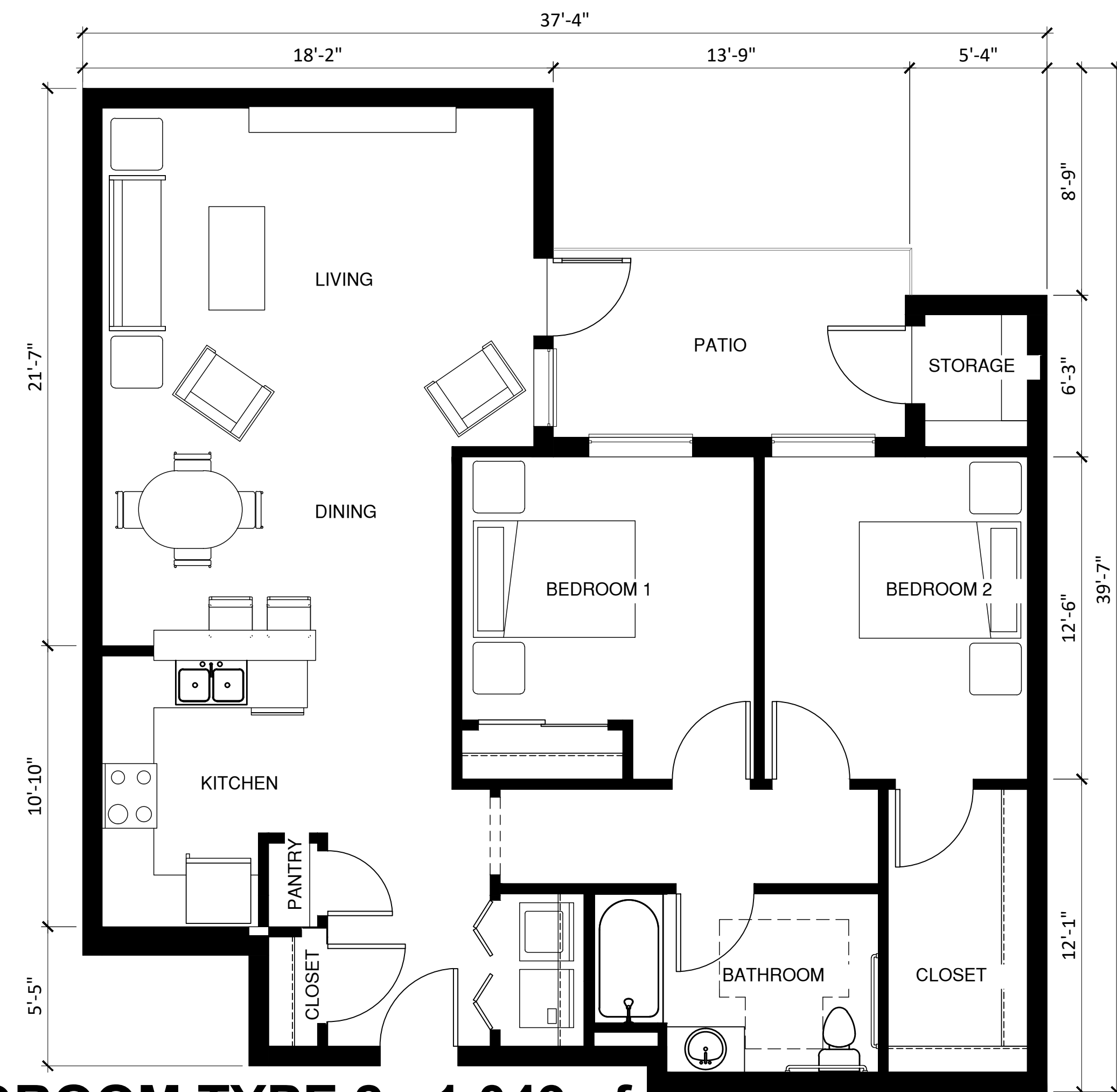
1 ONE BEDROOM TYPE 1 - 672 sf
1/4" = 1'-0"



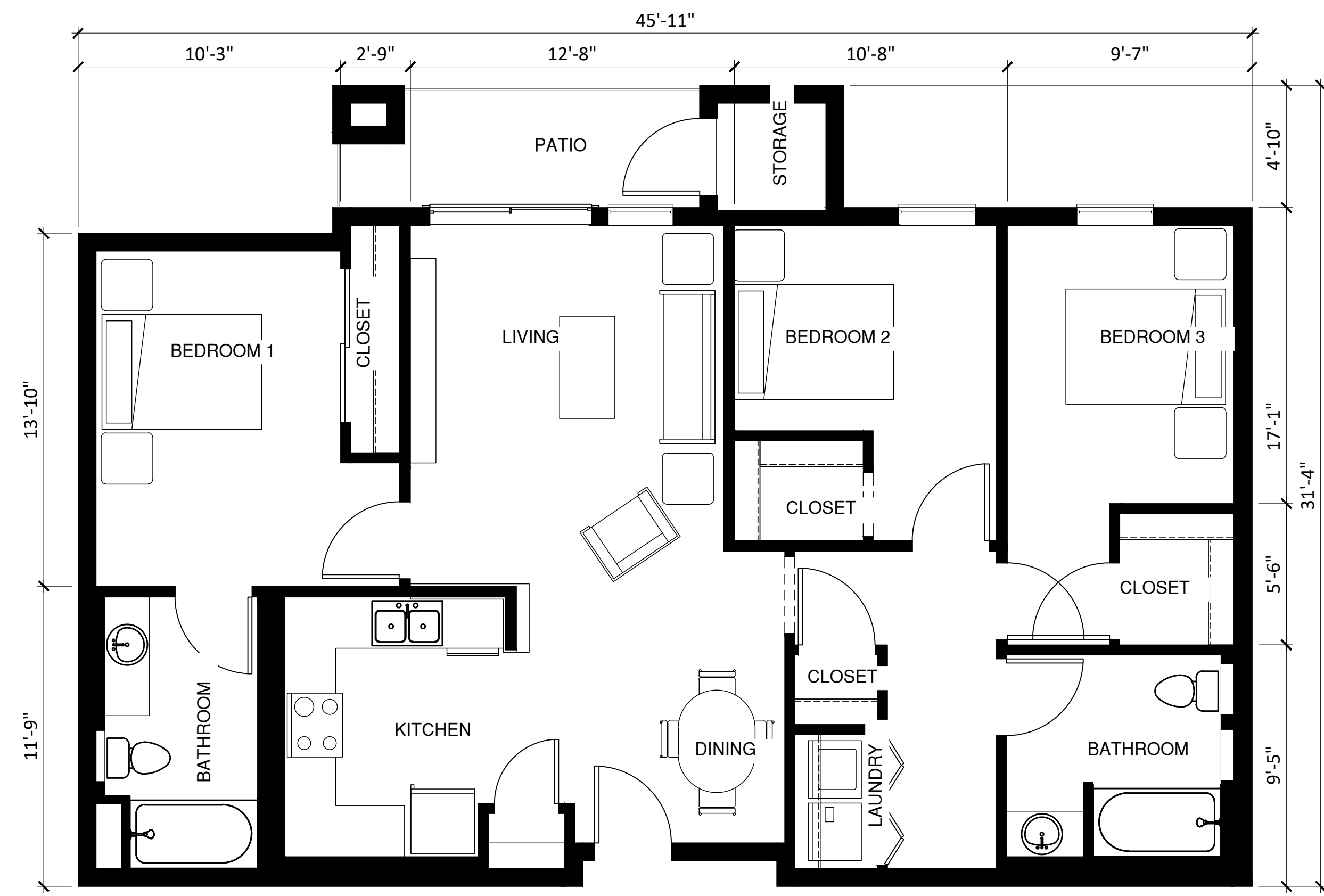
2 ONE BEDROOM TYPE 2 - 668 sf
1/4" = 1'-0"



3 TWO BEDROOM TYPE 1 - 940 sf
1/4" = 1'-0"



4 TWO BEDROOM TYPE 2 - 1,049 sf
1/4" = 1'-0"



5 THREE BEDROOM TYPE 1 - 1,123 sf
1/4" = 1'-0"

REFUSE CAPACITY:

CALCULATION: 1/4 CUBIC YARD PER 3 RESIDENTS

132 TOTAL BEDROOMS (BOTH BUILDINGS) X 2 = 264 OCCUPANTS

264/3 X (1/4) = 22 CUBIC YARDS / 2 = 11 CUBIC YARDS PER BUILDING

40-40-20 DIVISION GUIDE:

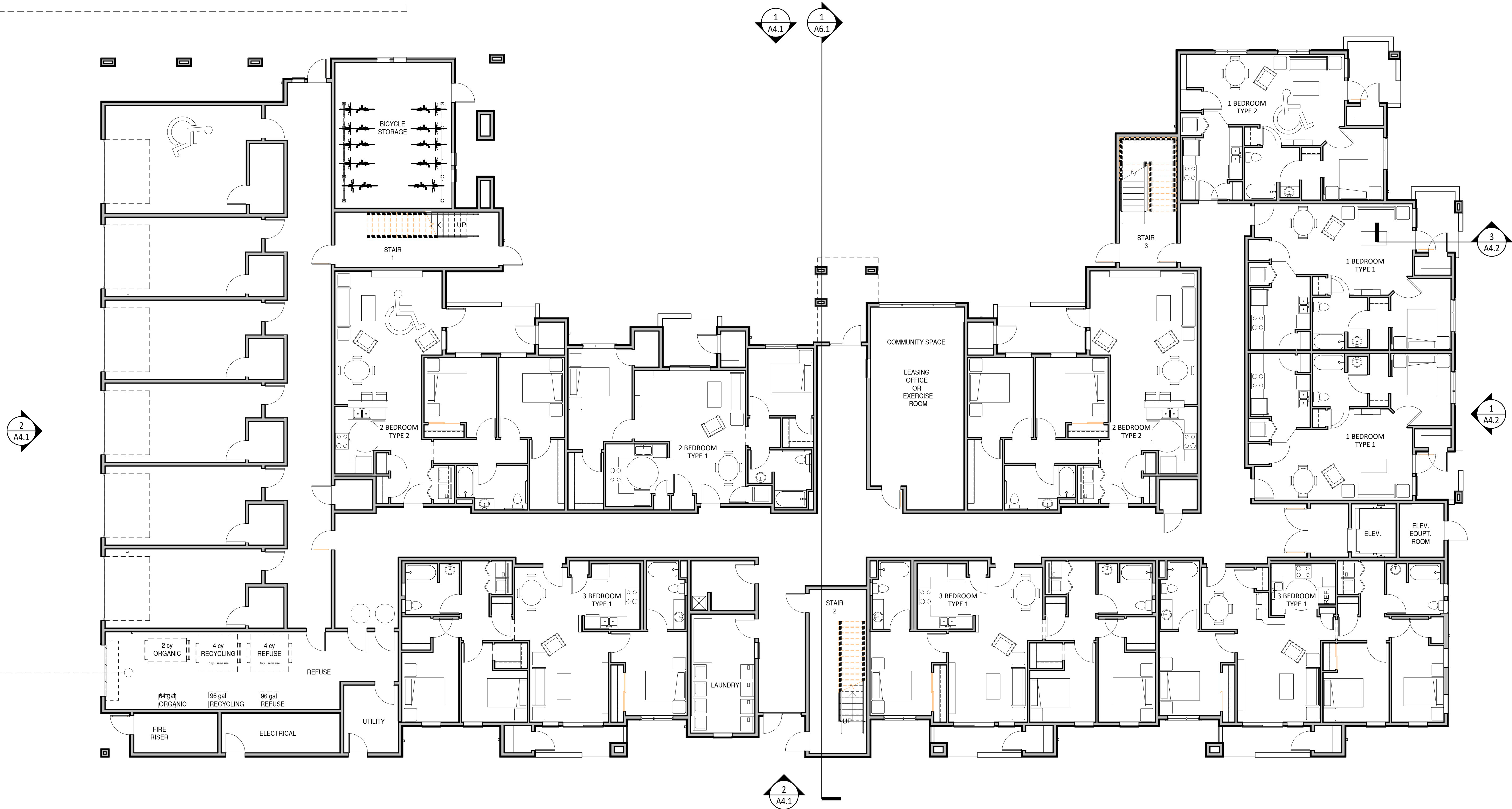
11 CUBIC YARDS X 40% = 4.4 CUBIC YARDS REFUSE
= 4 CUBIC YARD DUMPSTER + 96 GAL (0.48 CUBIC YARDS)

11 CUBIC YARDS X 40% = 4.4 CUBIC YARDS RECYCLING
= 4 CUBIC YARD DUMPSTER + 96 GAL (0.48 CUBIC YARDS)

11 CUBIC YARDS X 20% = 2.2 CUBIC YARDS REFUSE
= 2 CUBIC YARD DUMPSTER + 64 GAL (0.32 CUBIC YARDS)

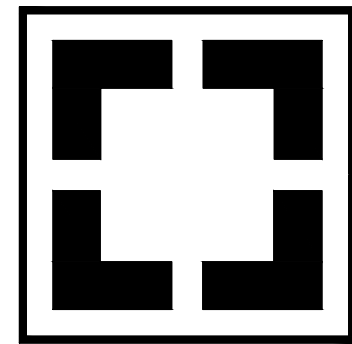
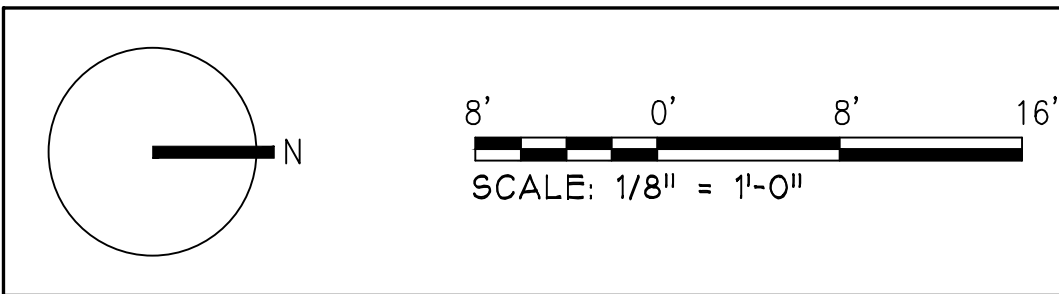
- TYPICAL LEVEL 1 UNIT BREAKDOWN:
- 1 BED TYPE 1= 2 UNITS
 - 1 BED TYPE 2= 1 UNIT
 - 2 BED TYPE 1= 1 UNIT
 - 2 BED TYPE 2= 2 UNITS
 - 3 BED TYPE 1= 3 UNITS
- 9 UNITS x 2 BUILDINGS = 18 UNITS

- AREA CALCULATIONS:
- COMMON OPEN SPACE: 3,760 SF (COURTYARD)
 - COMMUNITY SPACE: 440 SF



1 TYPICAL LEVEL 1 FLOOR PLAN

1/8" = 1'-0"



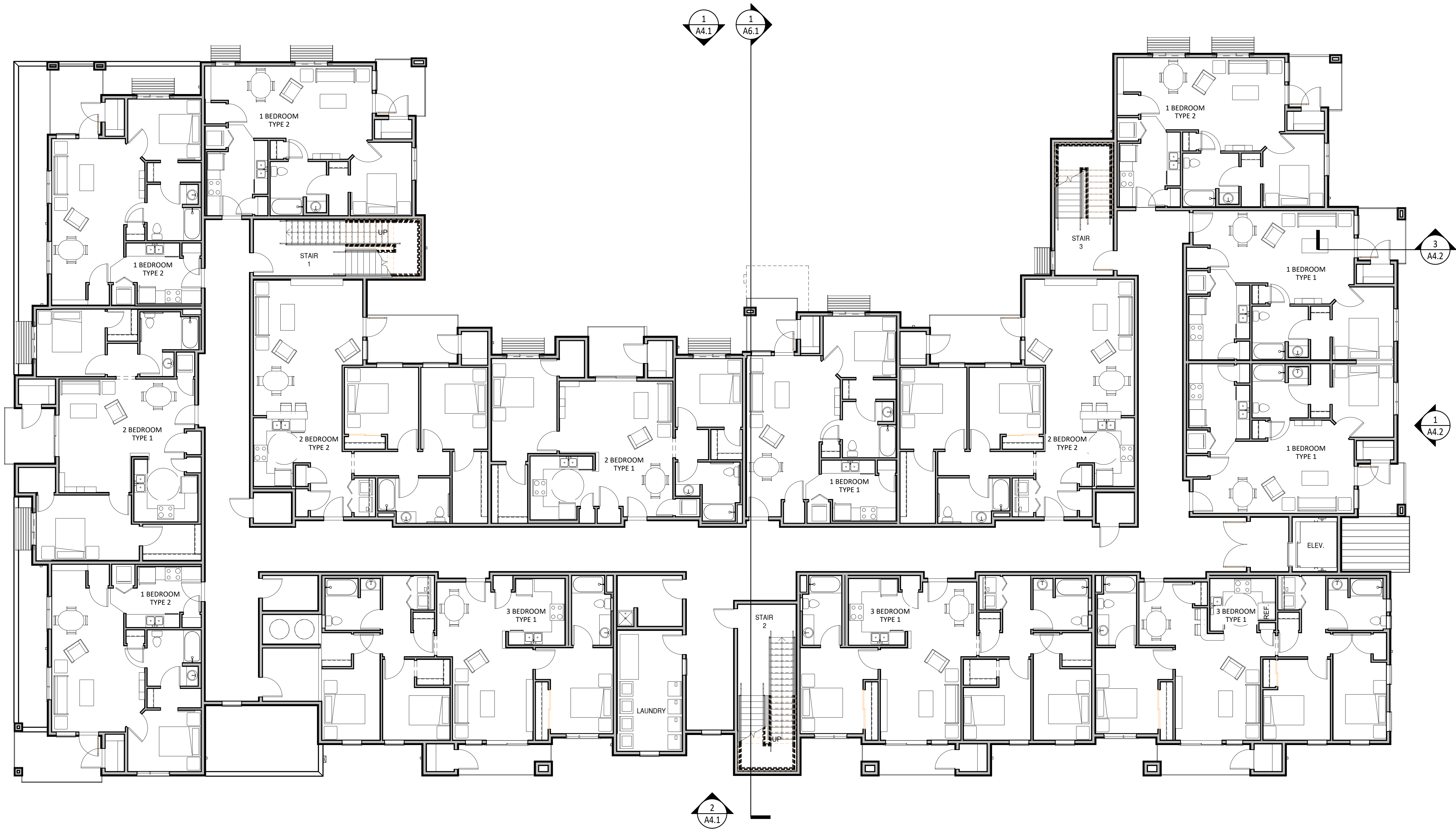
TYPICAL LEVEL 1 UNIT BREAKDOWN:

- 1 BED TYPE 1= 3 UNITS
- 1 BED TYPE 2= 4 UNIT
- 2 BED TYPE 1= 2 UNIT
- 2 BED TYPE 2= 2 UNITS
- 3 BED TYPE 1= 3 UNITS

14 UNITS x 2 BUILDINGS = 28 UNITS

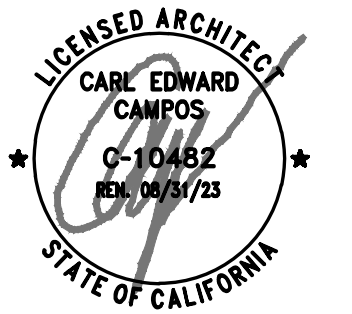
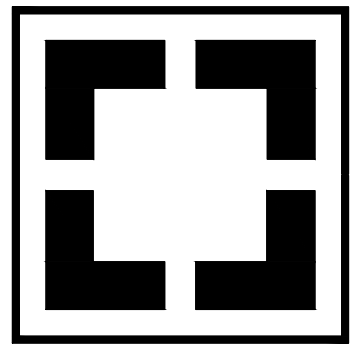
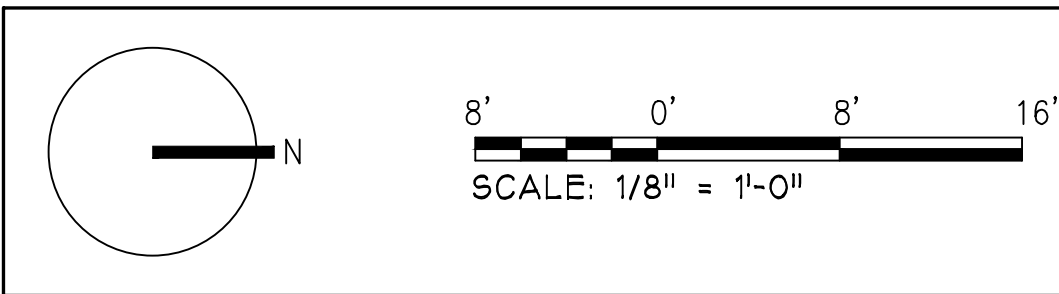
AREA CALCULATIONS:

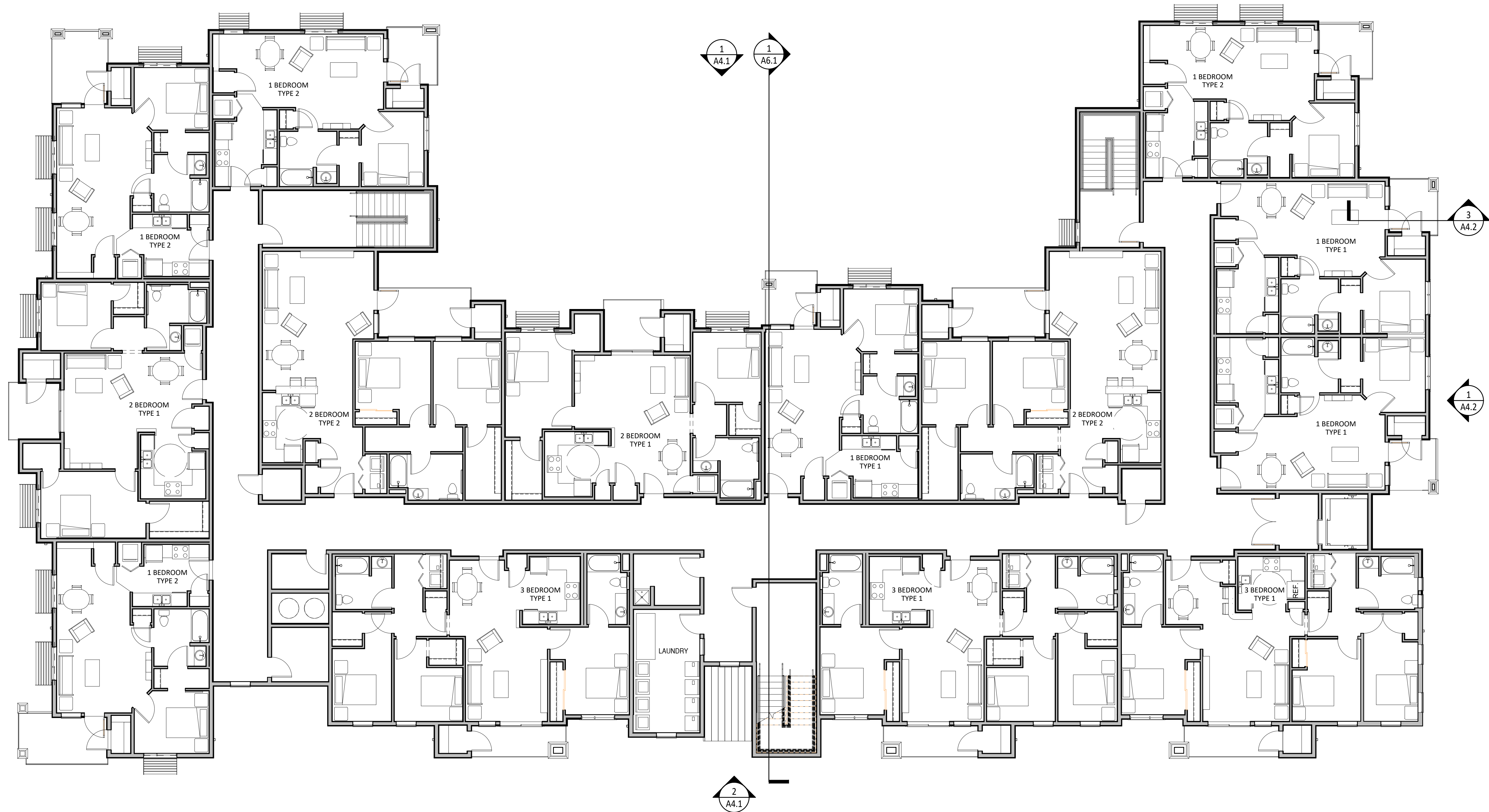
- COMMON OPEN SPACE: 0 SF
- COMMUNITY SPACE: 185 SF



1 TYPICAL LEVEL 2 FLOOR PLAN

1/8" = 1'-0"





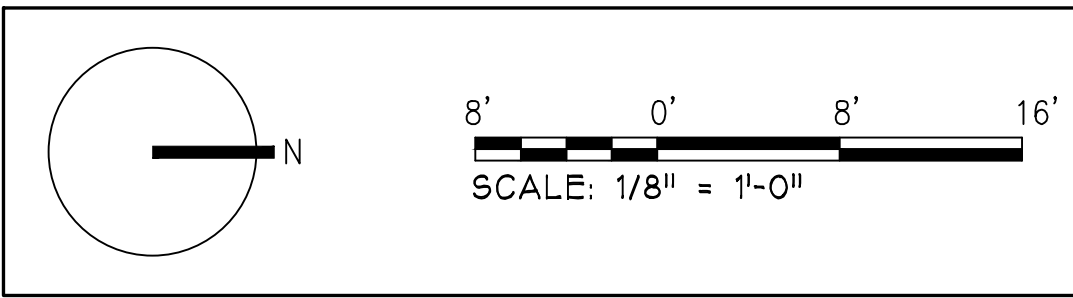
TYPICAL LEVEL 1 UNIT BREAKDOWN:

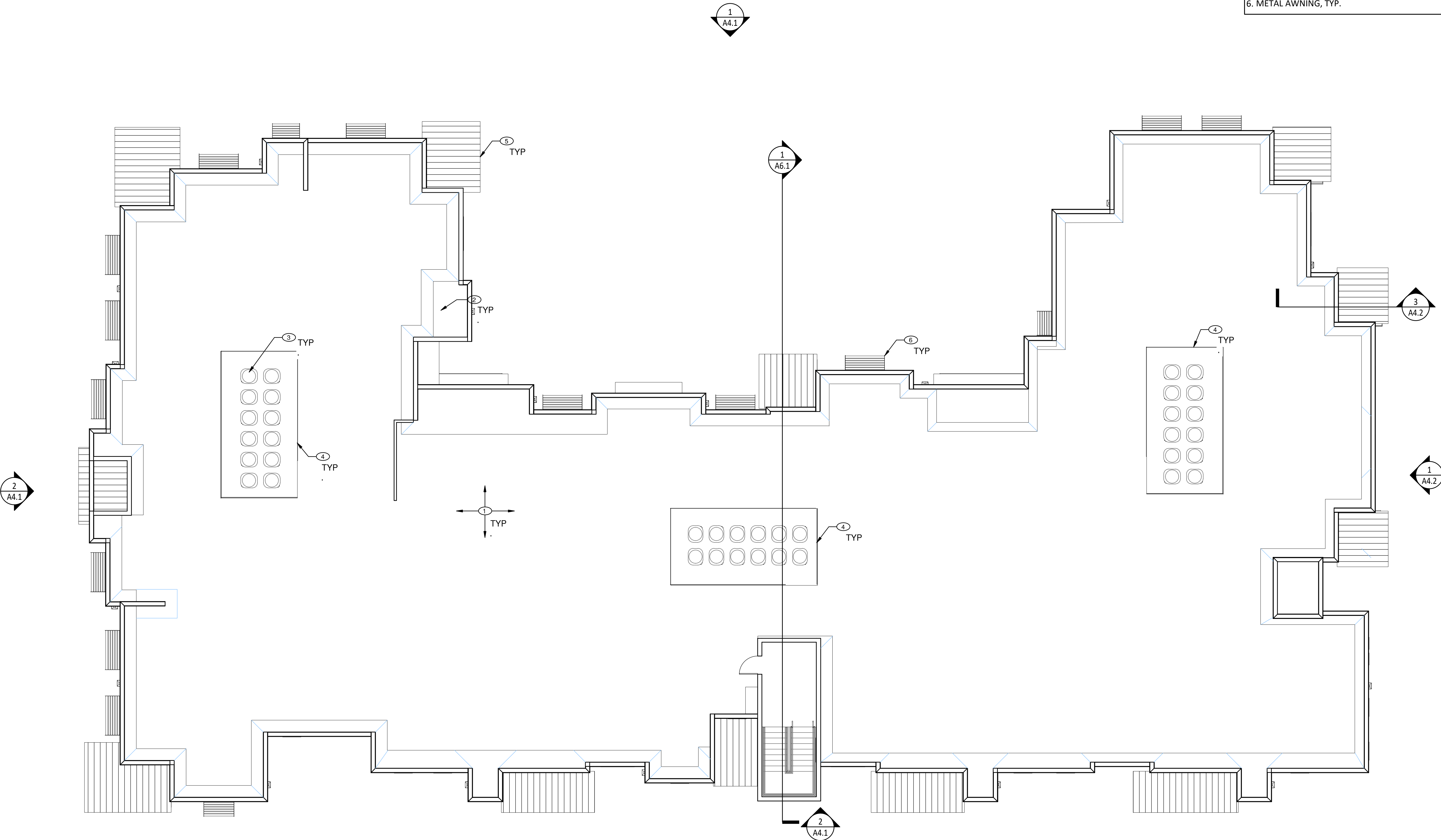
• 1 BED TYPE 1=	3 UNITS
• 1 BED TYPE 2=	4 UNIT
• 2 BED TYPE 1=	2 UNIT
• 2 BED TYPE 2=	2 UNITS
• 3 BED TYPE 1=	3 UNITS
14 UNITS x 2 BUILDINGS = 28 UNITS	

AREA CALCULATIONS:

• COMMON OPEN SPACE:	0 SF
• COMMUNITY SPACE:	185 SF

1 **TYPICAL LEVEL 3 FLOOR PLAN**
1/8" = 1'-0"





KEY NOTES	
1.	T.P.O. ROOFING MEMBRANE
2.	PREFINISHED RAIN GUTTER
3.	CONDENSOR UNIT ON PAD, TYP.
4.	LOUVERED METAL MECH. SCREENING
5.	METAL STANDING SEAM SLOPED ROOF, TYP.
6.	METAL AWNING, TYP.

1 NORTH COURT CONCEPTUAL ROOF PLAN
1/8" = 1'-0"

N

8'0'8'16'

SCALE: 1/8" = 1'-0"

SHEET NOTES	KEY NOTES	
1. NORTH COURT ELEVATIONS SHOWN. SOUTH COURT ELEVATIONS ARE SIMILAR (MIRRORED)	1. METAL STANDING SEAM ROOFING.	8. POWDER COATED STEEL RAILING SYSTEM
	2. CEMENT STUCCO SYSTEM. TEXTURE HEAVY SAND.	9. POWDER COATED METAL TRELLIS.
	3. WHITE VINYL WINDOWS.	10. SECTIONAL OVERHEAD GARAGE DOOR.
	4. EXTERIOR DOOR. SEE FLOOR PLANS	11. EXTERIOR MEP EQUIPMENT
	5. PRE-FINISHED METAL GUTTER.	12. 6" HORIZONTAL SIDING
	6. 6" RAISED STUCCO TRIM	13. HARDI BOARD PANEL
	7. 1x FINISH FASCIA, MDF OR EQUAL.	



1

CONCEPTUAL WEST ELEVATION - NORTH COURT

1/8" = 1'-0"

SEE ISOMETRIC 4/A4.2

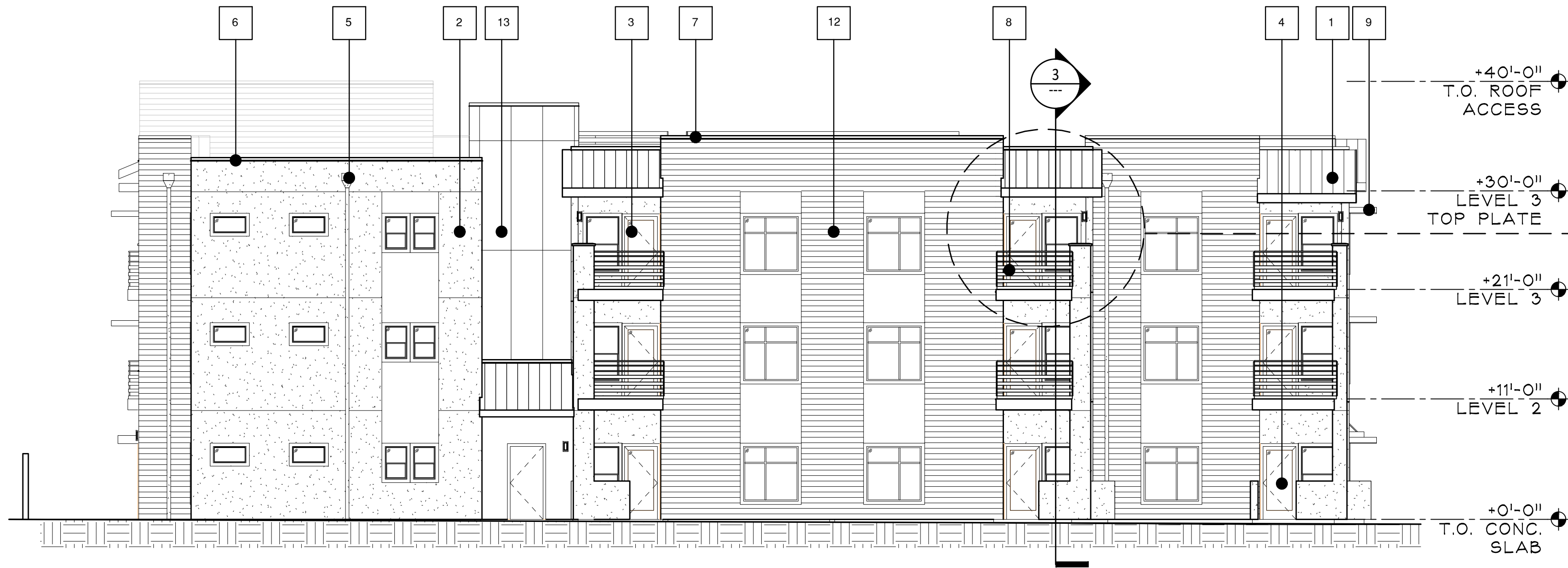


2

CONCEPTUAL EAST ELEVATION - NORTH COURT

1/8" = 1'-0"

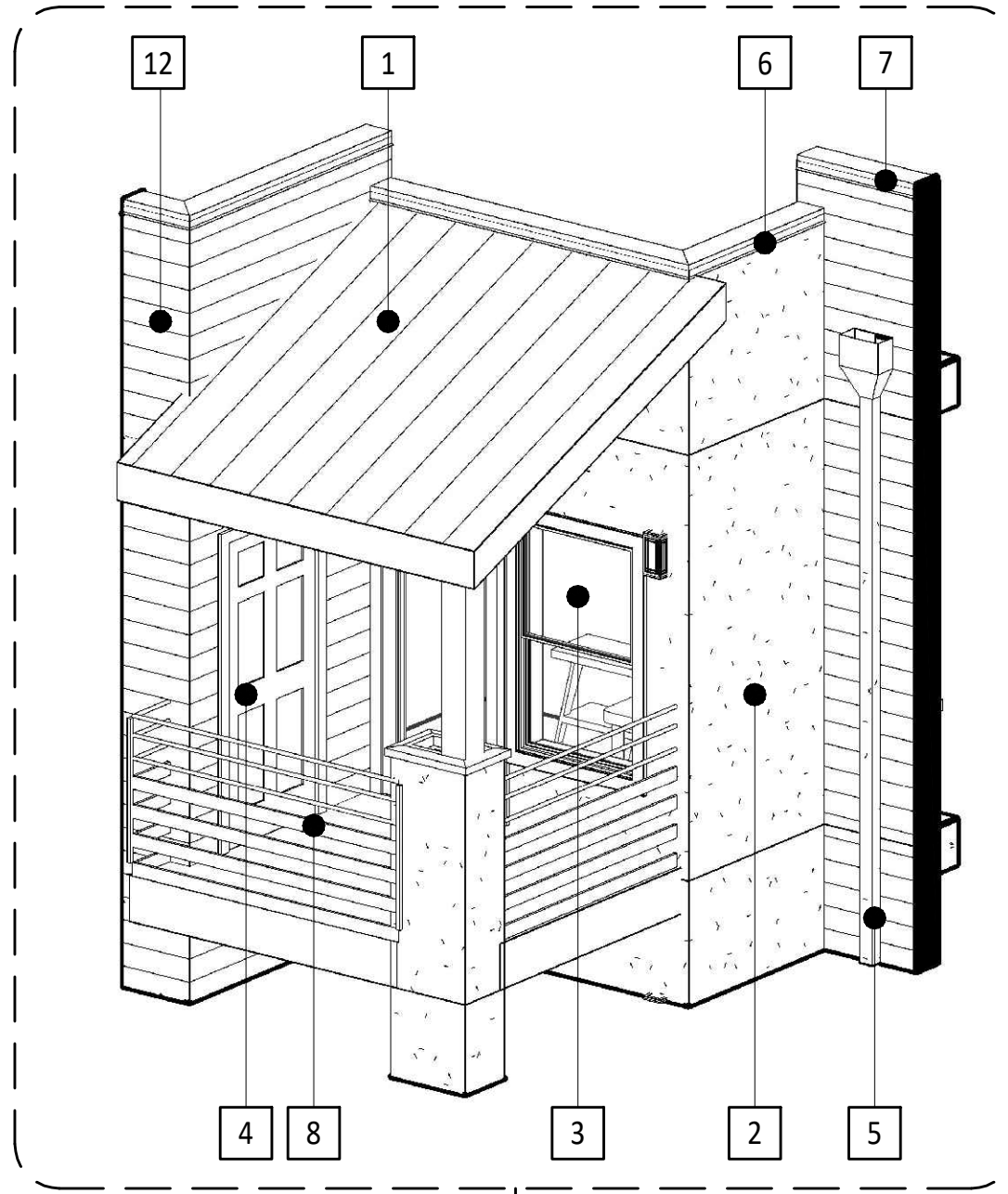
SHEET NOTES	KEY NOTES	
1. NORTH COURT ELEVATIONS SHOWN. SOUTH COURT ELEVATIONS ARE SIMILAR (MIRRORED)	1. METAL STANDING SEAM ROOFING.	8. POWDER COATED STEEL RAILING SYSTEM
	2. CEMENT STUCCO SYSTEM. TEXTURE HEAVY SAND.	9. POWDER COATED METAL TRELLIS.
	3. WHITE VINYL WINDOWS.	10. SECTIONAL OVERHEAD GARAGE DOOR.
	4. EXTERIOR DOOR. SEE FLOOR PLANS	11. EXTERIOR MEP EQUIPMENT
	5. PRE-FINISHED METAL GUTTER.	12. 6" HORIZONTAL SIDING
	6. 6" RAISED STUCCO TRIM	13. HARDI BOARD PANEL
	7. 1x FINISH FASCIA, MDF OR EQUAL.	



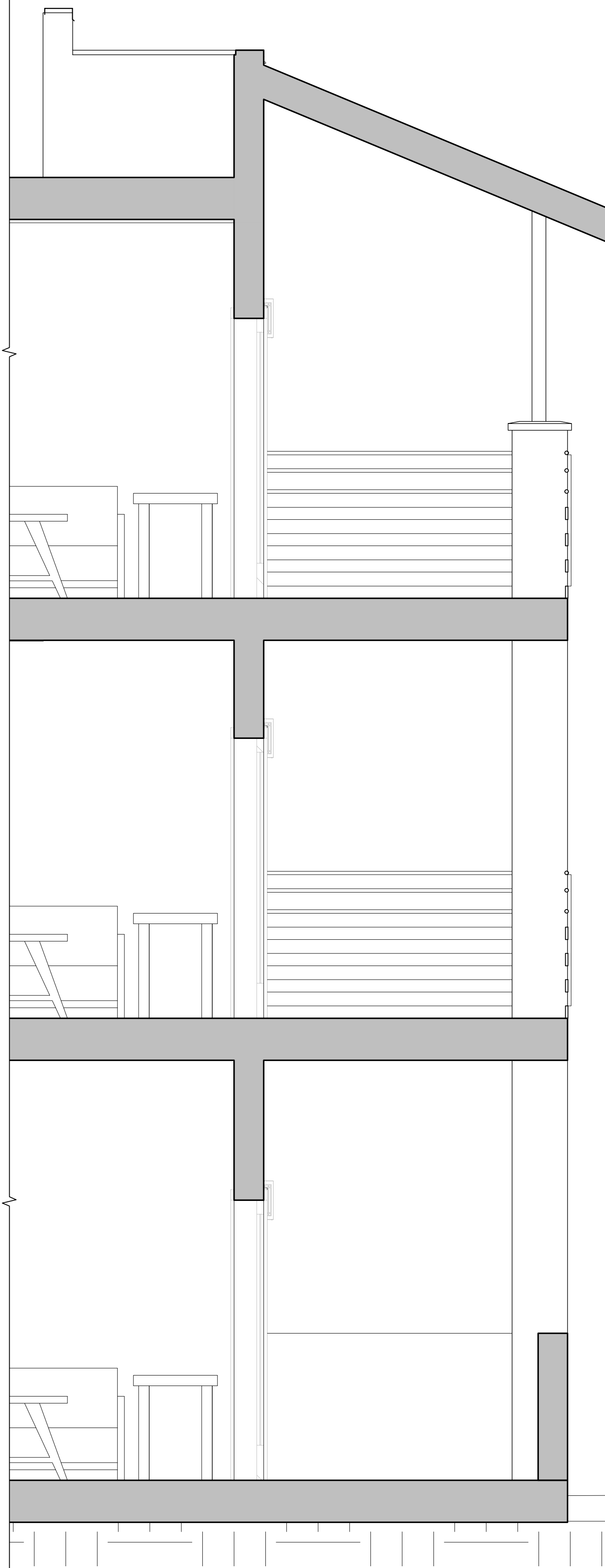
1 CONCEPTUAL NORTH ELEVATION - NORTH COURT
1/8" = 1'-0"



2 CONCEPTUAL SOUTH ELEVATION - NORTH COURT
1/8" = 1'-0"



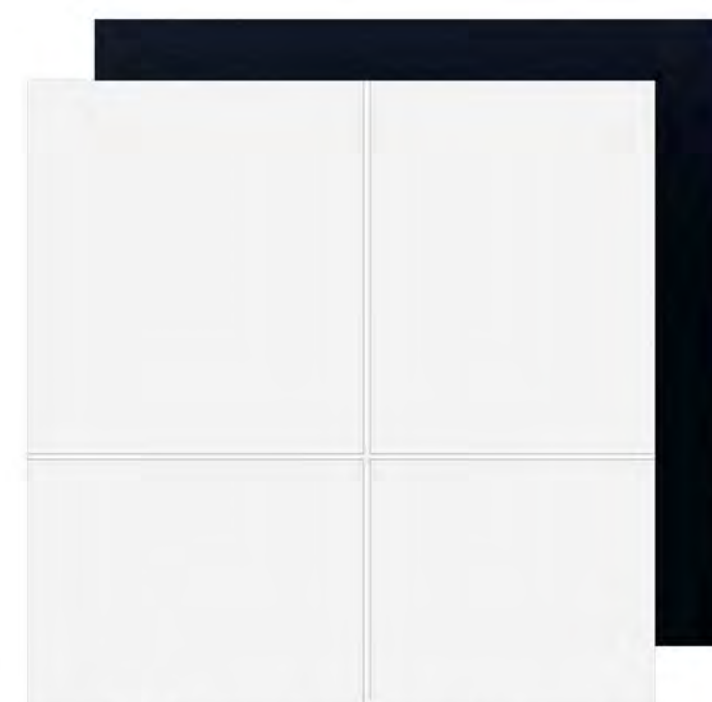
4 BALCONY ISO.
NOT TO SCALE



3 WALL SECTION
1/2" = 1'-0"



1 BUILDING A - WEST COLOR BOARD
N.T.S.



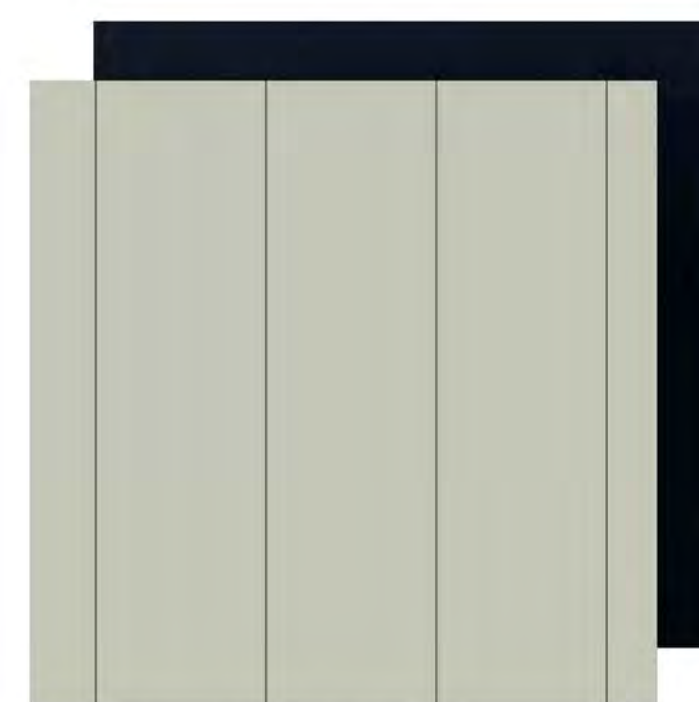
A HARDI BOARD PANEL
COLOR TO MATCH VALSPAR "POLAR WHITE" 7003-16 OR EQUAL



B STUCCO SIDING
COLOR TO MATCH VALSPAR "CHURCHILL HOTEL HAZY YELLOW" 3004-88 OR EQUAL



C HORIZ. LAP SIDING
COLOR TO MATCH JAMES HARDIE "RICH ESPRESSO" OR EQUAL



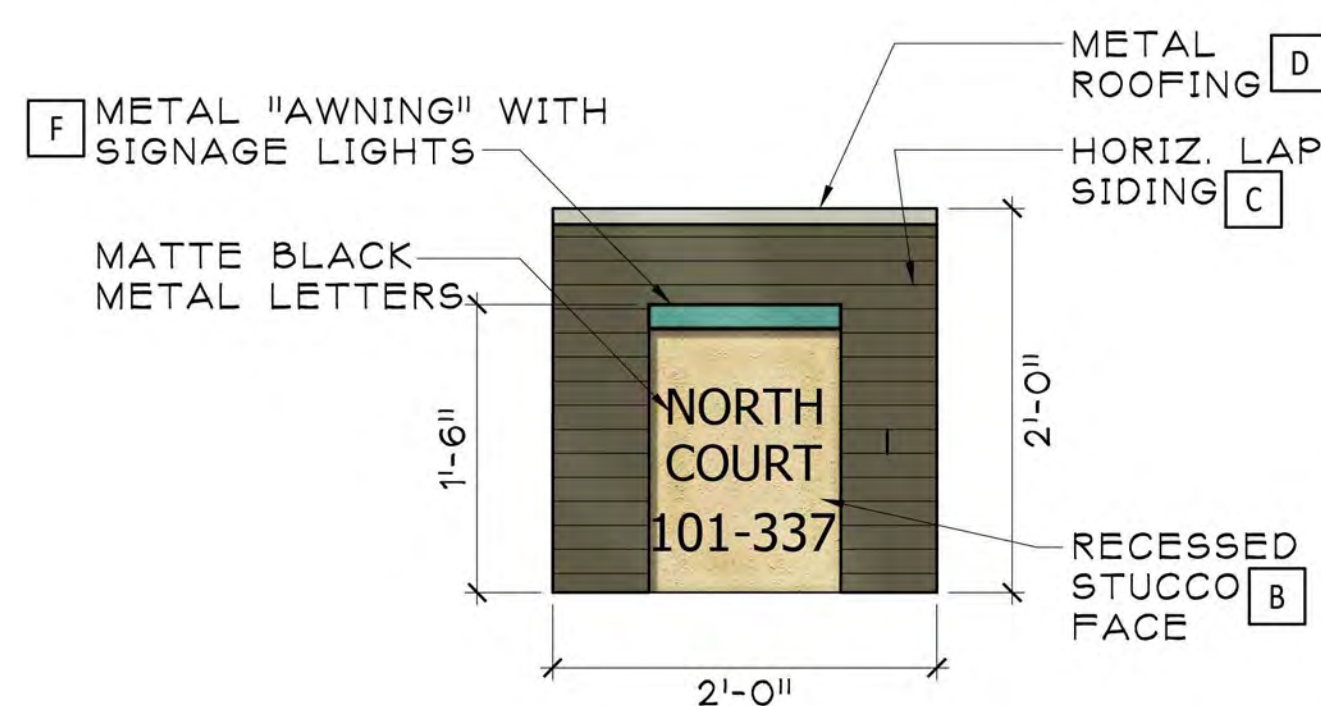
D METAL ROOFING
COLOR TO MATCH PAC-CLAD "CITYSCAPE" OR EQUAL



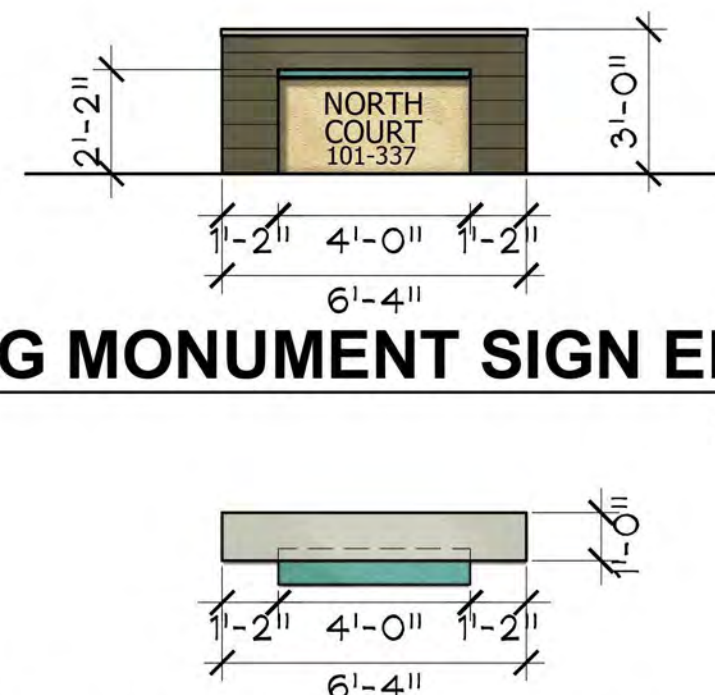
E GARAGE DOOR
COLOR TO MATCH VALSPAR "OREGON COAST" 6007-1C OR EQUAL



F FLASHING, TRIM BOARDS AND SHADE STRUCTURE
COLOR TO MATCH PAC-CLAD "PATINA GREEN" OR EQUAL

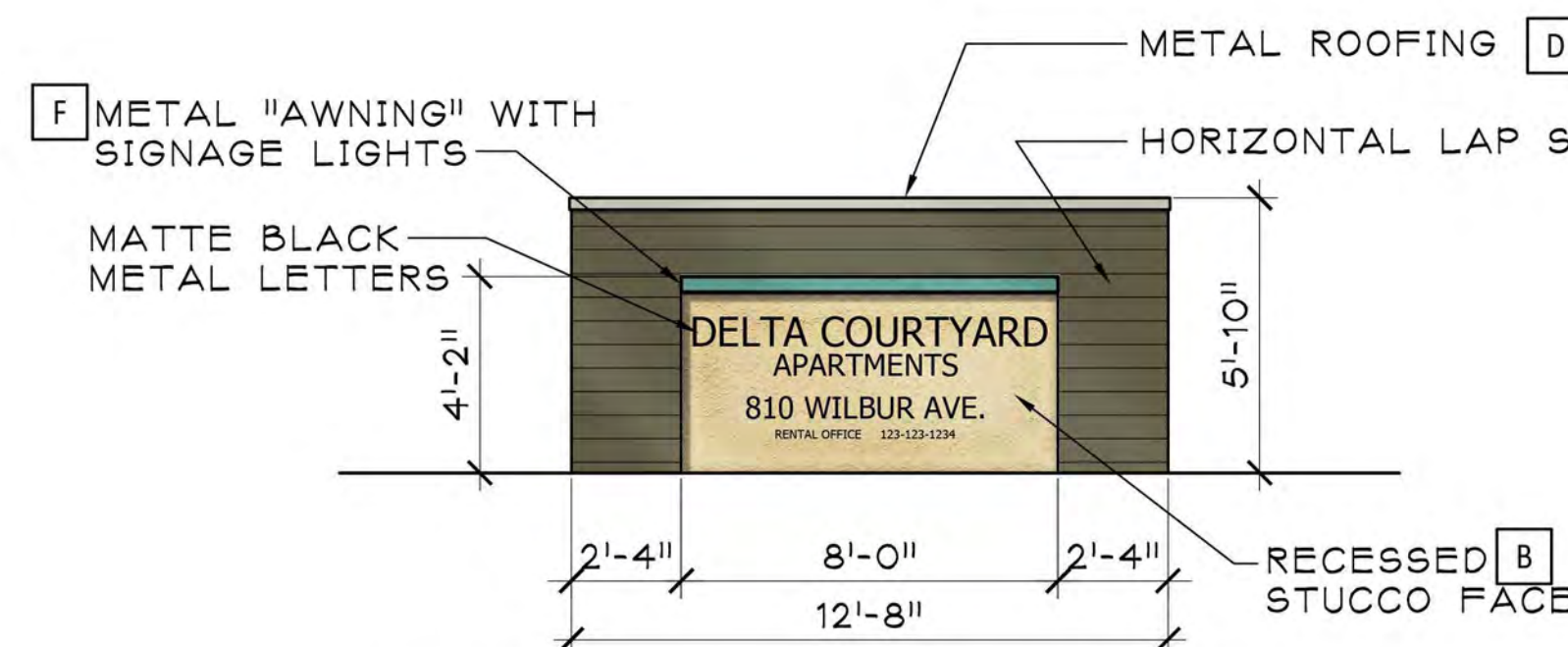


BUILDING WALL SIGN
1"=1'-0"

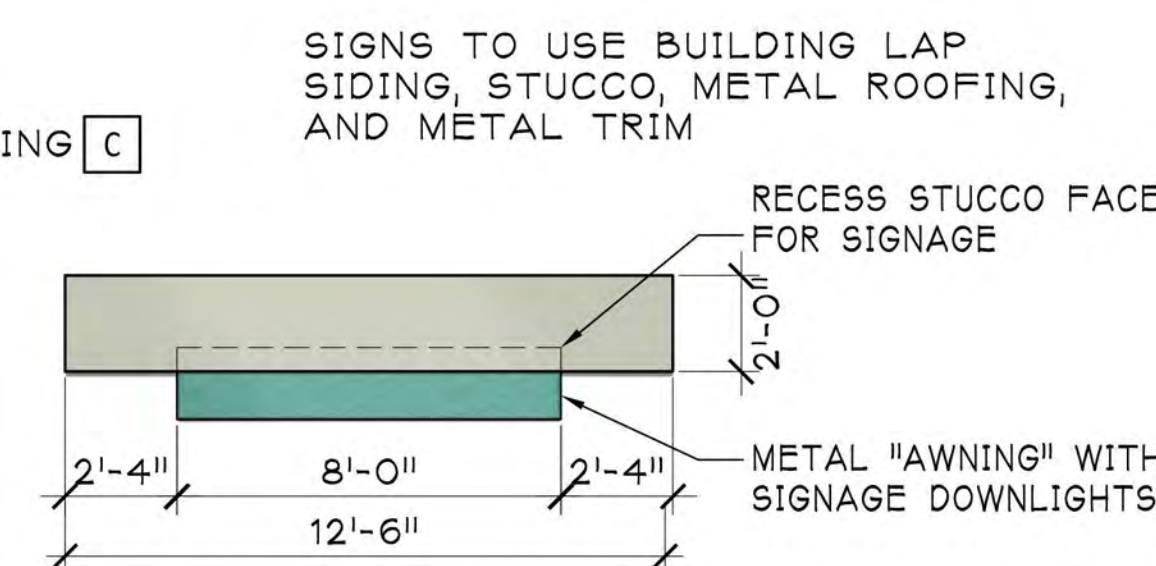


BUILDING MONUMENT SIGN ELEVATION

BUILDING MONUMENT SIGN PLAN
1/4"=1'-0"



MONUMENT SIGN ELEVATION
1/4"=1'-0"



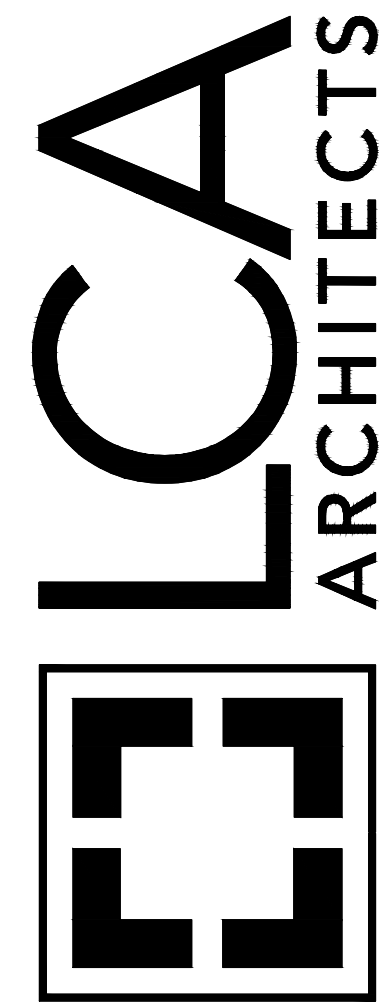
MONUMENT SIGN PLAN
1/4"=1'-0"



1

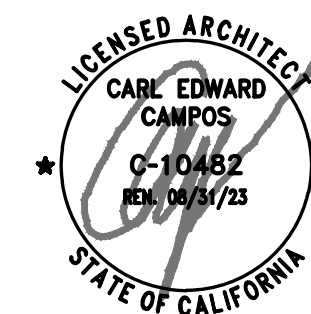
TYPICAL BUILDING SECTION

3/16" = 1'-0"



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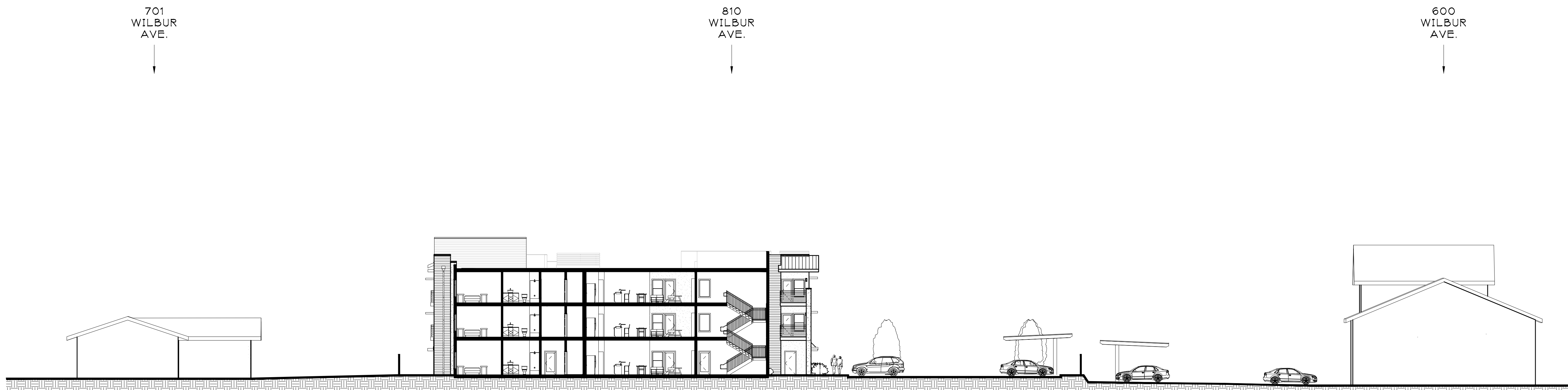
BUILDING
SECTIONS

SCALE: AS NOTED
DATE: 9 / 19 / 2022

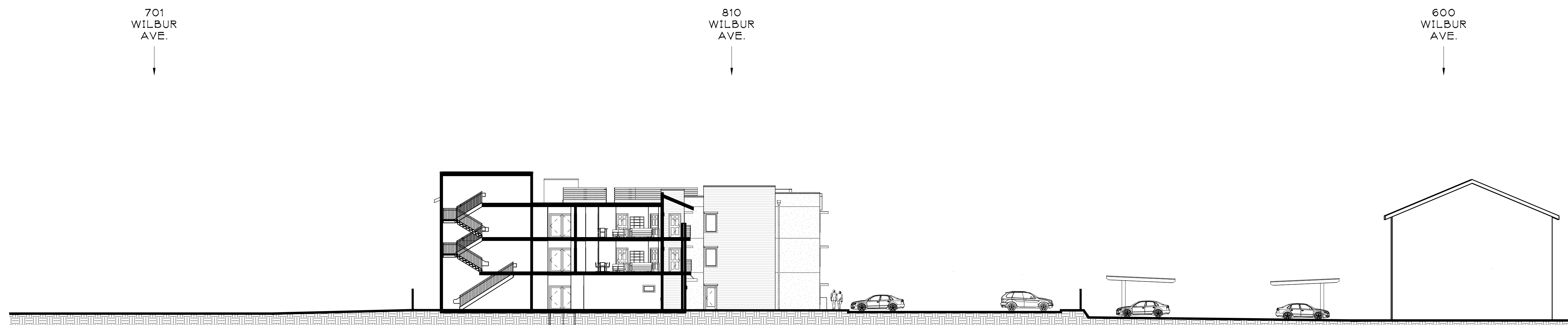
REVISIONS:

PROJECT NO.

A6.1
SHEET OF



1 SITE SECTION 1
1/16" = 1'-0"



2 SITE SECTION 2
1/16" = 1'-0"

NOTE: ALL PARKING SIGNAGE SHALL CONFORM TO 2019 CBC SECTION 11B-502.6 AND ADA SECTION 4.6.4

17"x22" REFLECTIVE PORCELAIN ENAMELLED STEEL SIGN WITH BEADED 1" LETTERS (OR EQUAL) AND TWO 3/8" DIA. BOLTS THROUGH STEEL PIPE. SIGN TO HAVE TEXT TO READ...

"UNAUTHORIZED" VEHICLE PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT OR BY TELEPHONING

BLANK SPACES ARE TO BE FILLED IN WITH APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN.

2" DIAMETER GALV. STEEL PIPE, PRIME AND PAINT

SEE SITE PLAN.

GALV. METAL PIPE SLEEVE - GROUT SOLID AROUND PIPE.

12" DIAMETER x 2'-0" DEEP CONCRETE BASE WITH 6" GRAVEL BELOW

6'-8" MIN. WHEN LOCATED IN PATH OF TRAVEL

3" MIN.

1 PARKING SIGN AT VEHICLE ENTRY TO PROPERTY
SCALE: 3/8"=1'-0"

NOTE: ALL PARKING SIGNAGE SHALL CONFORM TO 2019 CBC SECTION 11B-502.6 AND ADA SECTION 4.6.4

70 SQ. INCH MINIMUM REFLECTORIZED PAINT OR PORCELAIN ENAMELED STEEL SIGNS WITH WHITE BEADED TEXT AND SYMBOL ON A BLUE BACKGROUND, BOLT TO PIPE WITH 2-3/8" DIA. BOLTS.

"VAN ACCESSIBLE" SIGN - ONLY AT VAN-ACCESSIBLE PARKING SPACE, SEE SITE PLAN FOR LOCATION.

"FINE" SIGN AT EACH ACCESSIBLE PARKING STALL

2" DIAMETER GALV. STEEL PIPE, PRIME AND PAINT

SEE SITE PLAN.

GALV. METAL PIPE SLEEVE - GROUT SOLID AROUND PIPE.

12" DIAMETER x 2'-0" DEEP CONCRETE BASE WITH 6" GRAVEL BELOW

6'-8" MIN. WHEN LOCATED IN PATH OF TRAVEL

3" MIN.

2 ACCESSIBLE PARKING SPACE SIGN DETAIL
SCALE: 3/8"=1'-0"

CURB, WALL, OR OTHER OBSTRUCTION
EL. = ±6"

CONCRETE SIDEWALK.
CONCRETE CURB

3/4" WIDE X 1/4" D. DIRECTIONAL GROOVES SEE DETAIL BELOW

CONC. CURB SLOPES DOWN WITH SIDEWALK SEE ELEV. BELOW

FLUSH TRANSITION TO CONC. PATH OR ASPHALT PARKING

36" x 48" WIDE TRUNCATED DOMES.

8.33% MAX
6.67% MIN

EL. = 0"

8.33% MAX
6.67% MIN

48" MIN.

12" 1/4" 3/4" 1/4" 12"

1:12 MAX. 48" MIN. 1:12 MAX. 1:15 MIN.

SEE PLAN FOR SIM. ELEV. NOTES

NOTE: ALL CURB RAMP DESIGN AND CONSTRUCTION SHALL CONFORM TO CBC SECTION 11B-406 AND ADA SECTION 4.7

NOTE: THIS IS A TYPICAL DETAIL. SEE SITE PLAN FOR MORE INFO.

3 TYPICAL CURB-CUT RAMP DETAIL
SCALE: 3/16" = 1'-0"

ACCESSIBLE PARKING SIGN- OPTIONAL LOCATIONS - SEE DETAIL 2 ON THIS SHEET

CONC. SIDEWALK, V.I.F.

CONCRETE RAMP TEXTURE SURFACE WITH BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAVEL

PRECAST CONCRETE WHEEL BUMPER, TYP.

4" WIDE BLUE PAINTED STRIPING WITH REFLECTIVE GLASS BEADS, TYP.

3'-0" x 3'-0" WHITE ON BLUE PAINTED BACKGROUND, TYP.

NOTE: STALLS SHALL COMPLY WITH CBC SECTIONS 11B-502.2, 11B-502.4 AND ADA SECTION 4.6

18'-0" MIN. SEE SITE PLAN, V.I.F.

36" CLR. MIN.

2% MAX. SLOPE, TYP.

45°

3'-0" MIN.

5'-0" MIN.

9'-0" MIN.

9'-0" MIN.

NOTE: THIS IS A TYPICAL DETAIL. SEE SITE PLAN FOR MORE INFO.

4 TYPICAL ACCESSIBLE PARKING SPACE DETAIL
SCALE: 1/8"=1'-0"

CARPORT - SEE THE MANUFACTURERS CONSTRUCTION PLANS FOR ALL SIZES, MATERIALS, CONNECTIONS, & FINISHES

SLOPE

6" CLOSURE TRIM

BEAM & PURLIN FRAME

BRACE, TYP.

COLUMN, TYP.

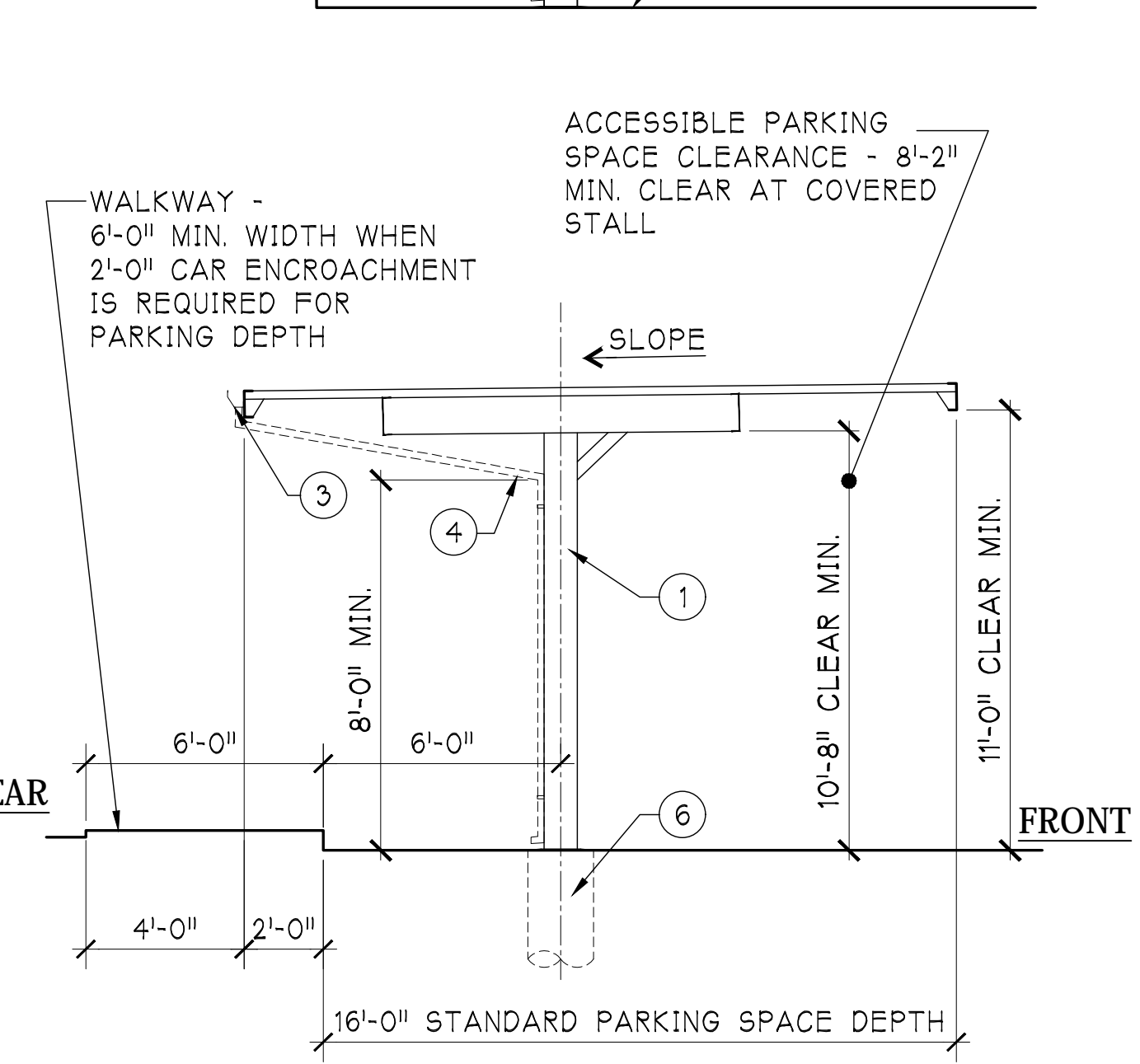
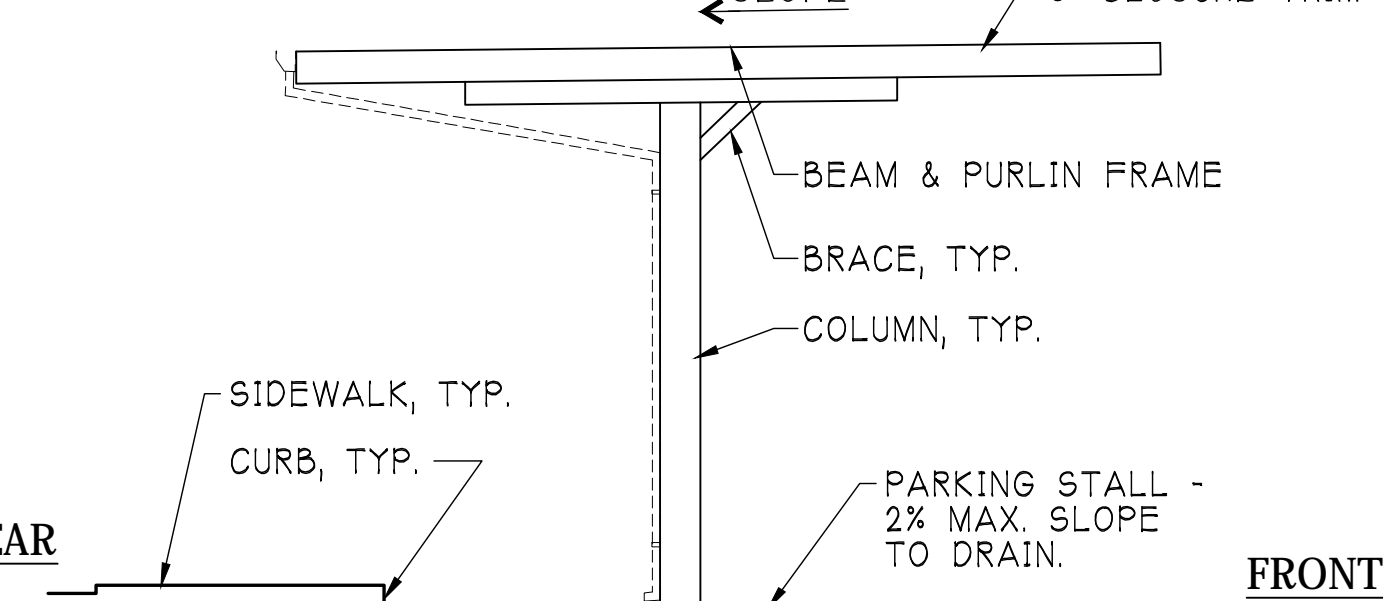
SIDEWALK, TYP.

CURB, TYP.

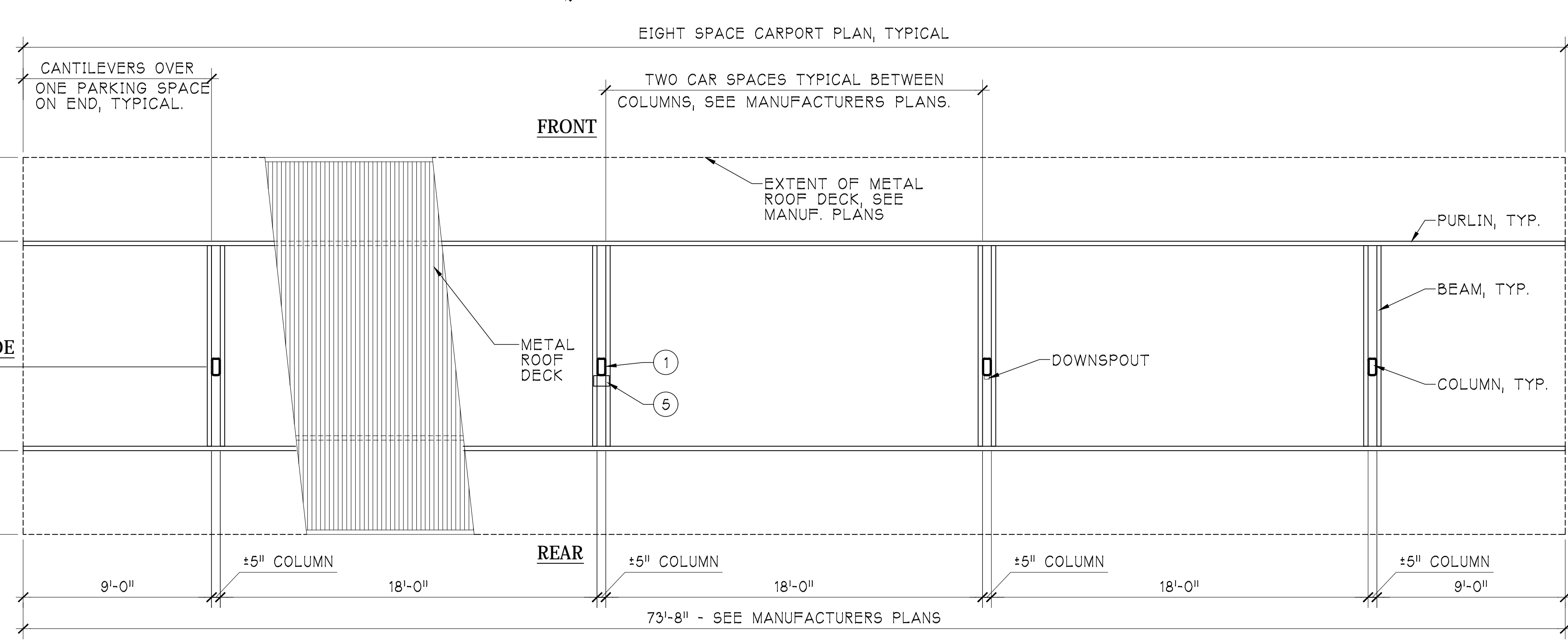
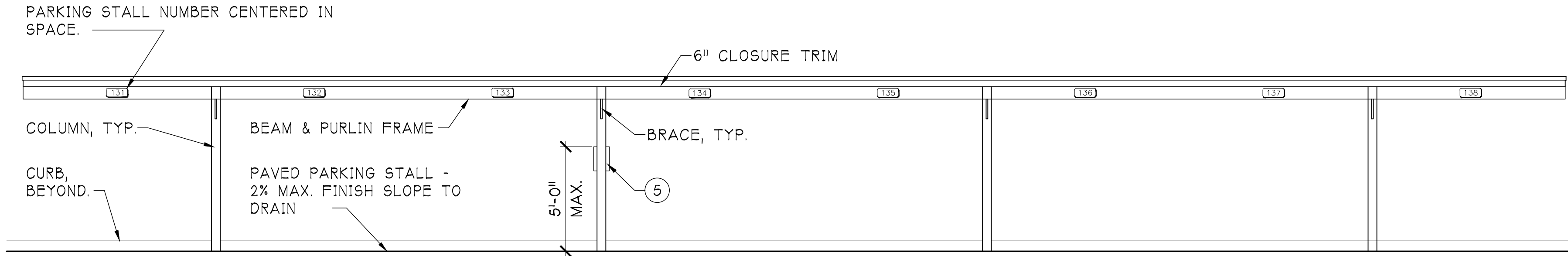
PARKING STALL - 2% MAX. SLOPE TO DRAIN.

REAR

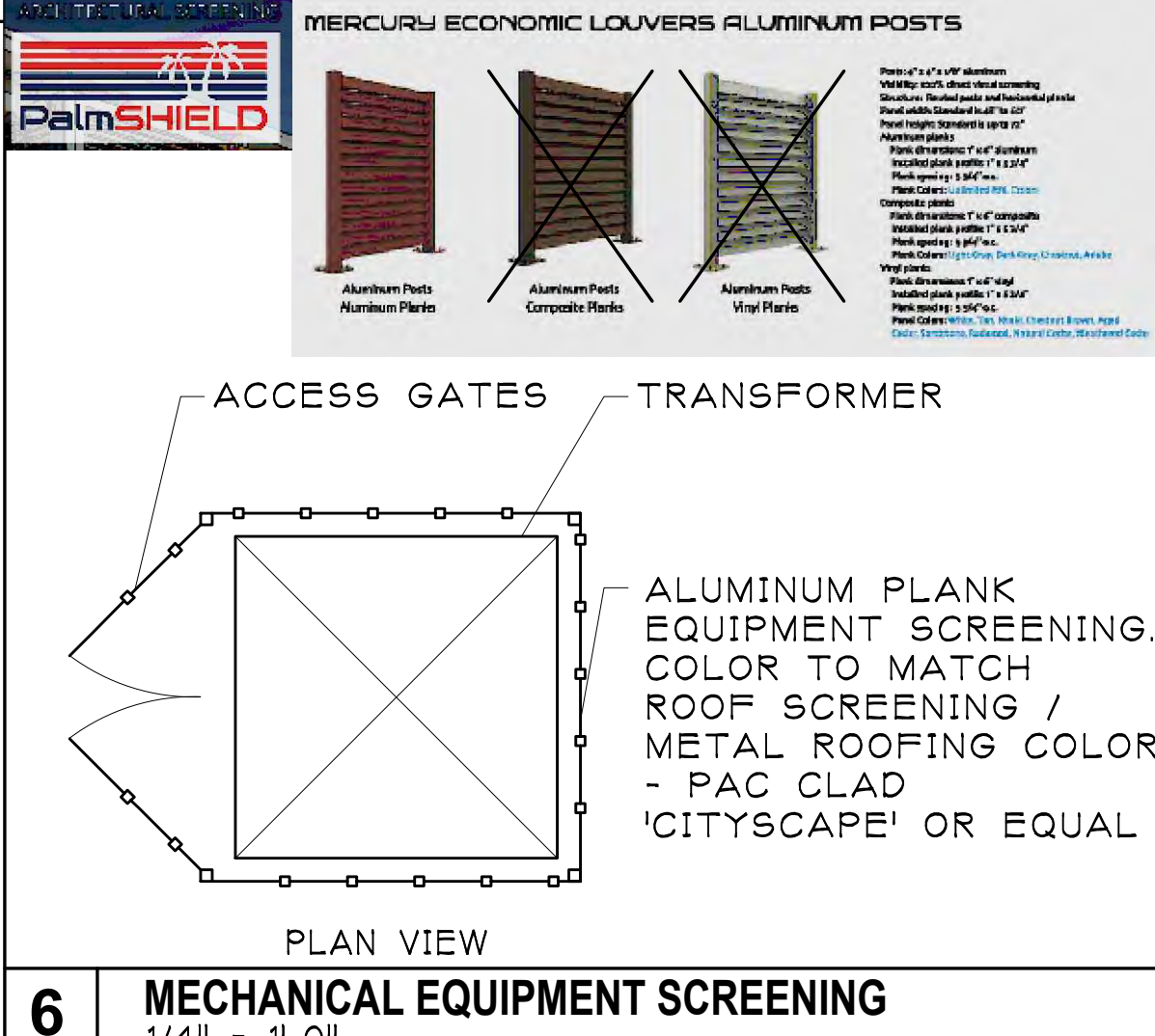
FRONT



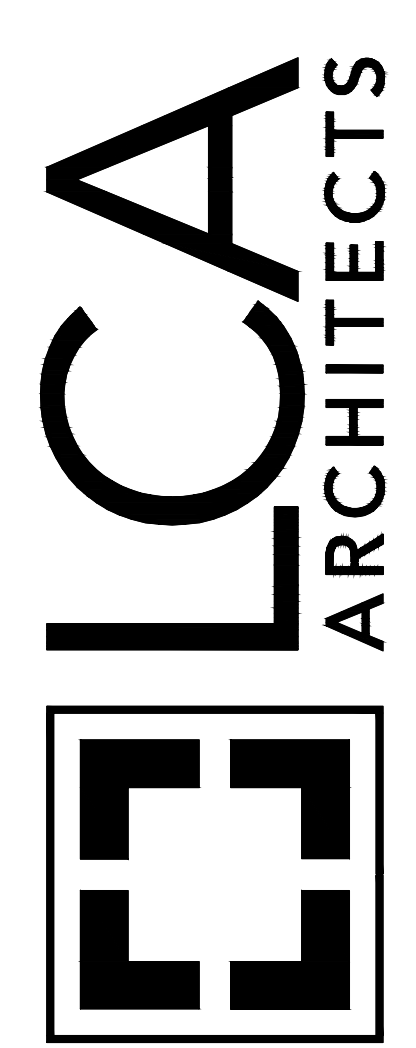
5 CARPORT DETAILS
1/4" = 1'-0"



6 MECHANICAL EQUIPMENT SCREENING
1/4" = 1'-0"



6 MECHANICAL EQUIPMENT SCREENING
1/4" = 1'-0"



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1970 BROADWAY, SUITE 800
OAKLAND, CALIFORNIA 94612
(510) 272-1060

810 WILBUR
AVENUE APARTMENTS
ANTIOCH, CALIFORNIA

LICENSED ARCHITECT
CARLE CAMPOS
C-10482
EX. 04/19/23
STATE OF CALIFORNIA

LCA ARCHITECTS
RESTRICTED ARCHITECTURAL DRAWINGS

THE INFORMATION, PLANS, DESIGNS, NOTES AND ARRANGEMENTS SHOWN ON THIS DRAWING ARE CONFIDENTIAL AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN PERMISSION OF LCA ARCHITECTS. DRAWINGS NOTED AS PRELIMINARY, SCHEMATIC AND/OR CONCEPT CONTAIN INFORMATION THAT IS CONCEPTUAL AND SUBJECT TO VERIFICATION AND/OR CHANGE. THE ARCHITECT MAKES NO CLAIM FOR ACCURACY OF CONCEPTUAL INFORMATION OR OF INFORMATION SUPPLIED BY OTHERS.

DETAILS

SCALE: AS NOTED
DATE: 9/19/2022

REVISIONS:

PROJECT NO.

A7.1

SHEET OF

OWNER

810 WILBUR ASSOCIATES LLC
PO BOX 913
DIABLO, CA 94528
(925) 389-1675

ARCHITECT

LCA ARCHITECTS
590 YGNACIO VALLEY ROAD, SUITE 310
WALNUT CREEK, CA 94596
(925) 944-1626

CIVIL ENGINEER

APEX CIVIL ENGINEERING & LAND SURVEYING
817 ARNOLD DRIVE, SUITE 50
MARTINEZ, CA 94553
(925) 476-8499

SOILS ENGINEER

CALGEOTECH ENGINEERING CONSULTANTS, INC.
3329 PINE VALLEY ROAD
SAN RAMON, CA 94583
(925) 551-0774

PRELIMINARY DESIGN PLANS
"DELTA COURTYARD APARTMENTS"

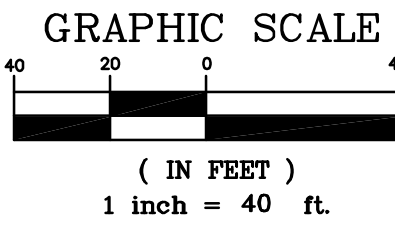
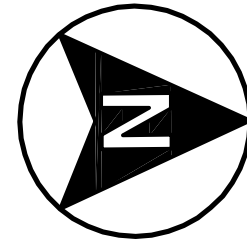
CITY OF ANTIOCH
COUNTY OF CONTRA COSTA
STATE OF CALIFORNIA

LEGEND

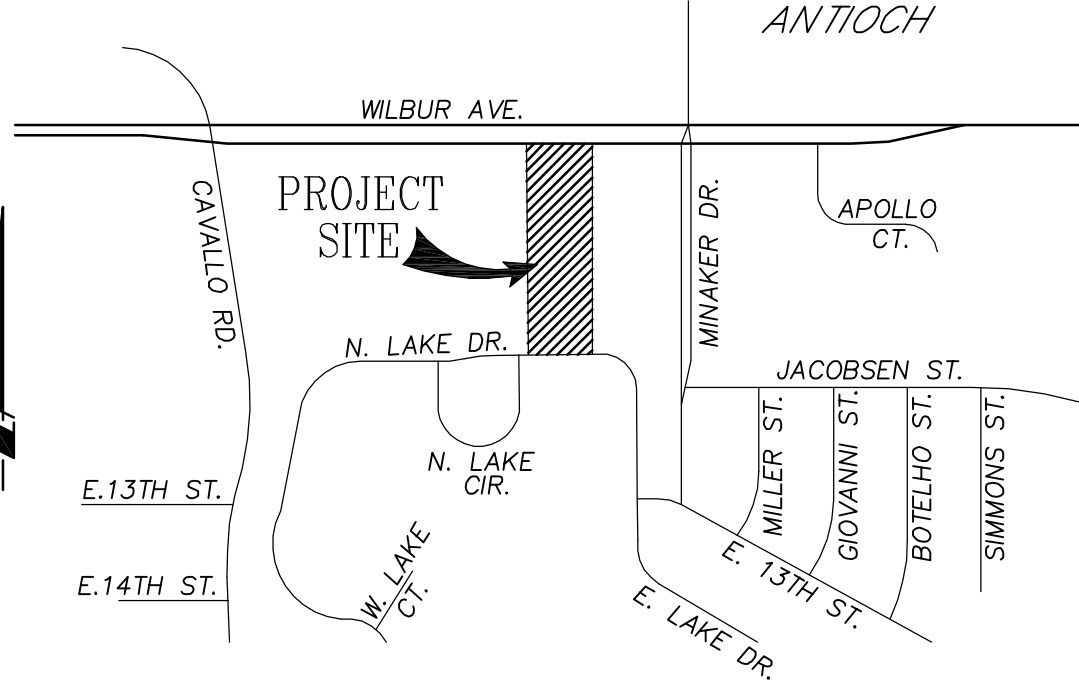
	BOUNDARY
	ADJACENT PROPERTY LINE
	STORM DRAIN LINE
	EARTH SWALE
	NEW BUILDING
	RETAINING WALL
	EXISTING ASPHALT PAVEMENT
	PROPOSED ASPHALT PAVEMENT
	EXISTING CONCRETE
	PROPOSED CONCRETE
	PLAN SHEET REFERENCE NUMBER

SHEET No.	DESCRIPTION
1	TITLE SHEET
2	TOPOGRAPHIC SURVEY & DEMOLITION PLAN
3	SECTIONS & DETAILS
4-5	PRELIMINARY GRADING, DRAINAGE & UTILITY DESIGN
6	PRELIMINARY C.3 STORM WATER CONTROL PLAN
7	ENGINEERED CROSS-SECTIONS
8	TRUE CROSS-SECTIONS
9	TRAFFIC SIGNING AND STRIPING PLAN

SITE APN: 065-110-006



NOTE:
THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES, VERIFY THE LOCATION OF ANY UTILITIES AND EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES DURING CONSTRUCTION.

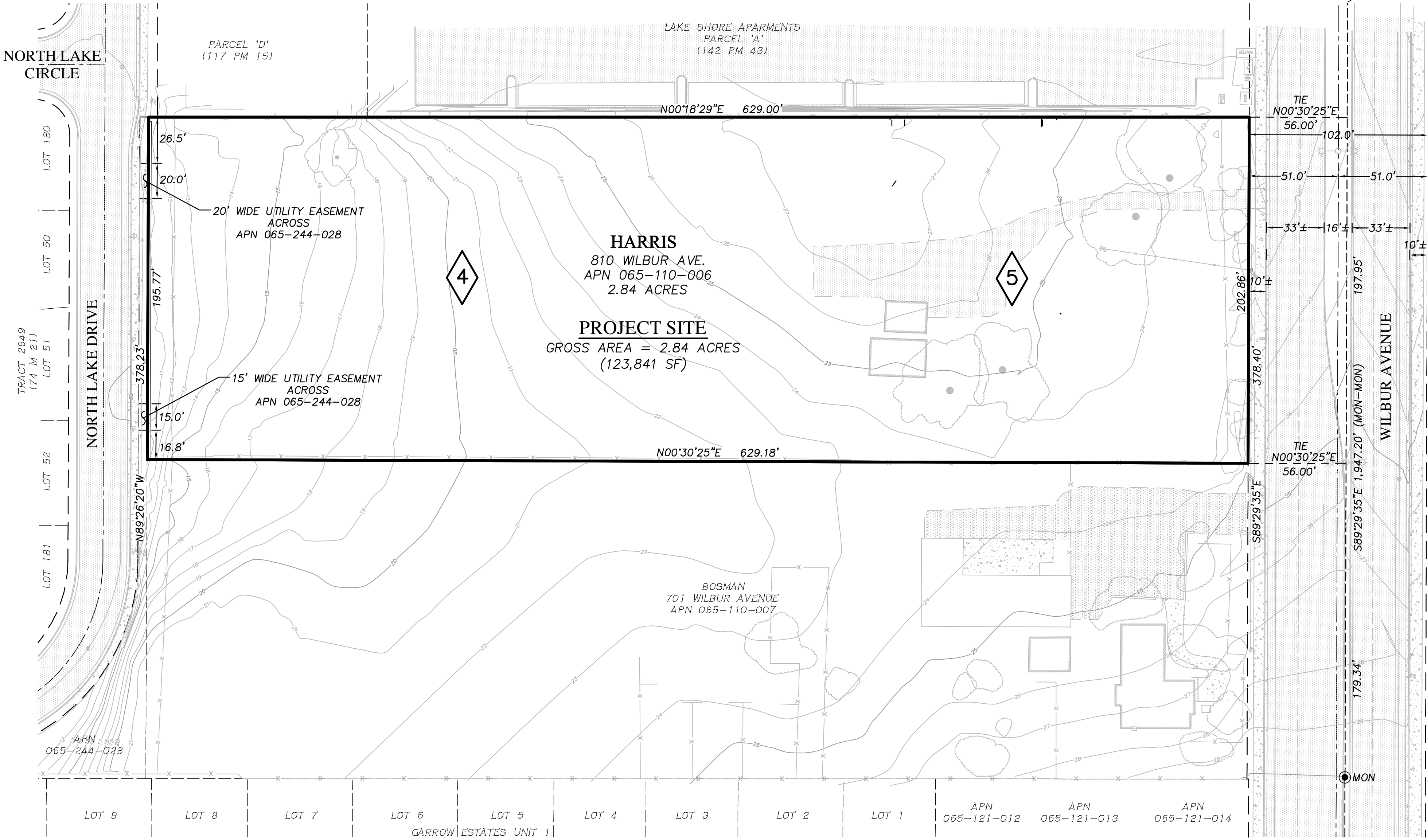


VICINITY MAP
NOT TO SCALE

ABBREVIATIONS

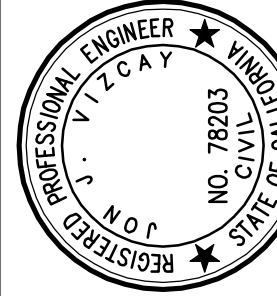
AB	- AGGREGATE BASE
AC	- ACRE
AD	- AREA DRAIN
BW	- BOTTOM OF WALL ELEVATION
B/W	- BACK OF WALK
C&G	- CURB & GUTTER
CB	- CATCH BASIN
CC	- CURB CUT
CL	- CENTERLINE
COA	- CITY OF ANTIOCH
CONC	- CONCRETE
CR	- CURB RETURN
CU	- CUBIC
DET	- DETAIL
DIA	- DIAMETER
DWY	- DRIVEWAY
EG	- EXISTING GROUND ELEVATION
ELEV	- ELEVATION
EVAE	- EMERGENCY VEHICLE ACCESS
EX	- EXISTING
FG	- FINISHED GRADE ELEVATION
FH	- FIRE HYDRANT
FL	- FLOW LINE ELEVATION
G	- GRATE ELEVATION
GB	- GRADE BREAK
GV	- GATE VALVE
HP	- HIGH POINT
LF	- LINEAR FEET
LP	- LOW POINT
MAX	- MAXIMUM
MIN	- MINIMUM
OC	- ON CENTER
P	- PAD
PL	- PROPERTY LINE
PAE	- PUBLIC ACCESS EASEMENT
PUE	- PUBLIC UTILITY EASEMENT
PVC	- POLYVINYL CHLORIDE
PVI	- POINT OF VERTICAL INTERSECTION
R/W	- RIGHT OF WAY
S	- SLOPE
SDWK	- SIDEWALK
SD	- STORM DRAIN
SDE	- STORM DRAIN EASEMENT
SDMH	- STORM DRAIN MANHOLE
SDWK	- SIDEWALK
SF	- SQUARE FEET
SNS	- STREET NAME SIGN
SS	- SANITARY SEWER
SSCO	- SANITARY SEWER CLEANOUT
SSE	- SANITARY SEWER EASEMENT
SSMH	- SANITARY SEWER MANHOLE
STA	- STATION
STD	- STANDARD
TD	- TOP OF CURB ELEVATION
TCL	- TOP OF CURB LEFT
TCR	- TOP OF CURB RIGHT
TW	- TOP OF WALL ELEVATION
TYP	- TYPICAL
VC	- VERTICAL CURVE
W	- WATER
WME	- WATER MAIN EASEMENT

- CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING STREETS, SURROUNDING LANDSCAPE AND OTHER IMPROVEMENTS WITH SMOOTH TRANSITION IN PAVING, CURBS, GUTTERS, SIDEWALKS, GRADING, ETC., AND TO AVOID ANY ABRUPT OR APPARENT CHANGES IN GRADES OR CROSS SLOPES, LOW SPOTS, OR HAZARDOUS CONDITIONS OR AS MAY OTHERWISE BE DIRECTED BY THE CITY ENGINEER.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARD DETAILS FOR CONSTRUCTION OF IMPROVEMENTS FOR THE CITY OF ANTIOCH, CALIFORNIA, AND SHALL MEET APPROVAL OF THE CITY ENGINEER OF THE CITY OF ANTIOCH.
- CONTRACTOR SHALL COMPLY WITH RULES AND REGULATIONS OF STATE, CITY AND OSHA CONSTRUCTION SAFETY ORDERS.
- ALL ELECTRICAL AND GAS UTILITIES TO BE PROVIDED BY PACIFIC GAS & ELECTRIC CO., AND INSTALLED UNDERGROUND BEFORE CONSTRUCTION OF CURB, GUTTER AND SIDEWALKS. CONTRACTOR TO SUPPLY ONE PRINT OF THE PG&E SERVICES DRAWING TO THE CITY OF ANTIOCH ENGINEERING CONSTRUCTION DIVISION.
- WHERE A CONFLICT OCCURS BETWEEN CITY OF ANTIOCH STANDARD SPECIFICATIONS, STANDARD DETAILS, AND RECOMMENDATIONS BY THE DEVELOPERS ENGINEER AND/OR SOILS ENGINEER, THE MORE STRINGENT SHALL APPLY.
- WHERE PAVEMENT IS TO BE EXTENDED, EXISTING IMPROVEMENT ENDS MUST BE SAW-CUT. ANY A.C. OR P.C.C. PAVEMENT REMOVED MUST BE SAW-CUT OR REMOVED TO AN EXPANSION JOINT.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE CITY ENGINEER OR THE OWNER.
- THE TRASH ENCLOSURE SHALL BE BUILT TO THE STANDARDS SET FORTH IN THE CITY OF ANTIOCH MUNICIPAL CODE.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY & ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER, OR THE CITY OF ANTIOCH PUBLIC WORKS.
- CONTRACTOR SHALL POST EMERGENCY PHONE NUMBERS FOR PUBLIC WORKS, AMBULANCE, POLICE AND FIRE DEPARTMENTS.
- DURING ROUGH GRADING OF THIS PROJECT, CONTRACTOR SHALL COMPENSATE FOR ANY UNDERGROUND UTILITY TRENCH SPOILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EARTHWORK GRADING QUANTITIES PRIOR TO THE START OF THE GRADING OPERATION. APEX CIVIL ENGINEERING & LAND SURVEYING ESTIMATES AN EXPORT OF APPROXIMATELY 13 YARDS IS REQUIRED TO ACHIEVE THIS DESIGN, USING THE BEST INFORMATION AVAILABLE.
- DURING GRADING OPERATIONS, CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES & INTERIM SEDIMENTATION & EROSION CONTROL MEASURES ON-SITE.
- ALL DEBRIS SHALL BE HAULED AND DISPOSED OF OFF-SITE BY CONTRACTOR.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT APEX CIVIL ENGINEERING & LAND SURVEYING AT (925) 476-8499 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
- EXISTING GROUND TOPOGRAPHY IS FROM A SURVEY DATED NOVEMBER 30, 2013 PREPARED BY APEX CIVIL ENGINEERING & LAND SURVEYING.
- NO WORK SHALL COMMENCE UNTIL A GRADING PERMIT IS OBTAINED FROM THE CITY OF ANTIOCH.
- ENCROACHMENT PERMITS REQUIRED FOR WORK WITHIN EXISTING PUBLIC RIGHT-OF WAY SHALL BE OBTAINED BY THE CONTRACTOR.
- FOR DETAILS NOT SHOWN ON THESE PLANS, REFER TO CITY OF ANTIOCH STANDARD DRAWINGS & SPECIFICATIONS CURRENT EDITION. COPIES OF SAID PLANS AND SPECIFICATIONS ARE AVAILABLE FROM THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE CITY ENGINEER OR APEX CIVIL ENGINEERING & LAND SURVEYING.
- NO WORK SHALL BEGIN ON THIS PROJECT PRIOR TO A PRECONSTRUCTION CONFERENCE WITH CITY STAFF. CALL THE PUBLIC WORKS DEPARTMENT TO ARRANGE FOR THIS CONFERENCE.

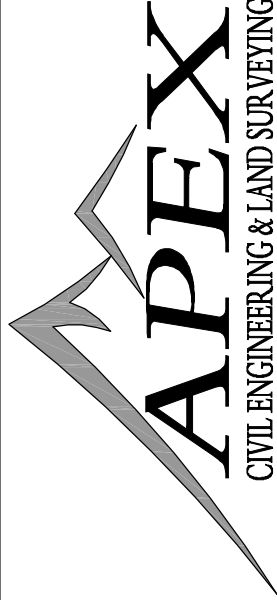


KEY MAP

SCALE: 1" = 40'



817 Arnold Drive, Ste. 50
Martinez, CA 94553
Ph: (925) 476-8499
www.apexce.net



NO.	REVISIONS	BY	APP	DATE

PRELIMINARY DESIGN PLANS
TITLE SHEET
"DELTA COURTYARD APARTMENTS"
810 WILBUR AVENUE, ANTIOCH, CA

SHEET
1 OF 9
DATE
09-19-2022
PROJECT #: 21037

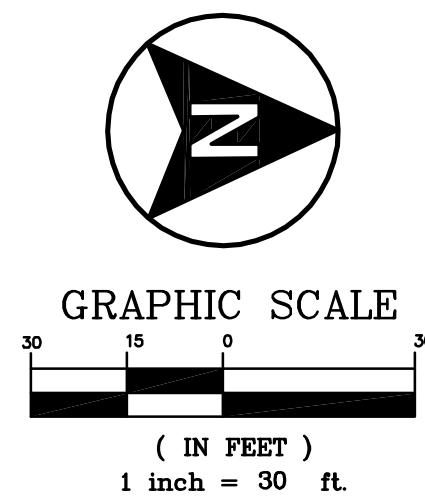
TOPOGRAPHIC SURVEY & DEMOLITION PLAN

"DELTA COURTYARD APARTMENTS"

CITY OF ANTIOCH
COUNTY OF CONTRA COSTA
STATE OF CALIFORNIA

GENERAL DEMOLITION NOTES:

- DEMOLITION PERMIT IS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION. A COPY OF THE DEMOLITION PERMIT IS REQUIRED TO BE ON SITE AT ALL TIMES.
- NOISE-PRODUCING CONSTRUCTION ACTIVITY (INCLUDING PLAYING OF RADIO OR MUSIC) AND GRADING OPERATION SHALL BE LIMITED TO WEEKDAYS (MONDAY THROUGH FRIDAY) EXCEPT CITY HOLIDAYS AND FROM THE HOURS OF 7:00AM TO 5:00PM, SATURDAY AND SUNDAY; NONE, AND SHALL BE PROHIBITED ON STATE AND FEDERAL HOLIDAYS. ALL EQUIPMENT SHALL BE ADEQUATELY MUFFLED AND MAINTAINED. NO CHANGES SHALL BE ALLOWED WITHOUT PRIOR WRITTEN CONSENT OF THE CITY OF ANTIOCH. ALL REQUESTS FOR CHANGES MUST BE MADE A MINIMUM OF 72 HOURS PRIOR TO THE REQUEST FOR CHANGE.
- THE CONSTRUCTION CONTRACTOR AGREES, THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND DEFEND, INDEMNIFY AND HOLD THE DESIGN PROFESSIONAL AND CITY OF ANTIOCH HARMLESS FROM ANY AND ALL LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- THE CONTRACTOR SHALL PROVIDE EMERGENCY TELEPHONE NUMBERS FOR PUBLIC WORKS, AMBULANCE, POLICE, AND FIRE DEPARTMENTS AT THE JOB SITE.
- THE CONTRACTOR SHALL CONTROL DUST BY WATERING EXPOSED SURFACES AS NEEDED. INCREASED WATERING SHALL BE REQUIRED WHEN WIND SPEEDS EXCEED 10 MPH.
- THE PROJECT APPLICANT SHALL SWEEP STREETS DAILY, OR AS NECESSARY, WITH WATER SWEEPERS IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION DRIVES TO PREVENT THE TRACKING OF SOIL, DUST, MUD, OR CONSTRUCTION DEBRIS ON PUBLIC STREETS.
- MUD TRACKED ONTO STREETS OR ADJACENT PROPERTIES SHALL BE REMOVED IMMEDIATELY, STREET SHALL BE SWEEPED WITH A POWER SWEEPER (NOT PRESSURE WASHED) AS DIRECTED BY THE CITY OF ANTIOCH.
- REMOVE ALL EXISTING GAS AND ELECTRICAL LINES WITH EXTREME CAUTION. CALL USA - 811 AT LEAST 48 HOURS BEFORE DIGGING.



BENCHMARK

CONTRA COSTA COUNTY BM#3187 A BRASS DISK AT THE NORTH END OF A CONCRETE WALL, EAST OF THE INTERSECTION OF WILBUR AVENUE AND MINAKER DRIVE. ELEVATION = 36.791 (1929 USGS DATUM)

BASIS OF BEARINGS

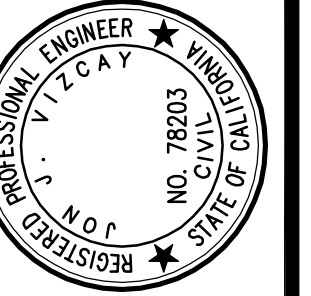
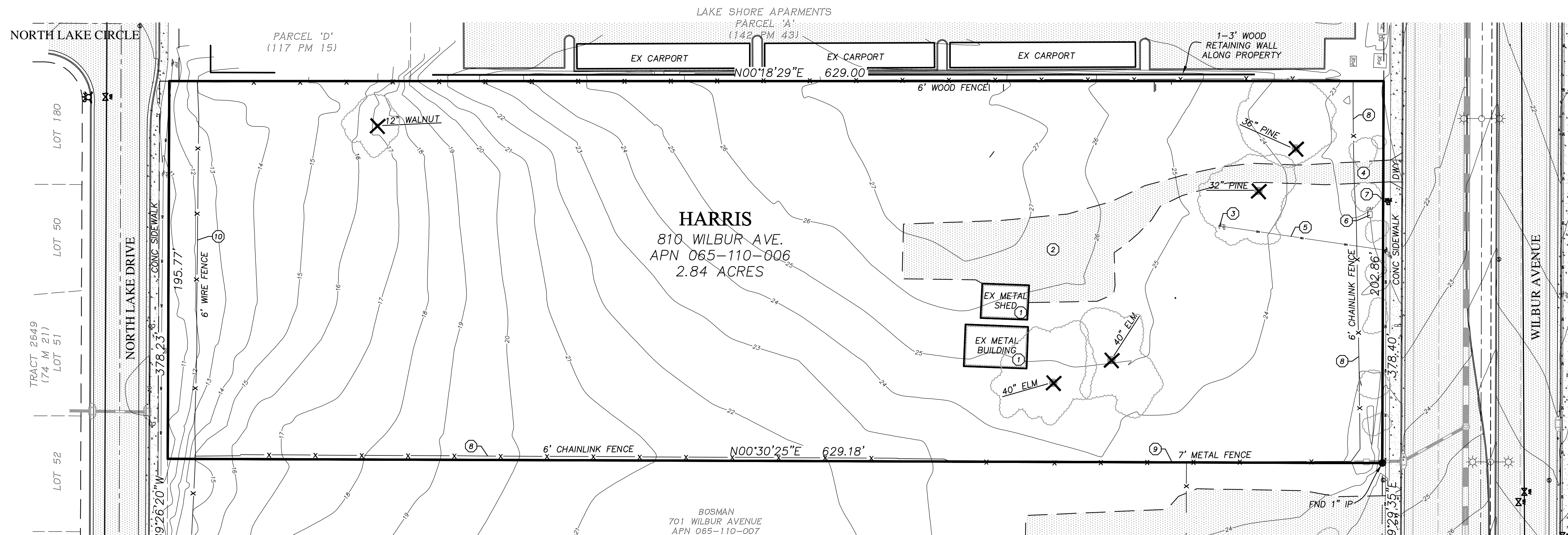
EXISTING MONUMENT LINE OF WILBUR AVE. TAKEN AS NORTH 89°29'35" WEST PER CCCO RIGHT OF WAY MAP R/W 7181 BETWEEN FOUND MONUMENTS SHOWN HEREON

DEMOLITION KEY LEGEND

- EXISTING STRUCTURE TO BE REMOVED
- EXISTING ASPHALT/GRAVEL TO BE REMOVED
- EXISTING UTILITY POLE TO BE REMOVED
- EXISTING ASPHALT (APPROX. 40') TO REMAIN AS ALL-WEATHER CONSTRUCTION ENTRANCE
- EXISTING OVERHEAD LINE TO BE REMOVED
- EXISTING GAS METER AND LINE TO BE REMOVED
- EXISTING WATER METER AND LINE TO BE REMOVED
- EXISTING CHAINLINK FENCE TO BE REMOVED
- EXISTING METAL FENCE TO BE REMOVED (AS NEEDED)
- EXISTING WIRE FENCE TO BE REMOVED

LEGEND

- [Patterned Box] EX. ASPHALT DRIVEWAY TO SERVE AS ALL-WEATHER CONSTRUCTION ENTRANCE
- [X in Circle] TREE TO BE REMOVED



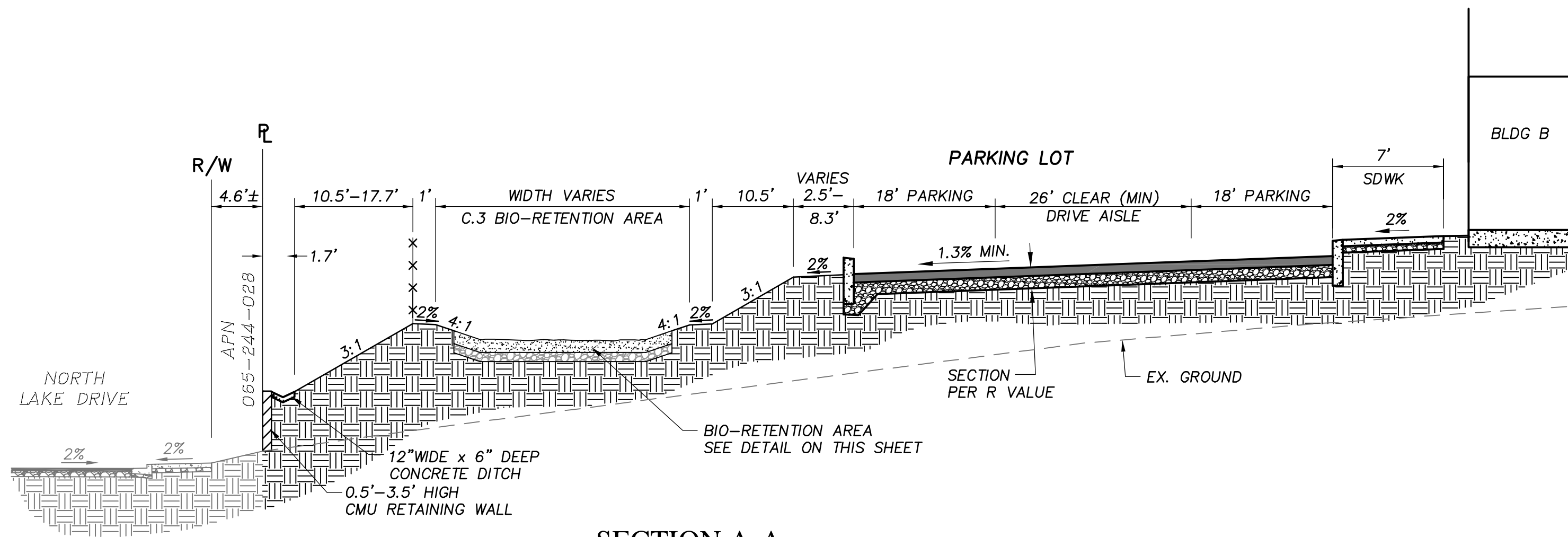
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www.apexce.net



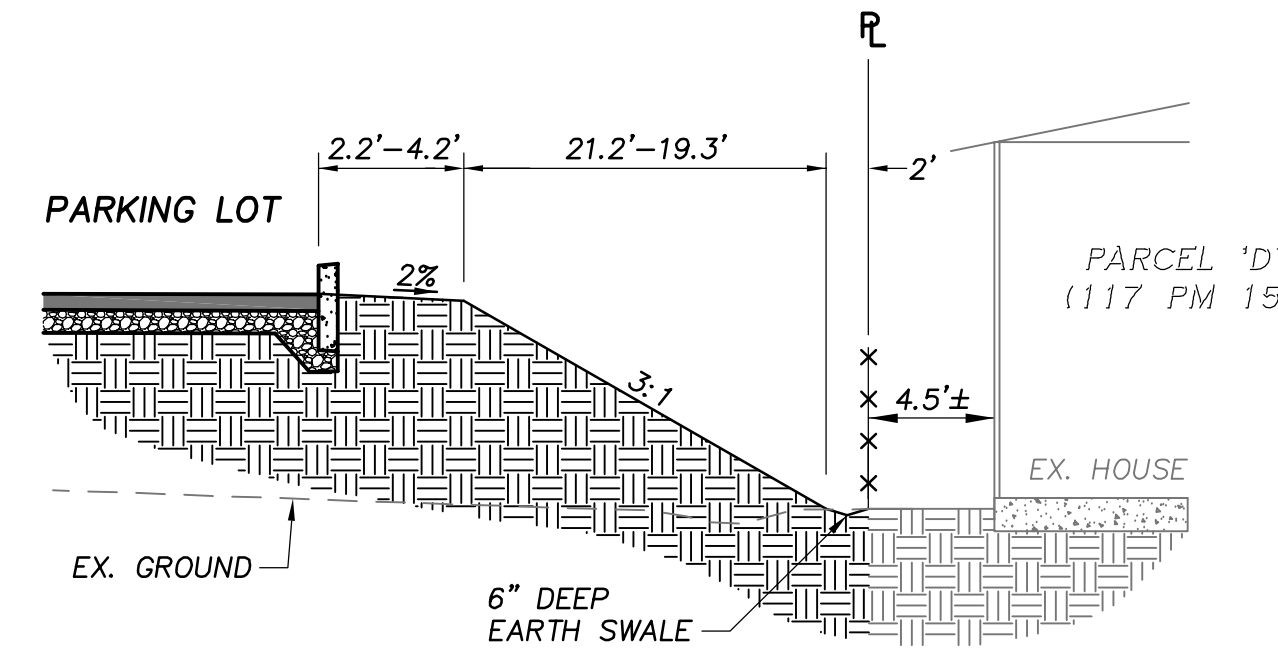
NO.	REVISIONS	BY	APP	DATE

TOPOGRAPHIC SURVEY & DEMOLITION PLAN
"DELTA COURTYARD APARTMENTS"
810 WILBUR AVENUE, ANTIOCH, CA

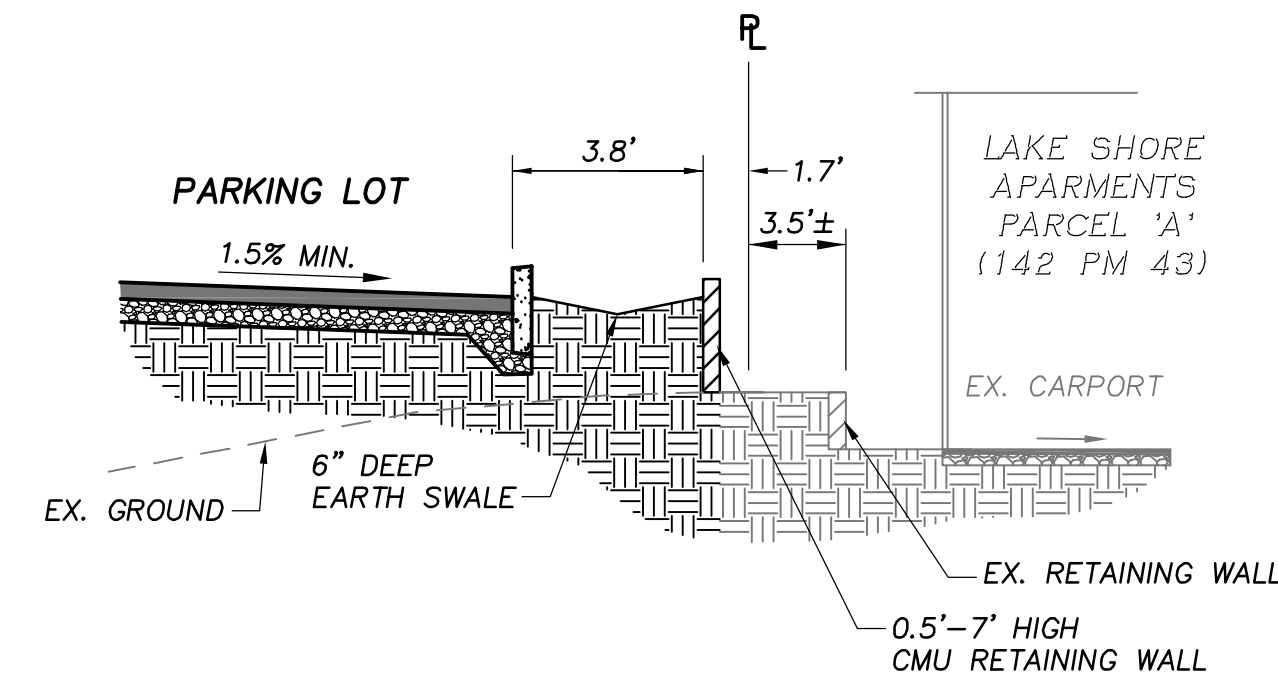
SHEET
2 OF 9
DATE
09-19-2022
PROJECT #: 21037



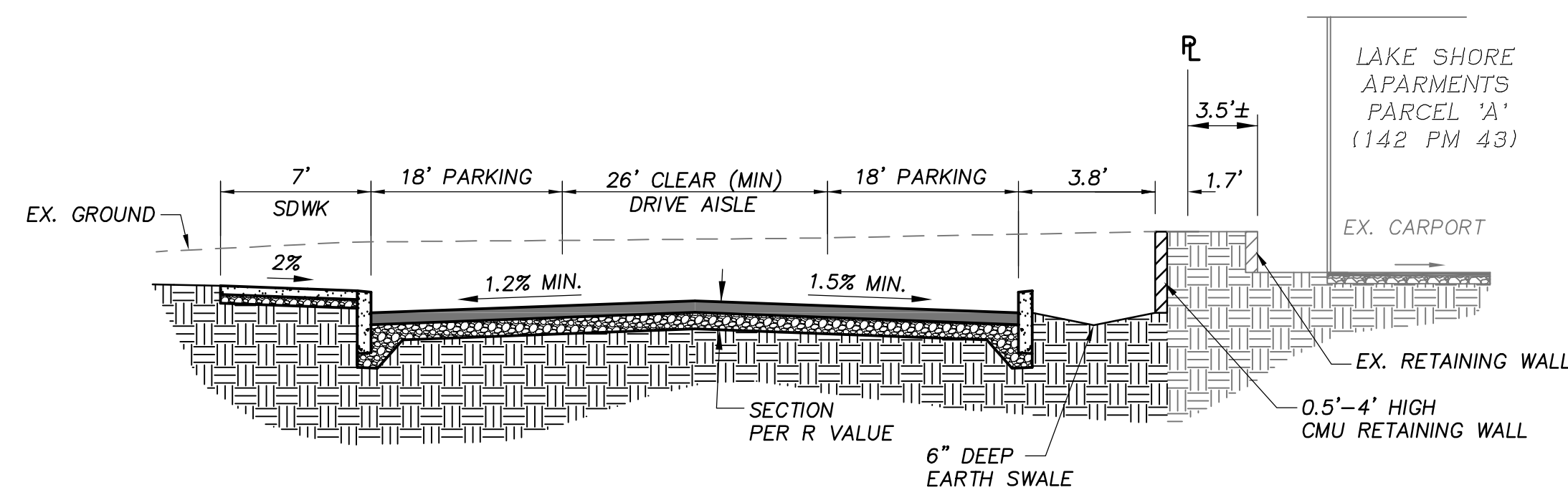
SECTION A-A
NOT TO SCALE



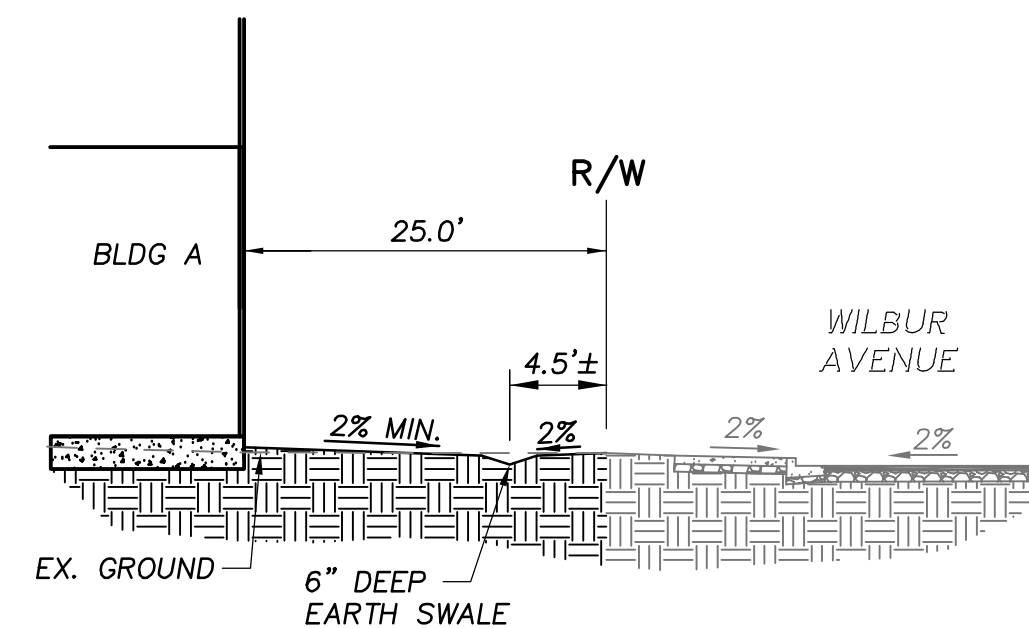
SECTION B-B
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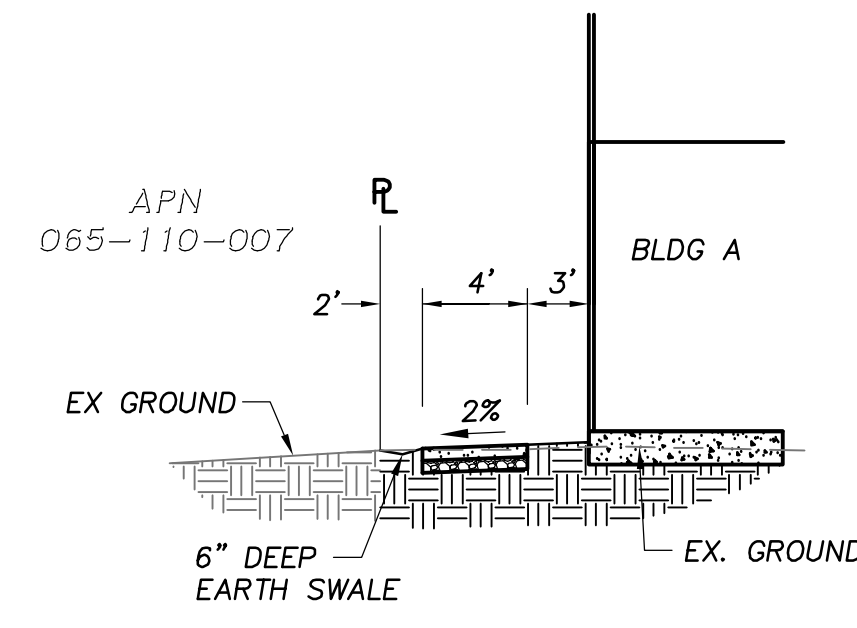
SECTION C-C
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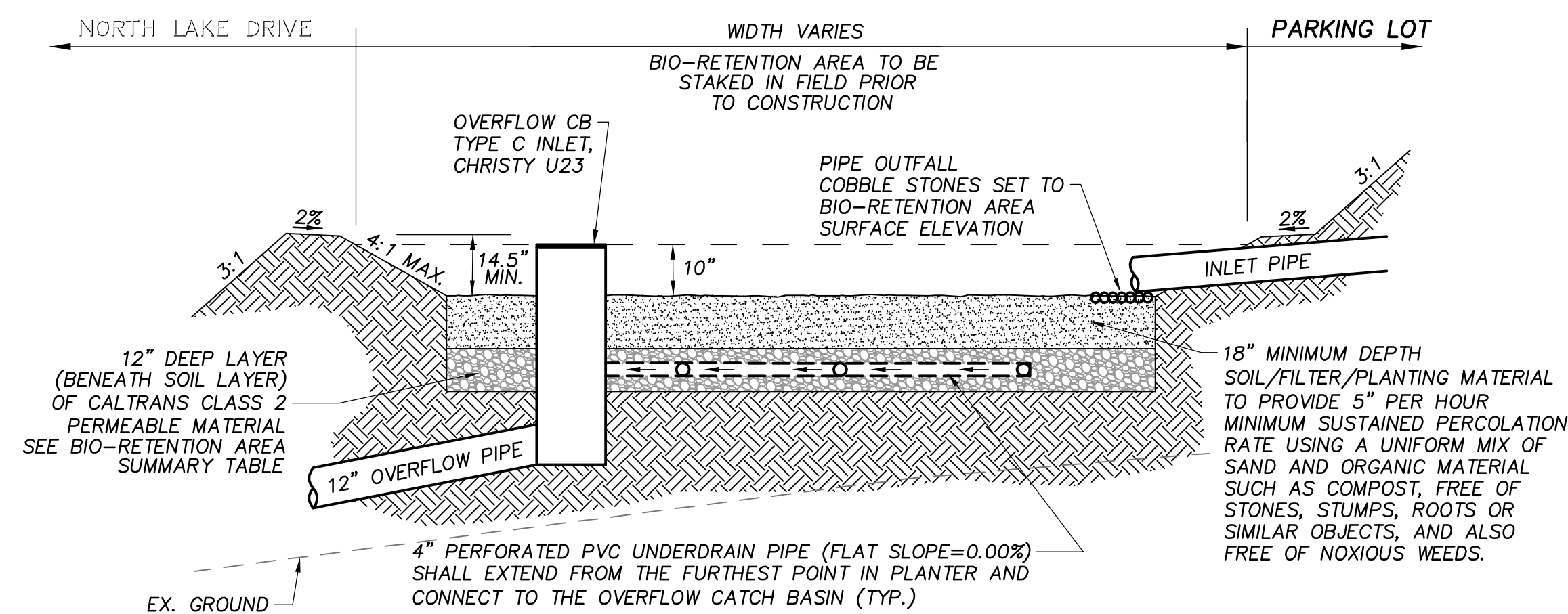
SECTION D-D
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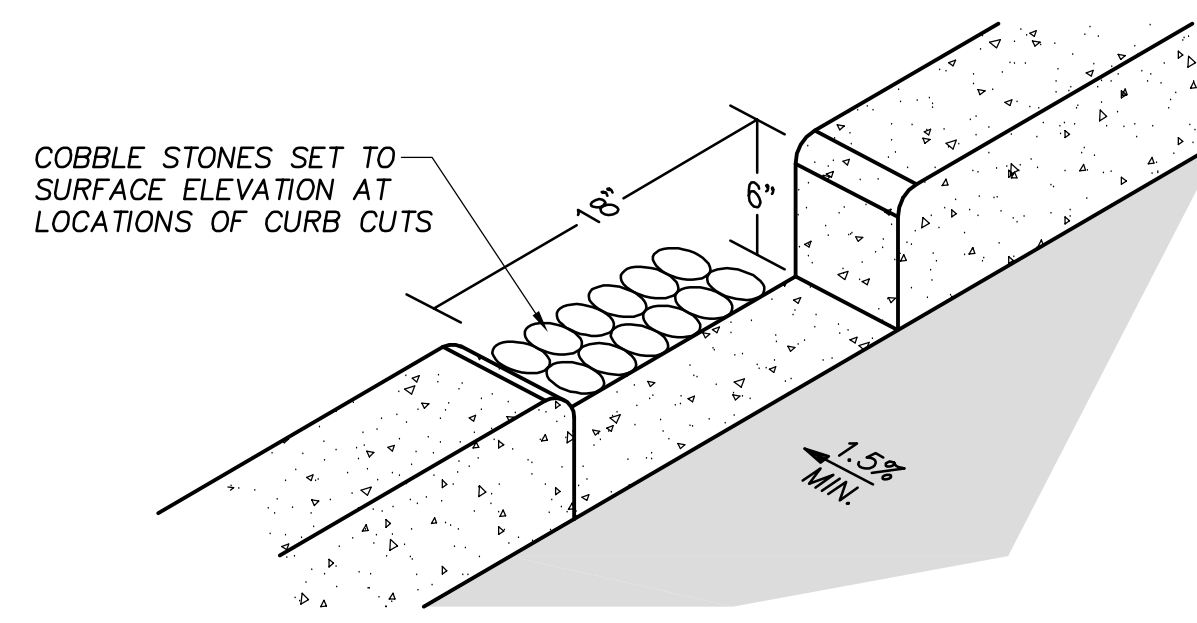
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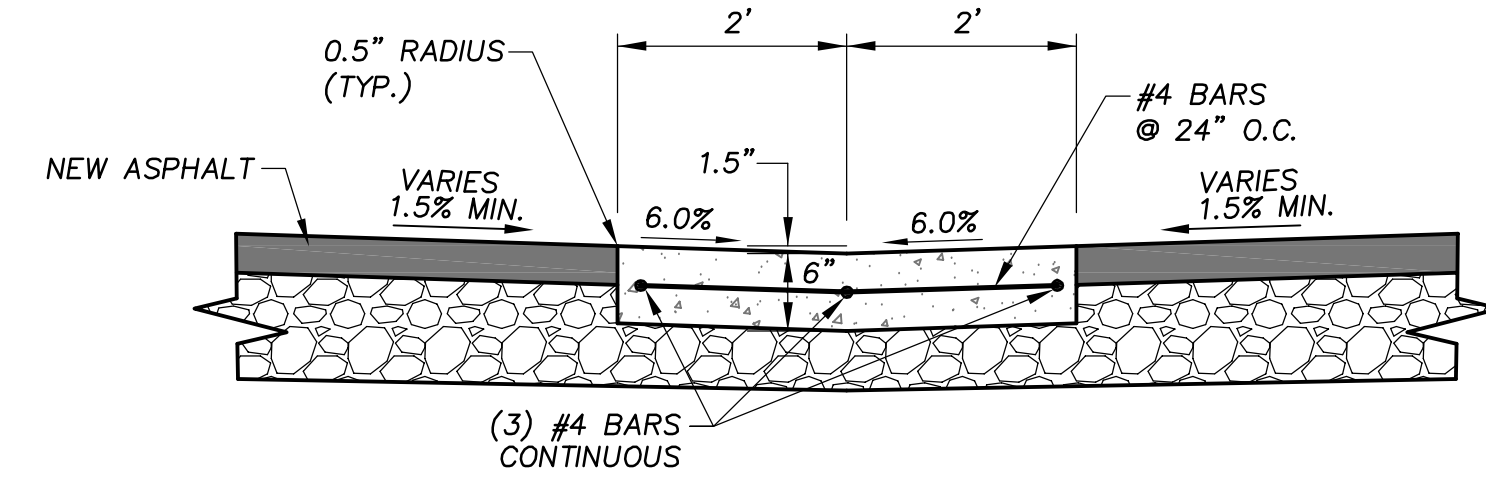
SECTION F-F
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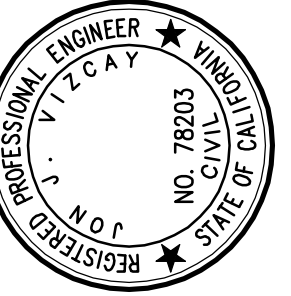
BIO-RETENTION AREA (TYP)
NOT TO SCALE



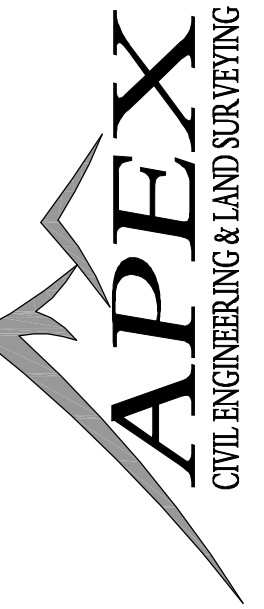
18" CURB CUT (TYP.)
NOT TO SCALE



4' CONCRETE VALLEY GUTTER
NOT TO SCALE



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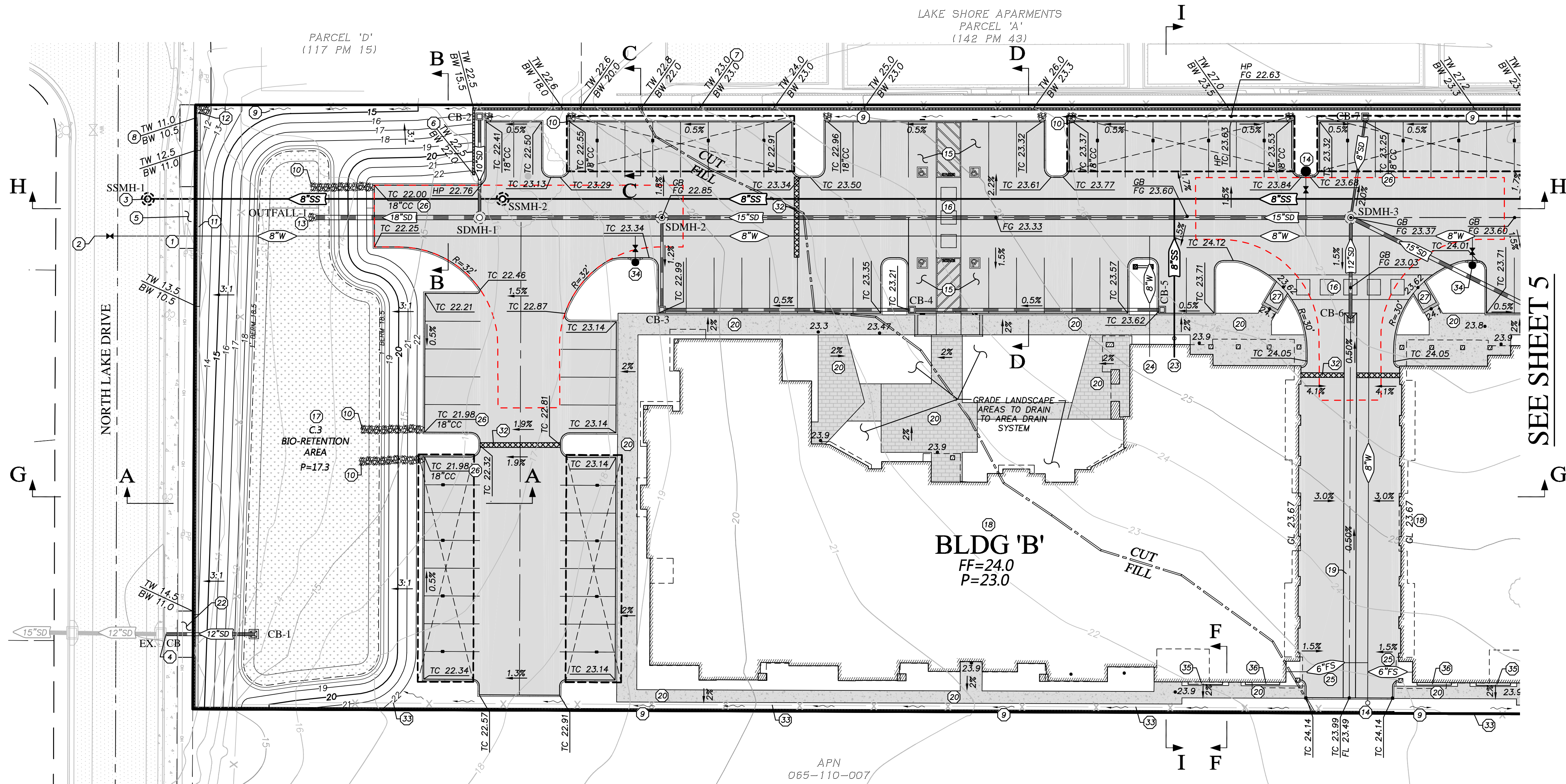
NO.	REVISIONS	BY	APP	DATE

SECTIONS & DETAILS
"DELTA COURTYARD APARTMENTS"
810 WILBUR AVENUE, ANTIOCH, CA

SHEET
3 OF 9

DATE
09-19-2022

PROJECT #: 21037

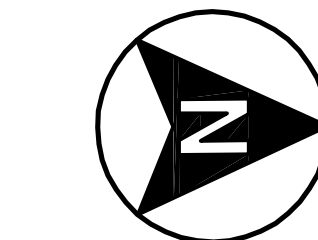


GRADING QUANTITIES

CUT	5,490 CU. YDS.
FILL	5,490 CU. YDS.
BALANCED SITE	

TOTAL DISTURBED AREA: 125,107 SF

SECTIONS NOTE:
REFER TO SHEET 3
FOR SECTIONS A-A THRU F-F
SEE SHEETS 7 & 8 FOR
SECTIONS G-G THRU J-J



GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

KEY LEGEND

- EXISTING SIDEWALK TO REMAIN
- CONNECT TO EX. 10" WATER MAIN
- CONNECT TO EX. 14" SANITARY SEWER MAIN. INSTALL MANHOLE
- CONNECT TO EX. CATCH BASIN
- 20' WIDE UTILITY EASEMENT ACROSS APN 065-244-028
- BEGIN RETAINING WALL
- RETAINING WALL TRANSITION/DAYLIGHT
- END RETAINING WALL
- EARTH SWALE (TYP)
- COBBLE STONES FROM CURB CUT DOWN TO BIO-RETENTION AREA SOIL (TYP)
- 12" WIDE x 6" DEEP CONCRETE DITCH BEHIND TOP OF WALL
- DAYLIGHT CONCRETE DITCH TO COBBLE STONE AREA
- STORM DRAIN PIPE OUTFALL ON TO COBBLE STONES AT BIO-RETENTION AREA
- BLOW-OFF
- ADA ACCESSIBLE PARKING STALLS & ACCESS AISLE
- 8' WIDE STRIPED CROSSWALK
- C.3 BIO-RETENTION AREA
- NEW BUILDING. SEE ARCHITECTURAL PLANS
- 4' WIDE CONCRETE VALLEY GUTTER. SEE DETAIL ON SHEET 3
- CONCRETE/PAVER WALKWAY
- STRIPED AREA FOR EVA ACCESS THROUGH APN 065-110-007
- 15' WIDE UTILITY EASEMENT ACROSS APN 065-244-028
- SEWER CONNECTION TO BUILDING PLUMBING
- WATER CONNECTION TO BUILDING PLUMBING
- FIRE SERVICE TO BUILDING
- 18" CURB CUT (TYP). SEE DETAIL ON SHEET 3
- CURB RAMP
- CONNECT TO EX. 12" WATER MAIN
- CONSTRUCT NEW DRIVEWAY APPROACH PER COA STD DET CD-25A
- CONNECT TO EX. SIDEWALK
- EXISTING PROPERTY TO BE DEVELOPED TO PROVIDE EVA ACCESS
- 12" BY 3" ASPHALT SPEED BUMP, OR APPROVED EQUAL, FULL WIDTH OF DRIVEWAY (EXCLUDING VALLEY GUTTER)
- EX. FENCE TO BE REMOVED AND NEW FENCE TO BE BUILT ON PROPERTY LINE
- FIRE HYDRANT
- ELECTRICAL METERS
- GAS METERS

SS/SD STRUCTURE SUMMARY

STRUCTURE #	GRATE/RIM ELEVATION	FLOW LINE ELEVATION
SSMH-1	10.64	0.16
SSMH-2	22.39	12.93
EX. CB	9.48	5.38
CB-1	18.30	8.50
OUTFALL-1	N/A	17.30
SDMH-1	22.41	17.49
CB-2	21.36	17.66
SDMH-2	22.85	17.79
CB-3	22.49	17.94
CB-4	22.71	18.35
CB-5	23.12	18.76
SDMH-3	23.37	18.91
CB-6	22.88	19.08
CB-7	22.55	19.07

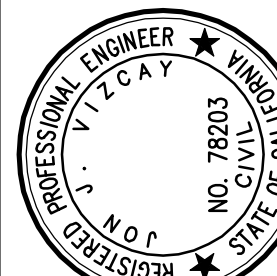
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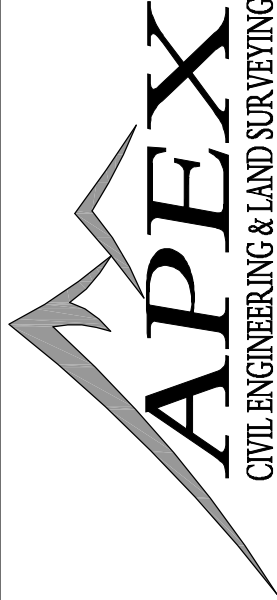


DIAL TOLL FREE
1 800 227 2600
AT LEAST TWO DAYS
BEFORE YOU DIG

UNDERGROUND SERVICE ALERT OF NORTHERN CALIFORNIA



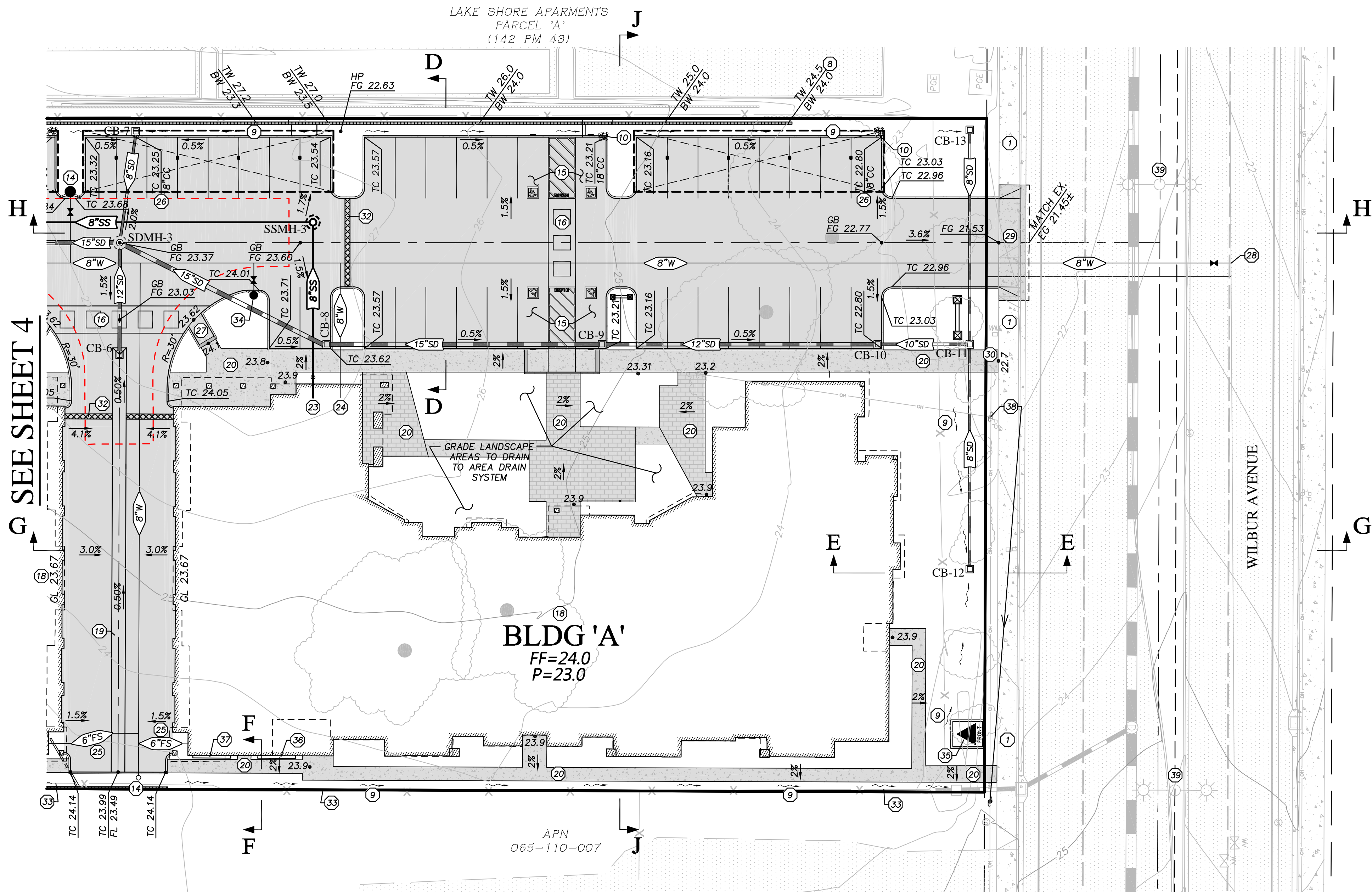
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NO.	REVISIONS	BY	APP	DATE

PRELIMINARY GRADING, DRAINAGE
& UTILITY DESIGN
"DELTA COURTYARD APARTMENTS"
810 WILBUR AVENUE, ANTIOCH, CA

SHEET
4 OF 9
DATE
09-19-2022
PROJECT #: 21037



KEY LEGEND

- 1 EXISTING SIDEWALK TO REMAIN
- 8 END RETAINING WALL
- 9 EARTH SWALE (TYP)
- 10 COBBLE STONES AT CURB CUT (TYP)
- 14 BLOW-OFF
- 15 ADA ACCESSIBLE PARKING STALLS & ACCESS AISLE
- 16 8" WIDE STRIPED CROSSWALK
- 18 NEW BUILDING. SEE ARCHITECTURAL PLANS
- 19 4' WIDE CONCRETE VALLEY GUTTER. SEE DETAIL ON SHEET 3
- 20 CONCRETE/PAVER WALKWAY
- 21 STRIPED AREA FOR EVA ACCESS THROUGH APN 065-110-007
- 23 SEWER CONNECTION TO BUILDING PLUMBING
- 24 WATER CONNECTION TO BUILDING PLUMBING
- 25 FIRE SERVICE TO BUILDING
- 26 18" CURB CUT (TYP). SEE DETAIL ON SHEET 3
- 27 CURB RAMP
- 28 CONNECT TO EX. 12" WATER MAIN
- 29 CONSTRUCT NEW 26" WIDE DRIVEWAY APPROACH PER COA STD DET CD-25A
- 30 CONNECT TO EX. SIDEWALK
- 31 PROPOSED 20' ACCESS EASEMENT FOR EVA-20' WIDE GRAVEL SURFACE DRIVE
- 32 12" BY 3" ASPHALT SPEED BUMP, OR APPROVED EQUAL, FULL WIDTH OF DRIVEWAY (EXCLUDING VALLEY GUTTER)
- 33 EX. FENCE TO BE REMOVED AND NEW FENCE TO BE BUILT ON PROPERTY LINE
- 34 FIRE HYDRANT
- 35 TRANSFORMER
- 36 ELECTRICAL METERS
- 37 GAS METERS
- 38 RELOCATE EXISTING POWER POLE TO SOUTH PROPERTY LINE
- 39 EXISTING STREETLIGHTS

NOTES:

1. PROPOSED 26-FOOT WIDE CONCRETE DRIVEWAY APPROACH SHALL BE PER CITY STD DET CD-25A.
2. ALL ON-SITE PROPOSED CURB SHALL BE PER THE DETAIL ON SHEET 3.
3. MONOLITHIC SIDEWALK SHALL BE PER CITY STD DET CD-35.
4. ALL SLOPES SHOWN ARE FOR PAVEMENT OR CONCRETE SURFACES (NOT CURB).
5. PROPOSED FIRE HYDRANT SHALL BE INSTALLED PER CITY STD DET CD-22A AND CD-22B.
6. TRENCH BACKFILL AND SURFACING SHALL BE PER CITY STANDARD.
7. CONNECTION TO EXISTING CATCH BASIN SHALL BE PER CITY STD DET CD-29B.
8. CATCH BASINS SHALL BE A CHRISTY V64 CATCH BASIN OR APPROVED EQUAL.
9. SEWER LATERALS ON-SITE SHALL BE AT 2% MIN. SLOPE PER CITY STD DET CD-23A.
10. WATER LATERALS ON-SITE SHALL MEET CITY WATER STANDARD SPECIFICATIONS.
11. CONSTRUCTION OF STORM WATER BIO-RETENTION AREAS SHALL BE PER DETAIL ON SHEET 3 AND FOLLOW DESIGN PER THE CONTRA COSTA COUNTY STORM WATER C.3 GUIDEBOOK.
12. ANY BROKEN OR DAMAGED CONCRETE, EITHER EXISTING PRIOR TO CONSTRUCTION OR AS A RESULT OF THE CONSTRUCTION, NEEDS TO BE REPLACED TO CITY STANDARD.
13. ALL WALKWAYS AROUND BUILDING SHALL HAVE A MAX. 2% CROSS SLOPE.
14. CONTRACTOR SHALL COORDINATE SHUTOFF OF EXISTING UTILITIES AND REMOVAL OR RELOCATION OF SERVICES, AS REQUIRED.
15. ALL EXISTING TREES TO BE REMOVED UNLESS NOTED TO BE SAVED.
16. FINAL STRUCTURAL SECTION OF ASPHALT AND AB SHALL BE BASED ON ACTUAL R-VALUE TESTS TAKEN DURING CONSTRUCTION.
17. WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT ISSUED BY THE CITY OF ANTIOCH.
18. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING (2% MIN).
19. MAXIMUM 2% SLOPES IN ALL DIRECTIONS IN ADA PARKING AREAS.
20. MAXIMUM 2% CROSS SLOPE AND 5% LONGITUDINAL SLOPE ALONG ADA PATH OF TRAVEL.
21. SEE SHEETS 7 & 8 FOR SECTIONS G-G THRU J-J.

SS/SD STRUCTURE SUMMARY

STRUCTURE #	GRATE/RIM ELEVATION	FLOW LINE ELEVATION
SSMH-4	23.48	15.48
SDMH-3	23.37	18.91
CB-6	22.88	19.08
CB-7	22.55	19.07
CB-8	23.12	19.25
CB-9	22.71	19.66
CB-10	22.30	20.07
CB-11	22.80	20.21
CB-12	22.80	20.53
CB-13	22.30	20.53

SECTIONS NOTE:

REFER TO SHEET 3
FOR SECTIONS A-A THRU F-F
SEE SHEETS 7 & 8 FOR
SECTIONS G-G THRU J-J

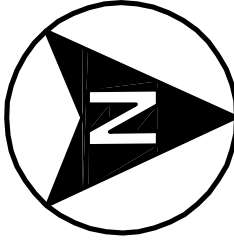


DIAL TOLL FREE
1 800 227 2600
AT LEAST TWO DAYS
BEFORE YOU DIG

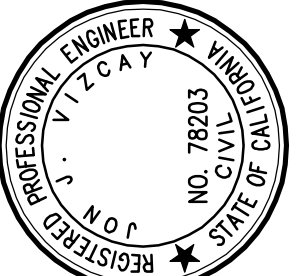
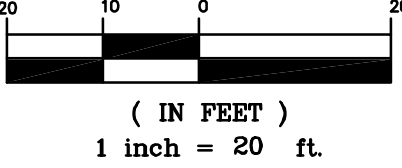
UNDERGROUND SERVICE ALERT OF NORTHERN CALIFORNIA

NOTE:

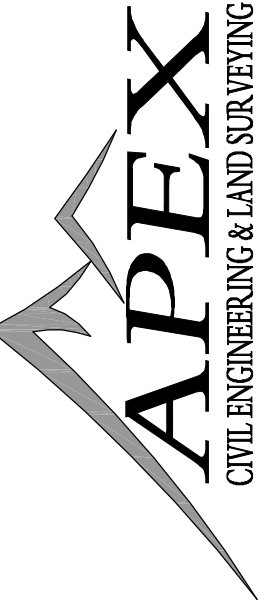
THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES, VERIFY THE LOCATION OF ANY UTILITIES AND EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES DURING CONSTRUCTION.



GRAPHIC SCALE



817 Arnold Drive, Ste. 50
Martinez, CA 94553
Ph: (925) 476-8499
www.apexce.net



NO.	REVISIONS	BY	APP	DATE

PRELIMINARY GRADING, DRAINAGE
& UTILITY DESIGN
"DELTA COURTYARD APARTMENTS"
810 WILBUR AVENUE, ANTIOCH, CA

SHEET

5 OF 9

DATE

09-19-2022

PROJECT #: 21037

PRELIMINARY C.3 STORM WATER CONTROL PLAN

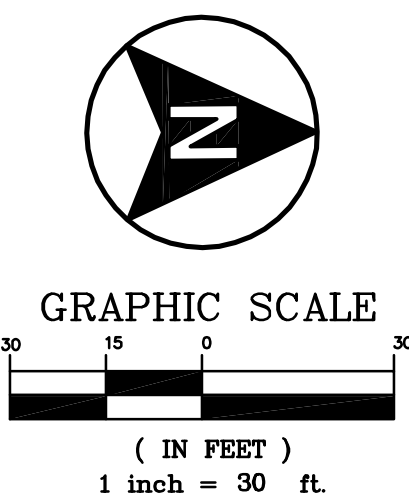
"DELTA COURTYARD APARTMENTS"

CITY OF ANTIOCH
COUNTY OF CONTRA COSTA
STATE OF CALIFORNIA

C.3 BIO-RETENTION AREA SUMMARY

IMP AREA NAME	DMA NAME	DMA AREA (SF)	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	IMP SIZING FACTOR	RAIN ADJUSTMENT FACTOR	MINIMUM AREA (SF)	REQUIRED IMP AREA (SF)	PROPOSED IMP AREA (SF)
BR-1	C/P	49,869	1.0	49,869	0.07	0.907	3,166	5,710	6,267
	R	37,560	1.0	37,560	0.07	0.907	2,385		
	L	24,999	0.1	2,500	0.07	0.907	159		

SELF-TREATING AREA: ST = 5,146 SF
UNTREATED AREA: 837 SF (0.7%)



AREA BREAKDOWN

PERVIOUS	
LANDSCAPING:	30,145 SF
BIO-RETENTION AREA:	6,267 SF
IMPERVIOUS	
CONCRETE/ASPHALT:	49,869 SF
ROOFS:	37,560 SF
TOTAL AREA:	123,841 SF

C.3 STORM WATER CONTROL LEGEND

DRAINAGE MANAGEMENT AREAS (DMA):

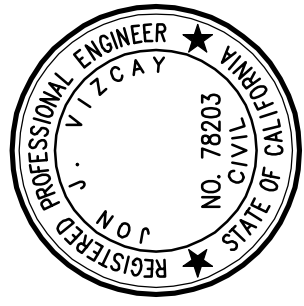
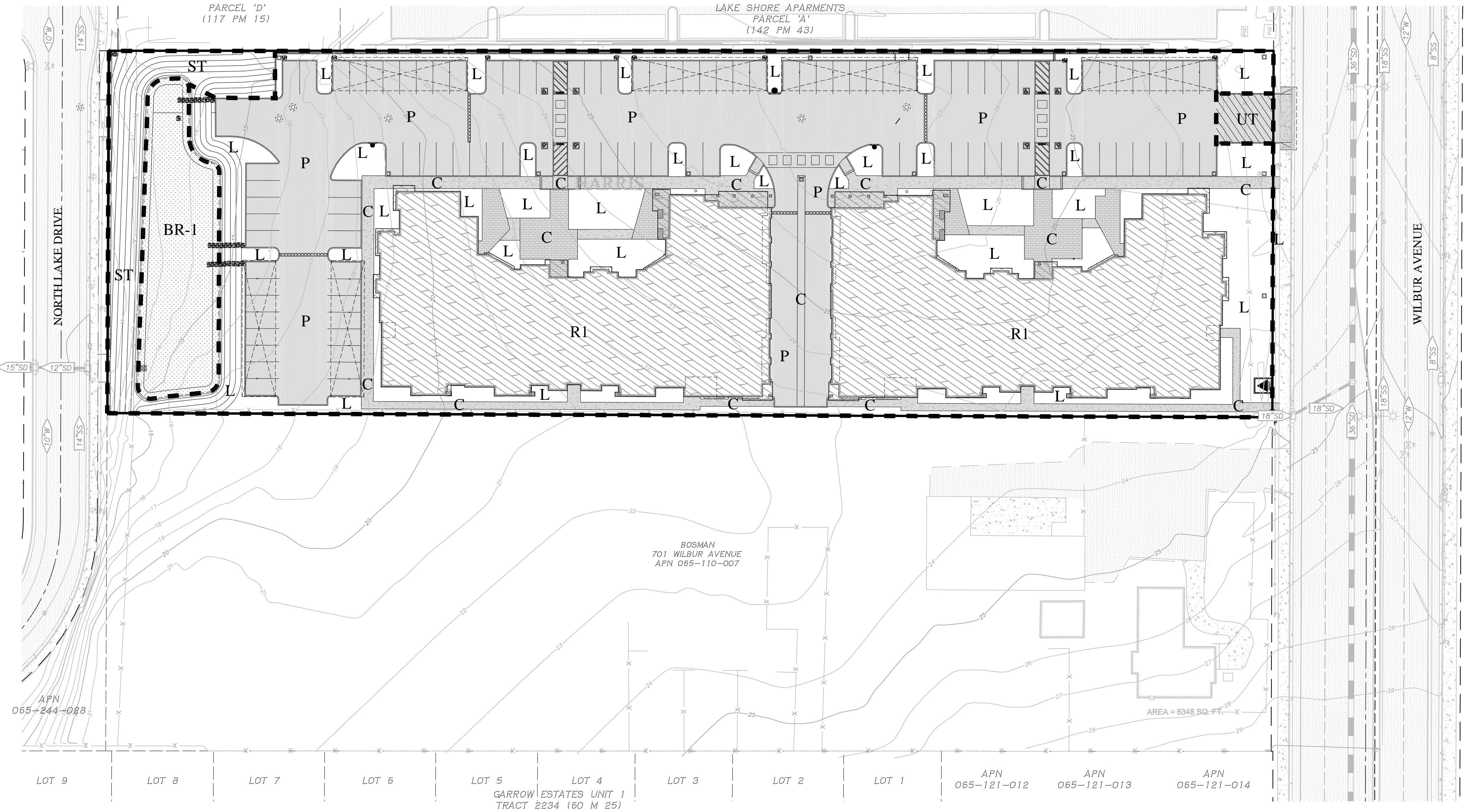
LANDSCAPE AREA	L
SELF-TREATING LANDSCAPE AREA	ST
NEW IMPERVIOUS AREA (PAVEMENT/CONCRETE)	P / C
NEW IMPERVIOUS AREA (ROOFTOP)	R
UNTREATED AREA	UT
C.3 BIO-RETENTION AREA	BR-1

BMP TRIBUTARY BOUNDARY: - - - - -

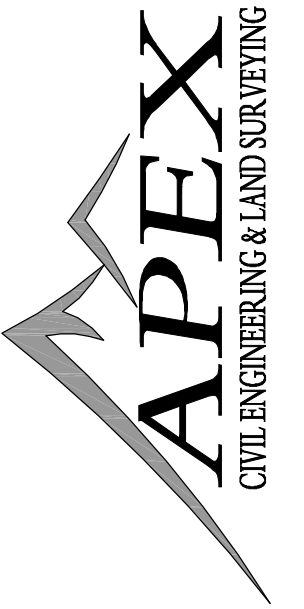
PROJECT DATA FORM

PROJECT NAME/NUMBER	DELTA COURTYARD APMTS.
PROJECT LOCATION	810 WILBUR AVENUE ANTIOCH, CA
NAME OF DEVELOPER	810 WILBUR ASSOCIATES LLC
PROJECT TYPE AND DESCRIPTION	74 APARTMENT UNITS
PROJECT WATERSHED	E. ANTIOCH CREEK WATERSHED
TOTAL PROJECT SITE AREA (ACRES)	2.84 ACRES (123,841 SF)
TOTAL NEW IMPERVIOUS SURFACE AREA (SQ. FT.)	86,287 SF
TOTAL REPLACED IMPERVIOUS SURFACE AREA	1,142 SF
TOTAL PRE-PROJECT IMPERVIOUS SURFACE AREA	1,142 SF
TOTAL POST-PROJECT IMPERVIOUS SURFACE AREA	87,429 SF
RUNOFF REDUCTION MEASURES SELECTED	<input checked="" type="checkbox"/> 1. DISPERSE RUNOFF TO VEGETATED AREA <input type="checkbox"/> 2. PERVIOUS PAVEMENT (PAVERS) <input type="checkbox"/> 3. CISTERNS OR RAIN BARRELS <input checked="" type="checkbox"/> 4. BIO-RETENTION FACILITY OR PLANTER

MEASURES WILL BE IMPLEMENTED TO REDUCE RUNOFF, WHERE POSSIBLE:
-ROOF RUNOFF IS DISPERSED TO PERVIOUS AREAS OR SHALL DRAIN TO BIO-RETENTION AREA

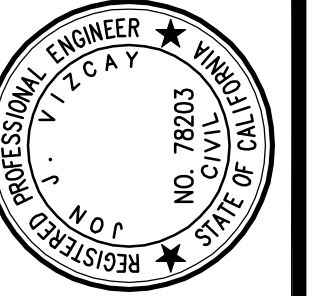
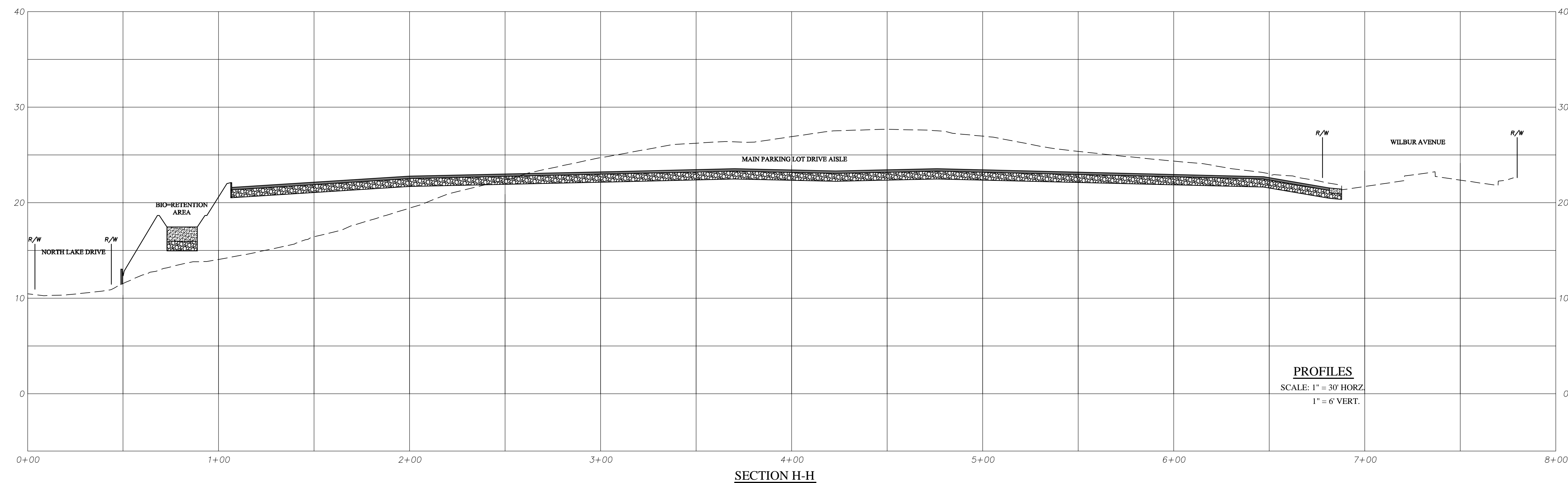


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NO.	REVISIONS	BY	APP	DATE

PRELIMINARY C.3
STORM WATER CONTROL PLAN
"DELTA COURTYARD APARTMENTS"
810 WILBUR AVENUE, ANTIOCH, CA



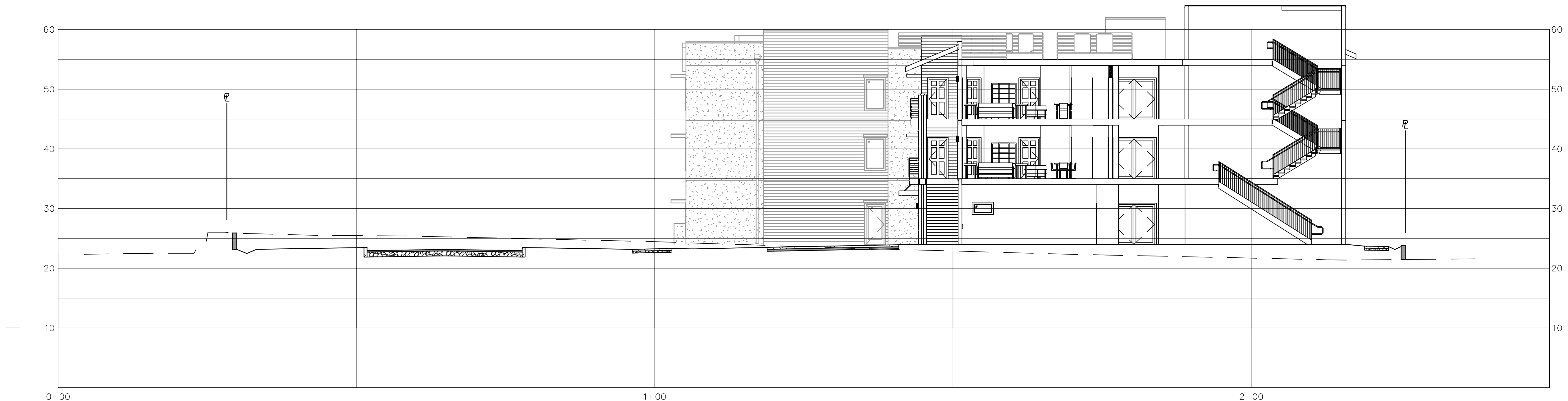
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Martinez, CA 94553
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NO.	REVISIONS	BY	APP	DATE

ENGINEERED CROSS-SECTIONS
"DELTA COURTYARD APARTMENTS"
810 WILBUR AVENUE, ANTIOCH, CA

SHEET
7 OF 9
DATE
09-19-2022
PROJECT #: 21037

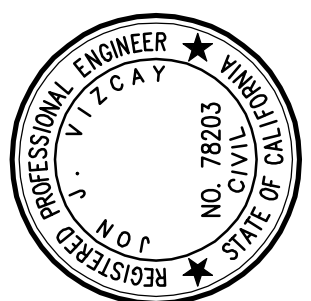


SECTION I-I

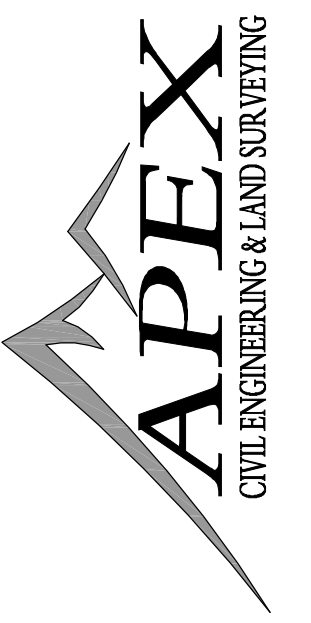
PROFILES
 SCALE: 1" = 10' HORZ.
 1" = 10' VERT.



SECTION J-J



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 Martinez, CA 94553
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NO.	REVISIONS	BY	APP	DATE

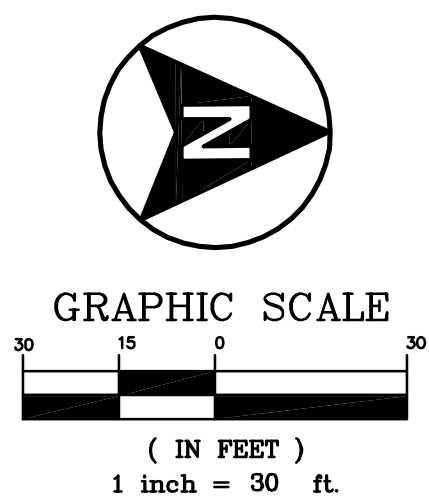
TRUE CROSS-SECTIONS
 "DELTA COURTYARD APARTMENTS"
 810 WILBUR AVENUE, ANTIOCH, CA

SHEET
 8 OF 9
 DATE
 09-19-2022
 PROJECT #: 21037

TRAFFIC SIGNING AND STRIPING PLAN

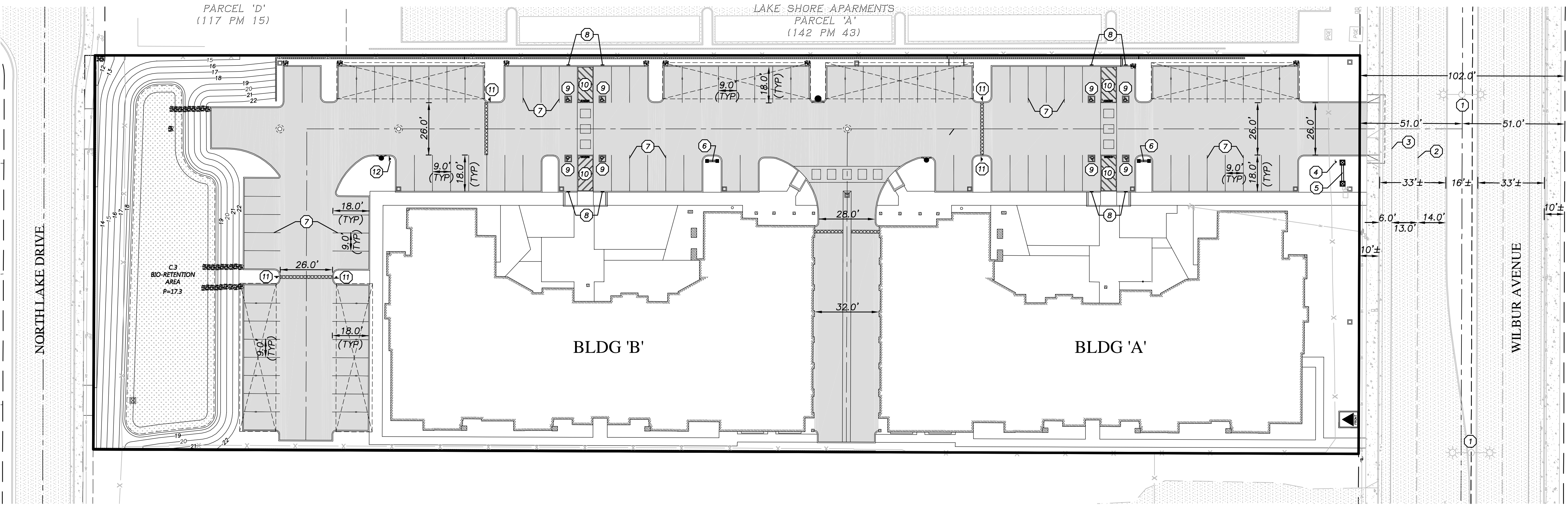
"DELTA COURTYARD APARTMENTS"

CITY OF ANTIOCH
COUNTY OF CONTRA COSTA
STATE OF CALIFORNIA

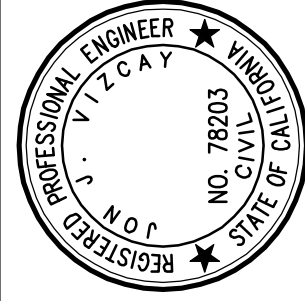


KEY LEGEND

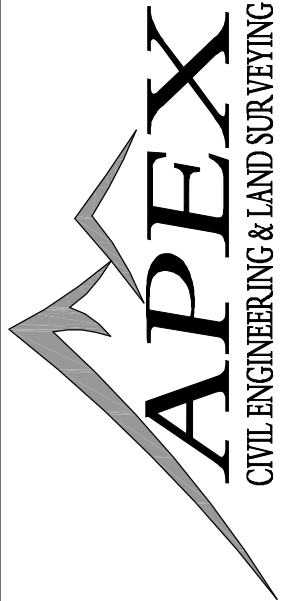
- ① EXISTING STREETLIGHT (DOUBLE COBRA-HEAD)
- ② EXISTING 4" THICK DASHED WHITE THERMOPLASTIC STRIPE (DET 8)
- ③ EXISTING 6" THICK WHITE THERMOPLASTIC STRIPE (DET 39)
- ④ "NO LEFT TURN" SIGN R3-2
- ⑤ ENTRANCE MONUMENT SIGN
- ⑥ BUILDING IDENTIFICATION MONUMENT SIGN
- ⑦ 4" THICK WHITE THERMOPLASTIC STRIPING (TYP)
- ⑧ POLE MOUNTED ACCESSIBLE PARKING SPACE SIGN
- ⑨ ADA PARKING STALL SYMBOL (TYP), 9'x18' STALL
- ⑩ 8' WIDE STRIPED ADA ACCESS AISLE
- ⑪ "SPEED HUMP" W17-1
- ⑫ "SPEED HUMP AHEAD" W84 (CA)



BOSMAN
701 WILBUR AVENUE
APN 065-110-007



817 Arnold Drive, Ste. 50
Martinez, CA 94553
Ph: (925) 476-8499
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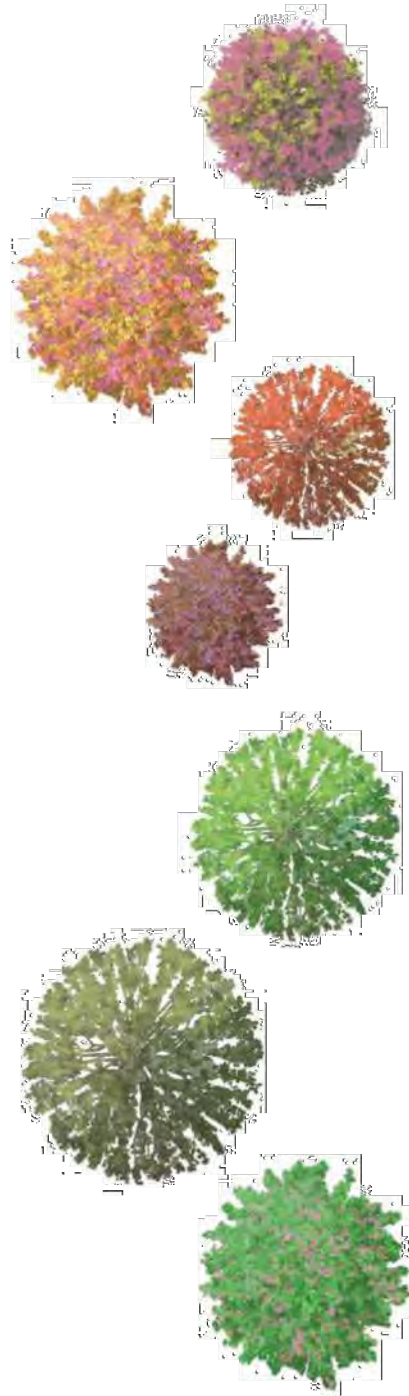
NO.	REVISIONS	BY	APP	DATE

TRAFFIC SIGNING AND STRIPING PLAN
"DELTA COURTYARD APARTMENTS"
810 WILBUR AVENUE, ANTIOCH, CA

SHEET
9 OF 9
DATE
09-19-2022
PROJECT #: 21037

810 WILBUR AVE APARTMENT

ANTIOCH, CALIFORNIA



PLANT SCHEDULE					
ACCENT TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	
LAG	LAGERSTROEMIA INDICA	GRAPE MYRTLE	24"BOX	L	
PIC	PISTACIA CHINENSIS	CHINESE PISTACHE	24"BOX	L	
COLUMNAR TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	
ACE	ACER RUBRUM 'ARMSTRONG GOLD'	ARMSTRONG RED MAPLE	24"BOX	M	
COURTYARD/ PATIO TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	
CER	CERCIS OCCIDENTALIS	WESTERN REDBUD	24"BOX	VL	
COT	COTINUS COGGYGRIA	SMOKE TREE	24"BOX	L	
PARKING TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	
ULM	ULMUS PARVIFOLIA	LACEBARK ELM	24"BOX	M	
SPECIMEN SHADE TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	
OES	OLEA EUROPAEA 'SWAN HILL' TM	SWAN HILL OLIVE	24"BOX	VL	
QUL	QUERCUS LOBATA	VALLEY OAK	24"BOX	L	
STORM WATER TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	
PLA	PLATANUS X ACERIFOLIA 'COLUMBIA'	COLUMBIA LONDON PLANE TREE	24"BOX	M	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
AR	ACACIA REDOLENS	BANK CATCLAW	5 GAL	VL	72" o.c.
AS	ALLIUM SCHOENOPRASUM	COMMON CHIVES	5 GAL	M	24" o.c.
AH	ANIGOZANTHOS X 'HARMONY'	HARMONY YELLOW KANGAROO PAW	5 GAL	L	36" o.c.
BO	BRASSICA OLERACEA	WILD CABBAGE	5 GAL	M	24" o.c.
OK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	5 GAL	L	36" o.c.
CV	COPROSMA KIRKII 'VARIEGATA'	CREEPING MIRROR PLANT	5 GAL	L	72" o.c.
DG	DIETES GRANDIFLORA 'VARIEGATA'	STRIPED FORTNIGHT LILY	5 GAL	L	36" o.c.
DV	DIETES VEGETA	AFRICAN IRIS	5 GAL	L	36" o.c.
EK	ERIGERON KARVINSKIANUS	SANTA BARBARA DAISY	5 GAL	L	12" o.c.
EF	EUONYMUS FORTUNEI	WINTERCREEPER	5 GAL	M	36" o.c.
FC	FRANGULA CALIFORNICA	CALIFORNIA BUCKTHORN	5 GAL	L	48" o.c.
HY	HEMEROCALLIS X	HYBRID DAYLILY	5 GAL	L	24" o.c.
LA	LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	5 GAL	L	24" o.c.
LI	LOMANDRA LONGIFOLIA 'BREEZE' TM	BREEZE MAT RUSH	5 GAL	M	36" o.c.
LP	LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY'	MAT RUSH	5 GAL	L	36" o.c.
MX	MAHONIA X 'SOFT CARESS'	SOFT CARESS MAHONIA	5 GAL	M	36" o.c.
MD	MUHLENBERGIA DUBIA	PINE MUHLY	5 GAL	L	36" o.c.
MF	MYOPORUM PARVIFOLIUM 'FINE LEAF FORM'	TRAILING MYOPORUM	5 GAL	L	60" o.c.
PT	PITTOSPORUM TENUIFOLIUM	TAWHIWHI	5 GAL	M	48" o.c.
RO	ROSMARINUS OFFICINALIS	ROSEMARY	5 GAL	L	48" o.c.
SB	SALVIA LEUCANTHA 'SANTA BARBARA'	MEXICAN BUSH SAGE	5 GAL	L	48" o.c.
TC	TEUCRIUM FRUTICANS 'COMPACTUM'	COMPACT BUSH GERMANDER	5 GAL	L	36" o.c.
STORM WATER TREATMENT	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	SPACING
CD	CAREX DIVULSA	EUROPEAN GREY SEDGE	5 GAL	L	24" o.c.
CT	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL	L	36" o.c.
LC	LEYMUS CONDENSATUS 'CANYON PRINCE'	CANYON PRINCE GIANT WILD RYE	5 GAL	L	36" o.c.
MR	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	L	48" o.c.

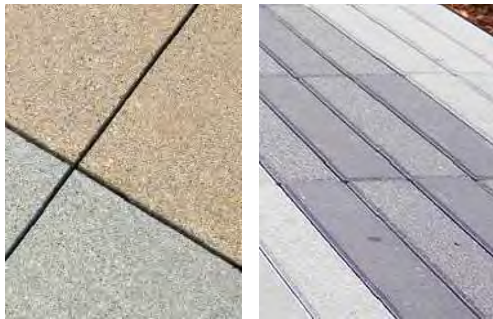
SITE MATERIAL IMAGES



STANDARD CONCRETE
COLOR: GREY
FINISH: TOPCAST 15



SEAT WALLS
MATERIAL: CONCRETE



ENHANCED PAVING OPTIONS

OPTION 1: COLOR AND TEXTURED CONCRETE

OPTION 2: PAVERS



6'H PRIVACY FENCE
MATERIAL: WOOD



DECOMPOSED GRANITE



4'H RAIL FENCE
MATERIAL: WOOD

PLANTING CHARACTER IMAGES



EDIBLE GARDEN



ZEN/MEDITATION GARDEN



STORM WATER TREATMENT PLANTING



BERMED LAWN



COURTYARD PLANTING



AMENITY CHARACTER IMAGES



FIRE PIT COURT



OUTDOOR LOUNGE WITH TRELLIS



BBQ



COMMUNITY GARDEN PLOT

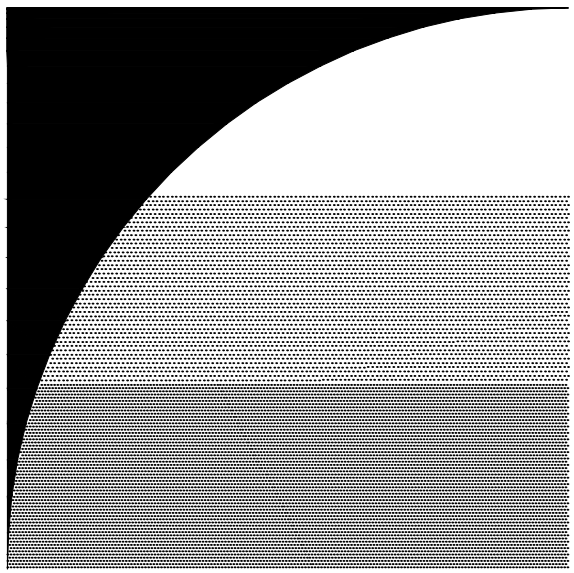


NATURAL PLAY WITH BERM

Sheet List Table

Sheet Number Sheet Title

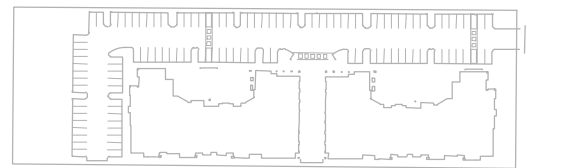
L-1	PLANT LIST, CHARACTER IMAGES, AND SHEET INDEX
L-2	PLANT PALETTE
L-3	OVERALL SITE, FENCING, AND LIGHTING PLAN
L-4	NORTH COURT ENLARGEMENT
L-5	SOUTH COURT ENLARGEMENT
L-6	HYDROZONE PLAN



GATES
+ASSOCIATES
LANDSCAPE ARCHITECTURE
LAND PLANNING • URBAN DESIGN
1655 N. MAIN STREET STE. 365,
WALNUT CREEK, CA 94506
T 925.736.8176 www.dgates.com

810 WILBUR AVE APARTMENTS

ANTIOCH
CALIFORNIA



KEY MAP

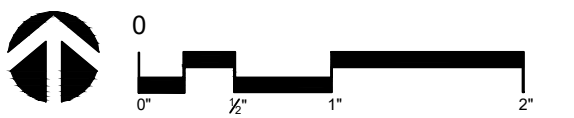
ISSUE: DESCRIPTION: DATE:

NOT FOR
CONSTRUCTION

WATER CONSERVATION STATEMENT

- THE PLANT LIST IS PRELIMINARY IN NATURE. SPECIES SHALL BE ADDED AND SUBTRACTED TO FULFILL THE DESIGN AND HORTICULTURAL REQUIREMENTS AS NECESSARY.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED WITH WATER CONSERVATION IN MIND WHILE ACHIEVING THE GOAL OF EFFECTIVELY AND EFFICIENTLY PROVIDING THE LANDSCAPE WITH WATER BY MEANS OF SPRAY IRRIGATION TO THE SHRUBS/GROUNDCOVER AREAS AND BUBBLERS TO THE TREES.
- THE SPRAY SYSTEM SHALL BE TORO SPRAY HEADS WITH PRESSURE COMPENSATING NOZZLES IN A HEAD TO HEAD LAYOUT TO ACHIEVE AN EVEN LEVEL OF PRECIPITATION THROUGHOUT THE IRRIGATION SYSTEM.
- A STATE-OF-THE-ART IRRIGATION CONTROLLER SHALL BE SPECIFIED FOR THIS PROJECT TO CONTROL THE WATER ALLOCATED TO EACH VALVE GROUPED PER INDIVIDUAL HYDROZONE (BASED ON PLANT TYPE AND EXPOSURE).

PROJECT NUMBER: 5928
DRAWN: JT
CHECK: JT, KC
DATE: 12-07-2021
SCALE:



PLANT LIST, CHARACTER
IMAGES, AND SHEET
INDEX

L-1

TREES



Acer rubrum
Red Maple Tree



Cotinus coggygia
Smoke Tree



Cercis occidentalis
Western Redbud



Lagerstroemia indica
Crepe Myrtle



Olea e. 'Swan Hill'
Swan Hill Olive



Pistachia chinensis
Chinese Pistache



Platanus a. 'Columbia'
London Plane



Quarecus lobata
Valley Oak



Ulmus parvifolia
Chinese Elm

SHRUBS AND GROUND COVERS



Acacai r. 'Prostrata'
Prostrate Acacia



Allium schoenoprasum
Chives



Anigosanthos spp.
Kangaroo Paw



Brassica oleracea
Ornamental Kale



Calamagrostis acutiflora
Feather Reed Grass



Coprosma k. 'Variegata'
Variegated Mirror Plant



Dietes g. 'Variegata'
Variegated Fortnight Lily



Dietes vegeta
Fortnight Lily



Erigeron karvinskianus
Mexican Fleabane



Euonymun fortunei
Japanese Euonymun



Frangula californica
Coffeeberry



Hemerocallis spp.
Evergreen Day Lily



Lavandula augustifolia
Lavender



Lomandra l. 'Breeze'
Dwarf Mat Rush



Lomandra l. Platinum Beauty'
Variegated Dwarf Mat Rush



Mahonia e. 'Soft Caress'
Soft Caress Mahonia



Muhlenbergia dubia
Pine Muhly



Myoporum parvifolium
Fine Leaf Form



Pittosporum spp.
Pittosporum



Rosmainus spp.
Rosemary



Salvia leucantha
Santa Barbara Sage



Teucrium f. 'Compactum'
Bush Germander

STORM WATER TREATMENT



Carex divulsa
Grey Sedge



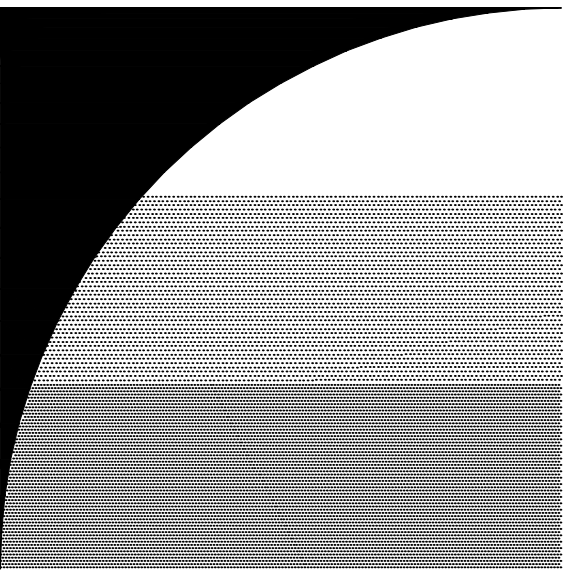
Condropetalum t.
Cape Rush



Leymus condensatus
California Wild Rye



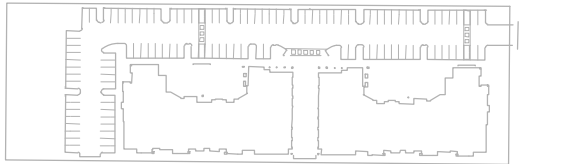
Muhlenbergia rigens
Deer Grass



GATES
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WALNUT CREEK, CA 94506
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810 WILBUR
AVE
APARTMENTS

ANTIOCH
CALIFORNIA

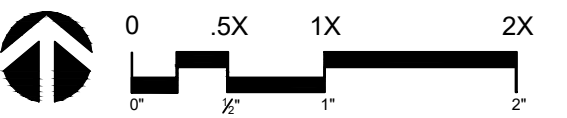


KEY MAP

ISSUE: DESCRIPTION: DATE:

NOT FOR
CONSTRUCTION

PROJECT NUMBER: 5928
DRAWN: JT
CHECK: JT, KC
DATE: 12-07-2021
SCALE:



PLANT PALETTE

L-2



FENCING LEGEND

- 6'H WOOD PRIVACY FENCE
- 4'H 2-RAIL WOOD FENCE

LIGHTING LEGEND

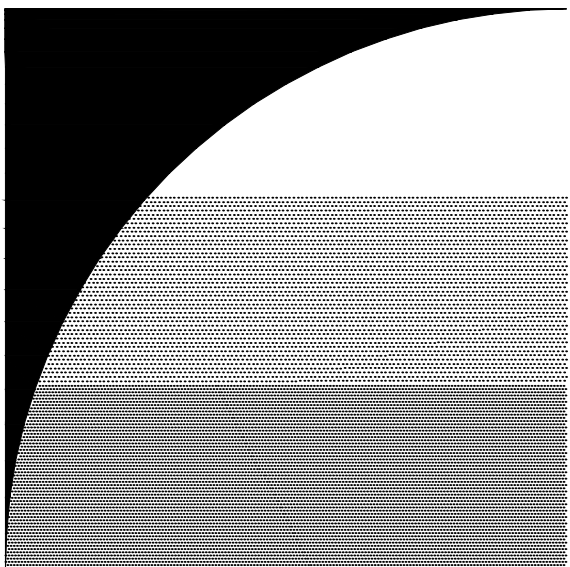


PARKING/DRIVE AISLE LIGHT
MFR: BEGA OR SIMILAR
MODEL: 88 977 LED, 39W WITH INTEGRAL HOUSE
SIDE SHIELD LOUVER
FINISH: CUSTOM POWDER COAT
COLOR: SUPER DURABLE 038/90015 PEARL DARK
DRAY BY TIGER DRYLAC POWDER COATINGS
POLE: 16'H



PATHWAY LIGHT
MFR: BEGA OR SIMILAR
MODEL: 84 238 LED, 11.5W SHIELDED BOLLARD
FINISH: CUSTOM POWDER COAT
COLOR: SUPER DURABLE 038/90015 PEARL DARK
DRAY BY TIGER DRYLAC POWDER COATINGS
POLE: 37-1/4"H

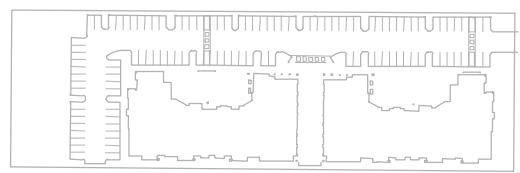
- NOTE:
- THE PERIMETER LIGHTING WILL BE SHIELDED WITH ADEQUATE ANGLE AND WILL BE DIRECTED TO THE INTERIOR.
 - THE SITE LIGHTING PLAN IS SUBJECT TO REVISIONS WHEN A PHOTOMETRIC STUDY IS DONE.



GATES
+ASSOCIATES
LANDSCAPE ARCHITECTURE
LAND PLANNING • URBAN DESIGN
1655 N. MAIN STREET STE. 365,
WALNUT CREEK, CA 94506
T 925.736.8176 www.dgates.com

810 WILBUR
AVE
APARTMENTS

ANTIOCH
CALIFORNIA

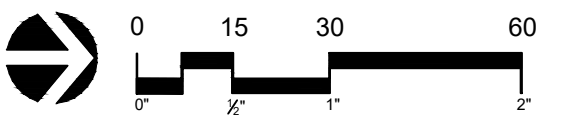


KEY MAP

ISSUE: DESCRIPTION: DATE:

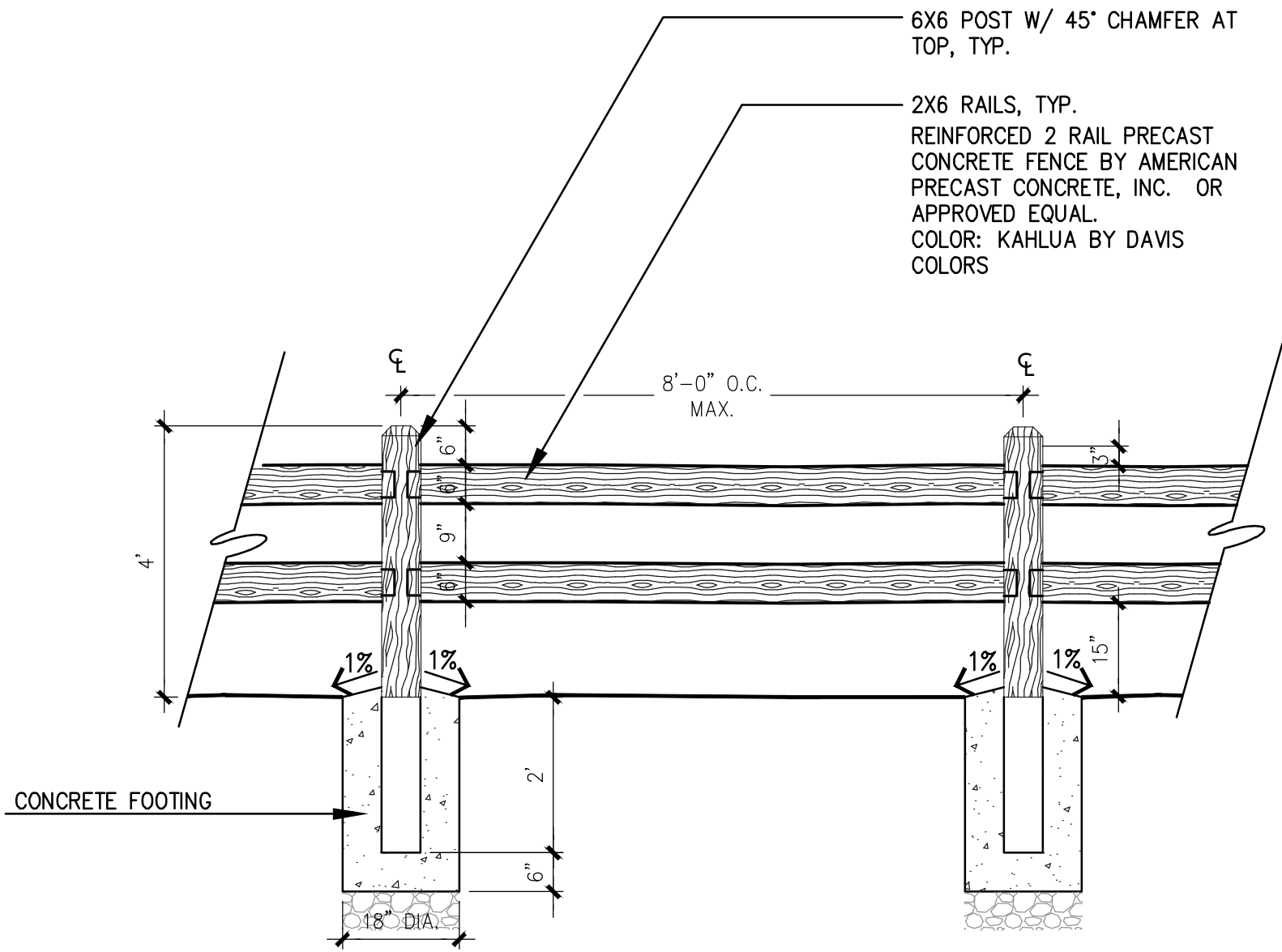
NOT FOR
CONSTRUCTION

PROJECT NUMBER: 5928
DRAWN: JT
CHECK: JT, KC
DATE: 12-07-2021
SCALE: 1" = 30'-0"



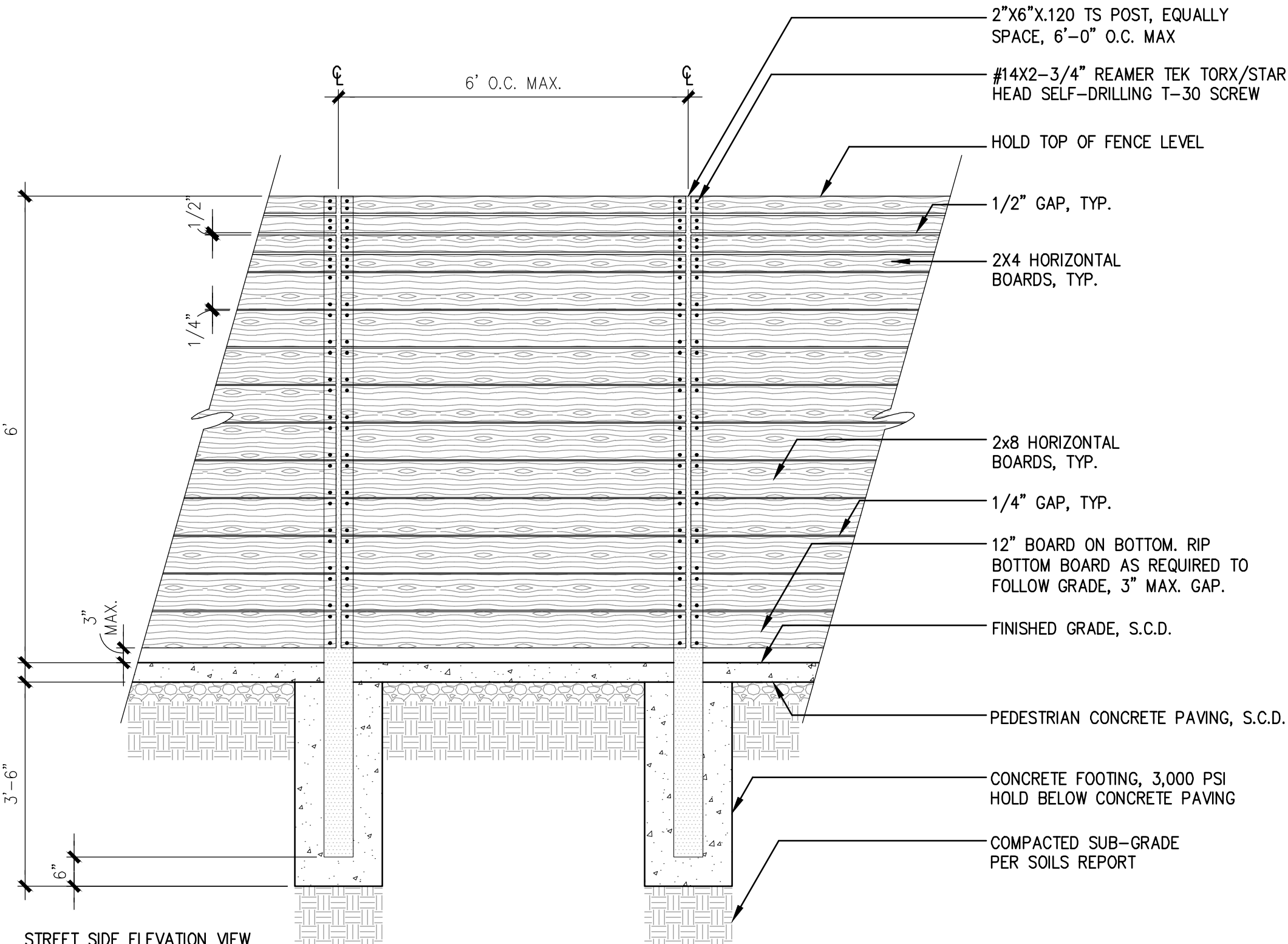
OVERALL SITE, FENCING,
AND LIGHTING PLAN

L-3



4'H 2-RAIL WOOD FENCE

SCALE: 1/2" = 1'-0"



6'H PRIVACY WOOD FENCE

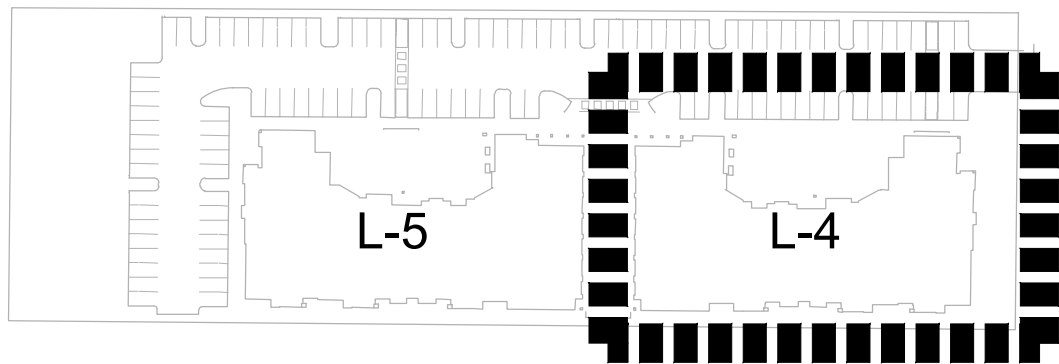
SCALE: 1/2" = 1'-0"

MATCHLINE - SEE L-5

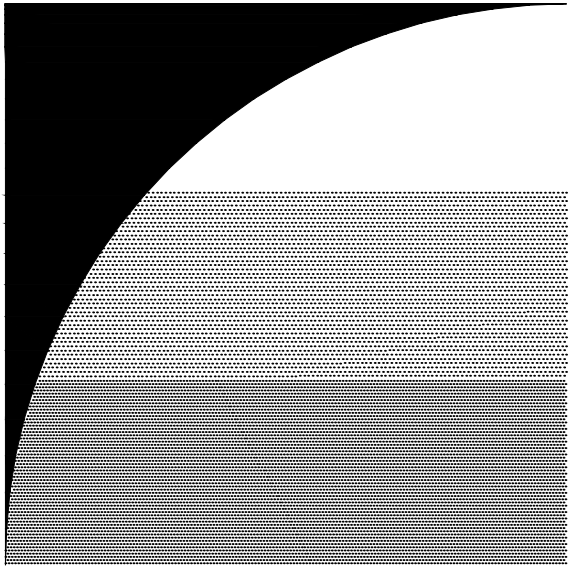
PATH: P:\ANTIOCH\WILBUR AVE APARTMENT\ACAD\SHEETS\LDG-50-WILDWG
PLOT DATE: 12/7/2021 5:07 PM



REFER TO L-1 FOR PLANT LIST



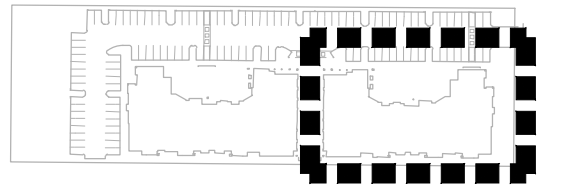
KEY MAP



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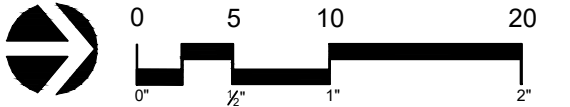


KEY MAP

ISSUE: DESCRIPTION: DATE:

NOT FOR
CONSTRUCTION

PROJECT NUMBER: 5928
DRAWN: JT
CHECK: JT, KC
DATE: 12-07-2021
SCALE: 1" = 10'-0"

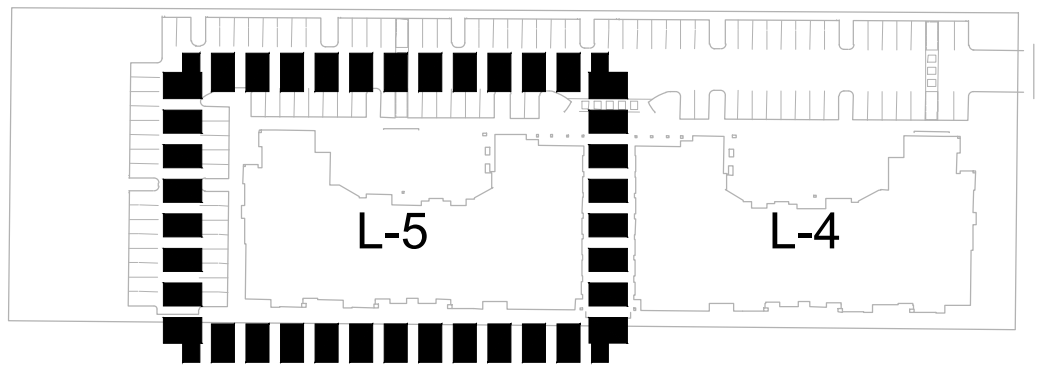


NORTH COURT
ENLARGEMENT

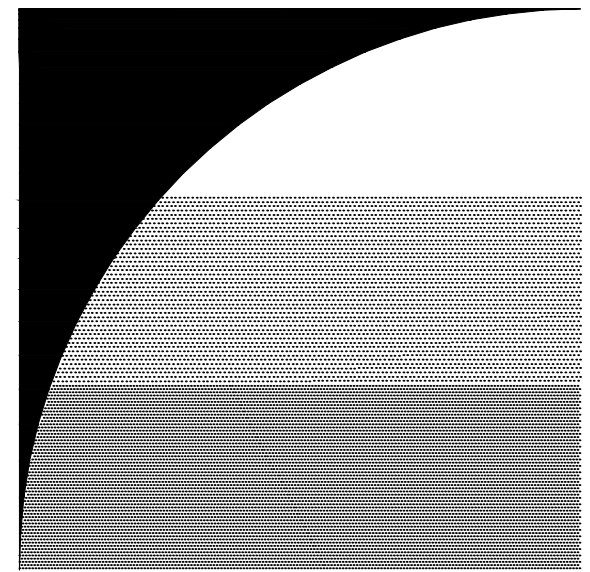
L-4



SEE L-1 FOR PLANT LIST



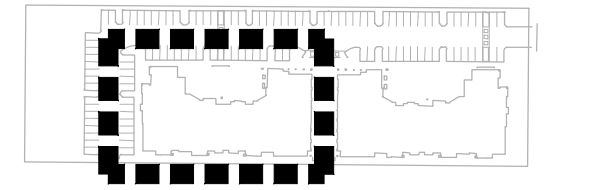
KEY MAP



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AVE
APARTMENTS

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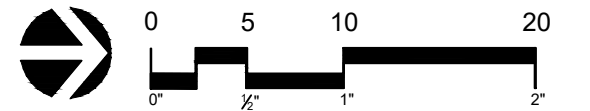


KEY MAP

ISSUE: DESCRIPTION: DATE:

NOT FOR
CONSTRUCTION

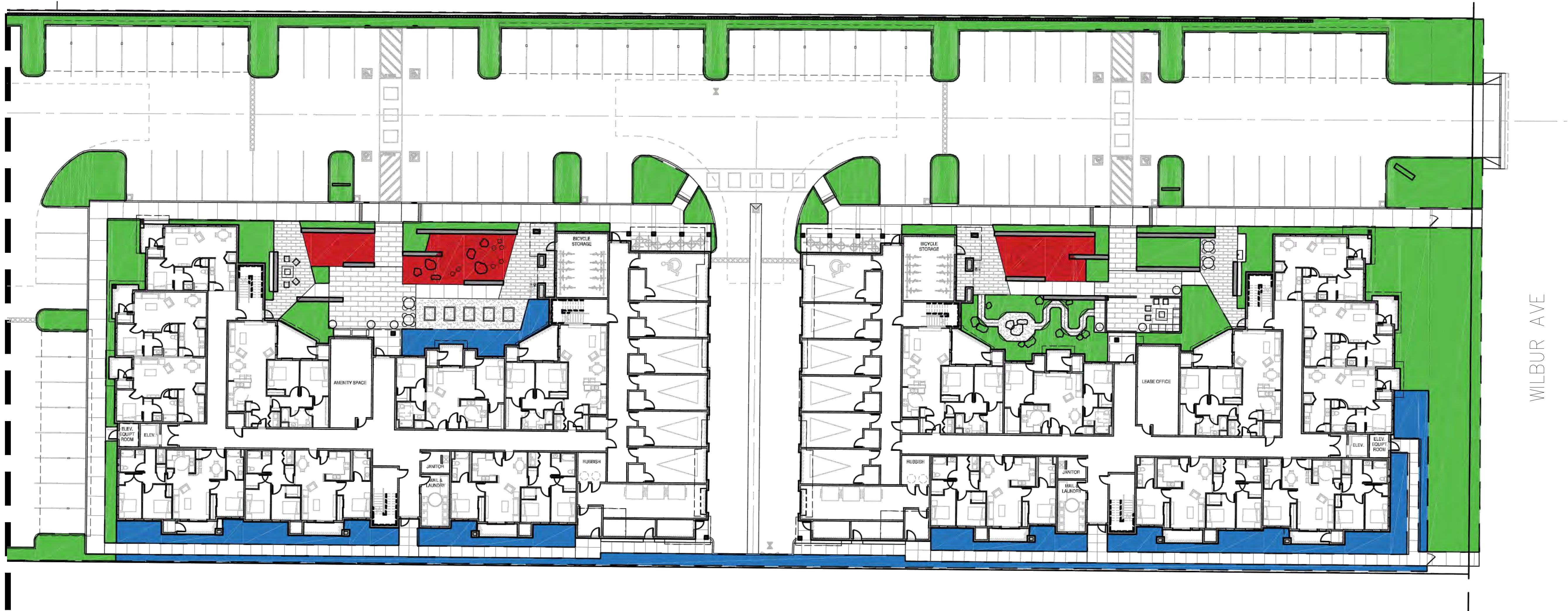
PROJECT NUMBER: 5928
DRAWN: JT
CHECK: JT, KC
DATE: 12-07-2021
SCALE: 1" = 10'-0"



SOUTH COURT
ENLARGEMENT

L-5

MATCHLINE – SEE BOTTOM LEFT

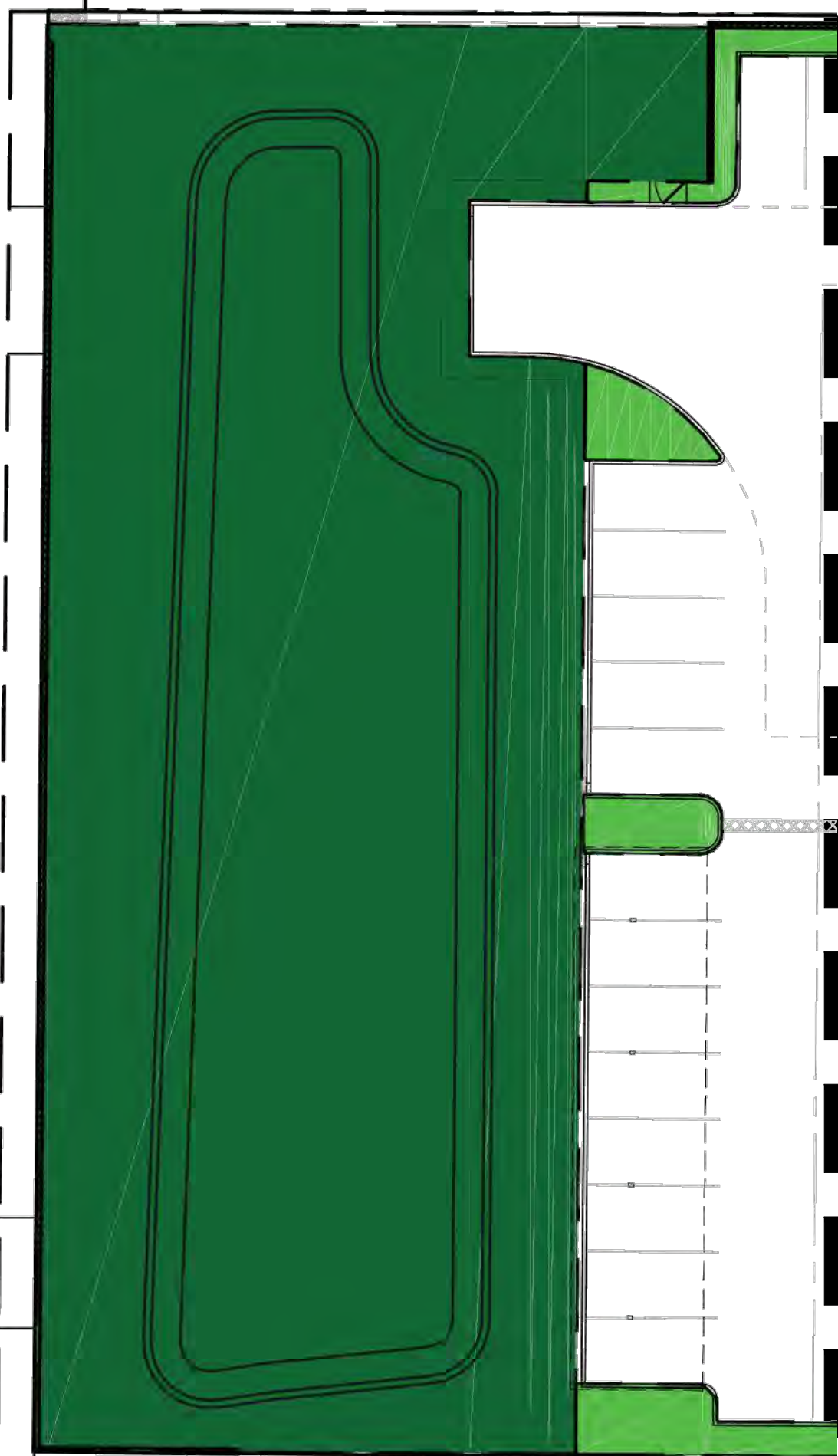


WILBUR AVE

HYDROZONE LEGEND

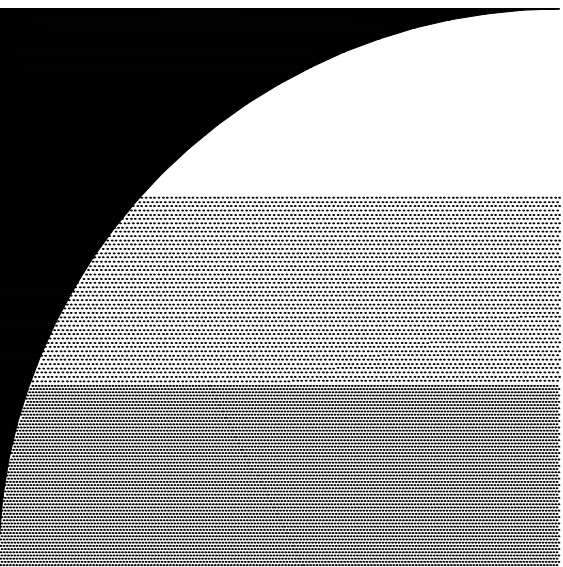
- LOW SPRAY IRRIGATION
- LOW BUBBLERS/DRIP IRRIGATION
- MODERATE BUBBLERS/DRIP IRRIGATION
- HIGH TURF SPRAY IRRIGATION

MATCHLINE – SEE ABOVE



Water calculation worksheet for the Model Water Efficient Landscape Ordinance AB 1881

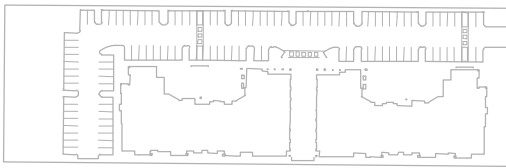
Total Landscape Area (sf)	37,632	KL	Landscape Coefficient	Eto	Referenced Evapotranspiration Rate
Special Landscape Area (SLA)	0	Ks	Species Factor	ETAF	ET Adjustment factor
Historical Eto for project city	45.4	Kd	Density Factor	LA	Total Landscape area
Turf Rotor Efficiency	0.75	Kmc	Microclimate Factor	0.62	Conversion factor to gallons
Flood bubbler Irrigation Efficiency	0.81	IE	Irrigation Efficiency	SLA	Special Landscape Area
Spray irrigation Efficiency	0.75				
Drip Irrigation Efficiency	0.81				
Stream Spray Efficiency	0.75				
ETWU = (ETo)(0.62)[(PFxHA / IE) + SLA]					
Maximum Applied Water Use (MAWA)					
	Eto	Conversion	ETAF	LA	(1-ETAF) SLA Gallons per year
Total landscape area	45.4	0.62	0.55	37,632	0.45 5,245 649,032
MAXIMUM APPLIED WATER ALLOWANCE					
					649,032
Estimated Total Water Use (ETWU)					
Hydrozone & Irrigation method	Area (sf)	Eto	Ks	Kd	Kmc KL IE ConversionGallons per year
Low water use with bubblers / drip irrigation	14,053	45.4	0.3	1	1 0.3 0.81 0.62 146,505
Low water use with spray (Stormwater Treatment)	14,257	45.4	0.3	1	1 0.3 0.75 0.62 160,522
Moderate water use shrubs with bubblers / drip	4,077	45.4	0.5	1	1 0.5 0.81 0.62 70,839
High water use turf with spray	5,245	45.4	0.8	1	1 0.8 0.75 0.62 157,479
Total area	37,632				
TOTAL WATER APPLIED					535,345
Difference between MAWA & ETWU					113,687
% ETWU is under MAWA					17.5%



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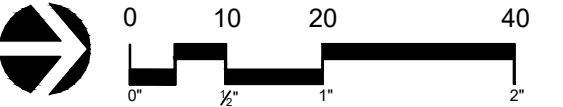


KEY MAP

ISSUE: DESCRIPTION: DATE:

NOT FOR
CONSTRUCTION

PROJECT NUMBER: 5928
DRAWN: JT
CHECK: JT, KC
DATE: 12-07-2021
SCALE: 1" = 20'-0"



HYDROZONE PLAN

L-6

ATTACHMENT E
Multi-Family Development Standards Analysis
(SEPARATE PAGE)



November 4, 2021

City of Antioch
Community Development Department
200 "H" Street
Antioch, CA 94531

**Reference: Delta Courtyard Apartments
810 Wilbur Ave,
Antioch, CA 94509
APN# 065-110-006-7**

To whom it may concern:

We are pleased to submit this form demonstrating how this project responds to the requirements of the multi-family housing code requirements. Our written response follows **in blue text**, itemized to correspond to each of the code sections:

ARTICLE 7: MULTI-FAMILY RESIDENTIAL DEVELOPMENT STANDARDS

§ 9-5.703 TRANSITION REQUIREMENTS ADJACENT TO SINGLE-FAMILY RESIDENTIAL.

Wherever a multi-family residential dwelling is located on a lot that directly abuts any lot developed with an existing single-family detached dwelling that is a conforming use or any lot that is zoned RR, RE, R-4, or R-6, the following standards shall apply to the multi-family development.

(A) *Rear setbacks.* Notwithstanding the requirements of the Height, Area, and Setbacks Table of §9-5.601, a minimum rear setback of 20 feet is required. For existing substandard lots, a modification to or waiver of the minimum 20-foot setback requirement may be requested, subject to provisions of § 9-5.709 and design review.

A minimum 20-foot setback is provided. The rear building is set back 148-feet from the property line.

See sheet A1.1.

(B) *Landscape buffers.* Interior side and rear setbacks that abut single-family residential development or a single-family district shall include the following landscaped areas. These landscaped areas shall be measured from the property line and are included within, and are not additional to, the minimum setbacks required by Table TBD.

(1) A landscaped area at least three feet in depth shall be provided along any interior side property line.

The eastern 10-foot interior side setback is provided. It has a landscape buffer and a pedestrian walkway. The western interior side has a minimum 3-foot landscaped area bordering the parking area. The rear setback is landscaped by the site drainage basin.

See sheets A1.1 and L-3

(2) At least 50% of the rear setback shall be a landscaped area at least five feet in depth. Within this landscaped area, trees shall be planted at a maximum distance of 20 feet on center (measured parallel to the rear lot line).

The rear setback is landscaped and is proposed for the required C-3 location.

See sheets A1.1, Civil page 4 of 6 -Preliminary Grading, Drainage & Utility Plan, and L-3

(C) *Required daylight plane.* No portion of the building volume shall encroach into a daylight plane starting at a point that is 25 feet above the property line abutting any adjacent lot with a single-family residential use or zone and sloping upward at a 45-degree angle toward the interior of the lot

The buildings are set to the east edge of the property. The building volume will not encroach on the daylight plane at 25 feet above the property line.

See sheets A1.1

9-5.704 BUILDING FORM.

(A) Building entries.

(1) *Orientation.* All units located along public rights-of-way must have a principal entrance that fronts on and is oriented to face the right-of-way. Such entrance shall be clearly visible from the street and shall be connected via pedestrian walkways to the public sidewalk. Exceptions to this requirement may be approved for projects located on arterial streets that carry high traffic volumes and/or streets that do not allow on-street parking. In such cases, a project may be oriented around courtyards with principal entrances facing the courtyards.

The building entrances are oriented to the interior courtyards.

See sheets A1.1

(2) *Entry features.* Building entrances must have a roofed projection (e.g., porch) or recess. Such entry features shall have a minimum depth of five feet, measured perpendicular to the façade on which they are located. Entries that serve a single unit shall have a minimum area of 40 square feet while those that serve two or more units shall have a minimum area of 100 square feet.

The building entrances are recessed in the façade articulation. There are 9-foot covered by patio projections above that are 100-sf in area.

See sheets A1.1, A3.1, and 1/A4.1

(B) *Façade articulation.* All street-facing facades must include at least one change in plane (projection or recess) at least four feet in depth, or two changes in plane at least two feet in depth, for every 25 linear feet of wall. Such features shall extend the full height of the respective façade of single-story buildings, at least half of the height of two-story buildings, and at least two-thirds of the height of buildings that are three or more stories in height.

The street facing façade contains 5 changes in plane, three of which are at least 4-feet in depth.

See sheets A1.1, A3.1, and 1/A4.2

(C) *Roof forms.* Variable roof forms shall be incorporated into the building design, and no more than two side-by-side units may be covered by one unarticulated roof. Variation may be accomplished by changing the roof height, offsets, and direction of slope, and by including elements such as dormers.

The roof form is varied by height, offsets and directions of slopes.

See sheets A4.1, A4.2, A5.1 and A6.1

(D) Window design.

(1) *Relief.* All windows shall either be recessed or surrounded by trim at least four inches in width and two inches in depth.

Windows are surrounded by trim.

See sheet A5.1

(2) *Shade features.* At least 20% of all windows on each building shall have exterior sun shades, such as roof overhangs (eaves), awnings, or louvered sunshades.

Windows have shade features with awning projections.

See sheet A8.1

§ 9-5.705 SITE DESIGN FOR PARKING, CIRCULATION, AND ACCESS.

Multi-family dwelling projects shall comply with the regulations of Article 17, Required Parking, as well as the standards of this section.

(A) *Parking location and frontage.*

(1) *Maximum width.* The maximum width of parking area within the required front setback, including driveways, open parking, carports, and garages, but excluding underground parking and parking located behind buildings, may not exceed 25% of the linear street frontage.

Driveway in front setback is 26-feet wide of ~200-foot total street frontage which is 13% of frontage.

See sheet A1.1

(2) *Parking location.* Parking facilities shall be located according to one or more of the alternatives listed below. This locational requirement applies to parking for both residents and guests, as well as any parking that exceeds the required minimum. In all cases, the requirements of § 9-5.1703.1, Off-Street Parking Requirements by Use, which establishes the number of required parking spaces and number of covered spaces per unit, must be met. Parking shall be provided in one of the following locations or in a combination of the following locations:

(a) Covered and enclosed parking within a detached garage located to the rear of the residential building in relation to the public street. Such garage may front an alley that is internal to the project. Any garage door visible to any street shall be recessed at least six inches from the surrounding building wall and shall be surrounded by trim of at least two inches in depth.

There are no detached garages. Garage spaces are provided within the buildings and carports are also provided for the cover parking requirements.

See sheet A1.1

(b) Covered and enclosed parking integrated into the residential building, in which garage doors are located on the side or rear of the building and not facing a street. For the purposes of this regulation, doors shall be considered not to face a public street if they are oriented 45 degrees or more from parallel with the street.

Enclosed parking garages integrated into the buildings are off an internal alley and are not visible from the street.

See sheet A1.1

(c) Covered and enclosed parking integrated into the residential building with garage doors facing or within 45 degrees of parallel with the street. Such garages shall comply with the following standards:

Not applicable:

~~1. *Maximum width.* Garages shall not exceed 50% of the overall width of the building façade of which they are a part. For the purposes of this requirement, garage width is considered the internal width of that portion of a building façade that is backed by a garage space. This dimension is measured from midpoint to midpoint of any enclosing walls that are perpendicular to the garage door or entry.~~

~~2. *Setback/recess.* Garages shall conform to one of the following setback standards:~~

~~a. Garages shall be located at least five feet behind the primary wall of the dwelling. For the purposes of this regulation, "primary wall" shall consist of any wall at least ten feet in width and one story in height. Garage doors shall be recessed at least six inches from the surrounding wall.~~

~~b. Garage space located below living space may be set back the same distance as the remainder of the building façade. Garage doors shall be recessed at least six inches from the surrounding wall.~~

~~c. *Detailing.* Trim of at least two-inch depth shall be provided surrounding garage doors~~

Best Regards,



Carl Campos, CEO & Architect

LCA Architects Inc.

ATTACHMENT F
CCCFD Comment Letter
(Separate Page)

Contra Costa County



Fire Protection District

November 4, 2022

Mr. Kevin Scudero
Antioch Planning Division

Subject: Delta Courtyard Apartments
810 Wilbur Ave, Antioch
Project # UP-22-14, AR-22-14
CCCFPD Project No.: P-2022-019586

Dear Mr. Scudero:

We have reviewed the design review application to establish a new 2 building apartment complex with 74 residential units at the subject location. The following is required for Fire District approval in accordance with the 2019 California Fire Code (CFC), the 2019 California Building Code (CBC), and Local and County Ordinances and adopted standards:

One item noted in review is that the proposed turn around for fire apparatus near the far end of parking area appears to not meet requirements for dimensions. See attached standard and below for more information about requirements.

1. The Contra Costa County Fire Protection District has development impact fees established in the unincorporated County and in the Cities of Antioch and Pittsburg. Projects within the development impact areas will need to pay the fees prior to Building Permit issuance.
2. Access as shown on Sheet plans appears to comply with Fire District requirements.

Provide emergency apparatus access roadways with all-weather (paved) driving surfaces of not less than 20-feet unobstructed width, and not less than 13 feet 6 inches of vertical clearance, to within 150 feet of travel distance to all portions of the exterior walls of every building. Access shall have a minimum outside turning radius of 45 feet, and must be capable of supporting the imposed fire apparatus loading of 37 tons. Access roadways shall not exceed 20% grade. Grades exceeding 16% shall be constructed of grooved concrete per the attached Fire District standard. (503) CFC

Aerial Fire Apparatus Access is required where the vertical distance between grade plane and the highest roof surface exceeds 30 feet as measured in accordance with Appendix D, Section 105 of the 2019 CFC. Aerial access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof. At least one of the required routes shall be located within a minimum of 15 feet and a maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building. Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and building.

3. Access roadways of **less than 28-feet** unobstructed width shall have signs posted or curbs painted red with the words: **NO PARKING – FIRE LANE** clearly marked. (22500.1) CVC, (503.3) CFC

Access roadways of **28 feet or greater, but less than 36-feet** unobstructed width shall have **NO PARKING – FIRE LANE** signs posted, allowing for parking on one side only or curbs painted red with the words **NO PARKING – FIRE LANE** clearly marked. (22500.1) CVC, (503.3) CFC

4. The project as proposed shall require the installation of an approved Fire District turnaround. Dead-end emergency apparatus access roadways in excess of 150 feet in length shall be provided with approved provisions for the turning around of Fire District apparatus. Contact the Fire District for approved designs. (503.2.5) CFC
5. The developer shall provide an adequate and reliable water supply for fire protection as set forth in the California Fire Code. (507.1) CFC
6. Provide emergency escape and rescue openings in Group R occupancies of type V construction. Basements and sleeping rooms below the fourth story above grade plane shall have at least one exterior emergency escape and rescue opening. Such openings shall open directly into a public way or to a yard or court that opens to a public way. An exhibit showing ground ladder access to sleeping rooms would be needed.

Landscaping, signage and other obstructions must not hinder the positioning of firefighting ground ladders from apparatus access to the rescue windows.

7. A land development permit is required for access and water supply review and approval prior to submitting building construction plans.

The developer shall submit a minimum of two (2) copies of full size, scaled site improvement plans indicating:

All existing or proposed hydrant locations,
Fire apparatus access to include slope and road surface
Aerial fire apparatus access,
Elevations of building,
Size of building and type of construction,
Gates, fences, retaining walls, bio-retention basins, any obstructions to access.
Detail showing the lowest level of fire department vehicle access and the floor level of the highest occupied floor,
Striping and signage plan to include "NO PARKING-FIRE LANE" markings
Provide drawings for paths from the public way to under emergency escape and rescue openings showing a proposed clear path and clear space under these openings that allow for the placement of ground ladders at a climbing angle of 70 to 75 degrees and a minimum of 18" clearance from the base of the ladder to any obstruction (see attached ground ladder access standard) for review and approval prior to obtaining a building permit.

This is a separate submittal from the building construction plans. These plans shall be approved prior to submitting building plans for review. (501.3) CFC

8. ***Emergency apparatus access roadways and hydrants shall be installed, in service, and inspected by the Fire District prior to construction or combustible storage on site.*** (501.4) CFC

Note: A temporary aggregate base or asphalt grindings roadway is not considered an all-weather surface for emergency apparatus access. The first lift of asphalt

concrete paving shall be installed as the minimum roadway material and must be engineered to support the designated gross vehicle weight of 37 tons.

9. The buildings as proposed shall be protected with an approved automatic fire sprinkler system complying with the 2016 edition of NFPA 13 or. Submit a minimum of two (2) sets of plans to this office for review and approval prior to installation. (903.2) CFC, (R313.3) CRC, Contra Costa County General Plan / Contra Costa County Ordinance 2019-37.
10. New buildings shall have approved radio coverage for emergency responders. An emergency responder radio coverage system shall be installed when the conditions of CFC 510.4.1 are not met. Testing shall be conducted and the results submitted to the Fire District prior to the building final. (510.1) CFC
11. The developer shall provide traffic signal pre-emption systems (Opticom) on any new or modified traffic signals installed with this development. (21351) CVC
12. Flammable or combustible liquid storage tanks shall **not** be located on the site without obtaining approval and necessary permits from the Fire District. (3401.4) CFC
13. The owner shall cut down and remove all weeds, grass, vines, or other growth that is capable of being ignited and endangering property. (304.1.2) CFC
14. The owner or the owner's authorized agent shall be responsible for the development, implementation and maintenance of a written plan in compliance with NFPA 241, establishing a fire prevention program at the project site applicable throughout all phases of the construction. The plan shall be made available for review by the fire code official upon request. (Ch.33) CFC

The fire prevention program superintendent shall develop and maintain an approved prefire plan in cooperation with the fire chief. The fire chief and fire code official shall be notified of changes affecting the utilization of information contained in such prefire plans. (Ch.33) CFC

15. The developer shall submit a minimum of two (2) complete sets of building construction plans and specifications for the subject project to the Fire District. After the new construction / tenant improvement plans are approved, plans and specifications for all deferred submittals shall be submitted, including, but not limited to the following.

- Private underground fire service water mains
- Fire sprinklers
- Standpipe
- Fire alarm
- Fire pump if required
- Photovoltaic if proposed
- Emergency Responder Radio Coverage System (ERRCS)

Plans shall be submitted to the Fire District for review and approval **prior to** construction of the building or installation of the systems to ensure compliance with minimum requirements related to fire and life safety. Plan review and inspection fees shall be submitted at the time of plan review submittal. (105.4.1) CFC, (901.2) CFC, (107) CBC

CONTACT THE FIRE DISTRICT (MINIMUM 2 WORKING DAYS IN ADVANCE) AT 925-941-3300 EXT 3902 TO SCHEDULE AN INSPECTION OF THE ACCESS AND HYDRANT INSTALLATION PRIOR TO CONSTRUCTION OR THE STORAGE OF COMBUSTIBLE MATERIALS ON THE JOB SITE.

Our preliminary review comments shall not be construed to encompass the complete project. Additional plans and specifications may be required after further review.

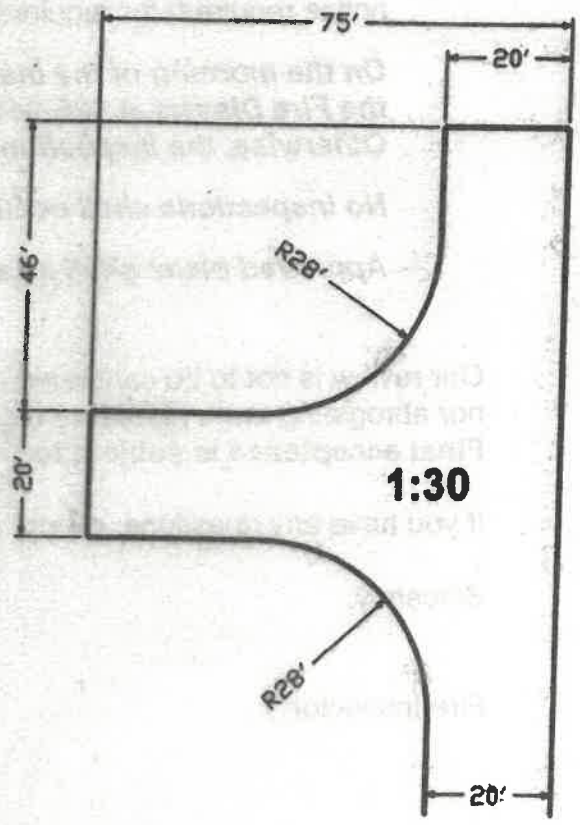
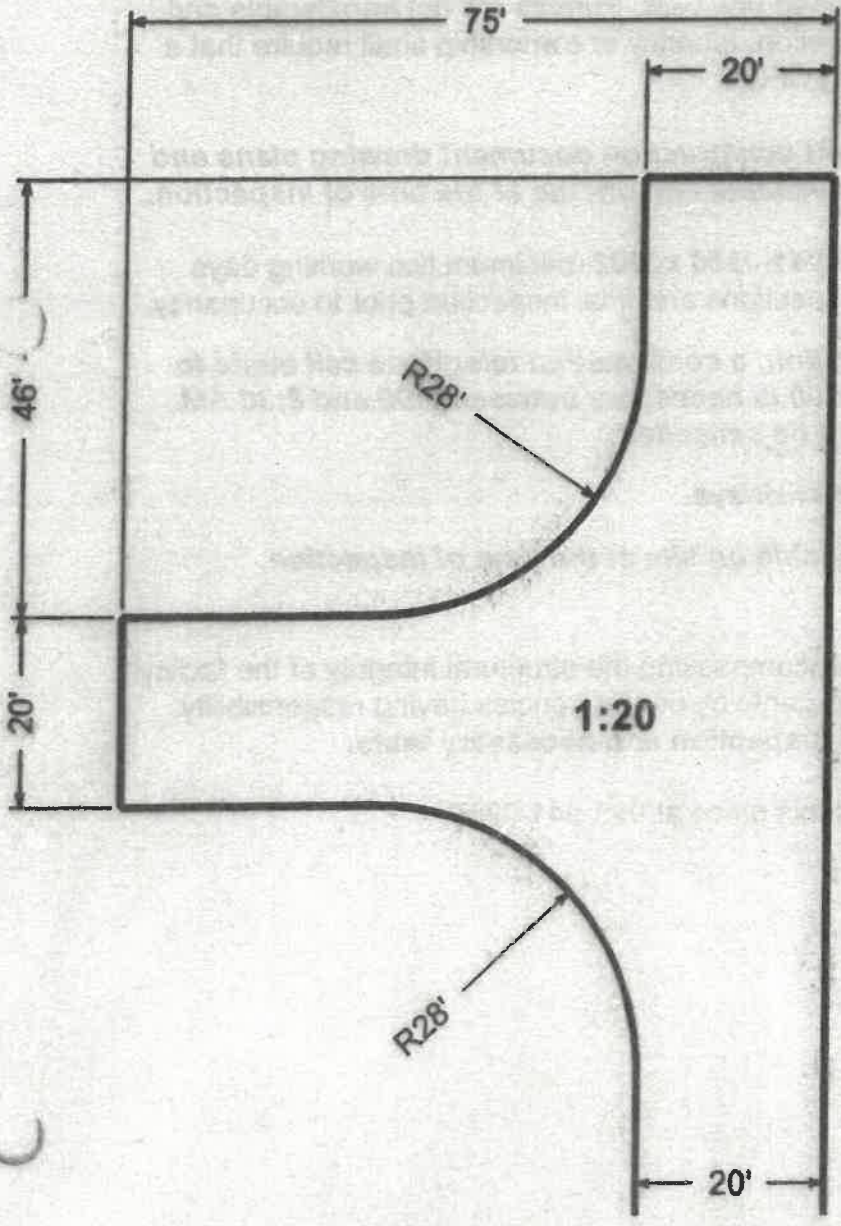
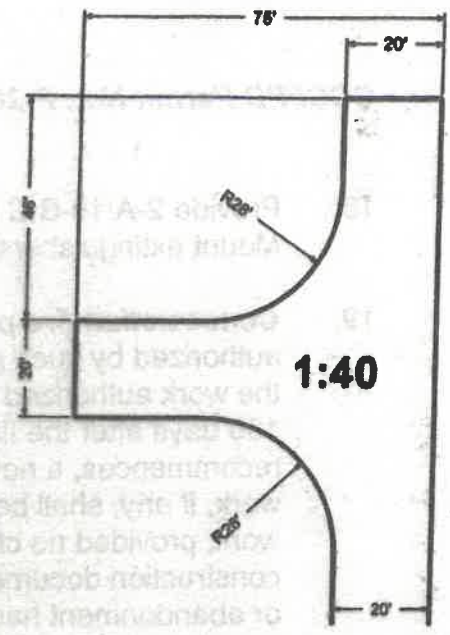
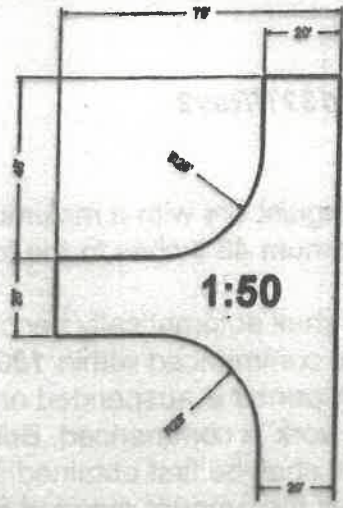
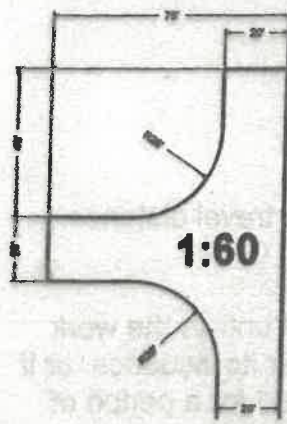
If you have any questions regarding this matter, please contact this office at (925) 941-3300.

Sincerely,

A handwritten signature in blue ink, appearing to read "Mike/m", is written over the printed name.

Michael Cameron
Fire Inspector

File: 810 WILBUR AVE-PLN-P-2022-019586



COMMERCIAL SHUNT TURNAROUND

ATTACHMENT G
FY 2022 Home Rent Maximums
(SEPARATE PAGE)

**CONTRA COSTA CONSORTIUM
HOME INVESTMENT PARTNERSHIPS ACT PROGRAM
2022 RENT MAXIMUMS**

Effective date - June 15, 2022

INCOME CATEGORY (a)	Rent Maximum for Unit by bedroom size*						
	0-BR	1-BR	2-BR	3-BR	4-BR	5-BR	6-BR +
30% RENT LIMIT (b)	\$ 750	\$ 803	\$ 964	\$ 1,114	\$ 1,243	\$ 1,371	\$ 1,499
50% RENT LIMIT (c)	1,250	1,339	1,607	1,856	2,071	2,285	2,499
60% RENT LIMIT (b)	1,500	1,607	1,928	2,227	2,485	2,742	2,999
65% RENT LIMIT (c)	1,538	1,668	2,003	2,306	2,553	2,798	3,044
FAIR MARKET RENT	1,538	1,854	2,274	3,006	3,578	4,115	4,651

***Deduct utility allowance to determine tenant rent**

- (a) 30% rents are maximum rents for households with incomes at/below 30% Area Median Income (AMI),
50% rents "Low HOME Rents" are maximum rents for HHs with incomes at/below 50% AMI,
60% rents are maximum rents for HHs at/below 60% AMI, and
65% rents "High HOME Rents" are maximum rents for HHs at/below 80% AMI.
- (b) Source: Contra Costa County Department of Conservation and Development based on HUD 50% rent limits.
- (c) Source: U.S. Department of Housing and Urban Development.

NOTE: HOME rent maximums are defined as rents affordable to households at the specified income limits or the Fair Market Rent (FMR) for the area, whichever is less.