

CITY OF
ANTIOCH
CALIFORNIA

STAFF REPORT TO THE PLANNING COMMISSION

DATE: Regular Meeting of March 20, 2024

SUBMITTED BY: Nathan Tinclair, Associate Planner

APPROVED BY: Zoe Merideth, Planning Manager

SUBJECT: Contra Loma Starbucks (DR2023-0011, UP2023-0004)

RECOMMENDED ACTION

It is recommended that the Planning Commission adopt a resolution approving the Design Review and Use Permit application subject to the attached Conditions of Approval.

ENVIRONMENTAL REVIEW

This proposed project is Categorically Exempt from the California Environmental Quality Act (CEQA) under Article 19, Section 15332 Infill Development. Class 32 consists of projects characterized as in-fill development meeting the following conditions:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- (c) The project site has no value, as habitat for endangered, rare or threatened species.
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- (e) The site can be adequately served by all required utilities and public services.

The subject site is 0.91 acres and is surrounded by existing utilities, public services and urban uses.

REQUEST

The applicant requests Use Permit and Design Review approval of a new 2,220 square foot Starbucks drive-thru restaurant. Associated improvements include construction of an outdoor dining area, landscaping and stormwater control facilities. The proposed project includes 44 parking spaces, including 11 located in front of the building and 33 nearby in the shopping center parking lot. The restaurant's operating hours are proposed to be

4:00am-10:00 pm, 7 days a week. There will be a total of 11 full-time employees during peak shifts.

BACKGROUND

The subject site is a roughly triangular 0.91-acre vacant parcel at the southwest corner of Contra Loma Drive and Putnam Street. The site is adjacent to, and shares a driveway and entryway with an existing shopping center anchored by a Lucky grocery store (Lucky's Center). Past city documents reference this shopping center being called Fry's Center, or Contra Loma Center. The shopping center was developed in the 1980s, but this parcel remained undeveloped and is currently a vacant lot with weeds and grass.



OVERVIEW

The applicant is seeking Use Permit and Design Review approval for construction of a new Starbucks Drive Thru restaurant and associated site improvements at 3100 Contra Loma Blvd. The purpose of the Design Review process is to ensure that designs of projects will result in improvements that are visually and functionally appropriate to their site conditions and harmonious with their surroundings in accordance with established citywide commercial design standards. The Use Permit is intended to ensure that developments are designed and operated compatibly with surrounding uses and properties.

The subject site is a 0.91-acre vacant parcel, located directly adjacent and connecting to an existing shopping center and parking lot. The project scope includes the construction of a new 2,220 square foot restaurant building with a drive-thru lane and window. Site improvements include new parking (11 spots), the construction of an outdoor seating area with seating for 16, site lighting, landscaping improvements and stormwater detention

basins. The site will have 44 off-street parking spaces, inclusive of 33 that are located within the existing parking lot for the shopping center, nearby to the new building. While these spots are shared center-wide, they are in close proximity to the proposed Starbucks on the north end of the shopping center. Business operating hours are proposed to be 4:00am-10:00 pm, 7 days a week. There will be a total of 11 full-time employees during peak shifts.

General Plan, Zoning, and Land Use

The General Plan designation is Neighborhood Community Commercial. The zoning designation is C-2 (Neighborhood/Community Commercial). Eating and drinking establishments are an appropriate use under the General Plan. Fast food restaurants, and drive-up windows are allowed under C-2 zoning with a Use Permit.

Site Plan

The project site is a triangular shaped 0.91-acre parcel of vacant land located at the southwest corner of Putnam Street and Contra Loma Boulevard. The project consists of a new building housing a Starbucks restaurant with a drive-thru window and outdoor seating, along with landscaping and associated improvements. The site is located directly to the north of the existing shopping center, which is anchored by a Lucky grocery store, along with a variety of other businesses.

The project plans show a standalone building near the south end of the parcel, and the north end of the existing shopping center. The Starbucks will share an existing parking lot with the other tenants of the shopping center, although 2 ADA parking spaces, and 9 regular parking spaces will be located fronting the building. The restaurant and drive-thru will be accessed via an existing driveway along Putnam Street at Mission Drive, as well as along Contra Loma Boulevard.

Directly east of the building is an outdoor dining patio with 16 seats. In between the patio and the drive-thru lane is an approximately 307 square foot bioretention treatment area for stormwater control. A second 421 square foot bioretention area is located near the southeast corner of the parcel, adjacent to the drive-thru entrance.

The restaurant will feature a drive-thru lane which begins on the east side of the building, wraps around to the north and exits at the southwest corner of the building. The drive-thru begins with two lanes before merging into one, and can fit a total of 16 cars in the queue.

The building will be fronted on the south side by a new 7'-11" paved walkway, which connects to Putnam Street to the west. There will be striped crosswalks over the drive-thru exit and connecting to the new trash enclosure described further below.

A new 20'-5" x 10'-6" trash enclosure is proposed to be built approximately 53' south of the new building in the existing shopping center parking lot. The trash enclosure will hold containers for landfill, recycling and green waste, in compliance with state waste management requirements. The design of the trash enclosure was reviewed with

Republic Services who commented that it does not appear large enough to contain all the required bins while also allowing a pedestrian to walk inside and access each of them. A recommended condition of approval for this project is for the applicant to work with Republic Services to widen and lengthen the trash enclosure to allow for a fourth organics cart and to allow employees to access all the containers within the enclosure:

- “The applicant shall work with Republic Services to widen and lengthen the trash enclosure to allow for a fourth organics cart and to allow employees to access all the containers within the enclosure. The modified trash enclosure shall be shown on the building permit submittal for review and approval by the Community Development Department, and written approval from Republic Services of the final trash enclosure design shall be provided with this submittal.”

Parking

Antioch Municipal Code (AMC) § 9-5.1703.1, establishes off-street parking requirements. Given that the location is connected to, and shares a parking lot with an existing shopping center, Planning staff consider this project to be most like a shopping center use, which requires 5 spaces per 1,000 square feet of gross floor area. The applicant has an agreement with the existing shopping center for joint use of the over-400 space shopping center parking lot.

The applicant proposes providing 11 parking spaces along the southern edge of the restaurant, and accessing another 33 parking spaces within nearby areas of the shopping center parking lot. This translates to approximately 19.8 spaces per 1,000 square feet of floor area, which surpasses the requirements outlined in the zoning code.

When considering the shopping center as a whole, after development of the new Starbucks it will contain 416 parking spots in the parking lot. The existing buildings on site are approximately 74,412 square feet necessitating 373 parking spots. The Starbucks will add a requirement for another 25 parking spots, for a total of 398 spots needed post-development. The 416 spots thus proposed are sufficient to meet AMC parking standards.

Site Access and Circulation

The restaurant and drive-thru will be accessed via existing driveways to the shopping center along Putnam Street at Mission Street, as well as along Contra Loma Boulevard. Parking is available in front of the building, as well as in the adjacent shopping center. There is direct pedestrian access from the Putnam Street sidewalk to the west.

The drive-thru lane is designed to hold up to 16 vehicles at a time. Antioch’s Commercial Design Guidelines, in section 3.2.8, state that a minimum of 6 stacking spaces for waiting vehicles shall be provided at drive-thru facilities selling food. They also recommend that drive-thru lanes flank the building and are out of view of the street. The proposed drive-thru lane circles around the back of the building and the applicant is proposing to screen it from the street using appropriate landscaping.

Architecture and Landscaping

Pursuant to AMC § 9-5.2607, all new development within the City is subject to Design Review approval. The purpose of the Design Review process is to promote the orderly development of the city, encourage high quality site design and planning, protect the stability of land values and investments, and ensure consistency with the Citywide Design Guidelines.

The proposed building architecture features beige stucco siding with corrugated metal siding installed over portions of the façade to add articulation and interest to the building when viewed from the shopping center or street below. A beige corrugated metal roof screen completes the building façade. Black metal awnings over the front entrance, outdoor seating area and drive-thru window add architectural interest and provide shade from sun and protection from rain. As designed, the site uses cohesive materials and colors to create a single architectural style. Staff feels that the proposed architectural design is consistent with Citywide Design Guidelines.

The proposed landscaping plan aims to provide a water-conserving landscape which provides shade to parking and paved areas, screens the trash enclosure and drive-thru lane, and beautifies the site with trees, shrubs, grasses, groundcovers, and vines. Proposed shade trees include the Marina Strawberry Tree, Raywood Ash and Chinese Pistache. Flowering accent trees, which will add visual interest to the outdoor dining area and buffer the drive-thru, include Eastern Redbud, Natchez Crape Myrtle and Purple-leaf plumb. Taller shrubs (5 to 7 feet) such as the Golden Abundance Barberry, Wynabie Gem Coast Rosemary and Compact Xylosma, will be planted screening the trash enclosure and eastern portion of the drive-thru lane. Medium shrubs (3 to 5 feet in height) such as Little John Weeping Bottlebrush, Noel Grevillea, Texas Sage and Bamboo will screen the remainder of the drive-thru lane. A variety of other low-height accent shrubs will be planted to add interest throughout the site. Spreading shrubs and other groundcover plants will complete the landscaping plan in the landscaped area surrounding the building and drive-thru to the north, east and west. These include California natives such as Pacific Mist Manzanita and Coyote Brush, along with other non-native species. The bioretention basins will be planted with California native plants such as Coyote Brush, Sand Dune Sedge, and California Fuchsia. The trash enclosure will be covered with clinging vines such as Creeping Fig and Cat's Claw Creeper. Lastly, there is one existing mature tree at the western edge of the property that will remain.

As a condition of approval for this project, staff is asking the applicant to install appropriate edging along the edges of the sloped landscaped area that border the sidewalk on Putnam Street and Contra Loma Boulevard. This is to prevent mulch, dirt or other debris from encroaching onto the sidewalk due to rain or other elements:

- “In order to reduce the potential for dirt and mulch to encroach onto the sidewalks, the applicant shall install appropriate edging along the base of the landscaped area where it borders the sidewalks along Putnam Street and Contra Loma Boulevard. The edging shall be shown on the building permit submittal for review and approval by the Community Development Department.”

Signage Plan

Pursuant to AMC § 9-5.512 the maximum allowable signage area for buildings in the Neighborhood/Community Commercial zones is two square feet per lineal foot of primary building frontage. The proposed building will have 55.33 feet of frontage, resulting in approximately 110.66 square feet of allowed signage space.

The applicant is proposing to install four circular wall signs on the upper façade of the building displaying the Starbucks logo. Each sign is approximately 15.9 square feet in area. The applicant is also proposing to install 3 approximately 0.67 foot by 7.15 feet letter relief signs with the words “Drive Thru.” The total proposed area of signage is 77.92 square feet, which is within the allowable signage area per the zoning code.

The applicant is also installing directional free standing ground signage to direct towards the drive thru, as well as three large menus for customers to view from the drive thru lanes. These operational signs are not included within the above totals and are not generally considered subject to the overall signage size limitations, if for an operational purpose.

CONCLUSION

Staff recommends that the Commission approve a Use Permit and Design Review application for development of a new Starbucks restaurant at 3100 Contra Loma Boulevard subject to the Conditions of Approval described in Attachment A.

ATTACHMENTS

- A. Resolution Approving the Use Permit and Design Review
 - Exhibit A: Conditions of Approval
- B. Project Plans
- C. Project Description
- D. Contra Costa Fire Protection District Letter

ATTACHMENT "A"

**PLANNING COMMISSION
RESOLUTION # 2024-xx**

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ANTIOCH
APPROVING A USE PERMIT AND DESIGN REVIEW FOR DEVELOPMENT OF A NEW
STARBUCKS RESTAURANT AT 3100 CONTRA LOMA BOULEVARD
(DR2023-0011; UP2023-0004)
(APN:076-550-002)**

WHEREAS, the City of Antioch ("City") received an application from JAG Architecture for approval of a Use Permit and Design Review for the development of a Starbucks restaurant with drive-thru, and associated site improvements at 3100 Contra Loma Boulevard (DR2023-0011; UP2023-0004) (APN: 076-550-002); and

WHEREAS, the application was deemed complete on January 29, 2024; and

WHEREAS, the project is Categorically Exempt from CEQA pursuant to Article 19, Section 15332 Infill Development. Class 32 consists of projects characterized as in-fill development; and

WHEREAS, the Planning Commission duly gave notice of public hearing as required by law; and

WHEREAS, on March 20, 2024, the Planning Commission duly held a public hearing on the matter, and received and considered evidence, both oral and documentary; and

WHEREAS, the Planning Commission considered all public comments received, the presentation by City staff, the staff report, and all other pertinent documents regarding the proposed request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby makes the following findings for approval of the requested Use Permit pursuant to Section 9-5.2703 "Required Findings" (B) (1) (a-e) of the Antioch Municipal Code:

- a. That the granting of such Use Permit will not be detrimental to the public health or welfare or injurious to the property or improvements in such zone or vicinity.

The project has been designed and conditioned to comply with the City of Antioch Municipal Code requirements and commercial design guidelines.

- b. That the use applied at the location indicated is properly one for which a use permit is authorized.

The site is Zoned C-2, Neighborhood/Community Commercial. The General Plan designation for the site is Neighborhood/Community Commercial. Both designations allow for the development of eating establishments. C-2 zoning permits fast food restaurants and drive-up windows with a Use Permit.

- c. That the site for the proposed use is adequate in size and shape to accommodate such use, and all yards, fences, parking, loading, landscaping, and other features required.

The project is located on a vacant parcel directly adjacent and connected to an existing shopping center. The project has been designed to accommodate a new building, drive-thru lane, outdoor seating area, and associated landscaping which will provide screening around the restaurant and drive-thru lane when viewed from the street level below.

- d. That the site abuts streets and highways adequate in width and pavement type to carry the kind of traffic generated by the proposed use.

The project is located at the north end of the existing Lucky Shopping Center, and is bounded to the north, east and west by Contra Loma Boulevard and Putnam Street. The front entrances to the restaurant and drive-thru are located within the shopping center parking lot and are not accessed directly via either street. Engineering Staff reviewed the plans and agreed that the existing streets are adequate in width and pavement type to carry the kind of traffic generated by the proposed use.

- e. That the granting of such Use Permit will not adversely affect the comprehensive General Plan.

The General Plan designation for the site is Neighborhood/Community Commercial. The project is consistent with the General Plan land use designation, its allowed uses, and its description of development focused on integrated neighborhood shopping centers or commercial nodes; and

BE IT FUTHER RESOLVED, that the Planning Commission does hereby APPROVE a Use Permit and Design Review application from JAG Architecture for the development of a Starbucks restaurant with drive-thru, and associated site improvements at 3100 Contra Loma Boulevard (DR2023-0011; UP2023-0004) (APN:076-550-002). The project is subject to the following conditions in Exhibit A, attached hereto.

* * * * *

I HEREBY CERTIFY that the foregoing resolution was adopted by the Planning Commission of the City of Antioch at a regular meeting thereof held on the 20th day of March, 2024, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

KEVIN SCUDERO
Secretary to the Planning Commission

EXHIBIT A
CONDITIONS OF APPROVAL
CONTRA LOMA STARBUCKS (DR2023-0011, UP2023-0004)

A. GENERAL CONDITIONS

1. This Use Permit and Design Review approval is for a new Starbucks with a drive-thru at 3100 Contra Loma Boulevard / APN 076-550-002, as substantially shown and described on the project plans, except as required to be modified by conditions herein or in the Development Agreement. Plans dated January 03, 2024, were presented to the Planning Commission on March 20, 2024 ("Approval Date."). For any condition herein that requires preparation of a Final Plan where the project applicant has submitted a conceptual plan, the project applicant shall submit final plan(s) in substantial conformance with the conceptual plan, but incorporate the modifications required by the conditions herein for approval by the City.
2. This approval expires two years from the date of approval by the Planning Commission (March 20, 2026), unless a building permit has been issued and construction has diligently commenced thereon and has not expired, or an extension has been approved by the Zoning Administrator. Requests for extensions must be received in writing with the appropriate fees prior to the expiration of this approval. No more than one one-year extension shall be granted.
3. Pursuant to Section 9-5.2509 of the Antioch Municipal Code, any decision made by the Planning Commission which would otherwise constitute final approval or denial may be appealed to the City Council. Such an appeal shall be in writing and shall be filed with the City Clerk within five (5) working days after the decision. All appeals to the City Council from the Planning Commission shall be accompanied by a filing fee established by a resolution of the City Clerk.
4. The applicant (including any agent thereof) shall defend, indemnify, and hold harmless, the City of Antioch and its agents, officers and employees, from any claim, action, or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul the City's approval concerning this application. The city will promptly notify the applicant of any such claim action or proceeding and cooperate fully in the defense.
5. No permits or approvals, whether discretionary or mandatory, shall be considered if the applicant is not current on fees, reimbursement payments and other monies that are due.
6. The development and all proposed improvements shall comply with the City of Antioch Municipal Code, City Standard plans, specifications, and design criteria, unless a specific exception is granted thereto or approved by the City Engineer.
7. The project shall be constructed as approved and with any additional changes required pursuant to the Zoning Administrator or Planning Commission Conditions of Approval. Planning staff may approve minor modifications in the project design, but

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not the permitted land uses. A change requiring discretionary approval and any other changes deemed appropriate by the Planning staff shall require further Planning Commission approval through the discretionary review process.

8. All required easements or rights-of-way shall be obtained by the applicant at no cost to the City of Antioch. Advance permission shall be obtained from any property or easement holders for any work done within such property or easements.
9. City staff shall inspect the site for compliance with conditions of approval prior to final inspection approval.
10. The applicant shall obtain an encroachment permit for all work to be done within the public right-of-way or easement, and peak commute-hour traffic shall not be impeded by construction-related activity.
11. All existing easements shall be identified on the site plan and all plans that encroach into existing easements shall be submitted to the easement holder for review and approval, and advance written permission shall be obtained from any property owner or easement holder for any work done within such property or easement.
12. Pursuant to Section 9-5.2707.1 "Violation, Revocation, Fine" of the Antioch Municipal Code, if there is a violation of the Conditions of Approval, the Planning Commission shall hold a public hearing to consider revocation of the Conditional Use Permit. If the Planning Commission determines that the operation is not in compliance with the Conditions of Approval, there is a public nuisance or otherwise a threat to public health, safety, or welfare, this may result in revocation of, or modification to the Use Permit or imposition of a fine.
13. The Developer shall submit an updated title report of the project parcel prior to or at building permit submittal. All existing easements of record that are no longer required or needed that will affect the project parcel or any adjacent parcels within the area of this project shall be removed prior to the building permit as approved by the City Engineer.
14. Any required access and utility easements over existing and underground public utilities, sidewalks and other installed public improvements shall be granted by the developer at no cost to the City prior to occupancy.
15. All existing private and public utilities shall be located prior to construction and information provided to the contractor. All existing improvements that are disturbed during construction shall be both relocated within (water meters, sewer cleanouts, etc.) the area of site as shown on the said approved preliminary grading utility plans and the utility plans and pavement fully restored to the satisfaction of the City Engineer.

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B. CONSTRUCTION CONDITIONS

1. The use of construction equipment shall be as outlined in the Antioch Municipal Code § 5-17.05. Requests for alternative days/times may be submitted in writing to the City Manager or designee for consideration.
2. The project shall comply with and supply all the necessary documentation for AMC § 6-3.2: Construction and Demolition Debris Recycling.
3. Standard dust control methods shall be used to stabilize the dust generated by construction activities. The developer shall post dust control signage with the contact number of the Developer, the Bay Area Air Quality Management District, and the City.
4. Driveway access to neighboring properties shall be maintained at all times during construction.
5. Any damaged existing street improvements along the project frontage before and during construction on or adjacent to the project property, shall be repaired or replaced to the satisfaction of the City Engineer at the full expense of the Developer. This shall include any broken sidewalk, curb and gutter, landscaping, street pavement, street pavement or other existing frontage improvements, as may be required by the City Engineer, shall be improved to city standards. At driveway entrances the pavement conforms shall be designed and constructed to match existing grade and transition as smooth as possible at 1% minimum grade.
6. The developer shall inform the City the start of construction of the project, the construction schedule and provide the listed below items, approximate area of disturbance, time frames he will need inspections, hours of work, construction detours, flagging etc., The developer shall provide the adjacent businesses and adjacent residents construction notice of construction with a flyer distributed 48 hours prior to start of construction of the following:

Address of Work
Start Date of Work
End Date of Work
Hours of Work
Type of Work
Contact Person
Company Name
Telephone

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C. UTILITIES

1. All proposed electric utilities (e.g. transformers and PMH boxes) for the project along the project frontage or on site shall be installed underground in accordance with the Antioch Municipal Code, section § 7-3, except existing P.G.& E. towers, if any, or as approved by the City Engineer.
2. After the project is constructed but prior to acceptance of all the site utility connections to public utilities, the developer shall provide CAD as-built drawings of all private and public utilities located within the site. This includes all public water utility lines and features, sewer collection lines, storm drainage lines, and inverts associated with these utilities. Developer shall also include locations of water meters, light poles, and irrigation controllers. These coordinates must be provided in GIS shapefile format using the NAVD 88 (with conversion information). Prior to acceptance of any public utilities, the developer shall provide coordinates of all public utilities installed within the site that will be included in the CAD as-built drawings.
3. All sewage shall flow by gravity from the building to an existing 6" sewer main pipe located in the existing public easement in the adjacent property. The developer shall make the connection to the public sewer line by installing a concrete manhole per city standards in the paved private parking lot and show such connection on the project site improvement plans prior to grading and building permits. The developer shall backfill trench in accordance with city standards and restore the existing paved parking lot in accordance with city standards, in the original pavement section. Prior to issuance of a building permit a simple sewer study will be required to be completed by the developer to verify that the existing downstream sewer main can handle the additional sewer flows of this project and the existing sewer flows of the adjacent property to the public sewer main in Contra Loma Boulevard. Any mitigations as a result of this sewer study shall be constructed by the developer at no cost to the City.
4. The proposed trash enclosures shall be covered and the pavement inside the trash enclosure shall drain to sanitary sewer system. These trash enclosure structures are subject to the requirements of Contra Costa County Environmental Health and shall incorporate methods to contain runoff at the front-gate and pedestrian access point to prevent storm water from entering the enclosure.
5. The proposed 1 ½" domestic water line to the site shall connect to a public water main located in Putnam Street and the proposed City water meter and backflow preventer assembly shall be installed within the city right of way behind the existing south sidewalk of Putnam Street per City water details and per city requirements. This proposed water line lateral line shall also supply irrigation water to the site irrigation meter in the same location as the domestic water meter that is connected to the proposed building.

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6. All onsite utilities shall be privately owned and maintained and connected to public facilities in accordance with City Standards to the satisfaction of the City Engineer.
7. If the proposed building is required to have a building fire sprinkler system, the sprinkler water line shall connect to the above said water lateral on Putnam Street through a City approved double detector check valve, backflow assemblies and fire department connections installed per city requirements. The detector check valve assembly shall be screened from public view by wall or landscaping.
8. The developer shall provide adequate potable water and fire water flow and pressure to serve this proposed building fire sprinkler system and domestic use. This will include a minimum fire flow of 1000 gpm, a minimum residual pressure of 20 psi with all losses included at the highest point of sprinkler system at a minimum static pressure of 20 psi or as approved by the City Engineer and/or Fire Marshal. Water flow calculations, analysis and report will be required to verify that the proposed private water main can handle the fire flows. If a fire hydrant flowing is required, it shall be installed to flow at 1000 gpm per City requirements.
9. The applicant shall install all infrastructure to serve the site. Infrastructure for access to the site (sewer, water, storm, joint trench, and surface improvements) shall be completed prior to issuance of a certificate of occupancy for the site.
10. If required by the Contra Costa County Fire Protection District to install additional fire hydrants on the site, a private water line shall connect these private fire hydrants (spacing a maximum of 400 feet) to be looped to the off-site public water mains located in Putnam Street and or Contra Loma Boulevard. This looped system shall be connected to the private water double detector check assemblies per city requirements to meet fire flows. The developer shall be responsible for installing all water connections to the public water system in accordance with city standards, backfill and restore pavement, landscaping, and other surface improvements to conditions before construction to the satisfaction of the City Engineer. The building potable water line shall connect to the water main located off Putnam Street at the southwest corner of the site.
11. The developer shall submit hydrology and hydraulic calculations, and drainage report as part of the storm water pollution control plan. The analysis will demonstrate adequacy of the on-site drainage system in the 10-year flow and with no impacts to the downstream drainage system. The analysis shall be reviewed and approved by Contra Costa County Flood Control and the City of Antioch.
12. If needed a required access and utility easements over existing and underground public utilities, sidewalks and other installed public improvements shall be granted by

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the developer at no cost to the City prior to occupancy. If needed, the developer shall also dedicate 10' wide public utility easements over any private or public utility lines.

13. The applicant shall include signing and striping in the building permit package using the latest version of the Caltrans Standard Plans Pavement Markers and Traffic Lines Typical Details as depicted in the A20 and A24 series of plan sheets and the latest version of the California MUTCD. The accessible parking design shall be compliant with the latest version of Caltrans Standard Plans A90 series of plan sheets.
14. The developer shall install ADA ramps on all concrete walkways and provide ADA parking spaces in accordance with the latest ADA standards and City of Antioch parking standards.

D. LANDSCAPING

1. Safe line of sight distance triangles shall be maintained per AMC § 9-5.1101, Site Obstructions at Intersections, or as approved by the City Engineer. Landscaping and signage shall not restrict the safe line of sight at intersections on the public streets or at site driveways with the existing parking lot.
2. Detailed landscaping and irrigation plans for the entire site shall be submitted to the City for review and approval prior to building permit. All landscaping and irrigation shall be installed in accordance with approved preliminary plans prior to the issuance of certificates of occupancy for this building.
3. The landscaping for the project shall be designed to comply with the applicable requirements of City of Antioch Ordinance No. 2162-C-S, The State Model Water Efficient Landscape Ordinance (MWELO). Prior to issuance of a building permit, the applicant shall demonstrate compliance with the applicable requirements of the MWELO in the landscape and irrigation plans submitted to the City.
4. Landscape shall show immediate results. Landscaped areas shall be watered, weeded, pruned, fertilized, sprayed, and/or otherwise maintained, as necessary. Plant materials shall be replaced as needed to maintain the landscaping in accordance with the approved plans.
5. All trees shall be a minimum 24" box size and all shrubs shall be a minimum 5-gallon size.

E. FIRE REQUIREMENTS

1. All requirements of the Contra Costa County Fire Protection District shall be met.

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F. FEES

1. The developer shall pay all City fees which have been established by the City Council and as required by the Antioch Municipal Code prior to building permit.
2. The developer shall pay all pass-through fees. Fees include but are not limited to:
East Contra Costa Regional Fee and Financing Authority (ECCRFFA) Fee in effect at the time of building permit issuance.
Contra Costa County Fire Protection District Fire Development Fee in place at the time of building permit issuance.
Contra Costa County Flood Control District Drainage Area fee.
School Impact Fees.
Delta Diablo Sanitation Sewer Fees.
Contra Costa Water District Fees.

G. GRADING

1. The developer shall prepare improvement plans for grading the project site, and apply for a grading permit, as required. The grading permit shall be issued prior to commencement of any grading operations. The permit shall be obtained for any rough and final grading of the site through the City's Building Department subject to review and approval by the City Engineer. The grading plans shall show in detail how the site will be graded and show how all low spots in the site will have adequate drainage devices installed to drain the site. The submitted plans shall incorporate any modifications required by the Conditions of Approval for the project for handling the natural drainage from surrounding parcels, and special requirements of grading of the site. The developer shall install all retention and bioretention basins as required to comply with state clean water C.3 requirements prior to building occupancy.
2. The grading operation shall take place at a time and in a manner so as not to allow erosion and sedimentation. The maximum slopes are 3:1 but 2:1 will be allowed upon approval of the soils engineer and shall be landscaped and reseeded as soon as possible after the grading operation ceases. Erosion measures shall be implemented during all construction phases in accordance with state and city approved erosion and sedimentation requirements.
3. The final grading plan for this development shall be approved by the City Engineer and signed by a California licensed civil engineer. No grading is allowed without a grading permit issued by the Building Department.
4. Prior to the approval of the grading plan(s), a registered Geotechnical Engineer shall prepare to review the building pad, existing soils, building foundation, and grading plans submitted for this project. If deemed necessary by the City Engineer, field

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inspections by such professionals will be required to conduct soil borings and review the prepared site improvement plans to verify compliance with the approved geotechnical report findings and recommendations. Costs for these consulting services shall be incurred by the developer.

5. All elevations shown on the grading and improvement plans shall be on the USGS 1984 sea level datum or NAVD 88 with conversion information, or as approved by the City Engineer.
6. All site grading is subject to the coordination and approval of the affected property owners and the City Engineer. The developer shall submit written authorization to "access, enter, and/or grade" adjacent properties prior to issuance of the grading permit and performing any grading or utility work.
7. The existing site access, grading and drainage easements of the adjacent commercial development shall be revised as needed to accommodate the revised grades and improvements of this new facility.
8. Any sale of the site of this project to another developer shall include all the necessary drainage, access and utility easements, parking agreements and/or grading easements to assure that project-wide parking and development conforms to the existing conditions of the overall commercial project.
9. All slopes shall drain to approved drainage facilities as approved by the City Engineer.
10. Wall and fence locations and elevations shall be included on the grading plan.
11. Any existing wells or septic systems on the property shall be properly abandoned under a permit from the Contra Costa County Environmental Health Department.
12. All grading of the proposed site shall be accomplished in a manner that precludes surface water drainage across any property line.
13. Swales adjacent to structures shall have a minimum of a 1% slope or as directed by the City Engineer. Minimum asphalt pavement slopes are 1% but an average 1.5% to 2% shall be maintained. The minimum concrete slope is 0.5% with the minimum longitudinal slope of curb and gutters shall be 0.33%.
14. All retaining walls shall be constructed of masonry and shall not be constructed in City right-of-way or other City maintained parcels unless approved by the City Engineer. All retaining walls shall be reduced in height to the maximum extent practicable and shall meet the minimum and maximum height requirements in the setback and sight distance triangles as required by the City.

EXHIBIT A
CONDITIONS OF APPROVAL
CONTRA LOMA STARBUCKS (DR2023-0011, UP2023-0004)

15. The developer shall transition grades at a 2:1 max grade slope. If this slope grade cannot be maintained, then the developer may need to install gravity retaining walls to adequately transition grades to the proposed grades of the site.
16. The project shall be built continuously in one phase. If the project becomes a phased project, then the developer shall provide a phasing plan to the Community Development Department and Engineering Department for review and approval.
17. The developer shall gather all construction debris on a regular basis and place them in a Waste Management dumpster or other container that is emptied or removed on a weekly basis consistent with the city Construction and Demolition Debris Ordinance. When appropriate, use tarps on the ground to collect fallen debris or splatters that could contribute to stormwater pollution. The site shall be kept clean of debris (boxes, junk, garbage, etc.) at all times.

H. CONSERVATION/NPDES

1. The project shall comply with all Federal, State, and City regulations for the National Pollution Discharge Elimination System (NPDES) (AMC§6-9). Under NPDES regulations, the project is subject to provision C.3: New development and redevelopment regulations for storm water treatment. Provision C.3 requires that the project include storm water treatment and source control measures, as well run-off flow controls, so that post-project runoff does not exceed estimated pre-project runoff. C.3 regulations require the submittal of a Storm Water Control Plan (SWCP) that demonstrates how compliance will be achieved. The SWCP shall be submitted simultaneously with the project plans. An Operation and Maintenance Plan (O&M) for the treatment and flow-controls in the approved SWCP shall be submitted and approved before the Building Department will issue Certificate of Occupancy permits. Prior to building permit final and issuance of a Certificate of Occupancy, the applicant shall execute any agreements identified in the Storm Water Control Plan that pertain to the transfer of ownership and/or long-term maintenance of storm water treatment or hydrograph modification BMPs.
2. The developer shall install filter materials (such as sandbags, filter fabric, etc.) at the storm drain inlets nearest the downstream side of the project site prior to:
 - a. start of the rainy season (October 1).
 - b. site dewatering activities.
 - c. street washing activities.
 - d. saw cutting asphalt or concrete; and
 - e. order to retain any debris or dirt flowing into the city storm drain system.
 - f. Filter materials shall be maintained and/or replaced as necessary to ensure effectiveness and prevent flooding and erosion of soil on City or

EXHIBIT A
CONDITIONS OF APPROVAL
CONTRA LOMA STARBUCKS (DR2023-0011, UP2023-0004)

private streets and existing storm drain system. Dispose of used filter particles in the trash or at local approved landfill facility.

3. The following requirements of the federally mandated NPDES program (National Pollutant DISCHARGE Elimination System) shall be complied with as appropriate, or as required by the City Engineer:
 - a. Prior to issuance of permits for building, site improvements, or landscaping, the applicant shall submit a permit application consistent with the applicant's approved Storm Water Control Plan, and include drawings and specifications necessary for construction of site design features, measures to limit directly connected impervious area, pervious pavements, self-retaining areas, treatment BMPs, permanent source control BMPs, and other features that control storm water flow and potential storm water pollutants.
 - b. The Storm Water Control Plan shall be certified by a registered civil engineer, and by a registered architect or landscape architect as applicable. Professionals certifying the Storm Water Control Plan shall be registered in the State of California and submit verification of training, on design of treatment measures for water quality, not more than three years prior to the signature date by an organization with storm water treatment measure design expertise (e.g., a university, American Society of Civil Engineers, American Society of Landscape Architects, American Public Works Association, or the California Water Environment Association), and verify understanding of groundwater protection principles applicable to the project site (see Provision C.3.i of Regional Water Quality Control Board Order R2 2003 0022).
 - c. Prior to building permit final and issuance of a Certificate of Occupancy, the applicant shall submit, for review and approval by the City, a final Storm Water BMP Operation and Maintenance Plan in accordance with City of Antioch guidelines. This O&M plan shall incorporate City comments on the draft O&M plan and any revisions resulting from changes made during construction.
 - d. Prior to building permit final and issuance of a Certificate of Occupancy, the applicant shall execute and record any agreements identified in the Storm Water Control Plan which pertain to the transfer of ownership and/or long-term maintenance of storm water treatment or hydrograph modification BMPs.
 - e. The developer shall prevent site drainage from draining across sidewalks and driveways in a concentrated manner.

EXHIBIT A
CONDITIONS OF APPROVAL
CONTRA LOMA STARBUCKS (DR2023-0011, UP2023-0004)

- f. The developer shall collect and convey all storm water entering, and/or originating from, the site to an adequate downstream drainage facility. Submit hydrologic and hydraulic calculations with the Improvement Plans to Engineering Services for review and approval.
- g. Prior to issuance of the grading permit, the developer shall submit proof of filing of a Notice of Intent (NOI) by providing the unique Waste Discharge Identification Number (WDID#) issued from the Regional Water Quality Control Board.
- h. The developer shall submit a copy of the Storm Water Pollution Prevention Plan (SWPPP) for review to the Engineering Department prior to issuance of a building and/or grading permit. The developers' general contractor and all subcontractors and suppliers of materials and equipment shall implement these BMP's. Construction site cleanup and control of construction debris shall also be addressed in this program. Failure to comply with the approved construction BMP may result in the issuance of correction notices, citations, or a project stop work order.
- i. The developer shall install appropriate clean water devices at all private storms drain locations immediately prior to entering the public storm drain system. The developer shall implement Best Management Practices (BMP's) at all times.
- j. The developer shall install on all catch basins "No Dumping, Drains to River" decal buttons.
- k. If sidewalks are pressure washed, debris shall be trapped and collected to prevent entry into the storm drain system. No cleaning agent may be discharged into the storm drain. If any cleaning agent or degreaser is used, wash water shall be collected and discharged to the sanitary sewer, subject to the approval of the sanitary sewer District.
- l. The developer shall include erosion control/storm water quality measures in the final grading plan that specifically addresses measures to prevent soil, dirt, and debris from entering the storm drain system. Such measures may include, but are not limited to, hydro seedling, gravel bags and siltation fences and are subject to review and approval of the City Engineer. If no grading plan is required, necessary erosion control/storm water quality measures shall be shown on the site plan submitted for an on-site permit, subject to review and approval of the City Engineer. The applicant shall be responsible for ensuring that all

EXHIBIT A
CONDITIONS OF APPROVAL
CONTRA LOMA STARBUCKS (DR2023-0011, UP2023-0004)

contractors and subcontractors are aware of and implement such measures.

- m. The developer shall use standard dust control methods and designs shall be used to stabilize the dust generated by construction activities. The developer shall post dust control signage with a contact number of the developer, City staff, and the air quality control board.
- n. The developer shall install full trash capture device(s) in storm water catch basins that collect water from the project site. A “full trash capture device” is defined as any device or series of devices that traps all particles retained by a 5mm mesh screen and has a design treatment capacity of not less than the peak flow rate resulting from a one-year, one-hour, storm in the tributary drainage catchment area. Selected devices must be detailed on the building permit plan submittal and approved by Public Works prior to installation.

I. PROPERTY MAINTENANCE

- 1. The Developer shall sweep or vacuum the parking lot(s) a minimum of once a month and prevent the accumulation of litter and debris on the site. Corners and hard to reach areas shall be swept manually. If sidewalks are pressure washed, debris shall be trapped and collected to prevent entry into the storm drain system.
- 2. The project shall comply with AMC § 5-1.204 Commercial Property Maintenance.
- 3. The site shall be kept clean of all debris (boxes, junk, garbage, etc.) at all times.
- 4. No cleaning agent may be discharged into the storm drain. If any cleaning agent or degreaser is used, wash water shall be collected and discharged to the sanitary sewer, subject to the approval of the sanitary sewer District.
- 5. The developer shall ensure that the area surrounding the project, such as the streets, stay free and clear of construction debris such as silt, dirt, dust, and tracked mud coming in from or in any way related to project construction. Areas that are exposed for extended periods shall be watered regularly to reduce wind erosion. Paved areas and access roads shall be swept on a regular basis. All trucks shall be covered.
- 6. The developer shall clean all on-site storm drain facilities a minimum of twice a year, once immediately prior to October 15 and once in January. Additional cleaning may be required if found necessary by City Inspectors and/or City Engineer.

EXHIBIT A
CONDITIONS OF APPROVAL
CONTRA LOMA STARBUCKS (DR2023-0011, UP2023-0004)

J. PROJECT SPECIFIC CONDITIONS

1. The developer shall work with Republic Services to widen and lengthen the trash enclosure to allow for a fourth organics cart and to allow employees to access all the containers within the enclosure. The modified trash enclosure shall be shown on the building permit submittal for review and approval by the Community Development and Public Works Department, and written approval from Republic Services of the final trash enclosure design shall be provided with this submittal prior to building permit.
2. To reduce the potential for dirt and mulch to encroach onto the sidewalks, the applicant shall install appropriate edging along the base of the landscaped area where it borders the sidewalks along Putnam Street and Contra Loma Boulevard. The edge shall be shown on the building permit submittal for review and approval by the Community Development Department.
3. All storm water flows shall be collected onsite and discharged into an approved private detention basin to be filtered prior to draining to the public storm drain system. The concept of the drainage system design is shown on sheet C4 of the preliminary Grading and Drainage and utility plans prepared by Apex Civil Engineering and Land Surveying in Martinez, CA date 9-7-23. The developer shall install two concrete drainage inlets with metal grates in the site curbs adjacent to retention basins that will drain into the retention basins shown on said plan via 12" pipe. All on-site retention basins shall be bioretention basins and be designed to satisfy the Contra Costa County clean water program stormwater C.3 Guidebook, 8th edition dated December 23, 2022.

3100 CONTRA LOMA BLVD. ANTIOCH, CA

PROJECT DESCRIPTION:

NEW SHELL BUILDING AND SITE DEVELOPMENT FOR A 2,220 S.F. STARBUCKS.

PROPERTY OWNER:

PHILLIPS EDISON
3247 SANTA FE ROAD
PARK CITY, UT

ARCHITECT:

JAG ARCHITECTURE
15 HUBBLE # 200 IRVINE, CA
LANDSCAPE:
ROYAL OAK DESIGN

CIVIL:
APEX CIVIL ENGINEERING
817 ARNOLD DRIVE, SUITE 50
MARTINEZ, CA

LIST OF DRAWINGS:

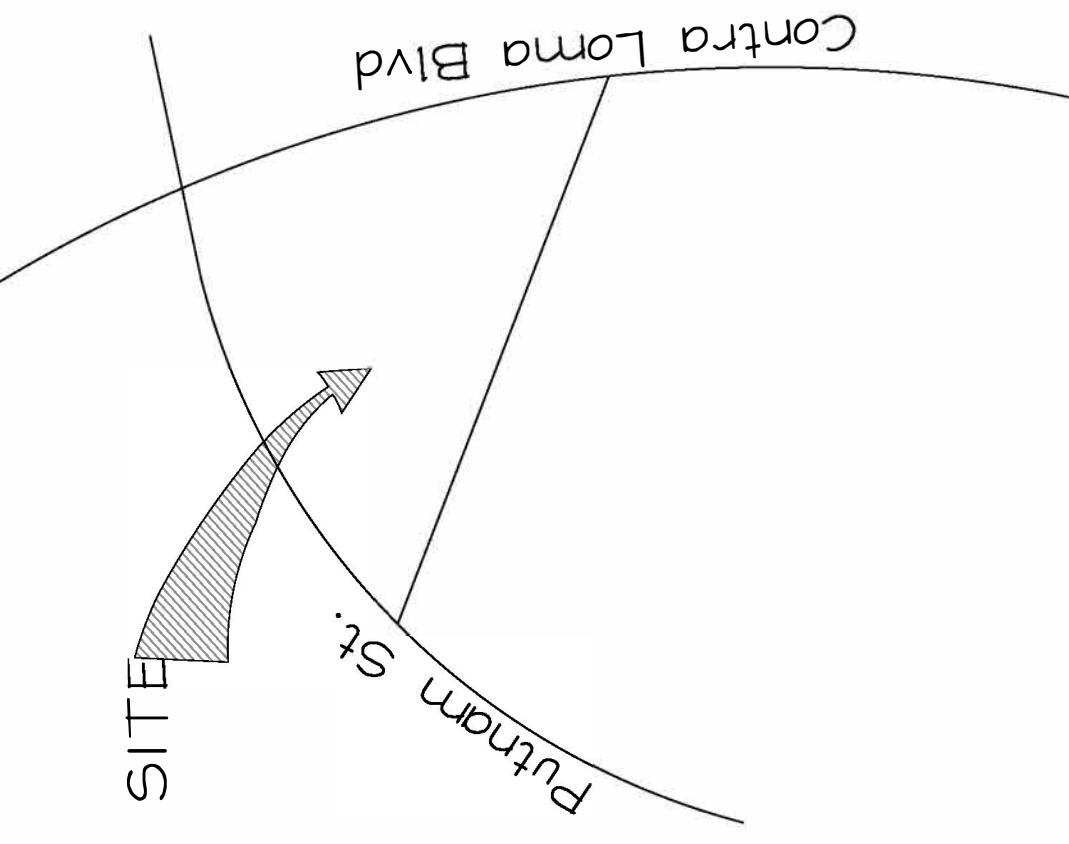
ARCHITECTURAL:
T-0 COVER SHEET
A-0 SITE PHOTOS
A-1 OVERALL SITE PLAN
PROPOSED SITE PLAN
FLOOR PLAN
EXTERIOR ELEVATIONS
A-3 FLOOR PLAN
A-4 EXTERIOR ELEVATION
A-4.1 TRASH ENCLOSURE
A-5 PHOTOMETRIC LAYOUT
A-5.1 STRIPPING PLAN
A-5.2 LIGHTING PLAN
A-6 COLORED ELEVATIONS
A-7 MATERIAL BOARD
A-8 RENDERING
A-9 RENDERING

LANDSCAPE:
L-1 CONCEPTUAL LANDSCAPE PLAN

CIVIL:
- SURVEY
TITLE SHEET
NOTES, SECTIONS AND DETAILS
PRELIMINARY GRADING, UTILITY PLAN
PRELIMINARY GRADING, UTILITY PLAN
PRELIMINARY STORM WATER CONTROL
SHEET 1 SITE SECTIONS

SITE SUMMARY

<u>SITE AREA:</u>	39,455 S.F. 0.91 ACRES
<u>ZONING:</u>	C-2 (COMMERCIAL)
<u>APN:</u>	076-550-002
<u>BUILDING AREA:</u>	2,220 S.F.
<u>BUILDING COVERAGE PERCENTAGE:</u>	5.6%
<u>LANDSCAPE AREA:</u>	8,932 S.F. (22.6%)
<u>BICYCLE SPACES</u>	3
<u>PARKING:</u>	
EXISTING PARKING SPACES TO BE REMOVED:	18 SPACES
NEW PARKING SPACES ADDED:	11 SPACES
<u>PARKING REQUIRED:</u>	
IN DOOR SEATING: 732 S.F. /50=	15 STALLS
OUT DOOR SEATING: 16 SEATS	6 STALLS
EMPLOYEE PARKING REQUIRED	4 STALLS
<u>TOTAL PARKING REQUIRED:</u>	25 STALLS
<u>PARKING PROVIDED:</u>	11 STALLS IN FRONT OF BUILDING (5/100) 33 STALLS NEXT TO BUILDING
<u>TOTAL PARKING PROVIDED:</u>	44 STALLS
<u>REQUIRED PARKING RATIO:</u>	5/1000
<u>PROPOSED PARKING RATIO:</u>	19.8/1000
<u>WHOLE SITE PARKING ANALYSIS:</u>	
TOTAL GROSS AREA OF EXISTING BUILDINGS ON SITE: 74,412 S.F.	
TOTAL PARKING REQUIRED 5/1000 = 373 PARKING STALLS	
TOTAL PARKING PROVIDED 19.8/1000 = 423 SPACES	
<u>TOTAL PARKING REQUIRED FOR STARBUCKS = 25 STALLS</u>	
<u>TOTAL PARKING REQUIRED AFTER ADDING STARBUCKS (373 + 25) = 398</u>	
REMOVED PARKING STALLS PER PROPOSED STARBUCKS SITE PLAN = 18	
PROVIDED PARKING IN FRONT OF STARBUCKS = 11 STALLS	
TOTAL PARKING (EXISTING + NEW) AFTER ADDING STARBUCKS (423 - 18 + 11) = 416	



VICINITY MAP

SITE PHOTOS

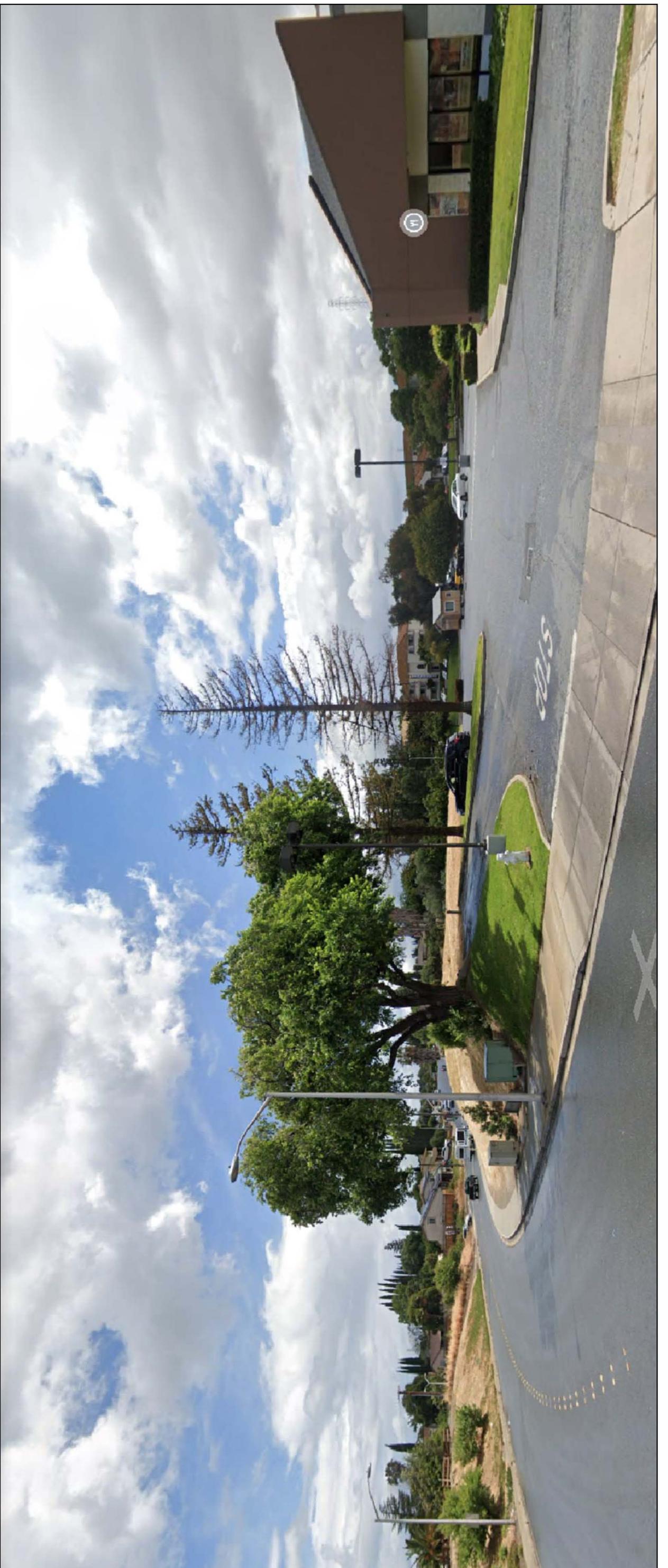
A-0

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Antioch, CA**

DATE: 01/03/2024

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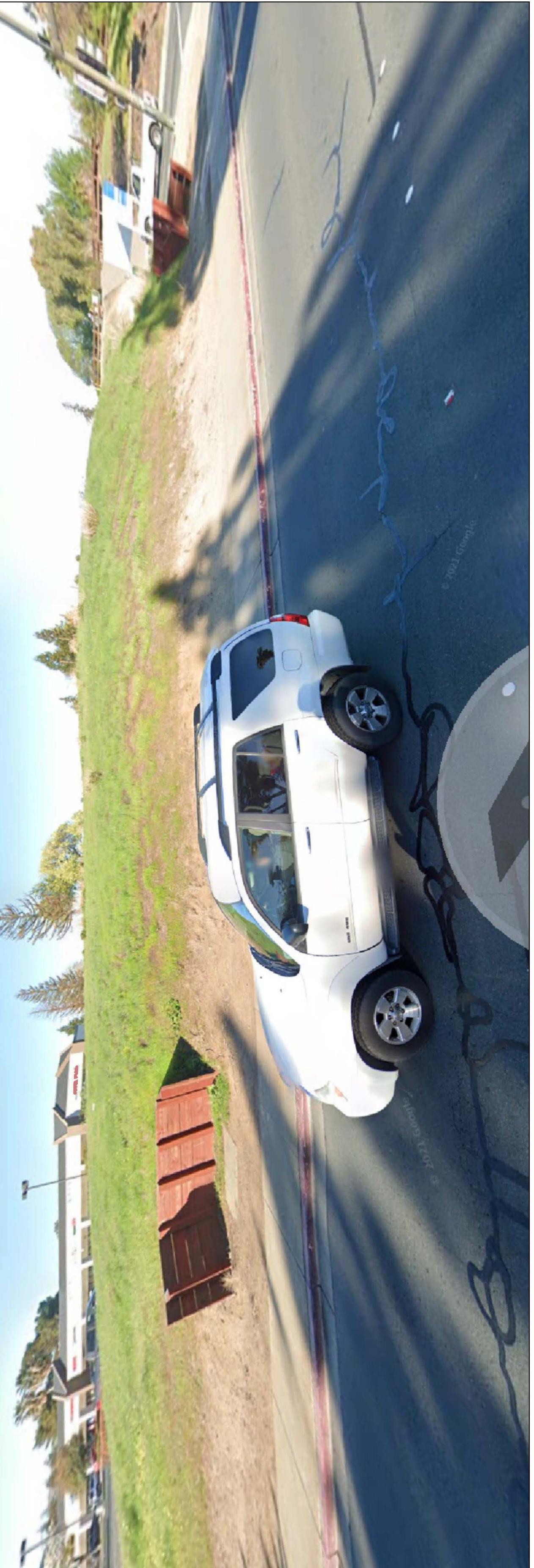
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PUTNAM VIEW



PUTNAM VIEW



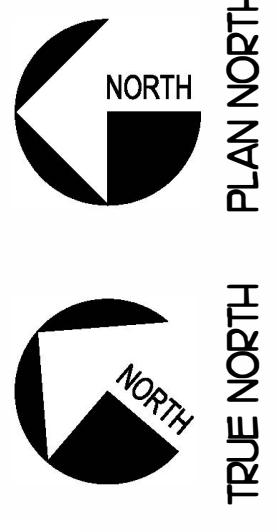
CONTRA LOMA VIEW

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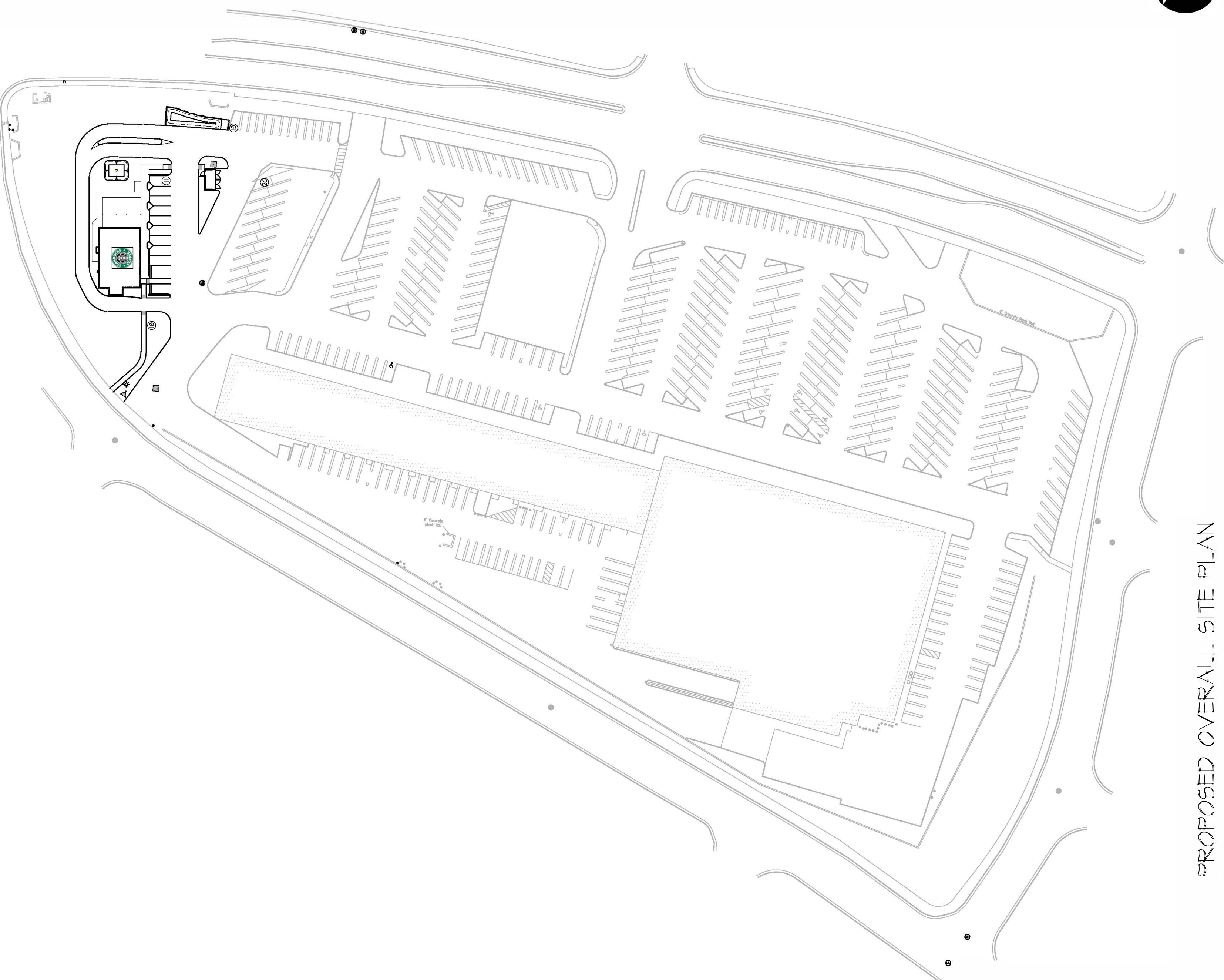


Overall Site Plan Existing and Proposed

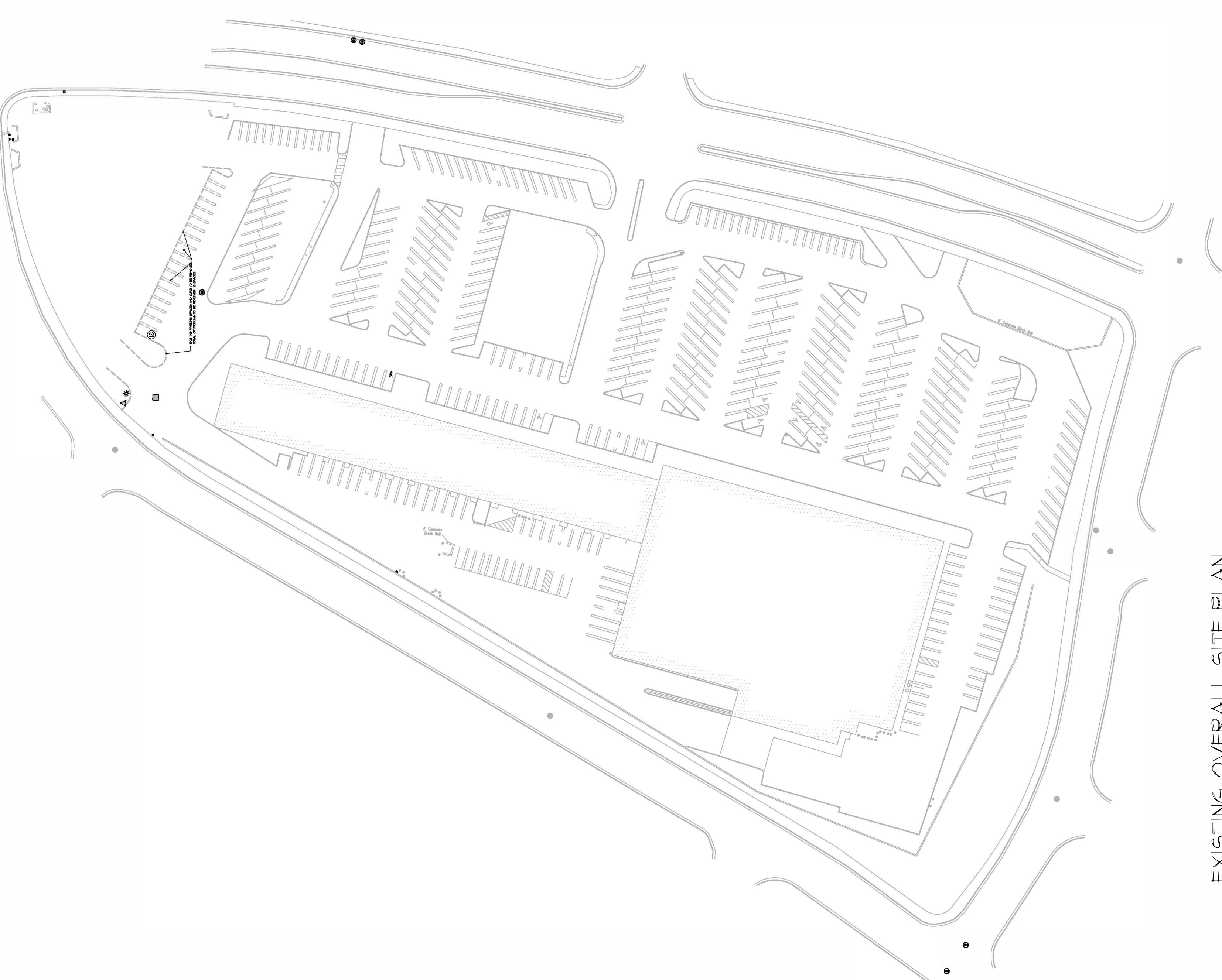
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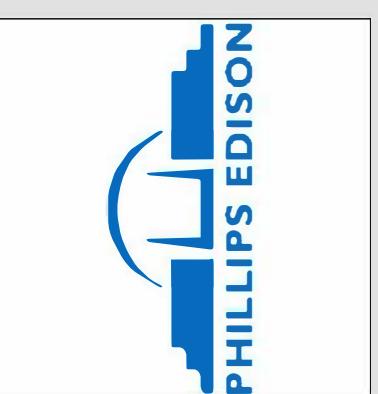
PROPOSED OVERALL SITE PLAN



EXISTING OVERALL SITE PLAN



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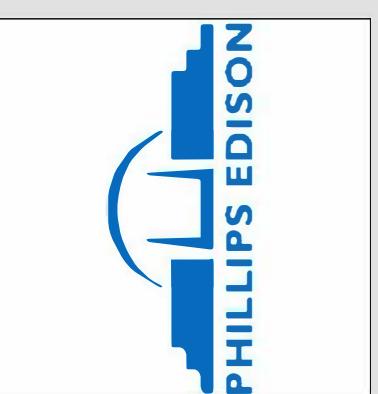


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Site Plan

A-2

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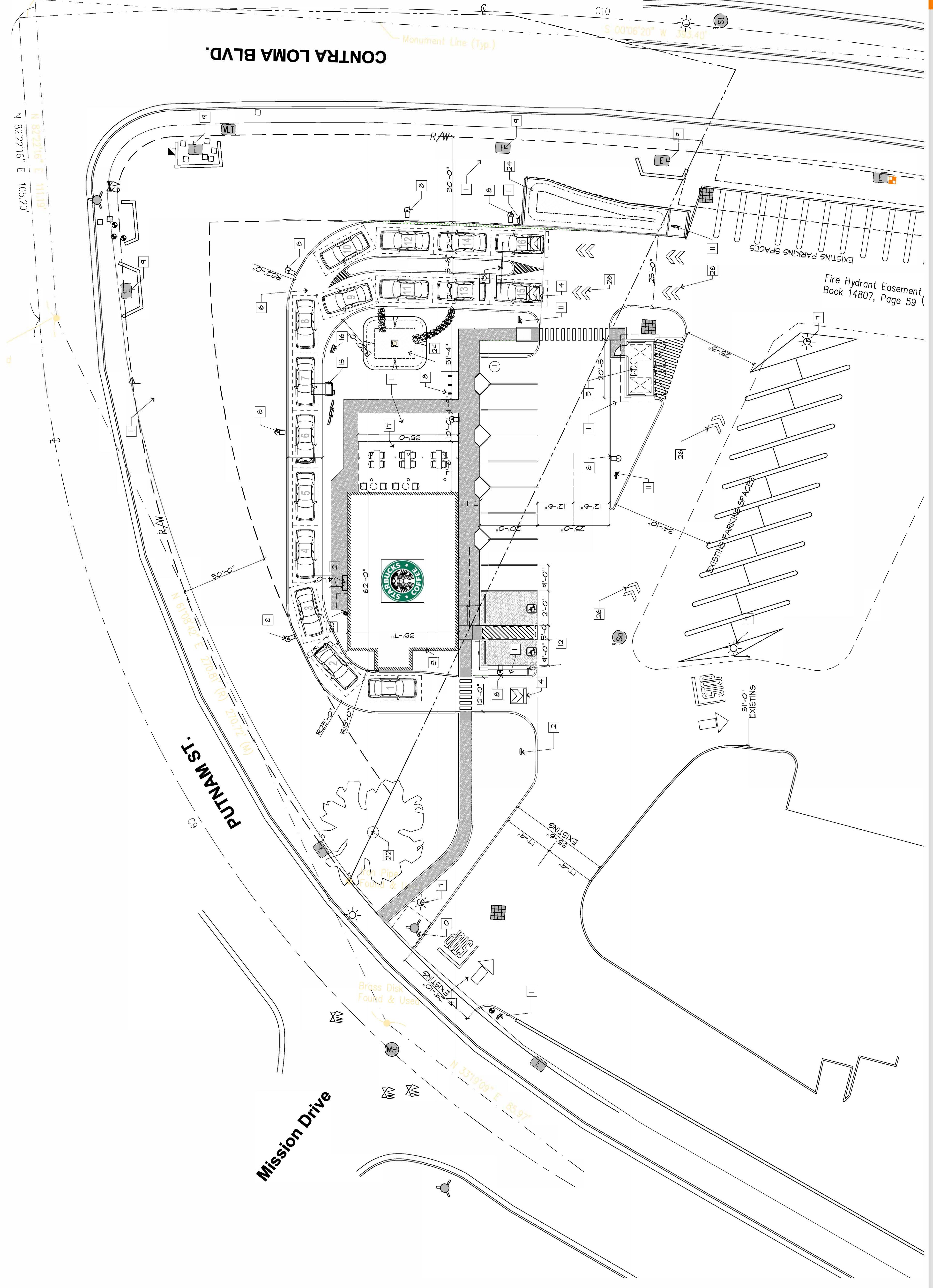
DATE: 01.03.2024

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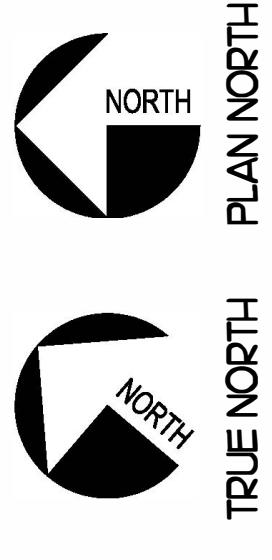
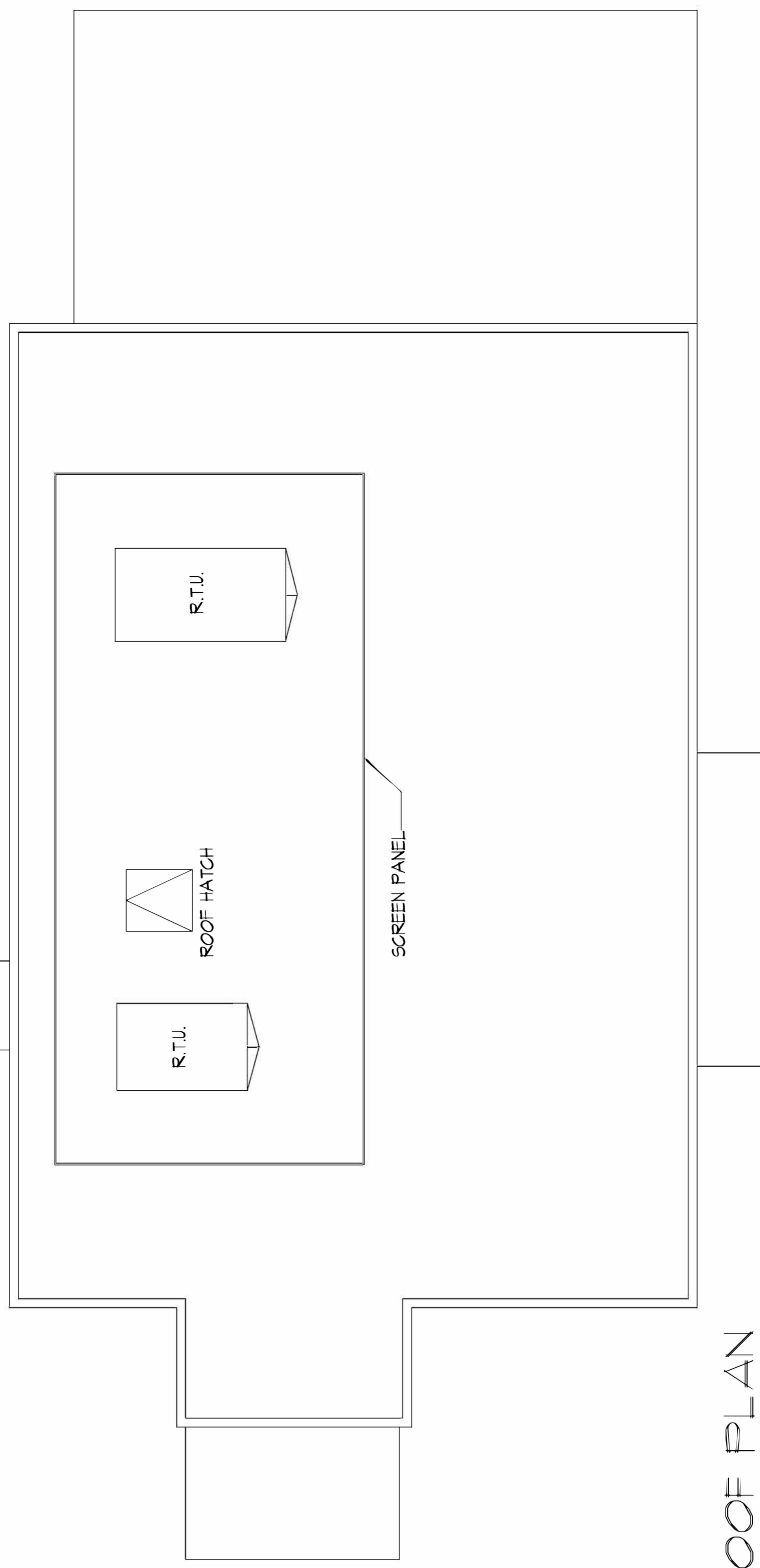
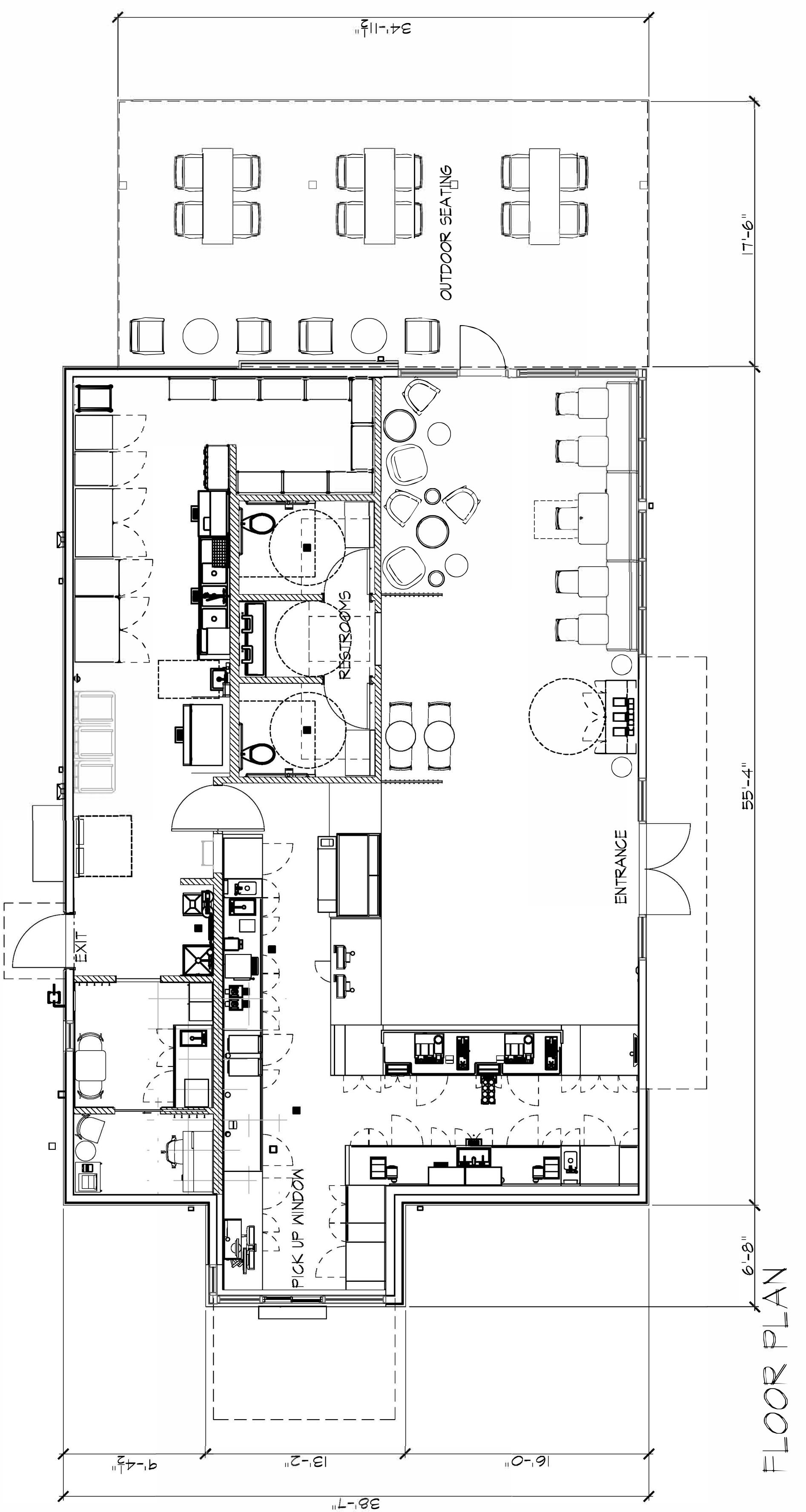
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KEY NOTES:

- LANDSCAPE AREA
- 2 ACCESSIBLE PATH OF TRAVEL
- 3 BUILDING FOOTPRINT
- 4 EXISTING DRIVE WAY
- 5 NEW TRASH ENCLOSURE
- 6 DRIVE THRU LANE
- 7 EXISTING SITE LIGHT POLE
- 8 NEW SITE LIGHT POLE
- 9 EXISTING ELECTRICAL VAULT
- 10 EXISTING FIRE HYDRANT
- 11 DRIVE THRU ILLUMINATED DIRECTIONAL SIGNAGE
- 12 DRIVE THRU EXIT/THANK YOU SIGN
- 13 'U' SHAPED CLEARANCE BAR
- 14 WAY FINDING PAVEMENT GRAPHICS
- 15 DIGITAL ORDER SCREEN WITH CANOPY
- 16 DRIVE THRU PRE-MENU
- 17 BROOM FINISH CONCRETE PATIO
- 18 BIKE RACK
- 19 CANOPY ABOVE
- 20 GAS METER
- 21 ELECTRICAL SWITCH GEAR
- 22 EXISTING TREE TO REMAIN
- 23 ELECTRICAL SWITCH GEAR
- 24 C.3 BIO RETENTION AREA
- 25 PYLON SIGN
- 26 DIRECTIONAL ARROWS - THERMOSTATIC APPLIED W/ HEAT TORCH



TRUE NORTH PLAN NORTH



NORTH
PLAN NORTH

Floor and Roof Plan

A-3

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Exterior Elevations

A-4

SCALE: 3/16"=1'-0"
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B6

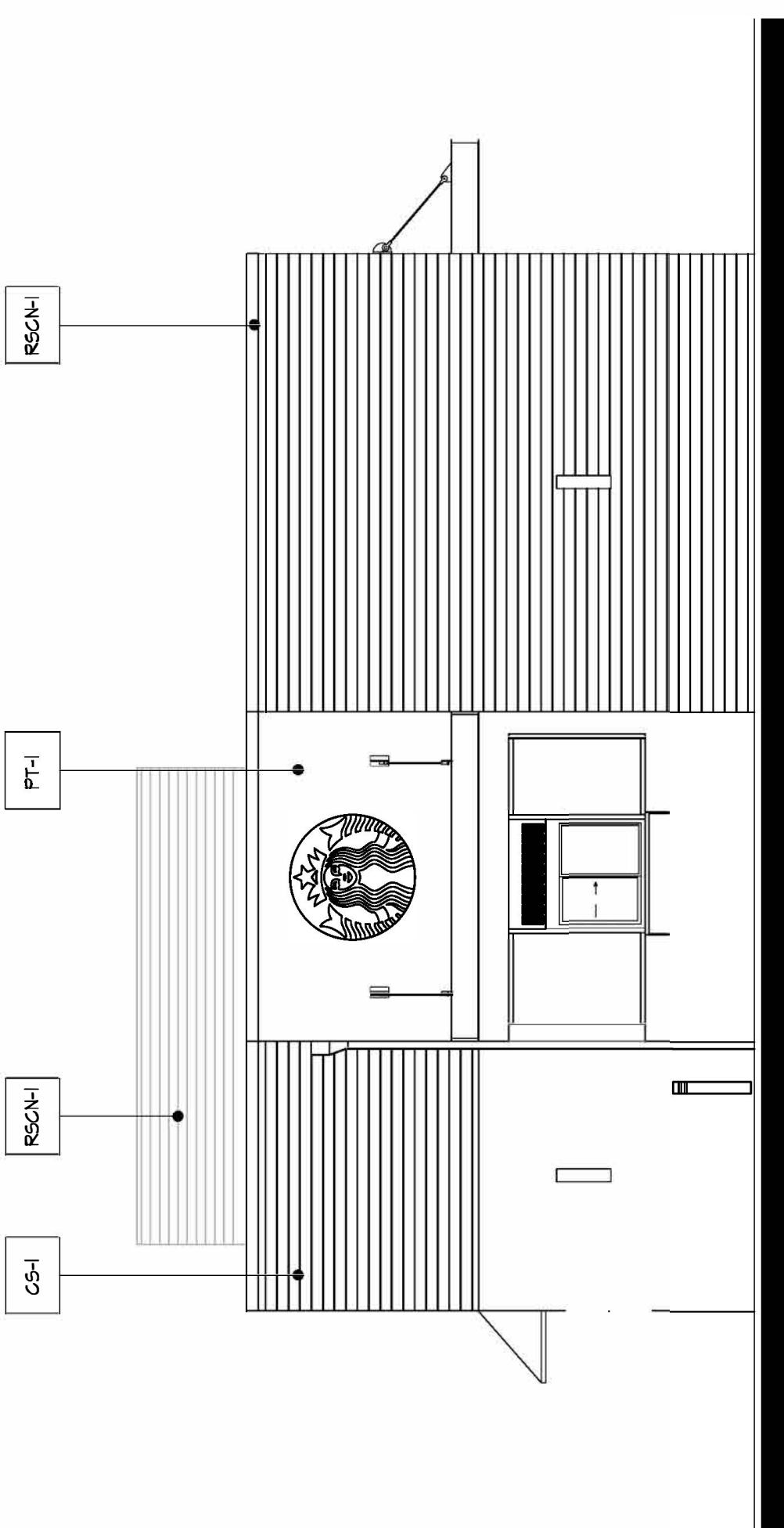
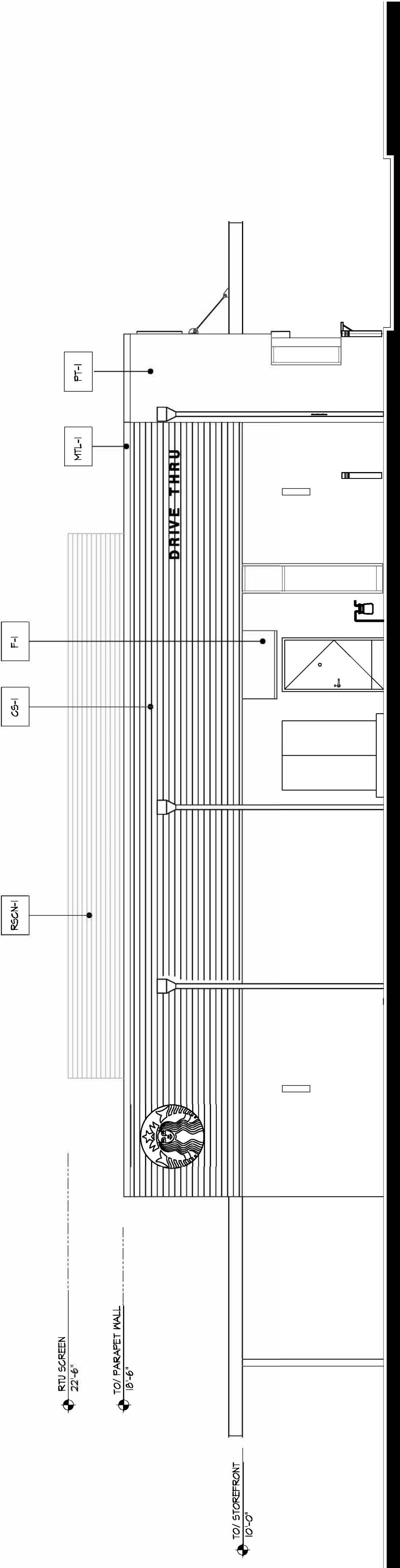
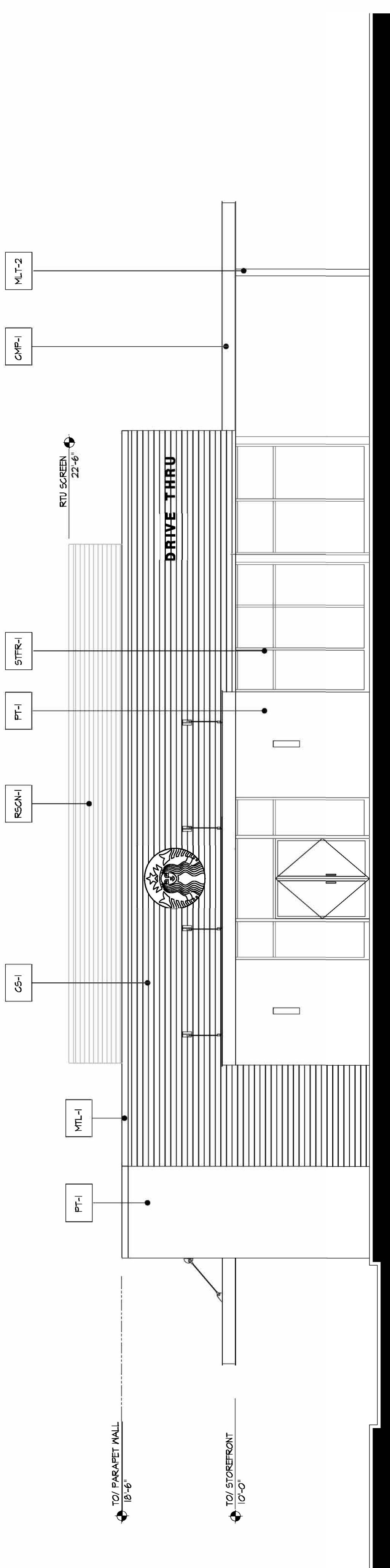
EXTERIOR FINISHES SCHEDULE	
CMP-1	COMPOSITE METAL PANEL - COLOR: BLACK
M-T-1	PREFINISHED COPING - COLOR: BLACK
M-T-2	METAL - PREFINISHED BRAKE METAL - COLOR: BLACK
PT-1	EGG OR STUCCO - BENZINUM MORE - COLOR: REVERSE PEWTER - HC-T12
CS-1	NL-WAVE CORROUGATED SIDING - BY AEP SPAN - COLOR: WEATHERED COPPER
RCN	ROOF SCREEN PANEL - HORIZONTAL RIBBED PANEL BY ROOF SCREEN
SFR-1	PREFINISHED ALUMINUM STOREFRONT - COLOR: MATT BLACK
F-1	FABRIC AWNING - COLOR TO MATCH PT-1

West Elevation

North Elevation

South Elevation

East Elevation



Trash Enclosure

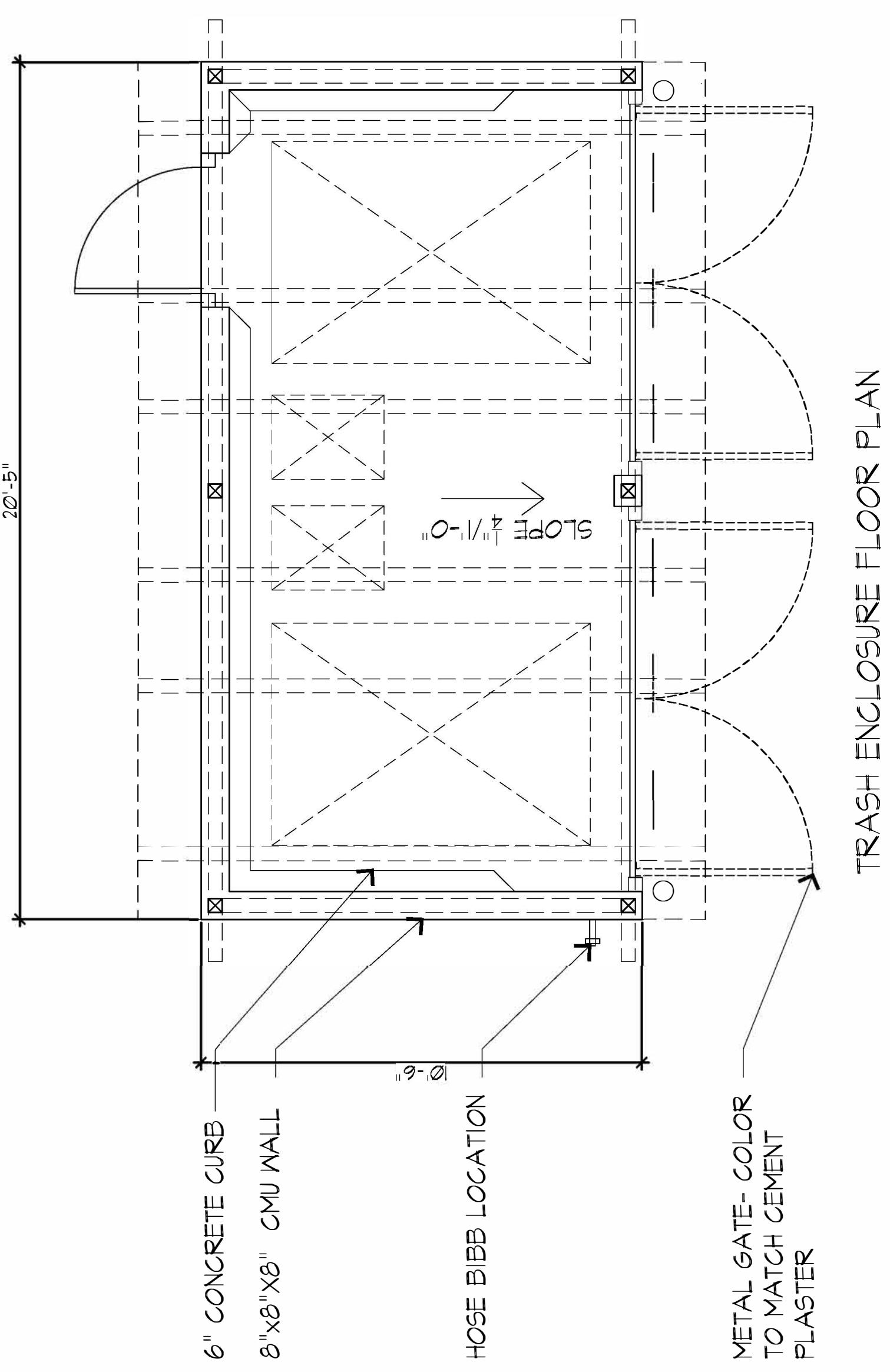
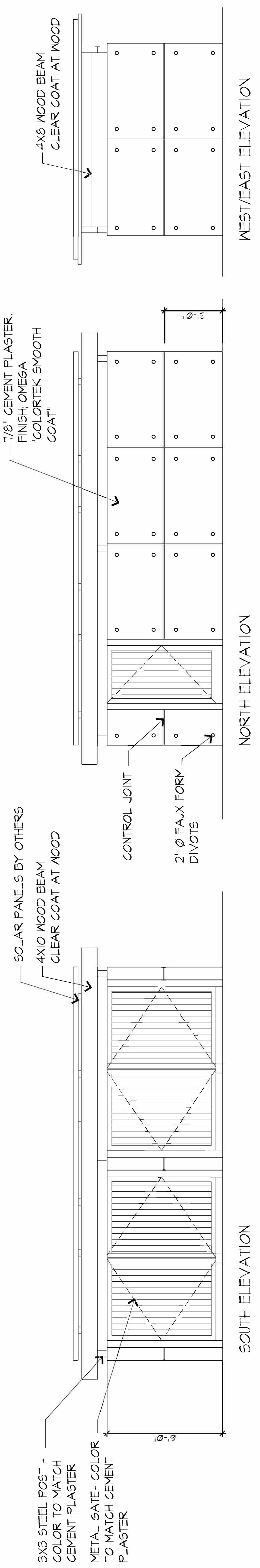
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PHOTOMETRIC LAYOUT

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A-5

Statistics	
Description	
Drivethru 0'-0"	+
Parking Lot 0'-0"	+
Pathways 0'-0"	+

Finish Schedule	
Finish	Surface
Ground	Reflectance / Transmittance
Building Surfaces	Floor Walls/Ceilings

Schedule	Symbol	Label	Quantity	Manufacturer	Catalog Number	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage
^	△	E1	8	Lithonia Lighting	ESX1 LED P2 40K R3 MVOLT BL5 DDXD M2	LED	13917	0.85	97.59
□	□	E2	8	Gotham Architectural Lighting	EVO4SH 40/10 DFR SOL MVOLT (driver) (options)	LED	621	0.85	8.8
○	○	E3	6	LIGMAN	UTA-31861-37W-T4-W40-(options)	LED	2777	0.85	37.8

B8

Striping Plan

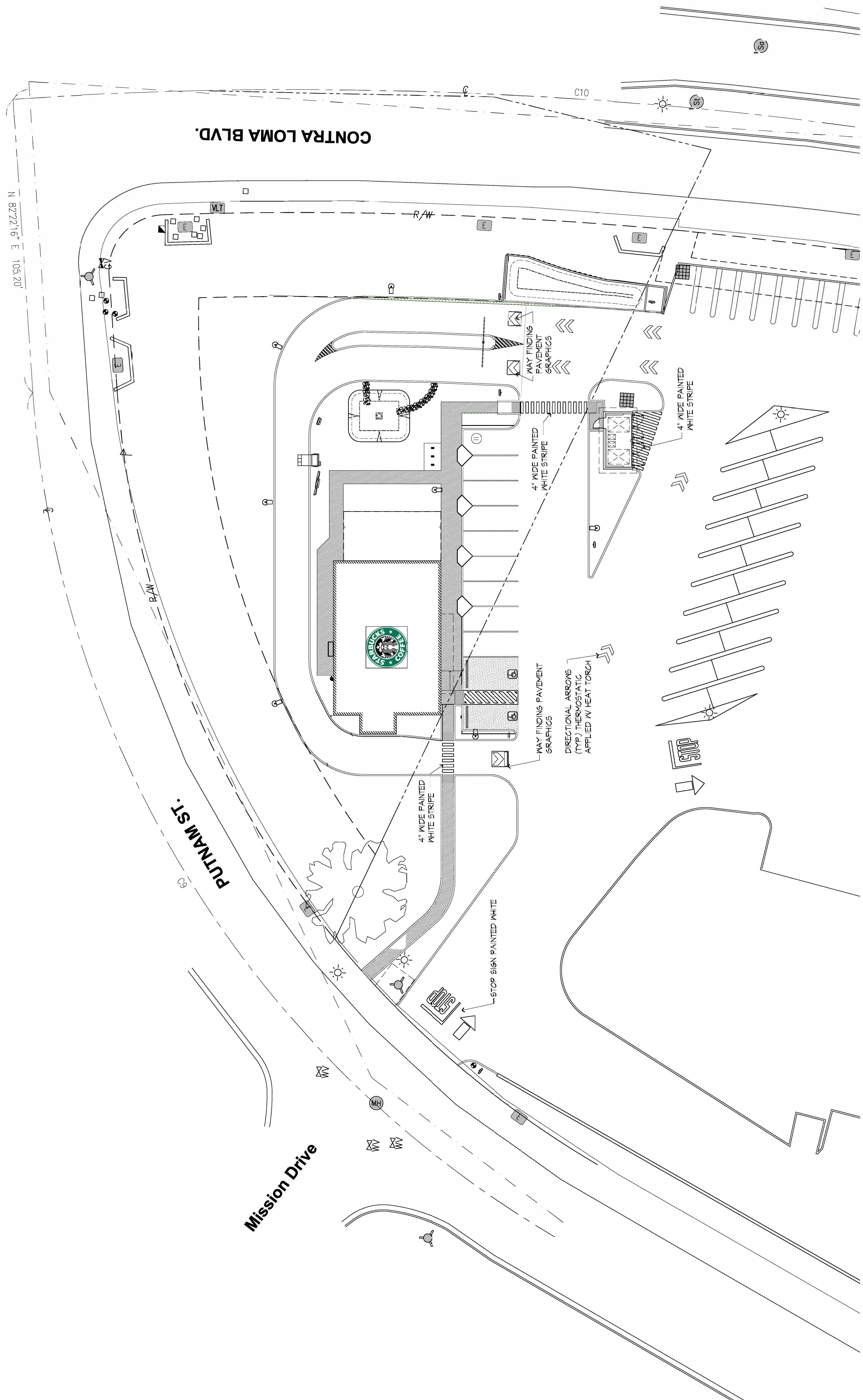
A-5.1

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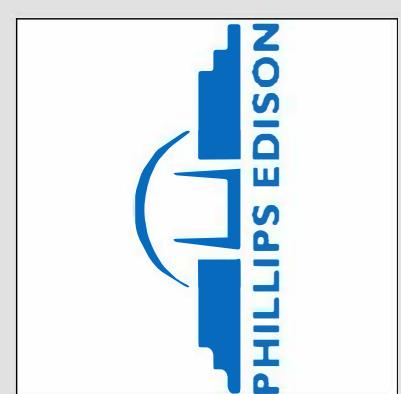
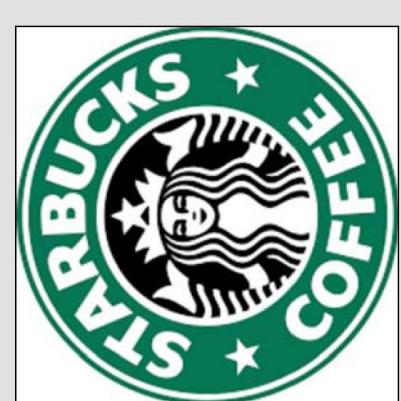
Lighting Plan

A-5.2

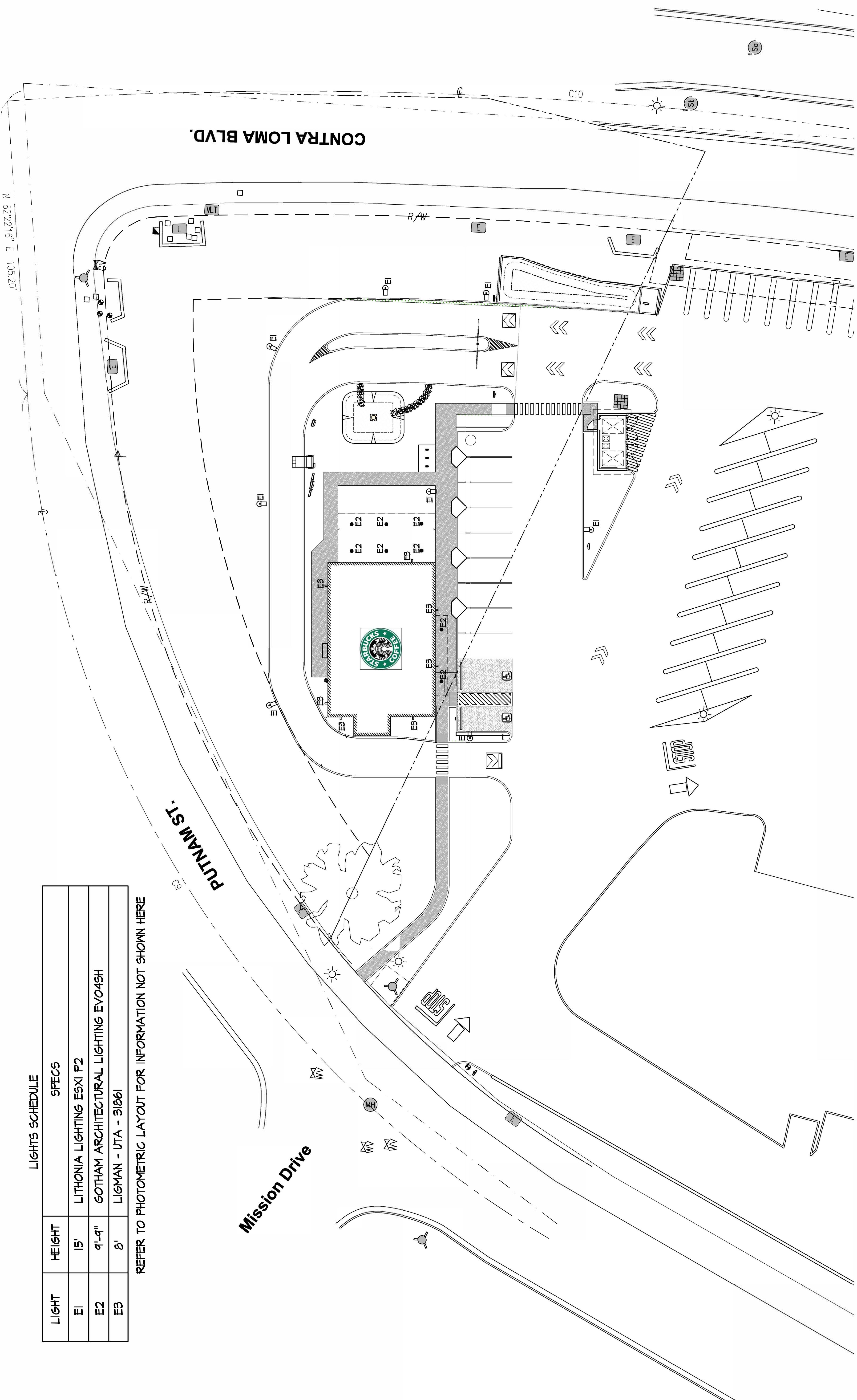
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Exterior Elevations

3100 Contra Loma Blvd
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West Elevation



East Elevation



South Elevation

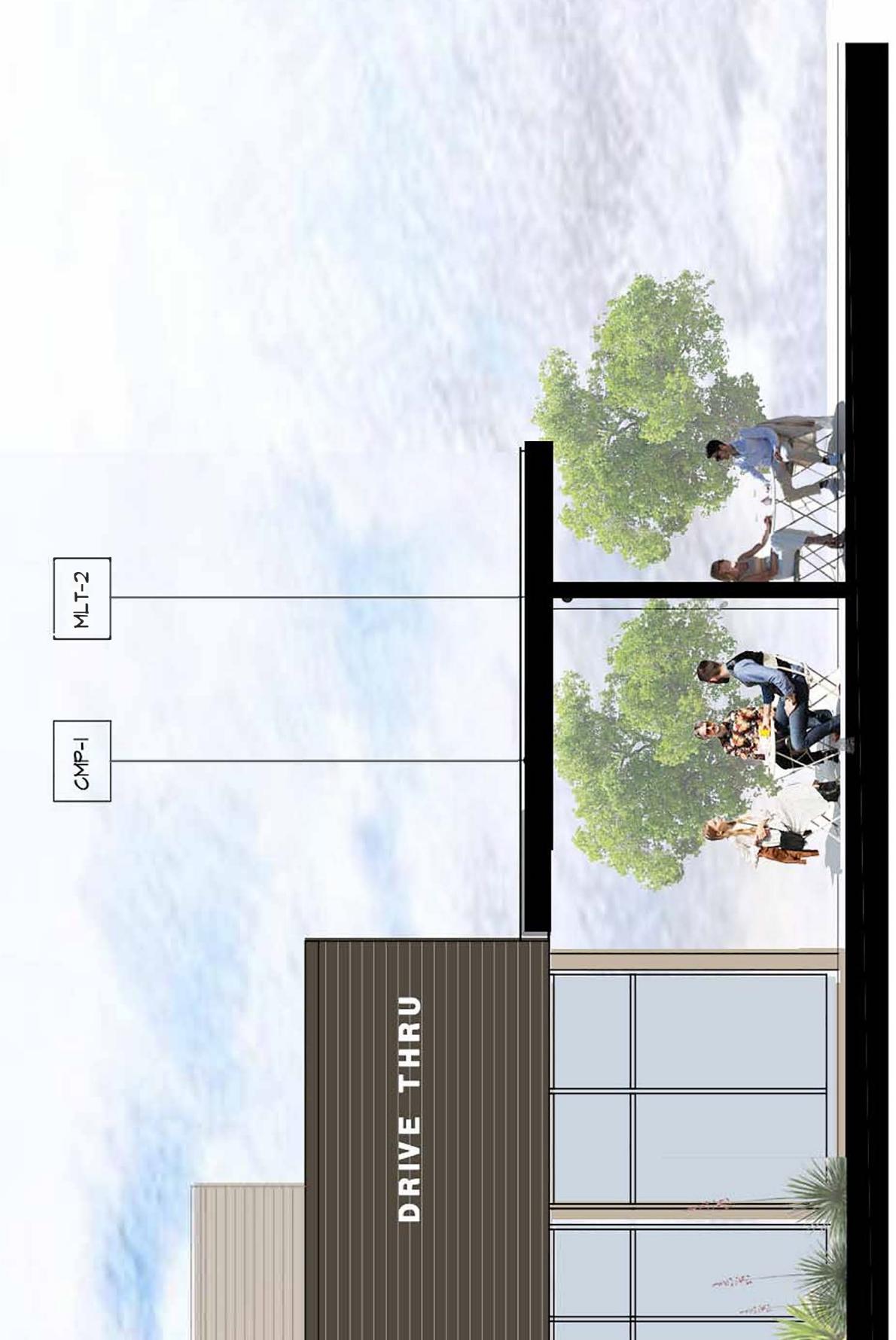
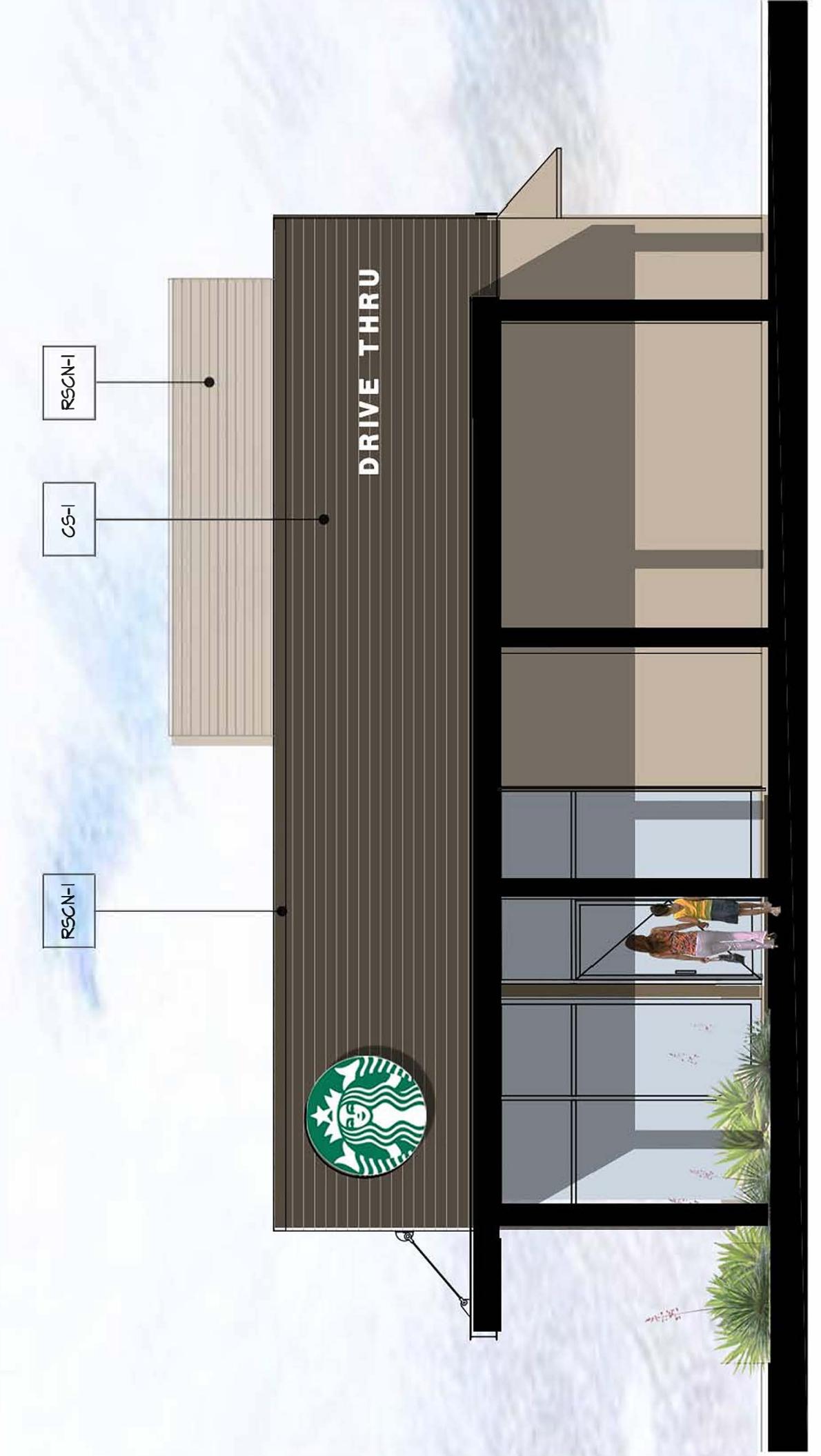


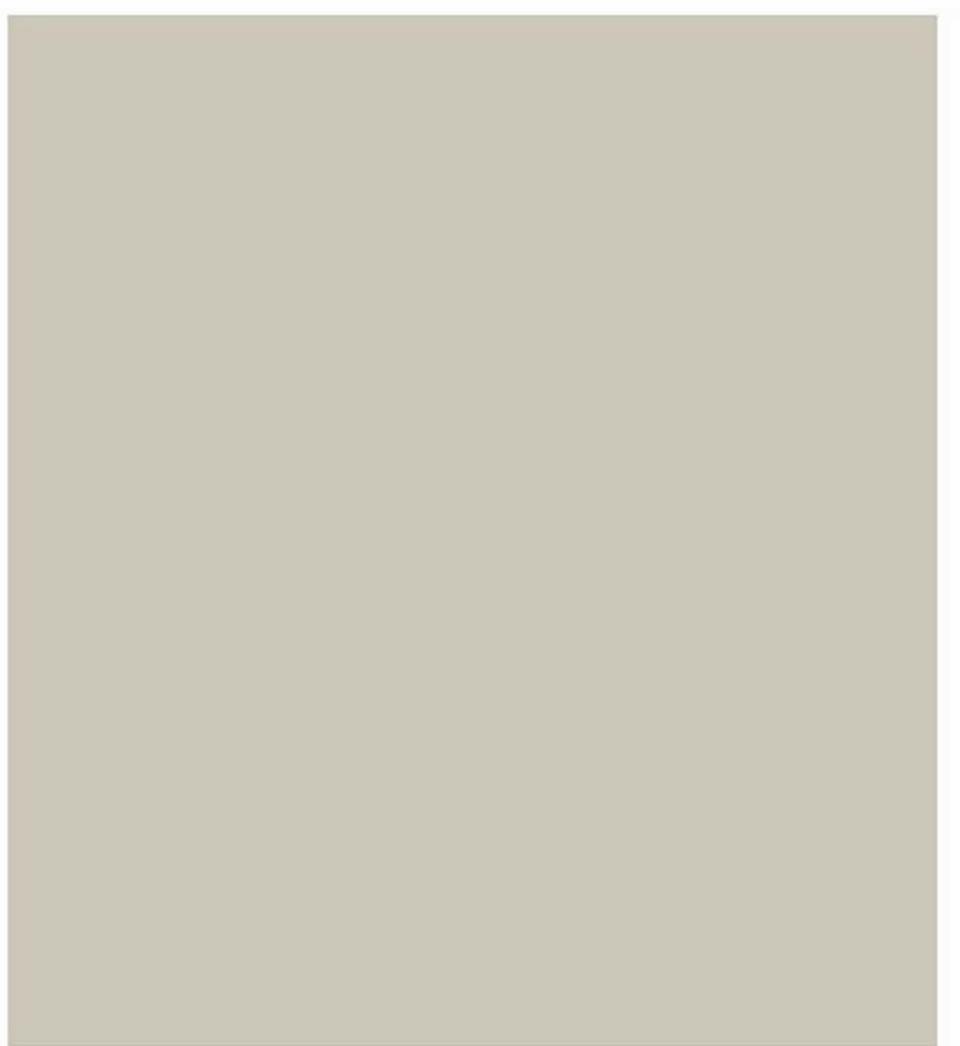
North Elevation



Exterior Finishes Schedule

EXTERIOR FINISHES SCHEDULE	
CMP-1	COMPOSITE METAL PANEL - COLOR: BLACK
MLT-1	PREFINISHED COPING - COLOR: BLACK
MLT-2	METAL - PREFINISHED BRAKE METAL - COLOR: BLACK
PT-1	EIPS OR STUCCO - BENJAMIN MOORE COLOR: REVERE PEUTER - HC-112
CS-1	NL-WAVE CORRUGATED SIDING - BY AEP SPAN - COLOR: WEATHERED COPPER
RGN	ROOF SCREEN PANEL: HORIZONTAL RIBBED PANEL BY ROOF SCREEN
SFR-1	PREFINISHED ALUMINUM STOREFRONT - COLOR: MATT BLACK
F-1	FABRIC AWNING - COLOR TO MATCH PT-1





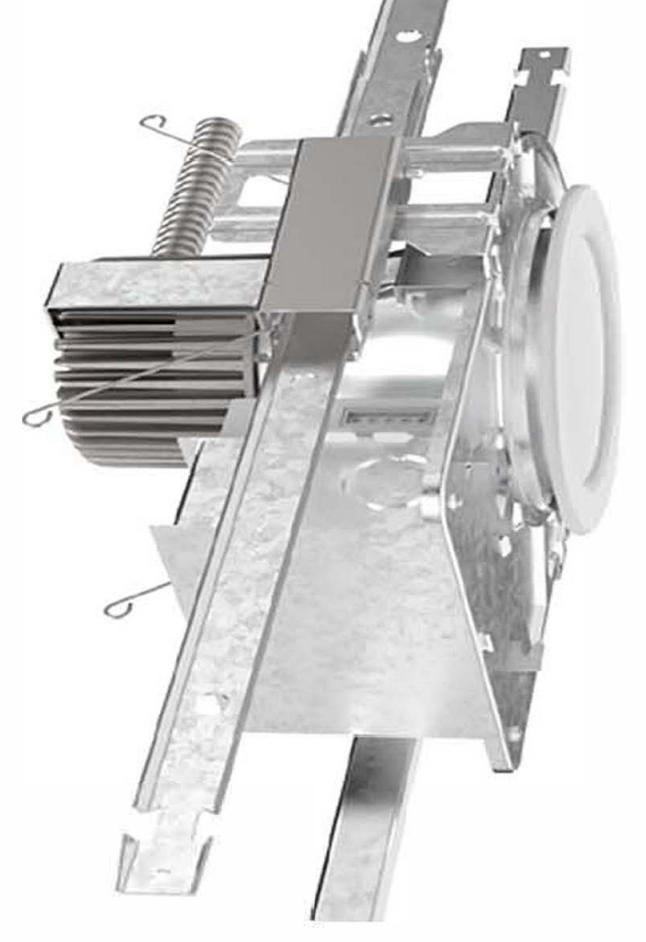
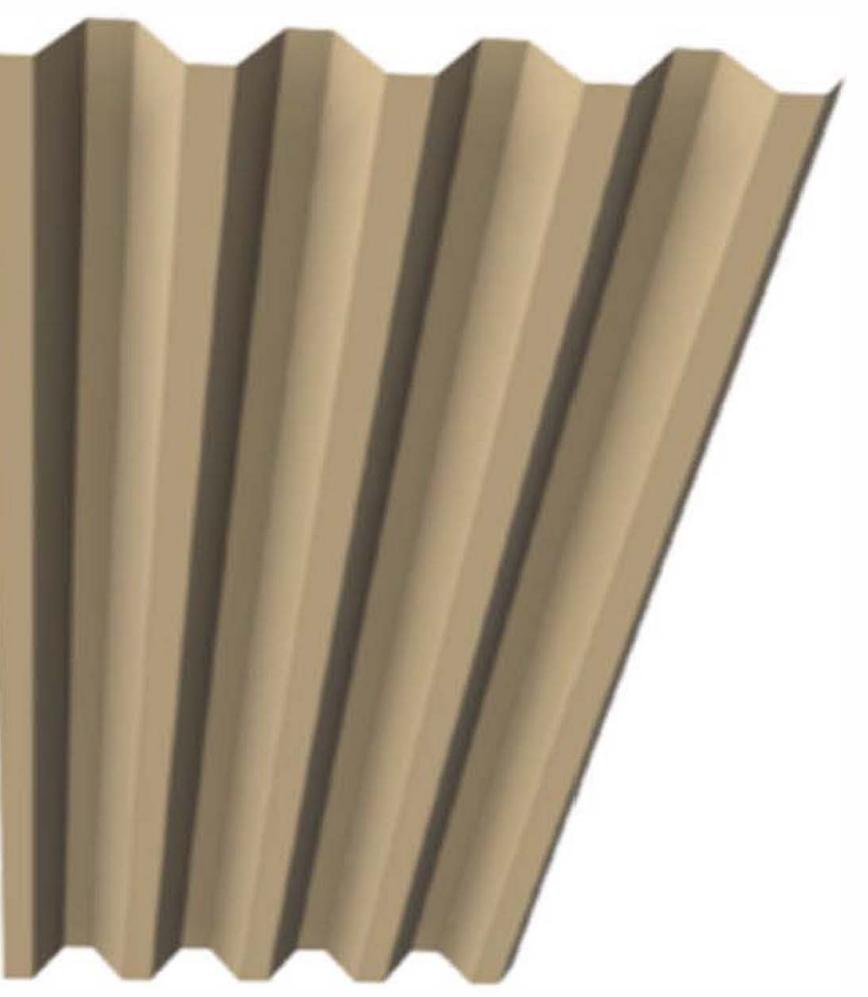
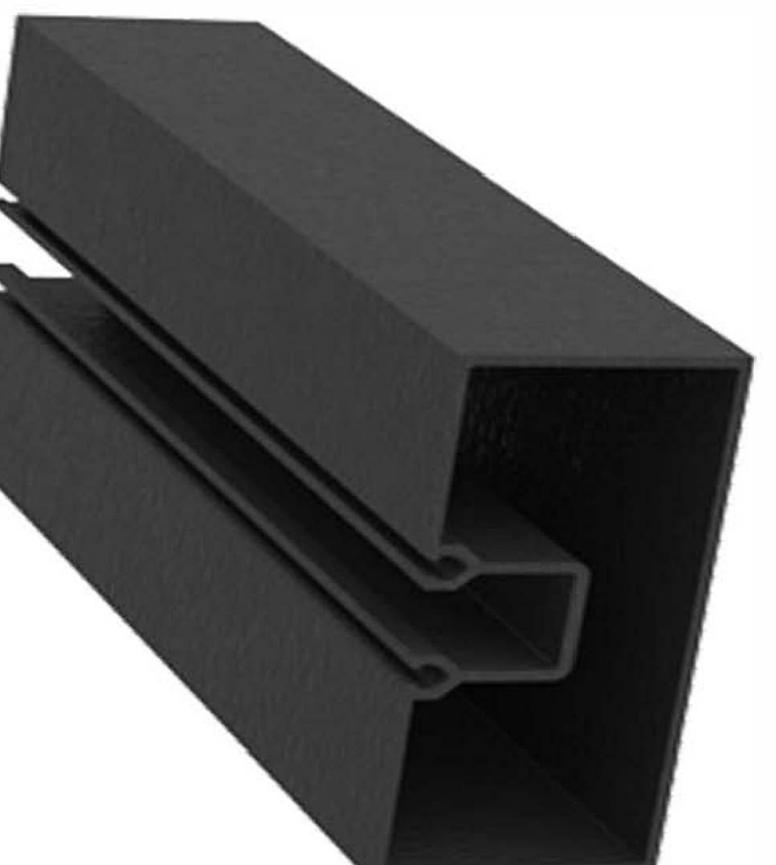
PT-1
Benjamin Moore -
Revere Pewter - HC 172

CS-1
Nu-Wave Corrugated siding by "AEP Span"
Color: Weathered Copper

CMP-1
Composite Metal Panel

MLT-1
Pre Finished Metal Coping

MLT-2
Pre Finished Brake Metal -
Match storefront



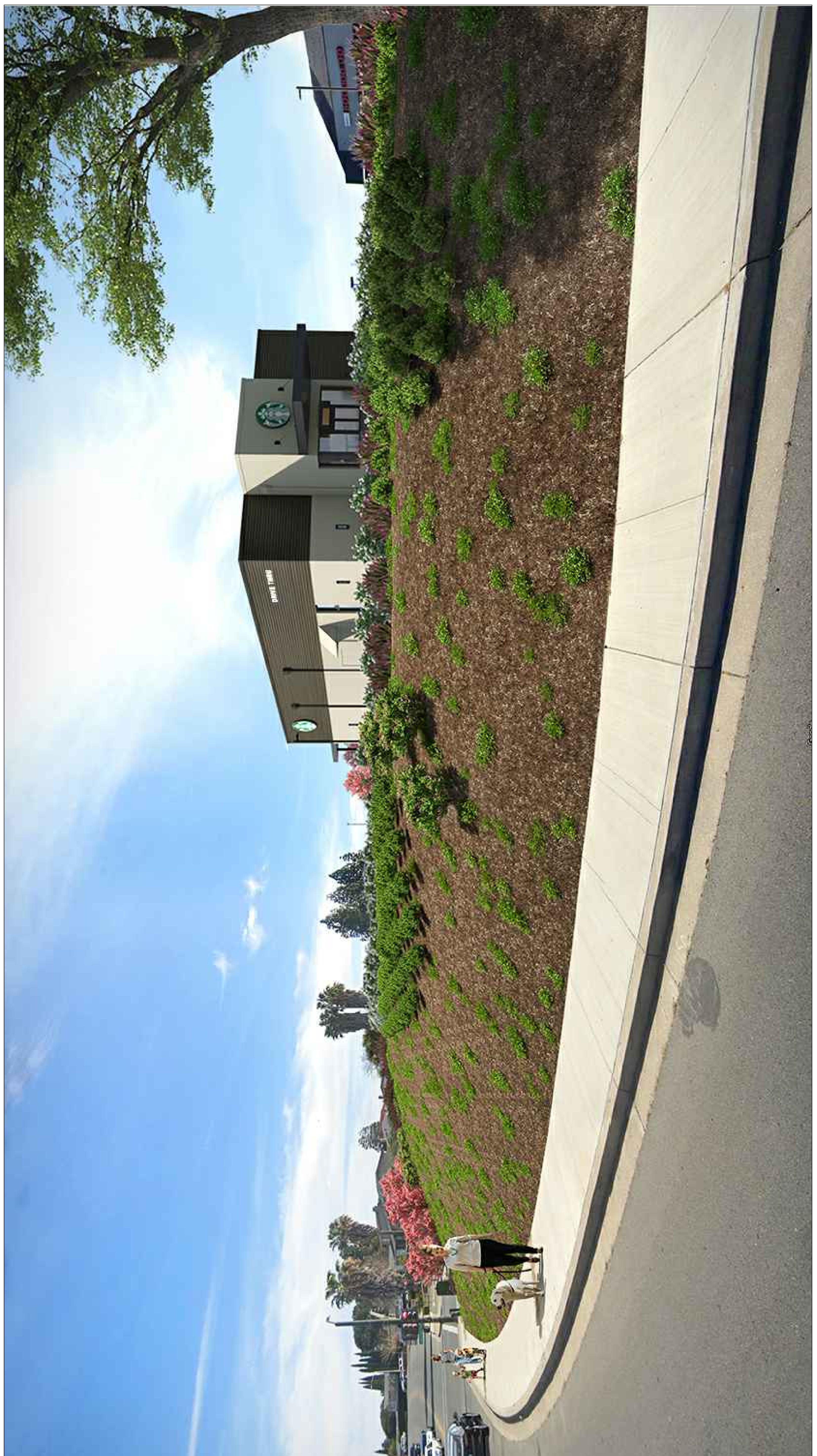
STFR-1
Pre Finished Aluminum Store-
front
Color: Matt Black

RSCN-1
Roof Screen Panel
Horizontal Ribbed Panel
Color to Match PT-1

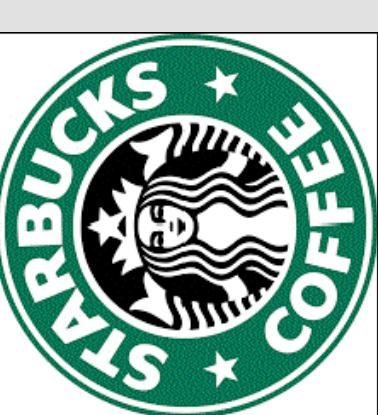
Exterior Wall Sconce
Ligman Lighting
uta-31861

Shot Blast Block Retaining
Wall by ORCO
Color: Nufad MW

Canopy Recessed Light
Gotham EVO
Shower downlight 4"



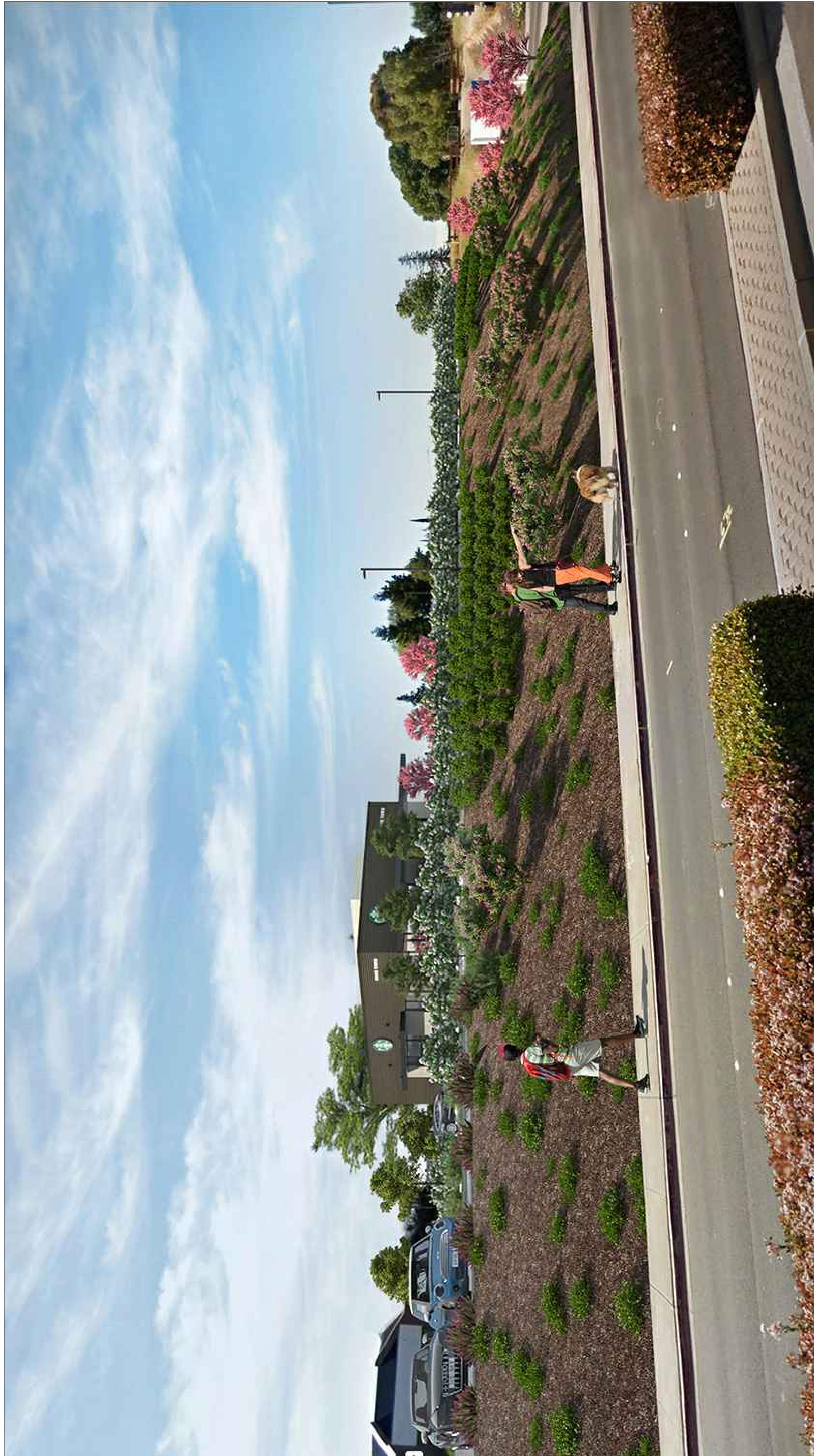
jag architecture
corporate restaurant / retail design specialists
30 years



**3100 Contra Loma Blvd
Antioch, CA**

3D Rendering

A-8



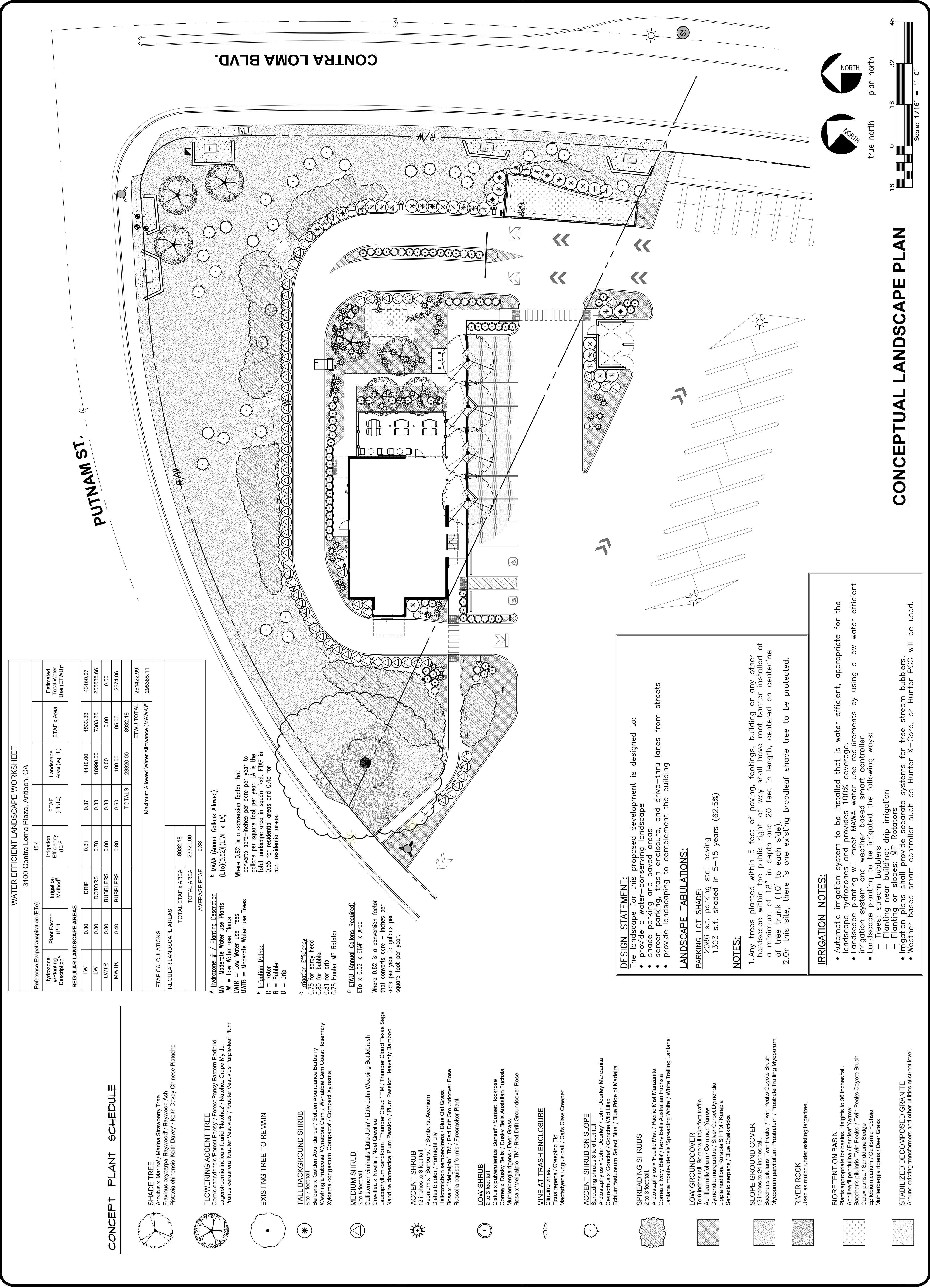
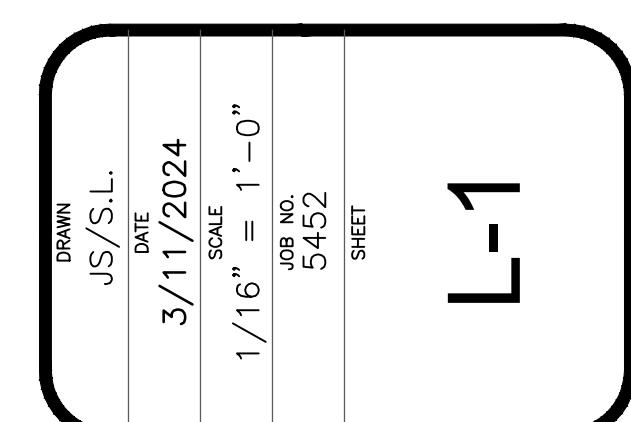
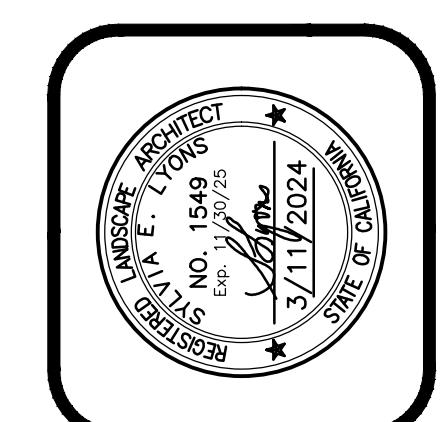
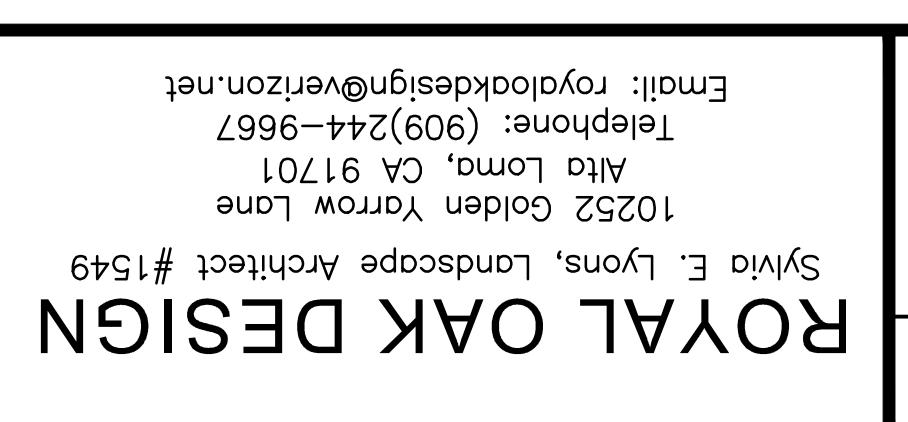
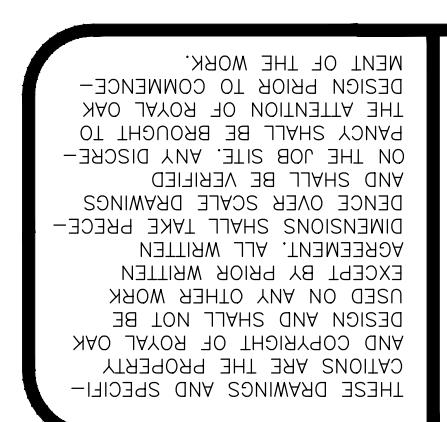
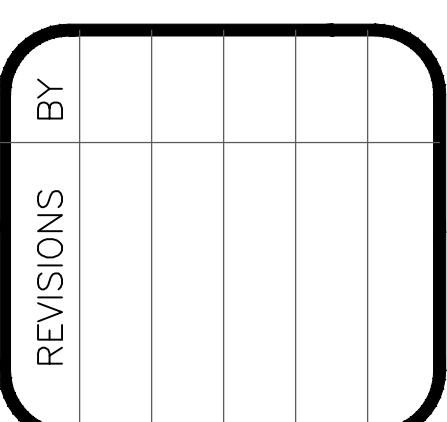
jag architecture
corporate restaurant / retail design specialists



3100 Contra Loma Blvd
Antioch, CA

3D Rendering

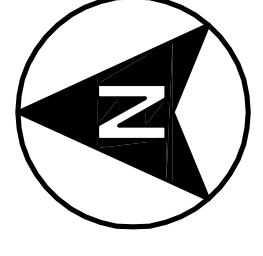
A-9



PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN

CONTRA LOMA STARBUCKS

CITY OF CONTRA COSTA
COUNTY OF CONTRA COSTA
STATE OF CALIFORNIA



GRAPHIC SCALE
30 15 0 30
(IN FEET)
1 inch = 30 feet

DEMOLITION KEY LEGEND

- ① EXISTING CONCRETE CURB TO BE REMOVED
- ② EXISTING ASPHALT TO BE REMOVED
- ③ EXISTING TREE TO BE REMOVED

OWNER/DEVELOPER

PHILLIP EDISON
3247 SANTA FE ROAD
PARK CITY, UT 84098
(801) 415-4364

CIVIL ENGINEER

APEX CIVIL ENGINEERING & LAND SURVEYING
817 ARNOLD DRIVE, SUITE 50
MARTINEZ, CA 94553
(925) 476-8449

ARCHITECT

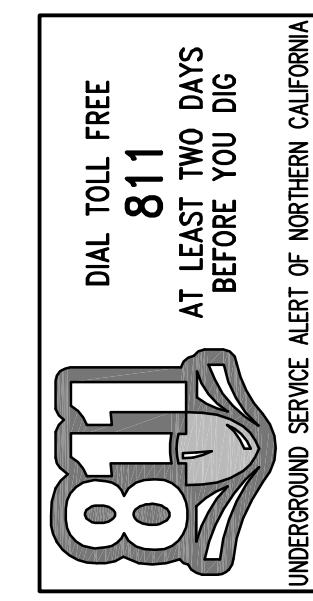
JAG ARCHITECTURE
15 HUBLE, SUITE 200
IRVINE, CA 92618
(949) 752-9333

BENCHMARK

EBMUD BRASS DISK STAMPED ON THE MONUMENT
P3349+5.04 EL=246. ELEVATION WAS
ADJUSTED TO NAVD 88 USING CORPS CON
CONVERSION OF +2.66' ELEVATION=75.12

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE MONUMENT
LINE OF PUTINN STREET AS SHOWN ON THE
PARCEL MAP OF MS 16-87 (31 PM 14)
TAKEN AS N 26°43'10" E BETWEEN FOUND
MONUMENTS



NOTE:
THE LOCATION OF ALL EXISTING
UTILITIES SHOWN ON THE PLANS HAVE
NOT BEEN DETERMINED FROM THE BEST
INFORMATION AVAILABLE. IT SHALL BE
THE CONTRACTOR'S RESPONSIBILITY TO
NOTIFY THE VARIOUS UTILITIES AND
EXERCISE EXTREME CAUTION IN AREAS
OF BURIED UTILITIES DURING
CONSTRUCTION.

ABBREVIATIONS

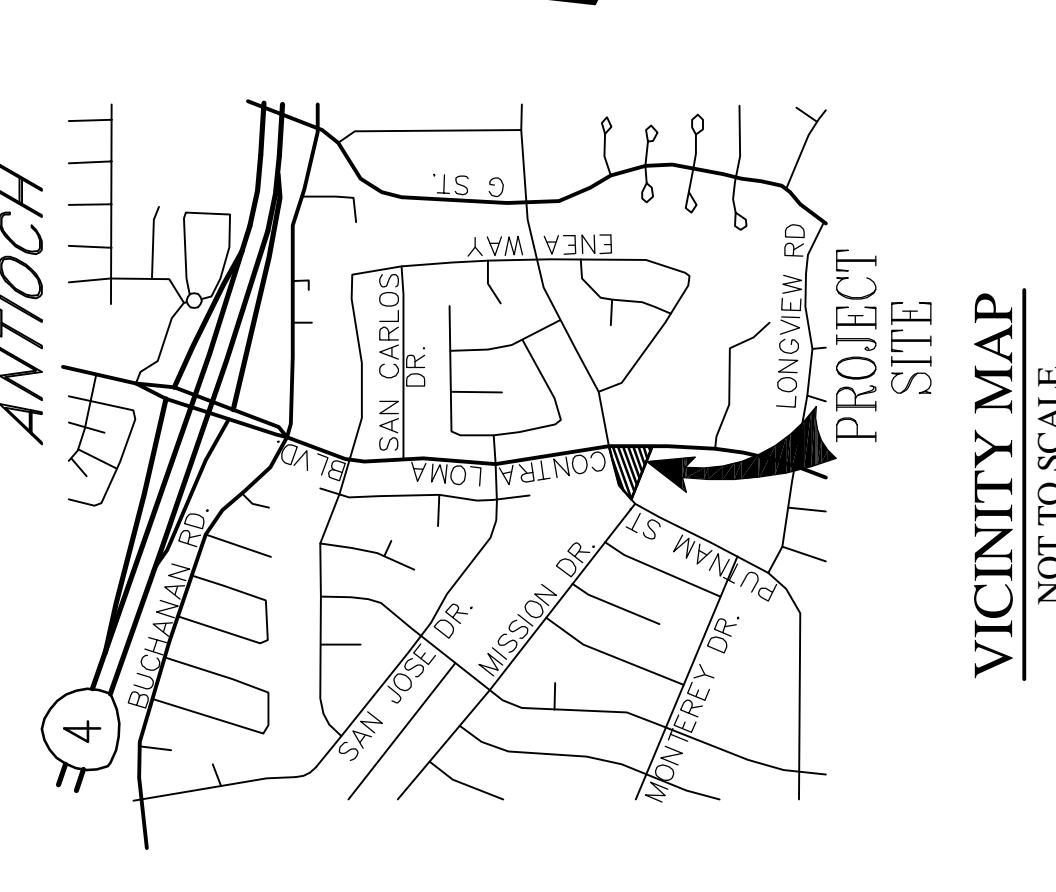
AB	- AGGREGATE BASE
AC	- ASPHALT CONCRETE
BC	- BEGINNING OF CURVE
BGL	- BOTTOM OF GRAVEL LAYER
BR	- BIO-RETENTION AREA
BWD	- BOTTOM OF RETAINING WALL
BVC	- BEGIN VERTICAL CURVE ELEVATION
CAC	- CONCRETE
CB	- CURB & GUTTER
CC	- CATCH BASIN
CCC	- CONTRA COSTA COUNTY
CL	- CENTER LINE, CLASS
CO	- CLEANOUT
COA	- CITY OF ANTIOCH
CONC	- CONCRETE
CR	- CURB RETURN
DET	- DETAIL
DI	- DRAIN INLET
DWY	- DRIVEWAY
DWG	- DRAWING
EC	- END OF CURVE
EGL	- EXISTING GROUND ELEVATION
EP	- ELEVATION
ESMT	- EDGE OF PAVEMENT
EVC	- EDGE OF CURVE
EVCS	- END VERTICAL CURVE STATION
EXIST	- EXISTING
F	- FIRE
FC	- FACE OF CURB
FDC	- FIRE DEPARTMENT CONNECTION
FF	- FINISH FLOOR ELEVATION
FG	- FINISH GRADE ELEVATION
FH	- FIRE HYDRANT
FL	- FLLOWLINE
FS	- FIRE SERVICE
G	- GRADE ELEVATION
GB	- GRADE BREAK
H	- HIGH
HORIZ	- HORIZONTAL
HP	- HIGH POINT
INV	- INVERT
JT	- JOINT TRENCH
LF	- LINEAR FEET
LT	- LEFT
MAX	- MAXIMUM
MH	- MANHOLE
MIN	- MINIMUM
MSC	- MISCELLANEOUS
MON	- MONUMENT
N	- NORTH
NTS	- NOT TO SCALE
OC	- ON CENTER
PAL	- PRIVATE ACCESS EASEMENT
PCC	- PORTLAND CEMENT CONCRETE
PI	- POINT OF INTERSECTION
P	- PROPERTY LINE
PRC	- POINT OF REVERSE CURVE
PSE	- PUBLIC SERVICE EASEMENT
PSE	- PRIVATE STORM DRAIN EASEMENT
PUE	- PUBLIC UTILITY EASEMENT
PVC	- PRIVATE VEHICLE ACCESSWAY
PWT	- POINT OF VERTICAL INTERSECTION
PWLE	- PRIVATE WATER LINE EASEMENT
RCP	- REINFORCED CONCRETE PIPE
RT	- RIGHT
R/W	- RIGHT OF WAY
S	- SLOPE, SOUTH
SD	- SIDEWALK
SDFK	- SQUARE FEET
SO	- SIDE OPENING
SS	- SANITARY SEWER
SSCO	- SANITARY SEWER CLEANOUT
SSE	- SANITARY SEWER EASEMENT
SSMH	- SANITARY SEWER MANHOLE
SSP	- SANITARY SEWER RODDING INLET
STA	- STATION
STD	- STANDARD
SVD	- SIDEWALK CROSS DRAIN
TB	- TOP OF BANK
TC	- TEMPORARY
TEMP	- TOP OF GRAVEL LAYER
TRW	- TOP OF RETAINING WALL
TSL	- TOP OF SOIL LAYER
TYP	- TYPICAL
VC	- VERTICAL
VG	- VALLEY GUTTER
WM	- WATER METER
WS	- WATER SERVICE

NO. 07203

NO. 07203
CIVIL
PROFESSIONAL
PRACTICE
SOCIETY
OF CALIFORNIA

APEX
CIVIL ENGINEERING & LAND SURVEYING
817 Arnold Drive, Ste. 50
Marinette, CA 94533
Ph: (925) 476-8449
www.apexca.net

3100 CONTRA LOMA BOULEVARD ~ PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN ~ 09-07-2023



SHEET INDEX

NO.	REVISED	BY	APP	DATE
C1				
C2				
C3-C4				
C5				

CONTRA LOMA STARBUCKS
CONTRA LOMA PLAZA, ANTIOCH, CA

PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN

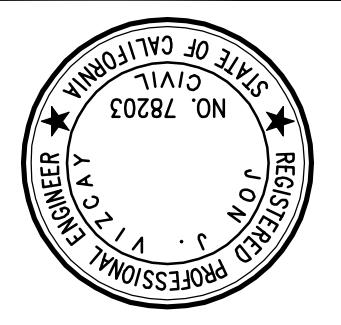
TITLE SHEET

SHEET
C1
DATE
09-07-2023

PROJECT #: 19022



SITE PLAN
SCALE: 1"-60'



GENERAL NOTES

1. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ANTIOCH STANDARD SPECIFICATIONS AND DETAILS SUBJECT TO THE INSPECTION AND APPROVAL OF THE ENGINEERING DIVISION OF THE PUBLIC WORKS DEPARTMENT. ALL REVISIONS MUST BE APPROVED BY THE CITY PRIOR TO CONSTRUCTION.
2. PRIOR TO COMMENCEMENT OF CONSTRUCTION, A PRE-JOB CONFERENCE SHALL BE REQUESTED BY THE DEVELOPER THROUGH THE CITY ENGINEER. 925-779-7080
3. APPROVAL OF THESE PLANS BY THE CITY ENGINEER SHALL NOT RELIEVE THE DEVELOPER OR THE ENGINEER FROM THE RESPONSIBILITY FOR THE DESIGN OF THE IMPROVEMENTS AND FOR ANY DEFICIENCIES RESULTING FROM THE DESIGN THEREOF.
4. THE DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS FROM OTHER REGULATORY AGENCIES FOR PROJECTS WITHIN SENSITIVE AREAS OR WHICH HAVE SIGNIFICANT STORM WATER POLLUTION POTENTIAL. OTHER REGULATORY AGENCIES INCLUDE, BUT ARE NOT LIMITED TO, THE REGIONAL WATER QUALITY CONTROL BOARD, DEPARTMENT OF FISH AND GAME AND ARMY CORPS OF ENGINEERS.
5. A PERMIT SHALL BE REQUIRED FROM THE HEALTH SERVICES DEPARTMENT OF CONTRA COSTA COUNTY TO DRILL, REPAIR, OR ABANDON A WELL.
6. IF THE CITY OF ANTIOCH STANDARD PLANS AND RECOMMENDATIONS BY THE DEVELOPER'S ENGINEER AND/OR SOILS ENGINEER DIFFER, THE CITY ENGINEER SHALL DETERMINE WHICH SHALL APPLY.
7. ALL LANDSCAPING IS SUBJECT TO CITY INSPECTION. ANY CHANGE IN THE APPROVED LANDSCAPE PLAN MUST BE APPROVED BY THE CITY DESIGN REVIEW STAFF.
8. CITY STANDARD PLANS INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
SS-04 SWEEPER LATERAL CLEANOUT
SS-05 SWEEPER LATERAL
ST-220 TRIPLE 50' PARKING STALL LAYOUT
ST-26 MINIMUM PAVEMENT THICKNESS
W-14 DOUBLE DE-TEC FIRE LINE BACKFLOW ASSEMBLY
9. A TITLE REPORT DATED AT LEAST 6 MONTHS PRIOR TO DESIGN REVIEW APPROVAL DATE WILL BE REQUIRED AT THE TIME OF PROJECT APPROVAL.
10. THE PROJECT IS REQUIRED TO PROVIDE FRONTAGE IMPROVEMENTS. THIS INCLUDES BRINGING ALL SIDEWALK, CURB, GUTTER AND PAVING TO CENTERLINE ALONG THE PROJECT FRONTAGE INTO COMPLIANCE WITH CITY STANDARDS AND REPAIRING OR REPLACING ANY EXISTING IMPROVEMENTS SHALL BE SHOWN AS PROPOSED NEW OR REPLACED ON THE PROJECT PLANS. SHOULD THE CITY ENGINEER DETERMINE THAT EXISTING IMPROVEMENTS MEET CITY STANDARDS, AND ARE IN ACCEPTABLE CONDITION, THE APPLICANT'S RESPONSIBILITY TO INSTALL/REPAIR/REPLACE THE IMPROVEMENTS WILL BE CONSIDERED MET.
11. AN ENCROACHMENT PERMIT IS REQUIRED FOR WORK ASSOCIATED WITH THE FRONTAGE IMPROVEMENTS AND FOR ANY WORK LOCATED IN THE PUBLIC RIGHT-OF-WAY. THE ENCROACHMENT PERMIT MUST BE ISSUED PRIOR TO A SITE DEVELOPMENT OR BUILDING PERMIT.
12. GRADING SHALL CONFORM TO THE GRADING ORDINANCE OF THE CITY OF ANTIOCH MUNICIPAL CODE. THE GRADING PLAN AND SITE IMPROVEMENT PLAN SHALL BE APPROVED BY THE CITY ENGINEER. ALL REVISIONS TO THE GRADING AND SITE IMPROVEMENT PLANS MUST BE APPROVED BY THE CITY'S ENGINEERING DEPARTMENT.
13. EXTERIOR PROPERTY CORNERS SHALL BE MARKED AS REQUIRED BY THE CITY ENGINEER PRIOR TO COMMENCING ANY GRADING OPERATIONS, AND SHALL BE MAINTAINED THROUGHOUT THE GRADING OPERATIONS. ALL PROPERTY CORNERS OR OFFSET MARKERS SHALL BE VISIBLE AT THE TIME OF THE ROUGH AND FINAL INSPECTIONS.
14. GRADING OR ANY OTHER OPERATION THAT CREATES DUST SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES AND A DUST PALLIATIVE MAY BE REQUIRED BY THE CITY ENGINEER.
15. MUD TRACKED ONTO STREETS OR ADJACENT PROPERTIES SHALL BE REMOVED IMMEDIATELY. STREETS SHALL BE SWEEPED AS DIRECTED BY THE CITY INSPECTOR.
16. PROJECTS PROPOSED FOR CONSTRUCTION BETWEEN OCTOBER 1ST AND APRIL 15TH, MUST HAVE AN EROSION AND SEDIMENTATION CONTROL PROGRAM APPROVED AND IMPLEMENTED TO THE MAXIMUM EXTENT POSSIBLE, PRIOR TO THE START ON-SITE EARTHWORK. SEWERAGE FACILITIES, SUCH AS DRAINAGE DITCHES AND SEWERTHROWERS, THAT IS NECESSARY TO INSTALL EROSION AND SEDIMENTATION CONTROL FACILITIES, EROSION CONTROL PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL BY SEPTEMBER 1, AND IMPLEMENTED COMPLETED BY OCTOBER 1. ALL SITE WORK EXCEPT IMPLEMENTATION OF THE EROSION CONTROL PLAN WILL BE SUBJECT TO SUSPENSION BY THE CITY IF THE REQUIREMENTS OF THIS GENERAL NOTE ARE NOT MET.
17. PRIOR TO FOUNDATION INSPECTION, THE ENGINEER SHALL PROVIDE A REPORT STATING THAT LINES AND GRADES WERE SET IN THE FIELD IN ACCORDANCE WITH THE APPROVED GRADING PLAN, AND THAT THE PAWS ARE GRADED TO WITHIN 0.2 FOOT (60MM) OF THE ELEVATIONS SHOWN ON THE APPROVED GRADING PLAN. ALSO, A GRADING REPORT PREPARED BY A SOILS ENGINEER SHALL BE SUBMITTED WHICH INCLUDES THE LOCATIONS AND ELEVATIONS OF FIELD DENSITY TESTS, AND COMPARES TEST RESULTS WITH RECOMMENDED COMPACTION REQUIREMENTS AS SPECIFIED IN A SOILS REPORT ON STANDARD PLANS AND SPECIFICATIONS. IF TESTS SHOW THAT ACTUAL COMPACTION HAS NOT EQUALLED OR SURPASSED THAT WHICH WAS RECOMMENDED, THE SOILS ENGINEER SHALL PROVIDE THE PROPOSED ACTION TO BE TAKEN, WITHOUT ADDITIONAL INFORMATION FROM A SOILS ENGINEER OR A SOILS REPORT, ALL PAWS SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT.
18. INSPECTION OF FINISH GRADING OF SWALES ADJACENT TO STRUCTURES SHALL BE PERFORMED BY THE ENGINEERING INSPECTOR PRIOR TO FINAL BUILDING INSPECTION.
19. ALL UNDERGROUND UTILITIES WITHIN THE RIGHT-OF-WAY OR ACCESS EASEMENT, INCLUDING MAILS AND LATERALS, SHALL BE INSTALLED AND BACKFILLED COMPACTED PRIOR TO THE START-OF-CURB, SIDEWALK AND PAVING CONSTRUCTION.
20. ALL CONSTRUCTION STAKING SHALL INCLUDE, BUT NOT BE LIMITED TO, GRADING, CURBS, STREET IMPROVEMENTS AND STORM DRAINS, AND SHALL BE PERFORMED BY A REGISTERED CIVIL ENGINEER OR LICENSED SURVEYOR.
21. ALL TRENCH BACKFILL SHALL BE COMPACTED AS SHOWN IN CITY'S STANDARD PLANS OR AS RECOMMENDED BY THE SOILS ENGINEER. IF TESTS SHOW THAT THE ACTUAL COMPACTION HAS NOT EQUALLED OR SURPASSED THAT WHICH IS RECOMMENDED, THE SOILS ENGINEER SHALL PROVIDE THE PROPOSED ACTION TO BE TAKEN.
22. ANY DAMAGED OR DISPLACED CURB, CUTTER, SIDEWALK, DRIVEWAY OR PAVEMENT SHALL BE REMOVED AND REPLACED EVEN IF DAMAGE OR DISPLACEMENT OCCURRED PRIOR TO CONSTRUCTION.
23. ALL NEW STORM DRAIN INLETS SHALL BE STENCILLED OR STAMPED WITH CITY'S CLEAN WATER PROGRAM STANDARD LOGO "NO DUMPING - DRAINS TO RIVER," PRIOR TO THE ACCEPTANCE OF THE SUBDIVISION IMPROVEMENT OR THE FINAL BUILDING INSPECTION, WHICHEVER OCCURS FIRST.
24. CONTRACTOR SHALL PROVIDE ALL NECESSARY PUBLIC SAFETY DEVICES IN ACCORDANCE WITH CURRENT CALTRANS TRAFFIC CONTROL STANDARDS INCLUDING, BUT NOT LIMITED TO, LIGHTS, SIGNS, BARRICADES, AND FLAGPERSONS. IN ADDITION, TEMPORARY FENCING SHALL BE PROVIDED ALONG ALL PROPERTY LINES AS DIRECTED BY THE CITY.
25. PRIOR TO ISSUE OF ANY PERMITS, THE DEVELOPER SHALL SUBMIT A WASTE MANAGEMENT PLAN DEMONSTRATING HOW THEY INTEND TO RECYCLE, REUSE, OR SALVAGE BUILDING MATERIALS AND OTHER DEBRIS (INCLUDING DIRT) GENERATING FROM DEMOLITION OF EXISTING STRUCTURES AND FROM CONSTRUCTION OF THE PROJECT. PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT, THE DEVELOPER SHALL SUBMIT A COMPLETED WASTE MANAGEMENT SUMMARY REPORT DOCUMENTING ACTUAL DEBRIS RECOVERY EFFORTS, INCLUDING QUANTITIES OF RECOVERED AND LANDFILLED MATERIALS, THAT OCCURRED THROUGHOUT THE PROJECT'S DURATION.
26. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY & ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER, OR THE CITY OF ANTIOCH PUBLIC WORKS.
27. CONTRACTOR SHALL POST EMERGENCY PHONE NUMBERS FOR PUBLIC WORKS, AMBULANCE, POLICE AND FIRE DEPARTMENTS.
28. CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGPERSONS, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY.
29. DURING ROUGH GRADING OF THIS PROJECT, CONTRACTOR SHALL COMPENSATE FOR ANY FUTURE UNDERGROUND UTILITY TRENCH SOILS BY SELECTIVELY UNDERCUTTING THE STREETS. CONTRACTOR IS RESPONSIBLE FOR HIS OWN GRADING CALCULATIONS. CONTRACTOR SHALL NOTIFY APEX CIVIL ENGINEERING & LAND SURVEYING, INC., AND THE SOIL ENGINEER IMMEDIATELY IF IN THE CONTRACTOR'S ESTIMATE A ROUGH DIRT BALANCE CAN NOT BE ACHIEVED AS PER THE DESIGN. APEX CIVIL ENGINEERING & LAND SURVEYING, INC. AND THE SOIL ENGINEER WILL PROVIDE RECOMMENDATIONS BASED ON THE CONTRACTOR'S ESTIMATE OF EXCESS OR SHORTAGE. ADDITIONAL IMPORT EXPORT, UNLESS DETAILED ON THE PLANS, WILL BE AT CONTRACTOR'S EXPENSE.

DURING GRADING OPERATIONS, CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES & INTERIM SEDIMENTATION & EROSION CONTROL MEASURES ON SITE AND ON HAUL ROUTES.

ALL STORM WATER RUNOFF SHALL BE CONTAINED WITHIN A SEDIMENTATION BASIN OR SEDIMENTATION TRAP PRIOR TO LEAVING THE PROJECT SITE OR ENTERING A PERMANENT STORM DRAIN SYSTEM. SEDIMENTATION BASINS AND TRAPS SHALL BE COMPLETED BY OCTOBER 15 AND MAINTAINED FROM OCTOBER 15 TO APRIL 15 EACH YEAR UNTIL ALL STREETS AND STORM DRAINS FACILITIES ARE COMPLETED WITHIN ITS DRAINAGE.

ALL DEBRIS SHALL BE HAULED AND DISPOSED OF OFF-SITE BY CONTRACTOR AS RECOMMENDED BY THE SOILS ENGINEER. ALL GRADING, SITE PREPARATION AND PLACING & COMPACTION OF FILL SHALL BE DONE UNDER THE OBSERVATION OF THE SOILS ENGINEER. RECOMMENDATIONS OF THE SOILS REPORT SHALL BE STRICTLY ADHERED TO.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UNDERGROUND SERVICE ALERT (811) 48 HOURS PRIOR TO ANY EXCAVATION AND TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. OBSTRUCTIONS INDICATED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH WITH THE APPROPRIATE AGENCIES. NEITHER THE OWNER, CITY OF ANTIOCH NOR THE ENGINEER ASSUMES RESPONSIBILITY THAT THE OBSTRUCTIONS INDICATED WILL BE THE ONLY OBSTRUCTIONS ENCOUNTERED.

THE OFFICE OF APEX CIVIL ENGINEERING & LAND SURVEYING, INC., SHALL BE NOTIFIED AT (925) 476-8499 48 HOURS PRIOR TO THE REQUIRING OF ANY GRADE STAKES.

ANY EXTRA CONSTRUCTION STAKING NECESSITATED SOLELY BY THE CONTRACTOR'S NEGLIGENCE WILL BE CHARGED TO THE OWNER/DEVELOPER ON A TIME AND MATERIALS BASIS. THE CONTRACTOR WILL THEN BE BACK-CHARGED FOR SAID EXTRA WORK.

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.

SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT APEX CIVIL ENGINEERING & LAND SURVEYING, INC. AT (925) 476-8499 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE SOILS ENGINEER 48 HOURS PRIOR TO STARTING EARTHWORK OPERATIONS. EXISTING GROUND TOPOGRAPHY IS FROM SURVEY DATA DATED APRIL 2019 PREPARED BY APEX CIVIL ENGINEERING & LAND SURVEYING, INC.

NO WORK SHALL COMMENCE UNTIL A GRADING PERMIT IS OBTAINED FROM THE CITY OF ANTIOCH.

ENCROACHMENT PERMITS REQUIRED FOR WORK WITHIN EXISTING PUBLIC RIGHT-OF-WAY SHALL BE OBTAINED BY THE CONTRACTOR. PRIOR TO ANY WORK ON ADJACENT PROPERTIES, THE CONTRACTOR SHALL OBTAIN A COPY OF THE RIGHT-OF-WAY TO PERFORM THE WORK AND NOTIFY THE AFFECTED PROPERTY OWNER OR OCCUPANT 48 HOURS PRIOR TO START OF SAID WORK.

FOR DETAILS NOT SHOWN ON THESE PLANS, REFER TO CITY OF ANTIOCH STANDARD DRAWINGS & SPECIFICATIONS ARE AVAILABLE FROM THE PUBLIC WORKS DEPARTMENT BY CALLING 925-779-7080.

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE CITY ENGINEER OR APEX CIVIL ENGINEERING & LAND SURVEYING, INC.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EARTHWORK GRADING QUANTITIES PRIOR TO THE START OF THE GRADING OPERATION.

NO WORK SHALL BEGIN ON THIS PROJECT PRIOR TO A PRECONSTRUCTION CONFERENCE WITH CITY STAFF. CALL 925-779-7080 TO ARRANGE FOR THIS CONFERENCE.

SECTION A-A

NOT TO SCALE

SECTION B-B

NOT TO SCALE

SECTION C-C

NOT TO SCALE

SECTION D-D

NOT TO SCALE

SECTION E-E

NOT TO SCALE

SECTION F-F

NOT TO SCALE

SECTION G-G

NOT TO SCALE

SECTION H-H

NOT TO SCALE

SECTION I-I

NOT TO SCALE

SECTION J-J

NOT TO SCALE

SECTION K-K

NOT TO SCALE

SECTION L-L

NOT TO SCALE

SECTION M-M

NOT TO SCALE

SECTION N-N

NOT TO SCALE

SECTION O-O

NOT TO SCALE

SECTION P-P

NOT TO SCALE

SECTION Q-Q

NOT TO SCALE

SECTION R-R

NOT TO SCALE

SECTION S-S

NOT TO SCALE

SECTION T-T

NOT TO SCALE

SECTION U-U

NOT TO SCALE

SECTION V-V

NOT TO SCALE

SECTION W-W

NOT TO SCALE

SECTION X-X

NOT TO SCALE

SECTION Y-Y

NOT TO SCALE

SECTION Z-Z

NOT TO SCALE

SECTION AA-AA

NOT TO SCALE

SECTION BB-BB

NOT TO SCALE

SECTION CC-CC

NOT TO SCALE

SECTION DD-DD

NOT TO SCALE

SECTION EE-EE

NOT TO SCALE

SECTION FF-FF

NOT TO SCALE

SECTION GG-GG

NOT TO SCALE

SECTION HH-HH

NOT TO SCALE

SECTION II-II

NOT TO SCALE

SECTION JJ-JJ

NOT TO SCALE

SECTION KK-KK

NOT TO SCALE

SECTION LL-LL

NOT TO SCALE

SECTION MM-MM

NOT TO SCALE

SECTION NN-NN

NOT TO SCALE

SECTION OO-OO

NOT TO SCALE

SECTION PP-PP

NOT TO SCALE

SECTION QQ-QQ

NOT TO SCALE

SECTION RR-RR

NOT TO SCALE

SECTION SS-SS

NOT TO SCALE

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SECTION VV-VV

NOT TO SCALE

SECTION WW-WW

NOT TO SCALE

SECTION XX-XX

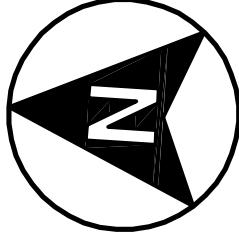
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NO. 78203
PROFESSIONAL ENGINEER
LAND SURVEYOR
GEODETIC SURVEYOR
CIVIL ENGINEER

APPEX
CIVIL ENGINEERING & LAND SURVEYING
817 Arnold Drive, Ste. 50
Martinez, CA 94553
Ph: (925) 476-8499
www.appex.net

SECTIONS NOTE:
REFER TO SHEET C2
FOR ALL SECTIONS
& DETAILS

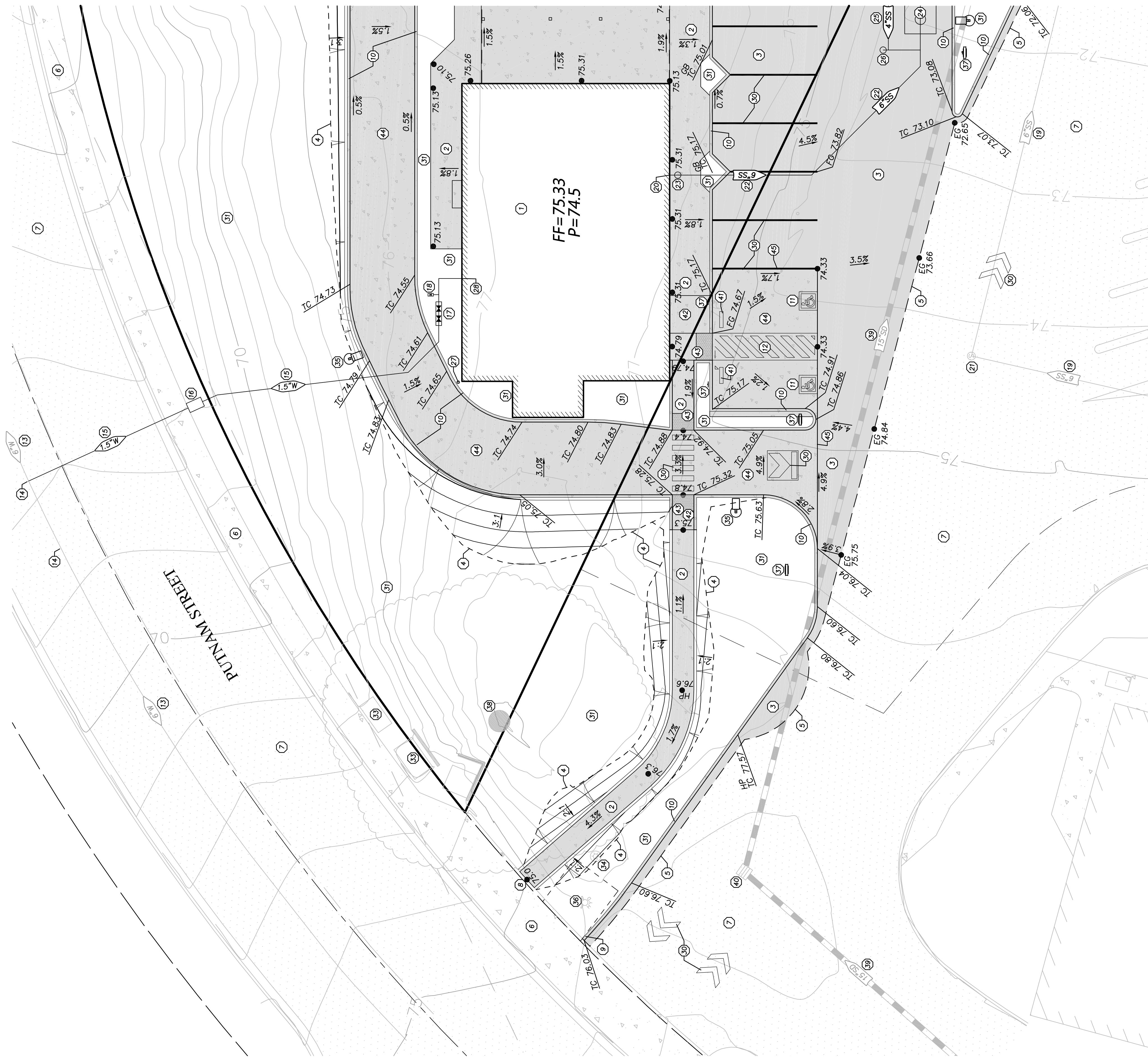


GRAPHIC SCALE
10 5 0 10
(IN FEET)
1 inch = 10 feet

KEY LEGEND

- ① BUILDING, SEE ARCHITECTURAL PLANS
- ② CONCRETE FLATWORK – 4" CONC/4" AB (TYP)
- ③ PAVEMENT SECTION PER SOILS ENGINEER'S RECOMMENDATION
- ④ DAYLIGHT LINE, (TYP)
- ⑤ SAWCUT LINE/PAVEMENT MATCH LINE, SEE PAVEMENT TRANSITION DETAIL ON SHEET C2
- ⑥ EXISTING CONCRETE SIDEWALK TO REMAIN
- ⑦ EXISTING PAVEMENT TO REMAIN
- ⑧ MATCH EXISTING BACK OF SIDEWALK
- ⑨ CURB TRANSITION PER DETAIL ON SHEET C2
- ⑩ 6" VERTICAL CURB (TYP) PER DETAIL ON SHEET C2
- ⑪ ADA PARKING STALL
- ⑫ STRIPED ADA ACCESS AISLE
- ⑬ EXISTING 6" WATER MAIN TO REMAIN
- ⑭ CONNECT TO EXISTING 6" WATER MAIN
- ⑮ 1.5" WATER LATERAL
- ⑯ WATER METER
- ⑰ 2" REDUCED PRESSURE PRINCIPAL ASSEMBLY
- ⑱ IRRIGATION BACKFLOW/CONNECTION
- ⑲ EXISTING 6" SANITARY SEWER MAIN
- ⑳ SANITARY SEWER POINT OF CONNECTION
- ㉑ EXISTING SANITARY SEWER MANHOLE
- ㉒ 6" SANITARY SEWER LATERAL AT 2% MIN.
- ㉓ 6" SANITARY SEWER CLEANOUT
- ㉔ 1,500 GALLON GREASE INTERCEPTOR PER CCCSD STANDARDS
- ㉕ 4" SANITARY SEWER LATERAL AT 2% MIN.
- ㉖ 4" SANITARY SEWER CLEANOUT
- ㉗ BOLLARD
- ㉘ WATER POINT OF CONNECTION
- ㉙ STRIPPING (TYP)
- ㉚ LANDSCAPE AREA (TYP)
- ㉛ EXISTING UTILITY BOXES/VAUITS TO REMAIN
- ㉜ EXISTING LIGHT POLE TO REMAIN
- ㉝ LIGHT POLE, SEE ARCHITECTURAL PLAN
- ㉞ EXISTING FIRE HYDRANT TO REMAIN
- ㉟ SIGN, SEE ARCHITECTURAL PLAN
- ㉟ EXISTING TREE TO REMAIN, TREE PROTECTION REQUIRED
- ㉟ EXISTING 15" STORM DRAIN TO REMAIN
- ㉟ EXISTING CATCH BASIN TO REMAIN
- ㉟ WHEELSTOP (TYP)
- ㉟ ADA CURB RAMP
- ㉟ TRUNCATED DOMES (TYP)
- ㉟ CONCRETE PAVEMENT, PAVEMENT SECTION PER SOILS ENGINEER'S RECOMMENDATIONS
- ㉟ EDGE/LIMIT OF CONCRETE PAVEMENT

SEE SHEET C4



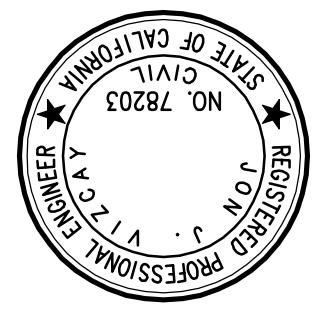
NOTES

1. CONTRACTOR TO POTHOLE ALL EXISTING UTILITIES AND VERIFY LOCATION AND DEPTH PRIOR TO CONSTRUCTION TO ENSURE NO CONFLICTS EXIST.
2. WATER LATERALS AND METERS SHALL BE INSTALLED PER CITY OF ANTIOCH SPECIFICATIONS AND STANDARDS.
3. SANITARY SEWER LATERALS AND CLEANOUTS SHALL BE INSTALLED PER CITY OF ANTIOCH SPECIFICATIONS AND STANDARDS.
4. FINISHED FLOOR ELEVATION TO FINISHED GRADE ELEVATION AT THE EXTERIOR OF THE BUILDING FOOTPRINT SHALL BE A MINIMUM OF 8", OTHERWISE WATER PROOFING IS REQUIRED.
5. SEE ARCHITECTURAL PLANS FOR FINAL LOCATION, DESIGN ELEVATIONS AND SLOPES OF ALL FEATURES AND PIPES WITHIN THE LIMITS OF THE BUILDING FOUNDATION.
6. SEE LANDSCAPE PLANS FOR LOCATION, COLOR & FINISH OF ALL CONCRETE AND BANDING.
7. ALL DOWNSPOUTS SHALL BE DISCHARGED TO LANDSCAPE SURFACES, IF LOCATED IN LANDSCAPE AREAS, A SPLASH BLOCK SHALL BE ADDED TO DIRECT DRAWDOWN AWAY FROM THE BUILDING.
8. ALL PROPOSED CURB SHALL BE 6" VERTICAL CONCRETE CURB PER DETAIL ON SHEET C2.
9. ALL INLETS SHALL BE FITTED WITH TRASH CAPTURE DEVICES.

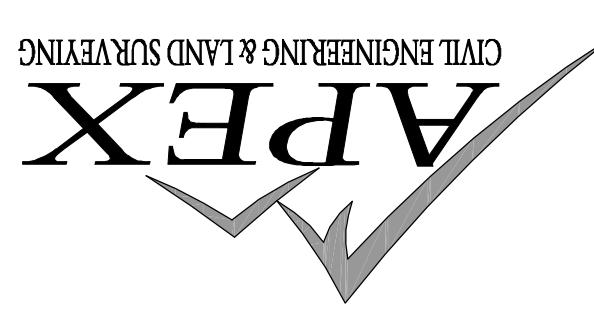
PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
CONTRA LOMA PLAZA, ANTIOCH, CA
PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
817 Arnold Drive, Ste. 50
Martinez, CA 94553
Ph: (925) 476-8499
www.appex.net

DATE: 09/07/2023
PROJECT #: 19022

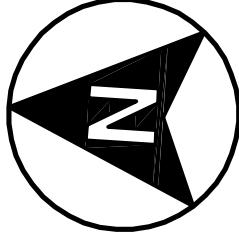
SHEET
C3
DATE
09/07/2023
PROJECT #: 19022



NO. 78203
PROFESSIONAL LAND SURVEYOR
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www.appexl.com



SECTIONS NOTE:
REFER TO SHEET C2
FOR ALL SECTIONS
& DETAILS



GRAPHIC SCALE
10 5 0 10
(IN FEET)
1 inch = 10 feet

KEY LEGEND

- ① BUILDING. SEE ARCHITECTURAL PLANS
- ② CONCRETE FLATWORK - 4" CONC./4" AB (TYP)
- ③ PAVEMENT: SECTION PER SOILS ENGINEER'S RECOMMENDATION
- ④ DAYLIGHT LINE (TYP)
- ⑤ SANOUT LINE/PAVEMENT MATCH LINE. SEE PAVEMENT TRANSITION DETAIL ON SHEET C2
- ⑥ EXISTING CONCRETE SIDEWALK TO REMAIN
- ⑦ EXISTING RETAINING WALL TO REMAIN
- ⑧ MATCH EXISTING CURB
- ⑨ 6" VERTICAL CURB (TYP). PER DETAIL ON SHEET C2
- ⑩ 6" THICK CURB WALL. DESIGN BY OTHERS
- ⑪ BEGIN/END CURB WALL
- ⑫ 6" THICK RETAINING WALL. DESIGN BY OTHERS
- ⑬ END RETAINING WALL
- ⑭ C.3 BIO-RETENTION AREA
- ⑮ OUTDOOR DINING PATIO
- ⑯ TRASH ENCLOSURE
- ⑰ EXISTING 6" SANITARY SEWER MAIN
- ⑱ 6" SANITARY SEWER LATERAL AT 2% MIN.
- ⑲ 6" SANITARY SEWER CLEANOUT
- ⑳ STRIPPING (TYP)
- ㉑ LANDSCAPE AREA (TYP)
- ㉒ EXISTING UTILITY BOXES/HATCHES TO REMAIN
- ㉓ LIGHT POLE. SEE ARCHITECTURAL PLAN
- ㉔ ADA CURB RAMP
- ㉕ TRUNCATED DOMES (TYP)
- ㉖ EXISTING 15" STORM DRAIN TO REMAIN
- ㉗ EXISTING CATCH BASIN TO REMAIN
- ㉘ CONNECT TO EXISTING CATCH BASIN
- ㉙ CHRISTY V64 CATCH BASIN OR EQUAL
- ㉚ 12" HOPE STORM DRAIN PIPE @ S=0.3% MIN.
- ㉛ 6" TRENCH DRAIN. TRAFFIC RATED
- ㉜ 4" OUTFALL PIPE TO BIO-RETENTION AREA
- ㉝ 18" CURB CUT. SEE DETAIL ON SHEET C2
- ㉞ COBBLESTONES. (TYP)
- ㉟ CONCRETE PAVEMENT. PAVEMENT SECTION PER SOILS ENGINEER'S RECOMMENDATIONS
- ㉟ EDGE/LIMIT OF CONCRETE PAVEMENT
- ㉟ CONNECT TO EXISTING 6" SEWER MAIN
- ㉟ 4" SANITARY SEWER LATERAL AT 2% MIN.
- ㉟ 4" SANITARY SEWER CLEANOUT
- ㉟ 1,500 GALLON GREASE INTERCEPTOR PER CCSD STANDARDS
- ㉟ 4" AREA DRAIN WITH P-TRAP PER CCSD STANDARDS
- ㉟ BOLLARD

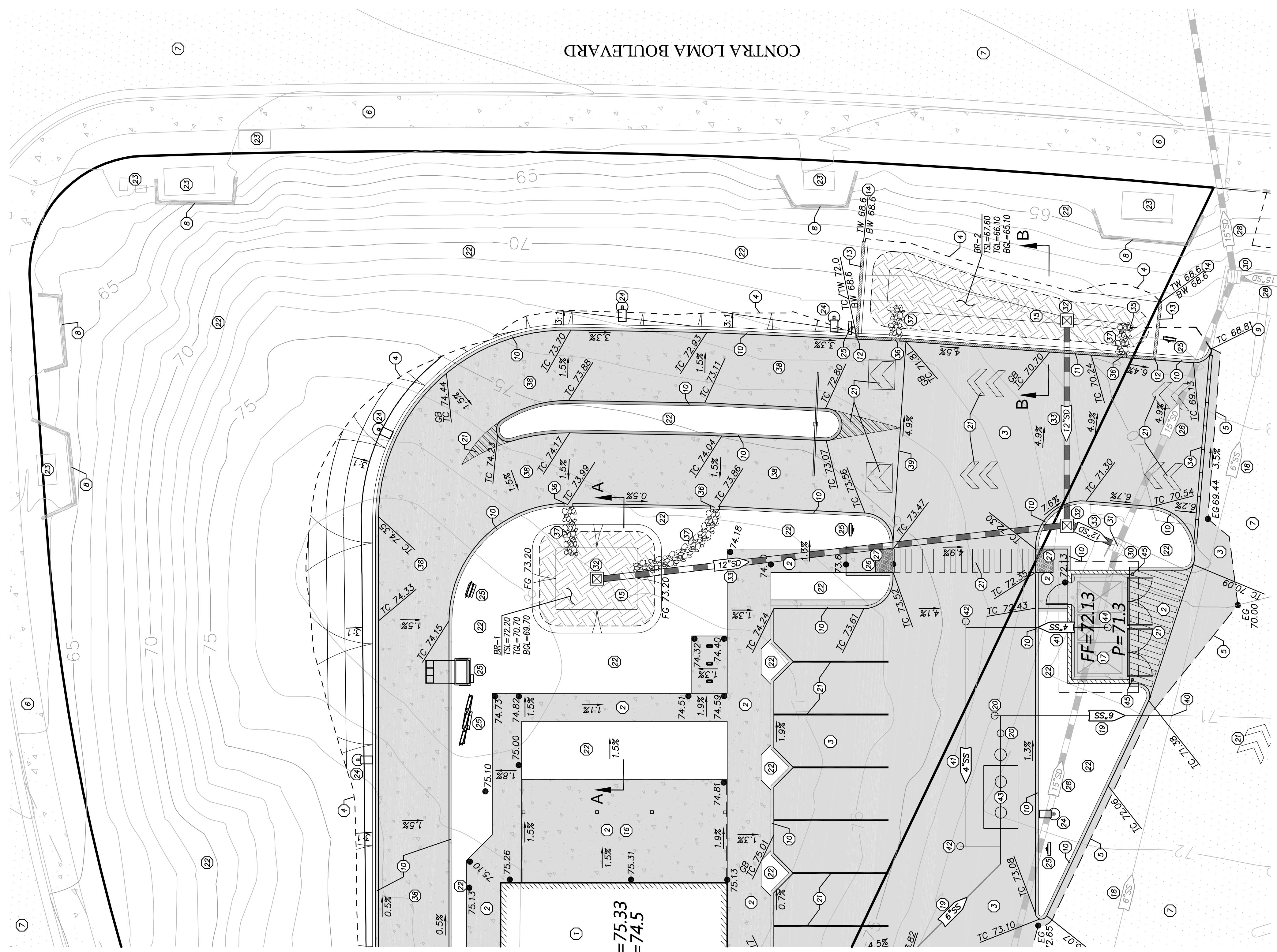
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6. SEE LANDSCAPE PLANS FOR LOCATION, COLOR & FINISH OF ALL CONCRETE AND BANDING.
7. ALL DOWNSPOUTS SHALL BE DISCHARGED TO HARDCAPE SURFACES, IF LOCATED IN LANDSCAPE AREAS, A SPLASH BLOCK SHALL BE ADDED TO DIRECT DRAWDOWN AWAY FROM THE BUILDING.
8. ALL PROPOSED CURB SHALL BE 6" VERTICAL CONCRETE CURB PER DETAIL ON SHEET C2.
9. ALL INLETS SHALL BE FITTED WITH TRASH CAPTURE DEVICES.

CONTRA LOMA BOULEVARD

SEE SHEET C3

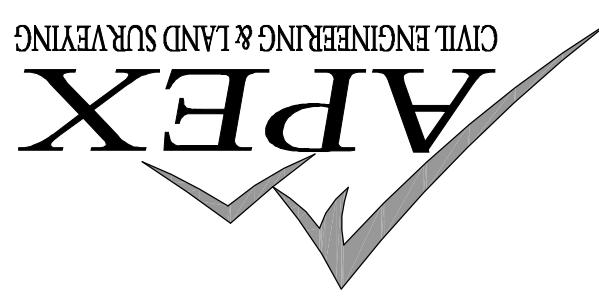
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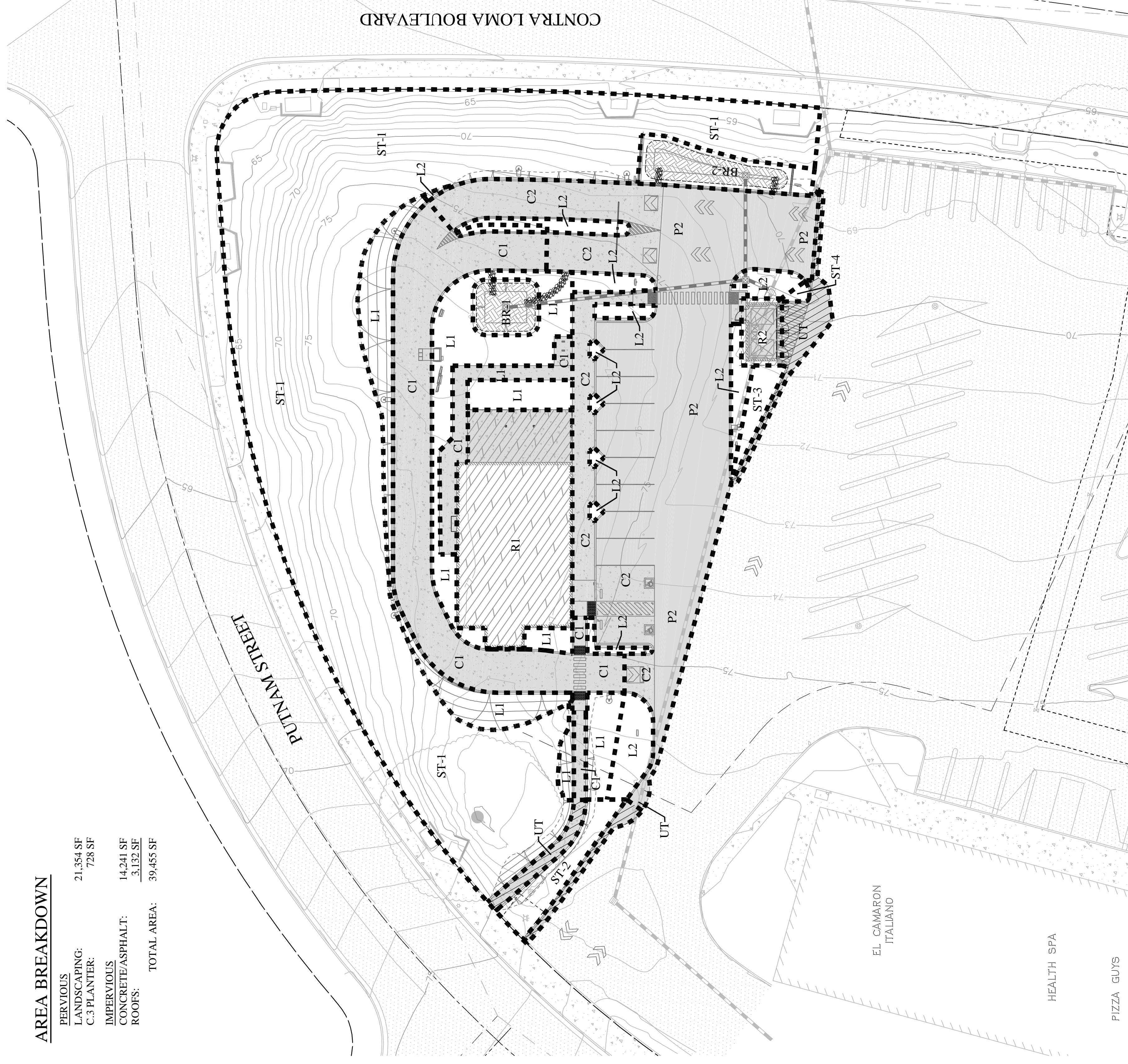
NO. 78203
OCTOBER 2010
PROFESSIONAL ENGINEER'S
SOCIETY OF CALIFORNIA

50 SIEBEL DR., STE. 94533
MILITARY DR., SAN JOSE, CA 95133
PHONE: (951) 416-8499
WWW.APEXENGINEERING.COM

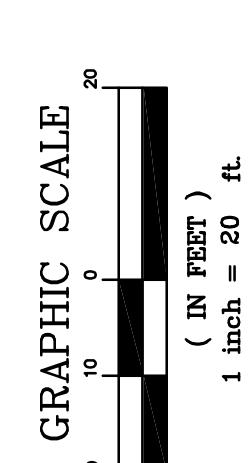
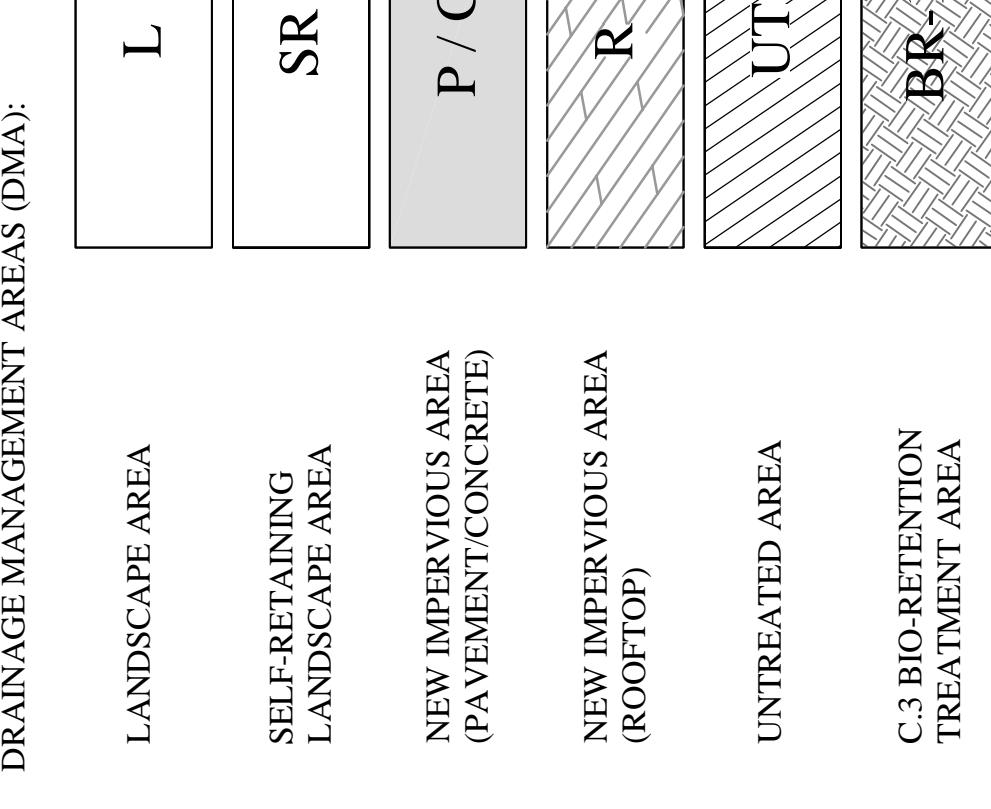


PRELIMINARY C.3 STORM WATER CONTROL PLAN

AREA BREAKDOWN	
PERVIOUS LANDSCAPING:	21,354 SF
C.3 PLANTER:	728 SF
IMPERVIOUS CONCRETE/ASPHALT:	14,241 SF
ROOFS:	3,132 SF
TOTAL AREA:	39,455 SF



C.3 STORM WATER CONTROL LEGEND



BMP TRIBUTARY BOUNDARY: - - - - -

PROJECT DATA FORM

PROJECT NAME/NUMBER	CONTRALOMA STARBUCKS
PROJECT LOCATION	3100 CONTRALOMA BLVD. ANTIOCH, CA
NAME OF DEVELOPER	PHILLIP ELDISON
PROJECT TYPE AND DESCRIPTION	I COMMERCIAL BUILDING
PROJECT WATERSHED	WEST ANTIOCH CREEK WATERSHED
TOTAL PROJECT SITE AREA (ACRES)	0.91 ACRES (39,455 SF)
TOTAL NEW IMPERVIOUS SURFACE AREA (SQ. FT.)	13,634 SF
TOTAL REPLACED IMPERVIOUS SURFACE AREA	3,739 SF
TOTAL PRE-PROJECT IMPERVIOUS SURFACE AREA	5,544 SF
TOTAL POST-PROJECT IMPERVIOUS SURFACE AREA	17,373 SF
RUNOFF REDUCTION MEASURES SELECTED	<input checked="" type="checkbox"/> 1. DISPERSE RUNOFF TO VEGETATED AREA <input type="checkbox"/> 2. PREVIOUS PAVEMENT (PAVERS) <input type="checkbox"/> 3. CISTERS OR RAIN BARRELS <input checked="" type="checkbox"/> 4. BIO-RETENTION FACILITY OR PLANTER

CONTRA LOMA PLAZA, ANTIOCH, CA

PRELIMINARY C.3 STORM WATER CONTROL PLAN
PRELIMINARY C.3 STORM WATER CONTROL PLAN

CONTRA LOMA STARBUCKS

C.3 FLOW-THROUGH PLANTER TREATMENT AREA SUMMARY

IMP AREA	DMA NAME	DMA AREA (SF)	DMA RUNOFF FACTOR	MINIMUM SIZING FACTOR	REQUIRED IMP AREA (SF)	PROPOSED IMP AREA (SF)
BR-1	C1/P1	4,133	1.0	4,133	0.04	165
	R1	2,830	1.0		113	307
	L1	3,328	0.1	383	0.04	15
BR-2	C2/P2	9,327	1.0	9,327	0.04	373
	R2	302	1.0	302	0.04	12
	L2	1,745	0.1	175	0.04	7

SELF-TREATING AREA: ST-1 = 15,015 SF
UNTREATED AREA: 781 SF (2.0%)

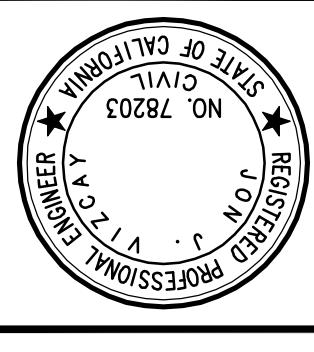
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C5

DATE

09-07-2023

PROJECT #: 19022



NO. 78203
PROFESSIONAL ENGINEER & LAND SURVEYOR
CIVIL ENGINEERING & LAND SURVEYING

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817 Arnold Drive, Ste. 50
Marinette, CA 95533
Ph: (95) 476-8499
www.apexce.net

CONTRA LOMA STARBUCKS
CONTRA LOMA PLAZA, ANTIOCH, CA

ENGINEERING CROSS SECTIONS

NO. REVISIONS

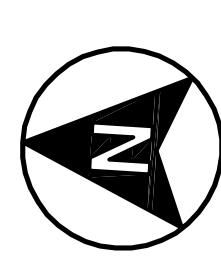
SHEET

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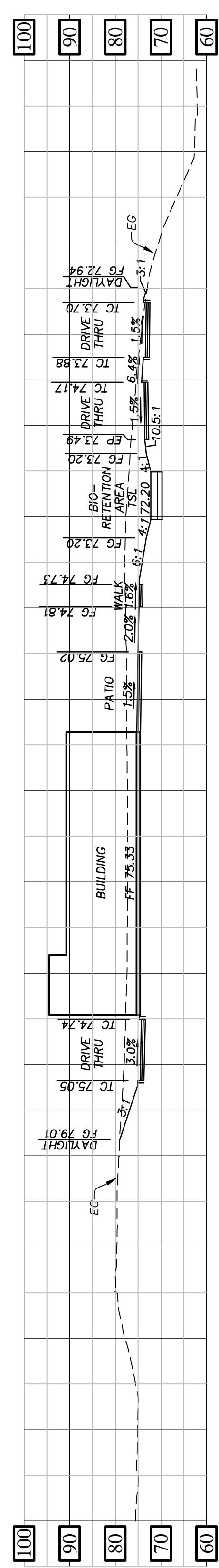
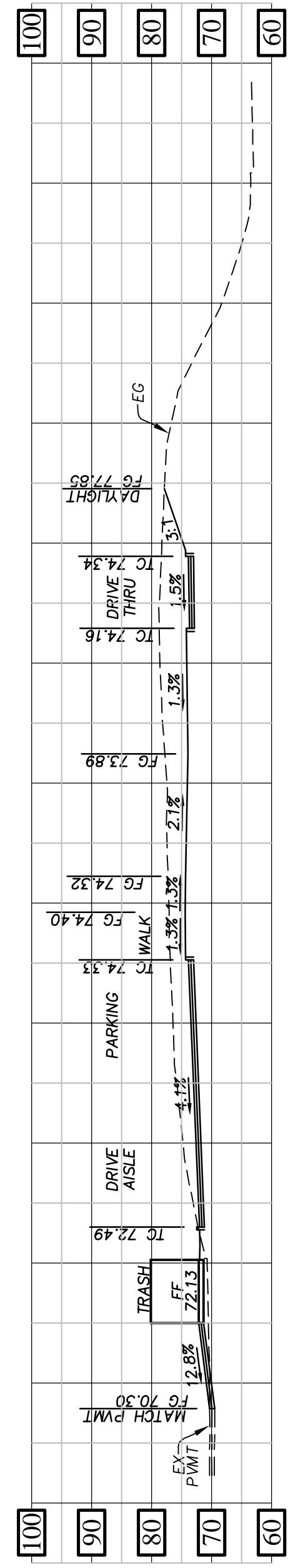
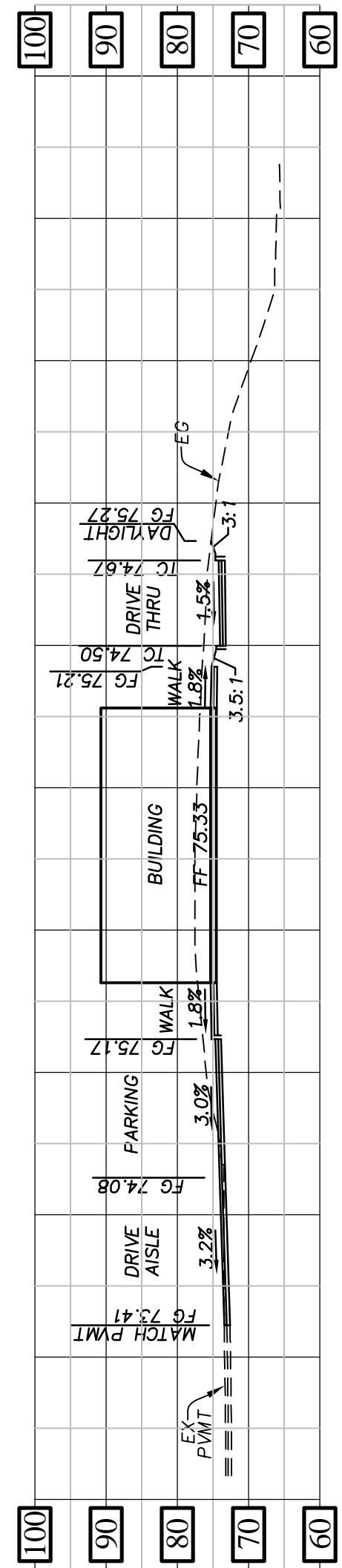
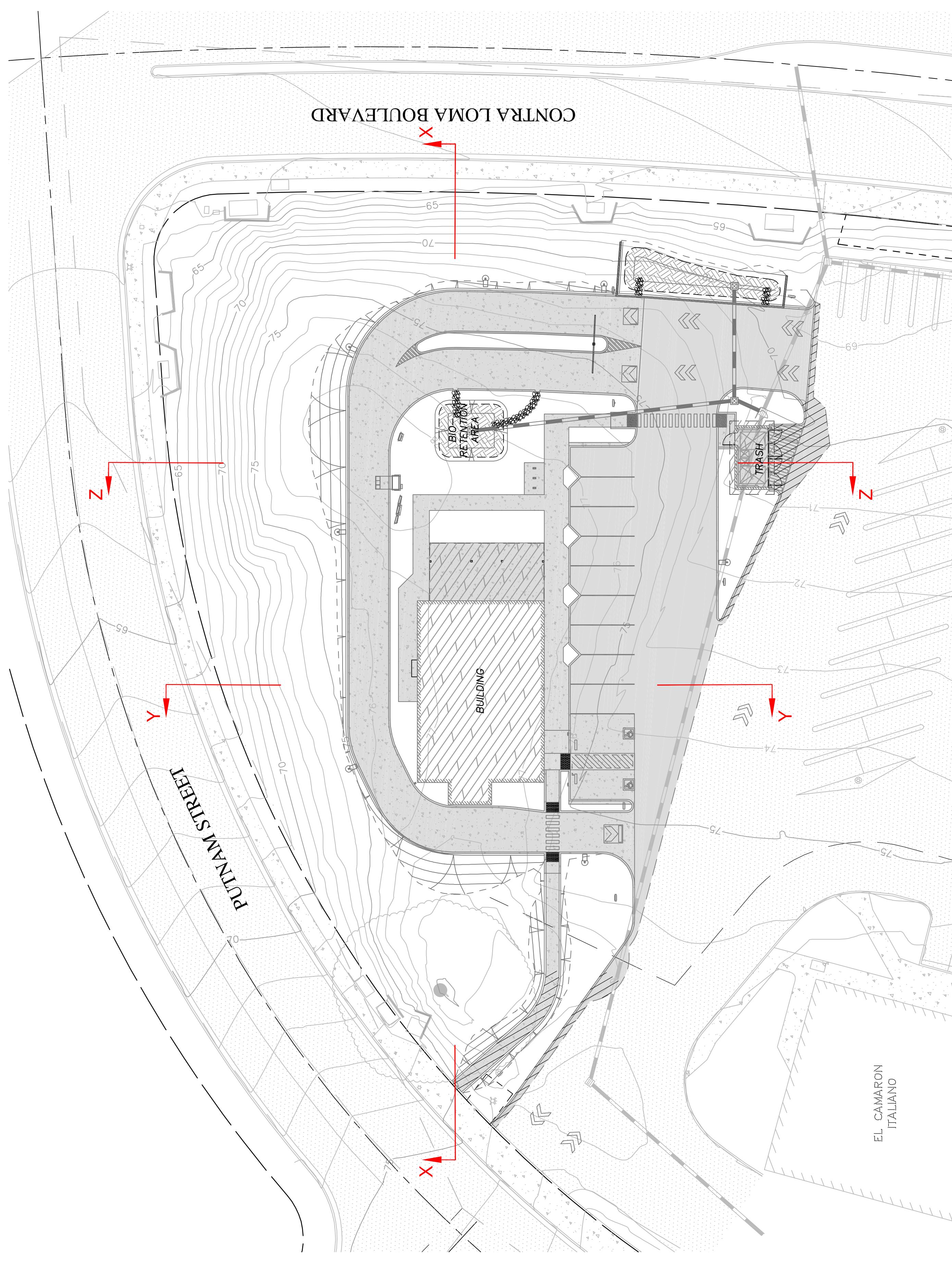
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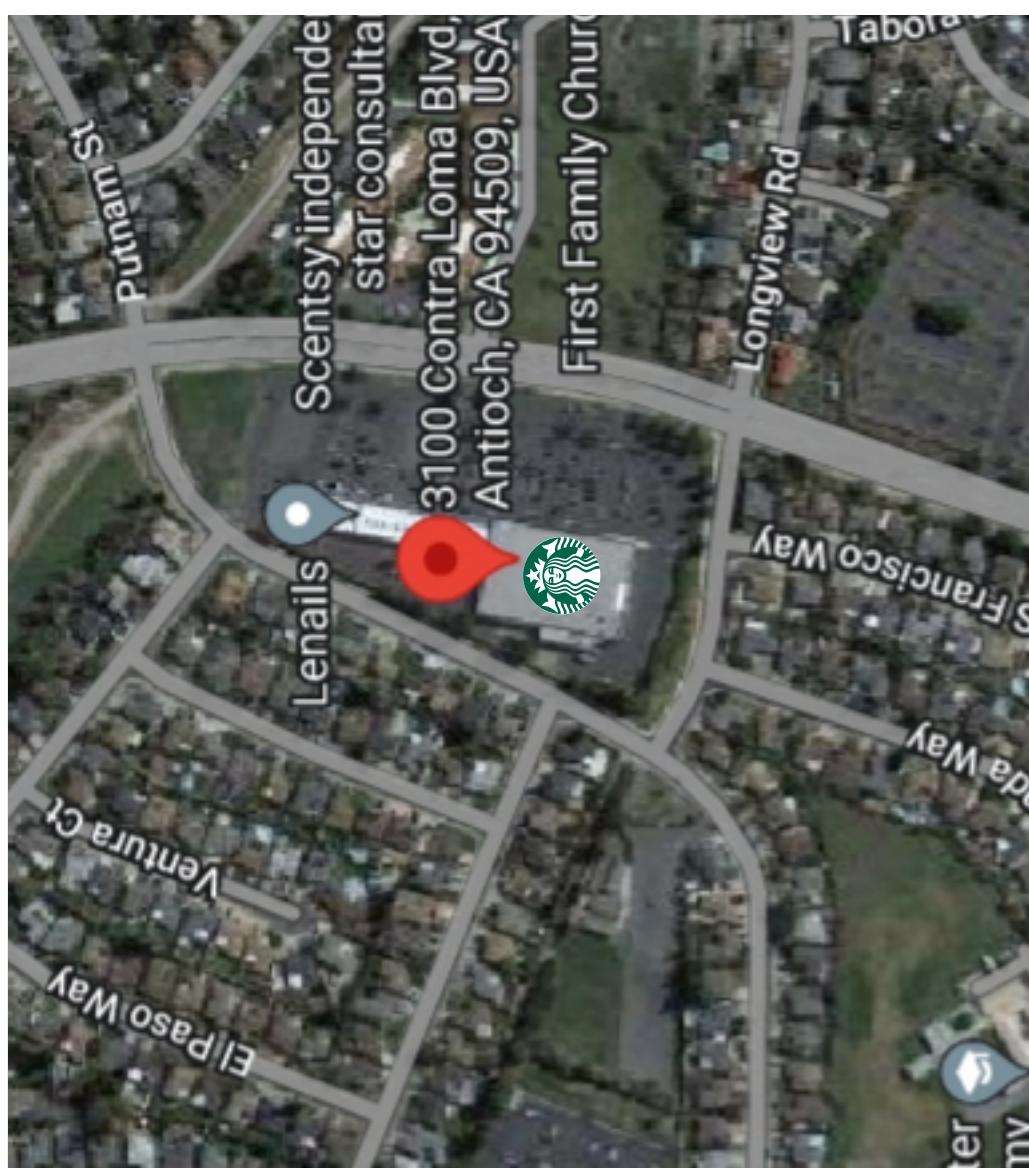
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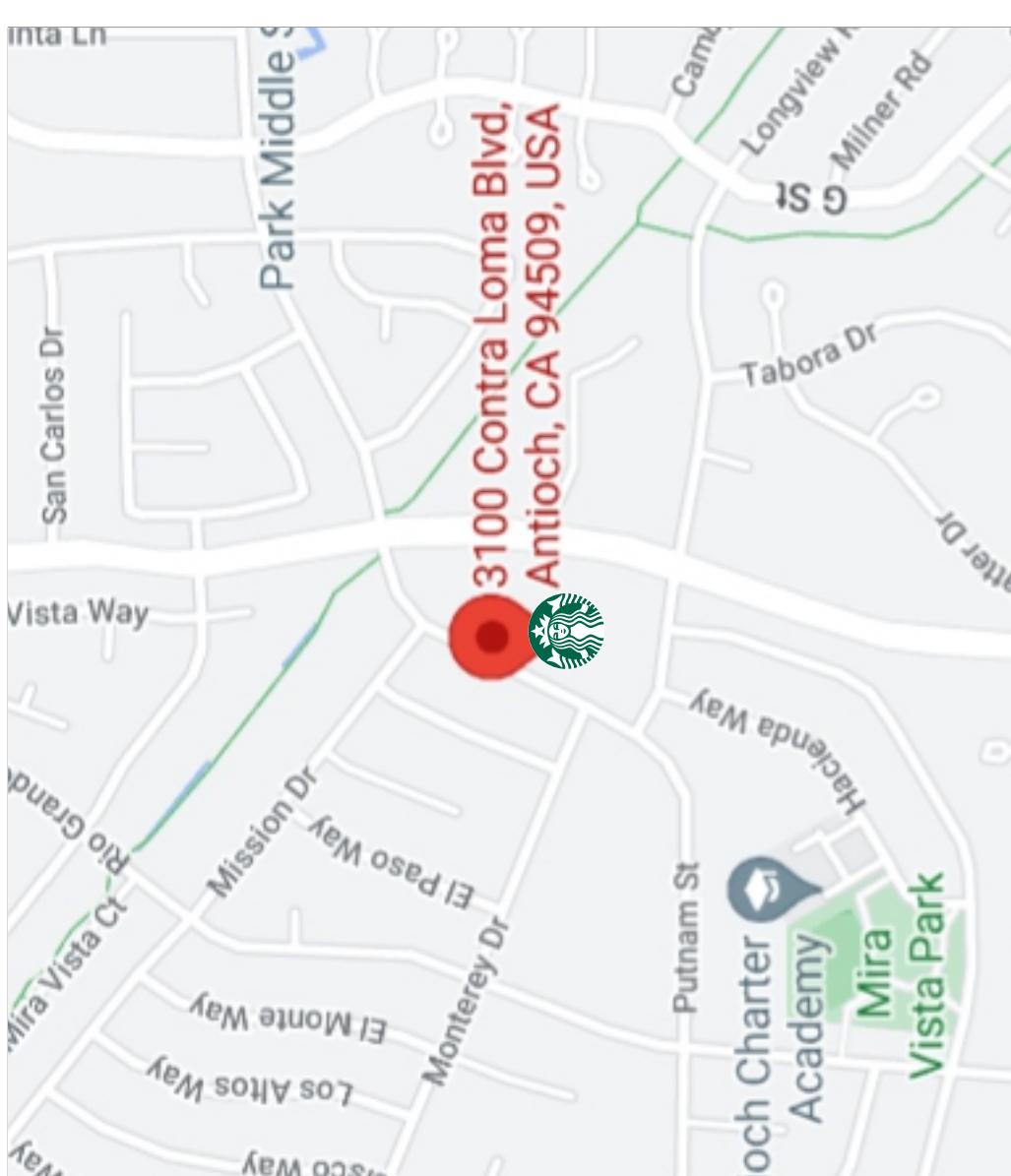


GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.





VICINITY MAP
Not To Scale



PROJECT: # TBD
STORE # TBD
CONTRA LOMA & PUTMAN ST ANTIOCH - STARBUCKS COFFEE
3100 CONTRA LOMA BLVD.
ANTIOCH, CA





Location:
3100 CONTRA LOMA BLVD.
ANTIOCH, CA

Client Approval:

Date of Approval:

Sales Rep:
Paul L.

Date:
06-11-22
Drawn by:
L.S.

7	12-19-23	L.S.
8	01-15-24	O.C.
9		
10		
11		
12		
13		

Electrical Requirement:
 120 Volts 277 Volts



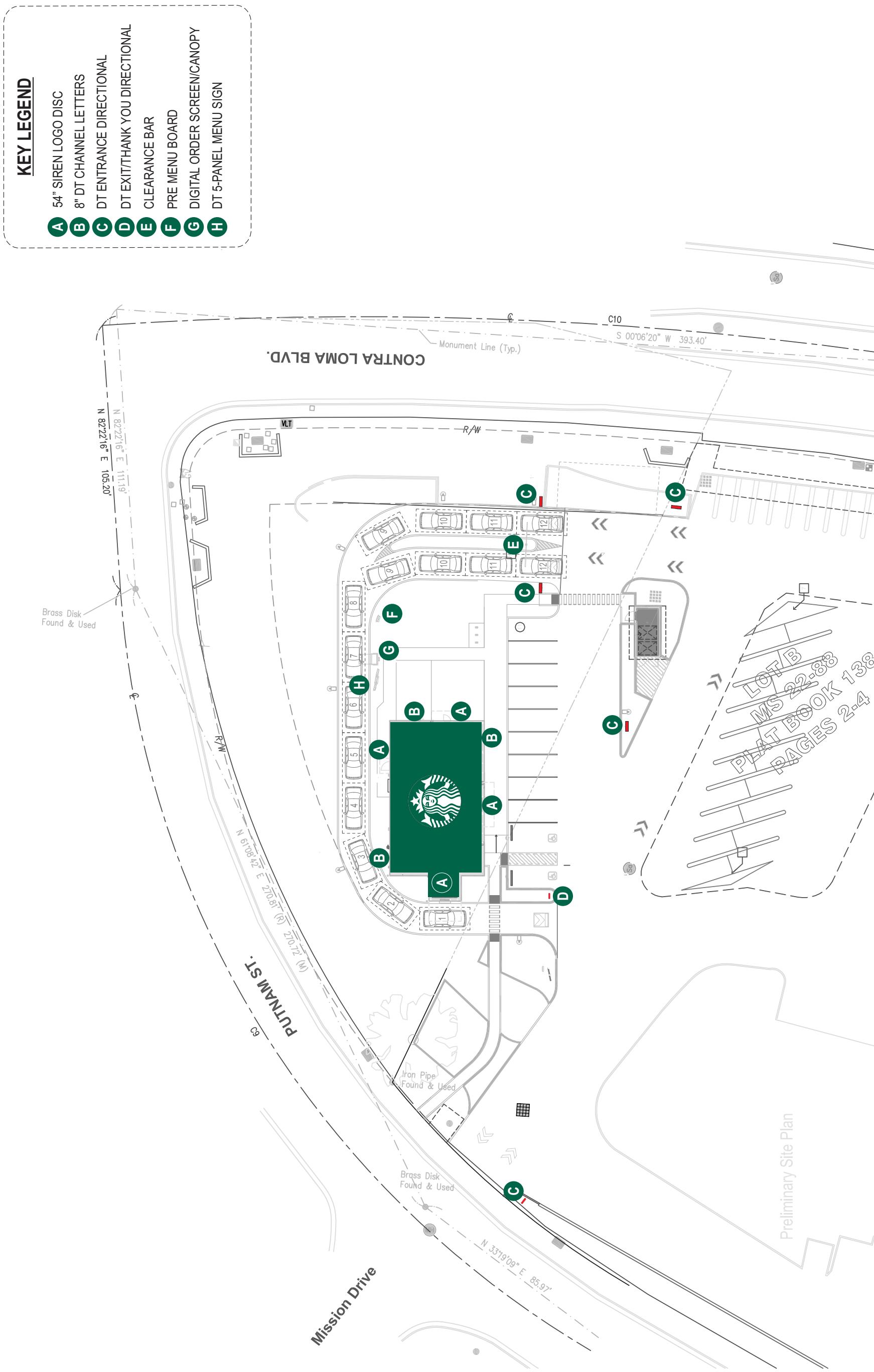
2101 Carrillo Privado, Ontario, CA 91761
(909) 330-0303 Fax: (909) 930-0308
Email: design@signindustries.tv
Web: www.signindustries.tv

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Drawing No
22-246

Page: **SP.1****KEY LEGEND**

- A** 54" SIREN LOGO DISC
- B** 8" DT CHANNEL LETTERS
- C** DT ENTRANCE DIRECTIONAL
- D** DT EXIT/THANK YOU DIRECTIONAL
- E** CLEARANCE BAR
- F** PRE MENU BOARD
- G** DIGITAL ORDER SCREEN/CANOPY
- H** DT 5-PANEL MENU SIGN





Location:
3100 CONTRA LOMA BLVD.
ANTIOCH, CA

Client Approval:

Date of Approval:

Sales Rep:
Paul L.

Drawn by:

L.S.

Date:

06-11-22

7	12-19-23	L.S.
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9		
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Electrical Requirement:

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2101 Carrillo Private, Ontario, CA 91761
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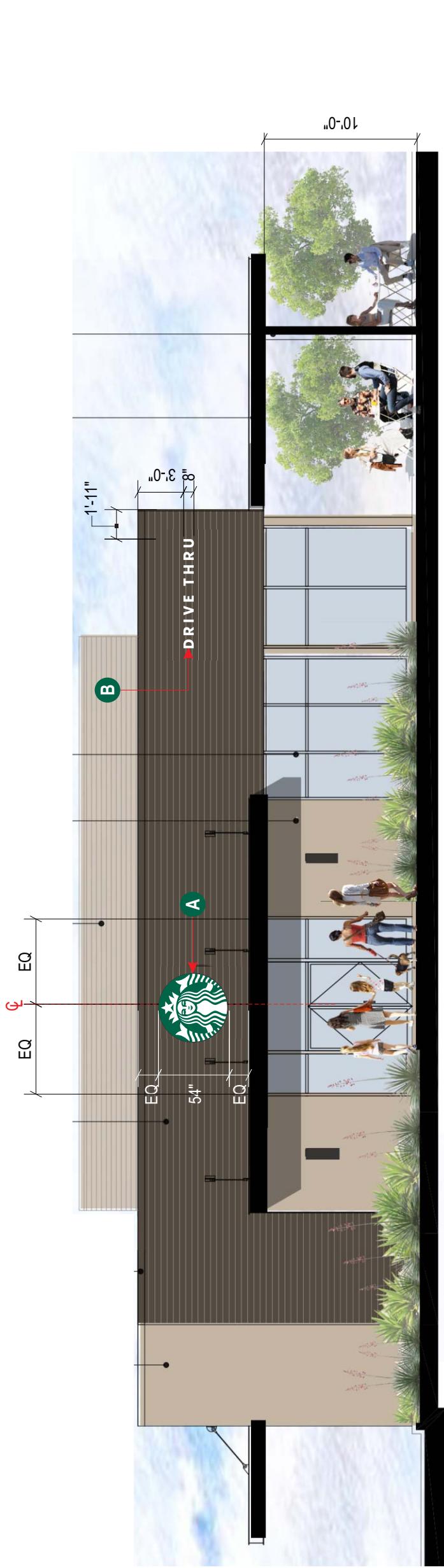
Drawing No

22-246 8

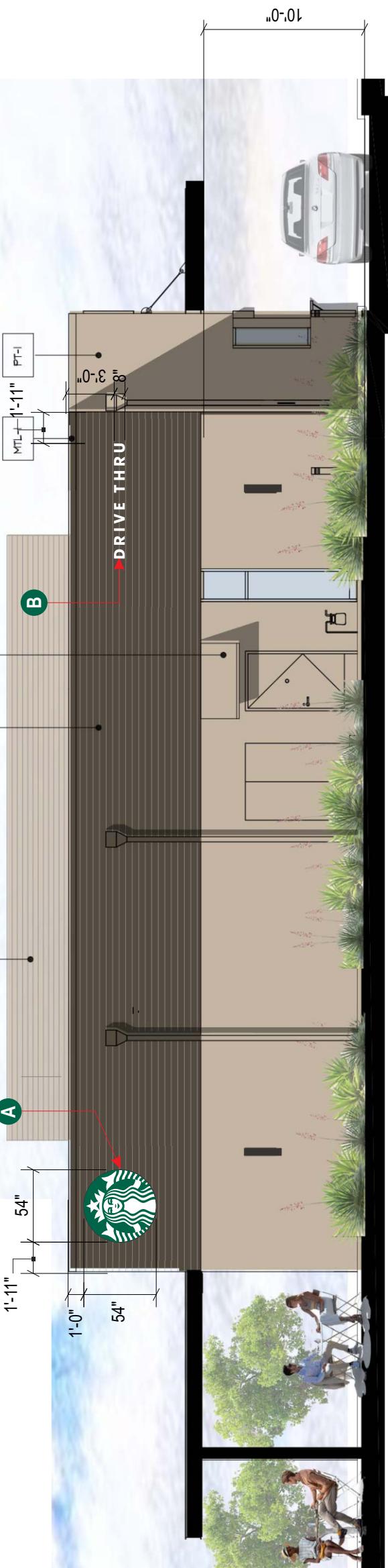
Page: ELEV.1

KEY LEGEND

- A** 54" SIREN LOGO DISC
- B** 8" DT CHANNEL LETTERS



1 SOUTH ELEVATION
SCALE: 1/8" = 1'



2 NORTH ELEVATION
SCALE: 1/8" = 1'



Location:
3100 CONTRA LOMA BLVD.
ANTIOCH, CA

Client Approval:

Date of Approval:

Sales Rep:
Paul L.

Drawn by:

Date:
06-11-22
L.S.

7	12-19-23	L.S.
8	01-15-24	O.C.
9		
10		
11		
12		
13		

Electrical Requirement:
 120 Volts 277 Volts



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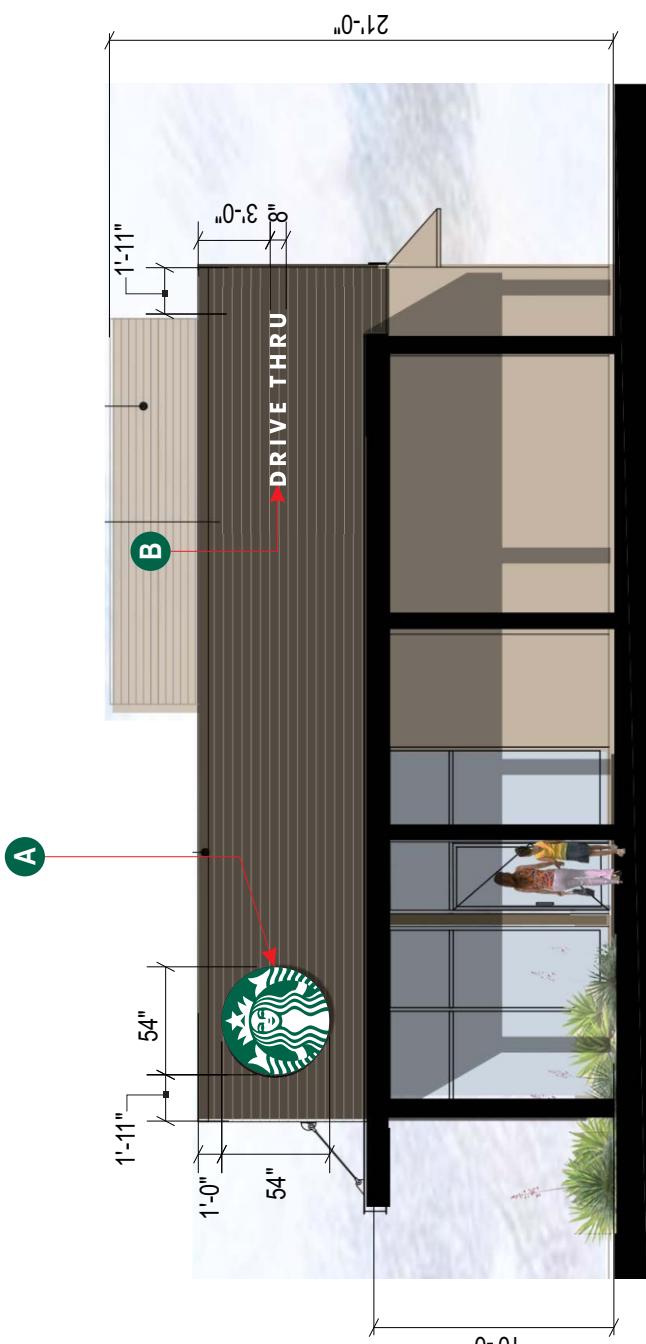
Drawing No

22-246

8

Page: **ELEV.2****KEY LEGEND**

- A** 54" SIREN LOGO DISC
- B** 8" DT CHANNEL LETTERS



1 EAST ELEVATION
SCALE: 1/8" = 1'



2 WEST ELEVATION
SCALE: 1/8" = 1'



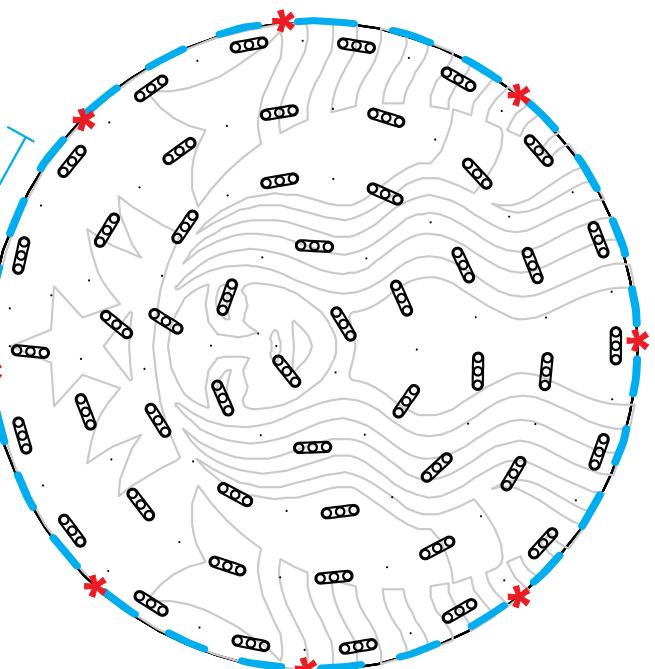
DESIGN ID # 13163

Excellart Face Retention
clips spaced at
4" on center.



A QTY - 4

54" S/F EXTERIOR ILLUMINATED FLEX FACE SIREN WALL SIGN- TRIMLESS



- 1) ACTUAL CHANNEL LETTER POPULATION AND PRODUCT PLACEMENT MAY VARY FROM THIS LAYOUT
- 2) PRISM ENLIGHTEN WHITE 6500K LAID OUT AT 1.5 MODULES PER FOOT, 5.0" ON CENTER
- 3) EACH 60W3 POWER SUPPLY CAN RUN UP TO 72 PRISM ENLIGHTEN WHITE 6500K MODULES
- 4) LAYOUT BASED ON A 2.125" CAN DEPTH
- 5) DIMENSIONS ARE IN INCHES UNLESS STATED OTHERWISE
- 6) 701269-6WEJ1-MB WATTS PER MODULE: .75
- 7) PRIMARY SYSTEM POWER: 46.88 WATTS
- 8) LED MODULE POWER USAGE (secondary): 57.90 WATTS

ESTIMATED PRODUCT B.O.M. PER SIGN:

50	Each Prism Enlighten White 6500K Modules – 34'
PN:	701269-6WEJ1-MB
1	Each 60C2 (Damp/Dry locations) or 60W3 (Wet location) 60W Power Supply 12VDC
1	Each 100' Roll of Jacketed Cable

50

1 FRONT VIEW

Scale: 3/4" = 1' (11x17 Paper)

Specifications:
Standard flex face cabinet with bleed trim cover.

- A** White Flex faces with 3M 3630-126 Dark Emerald Green vinyl.
Face retention clips spaced every 4".
- B** Interior of cabinet painted reflective white and exterior painted satin black.
- C** Internally illuminated with 6500K Sloan Prism Enlighten LEDs with remote power supply.
- D** 1/4" drain holes located at the bottom of cabinet as required by UL 48 for Electric Signs.
- E** Drain holes to be covered with drain hole covers to reduce light leaks.
- F** .063" white aluminum LED baffle mounted to 1" spacers with screws

White Flex Material
- 1st Surface Green Vinyl



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Drawing No

22-246

Excellart EC-Flex Standard with Bleed Trim Cover

Siren Detail



1.0

Page:



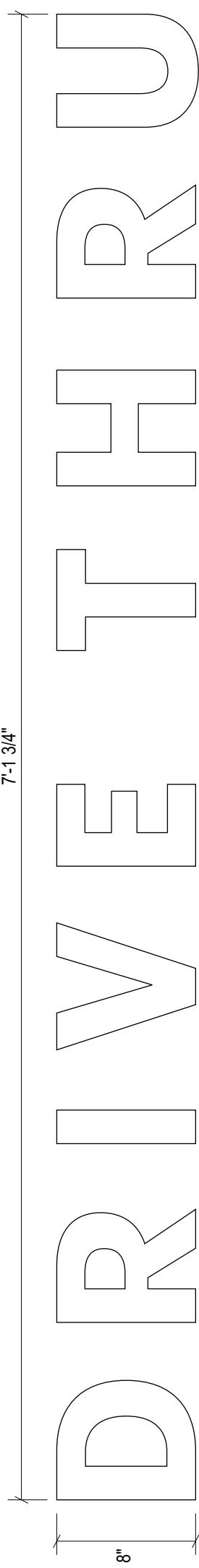
COLOR LEGEND	
PMS/PAINT	VINYL
PMS 3425 C	3M 3630-126
SATIN BLACK	NA
PMS WHITE	NA

B26



Project:

Location:
3100 CONTRA LOMA BLVD.
ANTIOCH, CA



Front View

SCALE : 1 1/2" = 1'-0"

Specifications:

A Internally illuminated SDS LetterForm trimless channel letter with returns painted **satin black**.

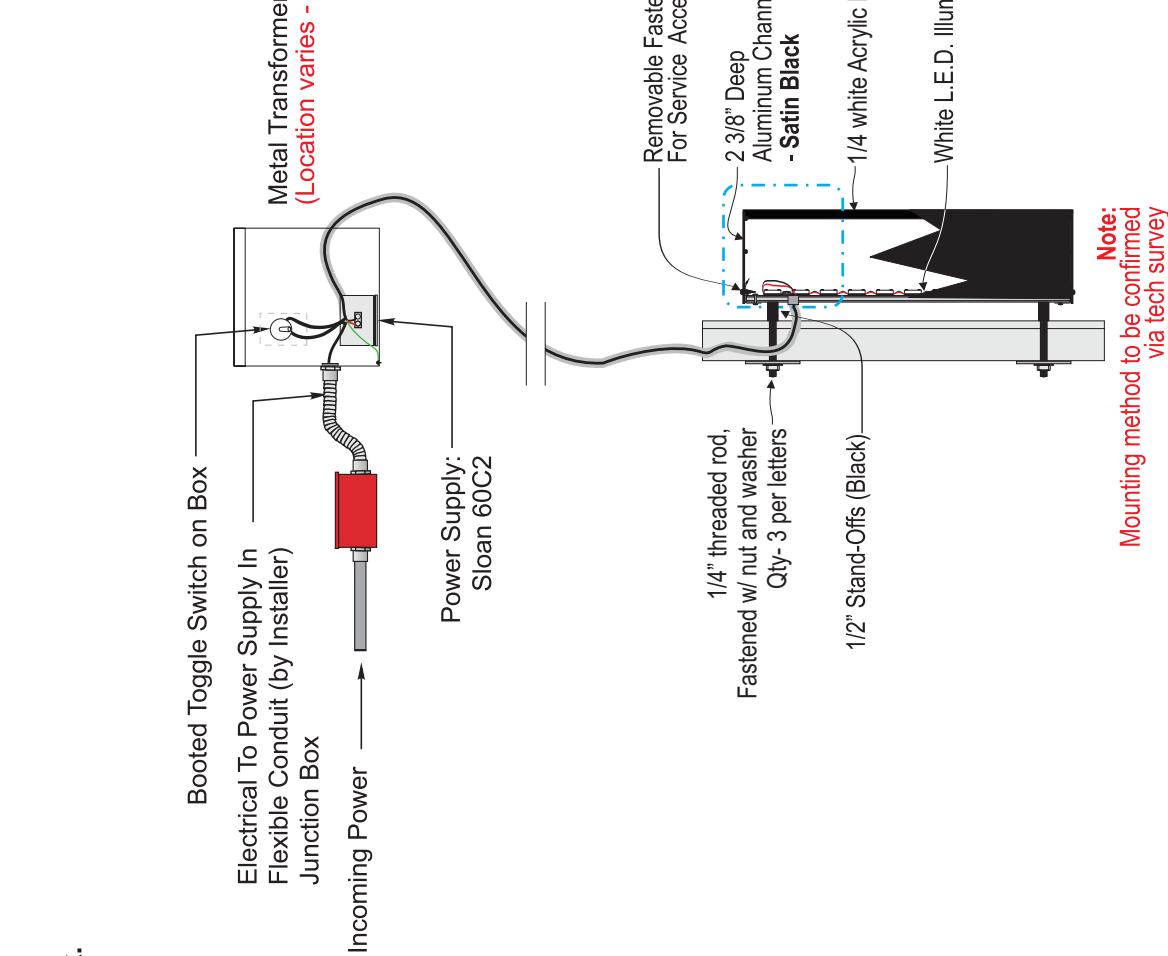
B White faces to be 1/4" 7328 matte white acrylic

C Internally illuminated letters with 6500K Sloan white LED

D 1/4" drain holes located at the bottom of each letter as required by UL 48 for Electric Signs.

E Drain holes to be covered with drain hole covers to reduce light leaks.

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Leaders in LED Technology
SloanLED.com
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Toll-free 888.747.4141



Drawing No

22-246

2.0

DRY
DAMP
WET

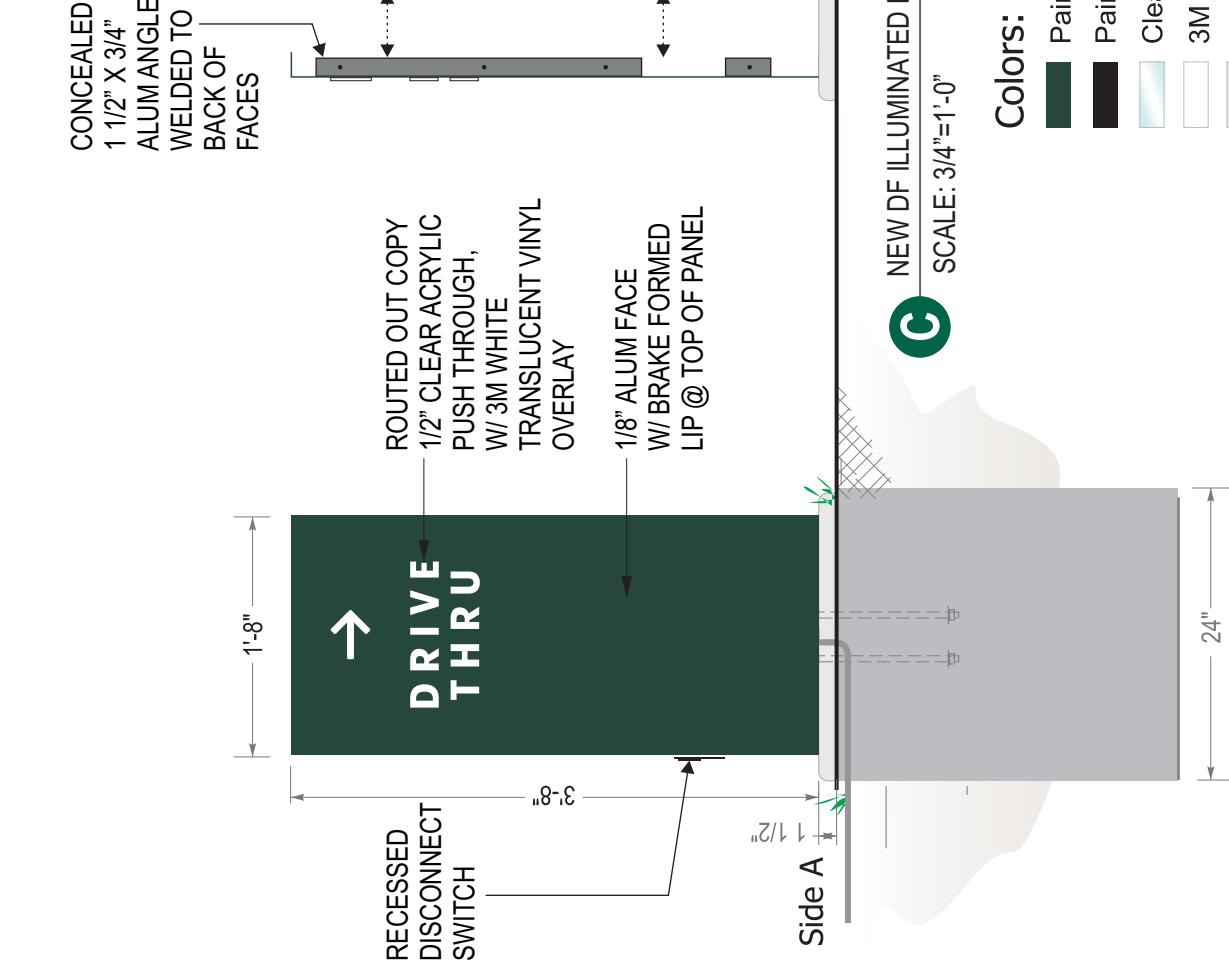


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- Single Read of Drive Thru
- Arrows Point Opposite on Each Side



C NEW DF ILLUMINATED DIRECTIONAL SIGN QTY-5 Sq Ft: 6.11
SCALE: 3/4"=1'-0"

Colors:

- | | |
|------------------|--|
| [Dark Green Box] | Painted Pantone #560 (satin finish) |
| [Black Box] | Painted Pantone 419 Black (RAL 7021M) (satin finish) |
| [Light Blue Box] | Clear Acrylic (push thru) |
| [White Box] | 3M White Translucent Vinyl (first surface) |
| [Grey Box] | 3M Diffuser Film (second surface) |

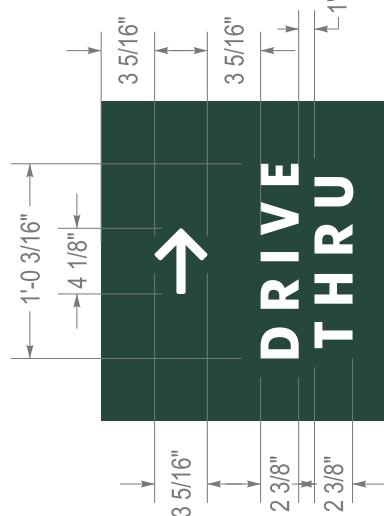
VINYL

3M RED 3630-33

Copy Dimensions & Artwork

CONCEALED
1 1/2" X 3/4"
ALUM ANGLE
WELDED TO
BACK OF
FACES

1/8" ALUM FACE REMOVABLE
W/ BRAKE FORMED LIP @ TOP OF PANEL



Location:
3100 CONTRA LOMA BLVD.
ANTIOCH, CA

Client Approval:

Date of Approval:

Sales Rep:

Paul L.

Date:

06-11-22

Drawn by:

L.S.

Electrical Requirement:

120 Volts

277 Volts



scale: 1" = 1'-0"



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Drawing No

22-246



3.0

Page: **3.0**

- Aluminum construction & aluminum skin with painted finishes.
- Aluminum face to be routed to accommodate push thru graphics.
- Push thru graphics to have 3M vinyl applied to first and second surface.
- Illuminated with white LED modules with all electrical UL listed and labeled.
- Directional to be bolted to new concrete footing per engineering for site location and soil condition.

B28



Due Date:

DESIGN CRITERIA:

- STRUCTURE IS DESIGNED IN ACCORDANCE
WITH ASCE 7-16**

BASIC WIND SPEED: 130 MPH

RISK CATEGORY: II

EXPOSURE CATEGORY: C

SITE CLASS: D

OCCUPANCY CATEGORY: II

SEISMIC DESIGN CATEGORY: D

IMPORTANCE FACTOR: 1.0

RESPONSE MODIFICATION FACTOR: Rp=3.0

AMPLIFICATION FACTOR: Ap=2.5

GENERAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THE 2022 CALIFORNIA BUILDING CODE (CBC), AND 2018 INTERNATIONAL BUILDING CODE (IBC). ANY CONFLICTS BETWEEN THESE DRAWINGS, STANDARDS NOTED HEREIN, PROJECT REQUIREMENTS, AND/OR OTHER REFERENCE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE CIVIL ENGINEER, WHERE CONFLICTS OCCUR, THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.

PROVIDE ISOLATION OF DISSIMILAR MATERIALS

CONCRETE:

DESIGN AND CONSTRUCTION IN COMPLIANCE TO ACI 318-14.
STEEL REINFORCEMENT IN CONCRETE ASTM A615 GRADE 60.
COMPRESSIVE STRENGTH AT 28 DAYS: $f_c = 2,500$ PSI MIN.
PROVIDE A MINIMUM 3" CONCRETE COVER OVER ALL EMBEDDED STEEL.
CONCRETE MUST BE POURED AGAINST UNDISTURBED EARTH SOIL.

SULL. PASS
STEEL:

- SQUARE/REC HSS STEEL: ASTM A500GR. B Fy=46 KSI
PLATE STEEL: ASTM A36 Fy=36 KSI

STRUCTURAL STEEL MEMBERS SHALL BE SHEARED, FORMED, PUNCHED, WELDED, AND PAINTED BY THE MANUFACTURER. ALL SHOP CONNECTIONS SHALL BE WELDED IN CONFORMANCE WITH STANDARDS BASED UPON THE CURRENT EDITION OF ANSI/AWS D1.1. WELDERS AND WELDING OPERATORS SHALL BE QUALIFIED AS PROVIDED IN THE CODE.

ALUMINUM

 1. FABRICATE AND ERECT ALUMINUM IN COMPLIANCE WITH THE MOST CURRENT ALUMINUM ASSOCIATION ALUMINUM DESIGN MANUAL 1.
 2. ALUMINUM ELEMENTS 6061-T6
 3. ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AISC QUALITY CERTIFIED FABRICATOR.
 4. UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE OF WELD TO MATCH SMALLEST MEMBER/MATERIAL SIZE.
 5. ALL SHOP CONNECTIONS SHALL BE WELDED IN CONFORMANCE WITH STANDARDS BASED UPON THE CURRENT EDITION OF ANSI/AWS D1.2. WELDERS AND WELDING OPERATORS SHALL BE QUALIFIED AS PROVIDED

ALUMINUM

- FABRICATE AND ERECT ALUMINUM IN COMPLIANCE WITH
THE MOST CURRENT ALUMINUM ASSOCIATION ALUMINUM
DESIGN MANUAL 1.

1. ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY
ALUMINUM ELEMENTS 6061-T6

2. ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY
AN AISC QUALITY CERTIFIED FABRICATOR.

3. UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE
MINIMUM SIZE OF WELD TO MATCH SMALLEST
MEMBER/MATERIAL SIZE.

4. ALL SHOP CONNECTIONS SHALL BE WELDED IN
CONFORMANCE WITH STANDARDS BASED UPON THE
CURRENT EDITION OF ANSI/AWS D1.2. WELDERS AND
WELDING OPERATORS SHALL BE QUALIFIED AS PROVIDED
IN THE CODE.

WIND LOADS PER ASCE 7-16:		ASCE 7-16	
Applied Wind Loads:			
(29.3-1)	$F = q_h \cdot G \cdot C_f \cdot A_s$	(26.10-1)	$q_h = 0.00256 \cdot K_c \cdot K_{as} \cdot K_e \cdot K_w \cdot V^2$
	Risk Category:	II	
(26.5)	Wind Speed (V):	130	mph per ATC Council
(Table 26.6-1)	Directional Fac. (K_d):	0.85	(Table 26.6-1)
(26.7)	Exposure Category:	C	
(26.8.2)	Topo Fac. (K_{as}):	1	(unless unusual terrain)
(26.9)	Ground Elev. Fac. (K_g):	1	(for all elevation)
(26.11)	Gust Effect Fac. (G):	0.85	
	s (height of affected area)	3.67	ft
	h (height)	3.67	ft
	B (width of affected area)	1.67	ft
	s/h =	1.00	
	$B/s =$	0.46	
	Force Coefficient (C_f):	1.550	(Table 29.3-1)
	Velocity pressure exposure coefficient (K_e):		ASCE fig. 29.4-1 therefore: 1.1
for $s/h = 1.00$, add 10%		If 2 poles, spacing between	
		1.5 ft o.c.	
		Client Approval:	
		Date of Approval:	
3100 CONTRA LOMA BLVD. ANTIOCH, CA			
Location:			

Sales Rep:	Paul L.	
Date:	06-11-22	
Drawn by:	L.S.	
	12-19-23	
	L.S.	
	01-15-24	
	O.C.	
		
		
		
		
		
		
		
		
Electrical Requirement:		
<input type="checkbox"/> 120 Volts		
<input type="checkbox"/> 277 Volts		

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Drawing No.

22-246

Page: 3.1

B29

SB-DIR-IL-NF-XTY-44

- Front face "Exit Only"
- Opposite face "Thank You!"

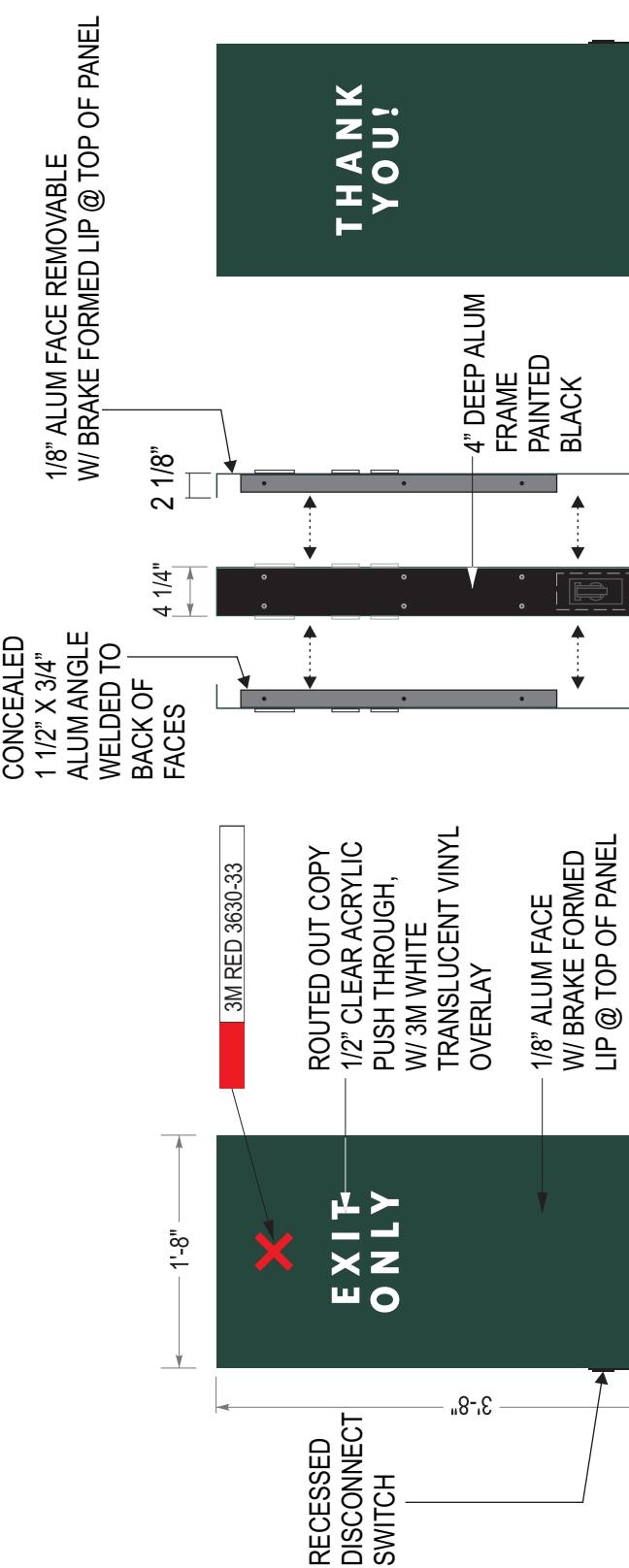


GROUND SIGN | DIRECTIONAL PACKAGE
23074

Project:



D



D NEW DF ILLUMINATED DIRECTIONAL SIGN QTY-1 Sq Ft: 6.11
SCALE: 3/4"=1'-0"

Side A

Side B

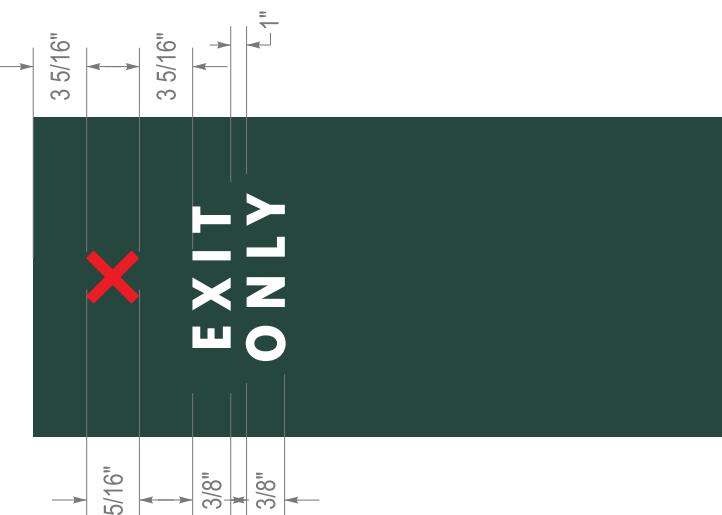
Colors:

- Painted Pantone #560 (satin finish)
- Painted Pantone 419 Black (RAL 7021M) (satin finish)
- Clear Acrylic (push thru)
- 3M White Translucent Vinyl (first surface)
- 3M Diffuser Film (second surface)

VINYL

3M RED 3630-33

Copy Dimensions & Artwork



scale: 1" = 1'-0"

Location:
3100 CONTRA LOMA BLVD.
ANTIOCH, CA

Client Approval:	Date of Approval:
Paul L.	Date: 06-11-22 Drawn by: L.S.



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Drawing No

22-246



4.0

Page: **4.0**

- Aluminum construction & aluminum skin with painted finishes.
- Aluminum face to be routed to accommodate push thru graphics.
- Push thru graphics to have 3M vinyl applied to first and second surface.
- Illuminated with white LED modules with all electrical UL listed and labeled.
- Directional to be bolted to new concrete footing per engineering for site location and soil condition.

B30



DESIGN CRITERIA:

- STRUCTURE IS DESIGNED IN ACCORDANCE WITH ASCE 7-16
- BASIC WIND SPEED: 130 MPH
- RISK CATEGORY: II
- EXPOSURE CATEGORY: C
- SITE CLASS: D
- OCCUPANCY CATEGORY: II
- SEISMIC DESIGN CATEGORY: D
- IMPORTANCE FACTOR: 1.0
- RESPONSE MODIFICATION FACTOR: Rp=3.0
- AMPLIFICATION FACTOR: Ap=2.5

GENERAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THE 2022 CALIFORNIA BUILDING CODE (CBC), AND 2018 INTERNATIONAL BUILDING CODE (IBC).
- ANY CONFLICTS BETWEEN THESE DRAWINGS, STANDARDS NOTED HEREIN, PROJECT REQUIREMENTS, AND/OR OTHER REFERENCE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE CIVIL ENGINEER, WHERE CONFLICTS OCCUR, THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- PROVIDE ISOLATION OF DISSIMILAR MATERIALS

CONCRETE:

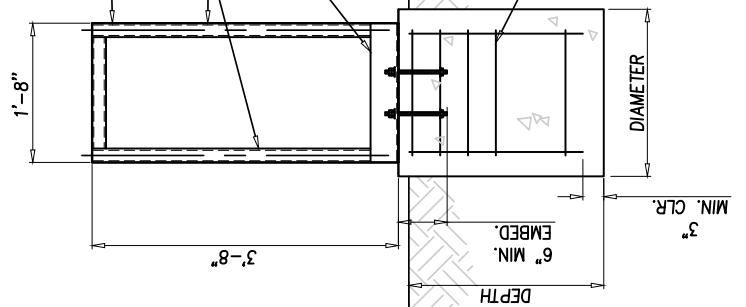
- DESIGN AND CONSTRUCTION IN COMPLIANCE TO ACI 318-14.
- STEEL REINFORCEMENT IN CONCRETE ASTM A615 GRADE 60.
- COMPRESSIVE STRENGTH AT 28 DAYS: f_c=2,500 PSI MIN.
- PROVIDE A MINIMUM 3" CONCRETE COVER OVER ALL EMBEDDED STEEL.
- CONCRETE MUST BE Poured AGAINST UNDISTurbed EARTH SOIL.
- SOIL PASSIVE PRESSURE PER CBC CLASS 5 (100 PCF).

STEEL:

- PLATE STEEL: ASTM A36 Fy=36 ksi
- STRUCTURAL STEEL MEMBERS SHALL BE SHEARED, FORMED, PUNCHED, WELDED, AND PAINTED BY THE MANUFACTURER. ALL SHOP CONNECTIONS SHALL BE WELDED IN CONFORMANCE WITH STANDARDS BASED UPON THE CURRENT EDITION OF ANSI/AWS D1.1. WELDERS AND WELDING OPERATORS SHALL BE QUALIFIED AS PROVIDED IN THE CODE.

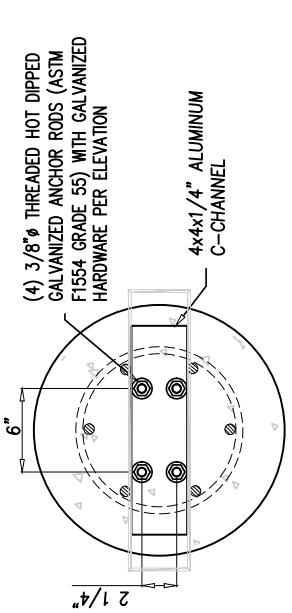
ALUMINUM

- FABRICATE AND ERECT ALUMINUM IN COMPLIANCE WITH THE MOST CURRENT ALUMINUM ASSOCIATION ALUMINUM DESIGN MANUAL 1.
- ALUMINUM ELEMENTS 6061-T6
- ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AISC QUALITY CERTIFIED FABRICATOR.
- UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE OF WELD TO MATCH SMALLEST MEMBER/MATERIAL SIZE.
- ALL SHOP CONNECTIONS SHALL BE WELDED IN CONFORMANCE WITH STANDARDS BASED UPON THE CURRENT EDITION OF ANSI/AWS D1.2. WELDERS AND WELDING OPERATORS SHALL BE QUALIFIED AS PROVIDED IN THE CODE.



ANCHOR DETAIL

1" = 1'-0"



HORIZ: (4) #3 TIES AT 4" O.C. TOP
(2) #3 TIES AT 10" O.C. REMAINDER
VERT: (6) #5 BARS SPACES EVENLY AROUND PERIMETER CLEARANCE 3" MIN. TO EDGE OF CONC.

FOOTING OPTIONS

DIAMETER	DEPTH
2'-0"	2'-4"
1'-6"	2'-8"

ELEVATION VIEW

1/2" = 1'-0"

DIRECT BURIAL FOOTING DESIGN:

Check Aluminum Rectangular Tube			Check Aluminum Saddle		
M <u>s</u> =	0.368	k-ft	M <u>s</u> =	4.412	k-in
D=	4	in	S=	2.654	in ³
B=	2	in	Z=	3.406	in ³
T=	1/4	in	Req Z	0.29	ksi
					F _{cw} = 15 ksi
					K _t = 1
2 pole distribution factor:	0.72				
Forces at finish grade					

ALUMINUM RECTANGULAR TUBE DESIGN:

Structure Component	Height at section	Table 26.10-1	q _s	q _s *G*C _L	A _s	Shear Moment	Wind Moment
1	2.75	0.85	31.26	41.18	3.06	247	988
2	0.92	0.85	31.26	41.18	3.06	247	741
2 pole							
Forces at finish grade							

SADDLE DESIGN:

Check Aluminum Rectangular Tube	Height at section	Table 26.10-1	q _s	q _s *G*C _L	A _s	Shear Moment	Wind Moment
M <u>s</u> =	0.368	k-ft	M <u>s</u> =	4.412	k-in	Aluminum 6061-T6	
D=	4	in	S=	2.654	in ³	F _{twu} = 24 ksi	
B=	2	in	Z=	3.406	in ³	F _{twu} = 15 ksi	
T=	1/4	in	Req Z	0.29	ksi	F _{cw} = 15 ksi	
						K _t = 1	
Normal Yield Moment							
M _{yp} =	51.09	k-in				Nominal Rupture Moment	
Φ _b =	0.9					M _{rp} = 81.75 k-in	
Φ _b M _{yp} =	45.98	k-in				Φ _b M _{rp} = 0.9	
D/C:	0.10					D/C: 0.06	

Electrical Requirement:

<input type="checkbox"/> 120 Volts	<input checked="" type="checkbox"/> 277 Volts
------------------------------------	---



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WIND LOADS PER ASCE 7-16:

Applied Wind Loads:		ASCE 7-16	
(29.3-1)	F=q=G*C*A _s	(26.10-1)	q = 0.00256*K _s *K _{sr} *K _a *V ²
(26.5)	Risk Category: II	II	130 mph per ATC Council
	Wind Speed (V):	0.95	(Table 26.6-1)
(Table 26.6-1)	Directional Fac. (K _d):	C	
(26.7)	Exposure Category:	1	
(26.8-2)	Topo Fac. (K _{td}):	1	(unless unusual terrain)
(26.9)	Ground Elev. Fac. (K _g):	1	
(26.11)	Gust Effect Fac (G _g):	0.85	(for all elevation)
	S (height of affected area)	3.67	ft
	H (height)	3.67	ft
	B (width of affected area)	1.67	ft
	S/h=	1.00	
	B/s=	0.46	
	Force Coefficient (C _f):	1.50	
	Velocity pressure exposure coefficient (K _v):		
	for s/h=1, add 10% if 2 poles, spacing between 1.5 ft o.c.		

Date of Approval:

Sales Rep:

Paul L.

Date Drawn by:

L.S.

Structure Component	Height at section	Table 26.10-1	q _s	q _s *G*C _L	A _s	Shear Moment	Wind Moment
1	2.75	0.85	31.26	41.18	3.06	247	988
2	0.92	0.85	31.26	41.18	3.06	247	741
2 pole							
Forces at finish grade							



ASCE fig. 29-4-1 therefore: 1.1	
1.5 ft o.c.	

PREPARED FOR:
YRAM OSS @ YRE ENGINEERING.COM
PHONE: (626) 374-5881
EMAIL: YRAMOSS@YREENGINEERING.COM
DISREGARD PRINTS BEARING
EARLIER REVISION DATES □
02-20-23

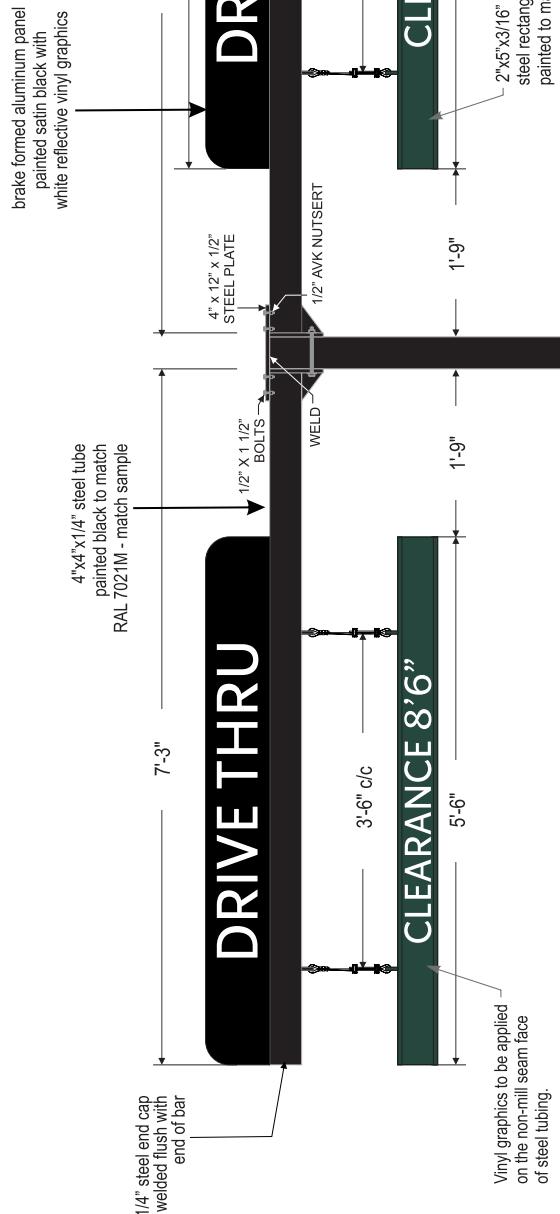
PREPARED BY:
YOSIMAR RAMOS
R.C.E. 89832



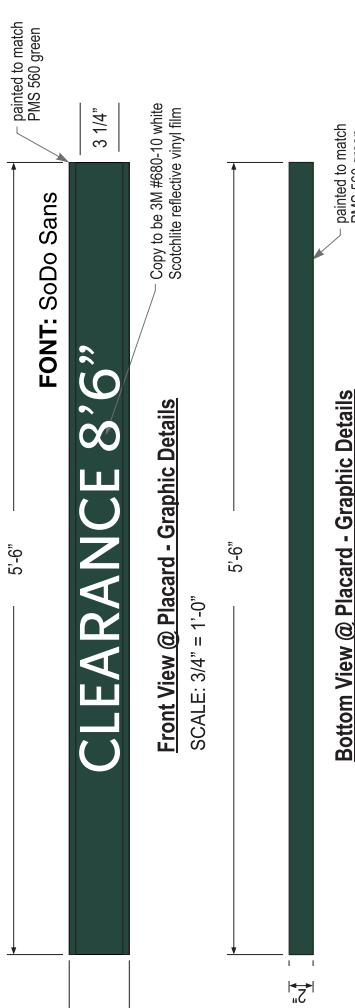


E CLEARANCE BAR - NON-ILLUMINATED

SBC-#
Qty. 1



NOTE: Clearance bar height may require adjustment to accommodate curb and/or foundation height. Manufacturer to provide (2) 2'-6" [762mm] cable lengths for such adjustment.



Front View @ Placard - Graphic Details
SCALE: 3/4" = 1'-0"

Bottom View @ Placard - Graphic Details
SCALE: 3/4" = 1'-0"

Front Elevation View
SCALE: 1/2" = 1'-0"

SIGN SPECIFICATIONS:

Scaper Bar:

- 2" x 5'-6" x 5" steel tube painted to match PMS 560 green.
- Flush steel end caps painted to match PMS 560 green.
- Copy and chevrons to be 1st surface computer cut 3M #680-10 white Scotchlite reflective vinyl film.
- Bottom striping to be 1st surface computer cut 3M #680-10 white Scotchlite reflective vinyl film.
- Striping extends 3/8" [10mm] onto front face.
- Suspend from support with SS cable & hardware. Cable provided requires field adjustment for proper clearance height.

COLOR LEGEND	
PWS/PAINT	VINYL
PMS 560 C	NA
RAL 7021M	3M 3630-22
REFL. WHITE	3M 680-10

brake formed aluminum panel
painted satin black with
white reflective vinyl graphics



Client Approval:

Paul L.

Date of Approval:

Date: 06-11-22
Drawn by: L.S.

Sales Rep:

7 12-19-23 L.S.

8 01-15-24 O.C.

9

10

11

12

13

Electrical Requirement:

120 Volts

277 Volts



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Drawing No

22-246

8

5.0

Page: 5.0

Right Side View

End Section View

Right Side View

End Section View

DT Panel(s):

- 8" x 66" brake formed aluminum painted satin black with white reflective vinyl graphics

Support:

- Supporting structure will be all welded steel tube construction painted black to match RAL 7021M as per approved shop drawings.
- New foundation may be required.
- Clearance bar will be mounted on a concrete pedestal. Will be attached with anchor bolts and base plate (engineering to be confirmed)

B32	
COLOR	LEGEND
PWS/PAINT	VINYL
PMS 560 C	NA
RAL 7021M	3M 3630-22
REFL. WHITE	3M 680-10



Location:
3100 CONTRA LOMA BLVD.
ANTIOCH, CA

Client Approval:

Date of Approval:

Sales Rep:
Paul L.Drawn by:
L.S.

GENERAL NOTES:	1. STRUCTURE IS DESIGNED IN ACCORDANCE WITH ASCE 7-16 BASIC WIND SPEED: 130 MPH RISK CATEGORY: II EXPOSURE CATEGORY: C SITE CLASS: D OCCUPANCY CATEGORY: II SEISMIC DESIGN CATEGORY: D IMPORTANCE FACTOR: 1.0 RESPONSE MODIFICATION FACTOR: Rp=3.0 AMPLIFICATION FACTOR: Ap=3.0
	1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THE 2022 CALIFORNIA BUILDING CODE (CBC), AND 2018 INTERNATIONAL BUILDING CODE (IBC).



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Drawing No

22-246Page: **5.1**

8

DESIGN CRITERIA:

- STRUCTURE IS DESIGNED IN ACCORDANCE WITH ASCE 7-16
BASIC WIND SPEED: 130 MPH
RISK CATEGORY: II
EXPOSURE CATEGORY: C
SITE CLASS: D
OCCUPANCY CATEGORY: II
SEISMIC DESIGN CATEGORY: D
IMPORTANCE FACTOR: 1.0
RESPONSE MODIFICATION FACTOR: Rp=3.0
AMPLIFICATION FACTOR: Ap=3.0

GENERAL NOTES:

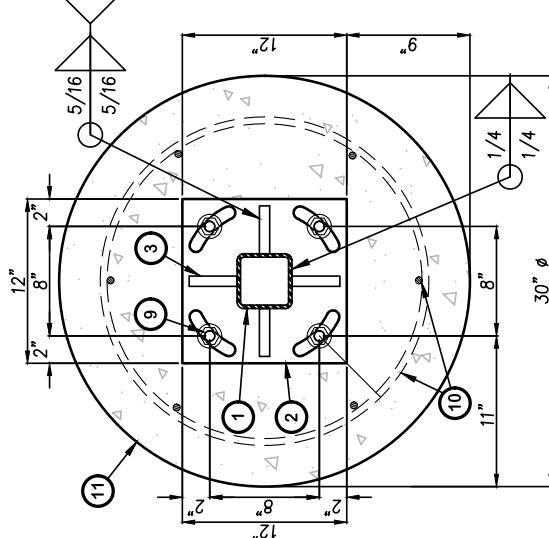
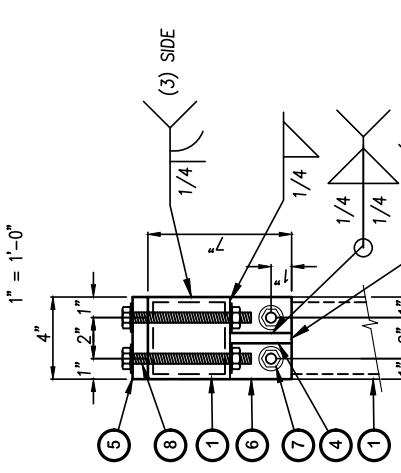
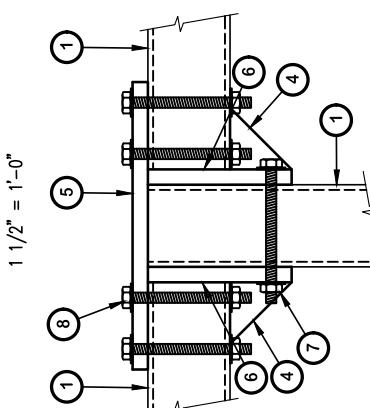
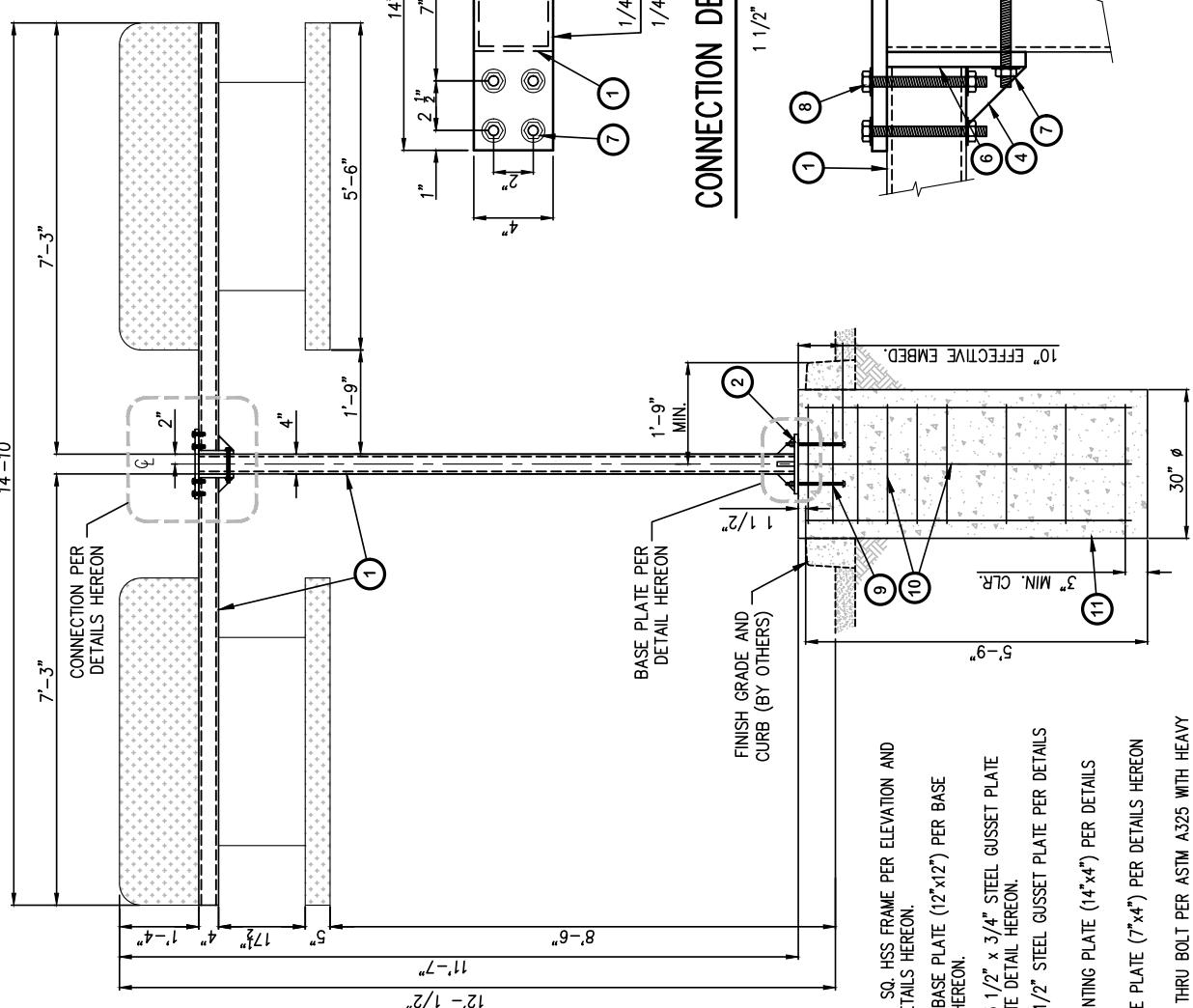
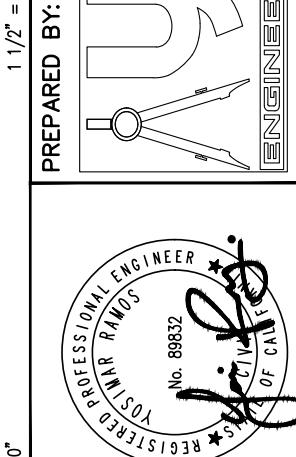
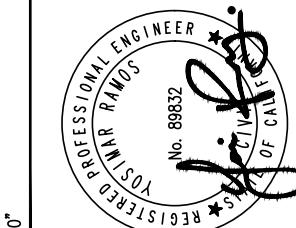
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THE 2022 CALIFORNIA BUILDING CODE (CBC), AND 2018 INTERNATIONAL BUILDING CODE (IBC).
- ANY CONFLICTS BETWEEN THESE DRAWINGS, STANDARDS NOTED HEREIN, PROJECT REQUIREMENTS, AND/OR OTHER REFERENCE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE CIVIL ENGINEER, WHERE CONFLICTS OCCUR, THE MOST STRIGENT REQUIREMENTS SHALL BE FOLLOWED.
- PROVIDE ISOLATION OF DISSIMILAR MATERIALS

STEEL:

- SQUARE/REC HSS STEEL: ASTM A500GR. B Fy=46 KSI
- PLATE STEEL: ASTM A36 Fy=36 KSI
- STRUCTURAL STEEL MEMBERS SHALL BE SHEARED, FORMED, PUNCHED, WELDED, AND PAINTED BY THE MANUFACTURER. ALL SHOP CONNECTIONS SHALL BE WELDED IN CONFORMANCE WITH STANDARDS BASED UPON THE CURRENT EDITION OF ANSI/AWS D1.1. WELDERS AND WELDING OPERATORS SHALL BE QUALIFIED AS PROVIDED IN THE CODE.

CONCRETE:

- DESIGN AND CONSTRUCTION IN COMPLIANCE TO ACI 318-14.
- STEEL REINFORCEMENT IN CONCRETE ASTM A615 GRADE 60.
- COMPRESSIVE STRENGTH AT 28 DAYS: f_c=2500 PSI MIN.
- PROVIDE A MINIMUM 3" CONCRETE COVER OVER ALL EMBEDDED STEEL.
- CONCRETE MUST BE POURED AGAINST UNDISTURBED EARTH SOIL.
- SOIL PASSIVE PRESSURE PER CBC CLASS 5 (100 PCF).

**BASE PLATE DETAIL (PLAN VIEW)****CONNECTION DETAIL (TOP VIEW)****CONNECTION DETAIL (SIDE VIEW)****ENLARGEMENT DETAIL****ELEVATION VIEW****PREPARED BY:**

No. 89832

J. RAMOS

P.E.

REGISTRATION NO.

PROFESSIONAL ENGINEER

STATE OF CALIFORNIA

RECEIVED

JULY 2015

2015

YR ENGINEERING LP

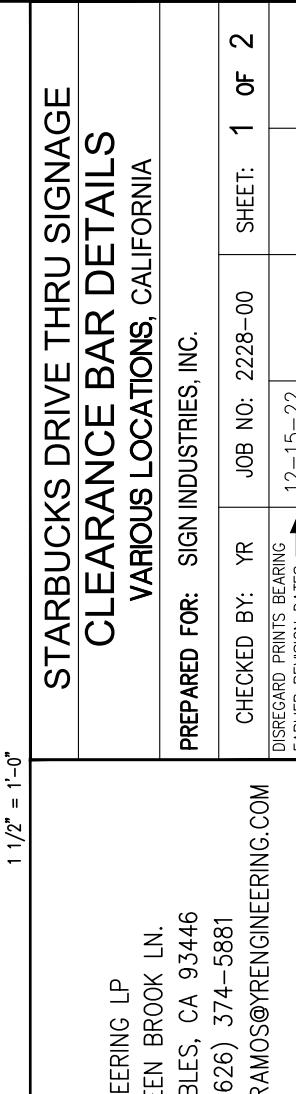
2048 GREEN BROOK LN.

PASO ROBLES, CA 93446

PHONE: (626) 374-5881

EMAIL: YRAMOS@YREENGINEERING.COM

- (1) 4" x 4" x 1/4" SQ. HSS FRAME PER ELEVATION AND BASE PLATE DETAILS HEREON.
- (2) 1" THK. STEEL BASE PLATE (12"x12") PER BASE PLATE DETAIL HEREON.
- (3) 4" 3 1/2" x 3 1/2" x 3/4" STEEL GUSSET PLATE PER BASE PLATE DETAIL HEREON.
- (4) 2" 3" x 3" x 1/2" STEEL GUSSET PLATE PER DETAILS HEREON.
- (5) 3/4" THK. MOUNTING PLATE (14"x4") PER DETAILS HEREON.
- (6) 3/4" THK. BASE PLATE (7"x4") PER DETAILS HEREON.
- (7) 1/2" HDG THRU BOLT PER ASTM A325 WITH HEAVY HEX HEAD HARDWARE PER DETAILS HEREON.
- (8) 1/2" HDG THRU BOLT PER ASTM A325 WITH HEAVY HEX HEAD HARDWARE PER DETAILS HEREON.
- (9) 3/4" THREADED HOT DIPPED GALVANIZED HEAVY HEX BOLT (ASTM F1554 GRADE 55) WITH GALVANIZED HARDWARE PER ELEVATION AND BASE PLATE DETAIL HEREON.
- (10) HORIZONTAL: (3) #4 TIES AT 5" O.C. TOP
(3) #4 TIES AT 6" O.C. TOP 30°
(3) #4 TIES AT 12" O.C. REMAINDER
- VERTICAL: (6) #6 BARS SPACES EVENLY AROUND PERIMETER CLEARANCE 3" MIN. TO EDGE OF CONC.
- (11) CONCRETE FOOTING PER PLAN AND SPECIFICATIONS HEREON.

**STARBUCKS DRIVE THRU SIGNAGE
CLEARANCE BAR DETAILS
VARIOUS LOCATIONS, CALIFORNIA**

PREPARED FOR: SIGN INDUSTRIES, INC.

1

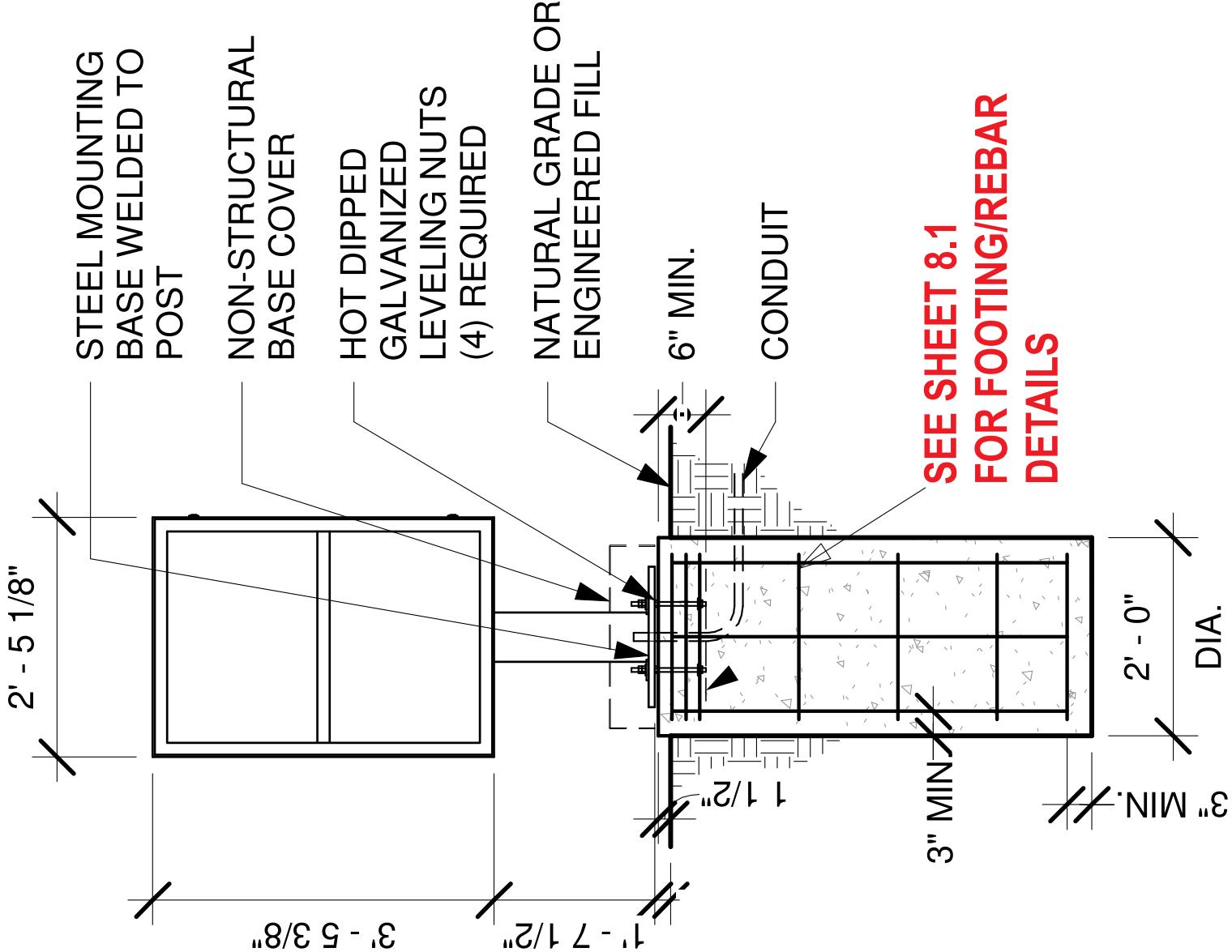
OF

2

SHEET:



FRONT ELEVATION

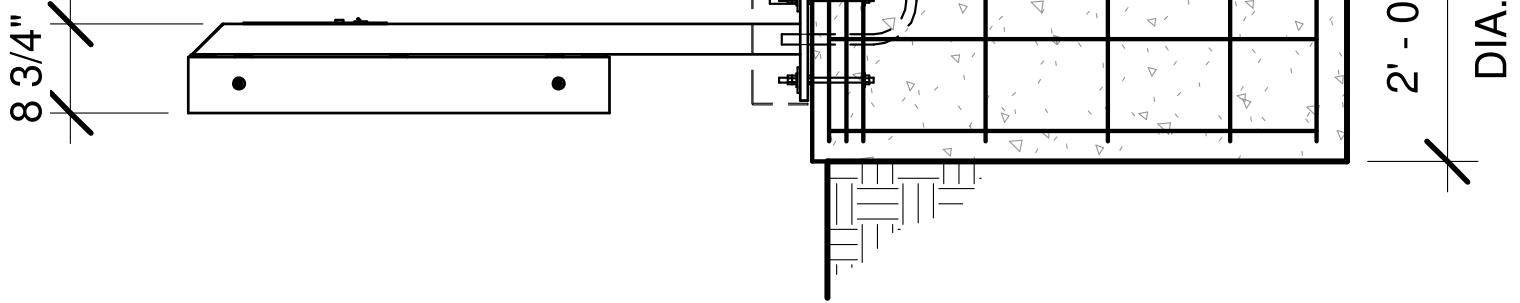


PRE-MENU SIGN

Design ID#222542



SIDE ELEVATION



Location:
3100 CONTRA LOMA BLVD.
ANTIOCH, CA

Client Approval:

Date of Approval:

Sales Rep:
Paul L.

Drawn by:

Date:
06-11-22
L.S.

Drawn by:
12-19-23
L.S.

Date:
01-15-24
O.C.

Electrical Requirement:
 120 Volts 277 Volts



2101 Carrillo Private, Ontario, CA 91761
(909) 330-0303 Fax: (909) 930-0308
E-mail: design@signindustries.tv
Web: www.signindustries.tv

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Drawing No

22-246

8

Page: **6.0**



Location:
3100 CONTRA LOMA BLVD.
ANTIOCH, CA

Client Approval:
Paul L.

Date of Approval:
06-11-22
L.S.



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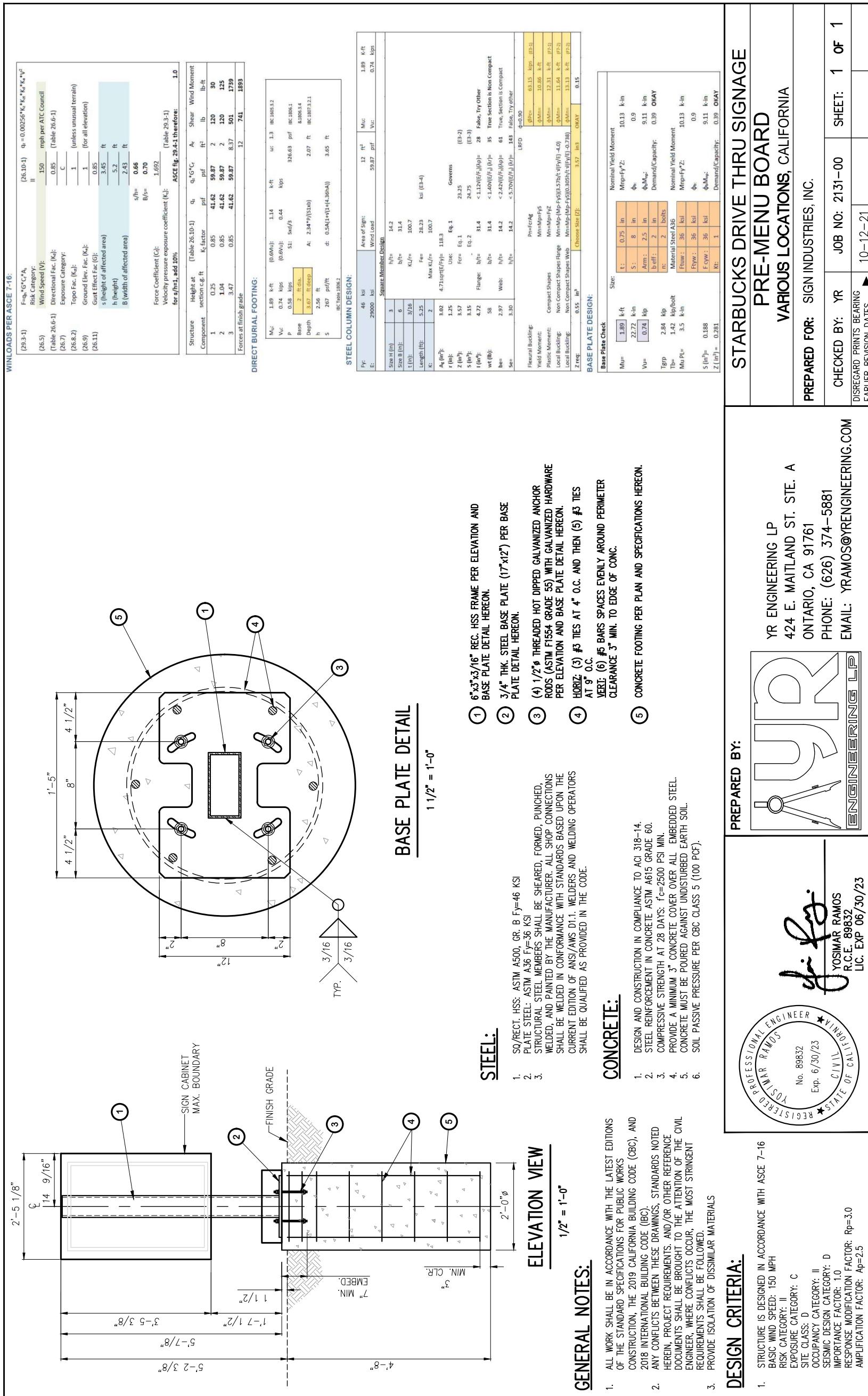
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Drawing No

22-246

Page: **6.1**

8





FRONT ELEVATION

4' - 6"

SIDE ELEVATION

6' - 7 7/8"

CANOPY ABOVE

DOS AND SPEAKER

10' - 3 7/8"

10' - 3 7/8"

STEEL BASE PLATE
WELDED TO STEEL
POSTS BY MFR.HOT
DIPPED GALVANIZED
LEVELING NUTS (12)
REQUIREDNON-STRUCTURAL
BASE COVERNATURAL GRADE
OR ENGINEERED
FILLSEE SHEET 7.2
FOR FOOTING/REBAR
DETAILS(TYP. AT EACH PLATE)
CONDUIT
CONDUITSEE SHEET 7.2
FOR FOOTING/REBAR
DETAILSLocation:
3100 CONTRA LOMA BLVD.
ANTIOCH, CA

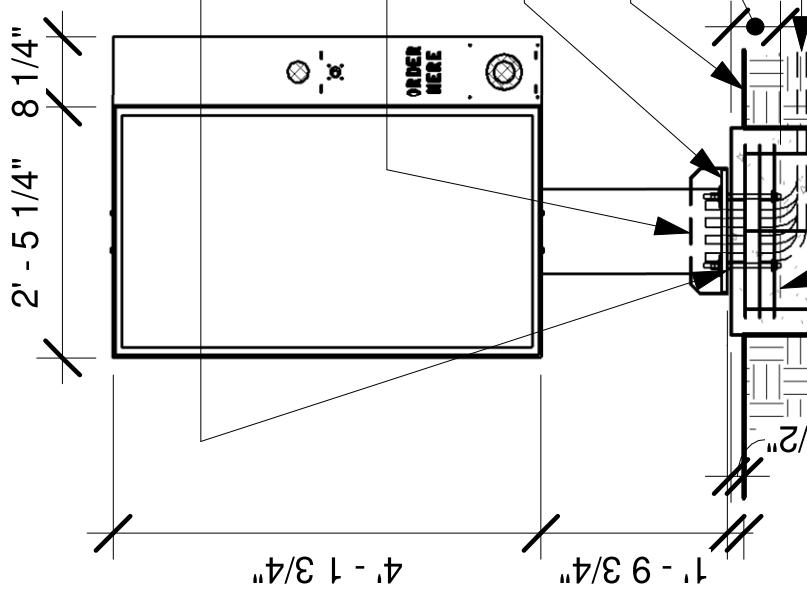
Client Approval:

Date of Approval:

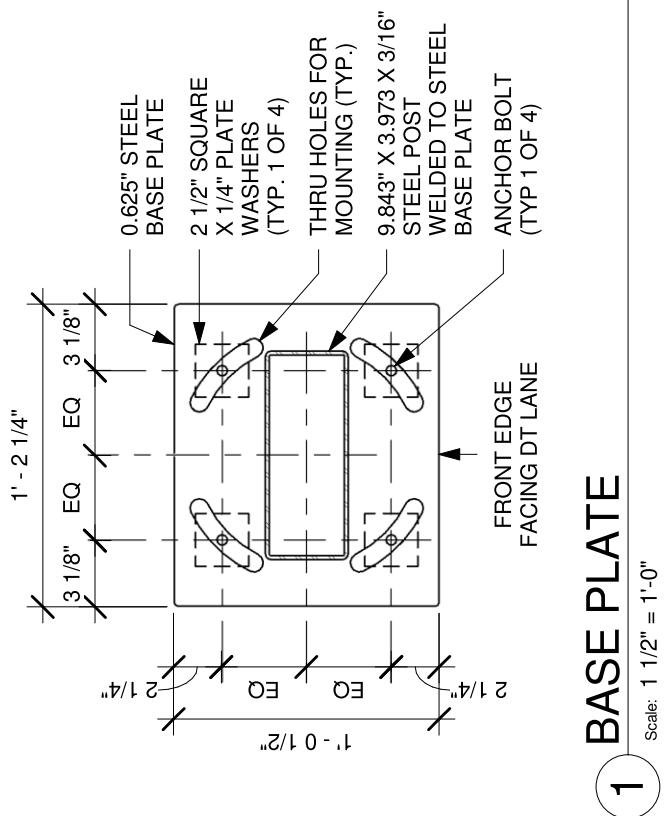
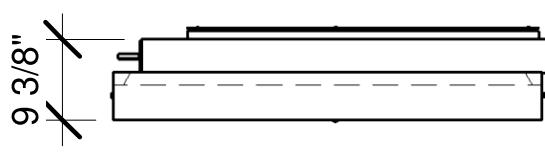
Sales Rep:
Paul L.Drawn by:
L.S.

Date:	06-11-22	12-19-23	L.S.
		01-15-24	O.C.
7			
8			
9			
10			
11			
12			
13			

Electrical Requirement:
 120 Volts 277 Volts2101 Carrillo Privado, Ontario, CA 91761
(909) 330-0303 Fax: (909) 330-0308
Email: design@signindustries.tv
Web: www.signindustries.tvAll ideas, plans or arrangements indicated
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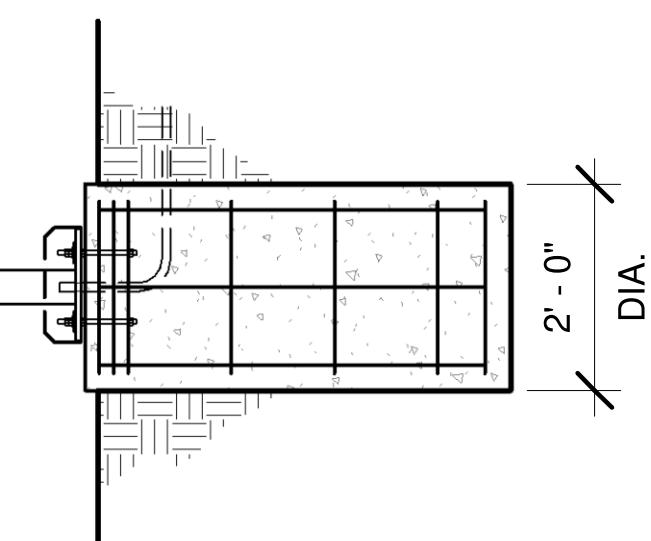
FRONT ELEVATION

**SEE SHEET 7.2
FOR FOOTING/REBAR
DETAILS**

SIDE ELEVATION

1 BASE PLATE

Scale: 1 1/2" = 1'-0"



Electrical Requirement:
 120 Volts 277 Volts

Date: 06-11-22
Drawn by: L.S.
Client Approval:
Date of Approval:
Sales Rep: Paul L.

Location:
3100 CONTRA LOMA BLVD.
ANTIOCH, CA



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G.1 DRIVE THRU DIGITAL ORDER SCREEN W/ POST ~ Qty (1)
INSTALLATION ONLY

NTS

Drawing No
22-246

8

Page: 7.1

ORDERING SCREEN WITH POST

B37



Location:
3100 CONTRA LOMA BLVD.
ANTIOCH, CA

Client Approval:

Date of Approval:

Sales Rep:

Paul L.

Directional Procedure
(29.3-1) $F = q_b * G * C_a * A_e$
Risk Category:
Wind Speed (V):
(26.5)
(Table 26.6-1)
Directional Fac. (K_d):
(26.7)
Exposure Category:
(26.8-2)
Topo Fac. (K_t):
(26.9)
Ground Elev. Fac. (K_g):
(26.11)
Gust Effect Fac (G):
s (height of affected area)
h (height)
B (width of affected area)

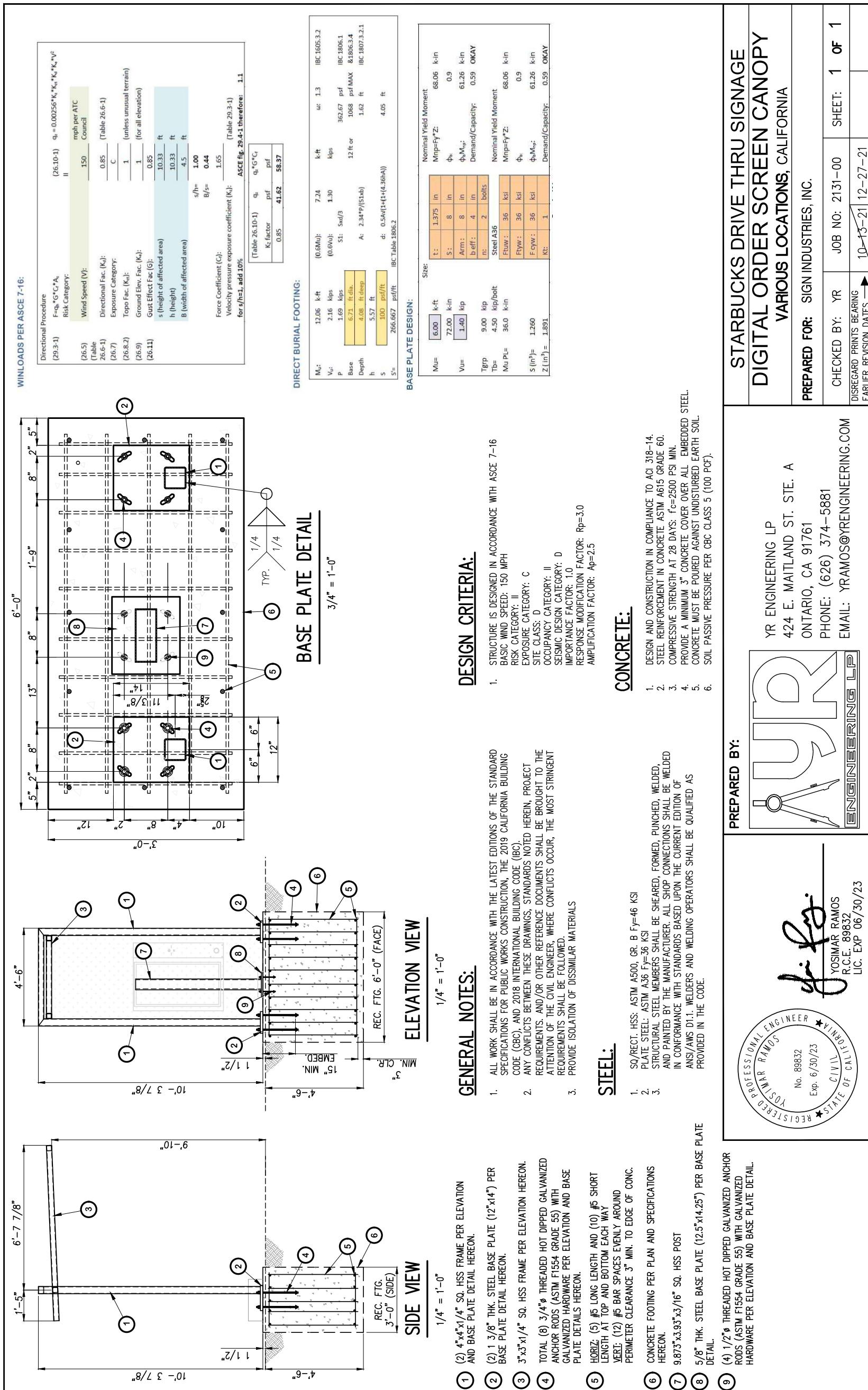
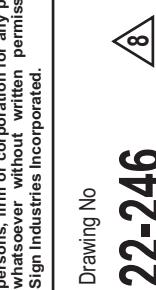
(26.10-1) $q_b = 0.00256 * K_d * K_g * K_s * \sqrt{V}$
II mph per ATC
150 Council
0.85 (Table 26.6-1)
C 1 (unless unusual terrain)
1 (for all elevation)
1.0 10.33 ft
10.33 ft
4.5 ft
 $s/h = 1.00$
 $B/s = 0.44$
 1.15
 1.1



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Drawing No

22-246Page: **7.2**



Location:
3100 CONTRA LOMA BLVD.
ANTIOCH, CA

Client Approval:

Date of Approval:

Sales Rep:

Paul L.

Date:

06-11-22

Drawn by:

L.S.

Electrical Requirement:

 120 Volts 277 Volts

O.C.

7

8

9

10

11

12

13



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Drawing No

22-246



Page: 8.0

Sq. Ft.
36

Scale: 1" = 3/4"

SIDE ELEVATION

1' - 1 1/2"

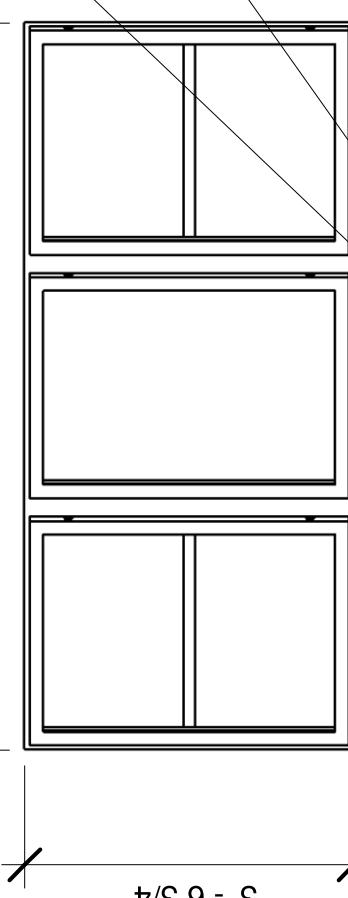
STEEL MOUNTING
BASE PLATE
WELDED TO
STEEL POST
HOT DIPPED
GALVANIZED LEVELING
NUTS (4) REQUIRED
NON-STRUCTURAL
BASE COVER

NATURAL GRADE OR
ENGINEERED FILL

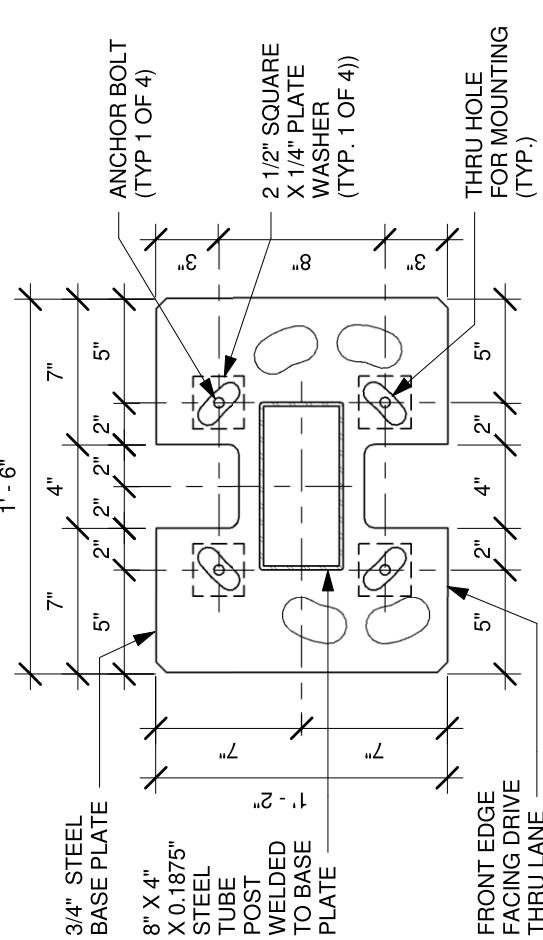
CONDUIT

2' - 6"
DIA.**FRONT ELEVATION**

7' - 10 1/2"

**5-PANEL MENU SIGN**

**SEE SHEET 8.1
FOR FOOTING/REBAR
DETAILS**

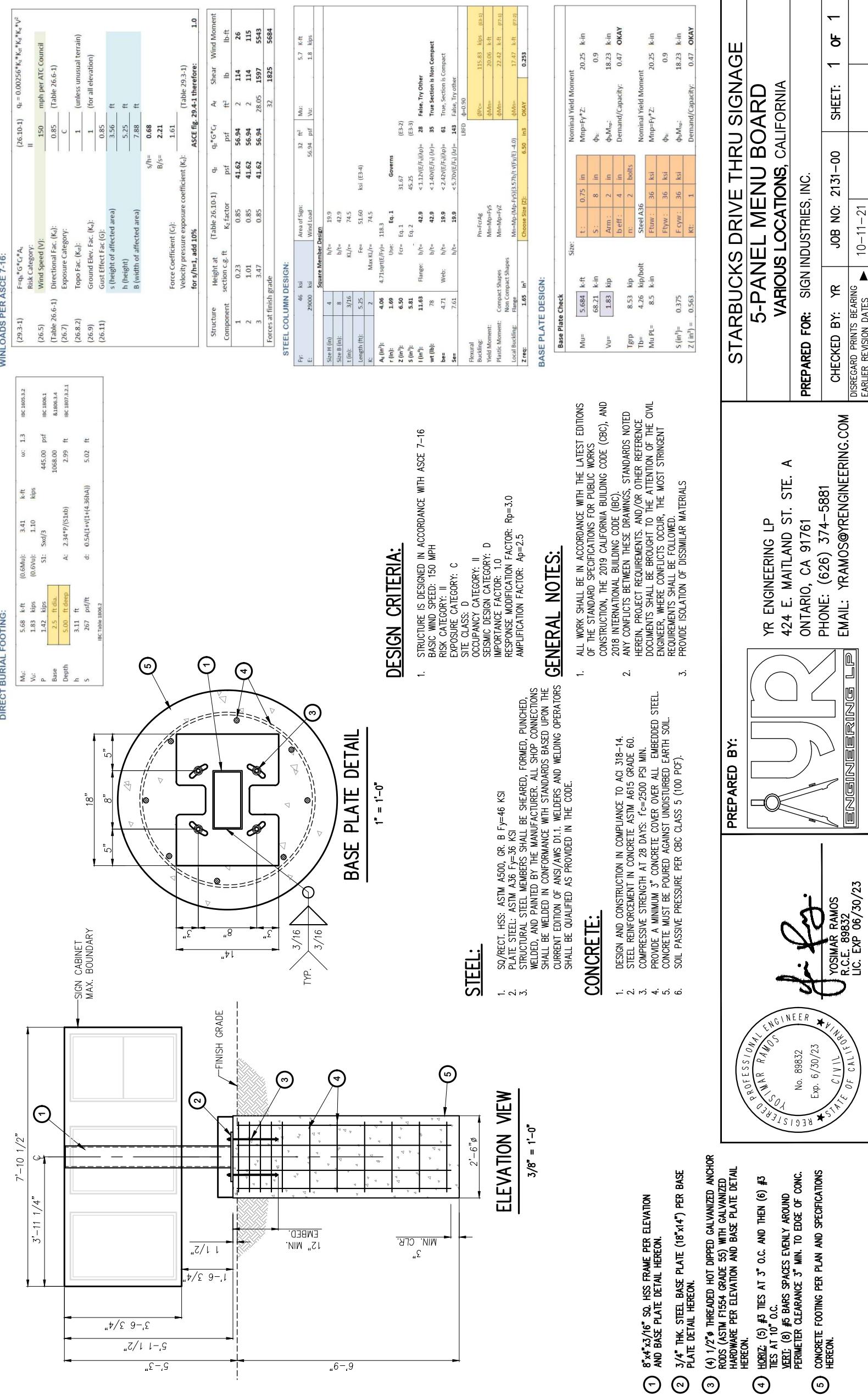


2
BASE PLATE

Scale: 1 1/2" = 1'-0"

B39

DRIVE THRU 5-PANEL MENU SIGN ~ Qty (1)
H INSTALLATION ONLY



Drawing No

22-246Page: **8.1**

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B40

ATTACHMENT "C"
3100 CONTRA LOMA BLVD.
ANTIOCH, CA

PROJECT DESCRIPTION:

NEW SHELL BUILDING AND SITE DEVELOPMENT FOR A 2,220 S.F. STARBUCKS.

HOURS OF OPERATION:

4 AM - 10 PM (7 DAYS A WEEK)

NUMBER OF EMPLOYEES AT EACH SHIFT:

30-35 TOTAL FULL AND PART TIME - PEAK WILL BE UP TO 8-II
SLOWER TIME WILL BE 4-5

SITE SUMMARY

SITE AREA: 39,455 S.F. 0.91 ACRES

BUILDING AREA: 2,220 S.F.

BUILDING COVERAGE PERCENTAGE: 5.6%

PARKING:

PARKING REQUIRED:

IN DOOR SEATING: 732 S.F. /50= 15 STALLS

OUT DOOR SEATING: 16 SEATS 6 STALLS

EMPLOYEE PARKING REQUIRED 4 STALLS

TOTAL PARKING REQUIRED: 25 STALLS

PARKING PROVIDED: 11 STALLS IN FRONT OF BUILDING
33 STALLS NEXT TO BUILDING

TOTAL PARKING PROVIDED: 44 STALLS

PARKING RATIO: 18/1000



ATTACHMENT "D"

CONTRA COSTA COUNTY FIRE PROTECTION DISTRICT

4005 PORT CHICAGO Hwy, STE 250, CONCORD, CA 94520 • (925) 941-3300 • CCCFPD.ORG

February 1, 2024

Ms. Zoe Merideth
City of Antioch
Planning
200 H Street
Antioch, CA 94509

Subject: New Starbucks and Drive-thru
3100 Contra Loma Blvd., Antioch
Project # DR2023-0011
CCCFPD Project No.: P-2024-000349

Dear Ms. Zoe Merideth:

We have reviewed the design review application to establish a 2,220 sq. ft. single story building of unknown construction type for a new Starbucks drive-thru at the subject location. The following is required for Fire District approval in accordance with the 2022 California Fire Code (CFC), the 2022 California Building Code (CBC), and Local and County Ordinances and adopted standards:

1. The Permittee shall pay all fire facility impact fees at the time of the issuance of the first building permit, at the then-current rate.
2. The Permittee shall request that the Project site be annexed into the most current Community Facilities District for fire protection and emergency response services (if applicable), or developer will provide an alternative funding mechanism acceptable to the Contra Costa Fire Protection District for the provision of fire protection and emergency response services.
3. Access as shown on plans complies with Fire District requirements.

Provide emergency apparatus access roadways with all-weather (paved) driving surfaces of not less than 20-feet unobstructed width, and not less than 13 feet 6 inches of vertical clearance, to within 150 feet of travel distance to all portions of the exterior walls of every building. Access shall have a minimum outside turning radius of 45 feet, and must be capable of supporting the imposed fire apparatus loading of 37 tons. (503) CFC

4. Access roadways of **less than 28-feet** unobstructed width shall have signs posted or curbs painted red with the words: **NO PARKING – FIRE LANE** clearly marked. (22500.1) CVC, (503.3) CFC

Access roadways of **28 feet or greater, but less than 36-feet** unobstructed width shall have **NO PARKING – FIRE LANE** signs posted, allowing for parking on one side only or curbs painted red with the words **NO PARKING – FIRE LANE** clearly marked. (22500.1) CVC, (503.3) CFC

5. The developer shall provide an adequate and reliable water supply for fire protection as set forth in the California Fire Code. (507.1) CFC
6. The developer shall provide an adequate and reliable water supply for fire protection with a minimum fire flow of 1500 GPM. Required flow must be delivered from not more than 1 hydrant

flowing for a duration of 120 minutes while maintaining 20-pounds residual pressure in the main. (507.1), (B105) CFC

7. A land development permit is required for access and water supply review and approval prior to submitting building construction plans.

The developer shall submit scaled site improvement plans indicating:

All existing or proposed hydrant locations,
Fire apparatus access to include slope and road surface
Aerial fire apparatus access,
Elevations of building,
Size of building and type of construction,
Gates, fences, retaining walls, bio-retention basins, any obstructions to access.
Detail showing the lowest level of fire department vehicle access and the floor level of the highest occupied floor,
Striping and signage plan to include "NO PARKING-FIRE LANE" markings

This is a separate submittal from the building construction plans. These plans shall be approved prior to submitting building plans for review. (501.3) CFC

8. ***Emergency apparatus access roadway and hydrants shall be installed, in service, and inspected by the Fire District prior to construction or combustible storage on site.*** (501.4) CFC

Note: A temporary aggregate base or asphalt grindings roadway is not considered an all-weather surface for emergency apparatus access. The first lift of asphalt concrete paving shall be installed as the minimum roadway material and must be engineered to support the designated gross vehicle weight of 37 tons.

9. The owner shall cut down and remove all weeds, grass, vines, or other growth that is capable of being ignited and endangering property. (304.1.2) CFC

10. The developer shall submit building construction plans and specifications for the subject project to the through the Fire District public portal (<https://confire.vision33cloud.com/citizenportal/app/landing>). After the new construction / tenant improvement plans are approved, plans and specifications for all deferred submittals shall be submitted, which may include, but not limited to the following.

- Private underground fire service water mains
- Fire sprinklers
- Fire alarm
- Carbon Dioxide Systems
- Aboveground/underground flammable/combustible liquid storage tanks
- Commercial kitchen hood extinguishing systems

All plan submittals shall be submitted to the through the Fire District public portal (<https://confire.vision33cloud.com/citizenportal/app/landing>) for review and approval prior to construction of the building or installation of the systems to ensure compliance with minimum requirements related to fire and life safety. Plan review and inspection fees shall be submitted at the time of plan review submittal. (105.4.1) CFC, (901.2) CFC, (107) CBC

TO SCHEDULE A FIRE DISTRICT INSPECTION OF THE ACCESS AND HYDRANT INSTALLATION PRIOR TO CONSTRUCTION OR THE STORAGE OF COMBUSTIBLE MATERIAL ON THE JOB SITE, CONTACT THE FIRE DISTRICT (MINIMUM 2 WORKING DAYS IN ADVANCE) AT 925-941-3300 EXT 3902 OR SCHEDULE THROUGH THE FIRE DISTRICT PUBLIC PORTAL UNDER THE CORRECT PERMIT NUMBER.

<https://confire.vision33cloud.com/citizenportal/app/landing>

Our preliminary review comments shall not be construed to encompass the complete project. Additional plans and specifications may be required after further review.

If you have any questions regarding this matter, please contact this office at (925) 941-3300.

Sincerely,



Michael Cameron
Fire Inspector

File: 3100 CONTRA LOMA BLVD-PLN-P-2024-000349