

CITY OF
ANTIOCH
CALIFORNIA

STAFF REPORT TO THE PLANNING COMMISSION

DATE: Regular Meeting of June 16, 2021

SUBMITTED BY: Jose Cortez, Associate Planner 

APPROVED BY: Forrest Ebbs, Community Development Director  *FE*

SUBJECT: **Natural Supplements (UP-20-01, AR-20-01)**

RECOMMENDED ACTION

It is recommended that the Planning Commission take the following actions:

1. Adopt the resolution recommending that the City Council APPROVE the Natural Supplements Initial Study/Mitigated Negative Declaration (IS/MND) and adopting the Mitigation Monitoring and Reporting Program (MMRP);
2. Adopt the resolution recommending that the City Council APPROVE a Use Permit, and Design Review (UP-20-01, AR-20-01) for a cannabis operations facility, subject to conditions of approval.

DISCUSSION

Requested Approvals

The Applicant, JKC3H8 requests approval of an Initial Study/Mitigated Negative Declaration, a Use Permit, and a Design Review for the development of a new cannabis operations facility. The proposed project would be developed on a 3.96-acre site that is currently undeveloped and is primarily a dirt lot with trees and other foliage. The subject property is located at 2100-2300 Wilbur Avenue (APN 051-100-028). Each request is described in detail below:

1. Natural Supplements Project IS/MND: The Planning Commission must recommend approval of the IS/MND and MMRP prior to taking action on the other resolution for the project.
2. Use Permit: The Applicant is requesting Use Permit approval of the proposed cannabis operations facility. The Planning Commission must recommend approval of the resolution for the Use Permit.

3. Design Review: The Applicant is requesting Design Review Approval of the two proposed buildings, an 11,200 square foot building (Building A) and a 19,500 square foot building (Building B), landscaping, and a parking lot.



Environmental

In accordance with the requirements of the California Environmental Quality Act (CEQA), an Initial Study and Mitigated Negative Declaration (IS/MND) was prepared for the proposed project and determined that all significant environmental impacts could be mitigated to a less-than-significant level with incorporation of mitigation. A copy of the public review draft of the Initial Study/Mitigated Negative Declaration and Final IS/MND, Mitigation Monitoring and Reporting Program (MMRP) and appendices can be found at the following link:

antiochca.gov/EnvironmentalDocs

Due to the State and Contra Costa County's Shelter-in-Place orders, publicly accessible locations to review the IS/MND were closed. Consistent with the Governor's Executive Order, posting materials on the City's website is adequate.

The IS/MND identified potentially significant impacts to aesthetics, air quality, biological resources, cultural resources, geology and soils, hazards and hazardous materials,

hydrology and water quality, and noise. The IS/MND concluded that all impacts would be reduced to a less than significant level with the implementation of mitigation measures. A MMRP was prepared and is included in Attachment A, Exhibit A

The draft Mitigated Negative Declaration was released for public review from May 7, 2021 to May 26, 2021. There were no comments received on the IS/MND during the public review period. According to CEQA Guidelines Section 15073, and 15074, the lead agency must consider the comments received during the public review period.

When the IS/MND was prepared for the proposed project, it was assumed that there were sewer services near the project site that the project could connect to. After the IS/MND was published, staff learned that the original assumption that there were sewer services in the area may have been inaccurate. The applicant has designed a septic system for the proposed project in absence of sewer services near the site. Staff does not believe that the absence of sewer services would have changed the analysis in the IS/MND and result in any additional significant impacts that would need to be mitigated. Staff has added a recommended condition in the attached resolution requiring the applicant connect to sewer services when they are located near the site.

Background

With the passage of Proposition 64 in November of 2016, California residents over the age of 21 can legally use marijuana without a medicinal card if not in a public place. Californians can carry and use up to one ounce of marijuana and grow up to six plants for personal use. Recreational sales of marijuana did not go into effect until January 1, 2018. The possession, sale and distribution of cannabis is now legal under California State law, subject to provisions contained in the law, including a state licensing requirement.

On May 2, 2018 the Planning Commission recommended to the City Council approval of an Ordinance amending Title 9, Chapter 5 of the Antioch Municipal Code, thereby creating new provisions for the consideration of cannabis businesses in the City of Antioch. The City Council introduced the ordinance on May 22, 2018 and approved the ordinance on June 26, 2018. The ordinance went into effect on July 26, 2018. The Code Amendment established new definitions, imposed basic standards, and created a new Cannabis Business (CB) Zoning Overlay District. Within the CB Zoning Overlay District, a party may apply for a Use Permit from the City Council for the establishment of a Cannabis Business. Unlike the typical use permit process, a cannabis use permit must be reviewed by the City Council after a recommendation by the Planning Commission.

On September 11, 2018 the Antioch City Council adopted Cannabis Guidelines by approval of Resolution No. 2018/117. The purpose of the guidelines is to provide the public and potential applicants with the City of Antioch's general expectations relating to the design and operation of a Cannabis Business.

On April 9, 2019 the City Council introduced an ordinance to amend Chapter 5 of Title 9 of the Antioch Municipal Code to update the cannabis ordinance to include requirements for a development agreement, make minor changes to the definitions, and require a 600-foot separation from cannabis uses and child care centers. The City Council approved the ordinance on April 23, 2019, and the ordinance went into effect 30 days later. The amendment to the ordinance requires each cannabis business to enter into a development agreement that contractually defines the benefits that the cannabis business will provide to the City. Existing Use Permit applications are subject to new ordinances and amendments only if the ordinance goes into effect before the application is deemed "complete." The applicant has stated to staff that they are willing to enter into a development agreement, and the site is not located within 600 feet of a childcare center.

On October 27, 2020, the Antioch City Council adopted Amendments to the Cannabis Business Ordinance by approval of Ordinance No. 2191-C-S. The purpose of the amendments was to provide a definition of Commercial Cannabis Use, replace the requirement for a development agreement with a requirement for an operating agreement, and specifying the minimum conditions of an operating agreement.

ANALYSIS

Project Overview

The applicant proposes to operate a cannabis operations facility consisting of a Type 10 'Retail Storefront and Delivery', a Type 11 'Distributor', a Type 7 'Manufacturer' and, a Type 3A 'Medium Indoor Cultivation' license located at 2100-2300 Wilbur Avenue. The cannabis operations would occur in two new buildings proposed as part of this project. Building A would consist of an approximately 11,200-square-foot commercial use that would include rooms for cannabis sales, products, packaging, labeling, and storage. Building A, in total would include approximately 2,558 square feet of retail space, approximately 2,776 square feet of distribution space, and 792 square feet of manufacturing space. The remainder of Building A is built out into various miscellaneous rooms that include cold storage rooms, mechanical rooms, breakrooms, and offices.

Building B would consist of an approximately 19,500-square-foot industrial use that would include 10 cannabis cultivation rooms that are approximately 1,250 square feet, 2 incubation rooms that are 525 square feet, and a 905 square foot processing room. Similar to Building A, the remainder of Building B is comprised of various offices, mechanical, and storage rooms.

Additionally, 79 parking stalls are proposed to accommodate the proposed cannabis uses. The applicant states a total of 36 employees will work during the week on differing shifts. For example the retail employees would work three (3) shifts:

Shift 1: Shall occur between the hours of 8am and 12pm
Shift 2: Shall occur between the hours of 12pm and 4pm

Shift 3: Shall occur between the hours of 4pm and 8pm

The proposed parking is adequate for the proposed cannabis uses proposed on site.

Project plans and a detailed description of the facility are included as Attachments "C" and "D", respectively, to the staff report.

General Plan, Zoning, and Land Use

The site is located within the General Plan's Eastern Waterfront Employment Focus Area and is designated as Industrial. The zoning of the site is Planned Business Center (PBC), which allows office centers, research and development facilities, limited industrial activities (including production and assembly, but no raw materials processing or bulk handling), limited warehouse type retail and commercial activities, and small-scale warehousing distribution and also the Cannabis Overlay District (CB). Cannabis operation facilities are allowed in the Cannabis Overlay District subject to the approval of a use permit by the Planning Commission.

The surrounding land uses and zoning designations are noted below:

North:	Industrial Uses / Heavy Industrial (M-2) & Cannabis Overlay
South:	Industrial Uses / Planned Business Center (PBC) & Cannabis Overlay
East:	Industrial Uses / Planned Business Center (PBC) & Cannabis Overlay
West:	Industrial Uses / Planned Business Center (PBC) & Cannabis Overlay

Site Plan

The site is approximately 3.96-acres in size and undeveloped and is primarily a dirt lot with trees and other foliage. The site is currently accessed via a driveway along Wilbur Avenue that gives access to an access road to the site. The site would be developed with four (4) access gates, one (1) employee entrance, one (1) public entrance, and two (2) fire access gates. The applicant proposes the cannabis operation facility with two buildings, 79 employee and customer parking spaces, and two new buildings (Building A 11,200-square-foot and Building B 19,500-square-foot). A new wrought iron fence will be installed along the north, east, and western boundaries and maintain a chain-link fence along the southern boundary in order to secure the area.

Building A would consist of commercial use that would include rooms for cannabis sales, products, packaging, labeling, and storage. Building A, in total would include approximately 2,558 square feet of retail space that includes a 125 square foot security check point, a 2,776 square feet of distribution space, and 792 square feet of manufacturing space. The applicant proposes an open concept retail sales area. Following security clearance and verification of customer age and credentials, customers awaiting entry into the Sales Room, customers will be able to browse Natural Supplements selection of products.

Building B would include 10 cannabis cultivation rooms that are approximately 1,250 square feet, 2 incubation rooms that are 525 square feet, and a 905 square foot processing room. The primary activity in the operation of the cultivation operation would involve the cultivation of 'flowering cannabis plants within the cultivation area.

Security Plan

As part of their application the applicant submitted a security plan for the site. The security plan addressed the following issues:

- Physical elements of the site such as location of the building, outdoor lighting, and parking areas.
- Electronic security such as motion sensors, controlled access areas, and surveillance cameras.
- Compliance and procedures such as inventory management, cash handling, and employee training.
- On site physical security services related to the number of physical security guards present at the site.

The security plan was reviewed by the Antioch Police Department. After the review was complete, the Police Department, Planning staff, and the applicant met to review the plan. During the meeting, Police Department staff provided the applicant with feedback on their security plan, as well as additional site-specific security measures that they would like to see implemented. The proposed security measures are consistent with the security expectations detailed in the Cannabis Guidelines.

Staff has included a condition in the attached resolution requiring the Antioch Police Department to conduct a site inspection to assess the security of the site prior to a certificate of occupancy being issued for the site. Any changes that the Antioch Police Department deem necessary upon site inspection will be incorporated into a revised site security plan that will then be submitted for their review and approval. No certificate of occupancy will be issued without final approval of a site security plan by the Antioch Police Department. In addition to the security inspection prior to issuance of certificate of occupancy, the business is required to submit to annual security audits conducted by a third party or City staff.

Neighborhood Responsibility Plan

As part of the application, the applicant submitted a neighborhood responsibility plan detailing their efforts to mitigate any potential impacts that the business may cause (Attachment D). The plan details the steps they will take to establish a relationship in the community and good neighbor policies that will be established. JKC3H8 (Natural Supplements) is cognizant of the potential problems and nuisances that can arise from

operating a cannabis operation, the plan outlines how they will mitigate those potential issues that may arise.

The applicant has also committed to engage with law enforcement to identify and provide any assistance in the City's effort to eliminate illegal cannabis operations in the City.

Finally, according to the plan, JKC3H8 shall develop or contribute to a City approved public outreach and educational program for youth organizations and educational institutions that outlines the risks of youth addiction to cannabis, and identifies resources available to youth related to drugs and drug addiction.

Operational Issues

The applicant has submitted an odor mitigation plan that discusses the measures they will take to ensure that cannabis odors will not be detected at or beyond the site. Staff had the applicant's odor mitigation plan peer reviewed by the Engineering firm Blair, Church, & Flynn to ensure that the odor mitigation plan was adequate for the size and type of facility. Staff has taken Blair, Church, & Flynn's recommendations regarding the odor mitigation plans and added them as recommended conditions of approval. Once building permits are submitted for the project, the plans will be reviewed for compliance with the recommended odor mitigation measures. Staff has also included a condition of approval requiring that adequate on-site odor control measures are maintained at all times and that cannabis odors cannot be readily detected outside the structures in which the business operates.

Staff has also included a condition of approval addressing site management and requiring the cannabis business operator to take "reasonable steps" to discourage and address objectionable conditions that constitute a nuisance in parking areas, sidewalks, and areas surrounding the premises during business hours if directly related to patrons of the business. Staff has also included a condition of approval prohibiting the smoking or ingestion of cannabis products on-site.

Use Permit

The City of Antioch Municipal Code requires a Use Permit for cannabis uses such as retail and cultivation uses; therefore, the applicant is requesting a Use Permit approval of Natural Supplements Cannabis facility. Use Permits are required for land uses that may be suitable only in specific locations or require special consideration in their design, operation, or layout to ensure compatibility with surrounding uses.

The PBC Zoning District provides for a wide range of industrial activities, warehouse type retail and commercial activities, and small-scale warehousing distribution. The proposed use complies with the underlying zoning and goals in that it adds a retail, warehousing, and an industrial type use within the district.

Design Review and Landscaping

Per Section 9-5.2607 of the Antioch Municipal Code (AMC), all new development within the City is subject to Design Review approval. The purpose of the Design Review process is to promote the orderly development of the City, encourage high quality site design and planning, protect the stability of land values and investments, and ensure consistency with the Citywide Design Guidelines.

The applicant proposes new buildings that are most similar to butler buildings. The new buildings are of metal construction, typical of those in industrial areas with textured wall panels, and siding. The buildings average a height of around 20 feet and is compatible in height to buildings in its vicinity. The color palette for the building is a mix of gray, white and burgundy for the various elevations. The panels on the building will be "Aspen White", the siding is proposed as Gray II, and the textured wall panel system to be "Fine Burgandy". The proposed colors are acceptable for the industrial district they are proposed in. In general, the project complies with the Citywide Design guidelines and staff is satisfied with the proposed design of the project.

The conceptual landscaping plan includes landscaping for the project frontage and the internal site. The applicant proposes to plant Crepe Myrtle trees and Carpet Roses bushes along the project frontage and within the interior planting areas. The landscaping is incorporated into the frontage to soften the building exteriors and assist with the transition and buffering between uses from the cannabis operations and the other neighboring industrial uses. The proposed landscaping also helps in defining the front and entrances of the property. The proposed landscaping complies with the objectives of the Citywide Design Guidelines.

ATTACHMENTS

- A. Initial Study/ Mitigated Negative Declaration Resolution
Exhibit A Mitigation Monitoring and Reporting Program
- B. Use Permit and Design Review Resolution
- C. Project Plans
- D. Project Description
- E. CCCFD Comment Letter

ATTACHMENT A

Initial Study / Mitigated Negative Declaration Resolution

**PLANNING COMMISSION
RESOLUTION NO. 2021-****

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ANTIOCH
RECOMMENDING THE CITY COUNCIL ADOPT THE
INITIAL STUDY AND MITIGATED NEGATIVE DECLARATION AND MITIGATION
MONITORING PROGRAM FOR A CANNABIS OPERATIONS FACILITY WITH
INDOOR CULTIVATION, DISTRIBUTION, MANUFACTURING AND RETAIL
DISPENSARY WITH DELIVERY AS ADEQAUTE FOR ADDRESSING THE
ENVIRONMENTAL IMPACTS OF THE PROPOSED PROJECT**

WHEREAS, the City of Antioch (“City”) received an application from JKC3H8 (Natural Supplements) (“Applicant”) for approval of an Initial Study / Mitigated Negative Declaration, Use Permit, and Design Review, for the development of a cannabis operations facility on a 3.96-acre site. The project site is located at 2100-2300 Wilbur Avenue (UP-20-01, AR-20-01) (051-100-028);

WHEREAS, the City prepared an Initial Study and Mitigated Negative Declaration, to evaluate the potential environmental impacts of the Project in conformance with Section 15070 of Title 14 of the California Code of Regulations (the “CEQA Guidelines”);

WHEREAS, an IS/MND was circulated for a 20-day review period, with the public review period commencing on May 7, 2021 and ending on May 26, 2021;

WHEREAS, the Planning Commission has reviewed the IS/MND for this Project;

WHEREAS, the Planning Commission duly gave notice of public hearing as required by law;

WHEREAS, on June 16, 2021, the Planning Commission duly held a public hearing on the matter, and received and considered evidence, both oral and documentary and documentary;

WHEREAS, the custodian of the Final IS/MND is the Community Development Department and the Final IS/MND was available for public review on the City’s website at: <https://www.antiochca.gov/community-development-department/planning-division/environmental-documents/>. Due to the State and Contra Costa County’s Shelter-in-Place orders, publicly accessible locations to review the IS/MND were closed. Consistent with the Governor’s Executive Order, posting materials on the City’s website was adequate. The MMRP is attached as Exhibit A to this Resolution.

NOW, THEREFORE, BE IT RESOLVED AND DETERMINED, as follows:

1. The foregoing recitals are true and correct.

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2. The Planning Commission of the City of Antioch hereby FINDS on the basis of the whole record before it (including the Initial Study and all comments received) that:
 - a. The City of Antioch exercised overall control and direction over the CEQA review for the Project, including the preparation of the Final IS/MND, and independently reviewed the Final IS/MND and MMRP;
 - b. There is no substantial evidence that the Project will have a significant effect on the environment once mitigation measures have been followed and assuming approval of the Use Permit and Design Review; and
 - c. The Final IS/MND and MMRP reflect the City's independent judgment and analysis.
3. The Planning Commission hereby RECOMMENDS APPROVAL to the City Council of the IS/MND, and MMRP for the Project (Exhibit A).

* * * * *

I HEREBY CERTIFY the foregoing resolution was duly adopted by the Planning Commission of the City of Antioch at a regular meeting thereof held on the 16th day of June 2021.

AYES:

NOES:

ABSTAIN:

ABSENT:

Forrest Ebbs
Secretary to the Planning Commission

ATTACHMENT A

Exhibit A:

Mitigation Monitoring and Reporting Program

MITIGATION MONITORING AND REPORTING PROGRAM

This Draft Mitigation Monitoring and Reporting Program (MMRP) has been formulated based upon the findings of the Initial Study/Mitigated Negative Declaration (IS/MND) prepared for the Antioch Natural Supplements Project (project) submitted by Natural Supplements (the project sponsor) for which the City of Antioch (City) is the CEQA Lead Agency for environmental review. The MMRP, which is provided in Table A, lists mitigation measures recommended in the IS/MND for the proposed project and identifies mitigation monitoring requirements. The Final MMRP must be adopted when the City makes a final decision on the project.

This MMRP has been prepared to comply with the requirements of State law (Public Resources Code Section 21081.6). State law requires the adoption of an MMRP when mitigation measures are required to avoid significant impacts. The MMRP is intended to ensure compliance during implementation of the project.

The MMRP is organized in a matrix format:

- The first column identifies the mitigation measure that would be implemented for each project impact.
- The second column refers to the party or agency responsible for implementing the mitigation measure.
- The third column refers to the action that prompts implementation and/or implementation timing.
- The fourth column refers to the agency responsible for oversight or ensuring that the mitigation measure is implemented.
- The fifth column refers to the action that prompts the commencement of monitoring.
- The sixth column refers to when the monitoring will occur to ensure that the mitigation action is completed.
- The seventh and final column is where the lead agency contact initials and dates are provided as verification of mitigation measure implementation.

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Table A: Mitigation Monitoring and Reporting Program

Mitigation Measures	Party Responsible for Implementation	Implementation Trigger/Timing	Agency Responsible for Monitoring	Monitoring Action	Monitoring Frequency	Verified Implementation
4.1 AESTHETICS						
Mitigation Measure AES-1: Outdoor lighting (building facade lighting, security lighting, and parking lot lighting) shall be designed to minimize glare and spillover to surrounding properties. The project design and building materials, shall incorporate non-mirrored glass to minimize daylight glare. The lighting plan of the proposed project shall be reviewed and approved by the City's Planning Division during Design Review prior to issuance of a building permit.	Project Applicant	Prior to issuance of a building permit	City of Antioch Community Development Department	Lighting designs review and approval	Before the start of construction	Initials: _____ Date: _____
4.3 AIR QUALITY						
Mitigation Measure AIR-1: In order to meet the Bay Area Air Quality Management District (BAAQMD) fugitive dust threshold, the following BAAQMD Basic Construction Mitigation Measures shall be implemented:	Construction Manager	During grading and construction activities	City of Antioch Public Works Department	Construction schedule, equipment, and site to be reviewed and inspected for compliance with BAAQMD Basic Construction Mitigation Measures	Before the start of construction and continually during construction	Initials: _____ Date: _____
<ul style="list-style-type: none"> ● All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day. ● All haul trucks transporting soil, sand, or other loose material off-site shall be covered. ● All visible mud or dirt tracked-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited. ● All vehicle speeds on unpaved roads shall be limited to 15 mph. ● All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. ● Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used. ● Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the 						

Table A: Mitigation Monitoring and Reporting Program

Mitigation Measures	Party Responsible for Implementation	Implementation Trigger/Timing	Agency Responsible for Monitoring	Monitoring Action	Monitoring Frequency	Verified Implementation
<p>California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]. Clear signage shall be provided for construction workers at all access points.</p> <ul style="list-style-type: none"> All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation. A publicly visible sign shall be posted with the telephone number and person to contact at the City of Antioch regarding dust complaints. This person shall respond and take corrective action within 48 hours. The BAAQMD's phone number shall also be visible to ensure compliance with applicable regulations. 						
4.4 BIOLOGICAL RESOURCES	Project Applicant/ Project Biologist	During the breeding season (February 1 through August 31)	City of Antioch Community Development Department	Pre-construction survey within 15 to 30 days prior to the start of work, ensure establishment and maintenance of buffer	Before the start of construction and continually during construction	Initials: _____ Date: _____

Table A: Mitigation Monitoring and Reporting Program

Mitigation Measures	Party Responsible for Implementation	Implementation Trigger/Timing	Agency Responsible for Monitoring	Monitoring Action	Monitoring Frequency	Verified Implementation
would be based on the nesting species, its sensitivity to disturbance, and the expected types of disturbance.						
4.5 CULTURAL RESOURCES Mitigation Measure CULT-1: Should an archaeological deposit be encountered during project subsurface construction activities, all ground-disturbing activities within 25 feet shall be redirected and a qualified archaeologist meeting the Secretary of the Interior's Professional Qualifications Standards for Archaeology contacted to assess the situation, determine if the deposit qualifies as a historical resource, consult with agencies as appropriate, and make recommendations for the treatment of the discovery. If the deposit is found to be significant (i.e., eligible for listing in the California Register of Historical Resources), the applicant shall be responsible for funding and implementing appropriate mitigation measures. Mitigation measures may include recordation of the archaeological deposit, data recovery and analysis, and public outreach regarding the scientific and cultural importance of the discovery. Upon completion of the selected mitigations, a report documenting methods and findings shall be prepared and submitted to the City for review, and the final report shall be submitted to the Northwest Information Center at Sonoma State University. Significant archaeological materials shall be submitted to an appropriate curation facility and used for public interpretive displays, as appropriate and in coordination with a local Native American tribal representative.	Project Applicant/ Construction Manager/ Qualified Archaeologist	During all ground- disturbing activities and after resources are identified	City of Antioch Community Development Department	Initiated in the event that a find is made during construction	During regularly scheduled site inspections that would be initiated in the event that a find is made during construction	Initials: _____ Date: _____

The applicant shall inform its contractor(s) of the sensitivity of the project area for archaeological deposits and shall verify that the following directive has been included in the appropriate contract documents:
"The subsurface of the construction site may be sensitive for

Table A: Mitigation Monitoring and Reporting Program

Mitigation Measures	Party Responsible for Implementation	Implementation Trigger/Timing	Agency Responsible for Monitoring	Monitoring Action	Monitoring Frequency	Verified Implementation
<p><i>Native American archaeological deposits. If archaeological deposits are encountered during project subsurface construction, all ground-disturbing activities within 25 feet shall be redirected and a qualified archaeologist contacted to assess the situation, and make recommendations for the treatment of the discovery. Project personnel shall not collect or move any archaeological materials.</i></p> <p><i>Archaeological deposits can include shelffish remains; bones; flakes of, and tools made from, obsidian, chert, and basalt; and mortars and pestles. Contractor acknowledges and understands that excavation or removal of archaeological material is prohibited by law and constitutes a misdemeanor under California Public Resources Code, Section 5097.5.”</i></p>						

Table A: Mitigation Monitoring and Reporting Program

Mitigation Measures	Party Responsible for Implementation	Implementation Trigger/Timing	Agency Responsible for Monitoring	Monitoring Action	Monitoring Frequency	Verified Implementation
3.7 GEOLOGY AND SOILS						
Mitigation Measure GEO-1: Should paleontological resources be encountered during project subsurface construction activities, all ground-disturbing activities within 25 feet shall be redirected and a qualified paleontologist contacted to assess the situation, consult with agencies as appropriate, and make recommendations for the treatment of the discovery. For purposes of this mitigation, a "qualified paleontologist" shall be an individual with the following qualifications: (1) a graduate degree in paleontology or geology and/or a person with a demonstrated publication record in peer-reviewed paleontological journals; (2) at least two years of professional experience related to paleontology; (3) proficiency in recognizing fossils in the field and determining their significance; (4) expertise in local geology, stratigraphy, and biostratigraphy; and (5) experience collecting vertebrate fossils in the field. If the paleontological resources are found to be significant and project activities cannot avoid them, measures shall be implemented to ensure that the project does not cause a substantial adverse change in the significance of the paleontological resource. Measures may include monitoring, recording the fossil locality, data recovery and analysis, a final report, and accessioning the fossil material and technical report to a paleontological repository. Upon completion of the assessment, a report documenting methods, findings, and recommendations shall be prepared and submitted to the City of Antioch for review. If paleontological materials are recovered, this report also shall be submitted to a paleontological repository such as the University of California Museum of Paleontology, along with significant paleontological materials. Public educational outreach may also be	Project Applicant/ Construction Manager/ Qualified Paleontologist	During all ground-disturbing activities and after resources are identified	City of Antioch Community Development Department	Initiated in the event that a find is made during construction	During regularly scheduled site inspections initiated after a find is made during construction	Initials: _____ Date: _____

Table A: Mitigation Monitoring and Reporting Program

Mitigation Measures	Party Responsible for Implementation	Implementation Trigger/Timing	Agency Responsible for Monitoring	Monitoring Action	Monitoring Frequency	Verified Implementation
The project applicant shall inform its contractor(s) of the sensitivity of the project site for paleontological resources and shall verify that the following directive has been included in the appropriate contract documents: <i>"The subsurface of the construction site may be sensitive for fossils. If fossils are encountered during project subsurface construction, all ground-disturbing activities within 25 feet shall be redirected and a qualified paleontologist contacted to assess the situation, consult with agencies as appropriate, and make recommendations for the treatment of the discovery. Project personnel shall not collect or move any paleontological materials. Fossils can include plants and animals, and such trace fossil evidence of past life as tracks or plant imprints. Ancient marine sediments may contain invertebrate fossils such as snails, clam and oyster shells, sponges, and protozoa; and vertebrate fossils such as fish, whale, and sea lion bones. Contractor acknowledges and understands that excavation or removal of paleontological material is prohibited by law and constitutes a misdemeanor under California Public Resources Code, Section 5097.5."</i>						
3.9 HAZARDS AND HAZARDOUS MATERIALS	Project Applicant	Prior to issuance of a grading permit	City of Antioch Community Development Department	Review and approval of soil sampling analysis and Site Management Plan	Before the start of construction	Initials: _____ Date: _____

Mitigation Measure HAZ-1: Prior to the issuance of grading permits, a limited soil, gas and groundwater investigation shall be conducted at the site to determine whether regulated contaminants are present in the site subsurface at levels above established construction worker screening levels. Any soil with concentration levels that exceed California State Title 26 threshold limits would be classified as a hazardous material. Once the soil sampling analysis is complete, a report of the findings shall be provided to the City of Antioch for review prior to issuance of grading

Table A: Mitigation Monitoring and Reporting Program

Mitigation Measures	Party Responsible for Implementation	Implementation Trigger/Timing	Agency Responsible for Monitoring	Monitoring Action	Monitoring Frequency	Verified Implementation
permits. If contaminated soils are found in concentrations above established thresholds for worker safety, a Site Management Plan (SMP) shall be prepared by a qualified hazardous materials consultant to establish management practices for handling contaminated soil or other materials encountered during construction activities.						
3.10 HYDROLOGY AND WATER QUALITY	Project Applicant/ Construction Manager	Prior to approval of the grading plan	City of Antioch Community Development Department	SWPPP review and approval	Before start of construction	Initials: _____ Date: _____

3.10 HYDROLOGY AND WATER QUALITY

Mitigation Measure HYD-1: Prior to construction, the project applicant shall prepare and implement a Final SWPPP, meeting Construction General Permit requirements (State Water Resources Control Board Order No. 2009-000-DWQ, as amended) designed to reduce potential adverse impacts to surface water quality through the project construction period. The Final SWPPP shall be submitted to the Planning Manager of the City of Antioch Planning Department for review and approval prior to the issuance of any permits for ground-disturbing activity.

The Final SWPPP shall be prepared by a Qualified SWPPP Developer in accordance with the requirements of the Construction General Permit. Requirements include BMPs for erosion and sediment control, site management/housekeeping/waste management, management of non-storm water discharges, run-on and runoff controls, and BMP inspection/maintenance/repair activities. BMP implementation shall be consistent with the BMP requirements in the most recent version of the California Stormwater Quality Association *Stormwater Best Management Handbook-Construction*.

The Final SWPPP shall include a construction site monitoring program that identifies requirements for dry weather visual observations of pollutants at all discharge locations, and as appropriate (depending on the Risk Level), sampling of the site effluent and receiving waters. A

Table A: Mitigation Monitoring and Reporting Program

Mitigation Measures	Party Responsible for Implementation	Implementation Trigger/Timing	Agency Responsible for Monitoring	Monitoring Action	Monitoring Frequency	Verified Implementation
Qualified SWPPP Practitioner shall be responsible for implementing the BMPs at the site and performing all required monitoring and inspection/maintenance/repair activities.						
Mitigation Measure HYD-2: The project applicant shall fully comply with the Water Board storm water permit requirements, including Contra Costa County C.3 Storm water Standards. The project applicant shall prepare and implement a Storm water Control Plan (SCP) for the project. The SCP shall be submitted to the Planning Manager of the City of Antioch Planning Department for review and approval prior to issuance of any permits for ground disturbing activities. The SCP would act as the overall program document designed to provide measures to mitigate potential water quality impacts associated with the operation of the proposed project. The SCP shall provide measures that are consistent with those of the California State Water Boards Cannabis Cultivation Policy to ensure that cannabis production on site mitigates potential water quality issues. At a minimum, the SCP for the project shall include:	Project Applicant/ Project Engineer	Prior to approval of the final grading plan	City of Antioch Community Development Department	Stormwater Control Plan review and approval	Before start of construction	Initials: _____ Date: _____

- An inventory and accounting of existing and proposed impervious areas.
- Low Impact Development (LID) design details incorporated into the project. Specific LID design may include, but is not limited to using pervious pavements and green roofs, dispersing runoff to landscaped areas, and/or routing runoff to the storm water basin that would be developed on site as part of the project design.
- Measures to address potential storm water contaminants. These may include measures to cover or

Table A: Mitigation Monitoring and Reporting Program

Mitigation Measures	Party Responsible for Implementation	Implementation Trigger/Timing	Agency Responsible for Monitoring	Monitoring Action	Monitoring Frequency	Verified Implementation
<p>control potential sources of storm water pollutants at the project site.</p> <ul style="list-style-type: none"> A Final Storm Water Facility Operation and Maintenance Plan for the project site, which shall include periodic inspection and maintenance of the storm drainage system. Persons responsible for performing and funding the requirements of this plan shall be identified. This plan must be finalized prior to issuance of building permits for the project. 						
<p>3.13 NOISE</p> <p>Mitigation Measure NOI-1: Construction Noise. Prior to commencement of construction activities, City staff shall verify that grading and construction plans include the following requirements to ensure that the greatest distance between noise sources and sensitive receptors during construction activities has been achieved:</p> <ul style="list-style-type: none"> Construction activities occurring as part of the project shall be subject to the limitations and requirements of the City of Antioch Municipal Code, which states that construction activities are prohibited between the hours of 6:00 p.m. and 7:00 a.m. on weekdays and between 5:00 p.m. and 9:00 a.m. on weekends and holidays. During all project area excavation and on-site grading, the project contractors shall equip all construction equipment, fixed or mobile, with properly operating and maintained mufflers consistent with manufacturers' standards. 	Project Applicant/ Construction Manager	During the construction period	City of Antioch Community Development Department	Construction schedule review and approval	Initials: _____ Date: _____ During construction	

Source: LSA (2021).

ATTACHMENT B

Use Permit and Design Review Resolution

**PLANNING COMMISSION
RESOLUTION NO. 2021-****

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ANTIOCH
RECOMMENDING THAT THE CITY COUNCIL APPROVE A USE PERMIT AND
DESIGN REVIEW (UP-20-01, AR-20-01) FOR A CANNABIS OPERATIONS FACILITY
WITH INDOOR CULTIVATION, DISTRIBUTION, MANUFACTURING AND RETAIL
DISPENSARY WITH DELIVERY AT 2100-2300 WILBUR AVENUE**

WHEREAS, the City of Antioch (“City”) received an application from JKC3H8 (Natural Supplements) (“Applicant”) for approval of an Initial Study / Mitigated Negative Declaration, Use Permit, and Design Review, for the development of a cannabis operations facility on a 3.96-acre site. The project site is located at 2100-2300 Wilbur Avenue (UP-20-01, AR-20-01) (051-100-028);

WHEREAS, an Initial Study / Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program was prepared in accordance with the California Environmental Quality Act (CEQA) Guidelines Section 15162, and considered by the Planning Commission on June 16, 2021;

WHEREAS, on June 16, 2021, the Planning Commission recommended adoption to the City Council of the Initial Study / Mitigated Negative Declaration, Mitigation Monitoring and Reporting Program for the project.

WHEREAS, the Planning Commission duly gave notice of public hearing as required by law; and

WHEREAS, the Planning Commission on June 16, 2021, duly held a public hearing, received and considered evidence, both oral and documentary;

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby makes the following findings required to recommend that the City Council approve a Cannabis Business Use Permit:

1. The granting of such Use Permit will not be detrimental to the public health or welfare or injurious to the property or improvements in such zone or vicinity.

The proposed cannabis business is required to comply with multiple conditions of approval that address the project’s impact on public health and the properties in the vicinity. On-site armed security is required at all times while the dispensary is open and a security company who conducts hourly drive-by surveillance of the site and responds to any alarm at the location. Annual audits of the site security plan by City staff or a third-party company subject to the approval of the Antioch Police Department are required. The business shall also maintain on-site odor control so

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that cannabis related odors are not readily detected outside the structure. Based upon the conditions imposed, the cannabis dispensary use will not create adverse impacts to the surrounding businesses and residents.

2. The use applied at the location indicated is properly one for which a Use Permit is authorized.

The site is zoned Cannabis Overlay District. The Cannabis Overlay District allows cannabis businesses with the approval of a use permit.

3. The site for the proposed use is adequate in size and shape to accommodate such use, and all parking, and other features required.

The proposed site is 3.96-acres and adequate in size and shape to accommodate the proposed cannabis operations facility with ample parking. The proposed retail, cultivation, distribution, and other uses will have sufficient parking that meets that required by the Antioch Municipal Code (AMC).

4. The site abuts streets and highways adequate in width and pavement type to carry the kind of traffic generated by the proposed use.

The project site is currently undeveloped and is located along Wilbur Avenue, which is adequate in width and pavement type to carry the traffic generated by the proposed use.

5. The granting of such Use Permit will not adversely affect the comprehensive General Plan.

The use will not adversely affect the comprehensive General Plan because the project is consistent with the General Plan designation for the site of Industrial and will be located within new buildings.

NOW, THEREFORE, BE IT FURTHER RESOLVED that the Planning Commission of the City of Antioch hereby **RECOMMENDS THAT THE CITY COUNCIL APPROVE** the Use Permit and Design Review for a cannabis operations facility (UP-20-01, AR-20-01), located at 2600 Wilbur Avenue (APN 051-032-009) subject to the following conditions:

A. GENERAL CONDITIONS

1. The development and all proposed improvements shall comply with the City of Antioch Municipal Code and City Standards, unless a specific exception is granted thereto or approved by the City Engineer.

2. City staff shall inspect the site for compliance with conditions of approval prior to final inspection approval.
3. No permits or approvals, whether discretionary or mandatory, shall be considered if the applicant is not current on fees, reimbursement payments and other monies that are due.
4. The applicant shall obtain an encroachment permit for all work to be done within the public right-of-way or easement, and peak commute-hour traffic shall not be impeded by construction-related activity.
5. All required easements or rights of entry for off-site improvements shall be obtained by the applicant at no cost to the City of Antioch. Advance permission shall be obtained from any property or easement holders for any work done within such property or easements.
6. All existing easements shall be identified on the site plan and all plans that encroach into existing easements shall be submitted to the easement holder for review and approval, and advance written permission shall be obtained from any property owner or easement holder for any work done within such property or easement.
7. All access drive aisles shall be constructed per current ADA and City standards, subject to review and approval by the City Engineer.
8. All cracked, broken or damaged concrete curb, gutter and/or sidewalks in the public right-of-way along the project frontage shall be removed and replaced as required by the City Engineer and at no cost to the City.
9. On site Asphalt paving shall be designed for a minimum traffic index (TI) of 5.5 and shall have a minimum slope of 2%, concrete paving shall have a minimum slope of 0.75%, and asphalt paving for identified accessible parking stalls and access routes may have a minimum slope of 1.5% and a maximum 2% slope, or as approved by the City Engineer.
10. All on-site curbs, gutters and sidewalks shall be constructed of Portland cement concrete.
11. The applicant shall install and maintain parking lot and pathway within the project area at no cost to the City.
12. The project shall comply with the Antioch Municipal Code. All construction shall conform to the requirements of the California Building Code and City of Antioch standards.

13. The applicant shall defend, indemnify, and hold harmless the City in any action brought by a third party to challenge the land use entitlement. In addition, if there is any referendum or other election action to contest or overturn these approvals, the applicant shall either withdraw the application or pay all City costs for such an election.
14. The project shall be implemented as indicated on the application form and accompanying materials provided to the City and in compliance with the Antioch Municipal Code, or as amended by the Planning Commission or City Council.
15. No building permit will be issued unless the plan conforms to the project description and materials as approved by the City Council and the standards of the City.
16. This approval expires two years from the date of approval by the Planning Commission (June 16, 2023), unless an extension has been approved by the Zoning Administrator. Requests for extensions must be received in writing with the appropriate fees prior to the expiration of this approval. No more than one one-year extension shall be granted.
17. No permits or approvals, whether discretionary or ministerial, shall be considered if the applicant is not current on fees, reimbursement payments, and any other payments that are due.
18. City staff shall inspect the site for compliance with conditions of approval prior to the issuance of a Certificate of Occupancy or commencement of the business.

B. CONSTRUCTION CONDITIONS

1. The use of construction equipment shall be as outlined in the Antioch Municipal Code. Construction is restricted to weekdays between the hours of 8:00 AM and 5:00 PM. Requests for alternative days/times may be submitted in writing to the City Engineer for consideration.
2. The project shall comply with and supply all the necessary documentation for AMC § 6-3.2: Construction and Demolition Debris Recycling.
3. Standard dust control methods shall be used to stabilize the dust generated by construction activities. The developer shall post dust control signage with the contact number of the Developer, the Bay Area Air Quality Management District and the City.
4. Driveway access to neighboring properties shall be maintained at all times during construction.

C. FIRE REQUIREMENTS

1. All requirements of the Contra Costa County Fire District shall be met.

D. FEES

1. The applicant shall pay all City fees which have been established by the City Council and as required by the Antioch Municipal Code.
2. The applicant shall pay all required fees at the time of building permit issuance.

C. PROPERTY MAINTENANCE

1. No illegal signs, pennants, banners, balloons, flags, or streamers shall be used on this site at any time.
2. The site shall be kept clean of all debris (boxes, junk, garbage, etc.) at all times.

F. GRADING

1. The grading operation shall take place at a time, and in a manner, so as not to allow erosion and sedimentation. Erosion measures shall be implemented during all construction phases in accordance with an approved erosion and sedimentation control plan.
2. The final grading plan for this development shall be approved by the City Engineer and signed by a California licensed civil engineer. No grading is allowed without a grading permit issued by the Building Department.
3. All elevations shown on the grading and improvement plans shall be on the USGS 1929 sea level datum or NAVD 88 with conversion information, or as approved by the City Engineer.

D. CONSERVATION/NPDES

1. The project shall comply with all Federal, State, and City regulations for the National Pollution Discharge Elimination System (NPDES) (AMC§6-9). Under NPDES regulations, the project is subject to provision C.3: New development and redevelopment regulations for storm water treatment. Provision C.3 requires that

the project include storm water treatment and source control measures, as well run-off flow controls, so that post-project runoff does not exceed estimated pre-project runoff. C.3 regulations require the submittal of a Storm Water Control Plan (SWCP) that demonstrates how compliance will be achieved. The SWCP shall be submitted simultaneously with the project plans. An Operation and Maintenance Plan (O&M) for the treatment and flow-controls in the approved SWCP shall be submitted and approved before the Building Department will issue Certificate of Occupancy permits and shall be included in the project CC&Rs. Prior to building permit final and issuance of a Certificate of Occupancy, the applicant shall execute any agreements identified in the Storm Water Control Plan that pertain to the transfer of ownership and/or long-term maintenance of storm water treatment or hydrograph modification BMPs.

2. All impervious surfaces to be constructed as part of the project, including off-site roadways, are subject to C.3 requirements per State Regulations.
3. The following requirements of the federally mandated NPDES program (National Pollutant DISCHARGE Elimination System) shall be complied with as appropriate, or as required by the City Engineer:
 - a. Prior to issuance of permits for building, site improvements, or landscaping, the applicant shall submit a permit application consistent with the applicant's approved Storm Water Control Plan, and include drawings and specifications necessary for construction of site design features, measures to limit directly connected impervious area, pervious pavements, self-retaining areas, treatment BMPs, permanent source control BMPs, and other features that control storm water flow and potential storm water pollutants.
 - b. The Storm Water Control Plan shall be certified by a registered civil engineer, and by a registered architect or landscape architect as applicable. Professionals certifying the Storm Water Control Plan shall be registered in the State of California and submit verification of training, on design of treatment measures for water quality, not more than three years prior to the signature date by an organization with storm water treatment measure design expertise (e.g., a university, American Society of Civil Engineers, American Society of Landscape Architects, American Public Works Association, or the California Water Environment Association), and verify understanding of groundwater protection principles applicable to the project site (see Provision C.3.i of Regional Water Quality Control Board Order R2 2003 0022).
 - c. Prior to building permit final and issuance of a Certificate of Occupancy, the applicant shall submit, for review and approval by the City, a final Storm Water BMP Operation and Maintenance Plan in accordance with City of Antioch guidelines. This O&M plan shall incorporate City comments on the draft O&M

plan and any revisions resulting from changes made during construction. The O&M plan shall be incorporated into the CC&Rs for the Project.

- d. Prior to building permit final and issuance of a Certificate of Occupancy, the applicant shall execute and record any agreements identified in the Storm Water Control Plan which pertain to the transfer of ownership and/or long-term maintenance of storm water treatment or hydrograph modification BMPs.
- e. Prevent site drainage from draining across sidewalks and driveways in a concentrated manner.
- f. Collect and convey all storm water entering, and/or originating from, the site to an adequate downstream drainage facility. Submit hydrologic and hydraulic calculations with the Improvement Plans to Engineering Services for review and approval.
- g. Prior to issuance of the grading permit, submit proof of filing of a Notice of Intent (NOI) by providing the unique Waste Discharge Identification Number (WDID#) issued from the Regional Water Quality Control Board.
- h. Submit a copy of the Storm Water Pollution Prevention Plan (SWPPP) for review to the Engineering Department prior to issuance of a building and/or grading permit. The general contractor and all subcontractors and suppliers of materials and equipment shall implement these BMP's. Construction site cleanup and control of construction debris shall also be addressed in this program. Failure to comply with the approved construction BMP may result in the issuance of correction notices, citations, or a project stop work order.
- i. Install appropriate clean water devices at all private storm drain locations immediately prior to entering the public storm drain system. Implement Best Management Practices (BMP's) at all times.
- j. Install on all catch basins "No Dumping, Drains to River" decal buttons.
- k. If sidewalks are pressure washed, debris shall be trapped and collected to prevent entry into the storm drain system. No cleaning agent may be discharged into the storm drain. If any cleaning agent or degreaser is used, wash water shall be collected and discharged to the sanitary sewer, subject to the approval of the sanitary sewer District.
- l. Include erosion control/storm water quality measures in the final grading plan that specifically address measures to prevent soil, dirt, and debris from entering the storm drain system. Such measures may include, but are not limited to, hydro seeding, gravel bags and siltation fences and are subject to review and approval of the City Engineer. If no grading plan is required, necessary erosion

control/storm water quality measures shall be shown on the site plan submitted for an on-site permit, subject to review and approval of the City Engineer. The applicant shall be responsible for ensuring that all contractors and subcontractors are aware of and implement such measures.

- m. Sweep or vacuum the parking lot(s) a minimum of once a month and prevent the accumulation of litter and debris on the site. Corners and hard to reach areas shall be swept manually.
- n. Ensure that the area surrounding the project such as the streets stay free and clear of construction debris such as silt, dirt, dust, and tracked mud coming in from or in any way related to project construction. Areas that are exposed for extended periods shall be watered regularly to reduce wind erosion. Paved areas and access roads shall be swept on a regular basis. All trucks shall be covered.
- o. Clean all on-site storm drain facilities a minimum of twice a year, once immediately prior to October 15 and once in January. Additional cleaning may be required if found necessary by City Inspectors and/or City Engineer.
- p. Install full trash capture device(s) in storm water catch basins that collect water from the project site. A “full trash capture device” is defined as any device or series of devices that traps all particles retained by a 5mm mesh screen and has a design treatment capacity of not less than the peak flow rate resulting from a one-year, one-hour, storm in the tributary drainage catchment area. Selected devices must be detailed on the building permit plan submittal and approved by Public Works prior to installation.

E. UTILITIES

- 1. All existing and proposed utilities (e.g., transformers and PMH boxes) shall be undergrounded and subsurface in accordance with the Antioch Municipal Code, except existing P.G.& E. towers, if any, or as approved by the City Engineer.
- 2. All storm water flows shall be collected onsite and discharged into an approved public storm drain system.
- 3. Trash enclosures shall drain to sanitary sewer and shall incorporate methods to contain refuse runoff at the front-gate and pedestrian access point to prevent storm water from entering the enclosure.
- 4. The sewer collection system shall be constructed to function as a gravity system.

5. A reduced pressure backflow preventer assembly shall be installed on all City water meter services.
6. Double detector check fire line backflow assemblies shall be enclosed within an easement granted to the City, as needed, and at no cost to the City.
7. The developer shall provide all offsite and onsite improvements necessary to provide adequate water pressure and volume to serve this development, as approved by the City Engineer. This will include a minimum residual pressure of 20 psi with all losses included at the highest point of water service and a minimum static pressure of 50 psi.
8. Water systems shall be designed as a looped distribution system, if not already connecting as a looped system, developer shall be responsible for installing any water mains to create a looped system at no cost to the City.
9. The developer shall install all infrastructure to serve the site. Infrastructure for access to the site (sewer, water, storm, joint trench, and surface improvements) shall be completed prior to issuance of building permits.
10. The developer shall minimize water and sewer connection tie-ins to wet utility mains.
11. All onsite utilities shall be privately maintained and connected to public facilities in accordance with City Standards, or as approved by the City Engineer.
12. All proposed drainage facilities, including open ditches, shall be constructed of Portland Concrete Cement or as approved by the City Engineer.

F. LANDSCAPING

1. Sight distance triangles shall be maintained per Antioch Municipal Code § 9-5.1101, Site Obstructions at Intersections, or as approved by the City Engineer. Landscaping and signage shall not create a sight distance problem.
2. Detailed landscaping and irrigation plans for the entire site shall be submitted to the City for review and approval. All landscaping and irrigation shall be installed in accordance with approved plans prior to the issuance of certificates of occupancy for this building.
3. Landscaping for the project shall be designed to comply with the applicable requirements of City of Antioch Ordinance No. 2162-C-S the State Model Water Efficient Landscape Ordinance (MWELO). Prior to issuance of a building permit,

the applicant shall demonstrate compliance with the applicable requirements of the MWELO in the landscape and irrigation plans submitted to the City.

G. FINAL IS/MND AND MITIGATION MONITORING AND REPORTING PROGRAM

1. The applicant shall comply with all mitigation measures identified in the IS/MND and Mitigation Monitoring and Reporting Program.
2. The applicant shall mitigate any impacts on wildlife, including State and Federally listed threatened and endangered species, and their habitat by compliance with one of the following:
 - a. Implementing, or making enforceable commitments to implement, all applicable mitigation measures in the project environmental documents, as well as any additional measures as may be required by the California Department of Fish & Wildlife (CDFW) or the U.S. Fish & Wildlife Service (FWS), and obtaining a letter(s) from CDFW and FWS stating that the project has fulfilled the requirements of applicable State and Federal wildlife protection laws and regulations; or
 - b. Complying with applicable terms and conditions of the ECCC HCP/NCCP, as determined in written "Conditions of Coverage" by the East Contra Costa County Habitat Conservancy (Conservancy), provided that the City has first entered into an agreement with the Conservancy for coverage of impacts to ECCCHCP/NCCP Covered Species; or
 - c. Complying with a habitat conservation plan and/or natural community conservation plan developed and adopted by the City, including payment of applicable fees, provided that CDFW and FWS have approved the conservation plan.

H. PROJECT SPECIFIC CONDITIONS

1. This use permit approval applies to the operation of a cannabis dispensary with delivery as depicted on the project plans and application materials submitted to the Community Development Department. Any forthcoming plans submitted for any purpose shall be entirely consistent with these received plans and application materials and conditions of approval herein.
2. The hours of operation for the retail operation shall be from 8:00 AM – 8:00 PM .
3. The hours of operation for the cultivation, operation shall be from 6:00 AM- 6:00 PM.
4. The hours of operation for the distribution operation shall be from 9:00 AM- 6:00 PM.

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5. The hours of operation for the manufacturing operation shall be from 10:00 AM-8:00 PM
6. Any changes to the hours of operation shall be subject to the review and approval of the Zoning Administrator.
7. All necessary licenses from the State of California shall be obtained prior to opening.
8. All persons entering the business must be at least 21 years of age with a valid identification card. An electronic reader shall be used to read and validate identification cards.
9. No smoking or ingestion of cannabis products on-site is allowed.
10. No free samples of cannabis products are allowed.
11. Cannabis products that are not used for display purposes or immediate sale shall be stored in a secured and locked room, safe, or vault, and in a manner reasonably designed to prevent diversion, theft, and loss.
12. Cannabis related waste shall be stored and secured in a manner that prevents diversion, theft, loss, hazards and nuisance.
13. The operator shall take reasonable steps to discourage and correct objectionable conditions that constitute a nuisance in parking areas, sidewalks and areas surrounding the premises during business hours if directly related to patrons of the business.
14. A copy of this use permit and City of Antioch business license, as well as any other State licenses, shall be on display during business hours and in a conspicuous place so that they may be readily seen by all persons entering the facility.
15. No signs, tinting, or other graphic material may be used to obscure the storefront windows.
16. No drive-through, drive-up, or walk-up window services are allowed.
17. No fewer than two uniformed and armed security guards who are employed by a Private Patrol Operator (Security Company) who is currently licensed with the California Department of Consumer Affairs shall be on-site during business operating hours. The security company shall conduct drive by check ins while the dispensary is closed and shall respond to any and all alarms originating from the site. A copy of the contract with the Security Company shall be provided to the Community Development Director and the City Attorney for review and approval prior to issuance of a certificate of occupancy.

18. The name of the Security Company, proof of liability insurance including a copy of all exceptions, their State license number, and the guard registration numbers for the employed guards shall be provided to the Community Development Department. Should there be a change in the security private patrol operator or in the liability insurance of the applicant, the Community Development Director and the City Attorney shall be notified within 5 business days.
19. The City Council may require modification, discontinuance or revocation of this use permit if it finds that the use is operated or maintained in a manner that it:
 - Adversely affects the health, peace or safety of persons living or working in the surrounding area; or
 - Contributes to a public nuisance; or
 - Has resulted in excessive nuisance activities including disturbances of the peace, illegal drug activity, diversion of Cannabis or Cannabis Products, public intoxication, smoking in public, harassment of passersby, littering, or obstruction of any street, sidewalk or public way; or
 - Has resulted in or has been the target of criminal activity requiring undue attention and dedication of the Antioch Police Department resources; or
 - Violates any provision of Antioch Municipal Code or condition imposed by a City issued permit, or violates any provision of any other local, state, regulation, or order including those of state law or violates any condition imposed by permits or licenses issued in compliance with those laws.
 - Results in more than three distinct unresolved odor complaints in a twelve (12) month period.
16. The business shall incorporate and maintain adequate on-site odor control measures in such a manner that the odors of cannabis and cannabis-related products shall not be readily detected from outside of the structure in which the business operates or from other non-Cannabis businesses adjacent to the site.
17. The Odor Mitigation Plan shall be updated and resubmitted to the Planning Division at building permit to address the comments from the February 19, 2021 Odor Mitigation Plan Review Memorandum:
 - Maintain records of all staff trainings in addition to the items specified in the Government Documentation section.
 - Provide calculations for carbon filter number and sizing, fan number and sizing, and other critical components, and provide certified statement confirming calculations were reviewed.

- Provide manufacturer cut sheets for odor control equipment and a certified statement confirming that acceptable equipment has been selected.
18. During regular business hours, all cannabis business premises shall be accessible, upon request, to an authorized City employee or representative for random and/or unannounced inspections. The cannabis business may be charged a fee for any inspections.
19. An annual audit of the site's security plan shall be submitted to the Antioch Police Department. The audit shall be conducted by City staff or a third-party company subject to the approval of the Antioch Police Department.
19. All points of ingress and egress to the business shall be secured with Building Code compliant commercial-grade, non-residential door locks and/or window locks. Entry and exit doors to restricted cannabis areas shall be made of reinforced metal with metal frames and have a security lock system.
20. Building signage shall not state that cannabis or cannabis products are stored, sold or handled on the site. Images of cannabis leaves, green crosses, or similar commonly identifiable graphics are not allowed. All building signage shall be subject to staff review and approval.
21. The only cannabis paraphernalia allowed to be sold at the site are vape pens, vape pen cartridges, vape pen batteries, chargers, rolling papers, pipes, bongs, and grinders unless approved in writing by the Community Development Director.
22. Delivery vehicles shall not contain identifiable markings that associate the delivery service with the cannabis business.
23. The loading and unloading of vehicles for delivery of cannabis shall be conducted in a secured, gated or enclosed area.
24. All delivery of cannabis to the site shall take place in a caged/gated delivery area with a dedicated armed security guard to be present during all deliveries.
25. Visible signage shall be placed at the entrance of the facility notifying the public of surveillance on site.
26. Prior to a certificate of occupancy being issued for the site, the Antioch Police Department shall conduct a site inspection to assess the security of the site. Any changes the Antioch Police Department deems necessary upon site inspection shall be incorporated into a revised site security plan that is then submitted for their review and approval. No certificate of occupancy will be issued without final approval of a site security plan by the Antioch Police Department.

27. Security measures shall be designed to ensure emergency access is provided to the Antioch Police Department and the Contra Costa Fire Department for all areas on the premises in case of an emergency.
28. Security surveillance cameras shall be installed and maintained in good working order to provide coverage on a twenty-four (24) hour real-time basis of all internal and external areas of the site where cannabis is stored, transferred and dispensed, where any money is handled, and all parking areas. The cameras shall be oriented in a manner that provides clear and certain identification of all individuals within those areas. Cameras shall remain active at all times and be capable of operating under any lighting condition. Security video must use standard industry format to support criminal investigations and shall be maintained for a minimum of sixty (60) days.
29. A professionally monitored security alarm system shall be installed and maintained in good working condition. The alarm system shall include sensors to detect entry exit from all secure areas and all windows. The name and contact information of the alarm system installation and monitoring company shall be kept as part of the onsite books and records.
30. A local contact who will be responsible for addressing security and safety issues shall be provided to, and kept current with, the Antioch Police Department.
31. The applicant shall enter into an operating agreement with the City of Antioch prior to a certificate of occupancy being issued for the site. No business license shall be issued without an approved operating agreement.
32. Prior to building permit final the applicant shall Cape seal existing entry driveway.
33. All parking spaces shall be double-striped and all parking lot dimensions shall meet minimum City policies and Antioch Municipal Code requirements.
34. The project shall connect to City Sewer per the requirements of AMC Section 6-4.202
35. All mechanical equipment, roof and ground mounted, shall be screened from public view. The screening shall be shown on the building permit submittal.
36. To comply with Antioch Municipal Code § 9-5.1715 LIGHTING, a photometric plan shall be provided with the building permit submittal showing the outdoor parking area having a minimum illumination of two foot-candles. Any additional parking lot lighting necessary to meet this requirement shall be architecturally compatible with the existing parking lot lighting, shown on the building permit submittal, and a cut sheet or other detail showing the lighting design shall be provided on the building permit submittal.

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37. The fence around the north and eastern side of the stormwater basin shall be a wrought iron fence.
38. All easements shall be shown on all plans submitted to the Building Division, including grading and improvement plans.
39. Any undeveloped areas on-site shall be maintained in an attractive manner which ensures fire safety and prevents any runoff onto the adjacent sidewalks.
40. The removal of the 16 trees detailed in the arborist report prepared by Natural Investigations Co and dated April 9, 2020 is authorized with this approval. As required by the Antioch Municipal Code, ten (10) 48-inch box trees and twenty (20) 24-inch box trees are required as mitigation for the removal of the trees. The mitigation trees shall be shown on the Final Landscaping plans.

* * * * *

I HEREBY CERTIFY the foregoing resolution was duly adopted by the Planning Commission of the City of Antioch at a regular meeting thereof held on the 16th day of June 2021.

AYES:

NOES:

ABSTAIN:

ABSENT:

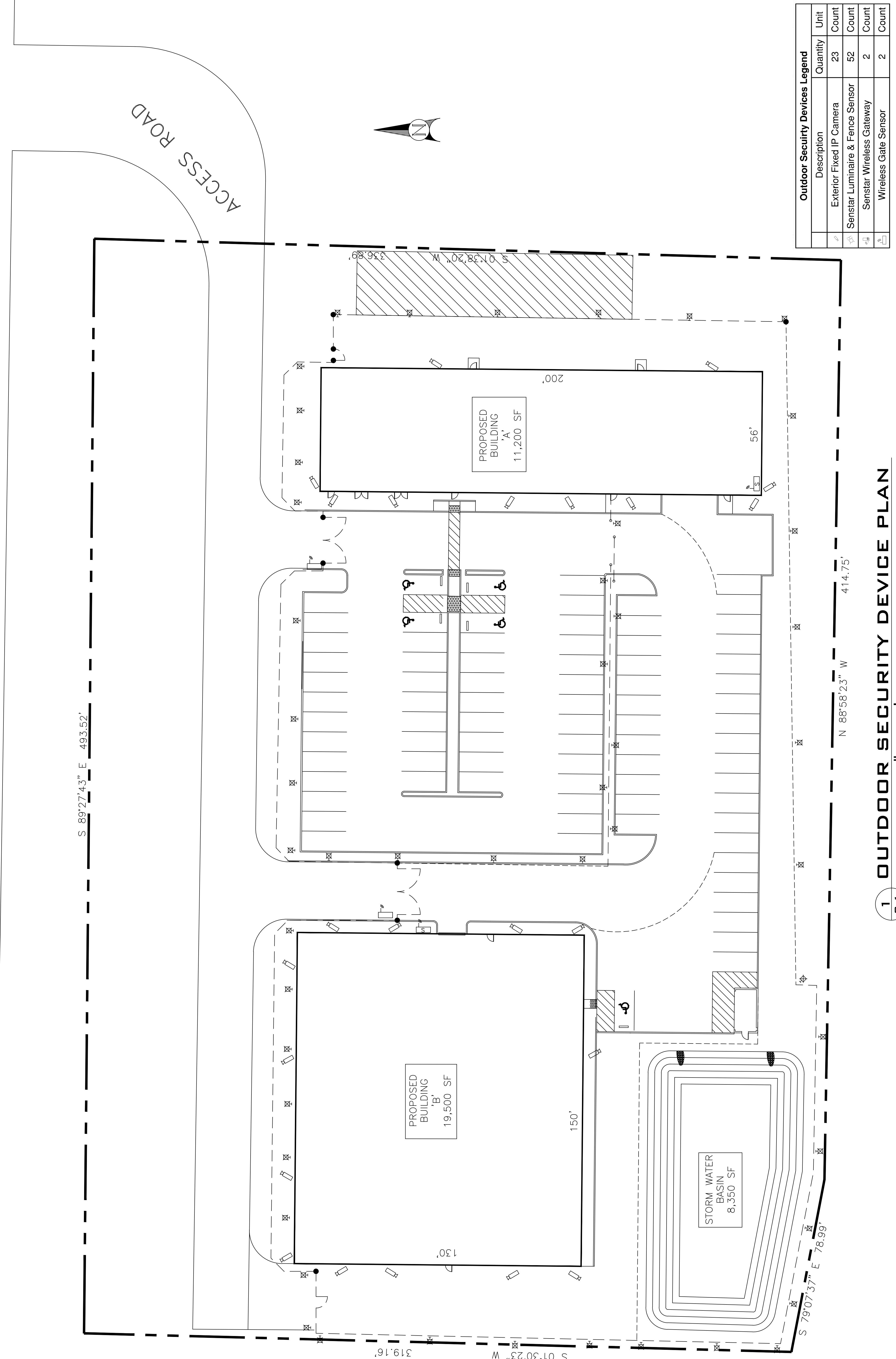
Forrest Ebbs
Secretary to the Planning Commission

ATTACHMENT C

Project Plans

SITE INFORMATION	
LOCATION: 210 - 2300 Wilbur Ave, Antioch, CA 94556	APN#: 051-00-028
ZONING: <small>Permitted Business Center</small>	NO. OF STORIES: One
FIRE SPRINKLERED: Yes	
JURISDICTION	
BUILDING OWNER NAME: JKCBH&B	ADDRESS: 1067 East Hwy 120 Ripon, CA 95366
PHONE: (209)636-4856	CASE #: NAME: Commercial Cannabis
PROJECT NAME: 210 - 2300 Wilbur Ave, Antioch, CA 94556	PROJECT PRINCIPAL: Joshua Baker
ARCHITECT NAME: David Vizcarra VIZCARRACH@aol.com 209-610-6678	REVISION DATE: 04/17/20
REVISION DATE: 0	PAGE TITLE: SECURITY DEVICE PLAN
FLOOR PLAN	
FILE NAME: Commercial Cannabis	
DRAWING SCALE: 1" = 20'	

WILBUR AVENUE



OUTDOOR SECURITY DEVICE PLAN
C-1

SCALE: 1"=20'
C-1

Outdoor Security Devices Legend		
Description	Quantity	Unit
Exterior Fixed IP Camera	23	Count
Sensat Luminaire & Fence Sensor	52	Count
Sensat Wireless Gateway	2	Count
Wireless Gate Sensor	2	Count

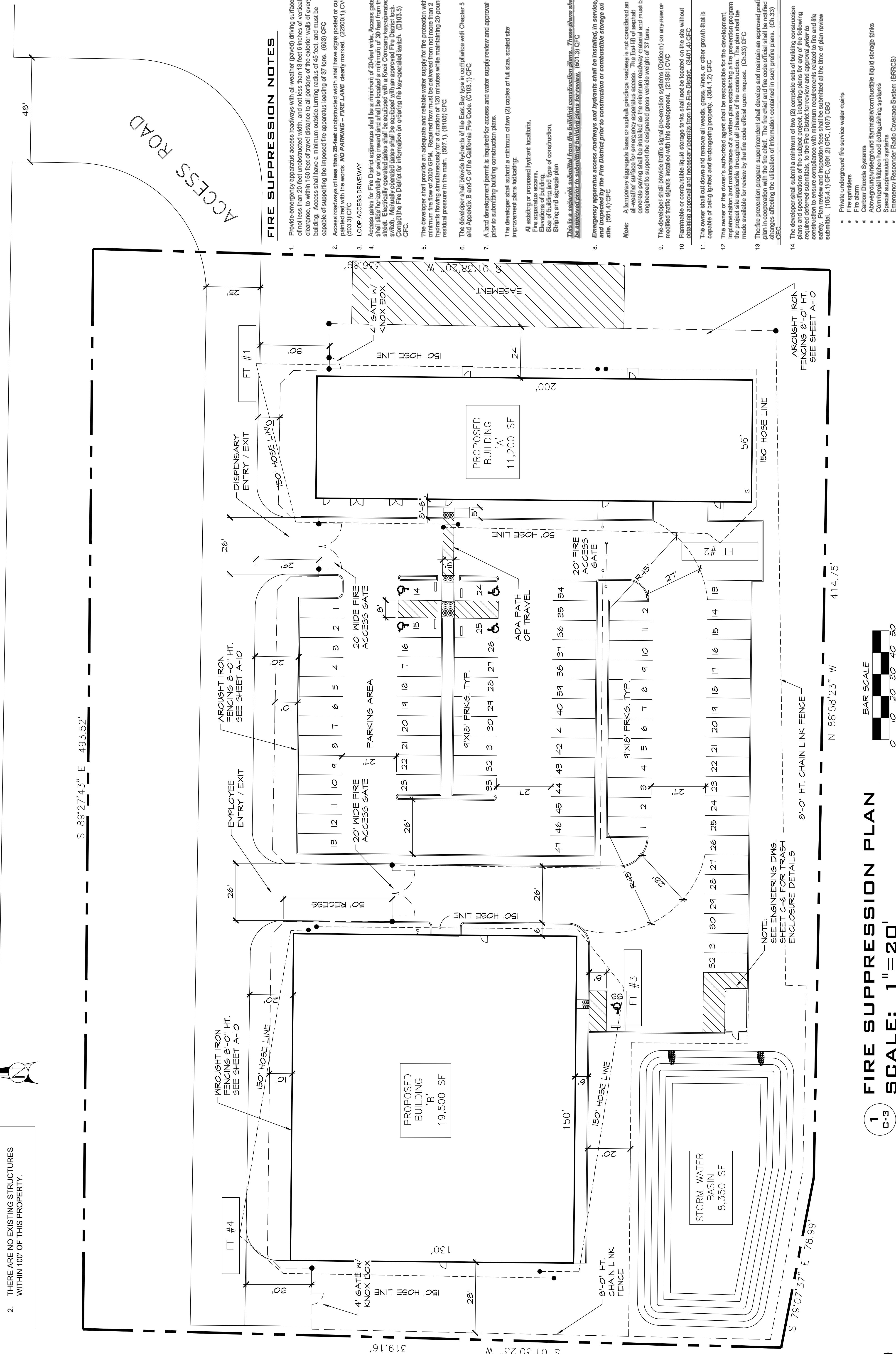
C2

C-2

GENERAL NOTES

- THERE ARE NO EXISTING STRUCTURES
WITHIN 100' OF THIS PROPERTY.

WILBUR AVENUE



FIRE SUPPRESSION PLAN

SCALE: 1" = 20'

SITE INFORMATION
LOCATION:
2110 - 2300 Wilbur Ave,
Antioch, CA 94536
APN#:
051-000-028

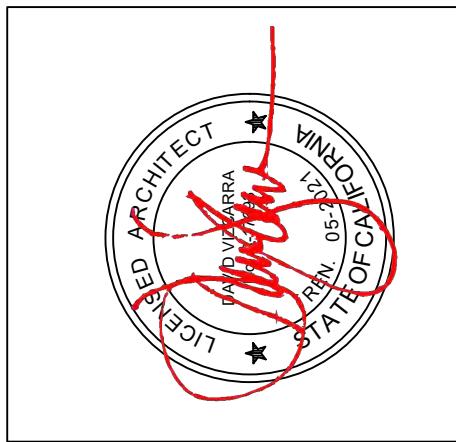
ZONING: P-2 (Former Business Center)
NO. OF STORIES: One
FIRE SPRINKLERED: Yes

JURISDICTION

BUILDING OWNER
NAME: JKCBH
ADDRESS:
1067 East Hwy 120
Ripon, CA 95366
PHONE:
(209)636-4856

PROJECT
NAME:
Commercial Cannabis
CASE #:
F1111PRQS:

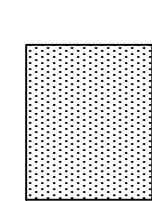
David Vizcarra
VIZCARRAHC@AOL.COM
209-610-6678



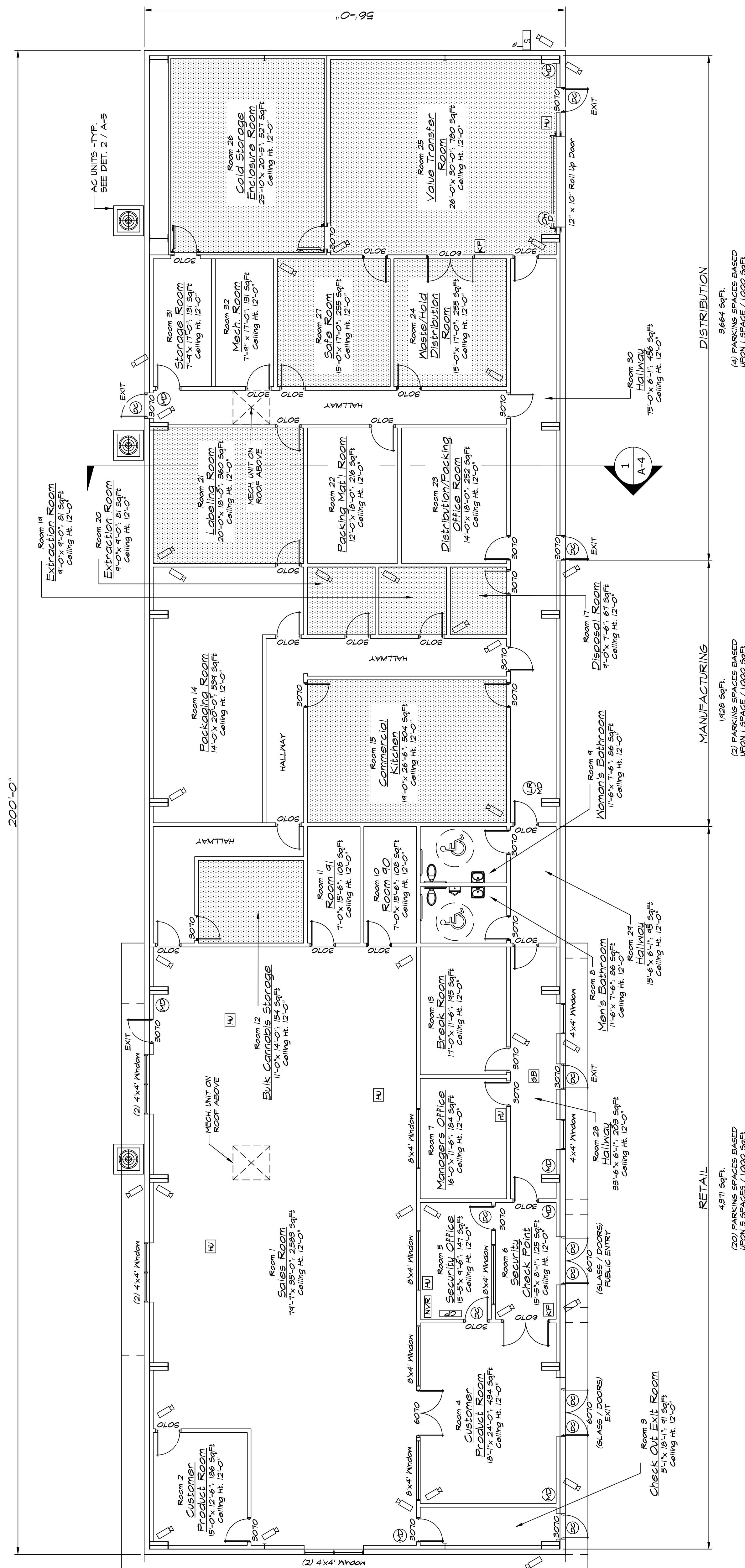
ARCHITECT

FLOOR PLAN
PAGE TITLE:
BLDG_A
FLOOR PLAN
FILE NAME:
Commercial Cannabis
DRAWING SCALE:
SCALE: 1/8" = 1'-0"
C4

LEGEND



= SECURED ROOM



SITE INFORMATION

LOCATION:	210 - 2300 Willbur Ave, Antioch, CA 94536
APN #	051-00-028
ZONING:	Commercial Business Center
NO. OF STORES:	One
FIRE SPRINKLERS:	Yes

JURISDICTION

OWNER	NAME: JCCHE
BUILDING OWNER	NAME: JCCHE

ADDRESS:

19067 East Hwy 120 Ripon, CA 95366	
PHONE:	(209)636-4856

PROJECT

CASE #:	Commercial Cannabis
NAME:	Joshua Baker
PROJECT PRINCIPAL:	David Vizcarra
ADDRESS:	209-610-6678 VIZCARRAHC@GMAIL.COM

ARCHITECT

NAME: JCCHE

FLOOR PLAN

PAGE TITLE: BLDG A ELEVATIONS
DRAWING INFORMATION: REVISION DATE: 04/17/20
FILE NAME: Commercial Cannabis
DRAWING SCALE: 1/8"=1'-0"

WEST VIEW

EAST VIEW

NORTH VIEW

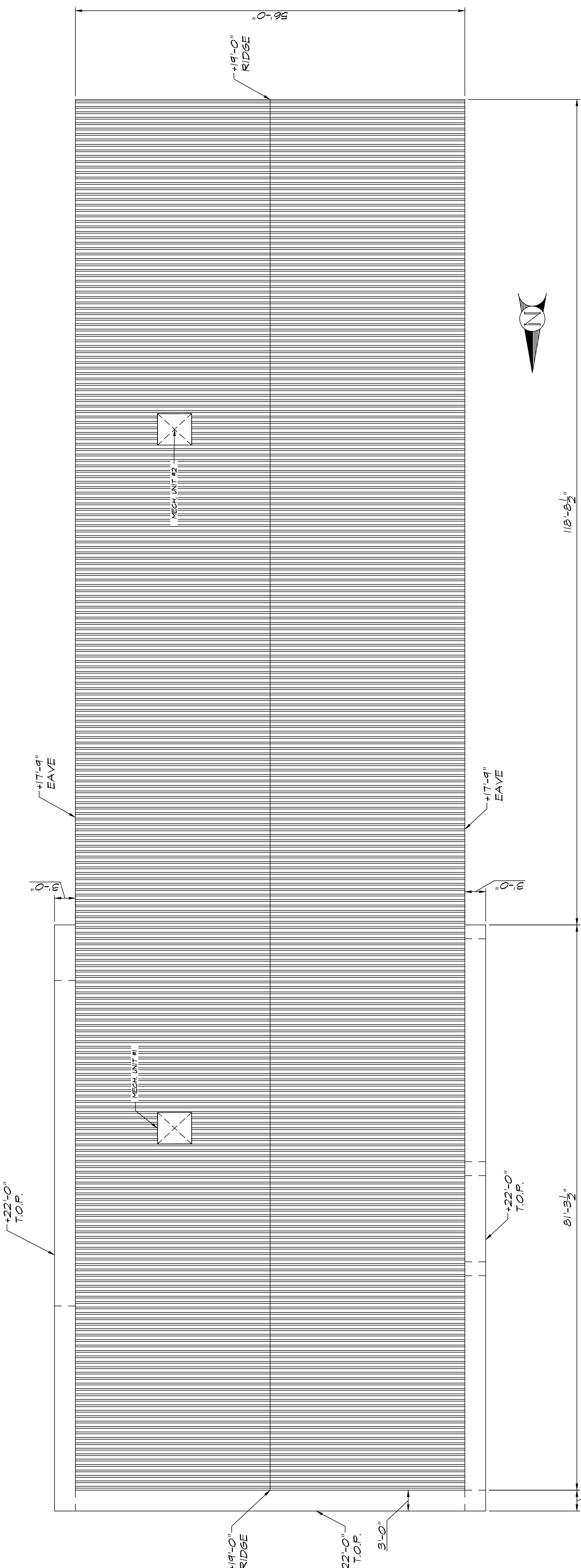
SOUTH VIEW

SCALE: 1/8"=1'-0"

A-2

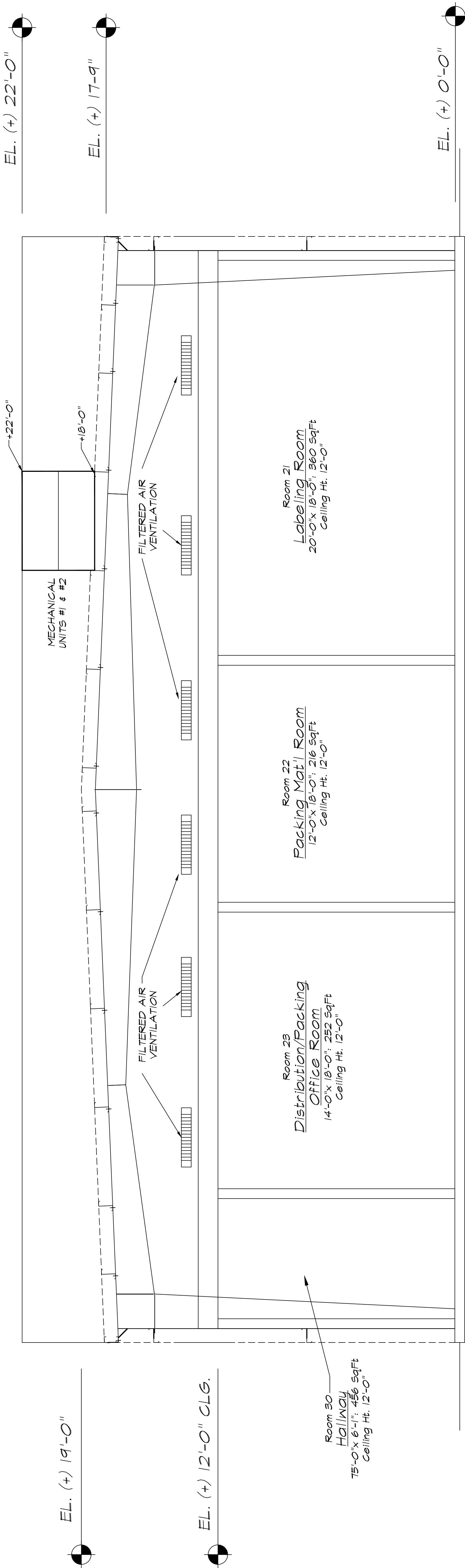
**1 BLDG 'A' ELEVATIONS
A-2 SCALE: 1/8" = 1'-0"**

SITE INFORMATION	
LOCATION: 210 - 2300 Wilbur Ave. Antioch, CA 94556	ZONING: <i>Permitted Business Center</i> NO. OF STORIES: One FIRE SPRINKLERED: Yes APN# 051-000-028
JURISDICTION	BUILDING OWNER NAME: JKCBH&E
	ADDRESS: 1067 East Hwy 120 Ripon, CA 95366
	PHONE: (209)636-4856
OWNER	CASE #: NAME: <i>Commercial Cannabis</i>
PROJECT	ADDRESS: 210 - 2300 Wilbur Ave. Antioch, CA 94556
ARCHITECT	PROJECT PRINCIPAL: David Vizcarra VIZCARRACH@aol.com Joshua Baker
FLOOR PLAN	DRAWING INFORMATION REVISION DATE: 04/17/20 REVISION DATE: 0 PAGE TITLE: <i>BLDG A</i> FILE NAME: <i>Commercial Cannabis</i> DRAWING SCALE: SCALE: 1/8" = 1'-0"



1 BLDG 'A' ROOF PLAN
SCALE: 1/8" = 1'-0"
A-3

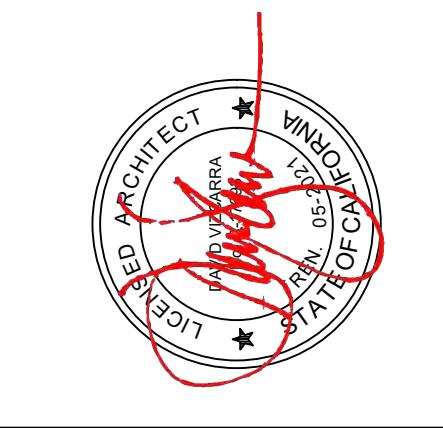
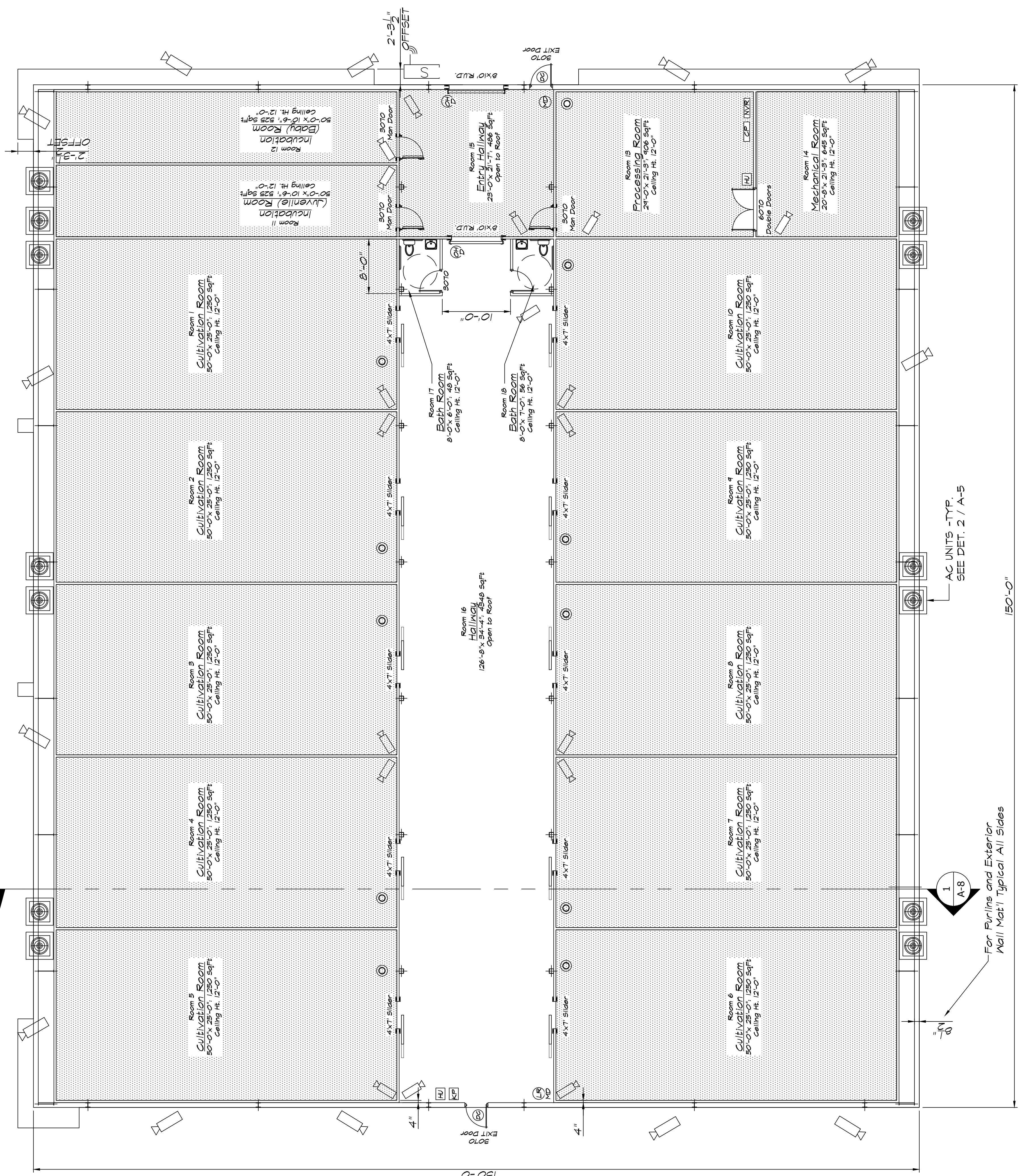
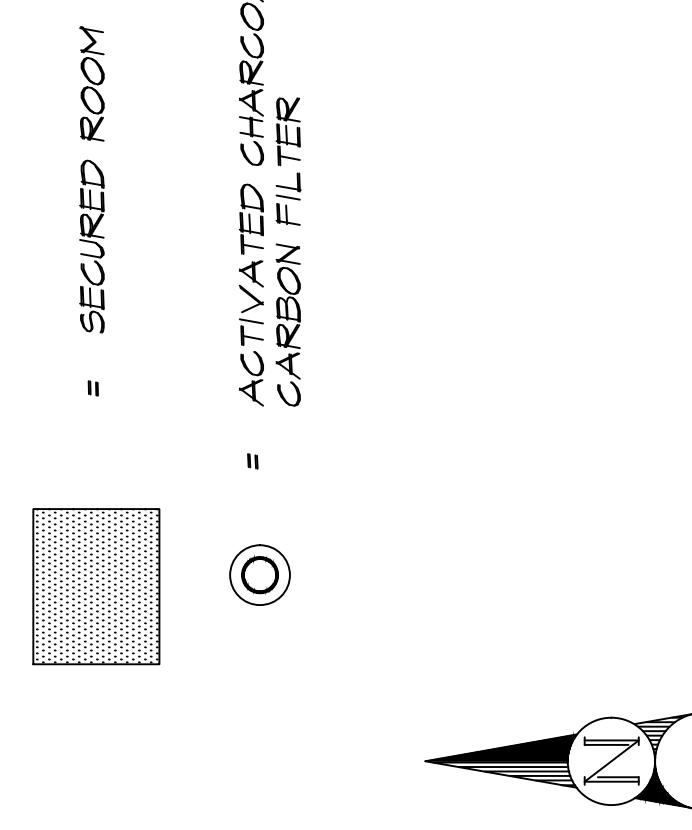
SITE INFORMATION	
LOCATION: 210 - 2800 Milbur Ave, Antioch, CA 94536	ZONING: <small>Permitted Business Category</small> FIRE SPRINKLERED: Yes APN # 051-00-028
JURISDICTION	NO. OF STORIES: One
OWNER	BUILDING OWNER NAME: JKC3H8
ADDRESS: 1067 East Hwy 120 Ripon, CA 95366	CASE #: _____ NAME: Commercial Cannabis
PHONE: (209) 636-4856	ADDRESS: 210 - 2800 Milbur Ave. Antioch, CA 94536
PROJECT	PROJECT PRINCIPAL: David Vizcarra VIZCARRACH@aol.com 209-610-6678 Joshua Baker
ARCHITECT	209-610-6678 VIZCARRACH@aol.com 209-610-6678 Joshua Baker
FLOOR PLAN	DRAWING INFORMATION REVISION DATE: 04/17/20 REVISION DATE: 0 PAGE TITLE: BLDG. A SECTION FILE NAME: Commercial Cannabis DRAWING SCALE: 3/8=1'-0"
A-4	



1
A-4
BLDG. 'A' SECTION
SCALE: 3/8" = 1'-0"

SITE INFORMATION	
LOCATION: 2110 - 2300 Wilbur Ave, Antioch, CA 94546	APN#:
051-00-028	ZONING: P-2 (Former Business Center)
NO. OF STORIES: One	FIRE SPRINKLERED: Yes
JURISDICTION	
BUILDING OWNER NAME: JKCBH&	OWNER ADDRESS: 1067 East Hwy 120 Ripon, CA 95366
PHONE: (209)636-4856	PROJECT CASE #: NAME: JKCBH&
COMMERCIAL FIRM/PRINCIPAL: Commercial Cannabis	PROJECT PRINCIPAL: Joshua Baker
ARCHITECT David Vizcarra 209-610-6678 VIZCARRAHC@AOL.COM	
FLOOR PLAN	
DRAWING INFORMATION REVISION DATE: 04/17/20 REVISION DATE: 0	
PAGE TITLE: BLDG B FLOOR PLAN	
FILE NAME: Commercial Cannabis	
DRAWING SCALE: SCALE: 1/8"=1'-0"	

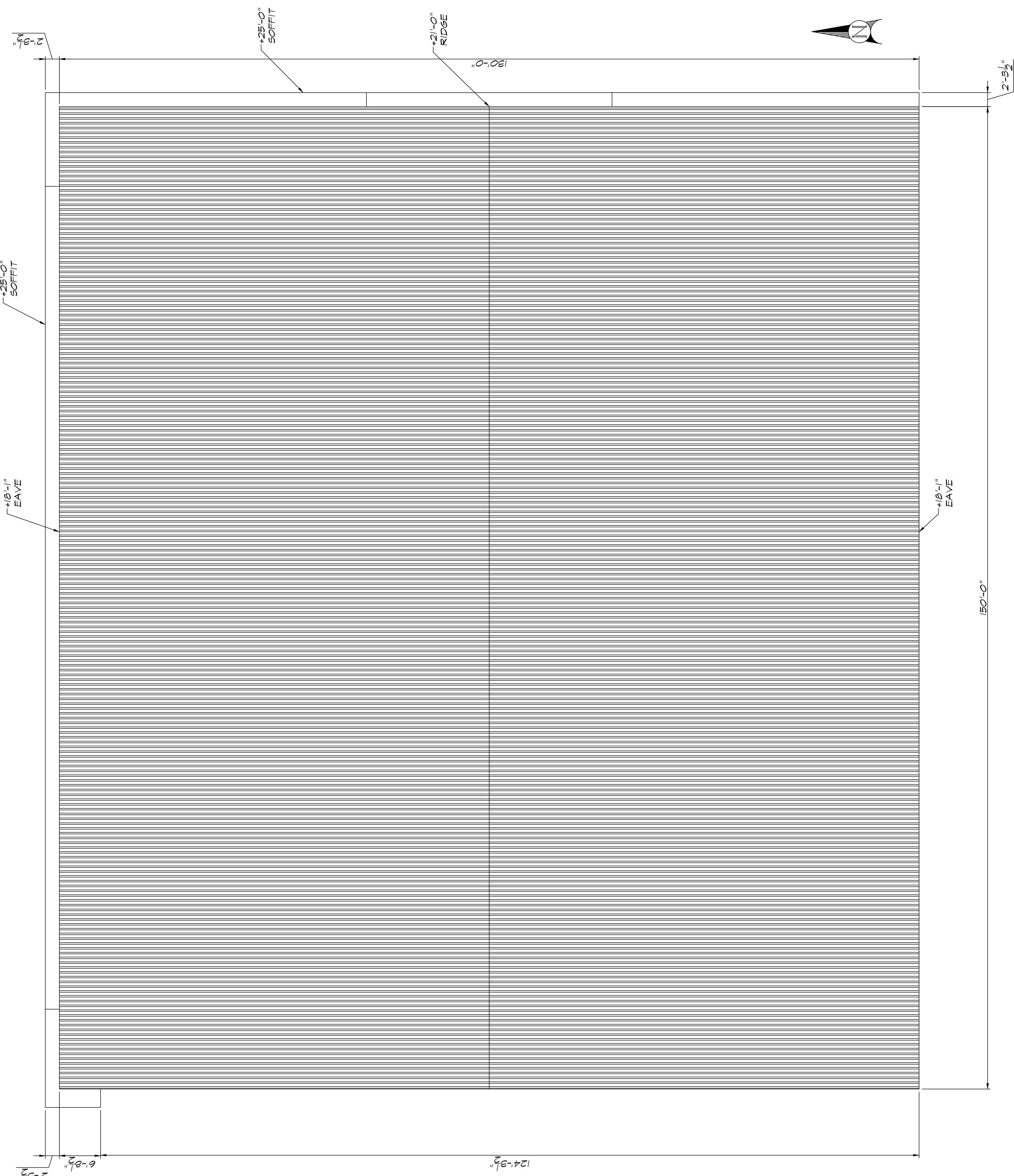
LEGEND



A-6

BLDG 'B' ELEVATIONS
SCALE: 1/8" = 1'-0"

SITE INFORMATION	
LOCATION: 210 - 2300 Nibur Ave, Antioch, CA 94556	ZONING: <i>Permitted Business Center</i> NO. OF STORIES: One FIRE SPRINKLERED: Yes APN #: 051-000-028
JURISDICTION	BUILDING OWNER NAME: <input type="text"/> ADDRESS: <input type="text"/> PHONE: <input type="text"/>
OWNER <input type="text"/>	PROJECT CASE #: <input type="text"/> NAME: JKCBH8 Commercial Cannabis FIRM/ORGANIZATION: 210 - 2300 Nibur Ave Antioch, CA 94556 PROJECT PRINCIPAL: Joshua Baker
ARCHITECT <input type="text"/>	209-610-6678 VIZCARRACH@aol.com DAVID VIZCARRA
FLOOR PLAN	DRAWING INFORMATION REVISION DATE: 04/17/20 REVISION DATE: 0 PAGE TITLE: BLDG B ROOF PLAN FILE NAME: Commercial Cannabis DRAWING SCALE: SCALE: 1/8" = 1'-0" A-7

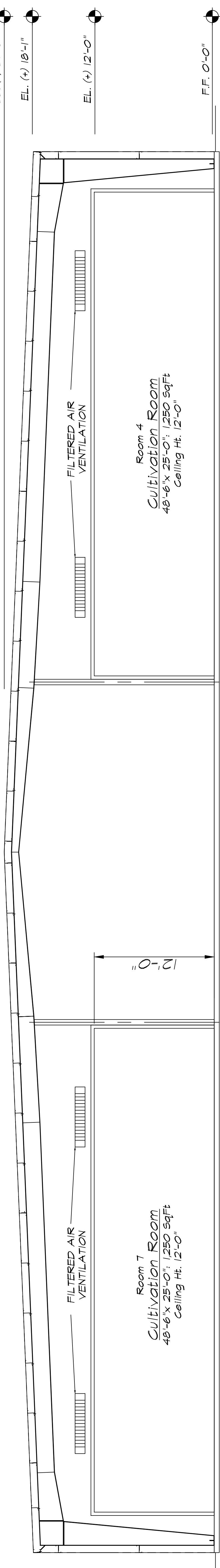


1 BLDG 'B' ROOF PLAN
SCALE: 1/8" = 1'-0"

A-7

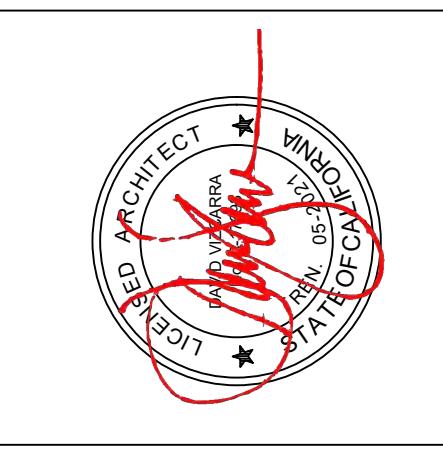
C11

SITE INFORMATION	
LOCATION: 210 - 2800 Milbur Ave, Antioch, CA 94536	ZONING: <i>Permitted Business Category</i> NO. OF STORIES: One FIRE SPRINKLERED: Yes APN #: 051-00-028
JURISDICTION	BUILDING OWNER NAME: JKC3H8
	ADDRESS: 1067 East Hwy 120 Ripon, CA 95366
OWNER	PHONE: (209)636-4856
CASE #:	NAME: Commercial Cannabis
PROJECT	ADDRESS: 210 - 2800 Milbur Ave, Antioch, CA 94536
ARCHITECT	PROJECT PRINCIPAL: David Vizcarra VIZCARRACH@aol.com 209-610-6678 Joshua Baker
FLOOR PLAN	DRAWING INFORMATION REVISION DATE: 04/17/20 REVISION DATE: 0 PAGE TITLE: BLDG B SECTION FILE NAME: Commercial Cannabis DRAWING SCALE: SCALE: 3/16" = 1'-0"



1 BLDG 'B' SECTION
A-8

SCALE: 3/16" = 1'-0"



SITE INFORMATION	
LOCATION: 210 - 2300 Wilbur Ave, Antioch, CA 94546	APN #: 051-00-028
ZONING: Rec. General Business Center	NO. OF STORIES: One
FIRE SPRINKLERED: Yes	
JURISDICTION	
BUILDING OWNER	
NAME: JKCBH&	
ADDRESS:	
1067 East Hwy 120 Ripon, CA 95366	
PHONE:	
(209)636-4856	
PROJECT	
CASE #:	
NAME:	
Commercial Cannabis	
FIRM/COMPANY:	
210 - 2300 Wilbur Ave. Antioch, CA 94556	
PROJECT PRINCIPAL:	
Joshua Baker	
ARCHITECT	
209-610-6678 VIZCARRACH@aol.com David Vizcarra	
FLOOR PLAN	
DRAWING INFORMATION	
REVISION DATE:	
04/17/20	
PAGE TITLE:	
FLOOR PLAN	
FILE NAME:	
Commercial Cannabis	
DRAWING SCALE:	
SCALE: 1/8" = 1'-0"	
A-9	

LEGEND

= SECURED ROOM

◎ = ACTIVATED CHARCOAL CARBON FILTER

Detailed description of the floor plan: The floor plan shows a large rectangular building footprint. Inside, there are several rooms labeled A through S. Room A is a large open area. Room B is a smaller room. Room C is a cultivation room (50'0" x 25'0", ceiling ht. 12'-0", 250 sqft). Room D is another cultivation room (50'0" x 25'0", ceiling ht. 12'-0", 250 sqft). Room E is a cultivation room (50'0" x 25'0", ceiling ht. 12'-0", 250 sqft). Room F is a cultivation room (50'0" x 25'0", ceiling ht. 12'-0", 250 sqft). Room G is a cultivation room (50'0" x 25'0", ceiling ht. 12'-0", 250 sqft). Room H is a cultivation room (50'0" x 25'0", ceiling ht. 12'-0", 250 sqft). Room I is a cultivation room (50'0" x 25'0", ceiling ht. 12'-0", 250 sqft). Room J is a cultivation room (50'0" x 25'0", ceiling ht. 12'-0", 250 sqft). Room K is a cultivation room (50'0" x 25'0", ceiling ht. 12'-0", 250 sqft). Room L is a cultivation room (50'0" x 25'0", ceiling ht. 12'-0", 250 sqft). Room M is a bath room (8'-0" x 6'-0", ceiling ht. 12'-0", 48 sqft). Room N is a bath room (8'-0" x 7'-0", ceiling ht. 12'-0", 56 sqft). Room O is a processing room (24'-0" x 21'-3", ceiling ht. 12'-0", 408 sqft). Room P is a mechanical room (20'-8" x 21'-3", ceiling ht. 12'-0", 645 sqft). Room Q is a hallway (12'-8" x 34'-4", ceiling ht. 12'-0", 434 sqft). Room R is a storage room (10'-0" x 10'-0", ceiling ht. 12'-0", 100 sqft). Room S is a storage room (10'-0" x 10'-0", ceiling ht. 12'-0", 100 sqft). The plan also includes various doors (e.g., exterior, interior, non), windows, and fixtures like sinks and toilets. A central corridor connects the main sections. A legend at the top left defines symbols for secured rooms and activated charcoal carbon filters. A north arrow is also present.

AC UNITS - TYPE:
SEE DET. 2 / A-5

1'-0" = 1'-0"

For Purlins and Exterior
Wall Mat'l Typical All Sides

1 A-8

150'-0"

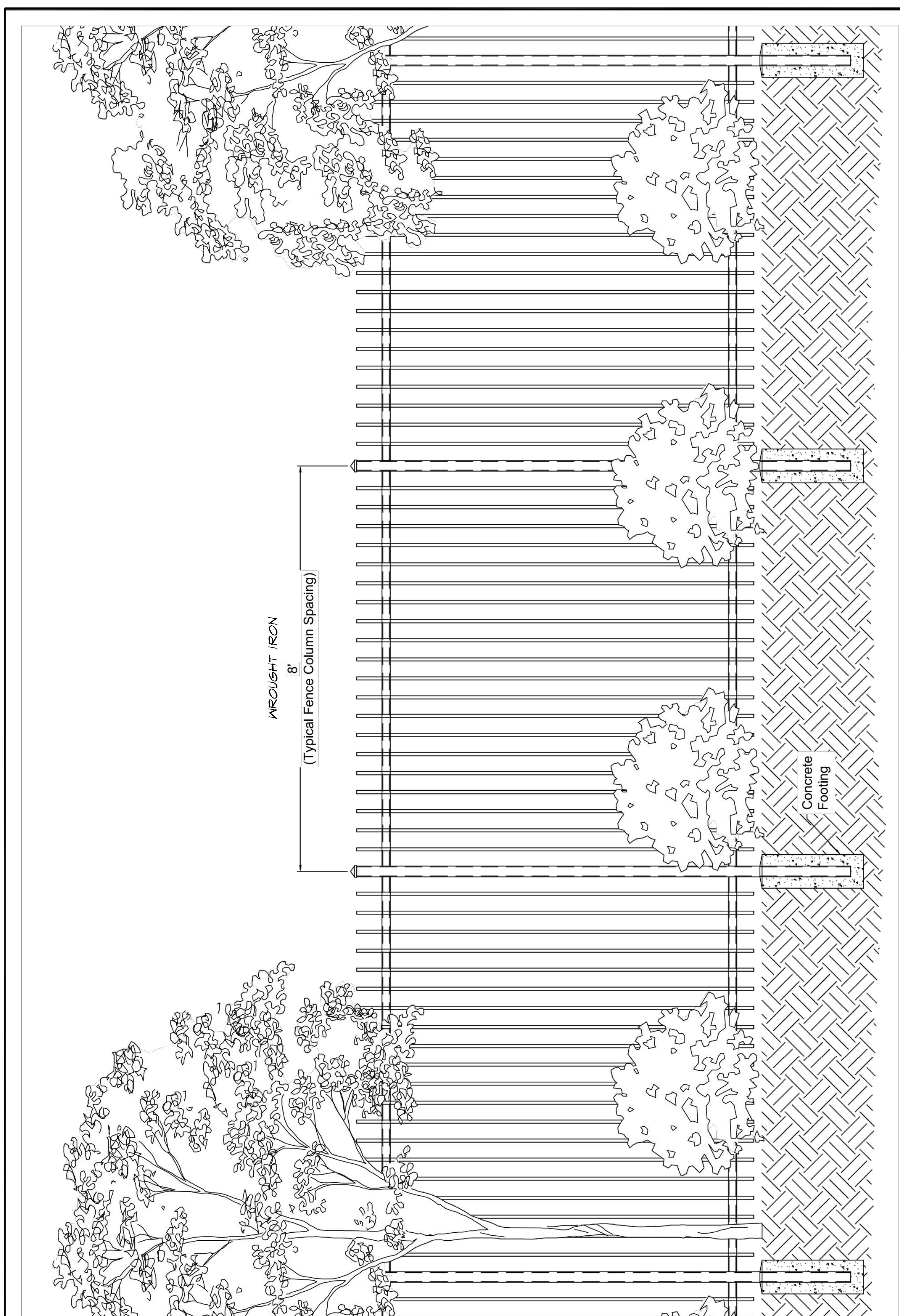
1 BLDG 'B' GROW LIGHTING PLAN

SCALE: 1/8" = 1'-0"

C13

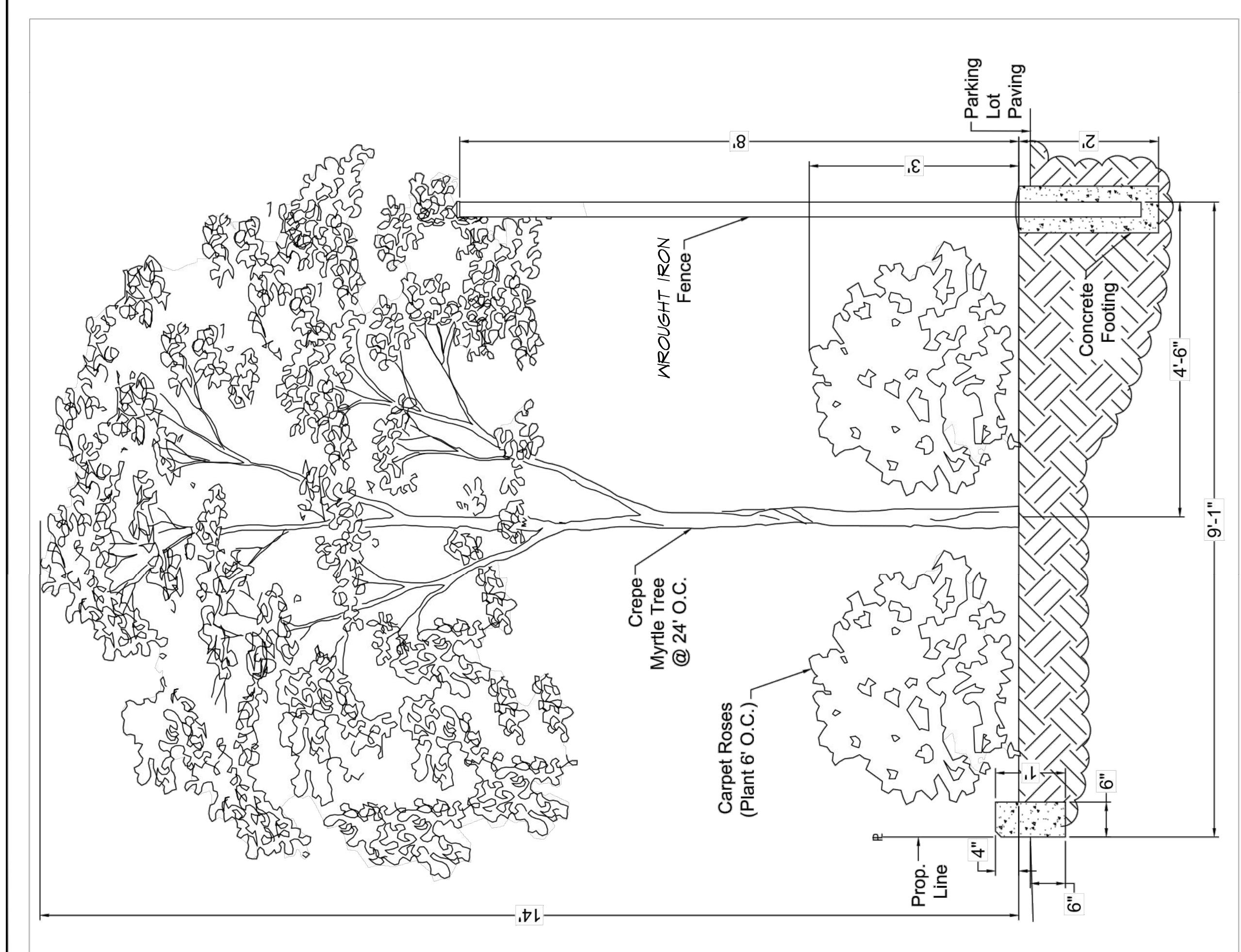
SITE INFORMATION	
LOCATION: 210 - 2300 Wilbur Ave, Antioch, CA 94556	APN#: 051-00-028
ZONING: <small>Permitted Business Category</small>	NO. OF STORIES: One
FIRE SPRINKLERED: Yes	
JURISDICTION	
NAME: JKCBH	BUILDING OWNER
ADDRESS: 1067 East Hwy 120 Ripon, CA 95366	PHONE: (209)636-4856
CASE #:	NAME: Commercial Cannabis
PROJECT	INTERNS:
ARCHITECT	NAME: David Vizcarra VizcarraCh@aol.com 209-610-6678
OWNER	PROJECT PRINCIPAL: Joshua Baker
FLOOR PLAN	
DRAWING INFORMATION	REVISION DATE: 04/17/20
PAGE TITLE: LANDSCAPE & FENCE DETAIL	FILE NAME: Commercial Cannabis
DRAWING SCALE: 1/8" = 1'-0"	DRAWING SCALE: 1/8" = 1'-0"

A-10



2 WROUGHT IRON FENCE COLUMN SPACING

1 LANDSCAPE ELEVATION



1 LANDSCAPE ELEVATION

2 WROUGHT IRON FENCE COLUMN SPACING

C14



AERIAL VIEW - NORTH SIDE

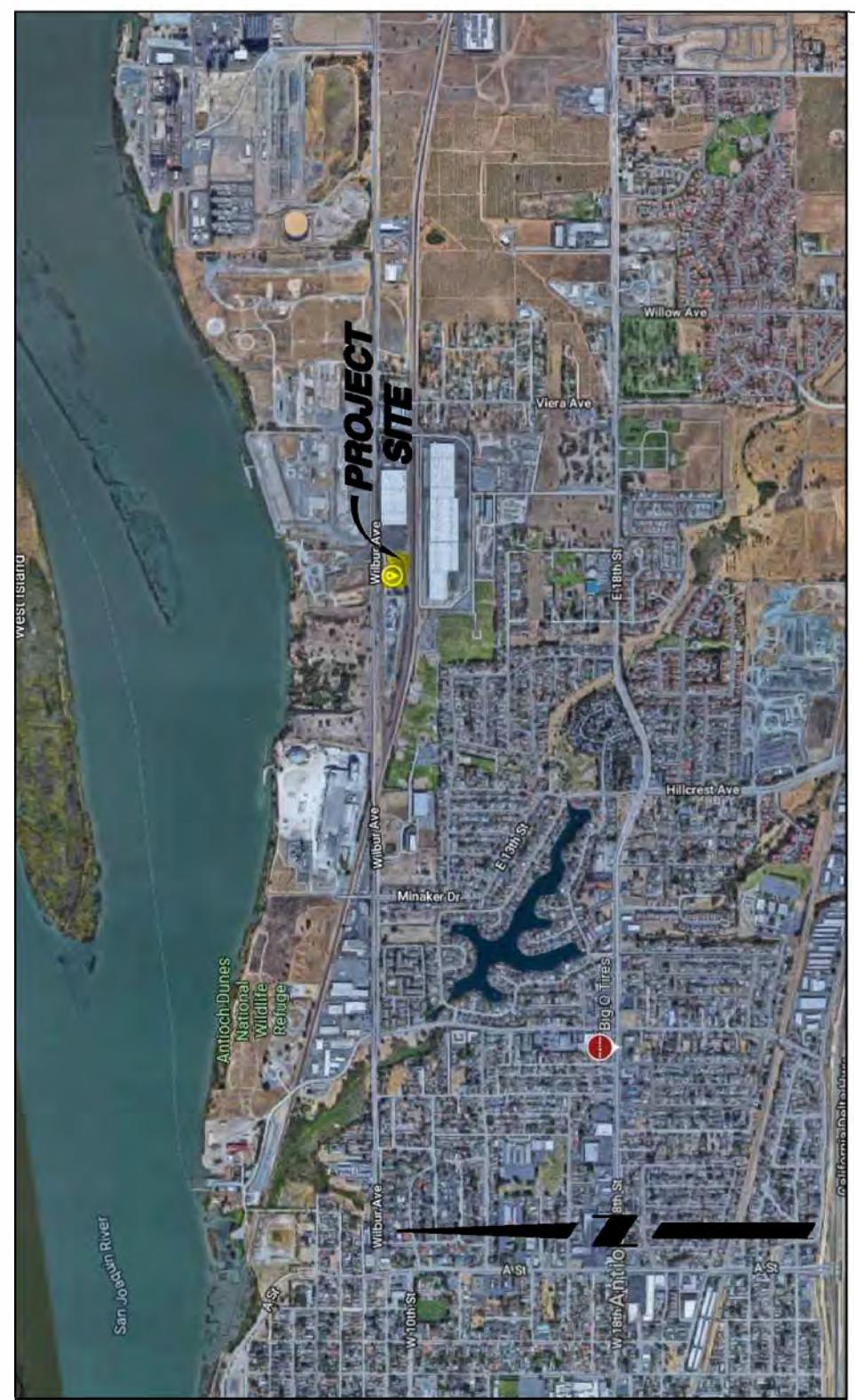


MATERIAL VIEW - SOUTH SIDE

<i>DWG.</i>	
<i>Drawn By:</i> MR	<i>Issue Date:</i> NO. DATE / 5/2020 F.O.R BY
<i>Job No.:</i> 1282 CORWIN DR.	<i>Checked:</i> DM
<i>Design By:</i> MANTECA, CA 95337	
<i>AERIAL SITE PLAN VIEWS</i>	
<i>Owner: NATURAL SUPPLEMENTS</i>	
19067 E. HIGHWAY 120 RIPON, CA 95336	
<i>GENERAL NOTES & DETAILS OF ANTIQUE</i>	
<i>CALIFORNIA OF _____</i>	

**IMPROVEMENT PLANS FOR:
WILBUR AVENUE
CULTIVATION FACILITY**

**2100 WILBUR AVENUE
ANTIOCH, CALIFORNIA**

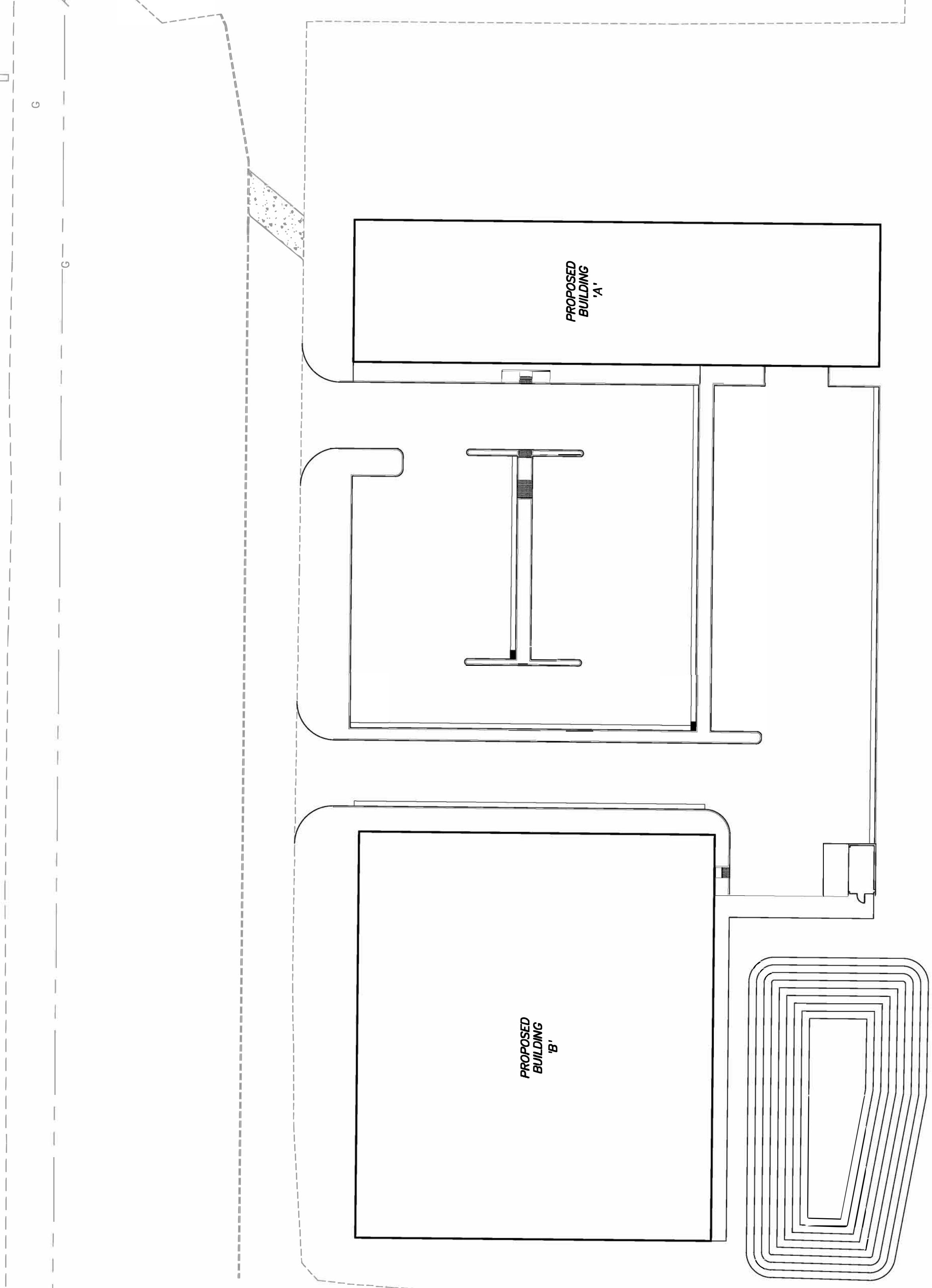


LEGEND		PROPOSED	
EXISTING			PROPOSED
WATER VALVE	— ⊕ —	N/A	N/A
TIRE HYDRANT	●	N/A	N/A
TIRE DEPARTMENT CONNECTION	N/A	FDC	FDC
HOSE BIB	HB	N/A	N/A
STANDARD MANHOLE	CO	N/A	N/A
CLEANOUT	CO	CO	CO
WATER LINE	— 8" W —	— 8" W —	— .003 → —
SANITARY SEWER	— < 8" S —	— < 8" S —	— < 12" SD —
STORM DRAIN	— < 12" SD —	— < 12" SD —	— < 12" SD —
DIRECTION OF FLOW	N/A	N/A	N/A
GRADE ELEVATION	N/A	N/A	N/A
ORIGINAL GROUND	— 0' —	— 0' —	— 0' —
CURB, GUTTER AND SIDEWALK	— — — — —	— — — — —	— — — — —
PORTLAND CEMENT CONCRETE		ASPHALT CONCRETE 3 1/2" A.C. OVER 8" A.B.	

LEGEND

WILBUR AVENUE

WILBUR AVENUE



<u>SHEET NO.</u>	<u>DESCRIPTION</u>
1	COVER SHEET
2	GENERAL NOTES & DETAILS
3	TOPOGRAPHY & DEMOLITION PLAN
4	GRADING & DRAINAGE PLAN
5	UTILITY PLAN
6	HORIZONTAL CONTROL PLAN
7	EROSION CONTROL PLAN

INDEX

<u>DESCRIPTION</u>	<u>ABBREVIATION</u>
AGGREGATE BASE	(N)
HALFT CONCRETE	(NE)
ESTOS CEMENT PIPE	(NW)
REGATE	NP
ILE POINT	NPS
WINNING OF CURVE	OC
INDARY	OFF
RETENTION CATCH BASIN	OG
LDING SETBACK LINE	PL
K OF SIDEWALK	PP
TOM OF WALL	PRC
RB AND GUTTER	PT
CH BASIN	PUE
TT IRON PIPE	PVC
TERLINE	R OR r
AN OUT	RC
Y OF MODESTO	RCP
CRETE	RD
ARM DRAIN	RET
AIL	RP
IN INLET	(RT)
METER	RV
ITLE IRON PIPE	RW OR R/W OR ROW
EOVER CURB (ROLLED CURB)	S
EWAY	(S)
OF CURVE	SD
CTROJER	SDLN
AVATION	SDMH
E OF PAVEMENT	(SE)
EMENT	SHT
GTING	SNS
SHED CONCRETE	SS
SHED GRADE	SSLN
E HYDRANT	STA
W LINE	STD
URE TOP OF CURB	SW
OUND	(SW)
DE BREAK	TC
H DENSITY POLYETHYLENE PIPE	TEMP
RAULIC GRADE LINE	THRU
IRZONAL	II
H PONT	TMC
ET / OUTLET	TP
ERT	TPE
AGINATION	TW
EAL FEET OR LINEAR FEET	TYP
' POINT	UON
OLE	VCP
MINUM	VERT
OLE	VG
MINUM	W
OLE	(W)
MINUM	WS
	+

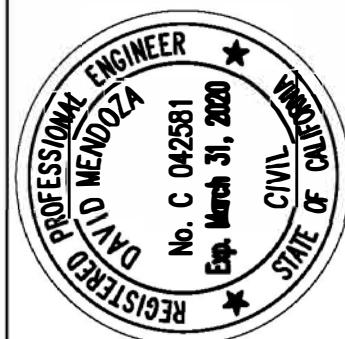
ABBREVIATION LIST

ABBREVIATION	DESCRIPTION
©	AT
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
ACP	ASBESTOS CEMENT PIPE
AGG	AGGREGATE
AP	ANGLE POINT
BC	BEGINNING OF CURVE
BOUND	BOUNDARY
BRCB	BIORETENTION CATCH BASIN
BSSL	BUILDING SETBACK LINE
BSW	BACK OF SIDEWALK
BW	BOTTOM OF WALL
C/G	CURB AND GUTTER
CB	CATCH BASIN
CIPI	CAST IRON PIPE
CL	CENTERLINE
CO	CLEAN OUT
C.O.M.	CITY OF MODESTO
CONC	CONCRETE
D	STORM DRAIN
DET	DETAIL
DI	DRAIN INLET
DIA	DIAmeter
DIP	DUCTILE IRON PIPE
DO	DRIVEOVER CURB (ROLLED CURB)
DW	DRIVeway
(E)	EAST
EC	END OF CURVE
EL OR ELEC	ELECTROJER
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
EX OR EXIST	EXISTING
FC	FINISHED CONCRETE
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FTC	FUTURE TOP OF CURB
G	GROUND
GB	GRADE BREAK
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HGL	HYDRAULIC GRADE LINE
HORIZ	HORIZONTAL
HP	HIGH POINT
I/O	INLET / OUTLET
INV	INVERT
IRR	IRRIGATION
LF	LINEAL FEET OR LINEAR FEET
LP	LOW POINT
(LT)	LEFT
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
(N)	(NE) (NW) (NW)
(NE)	(NE)
NP	NTS
NTS	OC
OFF	OFF
OG	PT
PL	PVC
PP	R OR r
PRC	RC
PT	RCP
PUE	RD
PVC	RET
R	RP
(RT)	RV
RW	RW OR R/W OR ROW
S	S
SDLN	SDMH
(SE)	SHT
SNS	SNS
SS	SSLN
STA	STD
STD	SW
SW	(SW)
TC	TEMP
THRU	THRU
T	TMC
TMC	TP
TP	TPE
TW	TW
TYP	TYP
UN	UN
VCP	VERT
VG	VG
W	W
(W)	(W)
WS	+

<u>ABBREVIATION</u>	<u>DESCRIPTION</u>	<u>ABBREVIATION</u>
---------------------	--------------------	---------------------

	DWG.	C-1	SHEET	1	OF <u>7</u>
<p>WILBUR AVENUE CULTIVATION FACILITY</p> <p>COVER SHEET</p> <p>ANTIOCH</p> <p>CALIFORNIA</p>					

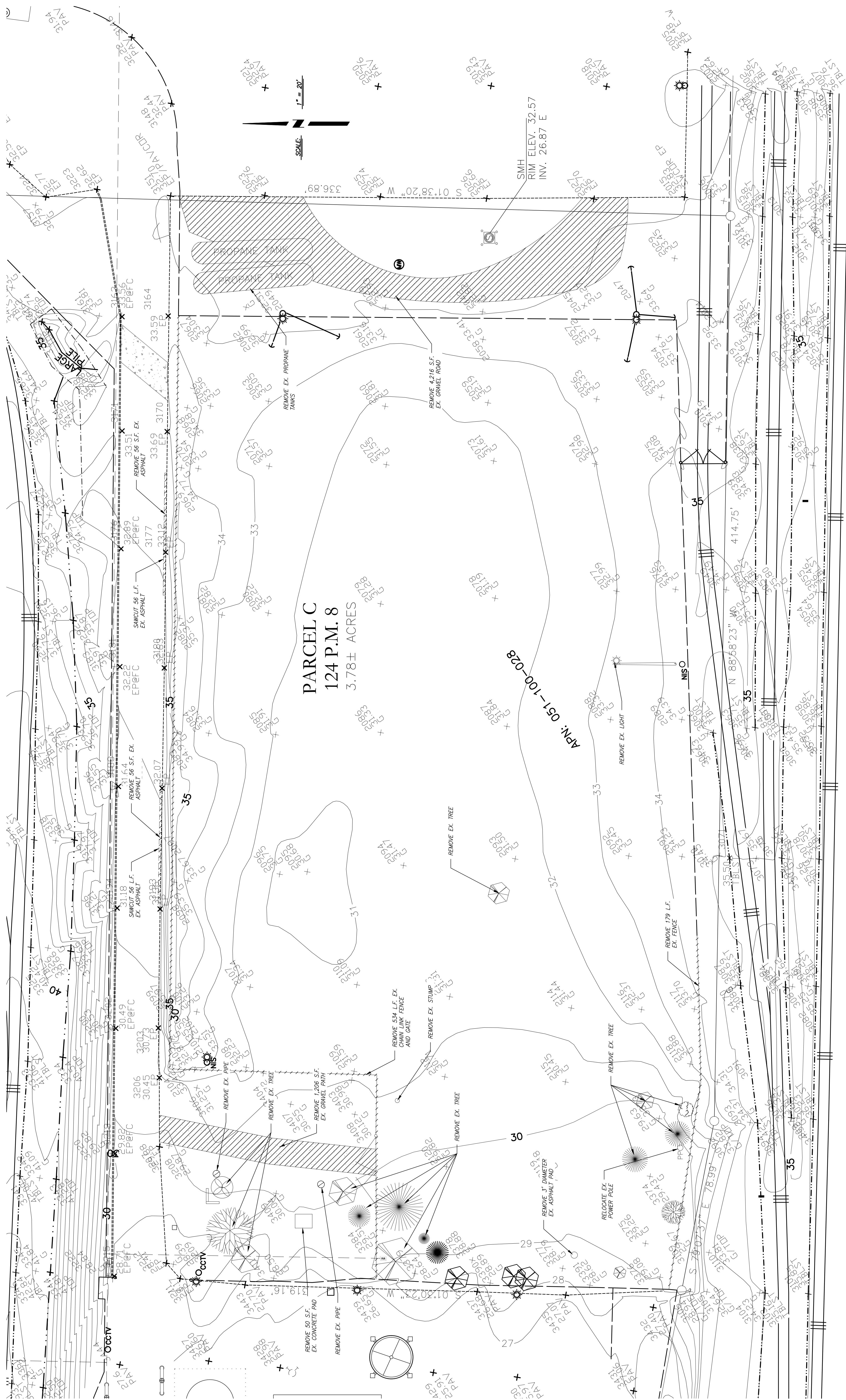
*Engineer: DAVE MENDOZA
1282 CORWIN DR.
MANTECA, CA 95337*



R E V I S I O N S					
Drawn By:	MR	Issue Date: 11/5/2019	No.	Date	ISSED FOR BY
Job No.:	20000				
Checked:	DM				
Design By:					

Owner: NATURAL SUPPLEMENTS
19067 E. HIGHWAY 120
RIPON CA 95336

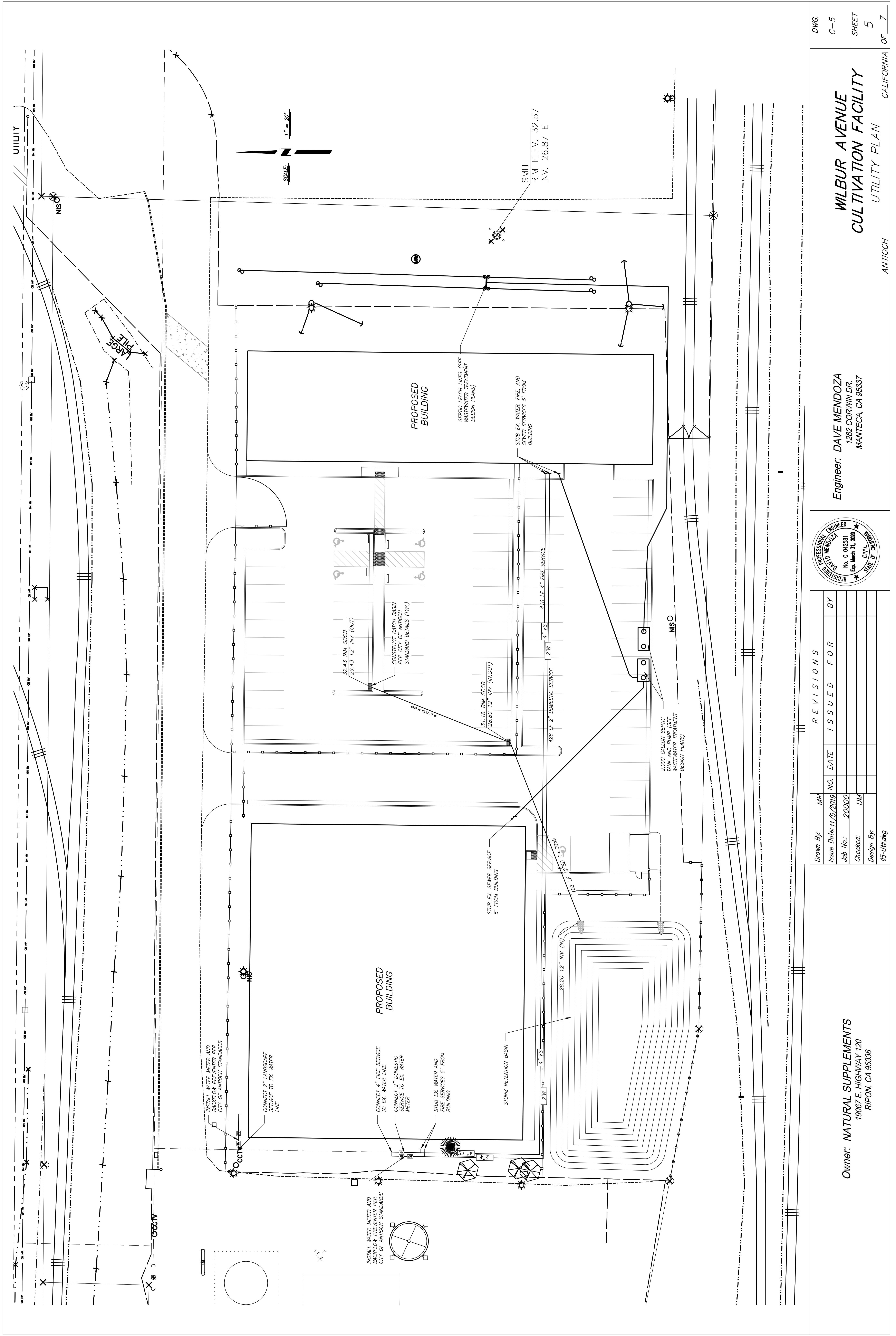
C16

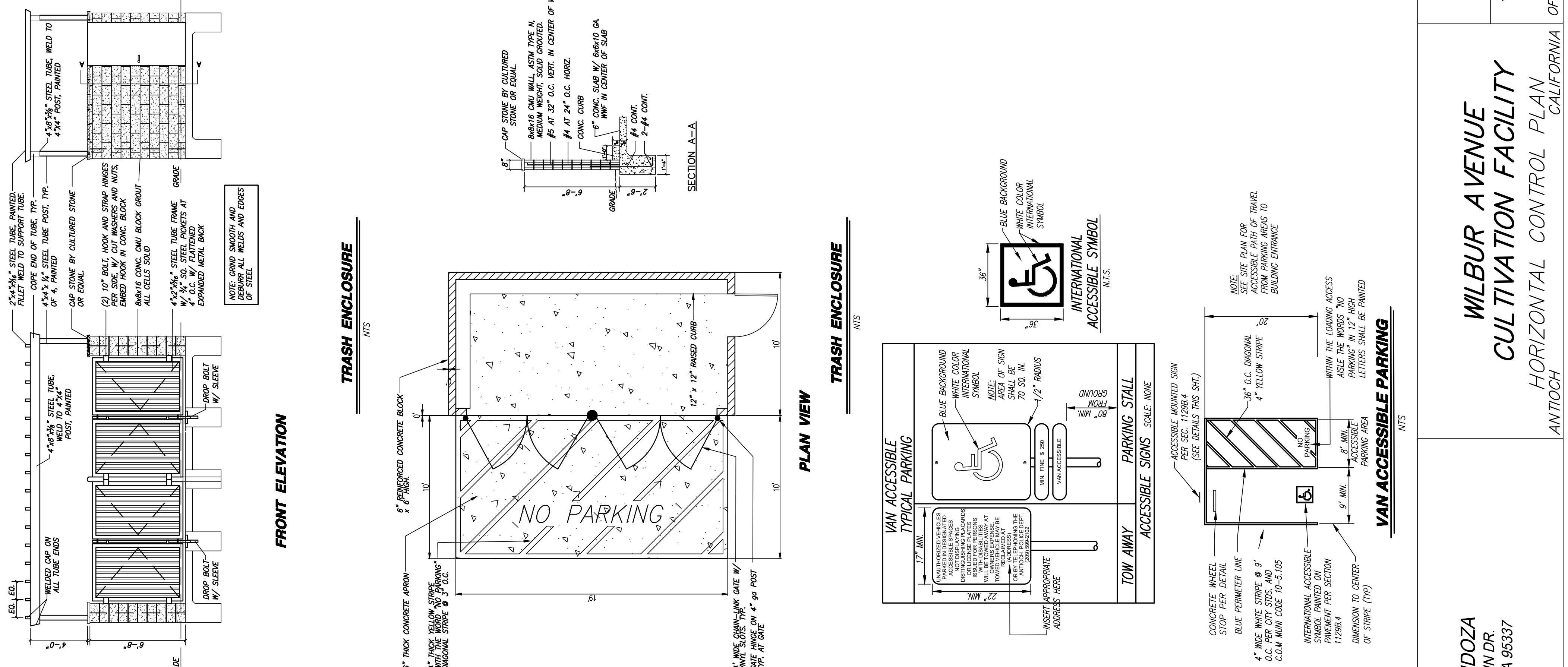
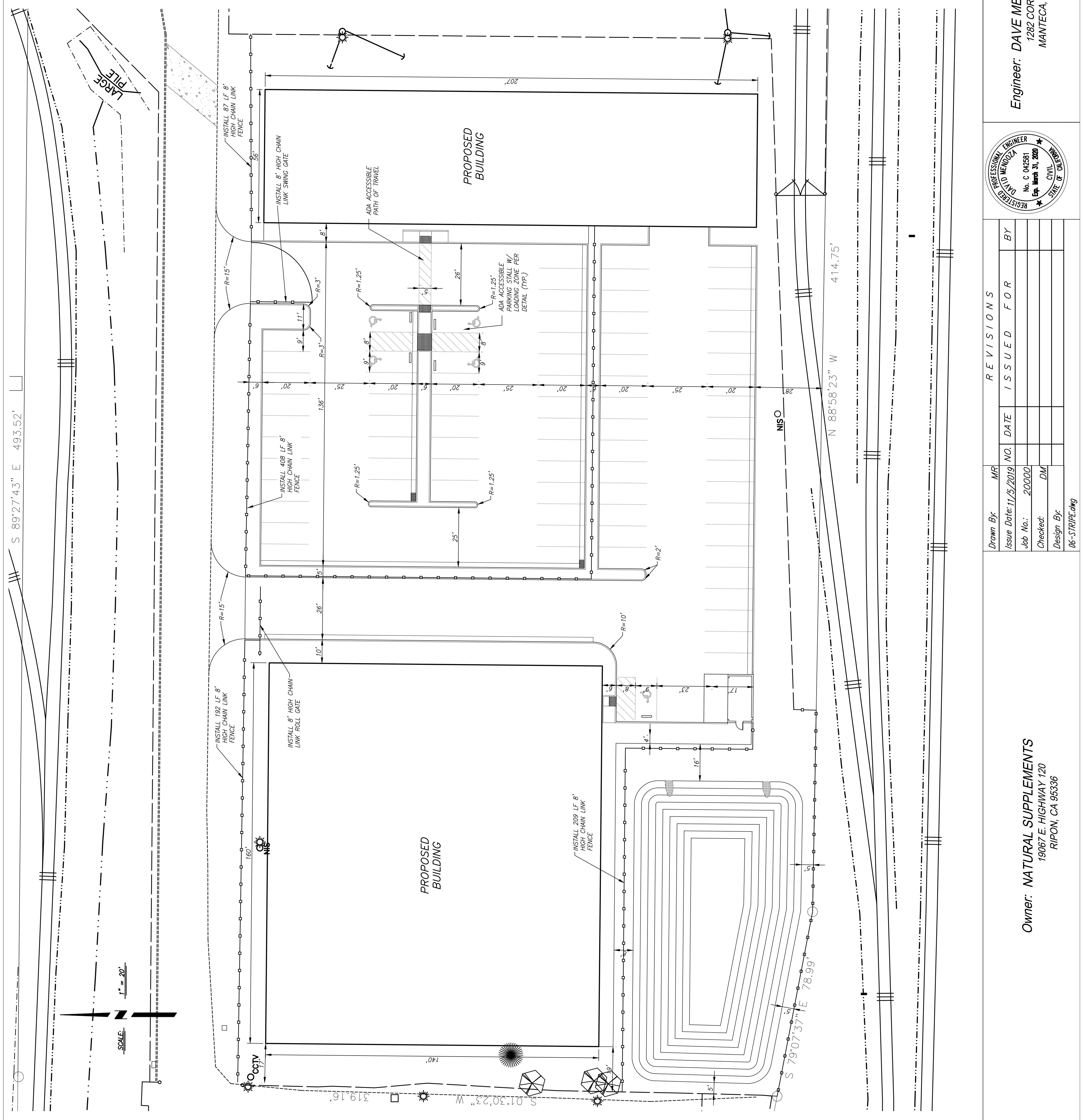


<p><i>Owner: NATURAL SUPPLEMENTS</i></p> <p><i>19067 E. HIGHWAY 120</i></p> <p><i>RIPON, CA 95336</i></p>		<p><i>REVISIONS</i></p> <p><i>MR</i></p> <p><i>Issue Date: 11/15/2019</i></p> <p><i>No. C 042581</i></p> <p><i>Exp. March 31, 2020</i></p> <p><i>Checked: DM</i></p> <p><i>Design By:</i></p> <p><i>03-Topo.dwg</i></p>	<p><i>DWG.</i></p> <p><i>C-3</i></p> <p><i>SHEET</i></p> <p><i>3</i></p> <p><i>OF 7</i></p>
<p>WILBUR AVENUE CULTIVATION FACILITY</p> <p><i>TOPOGRAPHY & DEMOLITION PLAN CALIFORNIA ANTIOCH</i></p>			
			

Owner: NATURAL SUPPLEMENTS
19067 E. HIGHWAY 120
RIPON, CA 95336

C18



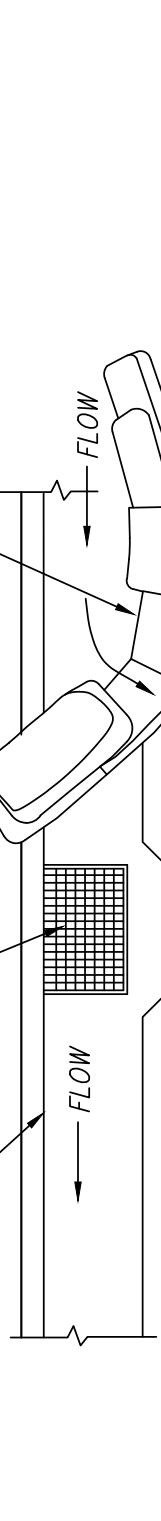
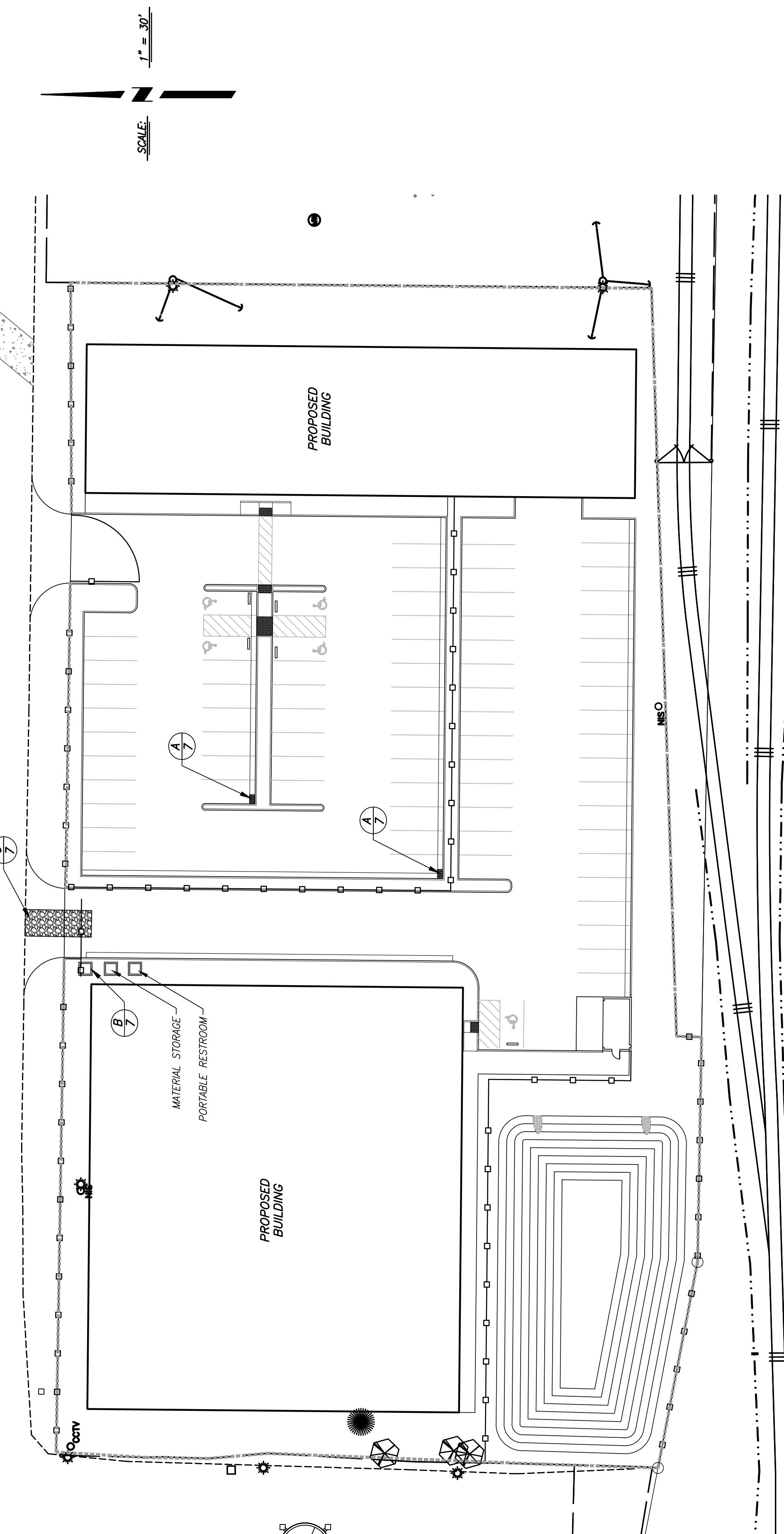


SWPPP NOTES:

1. SURFACE RUNOFF FROM GRADED AREAS WILL NOT BE ALLOWED TO RUN INTO THE STORM DRAIN SYSTEM AT ANY TIME. IF SITE CONSTRUCTION OCCURS BETWEEN OCTOBER AND APRIL 15 THEN THE CONTRACTOR SHALL CONSTRUCT AND MANTAIN A SEDIMENTATION BARRIER AROUND ALL INLETS.
2. THE CONTRACTOR SHALL HYDROSEED TEMPORARY STORM DRAIN DISCHARGE DITCH AND ALL SLOPED AREAS 12.1 AND THE READERAINE SEED MIX SHALL BE LUNA PUBESCENT, 40% BANDO BROME, 40% ANNUAL RUMENGRASS AND 20% BERMUDA GRASS. THE SLOPES SHALL BE SLOPED AT A RATE OF 1:1.5. THE CONTRACTOR SHALL HYDROSEED A RATE OF 1,000 POUNDS PER ACRE. FERTILIZER SHALL BE APPLIED AT A RATE OF EQUAL APPLIED A RATE OF 500 POUNDS PER ACRE. ALL HYDROSEEDING SHALL BE COMPLETED BY THE END OF SEPTEMBER OR SOON THEREAFTER IF NECESSARY. THE CONTRACTOR SHALL WATER SEDED AREAS OR RESED AS NECESSARY TO ENSURE SUFFICIENT PLANT DEVELOPMENT FOR EROSION CONTROL.
3. NO CONCRETE, GRAVEL, ASPHALT PRODUCT, TOPSOIL, OR OTHER CONSTRUCTION MATERIAL THAT MAY BE ERODED SHALL BE STORED ON ANY PAVED SURFACE AT ANY TIME.
4. NO GAS, OIL, OR OTHER PETROLEUM-BASED PRODUCTS SHALL BE STORED ON ANY PAVED SURFACES.
5. THE CONTRACTOR'S EQUIPMENT SHALL NOT BE CLEANED ON THE CONSTRUCTION SITE OR ON A PROPERTY ADJACENT TO THE CONSTRUCTION SITE.
6. PAVED SURFACES SHALL NOT BE WASHED WITH WATER. INSTEAD, ACCUMULATED MATERIALS WILL BE SWEEPED AND REMOVED WITH MECHANICAL METHODS.
7. REMOVE SEMENTS GENERATED DURING STORMS FROM AROUND SEDIMENTATION BARRIERS IMMEDIATELY FOLLOWING
8. CONCRETE & STUCCO WASHOUT SHALL BE AT DESIGNATED AREAS.
9. BMP'S SELECTED FOR THIS PROJECT INCLUDE THE FOLLOWING:
 - A. SCHEDULING
 - B. EMPLOYEE TRAINING
 - C. CONCRETE WASHOUT
 - D. CONSTRUCTION MATERIALS HANDLING AND WASTE MANAGEMENT
 - E. CANTARIA FACILITIES
 - F. STABILIZED CONSTRUCTION ENTRANCE
 - G. FILTER FABRIC INLET CONTROL BARRIER
 - H. ROCK DISBURSEMENT AREA
 - I. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE BMP'S FROM THE BEGINNING OF THE PROJECT AS APPLICABLE. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING AND REPAIRING THE BMP'S AND DOCUMENTING SUCH ACTIVITIES IN ACCORDANCE WITH THE SWPPP.
 - J. HYDROGRAPHICAL PER THE CASE DETAIL OR PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
 - K. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MATERIALS FOR SEDIMENTATION BARRIERS AND SHALL IMMEDIATELY NOTIFY THE OWNER OF ANY SPILLS LEAKAGE, MALFUNCTION, OR OTHER OCCURRENCES FROM CONSTRUCTION MATERIALS OR BAGS AND SHALL IMMEDIATELY NOTIFY THE OWNER OF THE REGIONAL WATER QUALITY CONTROL BOARD USING THE NOTICE OF NON-COMPATIBILITY IN SUCH AN EVENT. THE CONTRACTOR SHALL TAKE IMMEDIATE STEPS TO CLEAN UP THE RELEASE OF POLLUTANTS BEFORE AND DURING THE NEXT STORM EVENT AS REQUIRED BY THE SWPPP FOR NON-VISIBLE POLLUTANTS BEFORE AND UNTIL LANDSCAPING IS COMPLETE.
 - L. PROVIDE FIBER ROLL SEDIMENT BARRIER AT THE PERIMETER OF THE PROJECT, AND AROUND EACH BLOCK UNTIL LANDSCAPING IS COMPLETE.
 - M. THE TOTAL AREA OF DISTURBED SOIL FOR THIS PROJECT SITE IS 18,197 S.F.

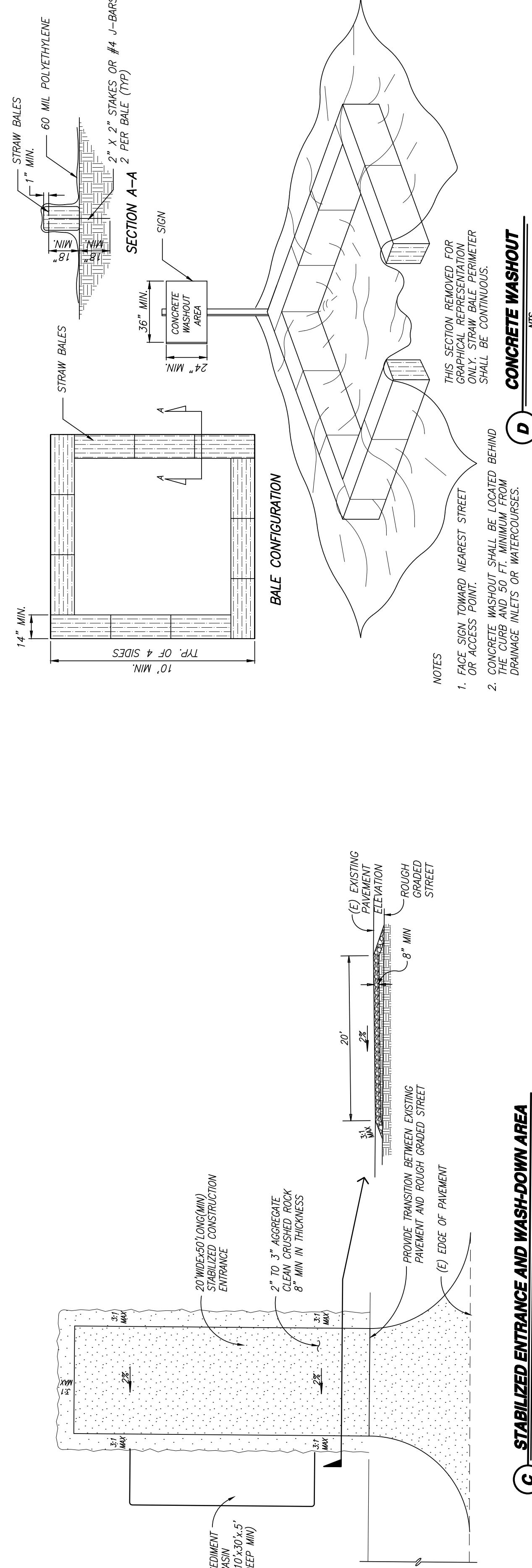
TEMPORARY STABILIZED CONSTRUCTION ENTRANCE

- DESIGN AND CONSTRUCTION SPECIFICATIONS:**
1. THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 3 INCH STONE.
 2. THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 8 INCHES.
 3. THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 4. THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50 FEET.
 5. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL USE OF CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 6. EXHAUSTED TIRES, WHEELS, TIRE, AS WELL AS ANY ON-SITE CATCH BASINS IN THE PUBLIC RIGHT-OF-WAY, AS WELL AS ANY ON-SITE CATCH BASINS ON PRIVATE PROPERTY.
 7. CONTRACTOR SHALL REMOVE CONSTRUCTION ACTIVITIES DO NOT DEPOSIT SEDIMENT ONTO THE PUBLIC ROADWAY, SIDEWALKS AND GUTTERS.
 8. CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION DEBRIS MUST BE REMOVED BY THE END OF EACH WORKING DAY.
 9. CONTRACTOR SHALL USE STREET SWEEPER OR OTHER DRY SWEEPING METHOD, AS NECESSARY, TO REMOVE CONSTRUCTION DEBRIS FROM CONSTRUCTION VEHICLES ONTO THE PUBLIC RIGHT-OF-WAY FROM CONSTRUCTION VEHICLES.
 10. CONTRACTOR SHALL ENSURE THAT CONSTRUCTION ACTIVITIES DO NOT DEPOSIT SEDIMENT ONTO THE PUBLIC ROADWAY, SIDEWALKS AND GUTTERS.
 11. CONTRACTOR SHALL INSTALL A CITY-APPROVED WASH-OUT STRUCTURE AT THE CONSTRUCTION SITE. ALL CONCRETE, PAINT, STUCCO AND OTHER LIQUIDS WILL BE WASHED OUT IN THIS AREA.
 12. CONTRACTOR SHALL PROVIDE DUST CONTROL TO PREVENT THE NUISANCE OF BLOWING DUST WITHOUT CAUSING SEDIMENT, DEBRIS, OR LITTER TO ENTER THE CITY STORM DRAIN SYSTEM.
 13. CONTRACTOR SHALL INSTALL ANY OTHER BMP'S AS NECESSARY TO CONTROL THE DISCHARGE OF POLLUTANTS FROM THE PROJECT SITE.
 14. THE CONTRACTOR IS RESPONSIBLE FOR THE IMPLEMENTATION AND ADHERENCE TO THE EROSION CONTROL PLAN.



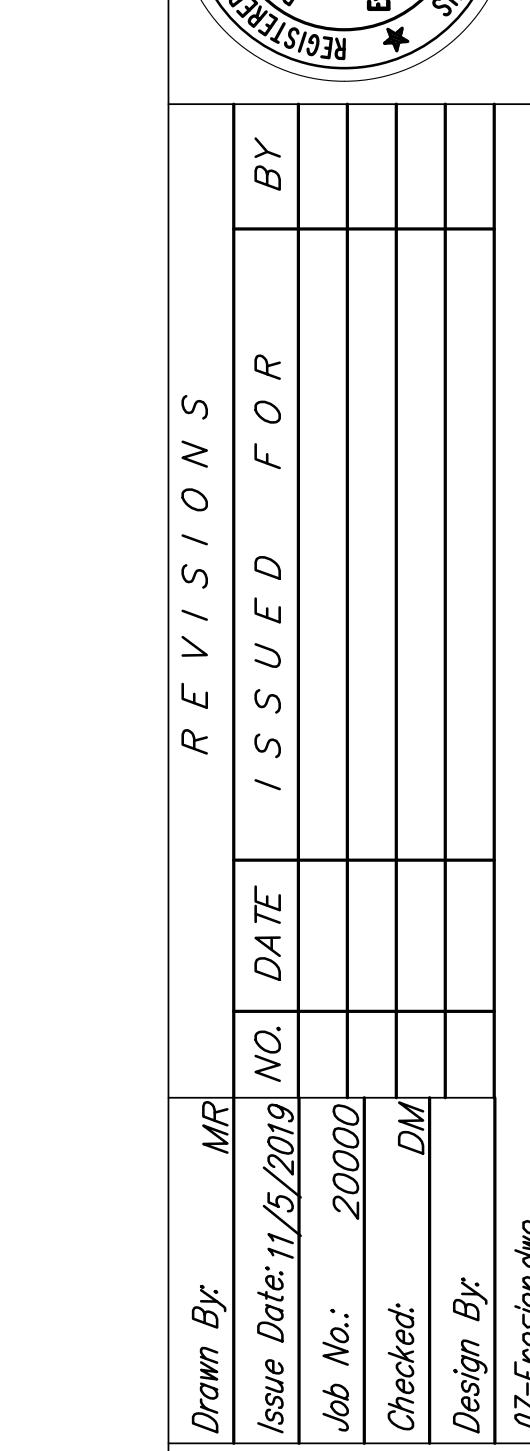
A Typical Protection for Curb Inlet on Grade

NOTE:
 1. INTENDED FOR SHORT-TERM USE.
 2. USE TO INHIBIT NON-STORM WATER FLOW.
 3. ALLOW FOR PROPER MAINTENANCE AND CLEANUP.
 4. BAGS MUST BE REMOVED AFTER ADJACENT OPERATION IS COMPLETED.
 5. NOT APPLICABLE IN AREAS WITH HIGH SILTS AND CLAYS WITHOUT FILTER FABRIC.



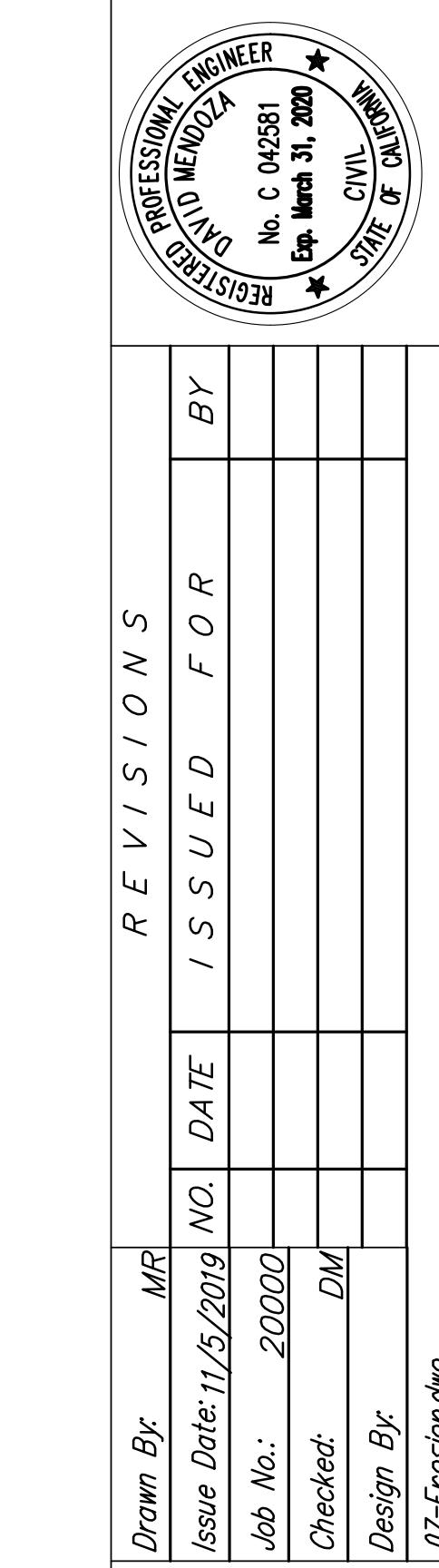
C Stabilized Entrance and Wash-Down Area

NWS



B Erosion Control Fiber Roll

NWS

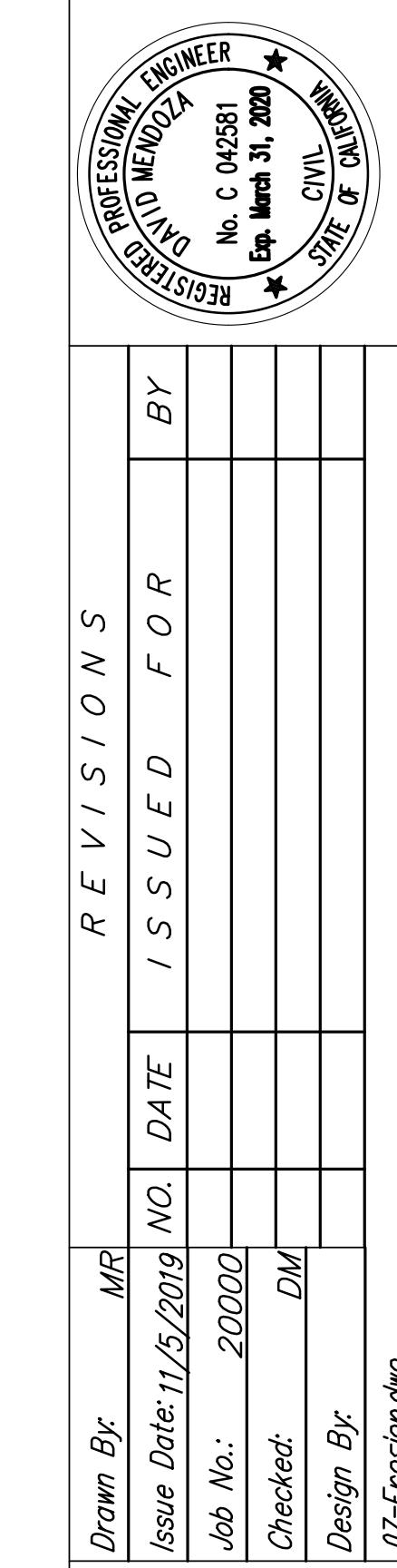


A Erosion Control Fiber Roll

NWS

Owner: NATURAL SUPPLEMENTS
19067 E. HIGHWAY 120
RIPON, CA 95366

Drawn By	MR	REV/S/ONS
Issue Date: 11/5/2019	NO	DATE
Job No.:	20000	F OR BY
Checked:	Dm	
Design By:		
07-Erosion.dwg		



DWG: C-7
SHEET: 7
PLAN: Wilbur Avenue Cultivation Facility Erosion Control Plan California of Antioch

ATTACHMENT D

Project Description

Project Description

2110-2300 Wilbur Ave. Antioch, CA 95356;

APN: 051-100-028

Zoning: PBC

Introduction

Natural Supplements, Inc. has proposed to develop the subject property including the construction of commercial and industrial structures on site to facilitate the operation of several Commercial Cannabis Business operations under Type 10 'Retail Storefront and Delivery', and Type 11 'Distributor' licenses from the State of California Bureau of Cannabis Control within the Department of Consumer Affairs, a Type 7 'Manufacturer' license from the California Department of Health, as well as a Type 3A 'Medium Indoor Cultivation' license from the State of California Department of Food and Agriculture.

The subject site is located at the above address within the City of Antioch in a 'Planned Business Center' Zone.

Design Program

The project design is centered around several key elements which include:

- 1) Optimizing Site Security for the Protection of Customers and General-Public;
- 2) Maintaining the General Aesthetic Character of the Surrounding Community;
- 3) Minimizing Community Impact(s);
- 4) Maximizing Efficiency and Productivity in Beneficial Use of Property

Relationship of Site to Surrounding Uses:

The general area surrounding the project site is predominated by industrial buildings and work-yards. Immediately to the North is a vehicle impound yard. Immediately to the East is Silgan Container Corporation, and Antioch Tile and Stone. Immediately to the South is One Source Supply Solutions, a wholesale electrical supply store, and Granite, Marble, and Stone - Fabrication and Installation Specialists. Immediately to the West is a metal and vehicle scrap and trucking yard.

Antioch Youth Sports Complex is located to the south-west of the project but shall not be impacted whatsoever by business operation. The Complex is insulated from the subject site by the existing railroad easement and tracks which are secured by perimeter fencing outfitted with razor-wire. The elevation of the railroad easement as well as its security infrastructure render the

facility completely inaccessible to potential sensitive use constituents. Additionally, odor control measures to be implemented at Natural Supplements facility shall ensure that our operation does not present any disturbance whatsoever to the constituents of the sports complex.

Number of Employees: 2 (Min/Shift)-Night Security
36 (Maximum/Shift) [Combined Activities]

Product Transport/Deliveries: Natural Supplements anticipates product transports 3-4 times per week. All transfers of product from the facility to an off-site location shall take place within the secure Value Transfer Rooms within the facility structures. Further, upon arrival of product, following admittance to the site parking lot, the transport vehicle will be escorted into the Secure Value Transfer Room once the facility gate is closed and locked. The physical transfer of product shall always take place within the facility and out of public view.

In addition to product transport to and from the distribution, manufacturing and cultivation facilities as contemplated above, Natural Supplements Retail facility anticipates approximately 40 direct to customer deliveries per day, between the hours of 10am and 8pm.

Vendors/Customers: Natural Supplements will not require the admittance of vendors or customers on site, other than Lab Testing facilities who are contracted to take product samples for compliance with quality control regulations. This may take place once per week. During the extraction of a lab testing sample, the lab testing contractor will typically dispatch 1-2 technicians to the facility. This may take place 1-2 times per week.

Hours of Operation and Employee Shifts:

Retail: The hours of operation at the Retail facility shall be from 8:00am to 8:00pm.

Shift 1: Shall occur between the hours of 8am and 12pm

Shift 2: Shall occur between the hours of 12pm and 4pm

Shift 3: Shall occur between the hours of 4pm and 8pm

Distribution: The hours of operation at the distribution facility shall be from 9:00am to 6:00pm. There shall be only one shift for employees of this operation.

Manufacturing: The hours of operation at the distribution facility shall be from 10:00am to 8:00pm. There shall be only one shift for employees of this operation.

Cultivation: The hours of operation at the cultivation facility shall be from 6am to 6pm.

Shift 1: Shall occur between the hours of 6am and 12pm

Shift 2: Shall occur between the hours of 12pm and 6pm.

Project Phasing:

BUILDING A-

[RETAIL PREMISES] QTR 4 (2020)

[DISTRIBUTION PREMISES] QTR 4 (2020)

[MANUFACTURING PREMISES] QTR 1 (2021)

BUILDING B-

[CULTIVATION PREMISES] QTR 1 (2021)

Parking Analysis:

Parking Required

Legend: (S)=Site; (R)=Retail; (D)=Distribution; (M)=Manufacturing; (C)=Cultivation

Site:

- (1) Security Manager (S)
- (1) Security Staff Member (S)

Building A:

- (1) Receptionist (R)
- (1) Retail Operations Manager (R)
- (5) Retail Clerks (R)
- (3) Delivery Transporters (R)

- (2) Distribution Inventory Clerks (D)
- (1) Distribution Manager; and (D)
- (2) Distribution Transporters (D)

- (1) Manufacturing Operations Manager (M)
- (4) Manufacturing Technicians (M)

Building B:

- (1) Secretary (C)
- (1) Operations Manager (C)
- (12) Cultivation Technicians (C)

TOTAL EMPLOYEES: = 36

TOTAL SPACES REQUIRED = 74

PARKING PROVIDED

Exterior:

(75) 9'x20' STANDARD STALLS
(4) 9'x20' VAN ACCESSIBLE DISABLED

* **TOTAL STALLS PROVIDED = 79**

Landscaping and Tree Planting Plan:

The proposed landscaped area on site shall cover 11,336 sq. ft. of the project site. The project shall involve the construction of any new buildings on site. Accordingly, landscaping shall be added for its aesthetic quality and for the accommodation of on-site storm water drainage, and leach septic system field.

Site Calculations

AREA BREAKDOWN:

GROSS SITE AREA: 172,933 S.F.

LANDSCAPED AREA: 11,336 S.F.

BUILDING AREA: 33,600 S.F.

CONCLUSION:

11,336 S.F.
172,933 S.F. = (7)% LANDSCAPED AREA

(33,600) S.F.
(172,933) S.F. = (19.4)% BUILDING AREA

Retail Activities [Building A]:

The primary activities involved in the operation of the commercial cannabis Retail Operation would involve of the retail sales and delivery of cannabis goods to both medicinal and adult use customers, as well as currency transfers from the facility. Distribution of Cannabis goods to the retail premises would be facilitated by Natural Supplements Distribution operation located within Building A.

Activities ancillary to these daily operations are constant maintenance of on-site security, business administration, as well as daily office management involving record keeping, correspondence, and interface with facility personnel. We anticipate occasional inspections from local and state authorities from respective governmental agencies who shall be allowed on site to inspect and confirm regulatory compliance.

The Hours of operation for the Retail Facility shall be from 8:00am to 8:00pm Monday through Sunday.

Open Concept Retail 'Sales Room'

The Retail Floor Area will provide a free-flowing atmosphere with the massive space to enhance the Customer experience. The traffic flow inside the facility will never exceed the maximum capacity, nor will there be customers waiting in line outside, as the magnitude of the square footage provides comfortable accommodation for a substantial volume of customers at one time.

Following security clearance and verification of customer age and credentials, customers awaiting entry into the Sales Room, customers will be able to browse Natural Supplements selection of products on offer in the 'Customer Product Room'. This will allow the customer to make specific inquiries with Sales clerk on specific products once a sales representative becomes available, making transactions more efficient.

The size of the retail floor space, which exceeds over 2,500 sq. ft. makes potential customer accommodation at this facility a premium asset for the Business and the City of Antioch.

Once the customer's credentials and ID have been verified, receptionists in the Customer Product Room will complete all guest intake forms and do the following:

- Create a customer profile in the Point of Sale (POS) software system;
- Enter the guest's name, date of birth date and ID information into the appropriate data fields.
- Save the profile (for future use) and click "check in" to enter the person's name into the queue. Proceed to inform the guest about the daily limits on products;
- When an employee checks in a returning guest, the following occurs:
 - Ask the person for a valid proof of identification,
 - Find the guest's profile in the POS system.
 - Once the profile shows up on screen, click the customer's name to see their purchasing history at the facility as well as if they are a loyalty member, and click "Check In" to enter the person's name into the queue.
 - Once the customer reaches the Retail Sales Room, the sale of products commences.

The layout of the facility is much like walking into an Apple store – there will be kiosks throughout the sales floor with iPads attached to the tables. Customers can then use the iPads to look through the menu, additional pictures of the products, as well as more detailed information about the products for sale. Once they have found the products that they are interested in purchasing, a QR code is then printed from the tablet and taken over to a sales associate for further processing.

The following will occur during the Natural Supplements Customer Experience:

- Employees accommodate the customer's needs using product knowledge and sales skills gained through Natural Supplements initial training program.
- Interface with sales staff will always be geared toward friendliness and courtesy.
- The Retail Clerks also known as 'budtenders' and additional staff will advise the customers to the best of their ability about the products on hand.

Cannabis Product Register Procedures

Once the customers have completed their shopping experience, the cashier will be handed the printed QR code generated from the tablet. All cannabis must leave in an opaque package and if the product packaging isn't child proof, the opaque package must be childproof.

- Each product will be labeled uniquely by QR code and correlating ID associated within the tracking system. The QR code will be scanned into the data field to ensure the correct information for each product is being recorded.
- The inventory is then removed from the back-inventory storage and presented to the customer.
- All inventory is then charged and recorded in the POS system to properly monitor in real time the movement of product throughout the facility and into the final sale.
- Ensure all discounts have been entered correctly by reviewing the price of the order and the discounts notes as well as relaying any promotional information to the consumer
- Relay the order total to the customer and collect payment.
- Count all cash in front of the customer to ensure accuracy and accountability as well as for video recordings.
- The exit bags that are given to the customers will be reusable and, if they return with the bag, will be given a discount on their next and all future purchases. This will also aid in minimizing waste.

Once the product has been purchased, the customer will be asked if they want an email receipt, which will minimize waste and help to reduce paper usage

Customer Exit

- Once their purchase has been made, they will be required to exit the facility and, on the receipt, it will state “do not consume cannabis until you are home.”
- Leaving customers exit the facility through the exit door, a separate door from the point at they entered, which will minimize congestion at the access points.

Security guards will observe departing customers to ensure they are not partaking in consumption in their vehicles while in the parking lot.

Exterior Flow of Customers

- Ample Parking

The parking lot is very large, which allows for seamless flow and we will have a valet service to assist customers with parking their vehicles. There are a total of 42 off street parking spaces available to customers, with an additional 36 spaces designated exclusively for employees, visitors and vendors in an area isolated from the public.

Additionally, there is an access road to the property from Wilbur Avenue, which helps with additional traffic flow. We will encourage employees to utilize public transportation as well as encourage carpooling. This assists not only with employee parking, but adds to environmental sustainability, with a smaller carbon footprint.

Goods for Sale and Customer Transactions

Goods for Sale

Natural Supplements shall not make any cannabis goods available for sale to a customer unless such goods were received from a licensed distributor, have not exceeded their expiration or sell-by date if one is provided, and, for manufactured cannabis goods, Natural Supplements shall ensure the product complies with all requirements of California Business and Professions Code Section 26130 and all other relevant laws. Natural Supplements retail facility shall not package or label cannabis goods, nor will it accept, possess, or sell cannabis goods that are not packaged as they will be sold at final sale.

Live Plants

Natural Supplements shall only sell live, immature cannabis plants if:

- The plant is not flowering;

- The plant or seed was purchased from a nursery that holds a valid Type-4 license under the Medicinal and Adult Use of Cannabis Regulation and Safety Act; and
- A label is affixed to the plant or package containing any seeds which states: "This product has not been tested pursuant to Medicinal and Adult-Use Cannabis Regulation and Safety Act."

Daily Product Limits

Natural Supplements shall not sell more than 28.5 grams of non-concentrated cannabis to an Adult Use Customer.

Natural Supplements shall not sell more than eight (8) grams of concentrated cannabis, including that which is contained in cannabis goods, in a single day to a single customer.

Natural Supplements shall not sell more than six (6) cannabis clones in a single day to a single customer.

Natural Supplements POS system shall prevent “looping,” where customers “loop” around the block and come back to the retail facility the same day to circumvent daily sales limits. The POS system shall correlate all purchases to an individual's customer profile and prevents circumvention of the rules.

Goods on Display in Retail Area

Goods for inspection and sale shall only be displayed in the Customer Product Room, with digital profiles and limited samples available for browsing, and shall not be visible from outside of the facility.

All other retail inventory shall be maintained in the Customer Product Rooms and Bulk Cannabis Storage Room. All cannabis sold to customers will be packaged and labeled in accordance with Division 10 of the California Business and Professions Code. No free samples of cannabis will be provided.

Customer Returns

Natural Supplements will accept returns of cannabis goods previously sold to a customer. Such goods shall not be re-sold once they have been returned, shall be treated as abandoned, and shall be destroyed and disposed.

Facility Layout and Logistics

Security Checkpoint

The Security checkpoint will serve as the sole entrance point for customers and visitors arriving at Natural Supplements Retail Facility. This feature shall serve as a deterrent to any potential

criminal activity or threat to customers, employees, and visitors at the store. One state licensed, uniformed, armed and badged security guard, shall provide customers, employees, as well as the City of Antioch with the comfort of knowing Natural Supplements keeps the safety and security of its customers and personnel at the forefront of consideration in its business practices. The Security Checkpoint area is large enough to accommodate several customers at one time who may form a small line completely within the building. The availability of this large interior intake space will prevent an over-congestion of customers and lines running to the exterior of the building.

Customer Product Room

This area of the facility shall serve as the primary hub for customer registration and intake, with a Receptionist available to assist each customer entering for the first time or returning to enjoy a unique and enjoyable customer experience with access to the commercial cannabis industry's most sought after and highest quality products on display prior to entry into the Sales Room. This area shall be outfitted with a reception desk and computer tablets connected with integrated POS software. Natural Supplements will create a Customer Profile for each customer in order to develop a customer marketing database for tracking of specific metrics including customer visitation patterns, buying patterns, and average sale value per visit.

Retail Sales Room

The Open Concept 'Apple Store→' design shall include a vast, airy floor space with several customer kiosks, each outfitted with multiple computer tablets containing integrated POS software, allowing customers to move freely to digitally browse, as well as physically inspect cannabis goods available in inventory with the assistance of Retail Clerks working the floor in the event a sample is requested. Large digital monitors will add to the customer experience with advertisements, menu items, and informational images displayed.

Bulk Cannabis Storage

Natural Supplements bulk inventory shall be housed in the Bulk Cannabis Storage which will be separated from the Retail Floor by a hallway which shall serve to provide compartmentalized, secure access. Furthermore, at the close of business, all remaining inventory placed in the Customer Product Rooms for customer viewing and inspection shall be returned to the Bulk Cannabis Storage during off-hours

The Bulk Cannabis Storage also shall be utilized to house cash accumulated from operations throughout the working day, as well as the computer tablets utilized by staff and customers.

Managers Office

This room will serve as the central location for facility business administration. It will house the facility's computer systems and administrative equipment, as well as records and documentation required to be housed on site under the Antioch Municipal Code and State Law, including transaction information, patient records, reports, shipping manifests

Security Office

The Security Room shall serve as the central location for security coordination, monitoring, and logistics. It will house the facility's security network infrastructure, including surveillance monitors with access to all security camera viewpoints which will be under the constant supervision of security personnel during all hours of operation. The Security Manager shall have master control of all locking mechanisms to every access point throughout the interior and exterior of the premises, which allows effective direction and control of high value transfers of product and currency to and from the facility. This room shall be accessible only to the Security Manager, Operations Manager and designated staff members.

Distribution Activities [Building A]:

The primary activities involved in the operation of the commercial cannabis distribution business would involve the wholesale purchase and resale of cannabis goods, as well as the provision of contract services, for processing, packaging, storage for lab testing, and transportation of cannabis goods to licensed retailers and distributors, including cannabis flower, cannabis concentrates, and edible cannabis goods. All cannabis products for wholesale purchase or taken in for service by Natural Supplements shall be sourced only from State licensed cultivators, Manufacturers and Distributors.

Such cannabis goods may arrive pre-packaged for distribution into the commercial market, or in bulk to be processed and packaged by Natural Supplements prior to testing and distribution to retailers and distributors.

All product transactions, including the physical transfer of cannabis goods, shall take place wholly within the secure facility structure.

The Hours of Operation for the Distribution Facility shall be 9:00am to 6:00pm Monday through Friday.

Manufacturing Activities [Building A]:

The primary activities involved in the operation of the commercial cannabis manufacturing business would involve the extraction, and infusion of cannabis concentrates, as well as the packaging and wholesale of cannabis, and cannabis concentrates derived from cannabis flower and trim sourced from state licensed cultivators.

Manufacturing activities would include all aspects of the extraction process, infusion process, and packaging and labeling processes, including processing, preparing, holding and storing of cannabis products. Manufacturing would also include any processing, preparing, holding, or storing of components and ingredients.

The hours of operation for the Manufacturing facility shall be 10:00am to 8:00pm Monday through Friday.

Concentrate Extraction:

Natural Supplements shall utilize two (2) separate cannabis concentrate extraction units to produce its manufactured products.

Precision X40MSE

The X40 MSE utilizes both non-volatile and volatile solvents, including **hydrocarbon, butane, propane, and ethanol**, through a variety of manufacturing methods, to produce an array of cannabis concentrates from raw cannabis material ("trim"). This closed loop extraction system utilizes stainless steel components, 100% stamped and rated vessels certified by the American Society of Mechanical Engineers, internal heating and cooling systems for safe, user friendly use. The unit is capable of processing up to 50 pounds of raw material per run, with yields varying based on raw material quality and method for extraction.

Among the various concentrated cannabis products this unit is capable of producing various forms of concentrate including but not limited to shatter, bud, live resin, and wax, it also produces 'crude' cannabis concentrate which is utilized for production of distillate through the extraction system discussed below.

Precision CDU 3000

The Precision Commercial Distillation Unit (CDU) 3000 utilizes 'crude oil' which is fed into a column and distributed over an evaporative surface via an automated dosing pump and 'Precision Thin Film Extraction' rollers for even distribution to produce refined cannabis 'distillate'. This unit, specifically designed for cannabis is capable of producing up to six (6) liters of distillate per hour with a continuous auto feed/extraction system with no 'batch size' limitations. It is equipped with an emergency shut off switch and temperature control units. The finished 'distillate' product may be used for infused edible products and vaporizer products.

Natural Supplements manufacturing process will involve rigorous planning, a sterile environment and state-of-the-art equipment, combined with multiple control procedures to prevent and eradicate errors. By complying strictly with regulations, choosing environmentally friendly processes and establishing rigorous quality assurance procedures the operation shall adhere to a series of engineering, administrative and regulatory controls. Engineering controls include physical safeguards, intelligent facility design and construction for worker safety and personal protective equipment to protect workers from chemical, physical and mechanical hazards. To ensure that all cannabis products manufactured at the processing facility are done so in a manner that is compliant with local and state ordinances, the company has designed and will implement standard operating procedures for the operation of closed-loop extractors using volatile agents. Natural Supplements has adopted Standard operating procedure for the use and handling of the hazardous chemicals safely, including the amount and concentration used, special handling procedures, engineering controls and personal protective equipment. The Manufacturing premises will be maintained under positive pressure with respect to the adjacent anteroom and supplied with HEPA-filtered air to meet the ISO Class 7 standard for flow and particle count under static conditions.

Concentrate Infusion:

- Natural Supplements shall utilize distillate produced on site for infusion of a variety of cannabis edible and vaping products. Stainless steel and glass tables, vessels, trays, and utensils shall be utilized to maintain a sterile environment and prevent contamination of product during infusion. Specific methods and formulations for infusion will depend upon the product and recipe for manufacture. In no case shall Natural Supplements manufacture any edible cannabis product that is greater than 100mg THC per package or 10mg THC per serving, nor shall it produce any manufactured cannabis goods that exceed 1,000 mg THC per package.
- All personnel involved with the handling and packaging of medical cannabis will wear proper lab coats, latex gloves, and hairnets.
- Personnel will also be required to wash hands and exposed areas of the arm before beginning work, before and between glove use, and after using a toilet facility.
- Gloves will be replaced after each pound of medical cannabis has been packaged, when beginning to package a different variety or shipment of product (to prevent cross-contamination), and every two-hours.
- Prior to entering the packaging room, personnel must report any illness or personal health condition that might compromise the cleanliness or quality of handled medical cannabis. The Packing and Labeling Agent will maintain a sanitation log with records retained for seven years (7).

Cultivation Activities: [Building B]

The primary activity in the operation of the commercial cannabis Cultivation businesses would involve the cultivation of 'flowering cannabis plants within the cultivation area, which are mature cannabis plants which produce cannabis 'flower' or 'buds', for wholesale to state licensed distributors, manufacturers, and retailers. Ancillary to the primary Cultivation activity would be the processing, packaging, and secure storage of finished 'cannabis flower' as well as constant maintenance of on-site security administrative functions including record keeping, correspondence, and interface with facility personnel. The transfer of cannabis cultivated on site would be facilitated by Natural Supplements complementary distribution operation proposed for

All product transactions, including the physical transfer of cannabis goods, shall take place wholly within the employee only area of the secure facility site.

Hours of operation for Cultivation will be from 6:00am to 6:00pm.

Typically there are three (3) stages involved in the cultivation phase including 1) **Propagation**; 2) **Vegetation**; and 3) **Flowering**.

The facility will be utilized primarily for flower production non-flowering cannabis plants sourced from Natural Supplements small on site Nursery Room, which would also be located in the Cultivation Premises.

Immature cannabis plants may also be sourced from licensed nurseries and placed into soilless, organic mediums which will facilitate the transfer of water and nutrients from the automated nutrient injection system to each individual plant.

During the cultivation process, Cultivation Technicians will monitor automated cultivation systems in each room. These systems will be comprised of 1,000-watt cultivation lamps, automated nutrient injection systems with irrigation lines running to each grow room where the plants will be fed, air-conditioning, dehumidification and ventilation systems, as well as Sonic Wave Harmonizers which stimulate the plants stomata, aiding plant growth. (50-Watt and 200-Watt Cultivation Lamps would be utilized in the *Propagation and Vegetation* in the event those processes are implemented on-site).

This process will also involve the repeated application of unique identifiers and recording of data into the State's "Track and Trace System" as the plants mature through the various phases.

During the cultivation process the Operations Manager will monitor the cultivation technicians, advise them as to best practices, and enter the information into the State's "Track and Trace" system as required by law during each shift.

1. Propagation-At the onset of the propagation stage, cultivation technicians would implant immature clones into a small organic medium comprised or rock-wool where, during a two week period the plantings will sit under 50-Watt lamps with eighteen (18) hours of light and six (6) hours of darkness to take root prior to the *Vegetation stage*. Propagation will take place within Grow Room 6.

2. Vegetation-At the onset of the vegetation stage, the same organic mediums with plantings intact would be placed by technicians into larger soil pots where, during a three to four-week period the immature plants will sit under 200-Watt lamps with eighteen (18) hours of light and six (6) hours of darkness as they develop more robust stalks to support themselves prior to the *flowering stage*.

3. Flowering- the flowering phase will take place during a seven to nine-week period where mature cannabis plants will sit under 1,000-Watt lamps with twelve (12) hours of light and twelve (12) hours of darkness, causing the plant flowers to bloom. Trellis infrastructure will be set up within these grow rooms to support the plants as they flower.

Ten days into the flowering phase, the plants will be pruned by the cultivation technicians to optimize plant health, yield, and quality.

Grow Rooms

The Cultivation Facility will contain ten (10) 25x50 sq. ft. cultivation rooms. Each cultivation room will contain four (5) 4x40 square foot rolling tables upon which the cannabis plants will sit.

The interior of the cultivation rooms will be constructed with 4" insulated urethane panels with a baked-on USDA approved, White Enamel finish, meeting all California Title 24 Code standards.

Cultivation Lighting Layout

The cultivation lights inside of each grow room will be positioned directly above the rolling tables; one (1) light will be placed every five-feet running the length of each rolling table, for a total of twenty (36) lights per room.

Cultivation Lighting Wattage

50-Watt Lights would be used for Propagation; 200-Watt Lights would be used for Vegetation; and 1,000-Watt Lights will be used for Flowering.

Air Ventilation, Filtration and Odor Control

As the HVAC system provides artificial temperature control and air flow, fresh-air wall-ports, filtered ceiling ventilation hatches and industrial carbon filters provide a fail-safe to ensure temperature balance, constant air flow, and odor remediation in the event of an HVAC system failure.

Within each grow room, three (3) condensing units, and three (3) evaporators will be implemented to provide necessary cooling and dehumidification.

10-inch circular fans Coupled with industrial carbon filters will be utilized in each grow room, the Drying/Curing room, the Processing/Packaging Room, and the Safe Room to provide complete odor remediation such that there will be no detectable odor of cannabis outside of the building.

The following formula utilized to control air quality is as follows: Cubic Feet of Room Space %
3= Cubic Feet per Minute (CFM) of airflow necessary for internal odor scrubbing.

Power Source

PG&E shall be the utility provider for our source of power. The facility shall be equipped with a 300-Amp Panel with 3-Phase power distribution.

Chemical and Pesticide Storage Room

All pesticides and chemicals shall be stored within locked metal cabinets inside of the Processing Room. They shall be accessed only as necessary and returned to the cabinets and securely stored upon completion of application.

Pest Management Plan

Natural Supplements shall employ an Integrated Pest Management (IPM) Plan that is compliant with both the Organic Materials Review Institute Standards as well as California Law. Natural Supplements IPM plan will include the following bio-insecticides, fungicides, bactericides, irritant washes, as well as mites and small arthropod predators to control and eliminate insects and microbiological threats to its cannabis crop.

Regarding the use of Pesticides on the premises Natural Supplements shall:

1. Use only properly labeled pesticides and comply with all pesticide label directions;
2. Store all chemicals in locked metal cabinets within the Pesticide Storage Closet in the Processing Room;
3. Immediately contain any chemical leak and clean up any spills;
4. Apply the minimum amount of product necessary to control the target pest;
5. Prevent any off-site drift;

Pesticide Application

During application of pesticides, Natural Supplements Cultivation technicians shall wear protective eyewear, a long-sleeved shirt and long pants, waterproof gloves, shoes and socks as well as National Institute for Occupational Safety and Health (NIOSH) compliant dust/mist filtering respirators.

Immediately following application of pesticides, Natural Supplements Cultivation Technicians shall wash thoroughly with soap and water. Contaminated clothing shall be washed before re-use.

Products List

1. Bio-insecticides-

- a. Grandev (Active Ingredients: Chromobacterium subtsugae strain PRAA4-1 and spent fermentation media)
- b. Venerate (Active Ingredients: Heat-killed Burkolderia spp. strain A396 cells and spent fermentation media)

Bio-insecticides may be used at any stage during the plant's life cycle, but will be applied every three days for up to three weeks for preventative maintenance during the Vegetative stage.

2. Fungicide/Bactericide-

- a. Defguard (Active Ingredients: Bacillus amyloliquefaciens strain D747)
- b. M-Pede (Active Ingredients: Potassium salts of fatty acids)
- c. Regalia (Active Ingredients: Extract of Reynoutria sachalinensis)

- d. Oxidate 2.0 (Active Ingredients: Hydrogen Dioxide; Peroxyacetic Acid)
- e. Triact 70 (Active Ingredients: Clarified Hydrophobic Extract of Neem Oil)
- f. Organocide (Active Ingredients: Sesame Oil)

Fungicides may also be used at any stage during the plant's life cycle, but will be applied every three days for up to three weeks for preventative maintenance during the Vegetative stage.

3. Irritant/Washes-

- a. (PM) Wash (Active Ingredients: 99.9% Water)
- b. Prevasyn (Active Ingredients: Capsicum oleoresin extract; Garlic Oil; Soybean Oil)

Irritants/washes can be applied during any stage during a plants life cycle, and will be applied for preventative maintenance during the Vegetative stage.

4. Mite and Small Arthropods Predators-

- a. Amblyseius Andersoni
- b. Amblyseius) Californicus
- c. Amblyseius) Fallacis
- d. Phytoseiulus Persimilis

Mite and small Arthropod Predators will be applied during the Flowering stage upon any sign of infestation. To be used effectively, the Predators will be applied at a ten-to-one (10-1) ratio, that is ten (10) predators for every mite identified.

Cannabis Harvest and Processing

There are four (4) stages involved in the processing phase including 1) ***Harvest*** 2) ***Trimming*** 3) ***Packaging*** and 4) ***Labeling***.

Harvest-Once the plants have flowered and are ready for harvest, cultivation technicians will remove the larger 'Sun Leaves' and extraneous organic material from the flowered plant stalks, leaving the flowers, then transferring them to and hanging them in the Drying/Curing Room. The harvested flower stalks will hang to cure for a period of five (5) to eight (8) days prior to the ***Trimming Stage***. Once fully operational, one grow room will be ready for harvest every seven (7) to ten (10) days.

Cannabis Processing/Packaging Room

All cannabis processing, packaging, and labeling will take place exclusively within this area of the facility.

2. **Trimming**-Once the flowers have cured on the stalk, they will be transferred from the grow rooms to the processing area where cultivation technicians will clip them from their stalks, and hand trim them to remove the finer leaves. This process will take two (2) to three (3) days following each room being harvested.

3. **Packaging**- Once fully trimmed, the cannabis flowers will be separated into different ‘batches’. Each batch will be placed into an air-sealed package to which a unique identifier will be applied.

4. **Labeling**- Natural Supplements shall ensure that a label is physically attached to each packaged batch of cannabis stored on premises. The batch and package labels shall include the following:

- a. Natural Supplements name and license number;
- b. The date of entry into the Safe Room;
- c. The unique identifiers and batch number associated with the batch;
- d. A description of the cannabis with enough detail to easily identify the batch;
- e. The weight of or quantity of units in the batch; and
- f. The best-by, sell-by, or expiration date of the batch, if any.

During processing, the Operations Manager will monitor the cultivation technicians, advise them as to best practices, and enter the information into the State’s ‘Track and Trace’ system as necessary during each shift.

Cannabis Waste Holding and Destruction

Upon accumulation of cannabis waste, such waste will be remediated by mixing it with the spent soil utilized for delivery of water and nutrients to individual cannabis plants. The soil and cannabis waste shall be co-mingled and grinded down to a uniform mixture, such that the cannabis waste is destroyed and unrecognizable from its original state. In the event a Natural Supplements finished cannabis flower batch is not fit for distribution, it shall be deemed cannabis waste and become subject to destruction and disposal.

Natural Supplements shall dispose of cannabis waste in a secured waste container located within this room in the Processing Room. As organic waste accumulates on site, Cultivation Technicians will be responsible for collecting, remediating and placing said waste into the container. Once the container has reached capacity, the organic waste will be transferred by select Cultivation Technicians to an off-site waste disposal facility. All cannabis waste will be identified, weighed, and tracked, both while on premises and at the time of disposal.

The Operations Manager will be responsible for monitoring the collection and disposal of waste, and entering information into the State’s “Track and Trace System” as necessary. Natural Supplements shall maintain comprehensive records regarding cannabis waste that accounts for, reconciles, and evidences all activities related to the generation or disposition of cannabis waste.

Track and Trace

Natural Supplements shall report in the track-and-trace system changes in disposition for any cannabis plants on premises, any cannabis product transfers associated with the facility, as well as the disposition of any cannabis waste. All changes in disposition shall be reported within three (3) business days of the change in disposition of the cannabis plants. Changes in disposition of cannabis plants include but are not limited to:

- a. Flowering;
- b. Destruction or disposal;
- c. Harvest;
- d. Processing;
- e. Storage; and
- f. Packaging.

Account Manager

Pursuant to its track-and-trace obligations, Natural Supplements shall designate its Operations Manager as the 'track and trace account manager' to serve as the primary responsible party for data entry and reporting. The Operations Manager shall complete track and trace system training prior to the facility becoming operational, shall designate track and trace system users as needed, and be responsible for user training regarding the proper and lawful use of the system before users are permitted access to the track and trace system.

Natural Supplements shall maintain an accurate list of all track-and-trace account managers and users and shall immediately update the list when changes occur.

Any data erroneously entered in the system shall be corrected within three (3) days of discovery of the error. In the event Natural Supplements loses access to the track and trace system, it shall prepare and maintain comprehensive records detailing all required inventory tracking activities conducted during the loss of access. Once restored, all data manually recorded shall be entered in the track and trace system. The time of loss and restoration of track and trace system access shall be recorded. Natural Supplements shall not transfer cannabis to a distributor until access to the track and trace system is restored with all manual recordings updated in the system.

Information subject to Reporting

Information to be entered in the 'track and trace system' related to each transfer of cannabis shall include but not be limited to:

1. Natural Supplements name, business address, and department issued license number as seller;
2. The name, business address, and department issued license number of the purchaser;
3. The name and department issued license number of the distributor;

4. The date of sale, transfer or receipt (month, day and year). The date of any sale, transfer or receipt of cannabis or non-manufactured cannabis products shall be the date of transfer to the licensee receiving it;
5. The weight or count of individual units of cannabis or non-manufactured cannabis products sold, transferred or received;
6. Estimated departure and arrival time;
7. Actual departure time;
8. Description for each item including strain or cultivar, and all applicable information below:
 - a. Plant;
 - b. Flower;
 - c. Leaf;
 - d. Shake;
 - e. Kief; and
 - f. Pre-rolls.
9. UID(s).

Cannabis designated for distribution into the Medicinal and Adult Use Markets, respectively, shall be appropriately labeled according to its product license designation, shall be stored in separate storage containers within Natural Supplements Inventory Safe Room, and shall not be commingled.

Unique Identifier Device(s) (UID)

A Unique Identifier Device (UID) shall accompany all cannabis plants throughout the growing cycle to harvest.

A UID shall be applied to each individual cannabis plant at the time the plant is moved to the designated 'canopy area'. The UID shall be kept free of dirt and debris, and attached to the main stem at the base of each plant using a tamper evident strap or zip tie in a position so it would be visible and within clear view of an individual standing next to it. Natural Supplements shall not remove a UID from any mature plant until the plant is harvested, destroyed or disposed.

System Reconciliation

In addition to physical inventory reconciliation against facility records, Natural Supplements shall reconcile its physical inventory against records contained in the track and trace system at least once every 14 days. In the event a discrepancy is identified, Natural Supplements shall immediately notify licensing authorities.

Record Keeping

Natural Supplements will maintain the following records on premises including but not limited to:

1. All Cultivation Permits and licenses;
2. Cultivation Plans;
3. All records evidencing compliance with environmental protection measures;

4. All supporting documentation for data or information input into the track-and-trace system;
5. All unique identifiers (UID's) assigned to product in inventory and all unassigned UID's. UID's associated with product that have been retired from the track-and-trace system shall be maintained for six (6) months after the tags are retired;
6. Financial records including but not limited to bank statements, tax records, sales invoices, and sales receipts;
7. Personnel records, including each employee's full name, social security, or tax ID number, date of beginning employment, and date of termination of employment where applicable;
8. Records related to employee training for the track and trace system including the date(s) training occurred, description of the training provided, and the names of the employees that received the training;
9. Contracts with other state licensed cannabis businesses;
10. Security Records;
11. Records associated with the disposal of cannabis waste;
12. Documentation associated with any loss of access to the track-and-trace system;

Inventory Control and Record Keeping

In addition to utilizing Metrc for purposes of tracking and reporting commercial cannabis inventory and transactions as required by the State, Natural Supplements shall maintain an in-house inventory control and reporting system that accurately documents the present location, amounts, and descriptions of all cannabis and cannabis products it intends to place into the commercial market for all stages of the growing laboratory testing and distribution processes until purchase as set forth under MAUCRSA.

Natural Supplements shall maintain such books and records in an electronic format detailing all revenues and expenses of the business, as well as its assets and liabilities. Such records will include monthly statements detailing the number of sales under each permit, respectively, including gross receipts for each month and all applicable taxes paid or due to be paid. Such records shall also demonstrate that all cannabis is provided only to other locally and state permitted and licensed cannabis operations.

Sales and Invoicing

Natural Supplements shall prepare a sales invoice or receipt, along with an electronic manifest for every sale or transport of cannabis product to another licensee.

Each sales invoice shall include:

1. Natural Supplements name, business address, and license numbers;
2. The purchaser's name, business address and license numbers;
3. The date of sale or transfer to the licensee receiving the cannabis product;
4. An invoice or receipt number;
5. The weight or quantity of cannabis product sold;
6. A description for each item including strain or cultivar;

7. The signature of the Natural Supplements representative authorized to make the sale or transfer acknowledging the accuracy of the cannabis products being shipped;
8. The signature of the purchaser or designated representative, acknowledging receipt or rejection of the cannabis product.

Reporting and Tracking of Product and of Gross Sales

Natural Supplements shall maintain a point of sale and inventory management and tracking system to track and report all aspects of the commercial cannabis activity in which it engages, including tracking product, inventory data, and gross sales (by weight and by sale).

Conformity with Local and State Law

The owners, operators, and employees of Natural Supplements shall certify and ensure that all Commercial Cannabis Activity will, at all times, be conducted in a manner compliant with all applicable state and local laws, any subsequently enacted state law or regulation, licensing or certification requirements, any specific, additional operating procedures or requirements which may be imposed as conditions of approval of a Commercial Cannabis Use Permit, as well as any requirements of the City of Antioch and Contra Costa County related to the operation of the commercial cannabis business on Site.

Consistency with City of Antioch General Plan

Cannabis is considered an Agricultural Product by the State of California with licensing and regulatory oversight provided by the California Department of Food and Agriculture. Accordingly, the Retail, Distribution, Manufacturing and Cultivation activities on-site would be consistent with the City of Antioch General Plan, (Planned Building Center).

Finally, the proposed parking and landscaping meet City criteria for the intended uses, all of which shall utilize proposed structures on site.

Considering all business activity will take place wholly within proposed facility structures on site, with ample parking for the intended use, ample landscaping coverage as well as the aforementioned security gate, personnel, infrastructure and protocols to be implemented, the proposed use will not be detrimental to the health, safety and general welfare of persons residing or working in the neighborhood of the use, and will not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

Property Owner List

1. JKC3H8 (Sole Owner)

(Supplemental) Operating Partner/Consultant

Natural Supplements has entered into an agreement in principle with Lyfted Farms, Inc. a State Licensed Cannabis Cultivator and Distributor operating out of Stanislaus County, for consulting and management services to assist in the startup and operation of its Cultivation, Manufacturing and Distribution Premises.

Background

Lyfted Farms (Lyfted), a California S-Corporation doing business in Stanislaus County as a State licensed Commercial Cannabis Cultivator (CCL18-0000289), Nursery (CCL18-0000294), and Distributor (C11-0000624-LIC) operating under Development Agreements executed with Stanislaus County (UP DA PLN 2018-0094; UP DA PLN 2018-0094), and among the first in the State to receive its annual cultivation licenses from CDFA. Lyfted, resulting from its many years of experience in the cannabis industry and commitment to excellence in its operation, produces a top-quality product that is highly sought after in the commercial cannabis consumer market, with demand exceeding its current production capacity at its existing cultivation facility.

Operating Experience

Lyfted Farms is the first commercial cannabis operator to have been permitted for Cannabis Operations by the County of Stanislaus, having been approved in January 2019 for Use Permits and Development Agreements for the Operation of its Cultivation, Nursery and Distribution facilities located at 5271 and 5266 Jerusalem Ct. in Modesto, CA. Notably, Lyfted was allowed to continue and transition its non-profit collective cannabis operations through the County's initial application and approval process, and has been an active participant in California's Commercial Cannabis Market since January 2018 following receipt of temporary State licenses to operate. Notably, Lyfted has recently been recognized by world renowned Forbes Magazine for the quality and desirability of its products:

[<https://www.forbes.com/sites/warrenbobrow/2019/06/18/lyfted-farms-not-just-cannagars/-6aabaa65dbad>]

More recently, following a secondary commercial cannabis application process in Stanislaus County, on December 21, 2019 received the unanimous recommendation of approval from the Stanislaus County Planning Commission to the Board of Supervisors for the operation of the Daly Facility, 196,000 square foot industrial facility designated for large scale cannabis cultivation, manufacturing, and distribution. Following anticipated approval by the Stanislaus County Board of Supervisors, this facility will be improved to Lyfted's custom specifications, and operated as one of the largest facilities of its kind anywhere in the State. The recommendation comes a full year into Lyfted operating under existing Development Agreements with Stanislaus County, serving as an acknowledgment of Lyfted's successful track record as well as collaborative relationship Lyfted had established with the County.

Natural Supplements Management and Consulting Services agreement with Lyfted Farms encompasses, facility design, staffing, administration, operating protocols contract labor, and operations management. As a startup company, Natural Supplements will be extremely well apprised of the experience and knowledge possessed by Lyfted Farms, one of the State's most successful and rapidly expanding operators.

ATTACHMENT E

Contra Costa County Fire Protection District Comment Letter



October 15, 2020

Mr. Cortez
City of Antioch
Community Development
PO Box 5007
Antioch, CA 94531-5007

Subject: Natural Supplements Cannabis Facility
2110-2300 Wilbur Ave. Antioch, CA
APN # 051-100-028
Project # UP-20-01
CCCFPD Project No.: P-2020-04569

Dear Mr. Cortez,

We have reviewed the land use permit application to construct 2 buildings of unknown construction type, single story, 11,200 and 22,400 square feet for use in cannabis cultivation, distribution and retail operations at the subject location. The following is required for Fire District approval in accordance with the 2019 California Fire Code (CFC), the 2019 California Building Code (CBC), the 2019 California Residential Code (CRC), and Local and County Ordinances and adopted standards:

1. The Contra Costa County Fire Protection District has development impact fees established in the unincorporated County and in the Cities of Antioch and Pittsburg. Projects within the development impact areas will need to pay the fees prior to Building Permit issuance.

2. Access as shown does not comply with Fire District requirements.

Provide emergency apparatus access roadways with all-weather (paved) driving surfaces of not less than 20-feet unobstructed width, and not less than 13 feet 6 inches of vertical clearance, to within 150 feet of travel distance to all portions of the exterior walls of every building. Access shall have a minimum outside turning radius of 45 feet, and must be capable of supporting the imposed fire apparatus loading of 37 tons. (503) CFC

3. Access roadways of **less than 28-feet** unobstructed width shall have signs posted or curbs painted red with the words **NO PARKING – FIRE LANE** clearly marked. (22500.1) CVC, (503.3) CFC

Access roadways of **28 feet or greater, but less than 36-feet** unobstructed width shall have **NO PARKING – FIRE LANE** signs posted, allowing for parking on one side only or curbs painted red with the words **NO PARKING – FIRE LANE** clearly marked. (22500.1) CVC, (503.3) CFC

4. The project as proposed shall require the installation of an approved Fire District turnaround. Dead-end emergency apparatus access roadways in excess of 150 feet in

length shall be provided with approved provisions for the turning around of Fire District apparatus. Contact the Fire District for approved designs. (503.2.5) CFC

5. Access gates for Fire District apparatus shall be a minimum of 20-feet wide. Access gates shall slide horizontally or swing inward and shall be located a minimum of 30 feet from the street. Electrically operated gates shall be equipped with a Knox Company key-operated switch. Manually operated gates shall be equipped with an approved Fire District lock. Contact the Fire District for information on ordering the key-operated switch. (D103.5) CFC.
6. The developer shall provide an adequate and reliable water supply for fire protection with a minimum fire flow of 2000 GPM. Required flow must be delivered from not more than 2 hydrants flowing simultaneously for a duration of 120 minutes while maintaining 20-pounds residual pressure in the main. (507.1), (B105) CFC
7. The developer shall provide hydrants of the East Bay type in compliance with Chapter 5 and Appendix B and C of the California Fire Code. (C103.1) CFC
8. A land development permit is required for access and water supply review and approval prior to submitting building construction plans.

The developer shall submit a minimum of two (2) copies of full size, scaled site improvement plans indicating:

All existing or proposed hydrant locations,
Fire apparatus access,
Elevations of building,
Size of building and type of construction,
Striping and signage plan

This is a separate submittal from the building construction plans. These plans shall be approved prior to submitting building plans for review. (501.3) CFC

9. ***Emergency apparatus access roadways and hydrants shall be installed, in service, and inspected by the Fire District prior to construction or combustible storage on site.*** (501.4) CFC

Note: A temporary aggregate base or asphalt grindings roadway is not considered an all-weather surface for emergency apparatus access. The first lift of asphalt concrete paving shall be installed as the minimum roadway material and must be engineered to support the designated gross vehicle weight of 37 tons.
10. The developer shall provide traffic signal pre-emption systems (Opticom) on any new or modified traffic signals installed with this development. (21351) CVC
11. Flammable or combustible liquid storage tanks shall ***not*** be located on the site without obtaining approval and necessary permits from the Fire District. (3401.4) CFC
12. The owner shall cut down and remove all weeds, grass, vines, or other growth that is capable of being ignited and endangering property. (304.1.2) CFC
13. The owner or the owner's authorized agent shall be responsible for the development, implementation and maintenance of a written plan establishing a fire prevention program at

the project site applicable throughout all phases of the construction. The plan shall be made available for review by the fire code official upon request. (Ch.33) CFC

14. The fire prevention program superintendent shall develop and maintain an approved prefire plan in cooperation with the fire chief. The fire chief and fire code official shall be notified of changes affecting the utilization of information contained in such prefire plans. (Ch.33) CFC
15. The developer shall submit a minimum of two (2) complete sets of building construction plans and specifications of the subject project, including plans for any of the following required deferred submittals, to the Fire District for review and approval *prior to* construction to ensure compliance with minimum requirements related to fire and life safety. Plan review and inspection fees shall be submitted at the time of plan review submittal. (105.4.1) CFC, (901.2) CFC, (107) CBC
 - Private underground fire service water mains
 - Fire sprinklers
 - Fire alarm
 - Carbon Dioxide Systems
 - Aboveground/underground flammable/combustible liquid storage tanks
 - Commercial kitchen hood extinguishing systems
 - Special suppression systems
 - Emergency Responder Radio Coverage System (ERRCS)

Our preliminary review comments shall not be construed to encompass the complete project. Additional plans and specifications may be required after further review.

If you have any questions regarding this matter, please contact this office at (925) 941-3300.

Sincerely,



Todd Schiess
Fire Inspector I

cc: Natural Supplements
Josh Baker
19067 E. Highway 120
Ripon, CA 95366
Joshdbaker79@gmail.com

File: 0 WILBUR AVE-CANNABIS FACILITY-PLN-P-2020-04569



RECEIVED
OCT 07 2020

CONTRA COSTA FIRE DISTRICT

PROJECT REFERRAL – REQUEST FOR COMMENTS/CONDITIONS

October 7, 2020

PROJECT NAME: Natural Supplements Cannabis Facility, 2110-2300 Wilbur Avenue, UP-20-01

The City of Antioch Planning Division is requesting that your agency review these plans and provide your feedback on availability of services, potential design or code conflicts, requirements for additional permits, and recommended conditions of project approval. Please submit your comments no later than Wednesday October 28, 2020 to Jose Cortez via e-mail at jcortez@ci.antioch.ca.us

Development plans and related information for the project identified above, can be accessed at:

<https://www.antiochca.gov/fc/community-development/planning/ProjectDOCs/UP-20-01.pdf>

Project status and other information can be accessed online from our [Current Project List](#)

Project No: UP-20-01	Application Type: Use Permit
Address: 2110-2300 Wilbur Avenue	
Project Description:	
Commercial Cannabis Facility: Natural Supplements, Inc. has proposed to develop the subject property including the construction of commercial and industrial structures on site to facilitate the operation of several Commercial Cannabis Business operations under Type 10 'Retail Storefront and Delivery', and Type 11 'Distributor' licenses from the State of California Bureau of Cannabis Control within the Department of Consumer Affairs, a Type 7 'Manufacturer' license from the California Department of Health, as well as a Type 3A 'Medium Indoor Cultivation' license from the State of California Department of Food and Agriculture.	
Applicant: Natural Supplements, Josh Baker	
Mailing Address: 19067 E Highway 120, Ripon, CA 95366	
Phone: 209-993-7478	E-mail: joshdbaker79@gmail.com

****Please contact Hilary Brown at hbrown@antiochca.gov if your agency would like to receive an e-mail only version of project referrals from the City of Antioch.**

Phone: (925) 779-7035
Fax: (925) 779-7034
Antiochca.gov

COMMUNITY DEVELOPMENT DEPARTMENT



200 H Street
Antioch, CA. 94509
AntiochIsOpportunity.com

P2020-045 E4 PLN