



TO: ANTIOCH PLANNING COMMISSION

FROM: Kevin Scudero, Acting Community Development Director
Kevin Valente, Contract Planner
Raney Planning & Management, Inc.

SUBJECT: 18th Street West Warehouse Project (PD-22-02, UP-22-04, AR-22-04)

DATE: Regular Meeting of August 16, 2023

Property Owner: Travis Duncan DECA Company 201 Spear Street, Suite 1100 San Francisco, CA 94105	Applicant/Representative: Travis Duncan DECA Company 201 Spear Street, Suite 1100 San Francisco, CA 94105
--	--

PROJECT: E. 18th Street West Warehouse
FILE #: PD-22-02, UP-22-04, AR-22-04
APN: 051-052-071 and -086
GP LU: Business Park/Eastern Waterfront Employment Focus Area
ZONING: Planned Business Center
PLANNER: Kevin Scudero

REQUESTS

The applicant, DECA Company, is requesting approval of the proposed development of a 442,111-square-foot (sf) light industrial building for warehousing, distribution, and storage, including approximately 20,000 sf of office space. The proposed project includes a total of 406 vehicle parking spaces and 119 trailer truck spaces. The project improvements would include, but would not be limited to, landscaping, circulation improvements, and utility installation. Necessary entitlements from the City of Antioch include the following:

1. *The 18th Street West Warehouse Project Initial Study/Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program.* Pursuant to the California Environmental Quality Act (CEQA), an Initial Study/Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program were prepared to evaluate the potential impacts to the environment associated with implementation of the proposed project.
2. *Planned Development Rezone.* The East Eighteenth Street Specific Plan requires all future development within the planning area to receive approval of a Planned Development (PD) application.

3. *Final Development Plan.* The Zoning Ordinance requires that a Final Development Plan be approved for all proposed PD Districts.
4. *Use Permit.* The Zoning Ordinance requires that a use permit be approved prior to the construction of any phase of an approved PD district.
5. *Design Review.* The proposed project requires Design Review to authorize the proposed building conceptual architecture, landscaping, and site design of the project and to ensure consistency with the City of Antioch General Plan, Zoning Ordinance design policies and criteria, and Citywide Design Guidelines.
6. *Lot Merger.* Lot merger to merge the existing two lots into one property.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission:

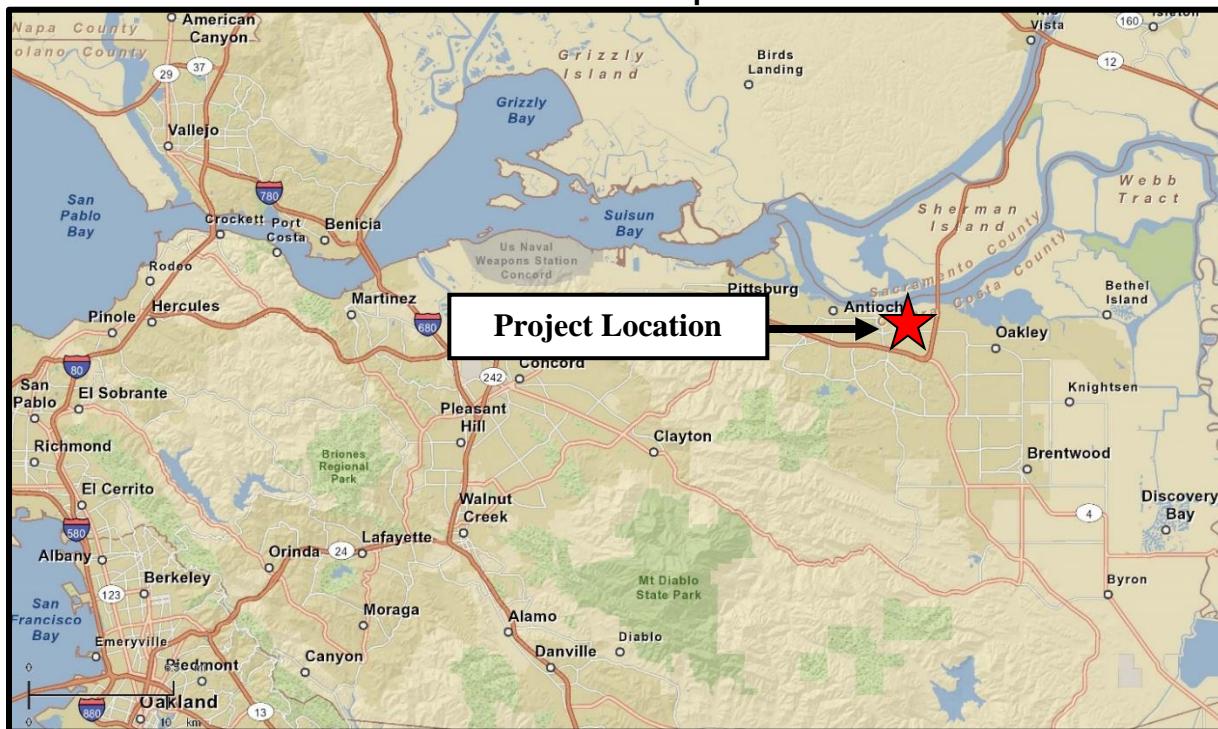
1. Adopt the resolution recommending City Council approval of the 18th Street West Warehouse Project Initial Study/Mitigated Negative Declaration (IS/MND) and Mitigation Monitoring and Reporting Program (MMRP);
2. Adopt the resolution recommending City Council approval of an ordinance rezoning the project site to PD; and
3. Adopt the resolution recommending City Council approval of a Final Development Plan, Use Permit, Lot Merger, and Design Review.

SITE LOCATION

The 22.65-acre East 18th Street West Warehouse Project (proposed project) site is located at 2901 East 18th Street and 1699 Vineyard Drive in the City of Antioch and is identified by Assessor's Parcel Numbers (APNs) 051-052-072-9 and 051-072-086-9. The project site predominantly consists of vacant land and vineyards, with an existing building and surface parking located near the southern boundary, along East 18th Street.

The project site is bordered by East 18th Street to the south and Vineyard Drive to the west. Surrounding land uses include the Vineyard Business Park to the west, a self-storage facility further west, and Evangelho Vineyards to the north and east. Railroad tracks and existing industrial uses along the San Joaquin River are located further north of the project site. The area south of the site consists of single-family residential across East 18th Street.

Location Map



Project Site Map



BACKGROUND

The site is designated as Business Park within the Eastern Waterfront Employment Focus Area Overlay by the City's General Plan and designated Office/Light Industrial (O/LI) by the East Eighteenth Street Specific Plan. The site is zoned Planned Business Center (PBC). The General Plan anticipates the Eastern Waterfront Employment Focus Area to provide employment opportunities, and to assist Antioch in achieving its goal of a balance between local housing and employment.

The project site is generally rectangular, with the westernmost boundary extending to Vineyard Drive and bordering the existing Vineyard Business Park. The project site consists of vacant land, vineyards, and an existing building located near the southern boundary. The existing building was a former golf driving range that is now vacant and will be demolished as a part of the proposed project. The portion of the site with the existing building also includes fencing and netting associated with the former use.

ANALYSIS

The proposed project would include development of a 442,111-sf light industrial building for warehousing, distribution, and storage, including approximately 20,000 sf of office space within the building. Development of the site would also include associated parking, landscaping, and utilities.

The proposed uses include light industrial, warehousing, storage of inventory, distribution, and associated office and administrative support. While there is some variability with respect to individual tenants, the facility will often operate in multiple shifts, and will be operational up to 24 hours per day. The applicant estimates that the project will ultimately provide between 650 and 750 full time jobs.

Existing Project Site General Plan and Specific Plan Land Use Designation

The project site is located within the Eastern Waterfront Employment Focus Area Overlay in the General Plan and is currently designated as Business Park.

According to the Antioch General Plan, the majority of the employment opportunities created within the Eastern Waterfront Employment Focus Area will be industrial in character. Areas designated as Eastern Employment Business Park are intended for employment-generating uses compatible with a location adjacent to residential neighborhoods as a transition from other industrial uses. The maximum allowable intensity is a Floor Area Ratio (FAR) of 0.55. The proposed project would provide an industrial, employment-generating use and development of the warehouse would result in a FAR of 0.45. Therefore, the proposed project complies with the General Plan's intent for the Eastern Waterfront Employment Focus Area.

The primary purpose of lands designated Business Park on the General Plan land use map is to provide for light industrial, research and development, and office-based firms seeking an attractive and pleasant working environment and a prestigious location. Business Park areas are typically labor-intensive, meaning that the density of employment is higher than areas involving mostly manufacturing or warehouse uses. The proposed project is consistent with the General Plan definition of "Storage and Distribution – Light," which is defined as wholesaling, storage, and warehousing services conducted entirely within enclosed buildings. According to Table 4.A of the General Plan, Storage and Distribution – Light is an allowed use in the Business Park

designation. The proposed project would also comply with the maximum FAR for the Business Park of 0.5.

The project site is also located with the East Eighteenth Street Specific Plan, which designates the site as O/LI. The O/LI designation is to provide for a mix of professional and administrative offices, and light manufacturing. According to the Specific Plan, greater intensity of land use and employment density should be encouraged westerly of Vineyard Drive. The Specific Plan allows for a maximum FAR of 0.45, and the proposed project would result in a FAR of 0.45, and therefore complies. According to Section 6.5, *Development Standards*, of the Specific Plan, all land uses shall be established for individual projects through the Planned Development process, and shall generally be consistent with the standards established in the zoning ordinances for uses in the Professional Office (C-0) and Light Industrial (M-1) districts. As a Light Industrial development, the appropriate zoning district standards to apply for the project would be the M-1 district standards. As shown in the table below, the project complies with the development standards for the M-1 zoning district. As such, the project is consistent with the Antioch General Plan and the East Eighteenth Street Specific Plan.

Development Standard	M-1 District	Proposed Project	Complies?
Maximum Height (feet)	45	45	Yes
Minimum Building Site (sf)	40,000	987,032	Yes
Maximum Lot Coverage	60%	44.79%	Yes
Front Yard Setback (feet)	30	94.5	Yes
Side Yard Setback (feet)	0	65+	Yes
Rear Yard Setback (feet)	0	131	Yes

Proposed Planned Development Rezone, Final Development Plan, and Use Permit

As previously discussed, the East Eighteenth Street Specific Plan requires all land uses to be established for individual projects through a Planned Development Process. Therefore, the proposed project would require a PD Rezone. The PD district is intended to set the development standards applicable to the land use district of the project site, including the lot sizes, setbacks, height, floor area ratio, parking, and permitted uses. The Specific Plan states that PD districts for land designated O/LI and intended for Light Industrial use shall be generally consistent with M-1 district standards from the Antioch Zoning Code. As demonstrated previously, the proposed project conforms to the M-1 district standards.

In addition, pursuant to Section 9-5.2307 of the Municipal Code, a Use Permit is required prior to the construction of any phase of an approved PD district. Thus, the proposed project would require approval of a Use Permit to allow construction of the proposed project. Because the proposed project would be developed in one phase, the requested Use Permit addresses the project as a whole.

Design Review

Per Section 9-5.2607 of the Municipal Code, all new development within the City is subject to Design Review approval. The purpose of the Design Review process is to promote the orderly development of the City, encourage high quality site design and planning, protect the stability of

land values and investments, and ensure consistency with the Citywide Design Guidelines. The Citywide Design Guidelines for business parks were used in evaluating the warehouse construction plans.

The Citywide Design Guidelines are intended to establish guidelines that will reinforce a common identity for the City of Antioch, including the maximum density and maximum number of units, minimum lot size, landscape requirements, open space requirements, architectural guidelines, and maximum building heights and lot coverage.

Access and Circulation

Access to the project site would be provided by way of two new driveways on East 18th Street and an additional driveway from Vineyard Drive. Paved drive aisles and parking areas would be constructed to provide vehicle access to the two office areas and entryways. The proposed project would provide 525 vehicle parking spaces on all sides of the building. Specifically, the 525 parking spaces would be provided as follows:

- 345 standard stalls;
- 10 Americans with Disabilities Act (ADA) accessible stalls;
- 51 Electric Vehicle (EV) stalls; and
- 119 trailer parking stalls located west of the building.

The proposed project would also include 61 truck loading docks along the west elevation of the building, facing Vineyard Drive.

The proposed project would include the installation of new curb ramps at the driveways on East 18th Street and Vineyard Drive with new crosswalks crossing each driveway. The project would also provide a pedestrian walkway between East 18th Street and the front door of the office area located in the southwest corner of the building.

Landscaping and Fencing

Landscaped areas would be provided along the project boundaries. Landscaping around the perimeter of the site would include a variety of trees and shrubs, including species such as coast redwood, scarlet oak, and green beauty boxwood. Throughout the site, planters would be installed with trees and shrubbery to provide shaded parking. In addition, shrubs and trees would be provided at the project access points.

New eight-foot-high tubular steel fencing would be installed around the truck parking lot located in the northwestern portion of the site, as well as along the western, northern, and eastern borders of the site. The proposed project would also include a total of four vehicle gates. A vehicle gate would be located at each of the three entrances into the truck dock area from the surface parking lot. A fourth vehicle gate would be located at the entrance of the truck parking lot near Vineyard Drive, on the western portion of the project site.

Building Design

The proposed project would include the construction of a 442,111-sf warehouse building, new surface parking lots, new driveways, landscaping, and fencing. The building exterior would consist of painted concrete tilt-up panels with a flat roof. Fenestration, mullions, and variation in rooflines

would provide visual relief and interest. Office entryways would consist of aluminum storefront systems with blue glazed glass. The building would also feature awnings above the entryways. The proposed building design meets the intent of the Antioch Business Park Design Guidelines by breaking up long building facades with architectural details and through the use of architectural elements to accentuate the building entrance. In addition, details similar to the front façade are provided on the rear and side wall elevations, thereby meeting the intent of design guideline 4.4.3.D.

Utilities

Water would be provided to the project site by the City of Antioch through a new connection to an existing water main located along East 18th Street. Additionally, five fire hydrants would be installed in compliance with City standards throughout the site.

Sanitary sewer service would also be provided by the City of Antioch. The City maintains and owns the local sewage collection system and is responsible for the collection and conveyance of wastewater to the Delta Diablo Wastewater Treatment Plant (WWTP). The proposed project would connect to existing sanitary sewer infrastructure along the northern portion of the project site through a series of eight-inch sewer lines.

Stormwater would be captured through a number of storm water manholes throughout the proposed parking lot and then conveyed through 15- and 30-inch lines into stormwater detention chambers located on the western portion of the project site.

Lot Merger

The project site consists of two parcels identified by APNs 051-052-072 and 051-052-086. The proposed project would include the merging of the two lots in order to develop the proposed building and associated surface parking. Pursuant Section 9-4.1302 of the Antioch Municipal Code, the Planning Commission is the delegated authority to approve, conditionally approve, or deny mergers of contiguous parcels.

Traffic Study

The City's General Plan contains a Circulation element, which has policies on creating safe and convenient movement of people. Policy 7.3.2.h states, "Require traffic impact studies for all new developments that propose to increase the approved density or intensity of development or are projected to generate 50 peak hour trips or more at any intersection of Circulation Element roadways." As required in the General Plan, the traffic impact study evaluates the Level of Service (LOS) at the study intersections. LOS is a measure of how freely traffic and how much vehicle delay there is. LOS is designated A through F, with LOS A representing free flowing conditions and LOS F representing severe congestion.

Historically, the traffic study and mitigations related to LOS have been included in the project's CEQA document, as allowed by CEQA Guidelines and the City's General Plan. On December 28, 2018, the California Office of Administrative Law revised the CEQA Guidelines, which included the removal of vehicle delay and LOS from consideration under CEQA. With the adopted guidelines, transportation impacts are now to be evaluated based on a project's effect on Vehicle Miles Traveled (VMT). Lead agencies are now required to use the new guidelines starting July 1, 2020. Therefore, this project's Initial Study only includes an evaluation of VMT and a standalone

traffic study evaluates LOS. The traffic study is included as an appendix to the IS/MND, available at the following link:

<https://www.antiochca.gov/fc/community-development/planning/18th-street-west-warehouse-project-is-mnd.pdf>

The traffic study aides the City in determining compliance with the policies found in the Growth Management Element and Circulation Element of the General Plan. The Growth Management Element contains policy 3.4.1.1 Performance Standards for Routes of Regional Significance, which states, “discretionary projects that impact Routes of Regional Significance shall comply with the requirements of the adopted Action Plans.”

The East 18th Street Light Industrial Development – West Site Transportation Analysis analyzed the existing LOS conditions and the LOS conditions following implementation of the projects at seven intersections around the project site. Based on the Transportation Analysis prepared for the proposed project the proposed project is estimated to generate 2,153 daily vehicle trips, including 327 AM peak hour and 287 PM peak hour trips. The table below summarizes the findings.

Intersection	Peak Hour	Control Type	Background Conditions			
			No Project		With Project	
			Average Delay	LOS	Average Delay	LOS
1. Hillcrest Ave and East 18 th St	AM	Signal	34.7	C	36.4	D
	PM		33.5	C	37.5	D
2. Viera Ave and East 18 th St	AM	Signal	8.3	A	8.4	A
	PM		8.5	A	9.4	A
3. Vineyard Dr and East 18 th St	AM	TWSC	13.9	B	27.0	D
	PM		13.4	B	38.0	E
4. Phillips Ln and East 18 th St	AM	Signal	6.7	A	6.3	A
	PM		8.2	A	8.7	A
5. SR 160 SB Ramps and East 18 th St	AM	Signal	17.1	B	19.2	B
	PM		18.2	B	21.8	C
6. SR 160 NB Ramps and East 18 th St	AM	Signal	9.1	A	9.8	A
	PM		12.6	B	13.4	B
7. Viera Ave and Wilbur Ave	AM	TWSC	11.5	B	11.6	B
	PM		12.0	B	12.2	B

Notes:
 TWSC = Two-Way Stop Control
 1. Overall weighted average control delay (seconds per vehicle) is reported for signalized intersections.
 Worst approach delay (seconds per vehicle) and level of service are reported for the TWSC intersection.
Bold indicates a substandard level of service.

Source: Hexagon Transportation Consultant, Inc. *East 18th Street Light Industrial Development – West Site Transportation Analysis*. December 2, 2022.

The results of the LOS analysis show that all of the signalized study intersections would continue to operate at acceptable LOS (high-level LOS D or better) under background conditions, with and without the project. The stop-controlled intersection of Viera Avenue/Wilbur Avenue would operate at LOS B during both peak hours. The worst stop-controlled approach at the unsignalized study intersection of Vineyard Drive and East 18th Street would operate at LOS E under background plus project conditions during the PM peak hour. Because the LOS analysis shows a substandard level of service for the PM peak hour, a signal warrant analysis was performed to

assess the need for a signal at this intersection. The PM peak hour traffic volumes under cumulative plus project conditions would warrant signalization, and therefore, the project would have an adverse effect on LOS at Vineyard Drive and East 18th Street.

The adverse effect at the Vineyard Drive and East 18th Street intersection under cumulative plus project could be addressed by the installation of a traffic signal. With signalization, the intersection would operate at LOS A during the AM and PM peak hours, with a delay of 4.9 seconds and 6.5 seconds, respectively. The analysis assumed permitted phases for north/south approaches and east/west approaches for the signal. A condition of approval has been included to require the applicant to work with the City to install a traffic signal so as to mitigate this impact.

The Transportation Analysis prepared for the proposed project also identified inadequate pedestrian access to the site. There are no crosswalks across East 18th Street in the immediate vicinity to access the bus stop and restaurant on the south side of East 18th Street. In addition, there are no sidewalks between Willow Avenue and Viera Avenue along the north side of East 18th Street. Thus, there is inadequate pedestrian access to the nearby bus stops on the south side of East 18th Street and nearby restaurants on the north side of East 18th Street west of Viera Avenue and on the south side of East 18th Street east of Willow Avenue. Due to the lack of crosswalks on East 18th Street between Phillips Lane and Viera Avenue, a distance of approximately 0.7 mile, a condition of approval has been included to require the project applicant work with the City to provide a crosswalk at the Wilson Street or Vineyard Drive intersection.

ENVIRONMENTAL REVIEW

In accordance with CEQA, the City has prepared an IS/MND, which determined all potentially significant environmental impacts for the potential ultimate buildout of the project would be mitigated to a less-than-significant level with incorporation of mitigation. As a result, an MMRP was prepared and is included as Exhibit B to Attachment A.

In compliance with Public Resources Code Section 21080.3.1, known as Assembly Bill (AB) 52, the Amah Mutsun Tribal Band of Mission San Juan Bautista, the Chicken Ranch Rancheria of Me-Wuk Indians, the Guidiville Indian Rancheria, the Indian Canyon Mutsun Band of Costanoan, the Muwekma Ohlone Indian Tribe of the SF Bay Area, the Nashville Enterprise Miwok-Maidu-Nishinam Tribe, the North Valley Yokuts Tribe, the Ohlone Indian Tribe, the Tule River Indian Tribe, the Wilton Rancheria, and The Confederated Villages of Lisjan have each previously submitted requests to the City to be consulted during the review process for proposed projects within the City's jurisdiction. As such, the City provided formal notification to each of the tribes regarding the proposed project, consistent with Section 21080.3.1 requirements. A response from the Confederated Villages of Lisjan was received after the 30-day review period on January 11, 2023 requesting additional information. After additional information was sent, the Confederated Villages of Lisjan did not seek further consultation. Other request to consult were not received within the required response period.

The IS/MND was circulated for public review from April 21, 2023 to May 22, 2023 to solicit comments and input from the public. The City received a comment letter from Blum, Collins & Ho Attorneys at Law LLP within the 30-day public review period. The comments received from Blum, Collins, & Ho were in related to environmental justice concerns. However, such concerns are not covered under CEQA and after discussions with the applicant, Blum, Collins, & Ho withdrew their comment letter. A comment letter was also received from PG&E requesting that the plans identify the location the existing overhead lines, and requesting to be consulted during grading plan approval. No revisions to the IS/MND were required as a result of the comment letters, and no

new significant information was identified during the comment period. Therefore, recirculation of the IS/MND is not required.

Copies of the 18th Street West Warehouse IS/MND were made available for review Monday through Friday, at the City of Antioch Community Development Department, between the hours of 8:00 AM and 5:00 PM. The IS/MND was also available online at: <https://www.antiochca.gov/community-development-department/planning-division/environmental-documents/>.

ATTACHMENTS

- A. Resolution Recommending City Council Approval of the 18th Street West Warehouse IS/MND and MMRP
 - Exhibit A- Mitigation Monitoring and Reporting Program
- B. Resolution. Recommending City Council Approval of the Planned Development Rezone Ordinance
 - Exhibit A - Planned Development Ordinance
- C. Resolution Recommending City Council Approval of the Final Development Plan, Use Permit, Lot Merger, and Design Review
 - Exhibit A – Draft Conditions of Approval
- D. Project Plans
- E. Project Description

ATTACHMENT A

**PLANNING COMMISSION
RESOLUTION NO. 2023-XX**

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ANTIOCH
RECOMMENDING CITY COUNCIL ADOPT THE INITIAL STUDY AND MITIGATED
NEGATIVE DECLARATION AND MITIGATION MONITORING AND REPORTING PROGRAM
FOR THE EAST 18TH STREET WEST WAREHOUSE PROJECT AS ADEQUATE FOR
ADDRESSING THE ENVIRONMENTAL IMPACTS OF THE PROPOSED PROJECT**

WHEREAS, the City of Antioch (“City”) received an application from DECA Company for approval of an Initial Study/Mitigated Negative Declaration, Planned Development Rezone, Final Development Plan, Use Permit, Lot Merger, and Design Review for the development of a 442,111-square-foot light industrial warehouse and associated site improvements located at 2901 East 18th Street and 1699 Vineyard Drive (APNs 051-052-072-9 and 051-072-086-9);

WHEREAS, the City prepared an Initial Study and Mitigated Negative Declaration (IS/MND) and Mitigation Monitoring and Reporting Program (MMRP), to evaluate the potential environmental impacts of the Project in conformance with Section 15063 of Title 14 of the California Code of Regulations (the “CEQA Guidelines”);

WHEREAS, an IS/MND was circulated for a 30-day review period, with the public review period commencing on April 21, 2023 and ending on May 22, 2023;

WHEREAS, the Planning Commission has reviewed the IS/MND and MMRP for this Project;

WHEREAS, a public hearing notice was published in the East County Times and posted in three public places pursuant to California Government Code Section 65090 on August 4, 2023 for the Planning Commission public hearing held on August 16, 2023;

WHEREAS, on August 16, 2023, the Planning Commission duly held a public hearing on the matter, and received and considered evidence, both oral and documentary;

WHEREAS, the Planning Commission considered all public comments received, the presentation by City staff, the staff report, and all other pertinent documents regarding the proposed request;

WHEREAS, the custodian of the Final IS/MND and MMRP is the Community Development Department and the Final IS/MND was available for public review on the City’s website at: <https://www.antiochca.gov/fc/community-development/planning/18th-street-west-warehouse-project-is-mnd.pdf> and at the second floor of City Hall Monday through Friday 8:00-5:00 pm. The IS/MND is included as Exhibit A to this Resolution and the MMRP is included as Exhibit B to this Resolution.

NOW, THEREFORE, BE IT RESOLVED AND DETERMINED, as follows:

1. The foregoing recitals are true and correct.
2. The Planning Commission of the City of Antioch hereby FINDS, on the basis of the whole record before it (including the Initial Study and all comments received) that:

- a. The City of Antioch exercised overall control and direction over the CEQA review for the Project, including the preparation of the Final IS/MND, and independently reviewed the Final IS/MND and MMRP;
 - b. There is no substantial evidence that the Project will have a significant effect on the environment once mitigation measures have been followed and assuming approval of the Rezone; and
 - c. The Final IS/MND and MMRP reflect the City's independent judgment and analysis.
3. The Planning Commission hereby recommends the City Council APPROVE AND ADOPT the Final IS/MND, and MMRP for the Project.

* * * *

I HEREBY CERTIFY that the foregoing resolution was adopted by the Planning Commission of the City of Antioch at a regular meeting thereof held on the 16th day of August, 2023, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

KEVIN SCUDERO
Secretary to the Planning Commission

18th Street West Warehouse Project Mitigation Monitoring and Reporting Program

August 2023

The California Environmental Quality Act (CEQA) and CEQA Guidelines require Lead Agencies to adopt a program for monitoring the mitigation measures required to avoid the significant environmental impacts of a project. The Mitigation Monitoring and Reporting Program (MMRP) ensures that mitigation measures imposed by the City are completed at the appropriate time in the development process.

The mitigation measures identified in the Initial Study/Mitigated Negative Declaration for the 18th Street West Warehouse Project are listed in the MMRP along with the party responsible for monitoring implementation of the mitigation measure, the milestones for implementation and monitoring, and a sign-off that the mitigation measure has been implemented.

EXHIBIT A

A3

MITIGATION MONITORING AND REPORTING PROGRAM 18TH STREET WEST WAREHOUSE PROJECT				
Mitigation Measure	Implementation Schedule	Monitoring Agency	Sign-Off	
<p><i>III-1. Prior to approval of any Improvement Plans, the project applicant shall provide proof of compliance with the following to the satisfaction of the City of Antioch Community Development Department:</i></p> <ul style="list-style-type: none"> Prior to the initiation of construction, the project applicant shall submit to the Bay Area Air Quality Management District (BAAQMD) a comprehensive equipment inventory (e.g., make, model, year, emission rating) of all off-road diesel-powered equipment over 25 horsepower (including owned, leased, and subcontractor equipment). With submittal of the equipment inventory, the contractor shall provide a written calculation to the BAAQMD for approval demonstrating that the heavy-duty off-road vehicles over 25 horsepower to be used in the construction project, including owned, leased and subcontractor vehicles, will achieve a project-wide fleet-average of 15 percent of NOX as compared to California Air Resources Board (CARB) statewide fleet average emissions. Acceptable options for reducing emissions may include the use of late model engines, low-emission diesel products, alternative fuels, engine retrofit technology, after-treatment products, and/or other options as they become available. If any new equipment is added after submission of the inventory, the contractor shall contact the BAAQMD prior to the new equipment being utilized. At least three business days prior to the use of subject heavy-duty off-road equipment, the project representative shall provide the BAAQMD with the anticipated construction timeline including start date, name, and phone number of the property owner, project manager, and on-site foreman. 	Prior to approval of Improvement Plans	City of Antioch Community Development Department		
Swainson's Hawk	IV-1(a). If demolition or construction activities would occur during the nesting season (between March 1 and September 15) preconstruction surveys shall be conducted within the construction zones and adjacent lands within a half-mile of the project site to	At least 14 days prior to demolition or construction activities that occur during the	City of Antioch Community Development Department	

MITIGATION MONITORING AND REPORTING PROGRAM 18TH STREET WEST WAREHOUSE PROJECT				
Mitigation Measure	Implementation Schedule	Monitoring Agency	Sign-Off	
<p>Identify any nesting pairs of Swainson's hawks within at least 14 days prior to demolition or construction activities on the project site. The surveys shall conform to the guidelines of CDFW as presented in Recommended Timing and Methodology for Swainson's Hawk Nesting Surveys in California's Central Valley. Swainson's Hawk Technical Advisory Committee, May 31, 2000. A report detailing the results of the preconstruction survey shall be submitted to City of Antioch Community Development Department.</p> <p>If active Swainson's Hawk nests are not observed during preconstruction surveys, further mitigation is not warranted.</p> <p>Should any active nests be discovered in or near proposed construction zones, the qualified biologist shall establish a suitable construction-free buffer around the nest. The buffer shall be identified on the ground with flagging or fencing and shall be maintained until the biologist has determined that the young have fledged.</p> <p>Should a nest tree require removal, one of the following options shall be implemented.</p> <ol style="list-style-type: none"> 1) Mitigation credits shall be purchased at a mitigation or conservation bank for Swainson's hawk nest trees. This consists of paying for credits which exist for Swainson's hawk nest trees at a mitigation or conservation bank (e.g., Mountain House Conservation Bank). Once the fee is paid, the mitigation or conservation bank will maintain the nest tree and all requirements that go with that maintenance as a suitable nest tree for Swainson's hawks. 2) Known or potential nest trees shall be preserved. A 5:1 ratio is recommended for the preservation of trees. The nest tree areas shall be under a conservation easement or other suitable protection. The trees shall be monitored annually for a minimum of five years with at least 50 percent survivorship. Replacement for preserved trees shall be a planting at a 3:1 ratio for each tree lost, which would then be monitored for 	nesting season (March 1 to September 15)			

MITIGATION MONITORING AND REPORTING PROGRAM 18TH STREET WEST WAREHOUSE PROJECT				
Mitigation Measure	Implementation Schedule	Monitoring Agency	Sign-Off	
<p>three years. Once the original trees are monitored for five years with no loss or the plantings are monitored for three consecutive years with no additional loss, this mitigation would be considered successful.</p> <p>3) New trees that have the potential to support Swainson's hawks within 10 to 40 years shall be planted. A 20:1 ratio is recommended. Tree species shall be native trees that are known to support nesting Swainson's hawks. The planted trees shall be monitored annually for a minimum of five years with at least 50 percent survivorship. Replacement for planted trees would be a re-planting at a 3:1 ratio for each tree lost, which would then be monitored for three years. Once the original plantings are monitored for five years with a 50 percent survival ratio or the replacement plantings are monitored for three consecutive years with no additional loss, this mitigation would be considered successful. One option with this measure would be to do a turn-key mitigation project. The applicant would pay an organization or company a fee and that organization or company would be responsible for any monitoring and replacement.</p>				
<p>IV-1(b). Prior to the initiation of construction, all workers on the project site shall attend tailgate training that includes a description of the species, a brief summary of its biology, and minimization measures and instructions on what to do if a Swainson's hawk is observed on or near the construction zone. A sign-in sheet shall be distributed to all participants of the training program and submitted, along with a written summary of the training, to the City of Antioch Community Development Department within two weeks of training completion.</p> <p>Burrowing Owl</p> <p>IV-2(a). Preconstruction surveys shall be conducted for burrowing owl/s by a qualified biologist no more than 14 days in advance of the on-set of ground-disturbing activity. These surveys shall be conducted according to methods described in the Staff Report on Burrowing Owl Mitigation (CDFG 2012) or the most recent CDFW guidelines. The surveys shall cover all areas of suitable burrowing owl habitat</p>	<p>Prior to the initiation of construction</p>	<p>City of Antioch Community Development Department</p> <p>City of Antioch Community Development Department</p>	<p>Qualified Biologist</p>	

MITIGATION MONITORING AND REPORTING PROGRAM 18TH STREET WEST WAREHOUSE PROJECT				
Mitigation Measure	Implementation Schedule	Monitoring Agency	Sign-Off	
<p>within the construction zones. A report detailing the results of the preconstruction survey shall be submitted to City of Antioch Community Development Department for review and approval.</p> <p>If burrowing owls are not observed during preconstruction surveys, further mitigation is not warranted.</p> <p>During the non-breeding season (September through January), any burrows occupied by resident owls in areas planned for construction shall be protected by a construction-free buffer with a radius of 250 feet around each active burrow. Passive relocation of resident owls is not recommended by CDFW where it can be avoided. If passive relocation is not avoidable, resident owls may be passively relocated according to a relocation plan prepared by a qualified biologist.</p> <p>If preconstruction surveys are undertaken during the breeding season (February through August) and active nest burrows are located within or near construction zones, a construction-free buffer of 250 feet shall be established around all active owl nests. The buffer areas shall be enclosed with temporary fencing, and construction equipment and workers shall not be allowed to enter the enclosed setback areas. Buffers shall remain in place for the duration of the breeding season. After the breeding season (i.e., once all young have left the nest), passive relocation of any remaining owls may take place, but only under the conditions described below.</p> <p>If it is determined that burrowing owl nest(s) are located on or near the project site or access corridor, the biologist shall coordinate with the project applicant to determine whether the nests are to be impacted. If an impact would occur, one of the following options shall be implemented.</p> <ol style="list-style-type: none"> 1. The applicant shall establish a conservation easement with a 1:1 ratio for foraging/breeding habitat preservation. The 				

MITIGATION MONITORING AND REPORTING PROGRAM 18TH STREET WEST WAREHOUSE PROJECT					
Mitigation Measure	Implementation Schedule	Monitoring Agency	Sign-Off		
<p>easement shall include habitats determined to be suitable for foraging and/or breeding year-round and seasonal use.</p> <p>2. The applicant shall acquire credits at a 1:1 ratio at an approved mitigation bank.</p>	Prior to the initiation of construction	City of Antioch Community Development Department			
<p>IV-2(b). Prior to the initiation of construction, all workers on the project site shall attend tailgate training that includes a description of the species, a summary of their biology, and minimization measures and instructions on what to do if a burrowing owl is observed within or near a construction zone. A sign-in sheet shall be distributed to all participants of the training program and submitted, along with a written summary of the training, to the City of Antioch Community Development Department within two weeks of training completion.</p> <p>Other Nesting Birds and Raptors</p> <p>IV-3(a). If initial site disturbance activities, including tree, shrub, or vegetation removal, are to occur during the breeding season (typically February 1 to August 31), a qualified biologist shall conduct pre-construction surveys for nesting migratory birds and raptors. The survey for nesting migratory birds would cover the project site itself, and the survey for nesting raptors would encompass the site and surrounding lands within 250 feet, where accessible. The survey shall occur within seven days prior to the onset of ground disturbance. A report detailing the results of the preconstruction survey shall be submitted to City of Antioch Community Development Department for review and approval.</p> <p>If nesting migratory birds are not observed during preconstruction surveys, further mitigation is not warranted.</p> <p>If a nesting migratory bird were to be detected, an appropriate construction-free buffer shall be established. Actual size of buffer, which shall be determined by the project biologist, may depend on species, topography, and type of activity that would occur in the vicinity of the nest. The project buffer would be monitored periodically by the project biologist to ensure compliance. After the</p>	If initial site disturbance activities, including tree, shrub, or vegetation removal, are to occur during the breeding season (typically February 1 to August 31)	City of Antioch Community Development Department			

MITIGATION MONITORING AND REPORTING PROGRAM 18TH STREET WEST WAREHOUSE PROJECT				
Mitigation Measure	Implementation Schedule	Monitoring Agency	Sign-Off	
nesting is completed, as determined by the biologist, the buffer would no longer be required.	Prior to the initiation of construction	City of Antioch Community Development Department		
IV-3(b) Prior to the initiation of construction, all workers on the project site shall attend a tailgate training that includes a description of nesting birds and raptors with the potential to occur on-site, a brief summary of their biology, and minimization measures and instructions on what to do if an active bird nest is observed. Proof of compliance with this measure shall be submitted to City of Antioch Community Development Department for review and approval.	Within 48 hours prior to the start of construction activities	City of Antioch Community Development Department Qualified Biologist		
Northern California Legless Lizard and Coast Horned Lizard IV-4 A preconstruction survey for northern California legless lizard and coast horned lizard shall be conducted within 48 hours prior to the start of construction activities. A report detailing the results of the preconstruction survey shall be submitted to City of Antioch Community Development Department for review and approval. If both species are not observed during preconstruction surveys, further mitigation is not warranted.	Should either species be observed during preconstruction surveys, an exclusion fence shall be installed and a qualified biologist shall survey the site each day prior to the start of daily construction until the qualified biologist has determined that none of these species are present on-site, after which construction can continue without a qualified biologist present.	Prior to issuance of certificates of occupancy	City of Antioch Community Development Department	
IV-5 Prior to issuance of certificates of occupancy, all trees that are legally removed as part of the proposed project shall be replaced according to the following schedule, to the satisfaction of the City of Antioch Community Development Department: 1. Each established tree: two 24-inch box trees. 2. Each mature tree: two 48-inch box trees.				

MITIGATION MONITORING AND REPORTING PROGRAM 18TH STREET WEST WAREHOUSE PROJECT					
Mitigation Measure	Implementation Schedule	Monitoring Agency	Sign-Off		
<p>The locations and sizes of the replacement trees shall be clearly shown on the final landscape plans, subject to review and approval by the City of Antioch Community Development Department.</p> <p>V-1. In the event that a cultural resource is inadvertently discovered during project activities, work shall be halted within 100 feet (30 meters) of the find and a qualified archaeologist (36 CFR Part 61) notified immediately so that an assessment of potential significance can be undertaken in accordance with City of Antioch General Plan Policy 10.9.2.d (2003). Construction activities may continue in other areas, but shall not resume in the area of the find until the City of Antioch Community Development Department provides written permission.</p> <p>If the discovery proves to be significant, additional work, such as data recovery excavation, may be warranted and would be discussed in consultation with the City of Antioch Community Development Department, any invested tribes, and other relevant regulatory agencies, as appropriate.</p>	In the event that a cultural resource is inadvertently discovered during project activities, work shall be halted within 100 feet (30 meters) of the find and a qualified archaeologist (36 CFR Part 61) notified immediately so that an assessment of potential significance can be undertaken in accordance with City of Antioch General Plan Policy 10.9.2.d (2003). Construction activities may continue in other areas, but shall not resume in the area of the find until the City of Antioch Community Development Department provides written permission.	City of Antioch Community Development Department	City of Antioch Community Development Department	County Coroner Native American Heritage Commission	
V-2.	In the event of the accidental discovery or recognition of any or human remains, further excavation or disturbance of the find or any nearby area reasonably suspected to overlie adjacent human remains shall not occur until compliance with the provisions of CEQA Guidelines Section 15064.5(e)(1) and (2) has occurred. The Guidelines specify that in the event of the discovery of human remains other than in a dedicated cemetery, no further excavation at the site or any nearby area suspected to contain human remains shall occur until the County Coroner has been notified to determine if an investigation into the cause of death is required. If the coroner determines that the remains are Native American, then, within 24 hours, the Coroner must notify the Native American Heritage Commission, which in turn will notify the most likely descendants who may recommend treatment of the remains and any grave goods. If the Native American Heritage Commission is unable to identify a most likely descendant or most likely descendant fails to make a recommendation within 48 hours after notification by the Native American Heritage Commission, or the landowner or his	In the event of the accidental discovery or recognition of any or human remains, further excavation or disturbance of the find or any nearby area reasonably suspected to overlie adjacent human remains shall not occur until compliance with the provisions of CEQA Guidelines Section 15064.5(e)(1) and (2) has occurred. The Guidelines specify that in the event of the discovery of human remains other than in a dedicated cemetery, no further excavation at the site or any nearby area suspected to contain human remains shall occur until the County Coroner has been notified to determine if an investigation into the cause of death is required. If the coroner determines that the remains are Native American, then, within 24 hours, the Coroner must notify the Native American Heritage Commission, which in turn will notify the most likely descendants who may recommend treatment of the remains and any grave goods. If the Native American Heritage Commission is unable to identify a most likely descendant or most likely descendant fails to make a recommendation within 48 hours after notification by the Native American Heritage Commission, or the landowner or his			

MITIGATION MONITORING AND REPORTING PROGRAM 18TH STREET WEST WAREHOUSE PROJECT					
Mitigation Measure	Implementation Schedule	Monitoring Agency	Sign-Off		
<p>authorized agent rejects the recommendation by the most likely descendant and mediation by the Native American Heritage Commission fails to provide a measure acceptable to the landowner, then the landowner or his authorized representative shall rebury the human remains and grave goods with appropriate dignity at a location on the property not subject to further disturbances. Should human remains be encountered, a copy of the resulting County Coroner report noting any written consultation with the Native American Heritage Commission shall be submitted as proof of compliance to the City's Community Development Department.</p>					
<p>VII-1 Prior to issuance of any grading permits, the project applicant shall submit to the City of Antioch Engineering Department, for review and approval, a design-level geotechnical exploration study produced by a California Registered Civil Engineer or Geotechnical Engineer and identify grading and building practices necessary to achieve compliance with the latest adopted edition of the California Building Standards Code's geologic, soils, and seismic requirements. Consistent with the Preliminary Geotechnical Exploration prepared for the proposed project, the design-level geotechnical exploration study shall include additional soil borings, test pits, laboratory testing, chemical testing for corrosivity, geologic mapping and fault trenching/evaluation.</p> <p>All grading and foundation plans for the development shall be designed by a Civil and Structural Engineer and reviewed and approved by the City of Antioch Building Division prior to issuance of grading and building permits to ensure that all geotechnical recommendations specified in the design-level geotechnical exploration study are properly incorporated and utilized in the project design.</p> <p>VII-2. Prior to the initiation of ground-disturbing activities, a qualified paleontologist shall be retained to administer Worker Environmental Awareness Program (WEAP) training to construction personnel so that a basic understanding of local geology and the paleontological sensitivity of the project area will</p>	<p>Prior to issuance of grading permits</p>	<p>City of Antioch Engineering Department</p> <p>City of Antioch Building Division</p>	<p>Prior to the initiation of ground-disturbing activities</p>	<p>City of Antioch Community Development Department</p>	

MITIGATION MONITORING AND REPORTING PROGRAM 18TH STREET WEST WAREHOUSE PROJECT					
Mitigation Measure	Implementation Schedule	Monitoring Agency	Sign-Off		
<p>be acquired by those involved in earth-moving activities. The training shall include information on the types of fossils that may be encountered during project work, relevant compliance requirements, and the course to action to be taken in the event of an inadvertent fossil discovery. A sign-in sheet shall be kept with the signatures of all attendees for submission to the City of Antioch Community Development Department.</p> <p>VII-3. In the event that a paleontological resource is inadvertently discovered during project-related work, regardless of the depth of excavation or location, work shall be halted within 50 feet (15 meters) of the find and a qualified paleontologist (Society of Vertebrate Paleontology [SVP] 2010) notified immediately so that an assessment of the resource's potential significance can be undertaken in accordance with City of Antioch General Plan Policy 10.9.2.d (City 2003). Construction activities could continue in other areas.</p> <p>If the find is determined to be significant under SVP criteria, the find shall be left in place without further disturbance, or if avoidance is not feasible, then additional work, such as fossil recovery excavation (salvage) and curation at a certified repository, such as the University of California Museum of Paleontology (UCMP), may be warranted and would be discussed in consultation with the City of Antioch Community Development Department, and any other relevant regulatory agency, as appropriate.</p>	<p>In the event that a paleontological resource is inadvertently discovered during project-related work</p> <p>during project-related work</p>	<p>Qualified Paleontologist</p> <p>City of Antioch Community Development Department</p>			
VIII-1. Consistent with the BAAQMD's thresholds of significance, prior to issuance of building permits for the proposed project, the project applicant shall demonstrate via project design and/or notation included on project design that natural gas infrastructure shall be prohibited. Conformance with the foregoing requirement shall be confirmed through review and approval of building permit plans by the City of Antioch Community Development Department.	Prior to issuance of building permits	<p>City of Antioch Community Development Department</p>			

MITIGATION MONITORING AND REPORTING PROGRAM 18TH STREET WEST WAREHOUSE PROJECT				
Mitigation Measure	Implementation Schedule	Monitoring Agency	Sign-Off	
IX-1. During ground-disturbing activities, if it is determined that the on-site well is no longer needed, the project applicant shall hire a licensed contractor to obtain the applicable abandonment permit from Contra Costa County Environmental Health Division (CCCEHD), and properly abandon the on-site well to the satisfaction of the CCCEHD.	During ground-disturbing activities	Contra Costa County Environmental Health Division (CCCEHD)		
IX-2. Prior to the issuance of grading permits, a soil assessment shall be prepared with surficial soil sample laboratory analysis to determine the presence of residual pesticides. Once the soils are collected, the soils are to be tested for pesticides, including chlordane. If soil contaminates are not found, further action is not required; however, if concentrations of pesticides are detected in excess of established thresholds, the assessment shall include appropriate measures, including, but not limited to, soil remediation to an acceptable total threshold limit concentration (TTLC) level according to applicable State and federal regulations. All recommended measures shall be implemented by the project applicant, subject to review and approval by the CCCEHD, as well as the City of Antioch Community Development Department.	Prior to the issuance of grading permits	Contra Costa County Environmental Health Division (CCCEHD)		
X-1. Prior to issuance of grading permits, the contractor shall prepare a Storm Water Pollution Prevention Plan (SWPPP). The developer shall file the Notice of Intent (NOI) and associated fee to the SWRCB. The SWPPP shall serve as the framework for identification, assignment, and implementation of BMPs. The contractor shall implement BMPs to reduce pollutants in stormwater discharges to the maximum extent practicable. The SWPPP shall be submitted to the Director of Public Works/City Engineer for review and approval and shall remain on the project site during all phases of construction. Following implementation of the SWPPP, the contractor shall subsequently demonstrate the SWPPP's effectiveness and provide for necessary and appropriate revisions, modifications, and improvements to reduce pollutants in stormwater discharges to the maximum extent practicable.	Prior to issuance of grading permits	Director of Public Works/City Engineer		

MITIGATION MONITORING AND REPORTING PROGRAM 18TH STREET WEST WAREHOUSE PROJECT				
Mitigation Measure	Implementation Schedule	Monitoring Agency	Sign-Off	
X-2. Prior to the completion of construction activities, the applicant shall prepare and submit, for the City's review, an acceptable Stormwater Control Operation and Maintenance Plan. In addition, prior to the sale, transfer, or permanent occupancy of the site the applicant shall be responsible for paying for the long-term maintenance of treatment facilities, and executing a Stormwater Management Facilities Operation and Maintenance Agreement and Right of Entry in the form provided by the City of Antioch. The applicant shall accept the responsibility for maintenance of stormwater management facilities until such responsibility is transferred to another entity.	Prior to the completion of construction activities	Director of Public Works/City Engineer		
The applicant shall submit, with the application of building permits, a draft Stormwater Facilities and Maintenance Plan, including detailed maintenance requirements and a maintenance schedule for the review and approval by the Director of Public Works/City Engineer. Typical routine maintenance may include, but is not limited to, the following:	<ul style="list-style-type: none"> • Visually inspect for ponding water to ensure that filtration is occurring. • After all major storm events remove trash, inspect drain pipes and bubble-up risers for obstructions and remove if necessary. • Continue general landscape maintenance, including pruning and cleanup throughout the year. • Excavate, clean and or replace filter media (sand, gravel, topsoil) to ensure adequate infiltration rate (annually or as needed). 	Prior to issuance of building permits	City of Antioch Community Development Department	
X-3. Prior to issuance of building permits, Contra Costa County Flood Control & Water Conservation District drainage fees for the Drainage Areas shall be paid by the applicant. Proof of payment shall be submitted to the City for review and approval.	Prior to issuance of building permits			
XII-1. Prior to approval of grading permits, the City shall establish the following requirements, via written notation on final improvement	Prior to approval of grading permits	City of Antioch Community Development		

MITIGATION MONITORING AND REPORTING PROGRAM 18TH STREET WEST WAREHOUSE PROJECT				
Mitigation Measure	Implementation Schedule	Monitoring Agency	Sign-Off	
<p>plans, subject to review and approval by the City of Antioch Community Development Department:</p> <ul style="list-style-type: none"> Construction activities shall be limited to the hours of 8:00 AM and 5:00 PM Monday through Friday when work is within 300 feet of occupied dwellings, and to between the hours of 7:00 AM and 7:00 PM Monday through Friday when work occurs greater than 300 feet from occupied dwellings. Such activities should be limited to the hours of 9:00 AM and 5:00 PM on Saturdays. No construction shall be allowed on Sundays and public holidays. The construction contractor shall use temporary noise attenuation fences to protect sensitive receptors west of the project site. The construction contractor shall place all stationary construction equipment so that emitted noise is directed away from sensitive receptors nearest the project site. Construction equipment shall be properly maintained and equipped with noise-reduction intake and exhaust mufflers and engine shrouds, in accordance with manufacturers' recommendations. Equipment engine shrouds shall be closed during equipment operation. When not in use, motorized construction equipment shall not be left idling for more than five minutes. Stationary equipment (power generators, compressors, etc.) shall be located at the furthest practical distance from nearby noise-sensitive land uses or sufficiently shielded to reduce noise-related impacts. 		Department		

See Mitigation Measures V-1 and V-2.

See Mitigation Measures V-1 and V-2.

**PLANNING COMMISSION
RESOLUTION NO. 2023-XX**

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ANTIOCH
RECOMMENDING CITY COUNCIL ADOPTION OF AN ORDINANCE REZONING 22.65
ACRES TO PLANNED DEVELOPMENT DISTRICT (PD-22-02) FOR THE EAST 18TH STREET
WEST WAREHOUSE PROJECT (APNs 051-052-072-9 AND 051-072-086-9)**

WHEREAS, the City of Antioch ("City") received an application from DECA Company for approval of an Initial Study/Mitigated Negative Declaration, Planned Development Rezone, Final Development Plan, Use Permit, Lot Merger, and Design Review for the development of a 442,111-square-foot light industrial warehouse and associated site improvements located at 2901 East 18th Street and 1699 Vineyard Drive (APNs 051-052-072-9 and 051-072-086-9);

WHEREAS, the City prepared an Initial Study and Mitigated Negative Declaration (IS/MND) and Mitigation Monitoring and Reporting Program (MMRP), to evaluate the potential environmental impacts of the Project in conformance with Section 15063 of Title 14 of the California Code of Regulations (the "CEQA Guidelines");

WHEREAS, on August 16, 2023, the Planning Commission recommended City Council adoption of the IS/MND and MMRP;

WHEREAS, in consideration of the rezone, the granting of such rezone will not adversely affect the comprehensive General Plan;

WHEREAS, a public hearing notice was published in the East County Times and posted in three public places pursuant to California Government Code Section 65090 on August 4, 2023 for the Planning Commission public hearing held on August 16, 2023;

WHEREAS, on August 16, 2023, the Planning Commission duly held a public hearing on the matter, and received and considered evidence, both oral and documentary;

WHEREAS, the Planning Commission considered all public comments received, the presentation by City staff, the staff report, and all other pertinent documents regarding the proposed request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission does hereby make the following findings for recommendation to the City Council for approval of the proposed zone change:

1. That the public necessity requires the proposed zone change. The rezone to PD District (PD-22-02) would apply zoning and development standards to the site to implement the proposed project.
2. That the subject property is suitable to the use permitted in the proposed zone change. The subject property is located on a property with frontage on a major arterial street. The site is suitable for the proposed zone change.
3. That said permitted use is not detrimental to the surrounding property. The said permitted use will not be detrimental to the surrounding property because the proposed use has

been developed and conditioned to mitigate any impacts to the surrounding properties.

4. That the proposed zone change is in conformance with the Antioch General Plan. The proposed zone change conforms to the requirements of the General Plan for Eastern Waterfront Employment Focus Area.

NOW THEREFORE BE IT FURTHER RESOLVED that the Planning Commission does hereby recommend City Council ADOPTION of the Ordinance (Exhibit A) rezoning 22.65 acres located at 2901 East 18th Street and 1699 Vineyard Drive (APNs 051-052-072-9 and 051-072-086-9) to Planned Development District (PD-22-02).

* * * * *

I HEREBY CERTIFY that the foregoing resolution was adopted by the Planning Commission of the City of Antioch at a regular meeting thereof held on the 16th day of August, 2023 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

KEVIN SCUDERO
Secretary to the Planning Commission

Exhibit A

ORDINANCE NO. ____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ANTIOCH TO REZONE 22.65 ACRES TO PLANNED DEVELOPMENT (PD-22-02) DISTRICT (APNs 051-052-072-9 & 051-072-086-9),

The City Council of the City of Antioch does ordain as follows:

SECTION 1:

The City Council determined on _____, that, pursuant to Section 15074 of the Guidelines of the California Environmental Quality Act, and after full consideration of the Initial Study/Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program prepared for project, and on the basis of the whole record before it, the Initial Study/Mitigated Negative Declaration for the East 18th Street West Warehouse Project should be certified.

SECTION 2:

At its regular meeting of August 16, 2023, Planning Commission recommended that the City Council adopt the Ordinance to rezone the subject property to Planned Development (PD-22-02) District for the East 18th Street West Warehouse Project.

SECTION 3:

The East Eighteenth Street Specific Plan, adopted by City Council Ordinance 986-C-S, passed on December 11, 2001, establishes the land plan to implement the proposed PD zoning. The real property description, attached hereto, is hereby rezoned to Planned Development (PD-22-02) District for the East 18th Street West Warehouse Project, and the City of Antioch Zoning Map is hereby amended accordingly.

SECTION 4:

The development standards, as defined below, for the subject property (**APNs 051-052-071 and -086**), known as the East 18th Street West Warehouse Project, are herein incorporated into this ordinance, and are binding upon said property.

Development Standards for the Proposed East 18th Street West Warehouse Planned Development District (PD-22-02)

Development Standards	PD Zoning Standards for East 18th Street West Warehouse Project
Maximum height	45'
Maximum Lot Coverage	50%
Minimum Front Yard Landscaping Setback	20'
Minimum Street Side Yard Landscaping Setback	20'

Development Standards	PD Zoning Standards for East 18th Street West Warehouse Project
Minimum Interior Side Setback	0'
Minimum Rear Yard Setback	0'
Minimum Lot Size	40,000 Square Feet
Parking	As shown on the approved Final Development Plan and section 9-5.17 of the Antioch Municipal Code

SECTION 5

The allowed uses, as defined below, for the subject property (**APNs 051-052-071 and -086**), known as the West Warehouse Project, are herein incorporated into this ordinance, and are binding upon said property.

Permitted uses shall be those identified and defined as appropriate land use types in the Eastern Waterfront Business Park section of Land Use Table 4.A of the City of Antioch General Plan and hereby listed below:

- Administrative and Professional Offices
- Light Manufacturing and Assembly
- Research and Development
- Storage and Distribution (Entirely within an enclosed building)

Permitted Ancillary Uses:

- Showrooms associated with permitted uses
- Truck and trailer parking in the parking area specifically designated for trailer stalls on the site plan

The following uses identified and defined as appropriate land use types in the Eastern Waterfront Business Park section of the Land Use Table 4.A of the City of Antioch General Plan are not permitted at the project site:

- Recreational Vehicle Park
- Personal Storage

Temporary outdoor storage uses shall be subject to the approval of an Administrative Use Permit. Any other Light Industrial/Business Park employment generating use not specifically listed here shall be subject to the review and approval of the Zoning Administrator.

SECTION 6:

The City Council finds that the proposed zone reclassification will allow uses more suitable uses for the site than the present classification; that the subject property is suitable to the use permitted in the proposed zone change; that said permitted uses are not detrimental to the public or surrounding properties; and that the proposed zone change is in conformance with the Antioch General Plan.

SECTION 7:

This ordinance shall take effect and be enforced thirty (30) days from and after the date of its adoption and shall be published once within fifteen (15) days upon passage and adoption in a newspaper of general circulation printed and published in the City of Antioch.

* * * * *

I HEREBY CERTIFY that the forgoing ordinance was introduced and adopted at a regular meeting of the City Council of the City of Antioch, held on the ____ of ____, 2023, and passed and adopted at a regular meeting thereof, held on the ____ of ____, 2023, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Mayor of the City of Antioch

ATTEST:

City Clerk of the City of Antioch

**PLANNING COMMISSION
RESOLUTION NO. 2023-XX**

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ANTIOCH
RECOMMENDING APPROVAL OF A FINAL DEVELOPMENT PLAN, USE PERMIT, LOT
MERGER, AND DESIGN REVIEW FOR THE EAST 18TH STREET WEST WAREHOUSE
PROJECT**

WHEREAS, the City of Antioch (“City”) received an application from DECA Company for approval of an Initial Study/Mitigated Negative Declaration, Planned Development Rezone, Final Development Plan, Use Permit, Lot Merger, and Design Review for the development of a 442,111-square-foot light industrial warehouse and associated site improvements located at 2901 East 18th Street and 1699 Vineyard Drive (APNs 051-052-072-9 and 051-072-086-9);

WHEREAS, the City prepared an Initial Study and Mitigated Negative Declaration (IS/MND) and Mitigation Monitoring and Reporting Program (MMRP), to evaluate the potential environmental impacts of the Project in conformance with Section 15063 of Title 14 of the California Code of Regulations (the “CEQA Guidelines”);

WHEREAS, on August 16, 2023, the Planning Commission recommended City Council adoption of the IS/MND and MMRP;

WHEREAS, on August 16, 2023, the Planning Commission recommended City Council approval of a Planned Development Rezone (PD-22-02) for the Project;

WHEREAS, a public hearing notice was published in the East County Times and posted in three public places pursuant to California Government Code Section 65090 on August 4, 2023 for the Planning Commission public hearing held on August 16, 2023;

WHEREAS, on August 16, 2023, the Planning Commission duly held a public hearing on the matter, and received and considered evidence, both oral and documentary;

WHEREAS, the Planning Commission considered all public comments received, the presentation by City staff, the staff report, and all other pertinent documents regarding the proposed request.

NOW, THEREFORE BE IT RESOLVED, that the Planning Commission hereby makes the following findings for approval of a Final Development Plan:

1. Each individual unit of the development can exist as an independent unit capable of creating an environment of sustained desirability and stability, and the uses proposed will not be detrimental to present and potential surrounding uses but instead will have a beneficial effect which could not be achieved under another zoning district.
2. The streets and thoroughfares proposed meet the standards of the city's Growth Management Program and adequate utility service can be supplied to all phases of the development.
3. Any commercial component is justified economically at the location(s) proposed.

4. Any residential component will be in harmony with the character of the surrounding neighborhood and community and will result in densities no higher than that permitted by the General Plan.
5. Any industrial component conforms to applicable desirable standards and will constitute an efficient, well-organized development with adequate provisions for railroad and/or truck access and necessary storage and will not adversely affect adjacent or surrounding development.
6. Any deviation from the standard zoning requirements is warranted by the design and additional amenities incorporated in the final development plan which offer certain unusual redeeming features to compensate for any deviations that may be permitted;
7. The area surrounding the P-D District can be planned and zoned in coordination and substantial compatibility with the proposed development.
8. The P-D District conforms with the General Plan of the city.

NOW, THEREFORE BE IT FURTHER RESOLVED, that the Planning Commission makes the following findings for approval of the requested Use Permit:

1. The granting of such use permit will not be detrimental to the public health or welfare or injurious to the property or improvements in such zone or vicinity because the project has been designed to comply with the City of Antioch Municipal Code Requirements.
2. The use applied at the location indicated is properly once for which a use permit is authorized because the City of Antioch Zoning Ordinance requires a use permit for all Planned Development (PD) applications.
3. The site for the proposed use is adequate in size and shape to accommodate such use, and all yard, fences, parking, loading, landscaping, and other features required, to other uses on the site. The site plan complies with the Planned Development standards established for the project's PD District.
4. That the site abuts streets and highways adequate in width and pavement type to carry the kind of traffic generated by the proposed use.
5. The granting of such use permit will not adversely affect the comprehensive General Plan because the proposed uses and design are consistent with the General Plan. The General Plan designation is Eastern Waterfront Employment Focus Area, which allows for the type of industrial development proposed by the project.
6. The Conditions of Approval protect the public safety, health and general welfare of the users of the project and surrounding area. In addition, the conditions ensure the project is consistent with City standards.

NOW THEREFORE BE IT FURTHER RESOLVED, that the Planning Commission makes the following findings for approval of the requested Lot Merger:

1. That the merger will not interfere with any dedication or offer of dedication for present or prospective public purposes;
2. That the contiguous parcels are under common ownership; and
3. That the merger will not result in a violation of the Antioch Municipal Code, and that the merger will be consistent with the purposes and intent of the Municipal Code and the Subdivision Map Act.

NOW, THEREFORE, BE IT RESOLVED AND DETERMINED, that the Planning Commission of the City of Antioch does hereby recommend APPROVAL of a Final Development Plan, Use Permit, Lot Merger, and Design Review to develop a 442,111-square-foot light industrial building on a 22.65-acre lot with new parking, lighting, and landscaping located at 2901 East 18th Street and 1699 Vineyard Drive (APNs 051-052-072-9 and 051-072-086-9), subject to the conditions in Exhibit A.

* * * * *

I HEREBY CERTIFY that the foregoing resolution was adopted by the Planning Commission of the City of Antioch at a regular meeting thereof held on the 16th day of August, 2023, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

KEVIN SCUDERO
Secretary to the Planning Commission

EXHIBIT A
CONDITIONS OF APPROVAL

EXHIBIT A: CONDITIONS OF APPROVAL DECA West
DRAFT

General Conditions		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Applicant Response</u>
1.	<p>Project Approval. This ELEMENT approval is for APN 051-052-072 and -086, as substantially shown and described on the project plans, except as required to be modified by conditions herein. Plans date received November 4, 2022, as presented to the Planning Commission on August 16, 2023 ("Approval Date"). For any condition herein that requires preparation of a Final Plan where the project applicant has submitted a conceptual plan, the project applicant shall submit final plan(s) in substantial conformance with the conceptual plan, but incorporate the modifications required by the conditions herein for approval by the City.</p>	City of Antioch	On-Going	Planning Department	
2.	<p>Project Approval Expiration. This approval expires on August 16, 2025(two years from the date on which this approval becomes effective) or at an alternate time specified as a condition of approval, unless a building permit has been issued and construction diligently pursued. All approval extensions shall be processed as stated in the Antioch Municipal Code.</p>	City of Antioch	On-Going	Planning Department	

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

3.	City Fees. The applicant shall pay any and all City and other related fees applicable to the property, as may be modified by conditions herein. Fees shall be based on the current fee structure in effect at the time the relevant permits are secured and shall be paid before issuance of said permit or before any City Council final action approval. Notice shall be taken specifically of Plan Check, Engineering, Fire and Inspection Fees. The project applicant shall also reimburse the City for direct costs of planning; building and engineering plan check and inspection, as mutually agreed between the City and applicant. Discretionary or ministerial permits/approvals will not be considered if the developer is not current on fees, balances, and reimbursement that are outstanding and owed to the City.	City of Antioch	On-Going	Community Development Department
4.	Pass-Through Fees. The developer shall pay all pass-through fees. Fees include but are not limited to: East Contra Costa Regional Fee and Financing Authority (ECCRFFA) Fee in effect at the time of building permit issuance. Contra Costa County Fire Protection District Fire Development Fee in place at the time of building permit issuance. Contra Costa County Map Maintenance Fee in affect at the time of recordation of the final map(s). Contra Costa County Flood Control District Drainage Area fee. School Impact Fees. Delta Diablo Sanitation Sewer Fees. Contra Costa Water District Fees.	City of Antioch	On-Going	Community Development Department
5.	Appeals. Pursuant to Section 9-5.2509 of the Antioch Municipal Code, any decision made by the Planning Commission which would otherwise constitute final approval or denial may be appealed to the City Council. Such appeal shall be in writing and shall be filed with the City Clerk within five (5) working days after the decision. All appeals to the City Council from the Planning Commission shall be accompanied by a filing fee established by a resolution of the City Clerk.	City of Antioch	Within 5 Days of Planning Commission Action	Planning Department

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

<p>6. Requirement for Building Permit. Approval granted by the Planning Commission does not constitute a building permit or authorization to begin any construction or demolish an existing structure. An appropriate permit issued by the Community Development Department must be obtained before constructing, enlarging, moving, converting, or demolishing any building or structure within the City.</p>	<p>City of Antioch</p>	<p>On-Going</p>	<p>Building Department</p>
<p>7. Modifications to Approved Plans. The project shall be constructed as approved and with any additional changes required pursuant to the Zoning Administrator or Planning Commission Conditions of Approval. Planning staff may approve minor modifications in the project design, but not the permitted land uses. A change requiring discretionary approval and any other changes deemed appropriate by the Planning staff shall require further Planning Commission approval through the discretionary review process.</p>	<p>City of Antioch</p>	<p>On-Going</p>	<p>Planning Department</p>
<p>8. Mitigation Monitoring and Reporting Program. The developer shall comply with all mitigation measures identified in the Mitigation Monitoring and Reporting Program for the DECA West Project .</p>	<p>City of Antioch</p>	<p>On-Going</p>	<p>Planning Department</p>
<p>9. Compliance Matrix. With the submittal of all grading plans, improvement plans, and building permit plans, the applicant shall submit to the Community Development Department a Conditions and Mitigation Measures Compliance Matrix that lists: each Condition of Approval and Mitigation Measure, the City division responsible for review, and how the applicant meets the Condition of Approval or Mitigation Measure. The applicant shall update the compliance matrix and provide it with each submittal.</p>			

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

Condition Number	Condition Description	Regulation Source	Timing/ Implementation	Enforcement/ Monitoring	Verification(date and signature)
10.	<p>Hold Harmless Agreement/Indemnification. The applicant (including any agent thereof) shall defend, indemnify, and hold harmless, the City of Antioch and its agents, officers and employees, from any claim, action, or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul the City's approval concerning this application. The City will promptly notify the applicant of any such claim action or proceeding and cooperate fully in the defense.</p>	City of Antioch	On-Going	Planning Department	
	Public Works Standard Conditions				
13.	<p>Encroachment permit and preconstruction meeting. The developer shall file an encroachment permit with the City of Antioch public works department for construction of all public improvements being constructed both inside the public right of way and within the site. After the improvement plans are approved and the necessary permit fees are paid a preconstruction meeting with public work inspection shall be scheduled. The developer will provide the City a draft schedule of construction so City staff can anticipate the project in their workload. The developer shall also inform the adjacent property owners to the developing parcel that construction activity is about to begin and will extend to approximate finish date of the project.</p>	City of Antioch	At building permit	Public Works Department	Noted.
14.	<p>City Standards. All proposed improvements shall be constructed to City standard plans and specifications or as otherwise approved by the City Engineer in writing.</p>	City of Antioch	On-Going	Public Works Department	
15.	<p>Utility Construction. All Public and private Utilities shown on the 18th Street and Vineyard Street shown on the Development East Utility plans shall be constructed to their ultimate size, location and configuration as shown on the approved plans.</p>	City of Antioch	On-Going	Public Works Department	

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

16.	Utility Undergrounding. All existing overhead electrical lines along 18 th street shall be underground per City of Antioch Municipal code section 7.3 "Underground utility Districts". Transformers, PMH boxes, switchgears, and similar electrical equipment may be installed above grade, on suitable concrete pads, and screened from public view by landscaping or other acceptable means as approved by the Engineering Director of Public works.	City of Antioch	On-Going	Public Works Department
17.	Utility Mapping. Prior to acceptance of public utilities, the developer shall provide CAD as-built drawings of all public utilities located within the site. This includes all public Water Distribution Utility lines and features, sewer collection lines, pump station, Storm drainage lines, and invert associated with these utilities. Developer shall also include locations of water meters, light poles, and irrigation controllers. These coordinates must be provided in GIS shapefile format using the NAVD 88 (with conversion information). Prior to acceptance of any public utilities, the developer shall provide coordinates of all public utilities installed within the site will be included in the CAD as-built drawings.	City of Antioch	Prior to Acceptance of Public Utilities	Public Works Department
18.	Sewer. All sewage shall flow from the building by gravity to the intersecting sewer main located along the west property line and connect at the northwest corner of the site. The developer shall make the connection by installing a concrete manhole per city standards. A sewer study will be required to verify that the existing sewer main can handle the flows of this project to sewer system.	City of Antioch	On-Going	Public Works Department
19.	Storm Drain Design/Construction. The developer shall design and construct all storm drain facilities to adequately collect and convey stormwater entering or originating within the site	City of Antioch	At the Time of Building occupancy	Public Works Department

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

<p>to the nearest man-made drainage facility for a 10 year storm, without diversion of the watershed as modeled by a site drainage study that is reviewed/approved by the City Engineer. Drainage flows from the 50 year and 100 year storms shall be handled by overland release off the site at designated wear points located at the south east corner of the site.</p> <p>The private drainage system, including, catch basins, curbs and gutters and valley gutters shall be constructed of concrete. Pipes may be constructed of concrete, or other materials, subject to review and approval by Staff. All proposed open ditches in landscape areas, shall be earth lined ditches or as approved by the City Engineer. Drainage from adjacent properties that naturally drain through the project site shall be captured and routed through the site and discharged to the public drainage system. This drainage from neighboring uphill topographies shall be included in the drainage study and analysis</p> <p>All site drainage shall flow by gravity to stormwater treatment facilities as shown on the site grading plan to treat runoff in accordance with provision C.3 of the San Francisco Bay Region NPDES permit. The filtered water shall then be discharged either by infiltration or flow by gravity pipe or by pump to the public storm drain system located at the end of Vineyard Drive. Catch basins shall be installed in each bioretention basin to act as overflow weir to handle larger flows than the basin can filter. These peak 10 year flows shall also flow to the closest public drainage system located in Vineyard Drive</p> <p>a. Due the large amount of impervious surfaces on the site, the developer shall detain or retain drainage of the site to discharge at a flow rate that does not exceed capacity of</p>

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

<p>the public storm drain infrastructure. The developer shall install underground infiltration systems with the associated manholes and cleaning facilities be constructed and operational prior to occupancy the building. This underground infiltration system shall have adequate manholes, concrete boxes, grates, boxes and weirs per the manufacturers specifications and also have adequate built in facilities to clean the underground detention basin of silt. Annual inspections shall be made of this facility by the site maintenance to monitor the accumulation of silt and trash that could build up inside this underground detention basin</p> <p>The detention and bioretention basins shall be designed to provide controlled overland release for the 100-year storm event. An Operations and Maintenance Manual (for each basin) shall be submitted for all basins prior to the issuance of the first building permit stating showing the capacity of each basin and location of over flow of the 100-year flow event release.</p>	<p>20. Water Pressure. The developer shall provide adequate potable water and fire water pressure and volume to serve this building sprinkler system and domestic use. This will include minimum of fire flow of 1000 gpm a minimum residual pressure of 20 psi with all losses included at the highest point of sprinkler system at a minimum static pressure of 20 psi or as approved by the City Engineer and/or fire marshal. See Fire Requirements for additional water flow conditions. A water flow calculations, analysis and report will be required to verify that the proposed private water main can handle the fire flows and one fire hydrant flowing at 1000 gpm per City requirements.</p> <p>21. Requirement for Looped System. This private water system shall be designed as a looped water distribution system around the</p>
	<p>City of Antioch On-Going Public Works Department</p>

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

building with private fire hydrants spacing a maximum of 400 feet, connecting to this looped system. The system shall be connected to the public water main with double detector check assemblies per city requirements to meet fire flows. The developer shall be responsible for installing all water connections to public water system in accordance with city standards, backfill and restore pavement, landscaping and other surface improvements to conditions before construction to the satisfaction of the City Engineer.	<p>Hydrology Report. The developer shall submit hydrology and hydraulic calculations, and drainage report as part of the storm water pollution control plan. The analysis shall demonstrate adequacy of the on-site drainage system and with no impacts to the downstream drainage system. The analysis shall be reviewed and approved by Contra Costa County Flood Control.</p> <p>This storm water report shall document the size and criteria of the underground retention basin, the bioretention basin and follow the manufacturer recommendations in construction and maintenance of each facility. The developer shall prepare a O&M plan for approval of each basin by the city prior to building permit.</p>	City of Antioch Prior to the Recordation of the First Final Map Public Works Department
23.	Retaining Walls <ol style="list-style-type: none"> 1. Retaining Walls Not Public Right of Way. All retaining walls shall not be constructed in City right-of-way or other City maintained parcels unless otherwise approved by the City Engineer. 2. 2:1 Max Grade transition. Due to difference in grades with adjacent parcels, the developer shall transition grades at a 2:1 max grade slope, and start 1 foot back from the property line from existing grade to the 	City of Antioch On-Going Public Works Department

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

	<p>3. Materials. All retaining walls shall be of concrete masonry unit construction.</p> <p>4. Height. All retaining walls shall be reduced in height to the maximum extent practicable and the walls shall meet the height requirements in the frontage and side slope requirements and standard sight distance triangles at intersections as required by the City Engineer.</p>	
24.	<p>Fences. Rear, side and front yard fencing shall be 8' high tube steel fence with automatic opening gates of the same material installed where required and painted black. All fences shall be located on the property line at the top of slope or at existing grade as approved by the City Engineer.</p> <p>a. In some cases where a fence is to be built in conjunction with a retaining wall, and the wall face is exposed to a side street, the fence shall be setback a minimum of three feet (3') behind the retaining wall per Antioch Municipal Code § 9-5.1603, or as otherwise approved by the City Engineer in writing.</p> <p>b. All fencing adjacent to open space (trails and basins) shall be wrought iron, tubular steel, or as otherwise approved by the City Engineer in writing at the time of improvement plan approval and shall be located at the top of slope.</p>	City of Antioch

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

Conservation/NPDES		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification(date and Signature)</u>
25.	C.3 Compliance. Per State Regulations, all impervious surfaces including off-site roadways to be constructed as part of the project are subject to C.3 requirements.	State of California	On-Going	Public Works Department	
26.	<p>NPDES. The project shall comply with all Federal, State, and City regulations for the National Pollution Discharge Elimination System (NPDES) (AMC§6-9). (Note: Per State Regulations, NPDES Requirements are those in effect at the time of the Final Discretionary Approval.)</p> <p>Under NPDES regulations, the project is subject to provision C.3: "New development and redevelopment regulations for storm water treatment."</p> <p>a. Requirements. Provision C.3 requires that the project include storm water treatment and source control measures, as well run-off flow controls so that post-project runoff does not exceed estimated pre-project runoff. The approved preliminary plans show that the developer will construct two bioretention basins and a underground basin to satisfy this requirement.</p> <p>b. Storm Water Control Plan. C.3 regulations require the submittal of a Storm Water Control Plan (SWCP) that demonstrate plan compliance. The SWCP shall be submitted concurrently with the site improvement plans.</p> <p>c. Operation and Maintenance Plan. For the treatment and flow-controls identified in the approved SWCP, a separate Operation and Maintenance Plan (O&M) shall be submitted to the Building Department at the time of permit submittal.</p> <p>d. CCRs. Both the approved SWCP and O&M plans shall be included in the project maintenance operation plans.</p>	Federal Government	At the Time of Building Permit Submittal	Public Works	

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

	Prior to building permit final and issuance of a Certificate of Occupancy, the developer shall execute any agreements identified in the Storm Water Control Plan that pertain to the transfer of ownership and/or long-term maintenance of storm water treatment or hydrograph modification BMPs. Already stated in COAs below, 5.c and 5.h.w.		
27.	<p>NPDES Plan Submittal Requirements. The following requirements of the federally mandated NPDES program (National Pollutant Discharge Elimination System) shall be complied with as appropriate, or as required by the City Engineer:</p> <p>a. Application. Prior to issuance of building permits, site improvements, or landscaping, the developer shall submit a permit application consistent with the developer's approved Storm Water Control Plan, and include drawings and specifications necessary for construction of site design features, measures to limit directly connected impervious area, pervious pavements, self-retaining areas, treatment BMPs, permanent source control BMPs, and other features that control storm water flow and potential storm water pollutants.</p> <p>b. Certified Professional. The Storm Water Control Plan shall be certified by a registered civil engineer, and by a registered architect or landscape architect as applicable. Professionals certifying the Storm Water Control Plan shall be registered in the State of California and submit verification of training, on design of treatment measures for water quality, not more than three years prior to the signature date by an organization with storm water treatment measure design expertise (e.g., a university, American Society of Civil Engineers, American Society of Landscape Architects, American Public Works Association, or the California Water</p>	Federal Government	At the Time of Building Permit Submittal

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

	<p>Environment Association), and verify understanding of groundwater protection principles applicable to the project site (see Provision C.3.i of Regional Water Quality Control Board Order R2 2003 0022).</p> <p>c. Final Operation & Maintenance Plan. Prior to building permit final and issuance of a Certificate of Occupancy, the developer shall submit, for review and approval by the City, a final Storm Water BMP Operation and Maintenance Plan in accordance with City of Antioch guidelines. This O&M plan shall incorporate City comments on the draft O&M plan and any revisions resulting from changes made during construction. The O&M plan shall be incorporated into the CC&Rs for the Project.</p> <p>d. Long Term Management. Prior to building permit final and issuance of a Certificate of Occupancy, the developer shall execute and record any agreements identified in the Storm Water Control Plan which pertain to the transfer of ownership and/or long-term maintenance of storm water treatment or hydrograph modification BMPs.</p> <p>e. Design Details.</p> <ul style="list-style-type: none"> i. To prevent site or roof drainage from draining across sidewalks and driveways close to the building in a concentrated manner, roof drains shall be piped under/or through the sidewalk/or curb and gutter. ii. Install on all catch basins "No Dumping, Drains to River" decal buttons on the top of curb or paving next to the drainage grate.
--	--

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

<p>f. Hydrology Calculations. Collect and convey all storm water entering, and/or originating from, the site to an adequate downstream drainage facility without diversion of the watershed. Submit hydrologic and hydraulic calculations with the Improvement Plans to Engineering Services for review and approval.</p>	<p>g. Regional Water Quality Control. Prior to issuance of the grading permit, submit proof of filing of a Notice of Intent (NOI) by providing the unique Waste Discharge Identification Number (WID#) issued from the Regional Water Quality Control Board.</p>	<p>h. SWPPP. Submit a copy of the Storm Water Pollution Prevention Plan (SWPPP) for review to the Engineering Department prior to issuance of a building and/or grading permit. The general contractor and all subcontractors and suppliers of materials and equipment shall implement these BMP's. Construction site cleanup and control of construction debris shall also be addressed in this program. Failure to comply with the approved construction BMP may result in the issuance of correction notices, citations, or a project stop work order.</p>	<p>i. BMP. Install appropriate clean water devices at all private storm drain locations immediately prior to entering the public storm drain system. Implement Best Management Practices (BMP's) at all times.</p>	<p>j. Erosion Control. Include erosion control/storm water quality measures in the final grading plan that specifically address measures to prevent soil, dirt, and debris from entering the storm drain system. Such measures may include, but are not limited to, hydro seeding, gravel bags and siltation fences and are subject to review and approval of the City Engineer.</p>
--	---	--	---	---

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

	<p>If no grading plan is required, necessary erosion control/storm water quality measures shall be shown on the site plan submitted for an on-site permit, subject to review and approval of the City Engineer. The developer shall be responsible for ensuring that all contractors and subcontractors are aware of and implement such measures.</p>
k. On-Going Maintenance.	<ul style="list-style-type: none"> i. The developer or owner shall sweep or vacuum the parking lot(s) a minimum of once a month and prevent the accumulation of litter and debris on the site. Corners and hard to reach areas shall be swept manually. ii. If sidewalks are pressure washed, debris shall be trapped and collected to prevent entry into the storm drain system. No cleaning agent may be discharged into the storm drain. If any cleaning agent or degreaser is used, wash water shall be collected and discharged to the sanitary sewer, subject to the approval of the sanitary sewer District. iii. To ensure that the area surrounding the project such as the streets stay free and clear of construction debris such as silt, dirt, dust, and tracked mud coming in from or in any way related to project construction, the areas that are exposed for extended periods shall be watered regularly to reduce wind erosion. Paved areas and access roads shall be swept on a regular basis. All trucks shall be covered. iv. Clean all on-site storm drain facilities a minimum of twice a year, once immediately prior to October 15 and once in January. Additional cleaning may be required if found necessary by City Inspectors and/or City Engineer.

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

	<p>Additional information regarding the project SWCP is necessary and modifications to the SWCP shown on the proposed Vesting Tentative Map may be required in order to comply with C.3 regulations.</p>			
	<p>Fire Standards</p>	<p><u>Regulation Source</u></p>	<p><u>Timing/ Implementation</u></p>	<p><u>Verification(date and Signature)</u></p>
28.	<p>Fire Requirements All requirements of the Contra Costa County Fire Protection District shall be met.</p>	Contra Costa Fire Protection District	On-Going	Contra Costa Fire Protection District
	<p>Building Permit Submittal</p>	<p><u>Regulation Source</u></p>	<p><u>Timing/ Implementation</u></p>	<p><u>Verification(date and Signature)</u></p>
29.	<p>Requirement for One Phase. The project shall be built continuously in one phase. If the project will become a phased project, then the developer shall provide a phasing plan to the Community Development Department.</p>	City of Antioch	At the time of Building Permit Submittal	Community Development Department
30.	<p>Final Landscape Plans. The applicant shall submit landscape plans that identify specific plant materials to be used, including all shrubs and groundcover, providing both common and botanical names, sizes and quantities at the time of building permit submittal. The project shall emphasize local and native species of plants in the final landscape plans.</p>	City of Antioch	At the time of Building Permit Submittal	Building Department
31.	<p>Water Efficient Landscape Ordinance. Landscaping for the project shall be designed to comply with the applicable requirements of City of Antioch Ordinance No. 2162-C-S The State Model Water Efficient Landscape Ordinance (MWELO). The applicant shall demonstrate compliance with the</p>	City of Antioch	At the time of Building Permit Submittal	Community Development Department

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

	applicable requirements of the MWELO in the landscape and irrigation plans submitted to the City.			
32.	Landscaping. Landscaping along the project frontage, parking areas, on all slopes, medians, C.3 basins and open space areas shall be approved by the City Engineer and shall be installed at the applicant's expense.	City of Antioch	At the time of Building Permit Submittal	Public Works Department
33.	Property Drainage. The buildings shall contain rain gutters and downspouts that direct water away from the foundation as approved by the City Engineer. All sidewalks or curb and gutters located close to down spouts shall be piped under or through the sidewalk so not make for concentrated slippery surface hazardous condition.	City of Antioch	At the Time of Building Permit Submittal	Public Works Department
34.	Utility Location on Private Property. All domestic and irrigation water meters, sanitary sewer clean outs for the site (water meters, sewer cleanouts, etc.) shall be located along the street frontage just inside the site property line as approved by the City Engineer. However, sewer cleanouts will be on Vineyard Street on the west ROW with in a dedicated 10' wide PUE and not on the frontage of East 18 th St.	City of Antioch	At the Time of Building Permit Submittal	Public Works Department

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

Grading Improvements	<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification(date and Signature)</u>
35. Requirement for Grading Permit. A grading permit shall be required prior to commencement of any grading operations. The permit shall be obtained for rough and final grading of the site through the City's Building Department subject to review and approval by the City Engineer. The grading plans shall show in detail how the site will be graded and all low spots will have adequate drainage devices installed to drain the site. The submitted plans shall incorporate any modifications required by the Conditions of Approval of the handling the natural drainage from surrounding parcels, rough grading of the site to install all retention and bioretention basins and building pads. Since the constructing the site will require the developer to import over 82,000 cy of soil material, the developer shall provide a traffic handling plan to the City and street sweeping plan for making sure the street route to the project remains clean of soil debris and the developer pays for any damage to city streets directly caused by the excessive truck traffic caused by importing so much fill material to the site over city roadways.	City of Antioch	At the time of Building Permit Submittal	Public Works	
36. Soils. Prior to the approval of the grading plan(s), the City Engineer shall determine if a soils or structural engineer, are required to review the building permit plan set submitted for this project. If deemed necessary by the City Engineer, field inspections by such professionals will be required to verify compliance with the approved plans. Costs for these consulting services shall be incurred by the developer.	City of Antioch	At the time of Building Permit Submittal	Public Works	

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

<p>37.</p> <p>Off-Site Grading. All off-site grading is subject to the coordination and approval of the affected property owners and the City Engineer. The developer shall submit written authorization to "access, enter, and/or grade" adjacent properties prior to issuance of permit and performing any work.</p>	<p>City of Antioch</p>	<p>At the time of Building Permit Submittal</p>	<p>Public Works</p>
<p>38.</p> <p>Grading Easements. Any sale of a portion (or portions) of this project to multiple developers shall include the necessary agreement and/or grading, access and utility easements to assure that project-wide grading conforms to the approved project and conditions of approval for the project.</p>	<p>City of Antioch</p>	<p>At the time of Building Permit Submittal</p>	<p>Public Works</p>

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

At the Time of Building Permit Issuance		<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification(date and Signature)</u>
39B.	Sewer System Requirements. The sewer system for the subject site shall comply with City requirements and to the satisfaction of the City Engineer prior to issuance of building permit. The developer will need to prepare a brief sewer study of the site the documents that existing downstream sewer mains can handle the anticipated flows of the project.	City of Antioch	At the time of Building Permit Issuance	Building Department	
40.	Demolition Permit. Site demolition shall not occur until construction permits are issued for the development project. All demolition shall be in accordance with permits issued by the City and Bay Area Air Quality Management District (BAAQMD).	City of Antioch	At the time of Building Permit Issuance	Community Development Department	
41.	Encroachment Permit. The applicant shall obtain an encroachment permit from the Engineering Division before commencing any construction activities within any public right-of-way or easement.	City of Antioch	At the time of Building Permit Issuance	Community Development Department	

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

At the Time of Construction			
	<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>
			<u>Verification(date and Signature)</u>
42.	Collection of Construction Debris. The developer shall gather all construction debris on a regular basis and place them in a Waste Management dumpster or other container that is emptied or removed on a weekly basis consistent with the Construction and Demolition Debris Ordinance. When appropriate, use tarps on the ground to collect fallen debris or splatters that could contribute to stormwater pollution.	City of Antioch On-Going	Building Department
43.	Construction Hours. Construction activity shall be as outlined in the Antioch Municipal Code. Construction activity is limited to 8:00 AM to 5:00 PM Monday-Friday or as approved in writing by the City Manager. Requests for alternative construction hours shall be submitted in writing to the City Engineer. days/times restricted to the hours of 8:00 a.m. to 6:00 p.m.	City of Antioch On-Going	Building Department/ Public Works Department
44.	Demolition, Debris, Recycling. The project shall be in compliance with and supply all the necessary documentation for Antioch Municipal Code § 6-3.2: Construction and Demolition Debris Recycling.	City of Antioch On-Going	Building Department/ Public Works Department

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

	Filter Materials at Storm Drain Inlet. During construction developer to Install filter materials (such assandbags, filter fabric, etc.) at the storm drain inlet nearest the downstream side of the project site prior to:	City of Antioch	On-Going	Building Department
45.	<ul style="list-style-type: none"> a) start of the rainy season (October 1); b) site dewatering activities; c) street washing activities; d) saw cutting asphalt or concrete; and e) order to retain any debris or dirt flowing into the City storm drain system. <p>Filter materials shall be maintained and/or replaced as necessary to ensure effectiveness and prevent street flooding. Dispose of filter particles in the trash.</p>			
46.	<p>Archeological Remains. In the event subsurface archeological remains are discovered during any construction or preconstruction activities on the site, all land alteration work within 100 feet of the find shall be halted, the Community Development Department notified, and a professional archeologist, certified by the Society of California Archeology and/or the Society of Professional Archeology, shall be notified. Site work in this area shall not occur until the archeologist has had an opportunity to evaluate the significance of the find and to outline appropriate mitigation measures, if deemed necessary. If prehistoric archeological deposits are discovered during development of the site, local Native American organizations shall be consulted and involved in making resource management decisions.</p>	<p>City of Antioch</p>	<p>On-Going</p>	<p>Community Development Department</p>

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

	Erosion Control Measures. The grading operation shall take place at a time, and in a manner, so as not to allow erosion and sedimentation into the public drainage system or publicly maintained surfaces or adjacent properties. The slopes shall be landscaped and reseeded as soon as possible after the grading operation ceases. Erosion measures shall be implemented during all construction phases in accordance with an approved erosion and sedimentation control plan.	City of Antioch	Plans approved Prior to Building Permit, monitored during construction	Public Works
	Dust Control. Standard dust control methods and designs shall be used to stabilize the dust generated by construction activities. The developer shall post dust control signage with a contact number of the developer, City staff, and the air quality control board.	City of Antioch	Prior to Occupancy Permit	Public Works
	Debris Removal. The site shall be kept clean of all debris (boxes, junk, garbage, etc.) at all times. Truck routes of city streets to the site shall be monitored and periodically cleaned of debris so not to cause a burden of cleaning city streets on city maintenance crews.	City of Antioch	During construction	Public Works
	Security / bonding requirements	<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Verification(date and Signature)</u>
47.	Erosion Control Measures. The grading operation shall take place at a time, and in a manner, so as not to allow erosion and sedimentation into the public drainage system or publicly maintained surfaces or adjacent properties. The slopes shall be landscaped and reseeded as soon as possible after the grading operation ceases. Erosion measures shall be implemented during all construction phases in accordance with an approved erosion and sedimentation control plan.	City of Antioch	Prior to Building Permit, monitored during construction	Public Works
48.	Dust Control. Standard dust control methods and designs shall be used to stabilize the dust generated by construction activities. The developer shall post dust control signage with a contact number of the developer, City staff, and the air quality control board.	City of Antioch	Prior to Occupancy Permit	Public Works
49.	Debris Removal. The site shall be kept clean of all debris (boxes, junk, garbage, etc.) at all times. Truck routes of city streets to the site shall be monitored and periodically cleaned of debris so not to cause a burden of cleaning city streets on city maintenance crews.	City of Antioch	During construction	Public Works
50.	Security / bonding requirements. The property owner or developer of the parcel shall include all the required security for public improvements described in Title 9, Chapter 4, Article 5: Final Maps, of the Antioch Municipal Code, including, but not limited to:	City of Antioch	Prior to encroachment Permit	Public Works
	a. Improvement security in one of the following forms:			
	i. Bond or bonds issued by one or more duly authorized corporate securities in an amount equal to 100% of the total estimated costs of the public improvements for faithful			

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

performance, and in an amount equal to 100% of the total estimated costs of the improvements for labor and materials.

ii. A deposit, in an amount equal to 100% of the total estimated costs of the public improvements, either with the city or a responsible escrow agent or trust company, at the option of the City Engineer, of money or negotiable bonds of the kind approved for securing deposits of public moneys, in the amounts and for security as specified above, to be released in the same manner as described above for bonds.

- b. An original, signed subdivision agreement, to be executed by the subdivider or his agent, guaranteeing the completion of the construction of the public improvements required by the governing body within a specified time and payment therefore, satisfactory to the City Attorney as to legality and satisfactory to the City Engineer as to amount.
- c. A letter from the Tax Collector showing that all payable taxes have been paid and a bond for the payment of taxes then a lien but not yet payable, as required by the Subdivision Map Act.
- d. A cash payment, or receipt therefore, of all the fees required for the checking and filing of the maps and the inspections of the construction; payment for the street signs to be furnished and installed by the city, if required by the subdivider; a cash deposit for the payment of such fire hydrant rental fees as may be established by the respective fire districts or water company or district having jurisdiction; and any other applicable fees or deposits.
- e. Deeds for the easements or rights-of-way for road purposes map.

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

<p>f. Written evidence acceptable to the city, in the form of rights of entry or permanent easements across private property outside the subdivision, permitting or granting access to perform the necessary construction work and permitting the maintenance of the facility.</p> <p>g. Agreements acceptable to the city, executed by the owners of existing utility easements within the proposed roads rights-of-way, consenting to the dedication of roads or consenting to the joint use of the rights-of-way as may be required by the city for the purpose use and convenience of the roads.</p> <p>h. A surety bond acceptable to the city, guaranteeing the payment of the taxes and assessments which will be a lien on the property, as set forth in the Subdivision Map Act, when applicable.</p> <p>i. Payment of map maintenance fee.</p> <p>j. Payment of the assessment district apportionment fee, if applicable.</p> <p>k. Evidence of annexation into Police Services Fee CFD</p> <p>l. Evidence of payment of Contra Costa County Flood Control District fees.</p> <p>m. A final soil report, prepared by a civil engineer who is registered by the state, based upon adequate test borings or excavations of every subdivision, as defined in Cal. Gov't Code §§ 66490 and 66491. The final soil report may be waived if the City Engineer shall determine that, due to the knowledge of such department as to the soil qualities of the subdivision, no preliminary analysis is necessary.</p>

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

51.	Dedication of PUE along 18th street frontage. Developer shall dedicate to the City of Antioch a 10 feet wide public utilities easement along the frontage of 18 th street for the undergrounding of the existing overhead PG&E and telephone and internet utilities.	Prior to Occupancy Permit	Public Works	
52.	Future street right of way to remain. The future 34' wide public right of way (95-047529 OR) dedicated within this project shall remain in its natural grade and state. Any needed grading transition from this existing grade and site grade shall be made within the project site and outside of this existing future right of way. All construction material and equipment shall be removed from this area prior to building occupancy.	City of Antioch	At the time of building occupancy	Public Works
53.	Required Easements. All required access and utility easements over existing and underground public utilities, sidewalks and other installed public improvements shall be granted by the developer at no cost to the City prior to occupancy. Developer shall also grant access for utility companies to remove overhead utilities and underground them. The developer shall also dedicate 10' wide public utility easements over utility lines that are placed underground.	City of Antioch	Prior to occupancy permit	Public Works

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

Prior to Issuance of Occupancy Permit		<u>Regulation Source</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>	<u>Verification(date and Signature)</u>
54.	Planning Inspection. Planning staff shall conduct a site visit to review exterior building elevations for architectural consistency with the approved plans and landscape installation (if required). All exterior finishing details including window trim, paint, gutters, downspouts, decking, guardrails, and driveway installation shall be in place prior to scheduling the final inspection.	City of Antioch	Prior to Occupancy Permit	Planning Department	
55.	Debris Removal. All mud, dirt or construction debris carried off the construction site and shall be removed prior to scheduling the final Planning inspection. No materials shall be discharged onto a sidewalk, street, gutter, storm drain or creek.	City of Antioch	Prior to Occupancy Permit	Building Department	
56.	Fire Prevention. A final Fire inspection shall occur to inspect all fire prevention systems constructed as part of the project. Inspections shall occur prior to final occupancy permit issuance.		Prior to Occupancy Permit	Fire Department	
57.	Damage to Street Improvements. Any damaged existing street improvements along the project frontage before and during construction on or adjacent to the project property, shall be repaired or replaced to the satisfaction of the City Engineer at the full expense of the Developer. This shall include any broken sidewalk, curb and gutter, landscaping, street pavement, street pavement or other existing frontage improvements, as may be required by the City Engineer, shall be improved to city standards. At driveway entrances the pavement conforms shall be designed and constructed to match existing grade and transition as smooth as possible at 1% minimum grade.	City of Antioch	Prior to Occupancy Permit	Public Works	

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

Condition	Description
58. Right-of-Way Construction Standards. All improvements within the public right-of-way, including curb, gutter, sidewalks, driveways, paving and utilities, shall be constructed in accordance with approved standards and/or plans and shall comply with the standard plans and specification of the City Engineer.	City of Antioch Prior to Occupancy Permit Public Works
59 Installation of new traffic Signal at Vineyard and 18th Street intersection. The developer shall install a new traffic signal at the existing street intersection of Vineyard and 18 th street and improve the intersection to current standards. This means the developer shall install traffic signal controller, conduits, wiring, ped crossings, and the necessary drainage devices, and other traffic signal boxes and signage to current City standards as approved by the City Engineer. Vehicle and bike Detector loops shall be installed in all legs of the intersection, and detector cables and wiring added to the intersection and the traffic controller reprogrammed to function as a 4-way intersection. Cross walks and stop bars shall also be added to the intersection. If required the existing median curb may need to be pulled back and reconfigured to allow for additional cross walks and ADA ramps reconstructed to City standards.	City of Antioch Prior to Occupancy Permit Public Works

The costs of the traffic signal can be shared amongst other developing properties on Vineyard or 18th street on other benefitting properties in the area of this traffic signal installation. If the developer wants to receive reimbursement for part of the cost of installation, he can prepare a benefit district engineers report recommending a formation of a benefit district on all vacant properties on Vineyard Street and other developing properties in the vicinity of the traffic signal on 18th street. This benefit district will spread the costs of the signal on these other developing parcels and recommend a fair share basis of payment for the traffic signal. City shall process the formation of the benefit district with City Council and record a fair share cost distribution to other vacant properties to ensure that the

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

	Developer is able to receive reimbursement of the traffic signal as future development occurs within the next 10 years.			
60	Removal of existing wells. The developer shall remove and abandon all existing irrigation wells found on the property in accordance with County of Contra Costa well abandonment standards. This includes the removal of the pumps, pipes, concrete structures, and all existing equipment used to operate the wells and former irrigation system.	City of Antioch	Prior to building permit	Public Works
61.	Idle Free Signage. Consistent with the City's adopted 2010 Climate Action Plan, the applicant shall install at least one "idle free" sign encouraging drivers to refrain from idling in their vehicle, reducing air pollution and greenhouse gas emissions. The sign shall be placed in an area with high visibility where drivers are queued to access the drive through or pick up area. The sign location shall be shown on the construction plans at the time of building permit submittal for review and approval by Planning staff. The sign shall be 12"x 18" and satisfy City requirements for no parking signage, traffic sign mounting, and signage in the right of way. The applicant shall use the Idle Free Bay Area website https://idlefreebayarea.org/resources/ as a resource to view a sample bilingual Idle Free sign. The applicant may use this template when designing and printing signage.	City of Antioch	Prior to Occupancy Permit	Planning Division
	Special Conditions			
62	Bicycle Parking Spaces. The developer shall install a total 28 bicycle parking spaces for site which means that bike racks shall be installed near the entrance of each office area located in the four corners of the building. One stall shall be designated for long	City of Antioch	Prior to Occupancy Permit	Public Works

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

	term parking in accordance with City parking standards.			
63	ADA parking spaces. The developer shall install 10 ADA parking spaces that include 4 van spaces in accordance with the latest ADA standards.	City of Antioch	Prior to Occupancy Permit	Public Works
64	Parking. The developer shall install a minimum of 398 passenger car parking spaces, (including 337 standard 9'x20', 51 EV spaces, and 10 ADA spaces.).	City of Antioch	Prior to Occupancy Permit	Public Works
65	Vehicles are not allowed to stack or queue outside the private property onto public ROW. If vehicle staking in public ROW occurs on a regular bases, the developer will propose several alternative improvements solutions to the city to mitigate the problem. The Director of Public works will then approve one of the solutions to be implemented by the developer at no cost to the City.	City of Antioch	Prior to Occupancy Permit	Public Works
66	Demolition of existing building. The existing building shall be inspected for asbestos or any other harmful chemicals and removed prior to demolition and grading of the site.	City of Antioch	Prior to Grading Permit	Public Works
67	Install commercial driveway Entrances: The developer shall construct two 30' wide or larger commercial driveways entrances off of E 18 th street and one driveway off of Vineyard Street to the site in accordance with City Standards. This includes the installation of new curb returns, curb, gutter and sidewalks, new ADA ramps, concrete valley gutter, concrete apron and signage and striping, crosswalk in accordance with City standards and specifications. Due to the relocation of sidewalks, both of these driveways on 18 th street, the developer shall dedicate a 10 wide public access over the sidewalk and crosswalk across the driveway entrance that encumbers into the project parcel.	City of Antioch	Prior to Occupancy Permit	Public Works

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

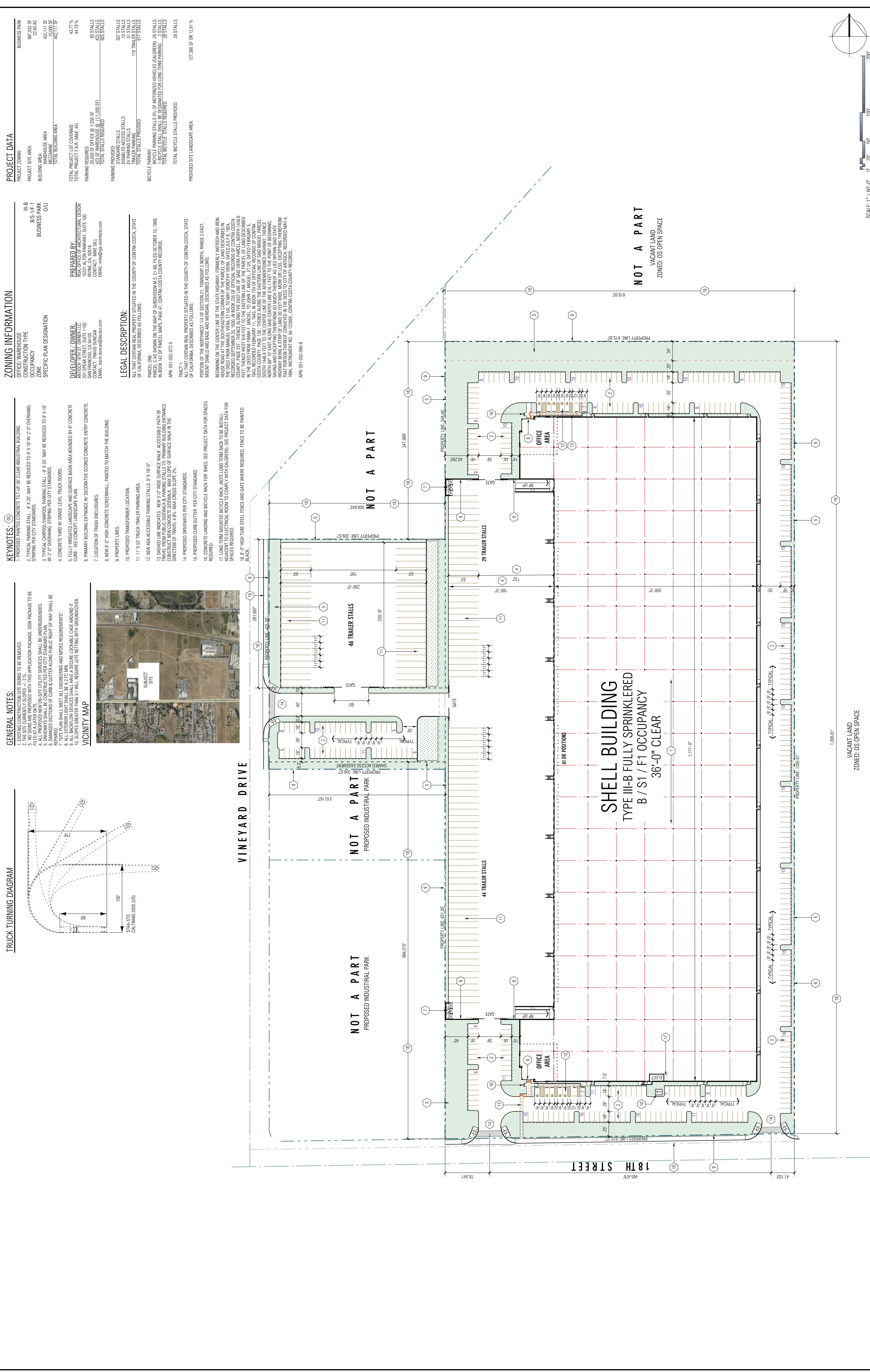
Condition Number	Description of Condition	City of Antioch	Prior to Occupancy Permit	Public Works	
68	Frontage Landscaping. The developer shall install landscaping along the project frontage of E. 18 th street and Vineyard Drive right of ways with a separate irrigation meter to be dedicated to the city for maintenance in accordance with city landscaping requirements.	City of Antioch	Prior to Occupancy Permit	Public Works	
69	Strip out one or two parking stalls for vehicle 3 point turn around. The approved site plan shows two dead-end parking aisles within the parking areas of the project. Because all parking spaces would not be assigned and nor controlled, the last parking space at the end of a long parking isle would typically be left vacant (striped out) to assist vehicles in maneuvering a three point turn around at the end of parking isle to turn around. The dead end on the parking lot can be removed by installing a median opening through the landscape median to an adjacent driveway. The vehicle opening turnaround shall be installed the plan shows one dead-end parking aisle at the north end within the trailer parking lot located on the north side of the drive aisle leading to the Vineyard Drive driveway. Because the parking spaces would be not assigned, the two spaces at the end would typically be vacant to assist in maneuvering, on-site circulation would be adequate." The two spaces referred here should not be parking spaces and used solely to assist in maneuvering.	City of Antioch	Prior to Occupancy Permit	Public Works	

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

	<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification(date and Signature)</u>
70	Outdoor lighting standard. Outdoor parking area lighting fixture heights shall be maximum of 30' and by their relationship to surrounding uses, and lighting shall not shine directly onto an adjacent street or property. Minimum illumination at ground level shall be two foot-candles but shall not exceed one-half foot-candles in a residential district. Minimum foot candles is 2.0. Additional electrolliers required or City variance required.	City of Antioch	Prior to Occupancy Permit	Public Works
71	Trash areas covered and drain to Sewer connection. All trash areas with trash receptables shall be covered and drain to the site sanitary sewer line in accordance with the City ordinance. The trash area shall be enclosed by masonry wall and heavy-duty sheet metal gates. The width of the trash enclosure along the grate shall have reinforced 8" concrete slab and at least 15' wide to support the trash truck that loads the trash onto the truck.	City of Antioch	Prior to Occupancy Permit	Public Works
72	Clear Vision Zones at driveway entrances. The developer shall comply with clear vision zones with AMC 9-5.1101 that are minimum of 250 feet long at each 30 feet curb returns of all driveway entrances to the site from public streets. All trees shown on the landscape plans shall be clear of these vision zones for adequate sight distance.	City of Antioch	Prior to Occupancy Permit	Public Works
73	Site Improvements. The developer shall install all site improvements, landscaping and civil improvements shown on the November 2022 plans submittal package by RJA Architectural Design (dated 11/02/22), BKF Engineers (dated 11/3/22) and Enviros Landscape Architecture (dated 11/1/22) to the satisfaction of the City engineer. Any deviations from these plans shall be reviewed and approved by City Engineer. All	City of Antioch	Prior to Occupancy Permit	Public Works

EXHIBIT A: CONDITIONS OF APPROVAL for DECA West

	significant site changes may need reapproval my City planning commission as determined by Director of Community Development.		
74	Project Signage Project signage shall be subject to administrative design review approval. All signage shall be consistent with Citywide Design Guidelines for signage and the Antioch Municipal Code.	City of Antioch	Planning Division



RGA PROJECT NO.	21140400
CAD FILE NAME:	2114-0404-WA1-1P
DRAWN BY:	MG
CHK BY:	CS
COPYRIGHT: RGA OFFICE OF ARCHITECTURAL DESIGN	
SHEET TITLE:	CITY APPLICATION NO. PD-22-02-UP-22-04-AK22-04
MARK	6/29/22
DATE	CONCEPTUAL SITE PLAN

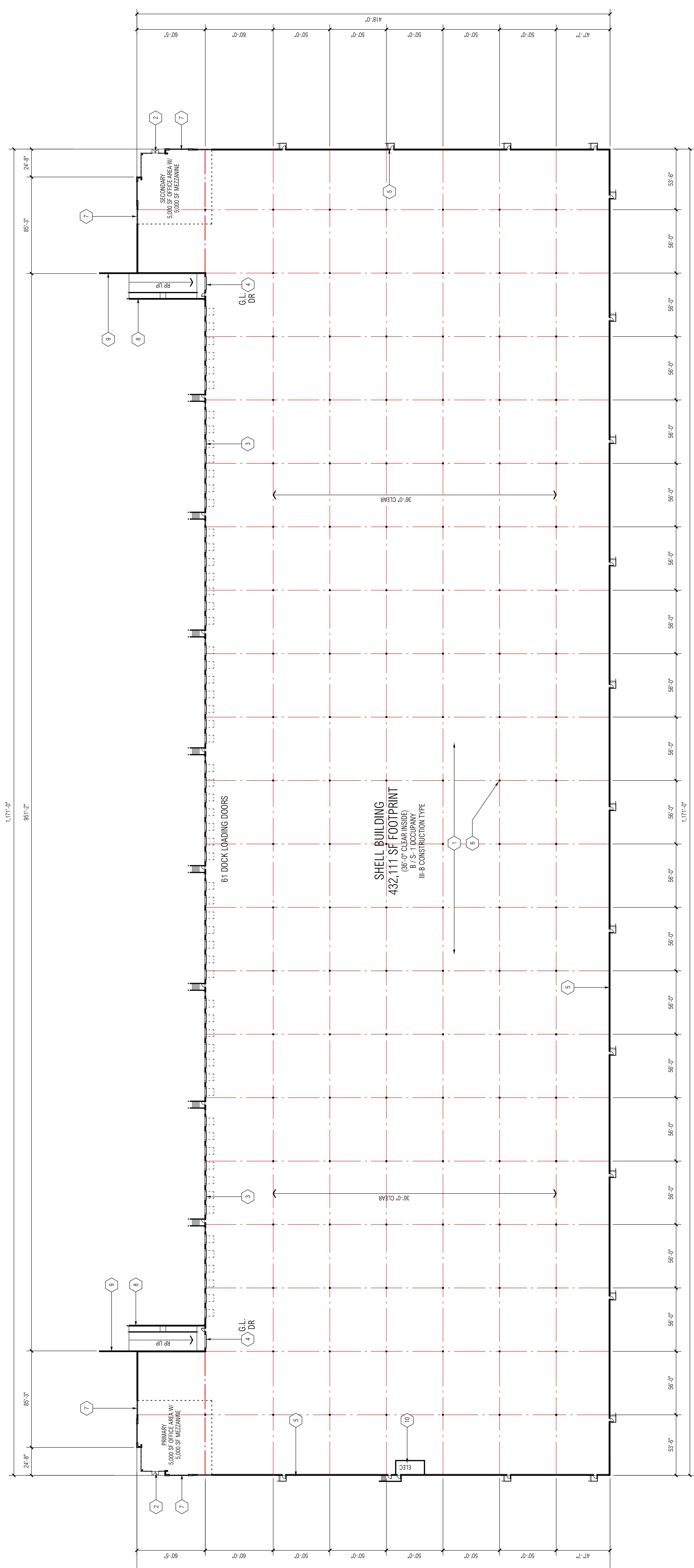
WA 1-1P

18TH STREET DEVELOPMENT
0000 18TH STREET, CITY OF ANTIOCH
SITE PLAN - WEST BUILDING

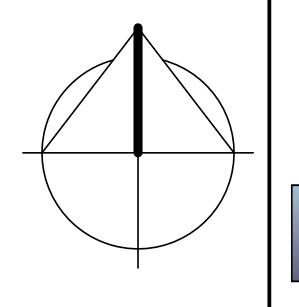
RGA
Office of Architectural Design
15231 Alton Parkway, Suite 100
Irvine, CA 92618
714-341-0920
FAX 714-341-0922

KEYNOTES (W)

1. PROPOSED CONCRETE TILT-UP WAREHOUSE/OFFICE MANUFACTURING FACILITY. PRODUCT IS CURRENTLY BEING PROPOSED AS A SPECULATIVE BUILDING WITH NO TENANT.
2. PRIMARY ENTRANCE.
3. PAINTED 9'-0" X 10' DOCK HIGH-METAL TRUCK DOORS.
4. PAINTED 2' X 14' GRADE-LEVEL METAL TRUCK DOORS.
5. PAINTED 3' X 7' METAL ACCESS VAN DOORS.
6. STRUCTURAL BUILDING COLUMN.
7. STREIGHT, BILGE GLAZING SET IN CLEAR ANODIZED ALUMINUM 2' X 4' MIN. OFF-SET GLAZING SYSTEM. GLAZING PROPOSED WILL BE VISION AND SPANDREL.
8. GRADE LEVEL ACCESS RAMP.
9. TRUCKING SCREEN WALL. SEE ELEVATIONS FOR ADDITIONAL INFO.
10. PROPOSED ELECTRICAL/TELEPHONE ROOM LOCATION.



FLOOR PLAN - WEST
SCALE: 1=40'-0"



C 20' 50' 100' 200'

RGA

Office of Architectural Design
15231 Alton Parkway, Suite 100
Irvine, CA 92618
T 949-341-0920
F 949-341-0922

ROA PROJECT NO:	21140400
CAO FILE NAME:	2114-06-WA2-1P
DRAWN BY:	MG
CHKD BY:	CS
COPYRIGHT: RGA, OFFICE OF ARCHITECTURAL DESIGN	
SHEET TITLE:	07 APPLICATION NO. PD-22-02 UP-22-04 AR-22-04
MARK	6/29/22
DATE	CONCEPTUAL SITE PLAN
DESCRIPTION	

BUILDING FLOOR PLAN - WEST

0000 18TH STREET, CITY OF ANTIOCH

WA2-1P

deco

D2

RGA PROJECT NO: 21140400
 CAD FILE NAME: 2114-06-WA2-2P
 DRAWN BY: MG
 CHECKED BY: CS
 COPYRIGHT: RGA OFFICE OF ARCHITECTURAL DESIGN
 SHEET TITLE: CITY APPLICATION NO. PD-22-02 UP-22-04 AR-22-04
 D3

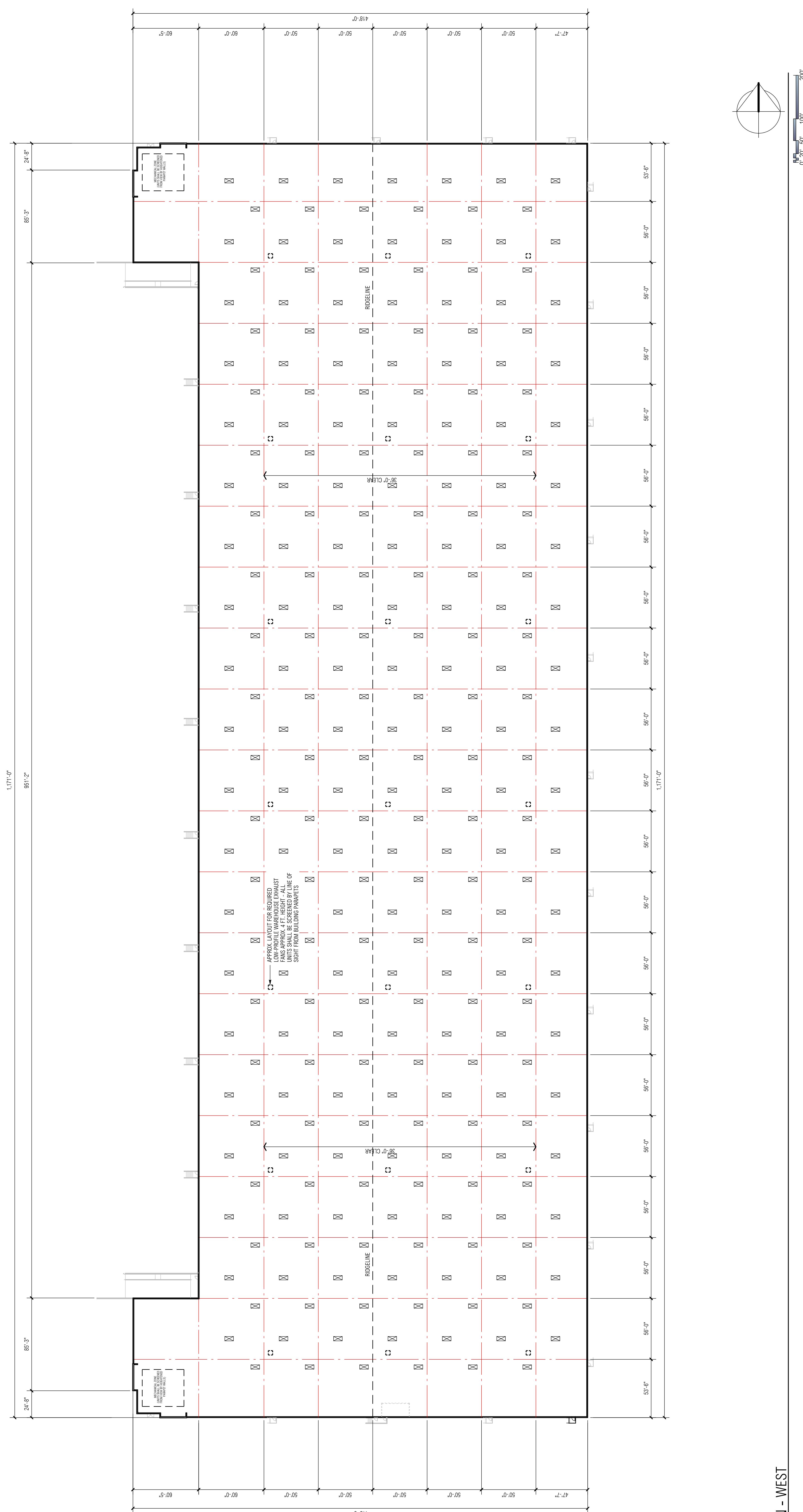
WA2-2P

RGA
 Office of Architectural Design
 15231 Alton Parkway, Suite 100
 Irvine, CA 92618
 T 949-341-0920
 F 949-341-0922

BUILDING ROOF PLAN - WEST

18TH STREET DEVELOPMENT

SCALE: 1=40'-0"
 ROOF PLAN - WEST



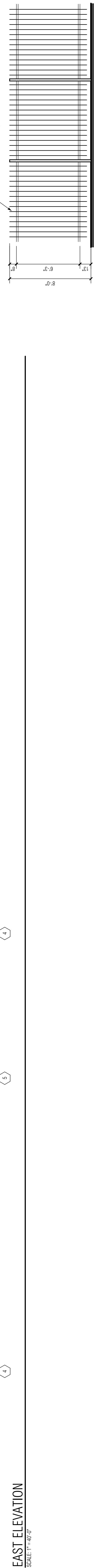
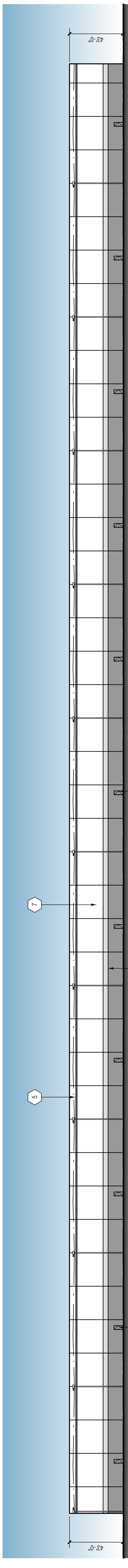
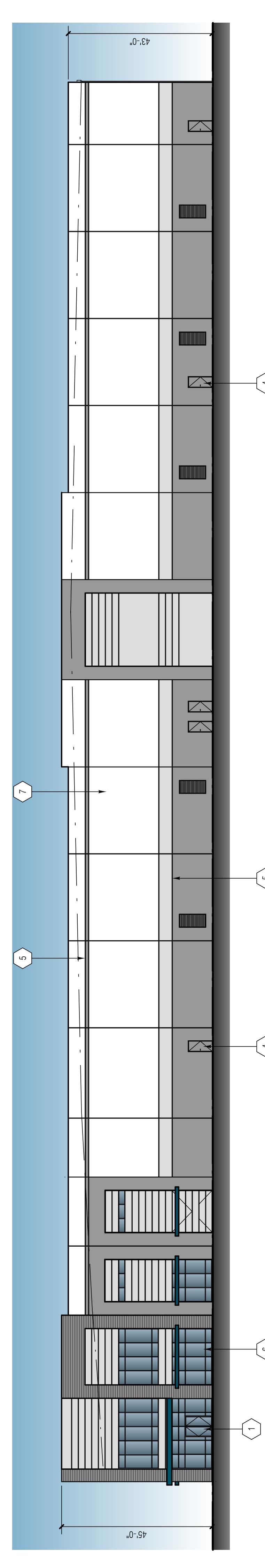
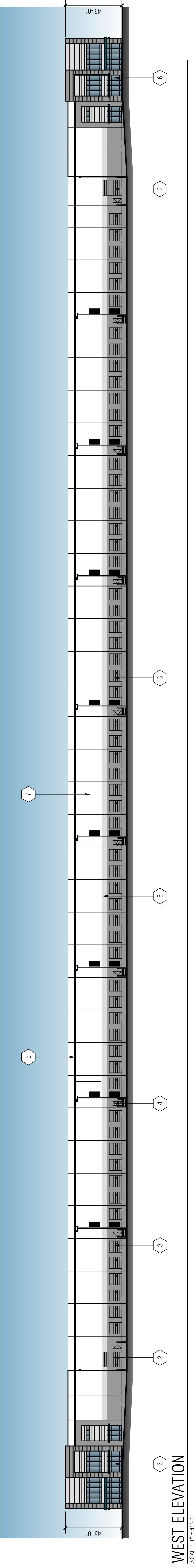
15231 Alton Parkway, Suite 100
 Irvine, CA 92618
 T 949-341-0920
 F 949-341-0922

KEYNOTES

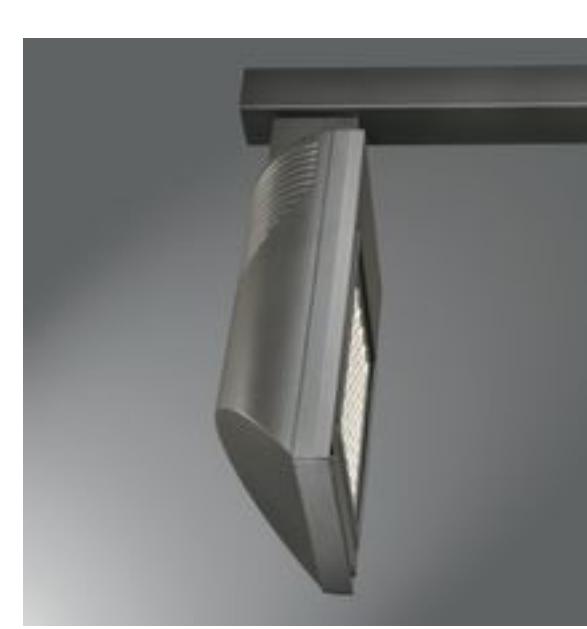
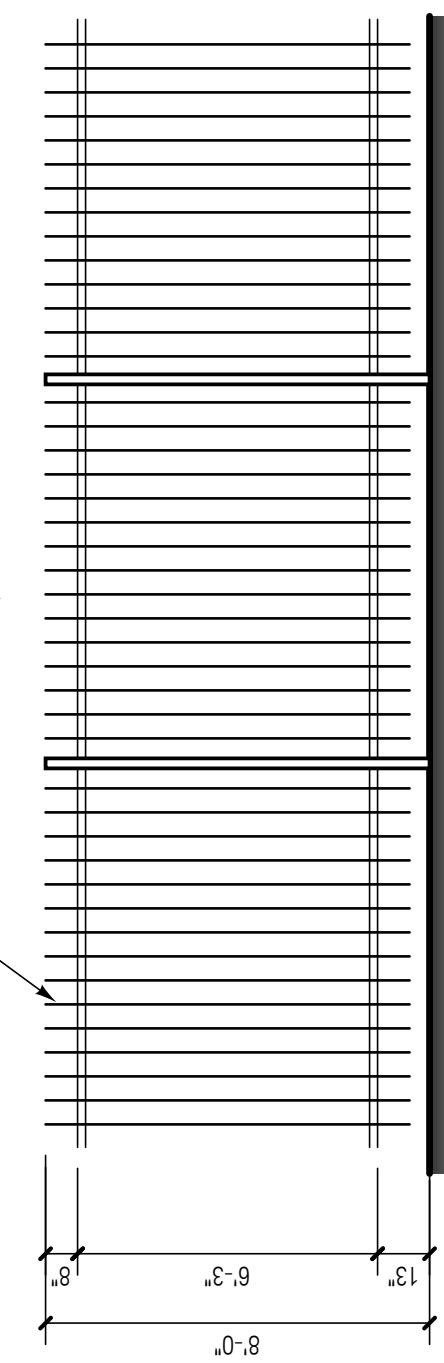
1. PRIMARY ENTRANCE
2. PAINTED 2' WIDE X 15' HIGH VERTICAL LIFT TRUCK DOOR.
3. PAINTED 9' WIDE X 10' HIGH VERTICAL LIFT TRUCK DOOR.
4. 3' X 7' PAINTED METAL MAN DOOR.
5. 2' WIDE X 24" DEEP HORIZONTAL VERTICAL REVEAL.
6. REFLECTIVE GLASS IN STOREFRONT FRAME SYSTEM.
7. PAINTED CONCRETE LIFT-UP EXTERIOR WALL CONSTRUCTION.
8. PROPOSED FUTURE TRANSPORT STORAGE LOCATION.

FINISH SCHEDULE

1. FIELD COLOR PPR1006-GYPSUM	2. LIGHT ACCENT COLOR PPR1012-ELEMENTAL
3. LIGHT ACCENT COLOR PPR1015-STRAZER	4. DARK ACCENT COLOR PPR1014-UFO
5. TRELLISES: PNC400 "SILVER MIST", SATIN OR CLEAR ANODIZED ALUMINUM	6. BASE RAIL COLOR BRANCHOL 3275D
7. GLASS: PRIMARY WINDOW PPR SOLARCOOL PACIFIC	

**TYPICAL TUBE STEEL FENCE ELEVATION**

SCALE: 1'4" = 1'-0"


**SIMILAR SITE LIGHTING STYLE**

SCALE: N.S.

RGAOffice of Architectural Design
15231 Alton Parkway, Suite 1100
Irvine, CA 92618
714-341-0920
FAX 714-341-0922**18TH STREET DEVELOPMENT****0000 18TH STREET, CITY OF ANTIOCH****EXTERIOR ELEVATIONS - WEST**

ROA PROJECT NO: 21140400	21140400-WA2-1P
CAD FILE NAME: MG	
DRAWN BY: CRD BY:	
Copyright: RGA, Office of Architectural Design	
Sheet Title: City Application No. PD-22-02, UP-22-04, AR-22-04	

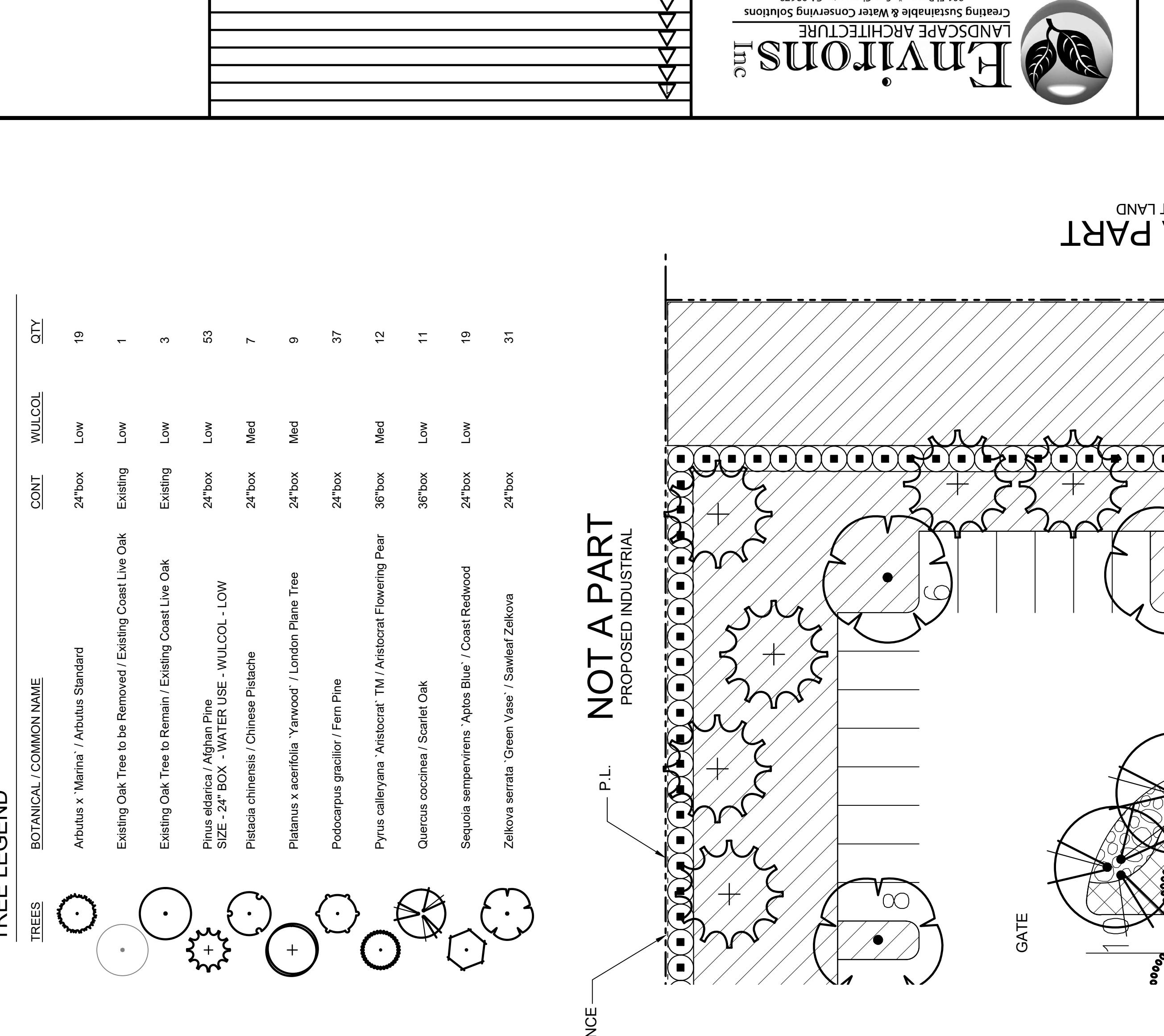
WA3-1P**deco**



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
	Welded Fabric / Low Water Use - 1 Gal / 5 Gal.
	6'-12' River Rock Cobble Over Weed Barrier
NOTES	<p>1. ALL TREES WITHIN 6' OF HEDGES SHALL BE IN A SHAWNTOWN LINEAR WRAP AROUND NOT ALLOWED</p> <p>2. NO CONTRACTORS MAY CALL A SOD ROLL A REFERENCE ONLY</p> <p>CONTRACTORS RESPONSIBLE FOR THE QUALITY & WEIGHTS OF THE MATERIALS SUPPLIED</p> <p>DETERMINING COST AND DELIVERY OF MATERIALS TO SITE</p> <p>SHREDDED MULCH NOTE</p> <p>ALL PLANT AREAS TO RECEIVE A 3" LAYER OF SHREDDED COVER MULCH AVAILABLE FROM EARTHWORKS (851) 782-4500</p>

TREE LEGEND



WELDED FABRIC

LOW WATER USE

6'-12' RIVER ROCK COBBLE OVER WEED BARRIER

NOT ALLOWED

REFERENCE ONLY

SHREDDED MULCH

ALL PLANT

AREAS TO RECEIVE A

3" LAYER

OF SHREDDED

COVER

MULCH

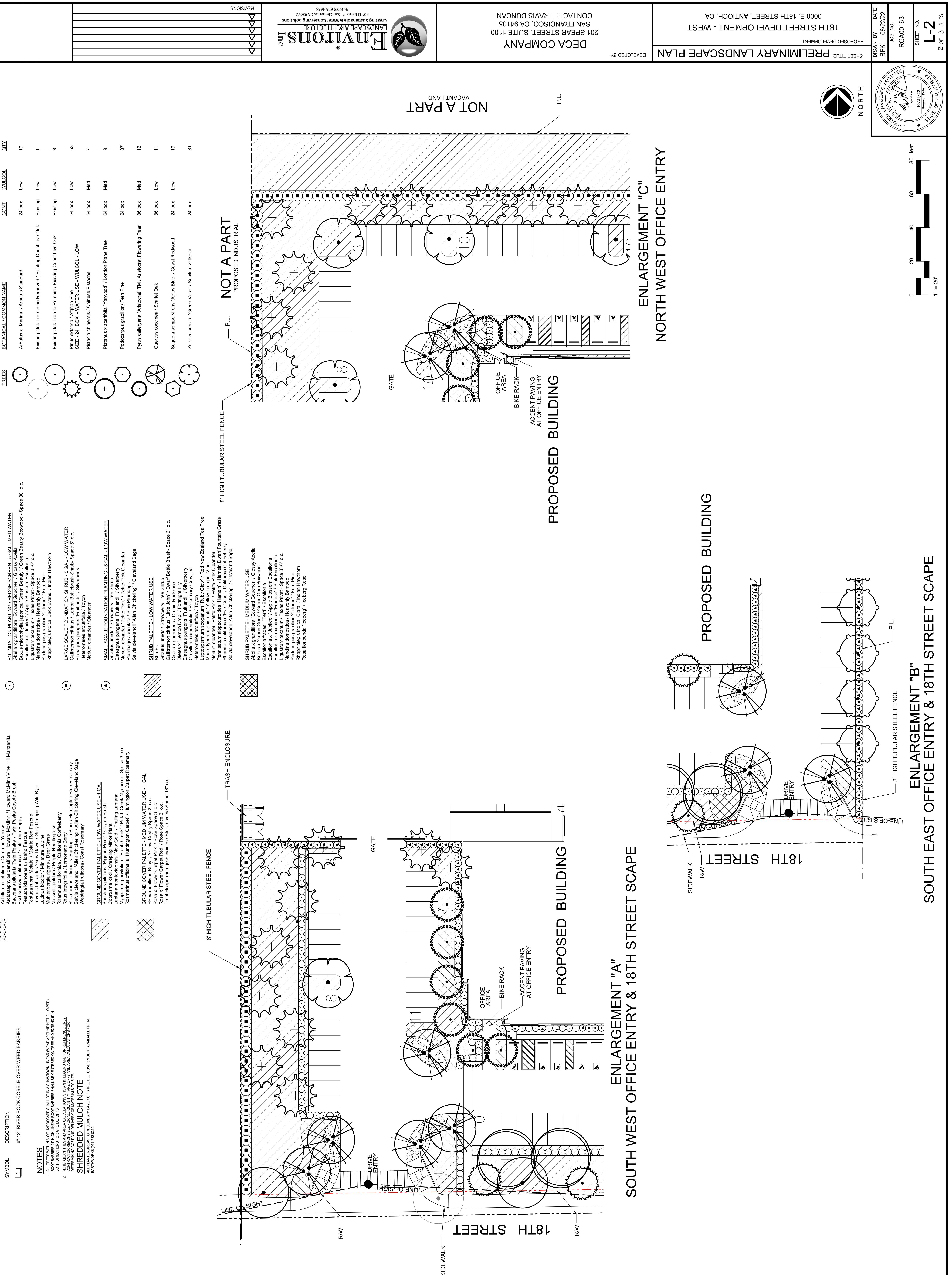
AVAILABLE FROM

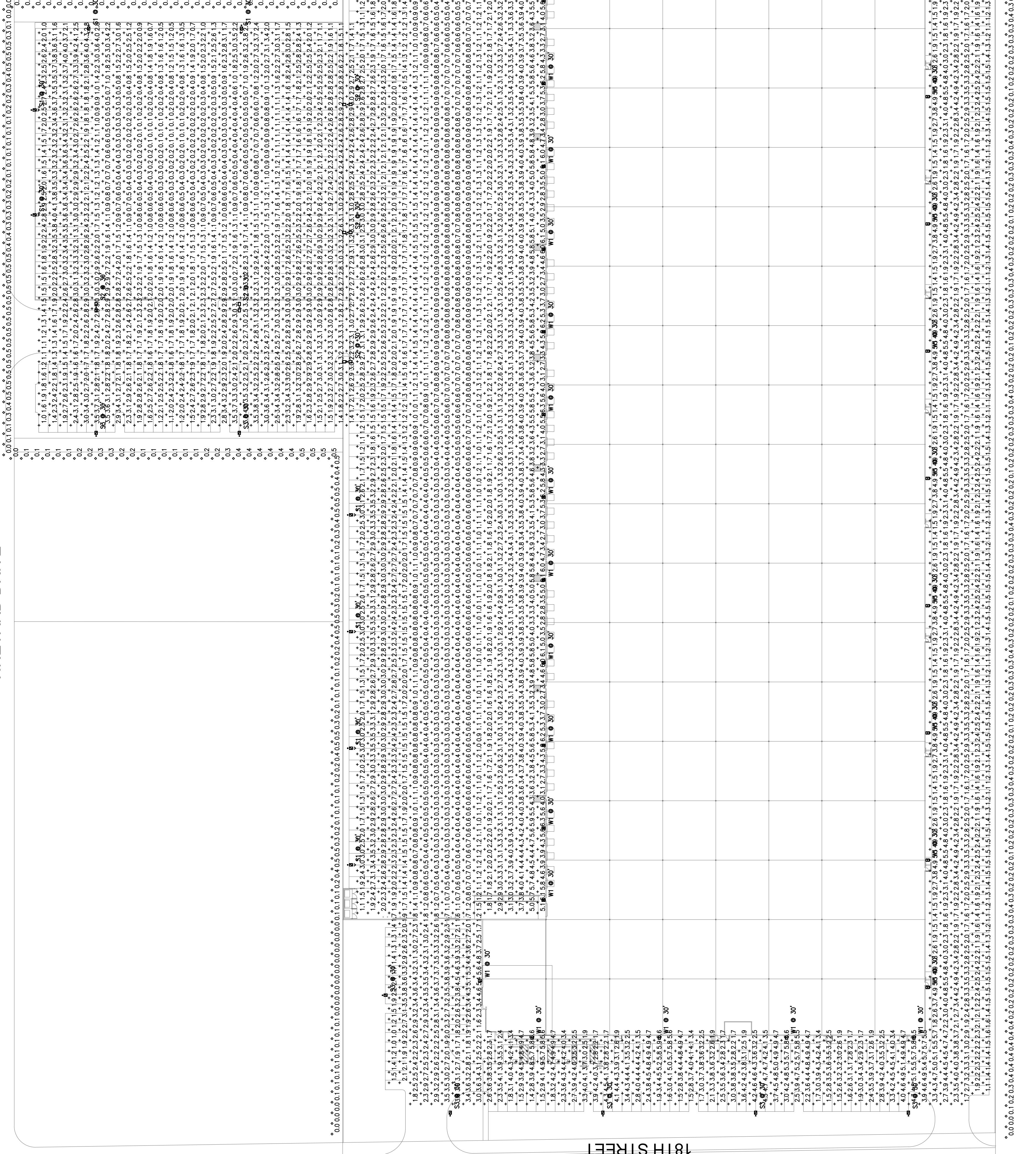
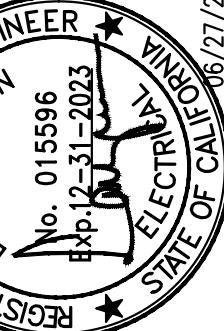
EARTHWORKS (851) 782-4500

CONCEPT PLANT SCHEDULE

	Welded Fabric / Low Water Use - 1 GAL / 5 GAL
	6'-12' River Rock Cobble Over Weed Barrier
	NOT ALLOWED
	REFERENCE ONLY
	SHREDDED MULCH
	ALL PLANT
	AREAS TO RECEIVE A
	3" LAYER
	OF SHREDDED
	COVER
	MULCH
	AVAILABLE FROM
	EARTHWORKS (851) 782-4500

NOTES SCHEDULE





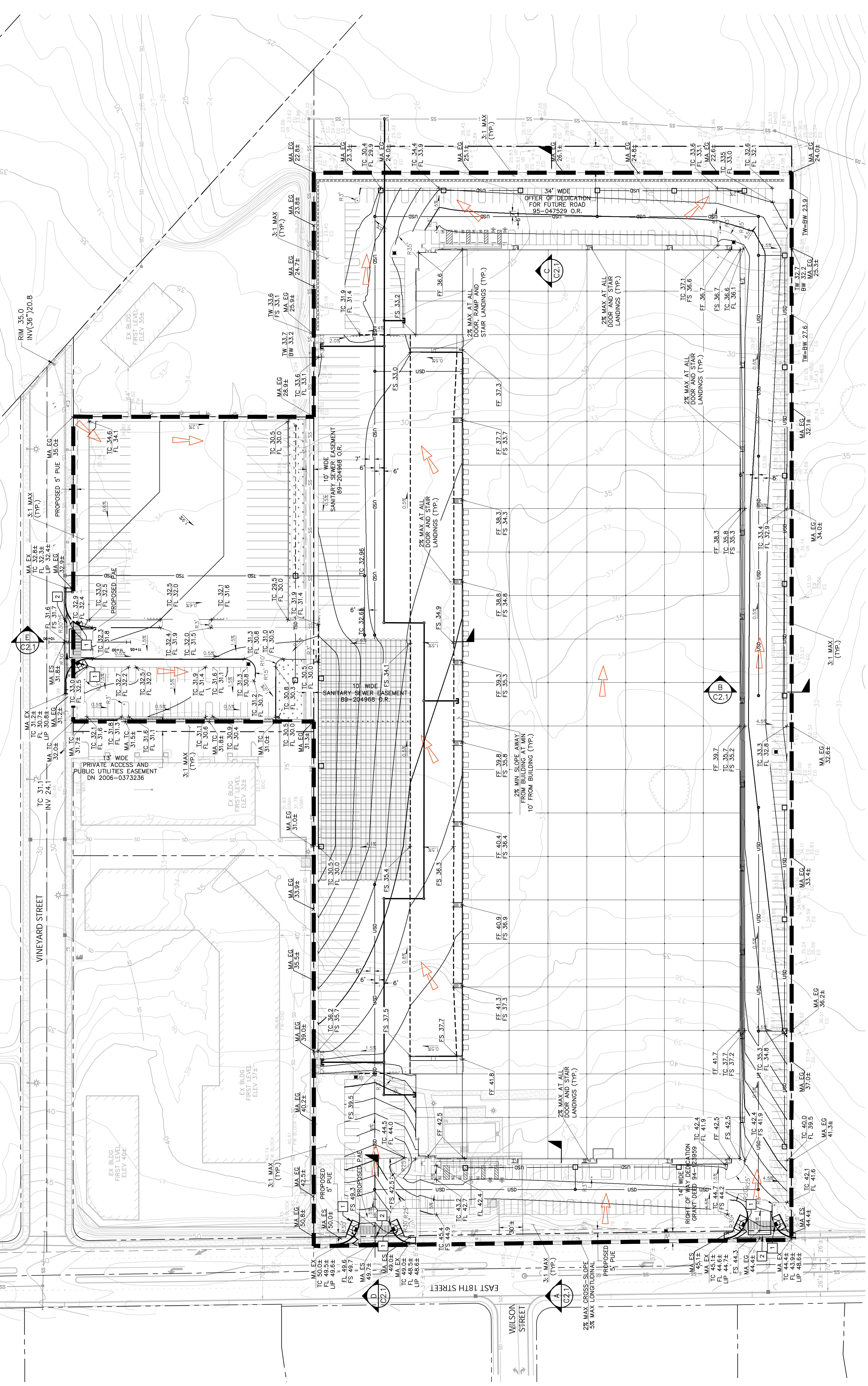
ELECTRICAL SITE PHOTOMETRIC PLAN

1

SCALE: 1"-50'-0"

Symbol	Statistics	Description	Catalog Number	Description	Lumens	Lumen Factor	Wattage
	Environ. Area	Enviro. Area	R502 LED P4 40W R4S	R502 Xtra Future Size 2 Pl Lumens Package 40W CCT Type R4S Distribution	183,010 G3	1.51	187
	Spill Area	Spill Area	R502 LED P4 40W R5S	R502 Xtra Future Size 2 Pl Lumens Package 40W CCT Type R5S Distribution	183,110 G3	1.51	187
	Total Area	Total Area	R502 LED P4 40W R3S	R502 Xtra Future Size 2 Pl Lumens 26W - 47kNans Package 40W CCT Type R3S Distribution with S3 needed	181,110 G3	1.51	187
			R502 LED P4 40W R5	R502 Xtra Future Size 2 Pl Lumens 26W - 47kNans Package 40W CCT Type R5 Distribution with S5 needed	181,110 G3	1.51	187
			R502 LED P4 40W R5	R502 Xtra Future Size 2 Pl Lumens 26W - 47kNans Package 40W CCT Type R5 Distribution with S5 needed	181,110 G3	1.51	187

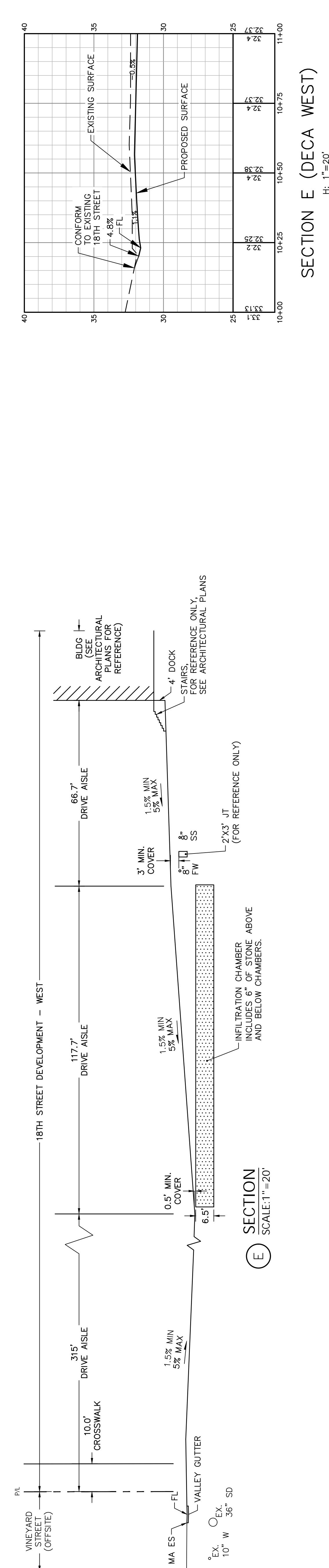
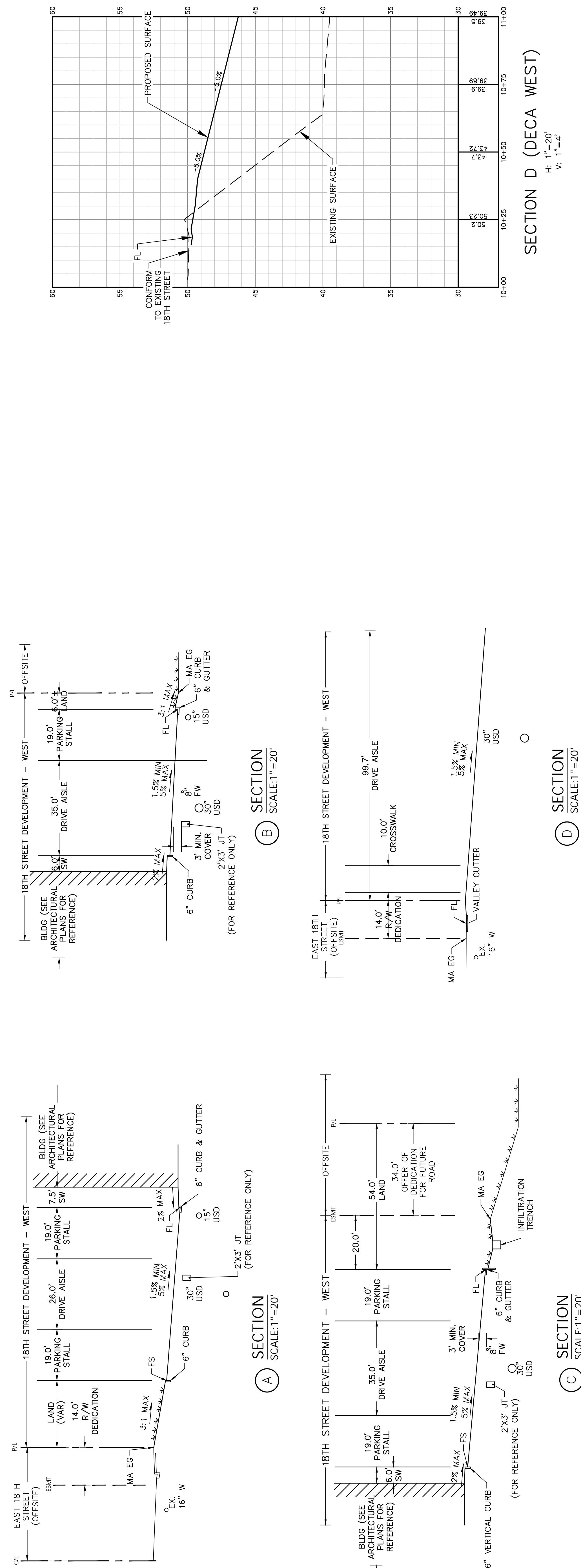
Job No.: 202125
Drawing A2
Sheet No.: 06/30/2022
Scale: 1" = 50'-0"
Drawing Number: C20
Page: 2 of 6



PROPERTY LINE	— — —
EASEMENT	— — —
CENTER LINE	— — —
US	— — —
TS	— — —
LIMIT OF WORK	— — —
GRADE BREAK	X-X
FLOW ARROW	→
STORM DRAIN MANHOLE	○
STORM DRAIN CATCH BASIN	□
DRAINAGE BUBBLER	○

NOTES**KEYNOTES**

1. CURB RAMP PER CITY OF ANTIOCH CONSTRUCTION DETAIL ST-12
2. VALLEY GUTTER PER CITY OF ANTIOCH CONSTRUCTION DETAIL ST-08
3. THE EARTHWORK QUANTITIES REPRESENTS EARTHWORK FROM EXISTING GRADE TO PROPOSED GRADE.
- CUT: 14,000 CY
FILL: 96,000 CY
IMPORT: \$2,000 CY
- ASSUMPTIONS:
1. ESTIMATE IS APPROXIMATE AND ARE BASED ON AERIAL TOPOGRAPHY, SUPPLEMENTAL SURVEY, AND AVAILABLE RECORD INFORMATION.
2. THE EARTHWORK QUANTITIES REPRESENTS EARTHWORK FROM EXISTING GRADE TO PROPOSED GRADE.



DECA

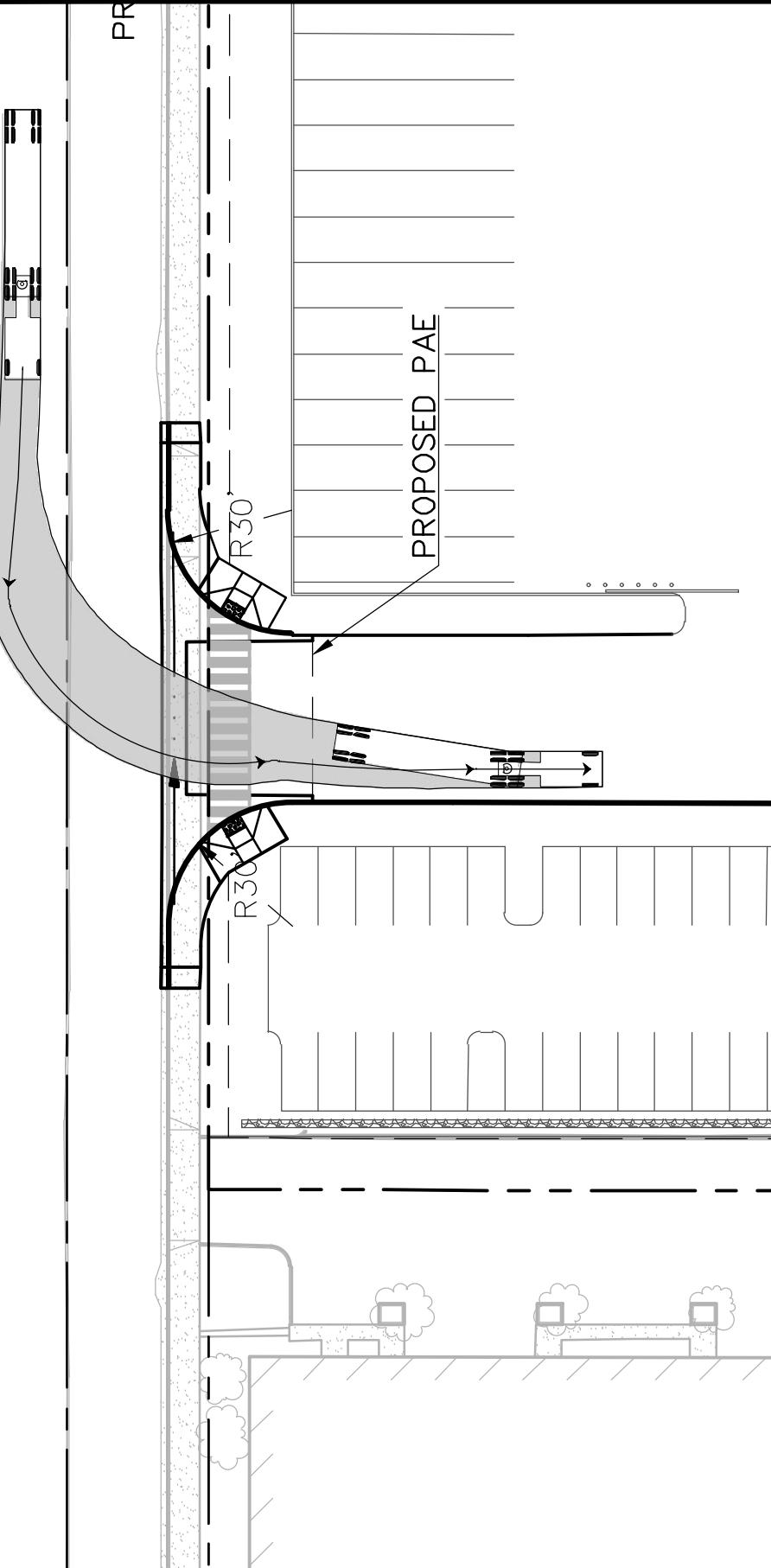
BKF

BKF ENGINEERS
1636 N CALIFORNIA BLVD
MILITARY CREEK, CA 94596
TEL: 415-464-2200
FAX: 415-464-2201
WWW.BKF.COM

TRUCK TURNS

18TH STREET DEVELOPMENT - WEST
APN 051-052-068 & 051-052-072 PERMIT# PD-22-02, UP-22-04, AR-22-04
ANTIOCH, CA

VINEYARD STREET



LEFT TURN ENTRANCE

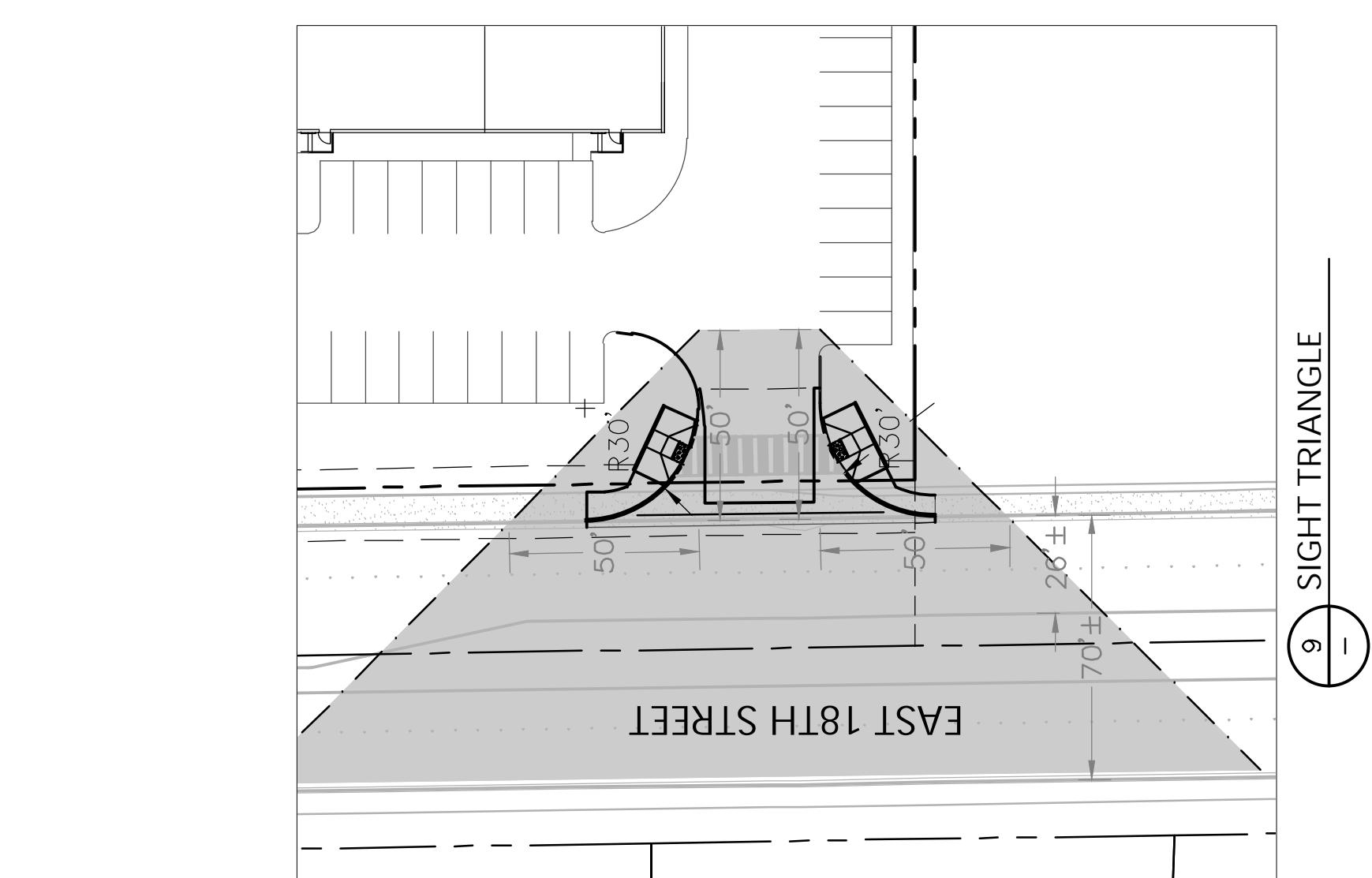
RIGHT TURN EXIT

LEFT TURN EXIT

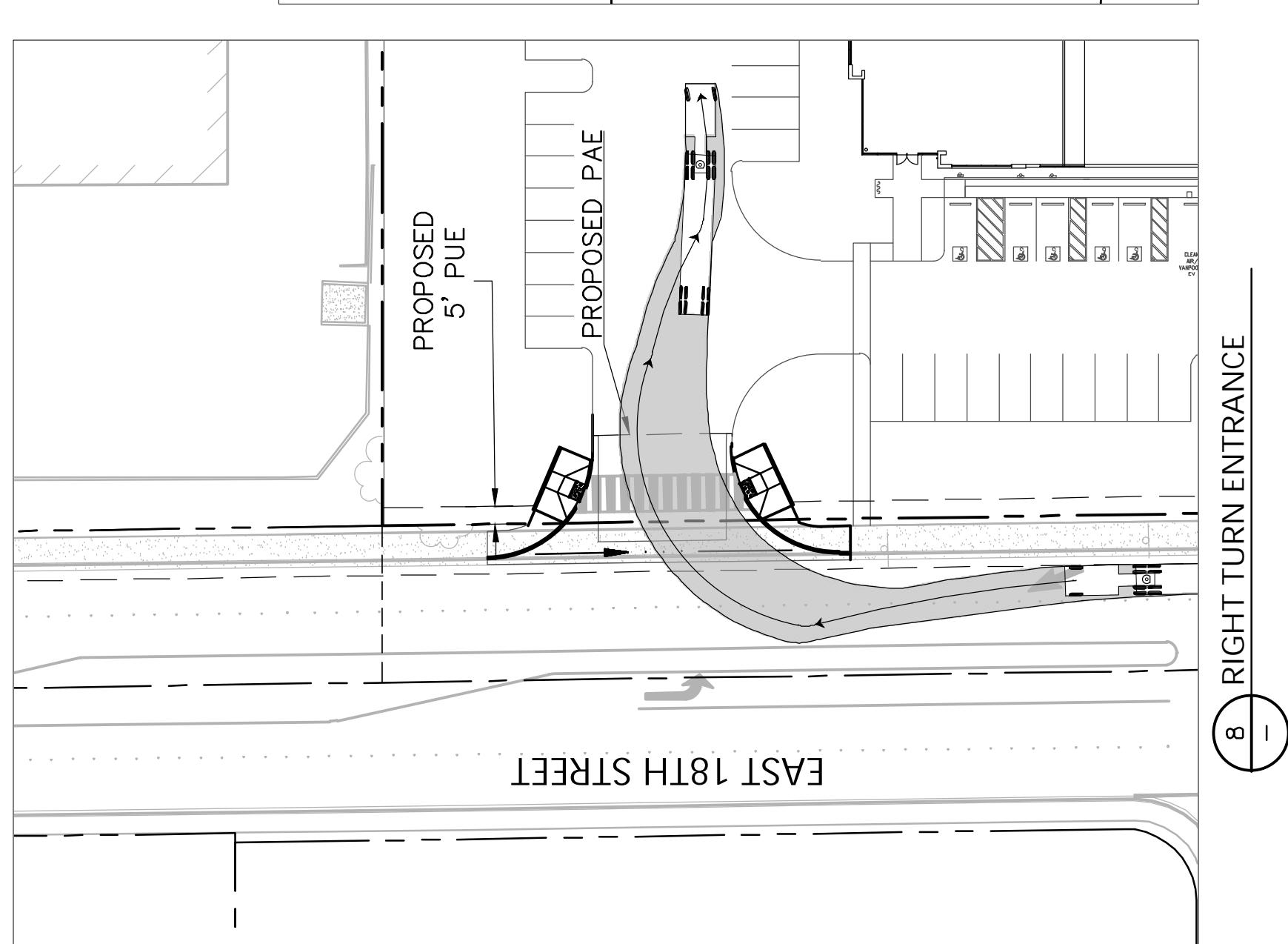
SIGHT TRIANGLE

SIGHT TRIANGLE

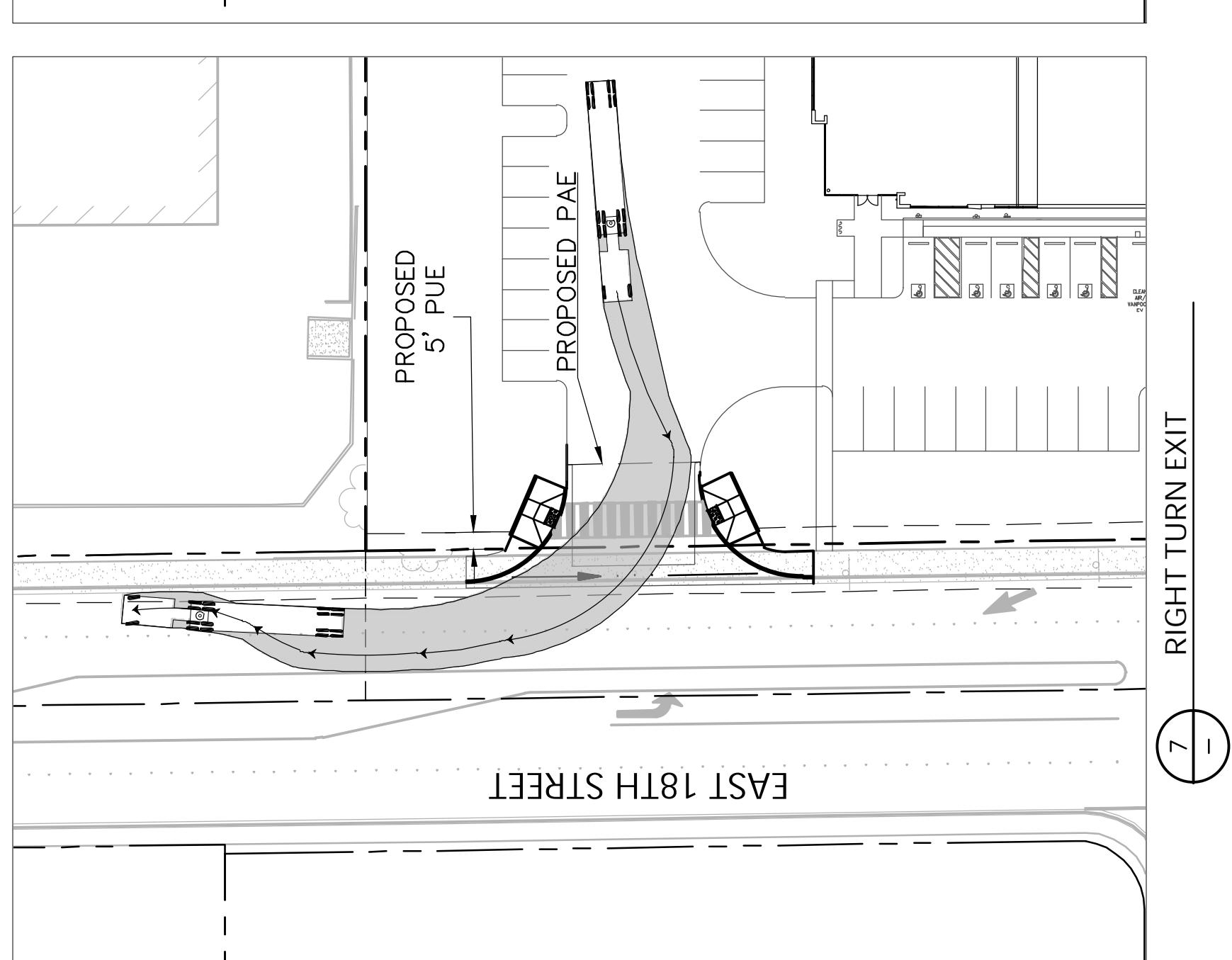
RIGHT TURN ENTRANCE



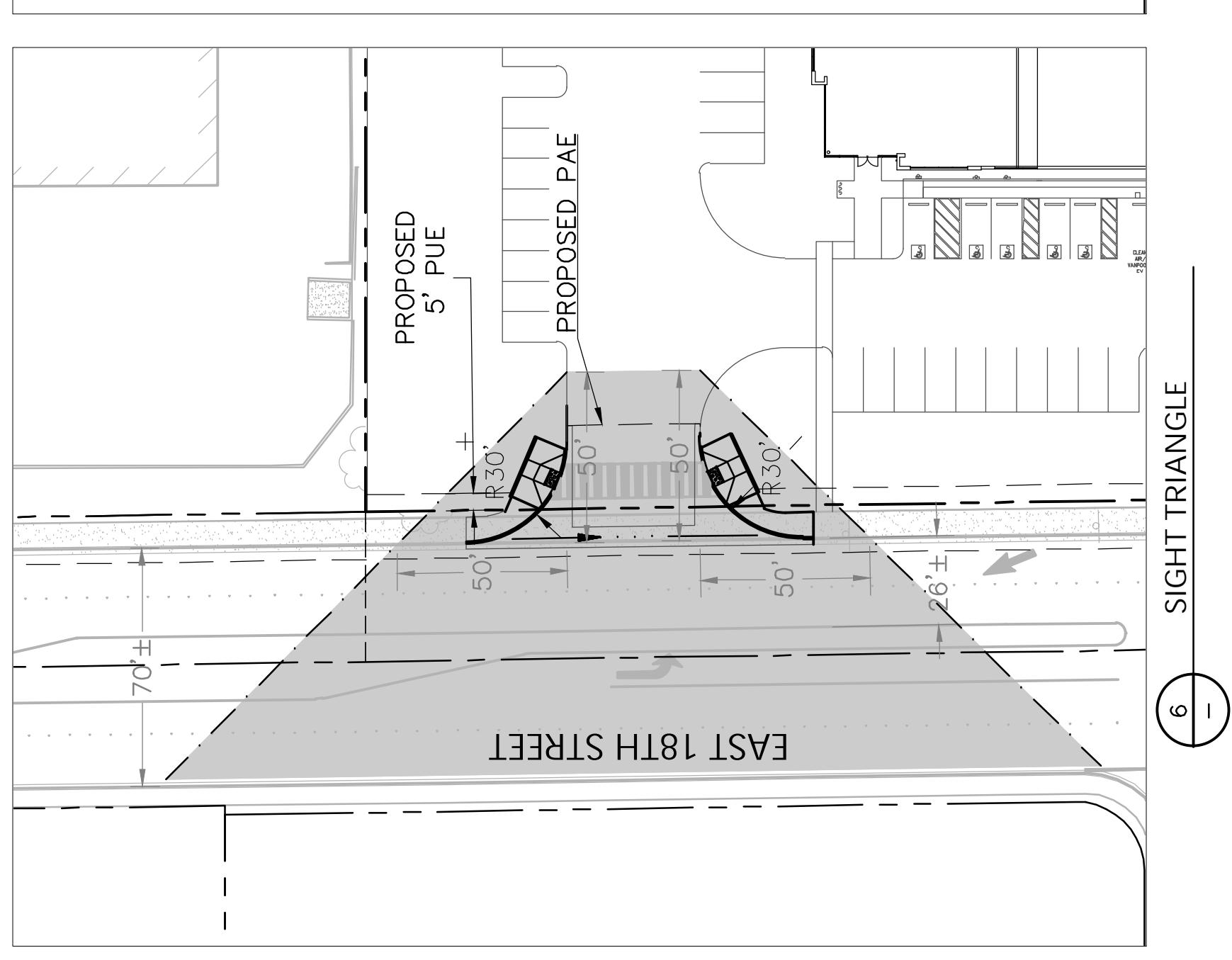
SIGHT TRIANGLE



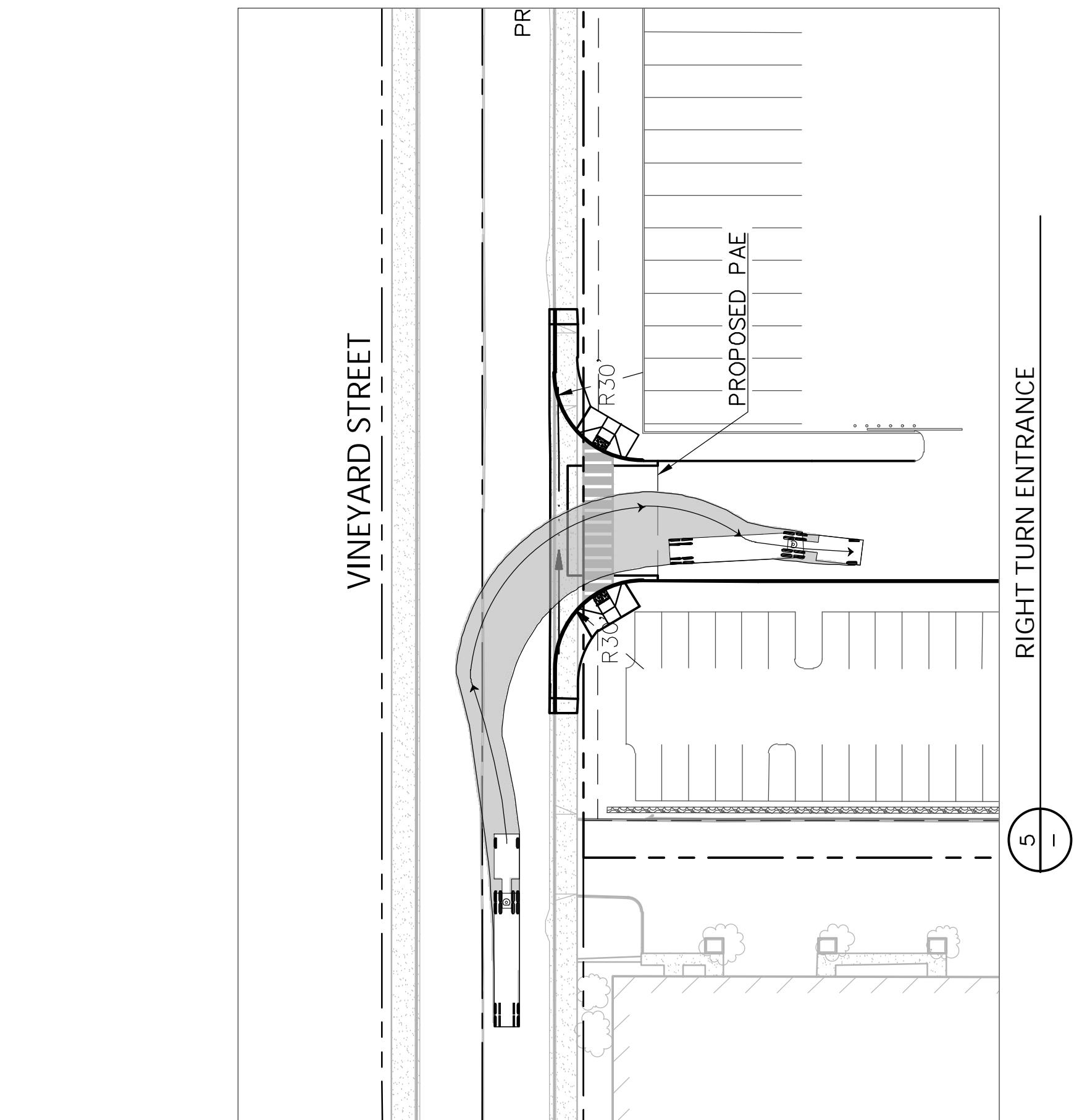
RIGHT TURN ENTRANCE



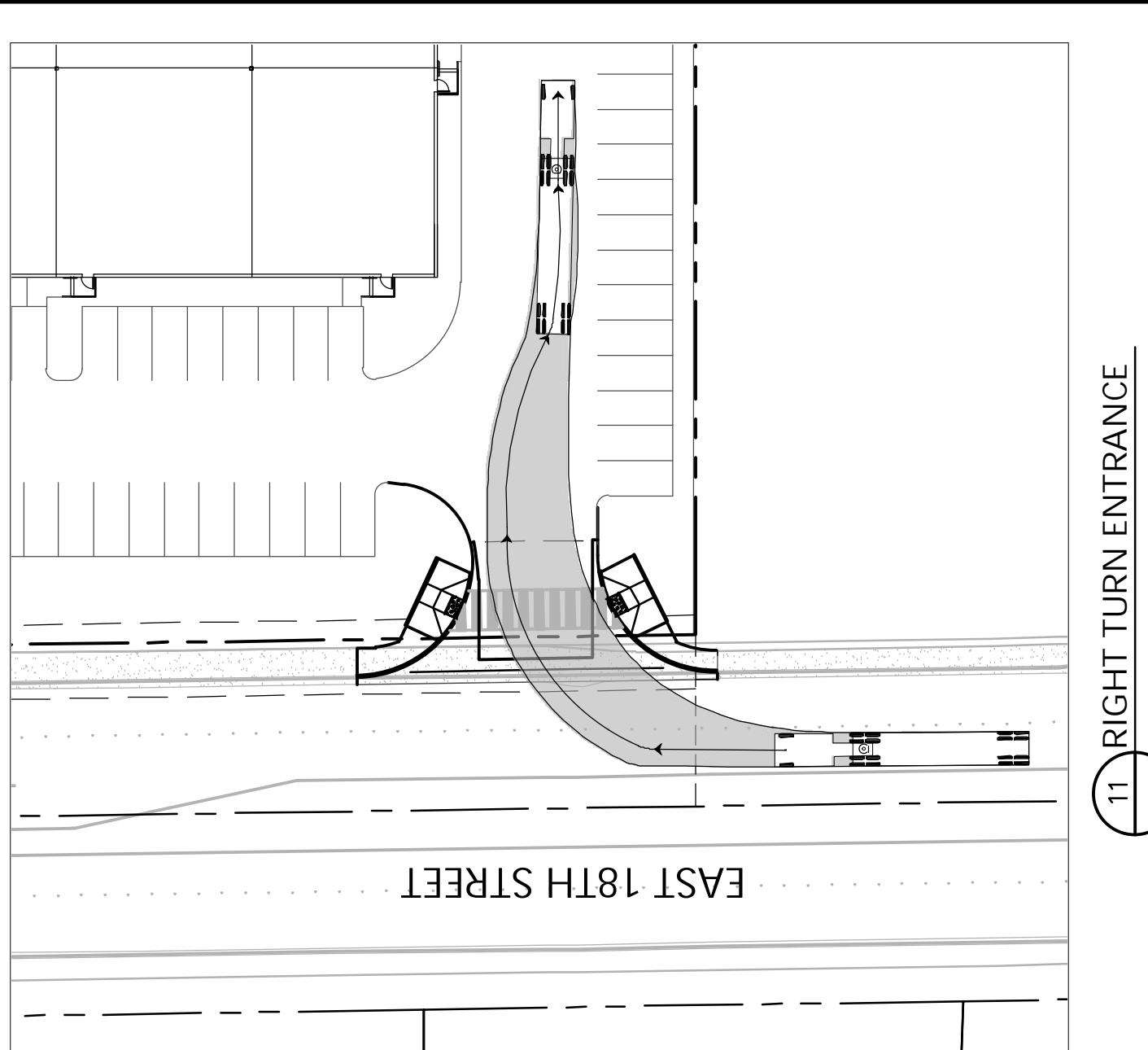
RIGHT TURN EXIT



SIGHT TRIANGLE



RIGHT TURN ENTRANCE



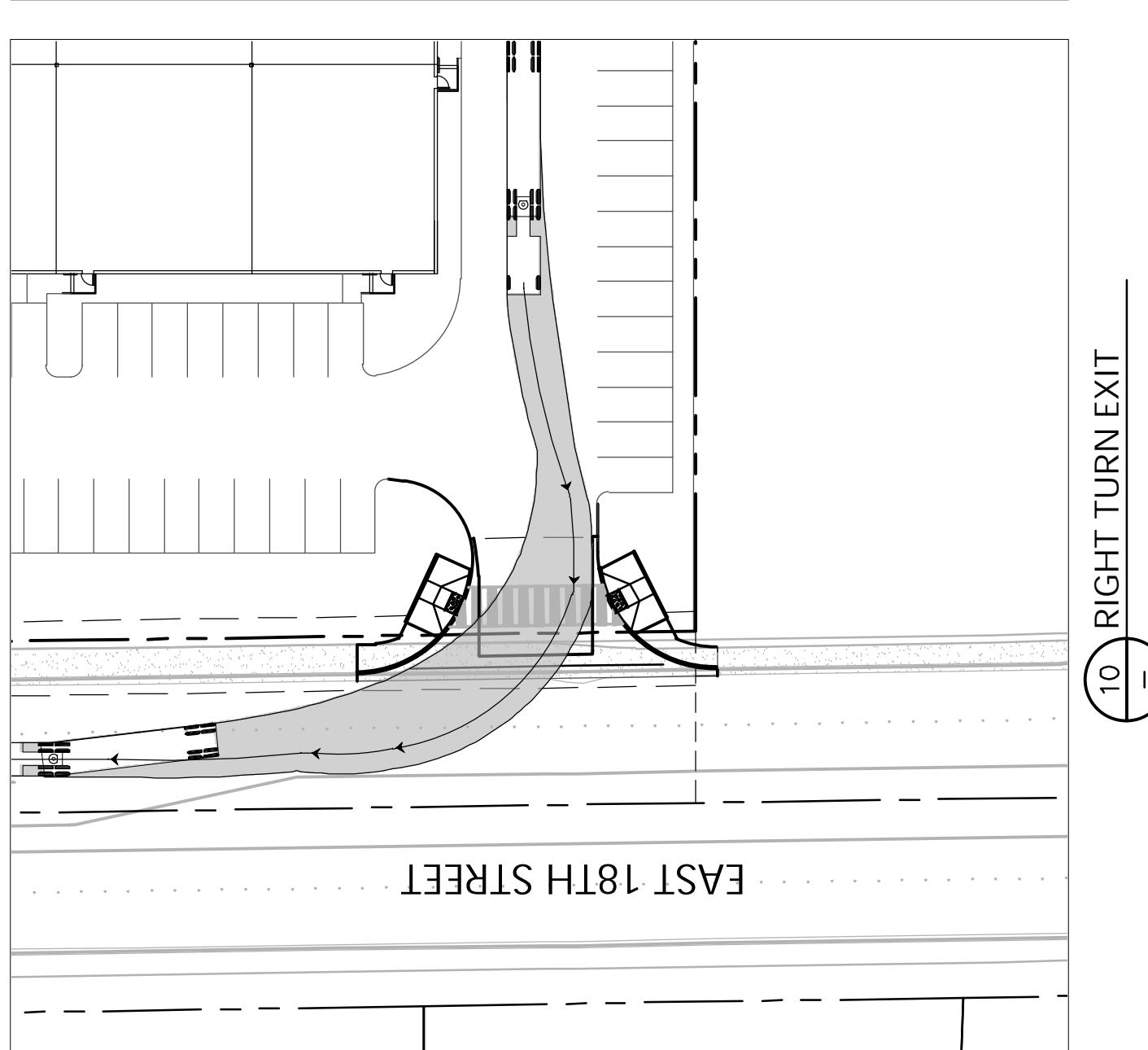
RIGHT TURN ENTRANCE

RIGHT TURN EXIT

LEGEND

PROPERTY LINE
EASEMENT
CENTER LINE

SIGHT LINE, SEE NOTE 1

NOTES
1. SIGHT TRIANGLES DRAWN PER ANTIOCH GUIDELINES
* 9-1101 SITE OBSTRUCTIONS AT INTERSECTIONS

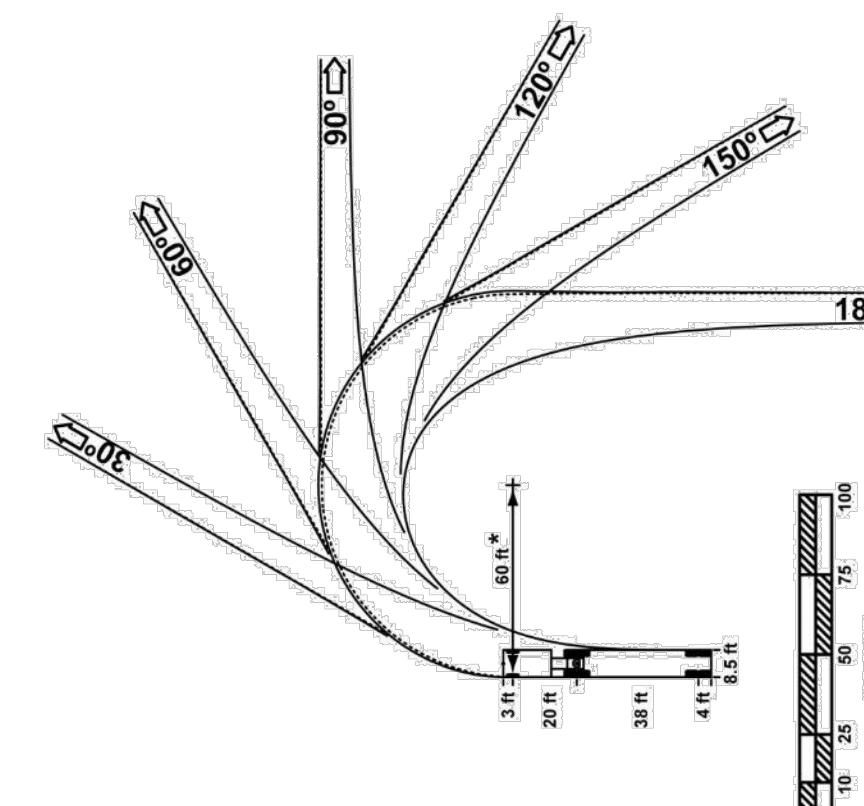
LEGEND

PROPERTY LINE
EASEMENT
CENTER LINE

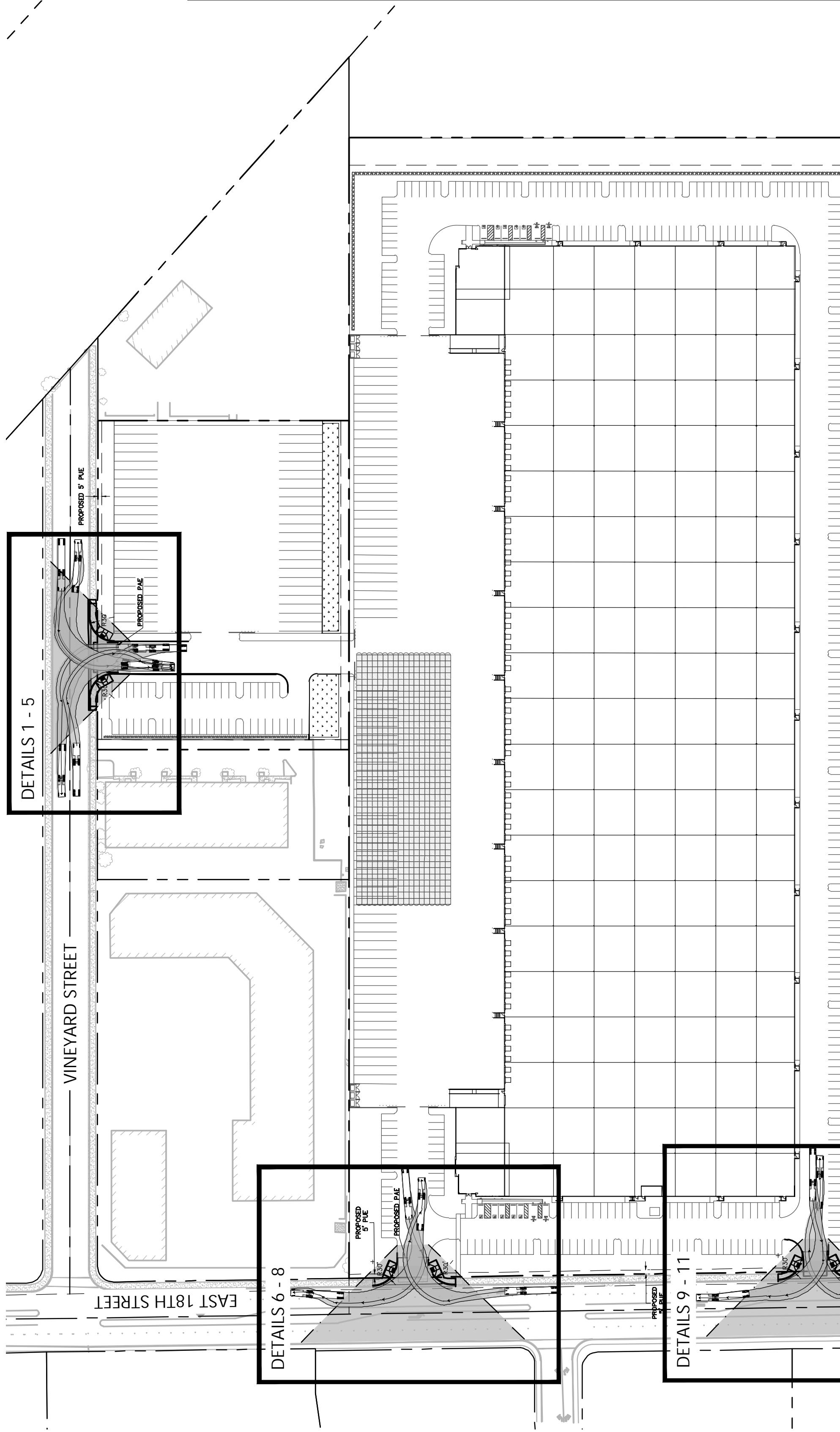
SIGHT LINE, SEE NOTE 1

NOTES
1. SIGHT TRIANGLES DRAWN PER ANTIOCH GUIDELINES
* 9-1101 SITE OBSTRUCTIONS AT INTERSECTIONS

400-22
July 1, 2020
Figure 404.5D
California Legal Design Vehicle 60-Foot Radius




LEGEND

Sight With Body
Tracking With TreesNote: For definitions, see
Index 304.4 and 304.5.

KEYMAP


C2 2
4 OF 6

D12



Drawing # 2021Z125
Date: 06/30/2022
Designers: AS SHOWN
Revisions: 0
Sheet No.: 5
Scale: 1" = 50'

Job #: 2021Z125
Drawing Az: 086, N
Appr'd Max MS: 000



DRAFT Project Description

City of Antioch Applications PD-22-02, UP-22-04, AR-22-04 (“West Project”)

Project Overview

Deca (the Applicant) proposes a commercial project for this site, which will be developed as a light industrial building for warehousing, distribution, storage, and light industrial uses, with associated office uses.

This project is located at 2901 E 18th Street and 1699 Vineyard Drive with APNs 051-052-072-9 and 051-072-086-9. The west site proposes a single building of approximately 442,111 square feet, situated on a total site area of 22.65 acres. The primary use of the building is for light industrial, warehouse, distribution, and storage use, with approximately 20,000 square feet of office use within the building. Up to 10,000 square feet of the office may be provided by mezzanine. The building is generally between 43 and 45 feet in height, with a maximum height of 45 feet. The interior clear height will be 40 feet.

The building provides up to 61 dockings bays for loading/unloading of trucks. Docks are provided on one side only (west side).

Parking and Circulation

All parking is provided on-site, consistent with tables shown on the site plan sheet. Automobile parking is provided at a rate of 1 space/250 square feet of office use plus 1 space/1000 square feet of warehouse use, for a total of 503 automobile spaces. Truck parking is also provided on-site, at approximately 119 truck trailer spaces. In addition, there are 28 bicycle parking spaces provided.

The site has two primary ingress and egress points. The first is from Vineyard Drive, which approaches the project from the west. The other ingress/egress is at E 18th Street, where the project will construct a new driveway for ingress and egress. For circulation within the site, please also see truck turning diagrams within the civil engineering plans.

Site Coverage

Proposed site coverage is 43.77%. The FAR is 44.79, with the maximum FAR of 45, as defined by the East Eighteenth Street Specific Plan. Please refer to the Site Plan for additional information

General Plan

The site has a current land use designation of “Business Park.” No changes are requested.

Specific Plan and Zoning

Each project within the Specific Plan Area must undergo the Planned Development rezoning process to finalize the uses permitted for a project. No changes are proposed for the site uses or classification.

Operational Details

The proposed uses include light industrial, warehousing, storage of inventory, distribution, and associated office and administrative support. While there is some variability with respect to individual

tenants, these buildings will often operate in multiple shifts, and will be operational up to 24 hours per day. Each shift may require several hundred employees, as the project will ultimately provide between 650 and 750 full-time jobs on-site. Trucks and delivery vans will also access the site during these hours.

Open Space and Landscaping

Landscaping is designed to beautify hardscaped areas of the site plan and to delineate a variety of spaces, such as parking, site boundaries, and to highlight building entrances. Landscape design was based on City of Antioch standards. Over time, shading will be provided in some areas. Please see associated landscaping plans as part of the submittal package.

Design Intent

The building would be constructed of painted concrete tilt-up panels and low-reflective materials, including low-reflective glass. The exterior color palette would be comprised of various shades of white and gray color. The office entry areas would feature blue glazed glass in clear aluminum storefront frame system. The proposed building would be constructed up to approximately 43 feet in most cases feet, with a parapet extending to a maximum of 45 feet. Office entry corners will be further defined by storefront glazing and material changes.

As shown by the building's elevations, visual relief from building form would be achieved through fenestration, mullions, and through variations in height and rooflines, and the use of parapets. The various architectural elements would provide articulation and visual interest within the building elevations and minimize glare.

Please refer to the enclosed Material and Color sheet within the application packet.