

STAFF REPORT TO THE PLANNING COMMISSION

DATE: Regular Meeting of August 18, 2021

SUBMITTED BY: Jose Cortez, Associate Planner

APPROVED BY: Forrest Ebbs, Community Development Director

SUBJECT: **PROMENADE PHASE 4-6 (UP-21-09, AR-21-07)**

RECOMMENDED ACTION

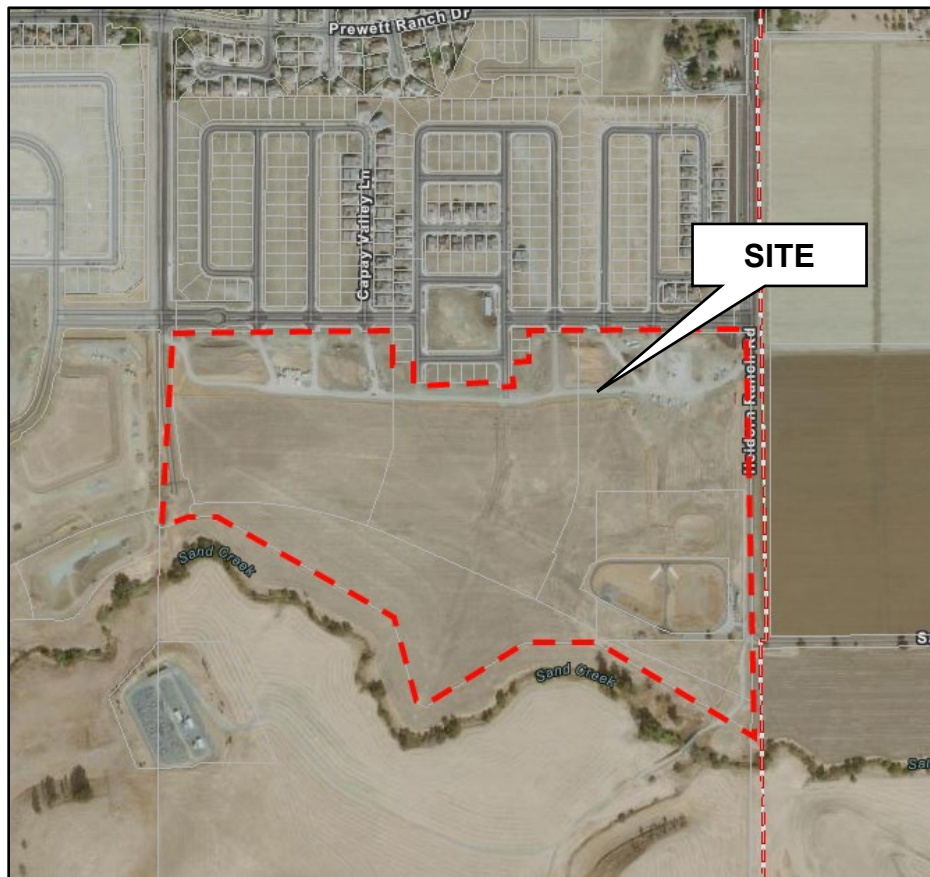
It is recommended that the Planning Commission take the following action(s):

1. Adopt the resolution APPROVING a Use Permit and Design Review (UP-21-09, AR-21-07) for the construction of phases 4-6, home architecture for the new homes in Promenade at Sand Creek Phases 4-6, subject to conditions of approval.

DISCUSSION

Requested Approvals

The Applicant, Tri- Pointe Homes, Inc. requests Use Permit and Design Review approval for the construction of phases 4-6, new home architecture for the new homes for the Promenade at Sand Creek Phases 4-6. The proposed project will be developed as part of the previously approved Vineyards at Sand Creek. The subject property is located on the west side of Heidorn Ranch Road south of Prewett Ranch Road and the east side of Hillcrest Avenue north of the future extension of Sand Creek Road (APNs: 057-030-012, -013, -014, -017, -018)



Environmental

An Environmental Impact Report (EIR) was prepared in December 2015 and certified in February 2016 Resolution No 2016/11. The EIR provides an evaluation of the potential environmental impacts of the proposed project and recommends mitigation measures to reduce impacts to a less-than-significant level. With the implementation of the mitigation measures proposed, the Promenade at Sand Creek Phase 4-6 Project would not result in any significant unavoidable impacts with respect to any of CEQA issue areas. Additionally, the proposed project, when combined with cumulative projects in the vicinity of the site, would not result in any cumulatively considerable significant unavoidable impacts. The proposed Use Permit, and Design Review is consistent with the project analyzed in the EIR; therefore, no further environmental review is required.

Background

The project site was previously entitled by the City of Antioch in 2016 for a residential development on 141.6 total acres, including up to 650 single-family residential units and 31.6 acres of parks and landscaped areas. In addition, the proposed project included off-site improvements (i.e., roadways and utilities) that would affect two off-site adjacent areas totaling approximately 6.47 acres: an area to the north and east that included an

approximately 6.02-acre portion of Heidorn Ranch Road (a dedicated public roadway in Antioch); and a 0.4-acre area to the southeast that includes a portion of Sand Creek in which storm drain lines and a storm drain outfall structure would be constructed. The City Council also certified the Vineyards at Sand Creek Environmental Impact Report (EIR). In addition, the Council adopted an ordinance approving a Development Agreement (DA) between the City and the applicant and an ordinance rezoning the site to Planned Development District (PD). As part of the PD, development standards and design guidelines were adopted.

On May 6, 2020, the City of Antioch's Planning Commission Adopted Resolution no. 2020-08 approving the Cielo at Sand Creek project design review for home architecture and landscaping and a use permit (the first three phases). The Cielo at Sand Creek project is currently under construction.

Project Overview

On May 18, 2021, the Applicant, Tri-Pointe Homes, Inc., submitted an application for a Use Permit for the construction of phases 4-6 (296 single-family homes), and Design Review for the architecture and home designs including landscaping, for the Promenade at Sand Creek project. The 296 homes would range between approximately 2,100 and 3,150 square feet (SF).

The Promenade at Sand Creek project consists of 157, 45x80 Lots as well as 139, 50x90 Lots. Each different lot size includes four floor plans for a total of eight plan types. Promenade at Sand Creek provides four distinct but complimentary architectural styles for the four different floor plans in each series. The applicant proposes "traditional California styles" which include Ranch, Cottage, Craftsman and Farmhouse all of which are generally consistent with approved Design Guidelines for the original PD. Each of the floor plans has three of the four styles, six plans will offer a Farmhouse elevation, seven plans will offer the Cottage, and Ranch elevations. Finally, four plans will offer Craftsman elevation. The following table summarizes the characteristics of each model.

Promenade at Sand Creek 45x80 Lots					
Plan	Square Feet	Stories	Garage	Bedrooms	Bathrooms
Plan 1	2154	Two	2-car	3.0-4	2.5-3
Plan 2	2282	Two	2-car	3.0-4	2.5-3
Plan 3	2446	Two	2-car	4.0-5	3
Plan 4	2607	Two	2-car	4.0-5	3.5
Promenade at Sand Creek 50x90 Lots					
Plan	Square Feet	Stories	Garage	Bedrooms	Bathrooms
Plan 1	2406	Two	2-car	3.0-4	2.0-3
Plan 2	2541	Two	2-car	4.0-5	3.0-3.5
Plan 3	2848	Two	2-car	4.0	3.5
Plan 4	3135	Two	2-car	4.0-5	3.5

ARCHITECTURE

The applicant is proposing eight new plan types ranging in size from 2,100 to 3,150 square feet. The proposed four architectural styles include Ranch, Cottage, Craftsman and Farmhouse. Within each theme, three (3) color schemes are provided. The varying color schemes allows for variation of architecture and colors and materials within the Promenade at Sand Creek project. The proposed architectural styles further compliment the architecture of the first three (3) phases (Cielo at Sand Creek) incorporating similar styles.

Theme specific materials distinguish the styles within the plans using different types of details, materials, and color palettes. Each architectural theme presents a specific kind of garage door, window mullions, shutters, and trim profiles that all fit in character with its style. Each plan also includes enhanced facades at the street corners. The enhancements for each home plan are detailed on the project plans (Attachment C) and include gable end treatment, shutters, and outlookers (decorative trim). The architectural styles are consistent with the previously approved Cielo at Sand Creek project. Additionally, the color and materials sheets are included as Attachment "C" to the staff report.

The plans are proposed for both 45-foot-wide lots and 50-foot-wide-lots and have 20'x20' two-car garages. The proposed plans include floor plans that have the garage recessed behind the main living portion of the home while one home plan has the garage extend beyond the main portion of the living space, which is consistent with Section 6.1.3E1 of

the Citywide Design Guidelines. Each architectural theme is discussed individually and, in more detail, below.

Farmhouse

The farmhouse style consists of common exterior features that include flat profile tiles, 6:12 roof pitches, vertical board & batten siding, louvered shutters, and a stucco wainscot to define the characteristics of the home.

Craftsman

The Craftsman uses gable roofs, 5:12 roof pitches, stone veneer wainscot, outlookers (decorative trim), plank and batten shutters, shingle siding and tapered porch columns to create a classic home design.

Cottage

The Cottage features gable and hip roofs, 5:12 roof pitches, recessed panel shutters, stone veneer, wood posts at porches and vertical groove panel siding.

Ranch

The Ranch uses elements of gable and dutch gable roofs, 5:12 roof pitches, recessed panel shutters, outlookers and horizontal lap siding to identify the theme.

MASONRY WALLS AND WOOD FENCING

Sound Wall

Promenade at Sand Creek Phases 4-6 includes the construction of a six (6) foot tall precast concrete sound wall. The proposed wall will match the perimeter wall in phases 1-3 (Cielo at Sand Creek) that is described as a wall painted Sherwin Williams 'Griffin' and consist of decorative veneer pilasters and capped concrete with top molding painted Sherwin Williams 'popular gray'. The proposed wall also includes a pilaster cap atop the six-foot wall and pilaster. The wall will be located along Hillcrest Avenue, Sand Creek Road, and Heidorn Ranch Road, wrapping at the project entries.

Fencing

In addition to the sound wall, the subdivision will include good neighbor fencing which includes a six (6) foot wood fence. The wood fence consists of a bottom and top rail, 4x4 post in a concrete footing. The good neighbor fence would separate the interior lots within phase 4-6.

LANDSCAPING

The conceptual landscaping plan includes landscaping for the project frontage and the internal site. The applicant proposes to plant a variety of trees, ground cover, and shrubbery for the front yard landscaping. Front landscape plantings include Ginkgo Biloba, acacia cognata, Limonium perez, phormium x “black adder”, salvia x pozo blue, and other shrubs and ground cover. Street tree and shrub plantings for street frontage, median, and corners differ from those proposed for the front yard landscaping. Plantanus acerifolia ‘Colombia’, quercus coccinea, lavatera maritima, lomandra ‘breeze’, phormium tenax ‘firebird’, rose ‘carefree delight’ offer a variety of plantings for the visual corridors along the project interior and exterior. The proposed plantings for both the front yard landscaping and street frontage, median, and corners will offer a variety of contrasting colors.

USE PERMIT

Antioch Municipal Code Section 9-5.2307 requires a use permit prior to the construction of any phase of an approved P-D District. The intent of the use permit is to further clarify the details of the development phase being considered and to ensure that each component complies with the established provisions of the district. The use permit is not intended to obtain further exactions of the developer but is to refine the final development plan and implement the conditions of approval attached to the final development plan.

The proposed phases 4-6, including lot layout and roadway circulation, is consistent with the previously approved Vineyards/Promenade at Sand Creek project. The proposed 296 single-family homes in phases 4-6 would be consistent with the Development Standards approved for the Vineyards at Sand Creek PD District, including maximum density, minimum lot sizes, and landscape requirements.

Furthermore, all conditions of approval and provisions previously established shall be complied with for each phase of development. As described above this Use Permit satisfies the AMC Section 9-5.2307 requirement.

ATTACHMENTS

- A. Resolution
- B. Project Plans
- C. Project Description and Narratives
- D. CCCFD Comment Letter

ATTACHMENT A

Resolution

**PLANNING COMMISSION
RESOLUTION NO. 2021-****

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ANTIOCH
APPROVING THE USE PERMIT AND DESIGN REVIEW APPLICATION FOR THE
CONSTRUCTION OF PHASES 4-6, HOME ARCHITECTURE AND LANDSCAPING
FOR THE NEW HOMES IN THE PROMENADE AT SAND CREEK PROJECT**

WHEREAS, the Planning Commission for the City of Antioch did receive a request for approval of a use permit, and design review application from Tri Pointe Homes, Inc. for the construction of phases 4-6, home architecture, and landscaping for the new homes in Promenade at Sand Creek Phases 4-6. The project site is located on the west side of Heidorn Ranch Road south of Prewett Ranch Road and the east side of Hillcrest Avenue north of the future extension of Sand Creek Road (UP-21-09, AR-21-07),

WHEREAS, an Environmental Impact Report for the Vineyards at Sand Creek Project and Mitigation Monitoring and Reporting Program (MMRP) was prepared in accordance with the California Environmental Quality Act (CEQA) Guidelines Section 15162, and was certified, with Findings of Fact, by the City Council on February 9, 2016,

WHEREAS, the project is consistent with the EIR, MMRP and therefore, in accordance with the California Environmental Quality Act (CEQA) Guidelines Section 15162, a subsequent environmental document is not required;

WHEREAS, the City Council adopted a General Plan Amendment for the project site changing the land use designations from Business Park, Public/Quasi-Public, and Open Space/Senior Housing to Medium Low Density Residential and Open Space as well as amendment to the text of the Sand Creek Focus Area of the General Plan (GP-14-01) on February 9, 2016;

WHEREAS, the City Council adopted the Vesting Tentative Map/Final Development Plan consisting of 641 units (Subdivision 9390) and Resource Management Plan on February 9, 2016;

WHEREAS, the City Council adopted a Rezone of the project site to Planned Development District, approving a Master Development Plan, Final Development Plan, and Planned Development and Design Standards (PD-14-03) on February 23, 2016;

WHEREAS, the City Council adopted a Development Agreement between the City of Antioch and GBN Partners, LLC on February 23, 2016;

WHEREAS, the adopted Development Agreement between the City of Antioch and GBN Partners, LLC was recorded by the Contra Costa County Recorder's Office on December 13, 2016;

WHEREAS, the Planning Commission duly gave notice of public hearing as required by law; and,

WHEREAS, the Planning Commission on August 18, 2020, duly held a public hearing, received and considered evidence, both oral and documentary;

NOW THEREFORE IT BE RESOLVED that the Planning Commission does hereby make the following findings for approval of a Use Permit:

1. The granting of such Use Permit will not be detrimental to the public health or welfare or injurious to the property or improvements in such zone or vicinity.

The use permit will not be detrimental to the public health or welfare or injurious to the property or improvements in such zone or vicinity. The project proposes architecture for the three phases to a previously approved project. The subdivision will construct necessary infrastructure to serve the City of Antioch and future development.

2. The use applied at the location indicated is properly one for which a Use Permit is authorized.

This is an approved residential planned development. A Use Permit is required prior to the construction of any phase of an approved P-D District per Antioch Municipal Code Section 9-5.2307.

3. The site for the proposed use is adequate in size and shape to accommodate such use, and all parking, and other features required.

The proposed residential subdivision lots are adequate in size to accommodate the proposed home models, parking and other amenities proposed.

4. That the site abuts streets and highways adequate in width and pavement type to carry the kind of traffic generated by the proposed use.

The project is located near Heidorn Ranch Road, the future extension of Hillcrest Avenue and the future Sand Creek Road extension that will serve the project site. The street extensions are designed to meet City Standards for adequate width and pavement.

5. The granting of such Use Permit will not adversely affect the comprehensive General Plan.

The granting of the Use Permit will not adversely affect the General Plan as the proposed single-family homes and amenity building are in compliance with the General Plan.

NOW THEREFORE BE IT RESOLVED that the Planning Commission of the City of Antioch does hereby APPROVE UP-21-09, AR-21-07 for the construction of phases 4-6, home architecture, and landscaping for the new homes in the Promenade at Sand Creek project located on the west side of Heidorn Ranch Road south of Prewett Ranch Road and the east side of Hillcrest Avenue north of the future extension of Sand Creek Road subject to the following conditions:

A. GENERAL CONDITIONS

1. The applicant shall defend, indemnify, and hold harmless the City in any action brought by a third party to challenge the land use entitlement. In addition, if there is any referendum or other election action to contest or overturn these approvals, the applicant shall either withdraw the application or pay all City costs for such an election.
2. The project shall be implemented as indicated on the application form and accompanying materials provided to the City and in compliance with the Antioch Municipal Code, or as amended by the Planning Commission.
3. No building permit will be issued unless the plan conforms to the plans as approved by the Planning Commission and the standards of the City.
4. This approval expires two years from the date of approval (expires August 18, 2023), unless a building permit has been issued and construction has diligently commenced thereon and has not expired, or an extension has been approved by the Zoning Administrator. Requests for extensions must be received in writing with the appropriate fees prior to the expiration of this approval. No more than one one-year extension shall be granted.
5. No permits or approvals, whether discretionary or mandatory, shall be considered if the applicant is not current on fees, reimbursement payments, and any other payments that are due.
6. No signs shall be installed on this site without prior City approval.

B. PROJECT SPECIFIC CONDITIONS

1. This development shall comply with all the obligations and requirements included in the adopted Development Agreement between the City of Antioch and GBN Partners, LLC, which was recorded by the Contra Costa County Recorder's Office on December 13, 2016.
2. This development shall comply with all previous project conditions of approval and mitigation measures adopted for the Vineyards at Sand Creek Project, including those found in the following adopted City Council resolutions:
 - a. Resolution certifying the Environmental Impact Report for the Vineyards at Sand Creek Project, adopting findings of fact and a mitigation monitoring and reporting program (Resolution 2016-11);
 - b. Resolution approving a General Plan Amendment to designate the project site Medium Low Density Residential and Open Space and amending the Sand Creek Focus Area text (Resolution 2016-12); and
 - c. Resolution approving a Vesting Tentative Map/Final Development Plan, and Resource Management Plan for the Vineyards at Sand Creek Project (Resolution 2016-13).
3. This design review approval applies to the development of phases 4-6 (296 single-family homes), including the precast walls and good neighbor fencing for the Promenade at Sand Creek Project and shall be consistent with the plans dated May 18, 2021.
4. Prior to the issuance of any building permits, the applicant shall submit a plotting plan that indicates which plan, including elevation, will be located on each lot. The plotting plan shall indicate compliance with the adopted design guidelines, including, but not limited to, the following:
 - a. The same floor plan or exterior colors for dwelling units shall not be placed side by side.
 - b. Homes directly across the street from one another should not have the same floor plan, unless they have different elevations.

* * * * *

I HEREBY CERTIFY the foregoing resolution was duly adopted by the Planning Commission of the City of Antioch at a regular meeting thereof held on the 18th day of August 2021.

AYES:

NOES:

ABSTAIN:

ABSENT:

Forrest Ebbs
Secretary to the Planning Commission

ATTACHMENT B

Project Plans



45 X 80 STREETSCENE

PROMENADE AT SAND CREEK

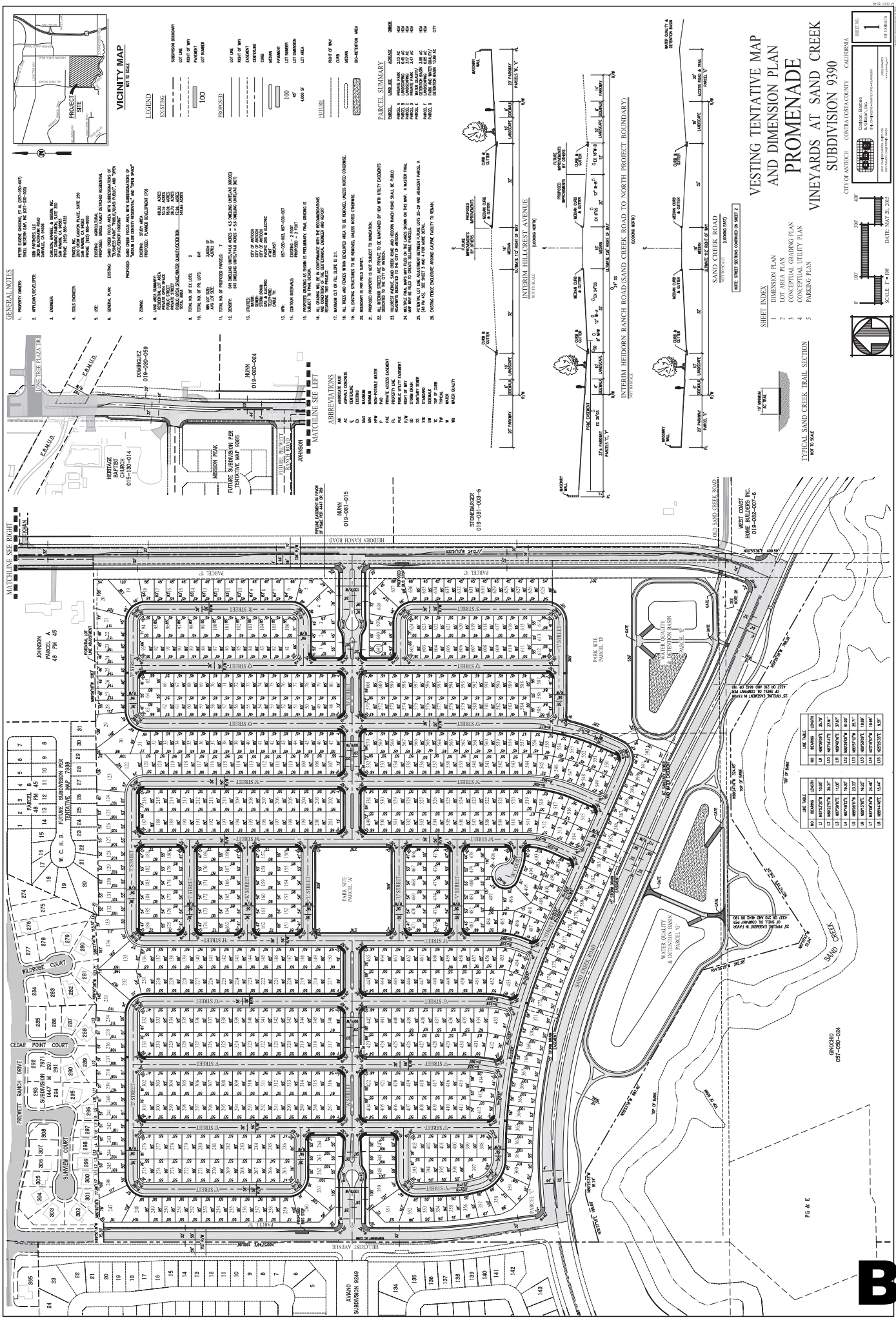
PHASE 4, 5, & 6
ANTIOCH, CALIFORNIA



50 X 90 STREETSCENE

DESIGN REVIEW SUBMITTAL
7 PAGES CIVIL: CBG VTM AND DEVELOPMENT PLAN
10 PAGES LANDSCAPE: HMM PRELIMINARY LANDSCAPE PLANS
42 PAGES ARCHITECTURE : OAG PLANNING SUBMITTAL DATED 5/14/2021





GENERAL NOTES

1. PROPERTY OWNER: JAMES E. BROWN, JR. (019-001-007) (019-001-008) (019-001-009)
2. PREPARED BY: JAMES E. BROWN, JR. (019-001-007) (019-001-008) (019-001-009)
3. OWNER: JAMES E. BROWN, JR. (019-001-007) (019-001-008) (019-001-009)
4. DATE: 01/15/2015
5. SHEET: 1 OF 1
6. SCALE: 1" = 100'
7. PROJECT: SAND CREEK SUBDIVISION
8. CITY: SAN ANTONIO, TEXAS
9. COUNTY: BEXAR, TEXAS
10. ZONING: M-1 (MANUFACTURING)
11. MAP: 019-001-007 (019-001-008) (019-001-009)
12. LEGAL: 019-001-007 (019-001-008) (019-001-009)
13. ADJACENT: 019-001-007 (019-001-008) (019-001-009)
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20. ADJACENT: 019-001-007 (019-001-008) (019-001-009)

VICINITY MAP

019-001-007 (019-001-008) (019-001-009)

LEGEND

EXISTING

- 1. LOT LINE
- 2. LOT AREA
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PROPOSED

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ABBREVIATIONS

- 1. LOT LINE
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- 19. LOT AREA
- 20. LOT AREA

PARCEL SUMMARY

PARCEL	AREA	PERMITS	REMARKS
1	1.00 AC	1.00 AC	1.00 AC
2	1.00 AC	1.00 AC	1.00 AC
3	1.00 AC	1.00 AC	1.00 AC
4	1.00 AC	1.00 AC	1.00 AC
5	1.00 AC	1.00 AC	1.00 AC
6	1.00 AC	1.00 AC	1.00 AC
7	1.00 AC	1.00 AC	1.00 AC
8	1.00 AC	1.00 AC	1.00 AC
9	1.00 AC	1.00 AC	1.00 AC
10	1.00 AC	1.00 AC	1.00 AC
11	1.00 AC	1.00 AC	1.00 AC
12	1.00 AC	1.00 AC	1.00 AC
13	1.00 AC	1.00 AC	1.00 AC
14	1.00 AC	1.00 AC	1.00 AC
15	1.00 AC	1.00 AC	1.00 AC
16	1.00 AC	1.00 AC	1.00 AC
17	1.00 AC	1.00 AC	1.00 AC
18	1.00 AC	1.00 AC	1.00 AC
19	1.00 AC	1.00 AC	1.00 AC
20	1.00 AC	1.00 AC	1.00 AC

STREET INDEX

- 1. DIMENSION PLAN
- 2. LOT AREA PLAN
- 3. CONCEPTUAL GRADING PLAN
- 4. CONCEPTUAL UTILITY PLAN
- 5. PARKING PLAN

TYPICAL SAND CREEK TRAIL SECTION

NOT TO SCALE

VESTING TENTATIVE MAP AND DIMENSION PLAN

PROMENADE

VINEYARDS AT SAND CREEK

SUBDIVISION 9390

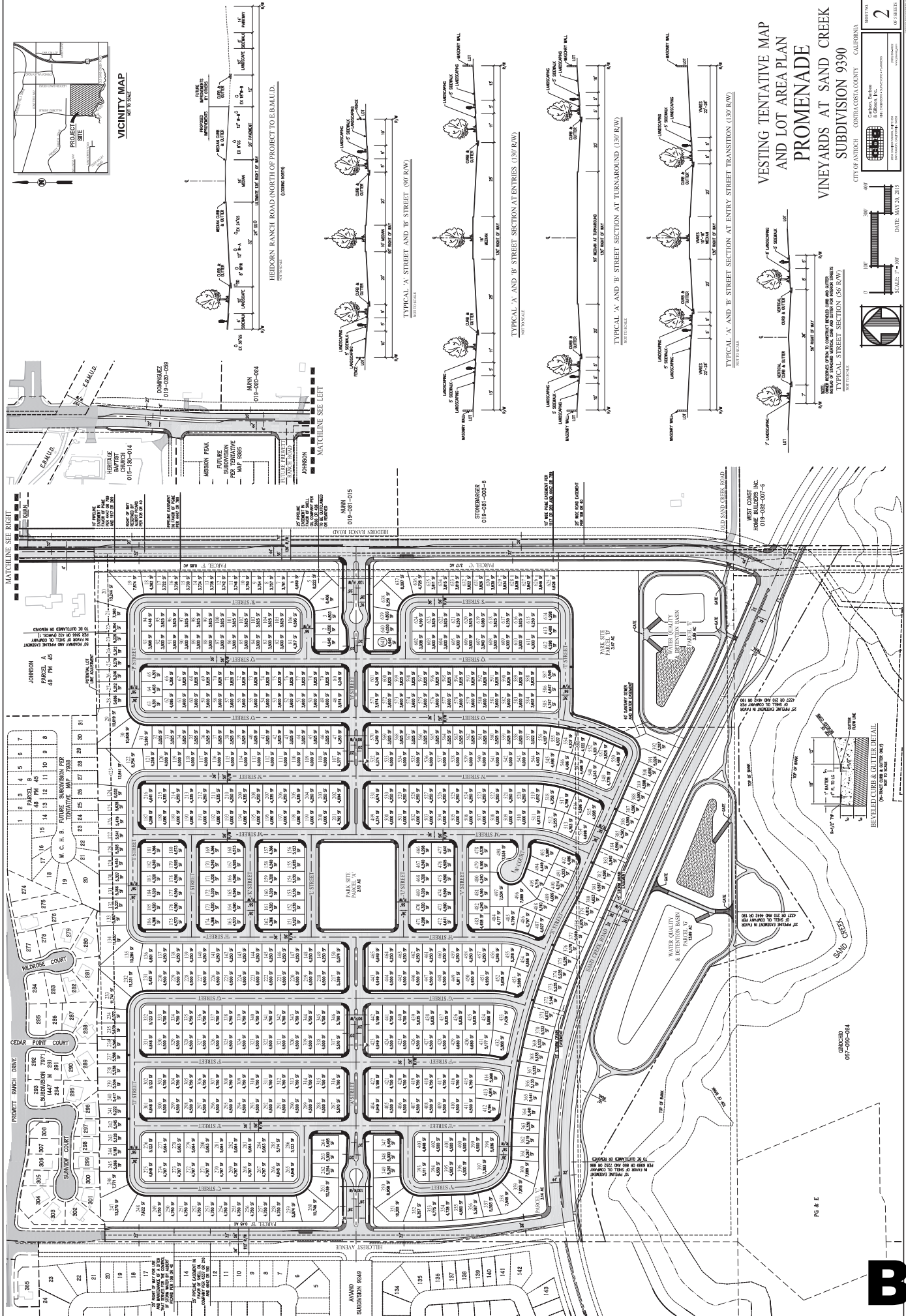
CITY OF ANTONIO, BEXAR COUNTY, TEXAS

DATE: MAY 20, 2015

SCALE: 1" = 100'



VICINITY MAP



VESTING TENTATIVE MAP
AND LOT AREA PLAN
PROMENADE

VINEYARDS AT SAND CREEK
SUBDIVISION 9390

CITY OF ANCHORAGE
CONTRA COSTA COUNTY
CALIFORNIA

019-008-007-5

DATE: MAY 20, 2015

SCALE: 1" = 100'



FIG. 8 E

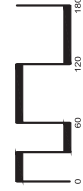






PROMENADE PHASES 4-6 DEVELOPMENT PLAN SUBDIVISIONS 9567, 9568 & 9569

CITY OF ANTIOCH
CONTRA COSTA COUNTY
CALIFORNIA
SCALE: 1" = 60'
DATE: JUNE 16, 2021



SAN RAMON
ROSEVILLE
WWW.CBGCAL.COM
CIVIL ENGINEERS
SURVEYORS
PLANNERS

SHEET NO.
2
OF 3 SHEETS

B8

LANDSCAPE ARCHITECTURAL DRAWINGS

PROMENADE AT SAND CREEK - DESIGN REVIEW

TRI POINTE HOMES

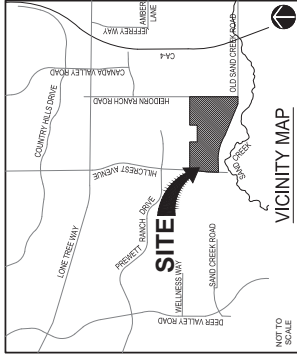
CITY OF ANTIOCH, CALIFORNIA

PLANS WERE DESIGNED BY REFERENCE:

1. GEOTECHNICAL REPORTS PREPARED BY ENGEO DATED: 9/29/2020.

NOTES

- SOIL MANAGEMENT REPORT SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AND SOIL AMENDMENTS SHALL BE FOLLOWED PER THE REPORT. PHYSICAL COPIES OF THE SOIL MANAGEMENT REPORT SHALL BE PROVIDED TO CLIENT. FOLLOWING LANDSCAPE ARCHITECT AND LOCAL AGENCY AS REQUIRED. SOIL MANAGEMENT REPORT SHALL CONFORM TO STATE AB1881 WATER EFFICIENT LANDSCAPE ORDINANCE OR AGENCY ADOPTED WELD AS FOLLOWS:
- (1) SUBMIT SOIL ANALYSIS TO A LABORATORY FOR ANALYSIS AND RECOMMENDATIONS.
- (2) SOIL ANALYSIS SHALL BE CONDUCTED USING A PORTABLE SOIL ANALYSIS TOOL, INCLUDING PROTOCOLS REGARDING ADEQUATE SAMPLING DEPTH FOR THE INTENDED PLANTS.
- (3) THE SOIL ANALYSIS MAY INCLUDE SOIL TEXTURE, INFILTRATION RATE DETERMINED BY LABORATORY TEST OR SOIL TEXTURE INFILTRATION RATE TABLE, PH, TOTAL SOLUBLE SALTS, SODIUM, PERCENT ORGANIC MATTER, AND INFILTRATION RATE.
- (4) THE PROJECT APPLICANT OR HIS/HER DESIGNER, SHALL COMPLY WITH ONE OF THE FOLLOWING:
- (A) IF SIGNIFICANT MASS GRADING IS NOT PLANNED, THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE; OR
- (B) IF SIGNIFICANT MASS GRADING IS PLANNED, THE SOIL ANALYSIS REPORT SHALL BE SUBMITTED TO THE LOCAL AGENCY AS PART OF THE GRADING PACKAGE.
- (5) THE SOIL ANALYSIS REPORT SHALL BE MADE AVAILABLE, IN A TIMELY MANNER, TO THE PROFESSIONALS PREPARING THE LANDSCAPE DESIGN PLANS AND IRRIGATION DESIGN PLANS TO MAKE ANY NECESSARY ADJUSTMENTS TO THE DESIGN PLANS.
- (6) THE PROJECT APPLICANT, OR HIS/HER DESIGNER, SHALL SUBMIT DOCUMENTATION VERIFYING IMPLEMENTATION OF SOIL ANALYSIS REPORT RECOMMENDATIONS TO THE LOCAL AGENCY WITH CERTIFICATE OF COMPLETION.
- CONTRACTOR MUST PROVIDE AN IRRIGATION AUDIT IN ACCORDANCE WITH TITLE 23 BY THE STATE DEPARTMENT OF WATER RESOURCES, DIVISION OF WATER RESOURCES, IRRIGATION AUDIT, IRRIGATION SURVEY, AND IRRIGATION WATER USE ANALYSIS PRIOR TO PROJECT ACCEPTANCE.
- CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE WORK IS COMPLETE AND IN COMPLIANCE WITH THE MOST CURRENT CODES, ORDINANCES AND REQUIREMENTS OF THE GOVERNING AGENCY. HIMH IS NOT RESPONSIBLE FOR OBTAINING OR PROVIDING THE CODES, ORDINANCES OR REQUIREMENTS AFTER THE GOVERNING AGENCY'S APPROVAL OR DURING INSTALLATION.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.
- AS REQUESTED BY THE OWNER, HIMH WILL VISIT THE SITE AT INTERVALS APPROPRIATE TO THE STAGE OF CONSTRUCTION TO REVIEW THE PROGRESS AND QUALITY OF WORK AND TO DETERMINE IN GENERAL IF THE WORK IS BEING PERFORMED IN A MANNER INDICATING THAT THE WORK, WHEN COMPLETED, WILL BE IN SUBSTANTIAL CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. HOWEVER, HIMH WILL NOT MAKE EXHAUSTIVE OR CONTINUOUS ON-SITE OBSERVATIONS TO CHECK QUALITY OF THE WORK.
- THERE IS NO WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED BY HIMH FOR THE COMPLETION OF THE WORK OR THE QUALITY OF PERFORMANCE OF THE CONSTRUCTION CONTRACTOR(S).
- CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING PORTIONS OF THE WORK UNDER A CONTRACT WITH CONTRACTOR.
- IN THE EVENT OWNER CONSENTS TO, ALLOWS, AUTHORIZES OR APPROVES OF CHANGES TO ANY PLANS, SPECIFICATIONS, OR OTHER CONSTRUCTION DOCUMENTS, AND THESE ALTERATIONS ARE NOT APPROVED IN WRITING BY HIMH, OWNER RECOGNIZES THAT SUCH ALTERATION AND THE RESULTS THEREOF ARE NOT THE RESPONSIBILITY OF HIMH. IN ADDITION, OWNER AGREES TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HIMH HARMLESS FROM ANY LIABILITY OR COST (INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS OF DEFENSE) ARISING FROM SUCH ALTERATIONS.
- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES SHOWN ON THE PLANS WERE OBTAINED FROM THE EXISTING RECORDS OF THE CITY OF ANTIOCH, CALIFORNIA. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES, AND FOR COMPLETING THE LOCATION OF THE UTILITIES OR THE EXISTENCE OR NON-EXISTENCE OF SUCH UTILITIES. IN NORTHERN CALIFORNIA, CONTRACTOR SHALL CONTACT UNDERGROUND SERVICES AT 1-800-462-3444 PRIOR TO PERFORMING ANY CONSTRUCTION WORK. IN OTHER AREAS, CONTRACTOR SHALL CONTACT A SIMILAR AGENCY ORGANIZATION.
- CONTRACTOR SHALL PROVIDE PROPER PROJECT MAINTENANCE AFTER THE PROJECT IS COMPLETE. ANY LACK OF OR IMPROPER MAINTENANCE MAY RESULT IN DAMAGE TO PROPERTY OR PERSONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTS OF ANY LACK OF OR IMPROPER MAINTENANCE.



INDEX OF DRAWINGS

SHEET	TITLE
L1	COVER SHEET
L2	LANDSCAPE PLAN
L3-L4	FRONT YARD ENLARGEMENTS
L5	STREET FRONTAGE AND MEDIAN CORNER MONUMENT ENLARGEMENT
L6	OPEN SPACE AND PARK ENLARGEMENT
L7	PLANT PALETTE
L8	PLANTING DETAILS AND NOTES
L9	WALL AND FENCE PLAN
L10	SITE FURNISHINGS

PROMENADE AT SAND CREEK - DESIGN REVIEW

TRI-POINTE HOMES

ANTIOCH, CA

GOVERNING AGENCY

CITY OF ANTIOCH
PLANNING DIVISION
1570 OAKLAND ROAD
ANTIOCH, CA 94531
(925) 779-6159

CONSULTANTS

OWNER:
TRI-POINTE HOMES, INC.
2700 CAMINO RAMON, SUITE 130
SAN RAMON, CA 94583
(925) 894-2224

LANDSCAPE ARCHITECT:
HIMH
1570 OAKLAND ROAD
SAN JOSE, CA 95131
(408) 487-2200

STRUCTURAL AND MECHANICAL ENGINEERS:
HARRIS & SLOAN
2505 CAMDEN DRIVE, SUITE 200
SACRAMENTO, CA 95833

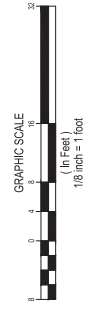
ARCHITECT:
DAG ARCHITECTS
1570 OAKLAND ROAD, SUITE #10
BENICIA, CA 94610
(707) 361-5208

CIVIL ENGINEER:
CARLSON, BARBEE & JESON
2633 CAMDEN RAMON, SUITE 350
SAN RAMON, CA 94583
(925) 856-0222

COVER SHEET

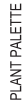
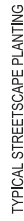
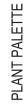
L1





NOTES:

1. SEE SHEET L7 FOR PLANTING LEGEND AND NOTES.
2. SEE SHEET L8 FOR PLANTING DETAILS AND SPECIFICATIONS.



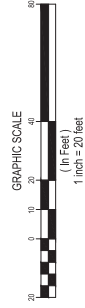
Land Use Entitlements
Land Planning
Landscape Architecture
Civil Engineering
Utility Design
Land Surveying
Stormwater Compliance

1070 Oakland Road
San Jose, CA 95131
(408) 487-2200
HillHill.com

tri pointe
WOMEN

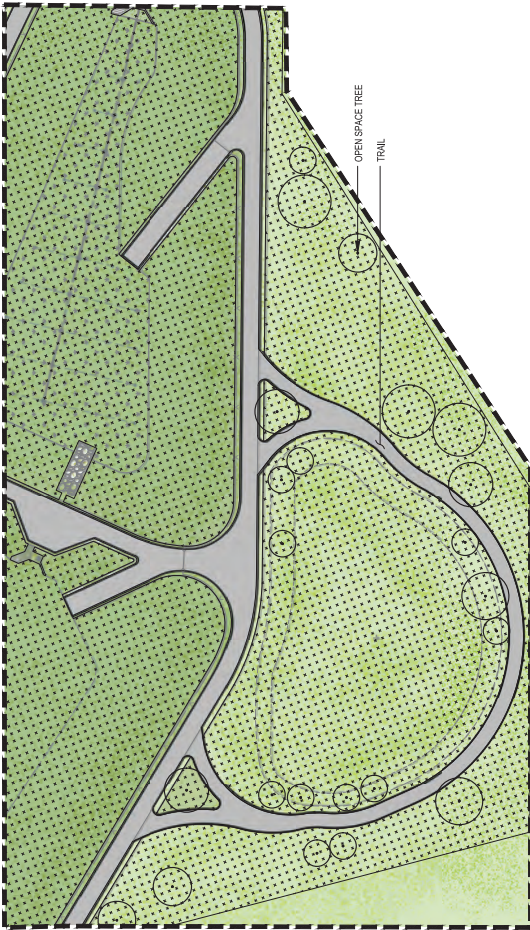
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	△	△	9876543210
	△	△	CAD DWG FILE: 9876543210.GLANDSCAPER.ANDONOR.DWG
	△	△	DRAWN BY:
	△	△	CHECKED BY:
	△	△	DATE:
	△	△	MAY 14, 2005
	△	△	SHEET SCALE
	△	△	1" = 20'
	△	△	RHH

L5



NOTES:
 1. SEE SHEET L7 FOR PLANTING LEGEND AND NOTES.
 2. SEE SHEET L8 FOR PLANTING DETAILS AND SPECIFICATIONS.

TREE LEGEND	SYMBOL
ARBUTUS MARINA	ARB MAR
QUERCUS BILBOA	QNB BLB
LAGERSTROEMIA INDICA	LAG IND
MAGNOLIA GRANDIFLORA 'BISSET'	MAG GRA
PISTACHIA CHINENSIS	PIS CHI
PLATANUS ACERIFOLIA 'COLUMBIA'	PLA ACE
PLA XXX	PLA XXX
PRUNUS CERASIFERA	PRU CER
PRUNUS CALLENYANA	PRU CAL
QUERCUS AGROFOLIA	QUE AGR
QUERCUS COCCINEA	QUE COC
QUERCUS LOGATA	QUE LOG
GROUND COVER LEGEND	SYMBOL
NATIVE GRASS SEED MIX	[Symbol]



OPEN SPACE ENLARGEMENT



CONCEPT IMAGES

PROMENADE AT SAND CREEK - DESIGN REVIEW

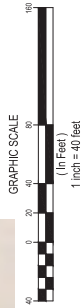
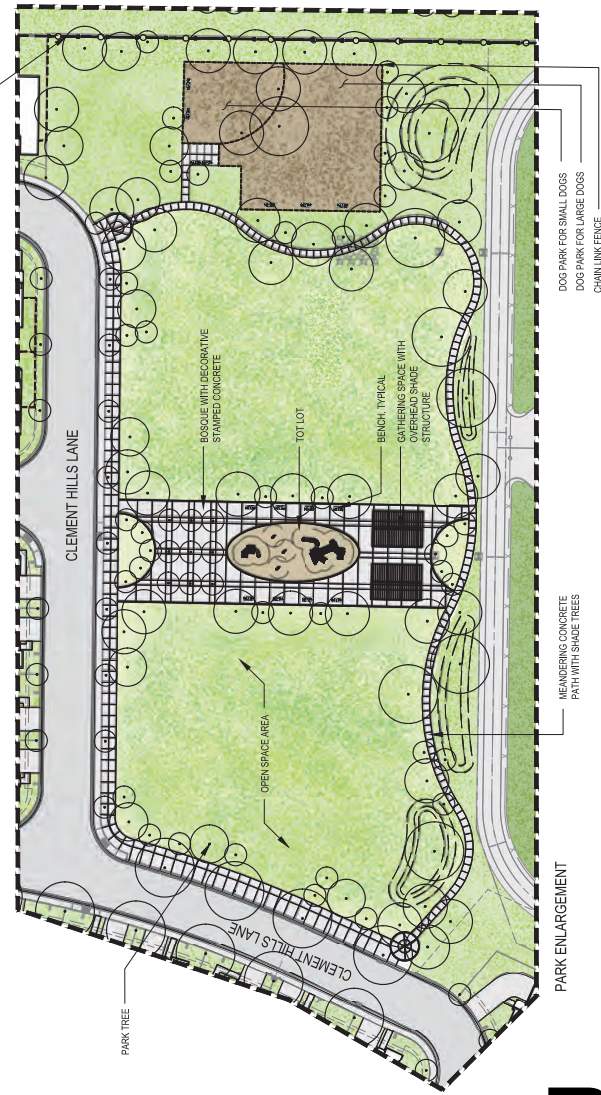
TRI-POINTE HOMES
 ANTIOCH, CA

NO.	DATE	DESCRIPTION
1	08/10/20	PRELIMINARY
2	08/10/20	DESIGN REVIEW
3	08/10/20	FINAL
4	08/10/20	CONSTRUCTION
5	08/10/20	AS BUILT

OPEN SPACE AND PARK ENLARGEMENT

L6

CONCEPT IMAGES



SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	HWT	WUCCOLS
TREES						
ACE RUB		ACER RUBRUM RESPONDE	RESPONDE RED MAPLE	24" BOX	45X307	M
GIN BIL		GINKGO BILoba SARATOGA	SARATOGA LAMENHART TREE	24" BOX	50X307	M
LAG IND		LAGERSTROMIA INDICA TUSCARORA	CRAPPE MYRTLE	24" BOX	15X115	L
OLE EUR		OLEA EUROPAEA SWAN HILL	SWAN HILL OLIVE	24" BOX	25X205	VL
PRIS CHI		PRISTIA CHINENSIS KETH DAVEY	KETH DAVEY CHINESE HSTACHE	24" BOX	30X307	L
PLA HAS		PLATANUS X HISPANICA COLUMBIA	LONDON PLANE TREE	24" BOX	50X307	M
PRUCER		PRUNUS CERASIFERA KWALTER VESUVIUS	PURPLE LEAF PLUM	24" BOX	20X115	M
PRY CHA		PYRUS CALLERYANA CHANTICLEER	CHANTICLEER PEAR	24" BOX	30X115	M
QUE COC		QUERCUS COCOTEA	SCARLET OAK	24" BOX	50X467	M
SCH MOL		SCHINUS MOLLE	CALIFORNIA PEPPER	24" BOX	30X307	L
SHRUBS						

PROMENADE
D CREEK - DESIGN
TRI-POINTE HOMES
ANTIOCH, CA

[illegible]

PLANT PALETTE

Plant Name	Quantity	Unit
NANDINA DOMESTICA 'PREPOWER'	5 GALLON	2' X 2'
FIREPOWER HEAVENLY BAMBOO	1 GALLON	2' X 2'
CATMINT	1 GALLON	2' X 2'
NEPETA X FASSEMI WALKERS LOW	1 GALLON	2' X 2'
PEINSTEON HETEROPHYLUS MARGARITA BOY	1 GALLON	2' X 2'

PLANTING PLAN NOTES

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL PLANT MATERIAL AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, STRUCTURAL IMPROVEMENTS AND HARDSCAPE SHALL BE INSTALLED PRIOR TO PLANTING OPERATIONS.

PLANT LIST ON THE DRAWINGS SHALL BE USED AS A GUIDE ONLY. CONTRACTOR SHALL TAKEOFF AND VERIFY SIZES AND QUANTITIES BY PLAN CHECK.

A SOIL MANAGEMENT REPORT SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AND SOIL AMENDMENTS SHALL BE FOLLOWED PER THE REPORT. PHYSICAL COPIES OF THE SOIL MANAGEMENT REPORT SHALL BE PROVIDED TO THE CLIENT, PROJECT LANDSCAPE ARCHITECT AND LOCAL AGENCY AS REQUIRED. THE SOIL MANAGEMENT REPORT SHALL CONFORM TO STATE AB1881 WATER EFFICIENT LANDSCAPE ORDNANCE (WELCO) OR LOCAL AGENCY ADOPTED WELCO. CONTRACTOR SHALL OBTAIN A SOIL MANAGEMENT REPORT AFTER GRADING OPERATIONS AND PRIOR TO PLANT INSTALLATION.

SAMPLES OF FERTILIZERS, ORGANIC AMENDMENT, SOIL CONDITIONERS, AND SEED SHALL BE SUBMITTED PRIOR TO INCORPORATION. CONTRACTOR SHALL FURNISH TO THE OWNER'S AUTHORIZED REPRESENTATIVE A CERTIFICATE OF COMPLIANCE FOR SUCH FURNISHED MATERIALS.

ALL WORK ON THE IRRIGATION SYSTEM, INCLUDING HYDROSTATIC, COVERAGE, AND OPERATIONAL TESTS AND THE BACKFILLING AND COMPACTION OF TRENCHES SHALL BE PERFORMED PRIOR TO PLANTING OPERATIONS.

LOCATIONS OF PLANT MATERIAL SHALL BE REVIEWED ON SITE BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.

TREES SHALL BE PLANTED NO CLOSER THAN TEN FEET (10') FROM UTILITIES.

TREES PLANTED WITHIN FIVE FEET (5') OF HARDSCAPE OR STRUCTURES SHALL BE INSTALLED WITH A ROOT BARRIER AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

CONTRACTOR MUST CONTACT THE CITY OF ANTIOCH ARBORIST TO VERIFY SPECIES (EVEN IF SHOWN ON THE PLANS), LOCATIONS, AND QUANTITIES OF ALL STREET TREES PRIOR TO ORDERING MATERIAL. IF STREET TREES ARE TO BE PLANTED IN TREE WELL, FINAL LOCATION OF TREE WELLS SHALL BE DETERMINED BY THE ARBORIST PRIOR TO

ALL PLANTING AREAS TO RECEIVE 3" THICK BARK MULCH LAYER. CONTRACTOR SHALL PROVIDE SAMPLE OF PROPOSED BARK MULCH FOR APPROVAL. BARK MULCH SHALL BE LYNRSO SMALL FIB BARK (3/4" TO 1-1/2") OR APPROVED EQUAL.

ALL PLANT MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1)

FOR STANDARD FORM TREES, CALIPER SIZE SHALL BE MEASURED 6" ABOVE THE SOIL LINE FOR CALIPERS EQUAL TO OR LESS THAN 4" FOR CALIPERS GREATER THAN 4" CALIPER SHALL BE MEASURES 12" ABOVE THE SOIL LINE. FOR MULTI-TRUNK TREES THE CALIPER SHALL BE ESTABLISHED BY TAKING THE AVERAGE OF THE CALIPER OF THE TWO LARGEST TRUNKS.

LARGEST TRUNKS.
CALIPER IS MEASURED 6" ABOVE ORIGIN POINT OF THE SECOND LARGEST TRUNK OR 6" ABOVE GROUND IF ALL TRUNKS ORIGINATE FROM THE SOIL.

CALIPER SIZES STANDARDS:

15 GALLON: 0.75-1.25"

24" BOX: 1.25-2"

36" BOX: 2-3.5"

48" BOX: 3.5-5"

60" BOX: 4-6"

WATER NEEDS CATEGORY BASED ON WUCOLS IV (JANUARY 2014) LANDSCAPE COEFFICIENT METHOD:

CATEGORY	PERCENTAGE OF ET0
1	0.00
2	0.00
3	0.00
4	0.00
5	0.00
6	0.00
7	0.00
8	0.00
9	0.00
10	0.00
11	0.00
12	0.00
13	0.00
14	0.00
15	0.00
16	0.00
17	0.00
18	0.00
19	0.00
20	0.00
21	0.00
22	0.00
23	0.00
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27	0.00
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85	0.00
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87	0.00
88	0.00
89	0.00
90	0.00
91	0.00
92	0.00
93	0.00
94	0.00
95	0.00
96	0.00
97	0.00
98	0.00
99	0.00
100	0.00

(H) HIGH: 0.7-0.9

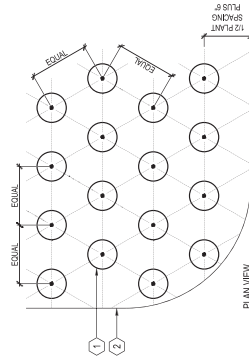
(M) MEDIUM: 0.4-0.6

(L) LOW: 0.1-0.3

(MV) VERY LOW: <0.1

NOTES: 1 PLANT, SPACING VARIES. SEE

1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
2. SPACING SHALL BE TRIANGULATED UNLESS OTHERWISE NOTED.
3. INFILL PLANTS AS REQUIRED TO MAINTAIN SPACING AT IRREGULAR EDGES.



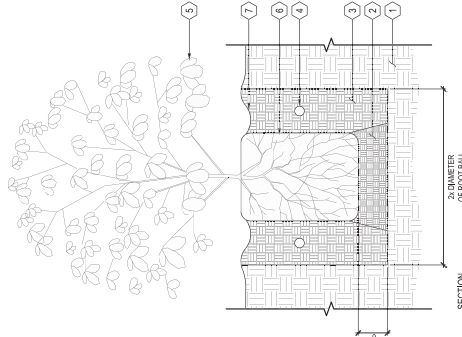
PLAN VIEW

 GROUNDCOVER

SCALE: 1" = 1'-0"

NOTES:

1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF ROOT BALL GROWN SHALL EXTEND 1' ABOVE FINISH GRADE.
2. BACKFILL PUDDLE AND SETTLE PRIOR TO PLANTING
3. AGRICULTURAL TABLETS, 3 PER SHRUB
4. SHRUB
5. ROOT BALL
6. DEEP BASIN AROUND
7. NATIVE GRADE
8. FOOT AMP BASE



B SHRUB
SCALE: 1" = 1'-0"

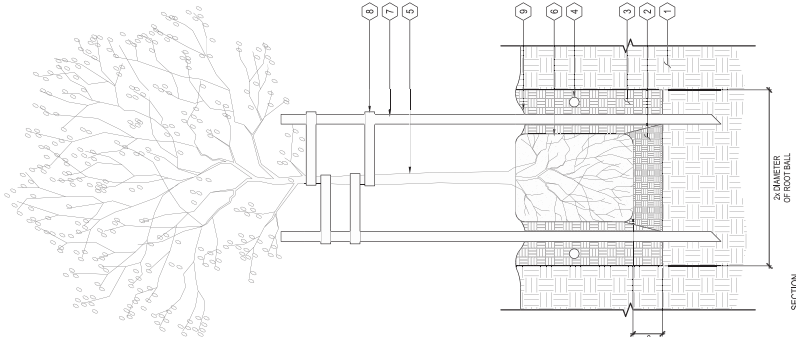
SCALE: 1" = 1'-0"

A TREE
SCALE: 1" =

SCALE: 1" = 1'-0"

NOTES:


1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
2. ROOT BALL CROWN SHALL EXTEND 1" ABOVE FINISH GRADE.
3. TREE INSTALLED IN TURF AREAS SHALL BE INSTALLED WITH 'ARBOR-GUARD' AT BASE OF TRUNK.



PLANTING DETAILS AND NOTES

CC

**PROMENADE AT
SAND CREEK - DESIGN REVIEW**
TRI-POINTE HOMES
ANTIOCH, CA



Land Use Entitlements
Land Planning
Landscape Architecture
Civil Engineering
Utility Design
Land Surveying
Stormwater Compliance

1570 Oakland Road
San Jose, CA 95131
(408) 487-2200
hnh@a.com

tri pointe
HOMES

PLANNING:593100CL-PLANT PALETTE.DWG





CHAIN LINK FENCE - color black

CHAIN LINK FENCE

- NOTES:
1. ALL WOOD SHALL BE CONSTRUCTION GRADE REDWOOD EXCEPT AS NOTED
2. SEE MATERIALS LIST FOR COLOR TYPE AND FINISH.

1

2X4 CAP

2

NATIVE GRADE OR CERTIFIED COMPACTED SUBGRADE

3

1/2" BOARDS WITH 1" OVERLAP

4

4X4 PRESSURE TREATED POST @ 8'-0"

5

2X4 STRINGER S.C. MAXIMUM

6

2X6 KICK BOARD

7

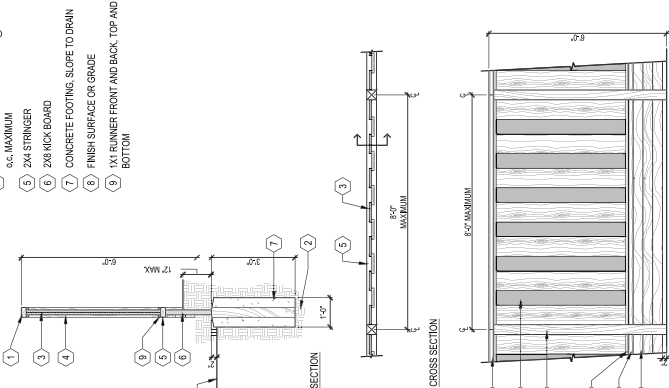
CONCRETE FOOTING, SLOPE TO DRAIN

8

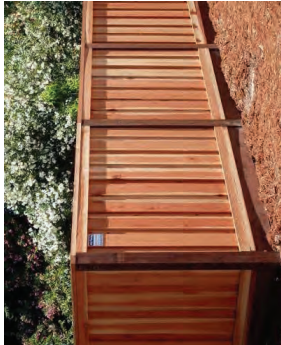
FINISH SURFACE OR GRADE

9

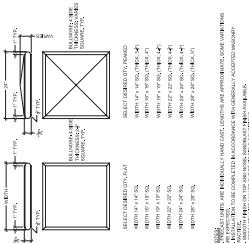
1X1 RUNNER FRONT AND BACK, TOP AND BOTTOM



GOOD NEIGHBOR FENCE
SCALE: 1/2"=1'-0"



GOOD NEIGHBOR FENCE



CLASSIC PILASTER CAP SIZES: FLAT AND PEAKED
PILASTER CAP:
Stepstone Inc. Classic Pilaster Cap
Color: Almond

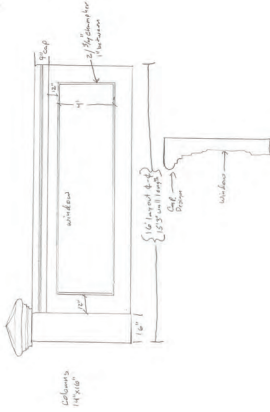


PILASTER:
Veneer - Eldorado Stone Tundrabrick
Latigo



METAL FENCE: 6' tall Ameristar Montage Majestic fence in black

6' TALL METAL FENCE WITH PILASTERS



Wall elevation sketch provided by American Precast



6' TALL PRECAST WALL: American Precast shall match perimeter wall in Phase 1-3

6' TALL PRECAST WALL

PROMENADE 45x80 LOTS

ANTIOCH, CALIFORNIA



PLAN 1D - FARMHOUSE

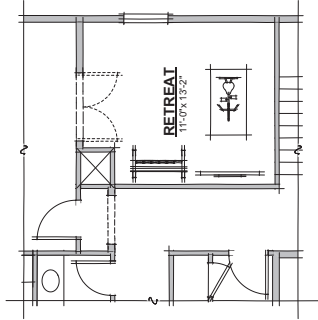
PLAN 2B - COTTAGE

PLAN 3C - CRAFTSMAN

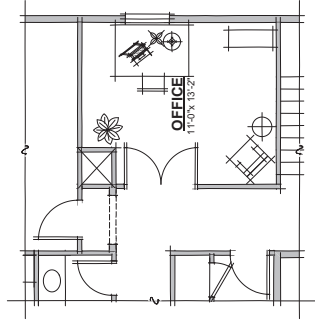
PLAN 4A - RANCH

HANES VALLEY LANE

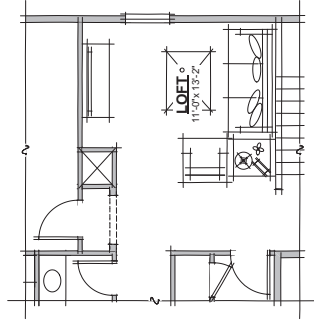
SHEET INDEX				
T-1	45 x 80 STREETSCENE W/ SHEET INDEX	PLAN 1 - FLOOR PLAN PLAN 1 - ELEVATION A (RANCH) PLAN 1 - ELEVATION B (COTTAGE) PLAN 1 - ELEVATION C (CRAFTSMAN) PLAN 1 - ELEVATION D (FARMHOUSE)	PLAN 2 - FLOOR PLAN PLAN 2 - ELEVATION A (RANCH) PLAN 2 - ELEVATION B (COTTAGE) PLAN 2 - ELEVATION C (CRAFTSMAN) PLAN 2 - ELEVATION D (FARMHOUSE)	PLAN 3 - FLOOR PLAN PLAN 3 - ELEVATION A (RANCH) PLAN 3 - ELEVATION B (COTTAGE) PLAN 3 - ELEVATION C (CRAFTSMAN) PLAN 3 - ELEVATION D (FARMHOUSE)
T-2	50 x 90 STREETSCENE W/ SHEET INDEX	PLAN 1 - FLOOR PLAN PLAN 1 - ELEVATION A (RANCH) PLAN 1 - ELEVATION B (COTTAGE) PLAN 1 - ELEVATION C (CRAFTSMAN) PLAN 1 - ELEVATION D (FARMHOUSE)	PLAN 2 - FLOOR PLAN PLAN 2 - ELEVATION A (RANCH) PLAN 2 - ELEVATION B (COTTAGE) PLAN 2 - ELEVATION C (CRAFTSMAN) PLAN 2 - ELEVATION D (FARMHOUSE)	PLAN 3 - FLOOR PLAN PLAN 3 - ELEVATION A (RANCH) PLAN 3 - ELEVATION B (COTTAGE) PLAN 3 - ELEVATION C (CRAFTSMAN) PLAN 3 - ELEVATION D (FARMHOUSE)



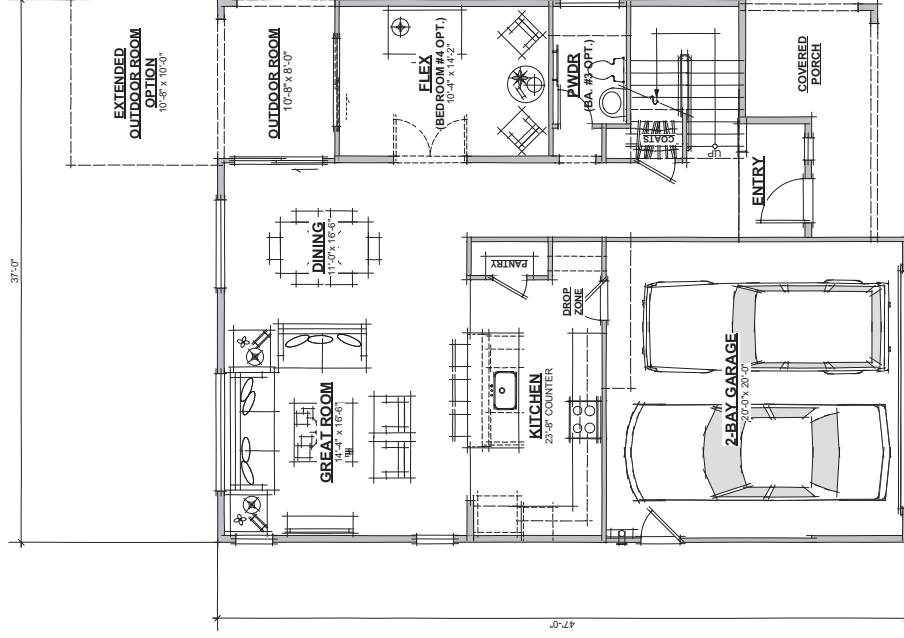
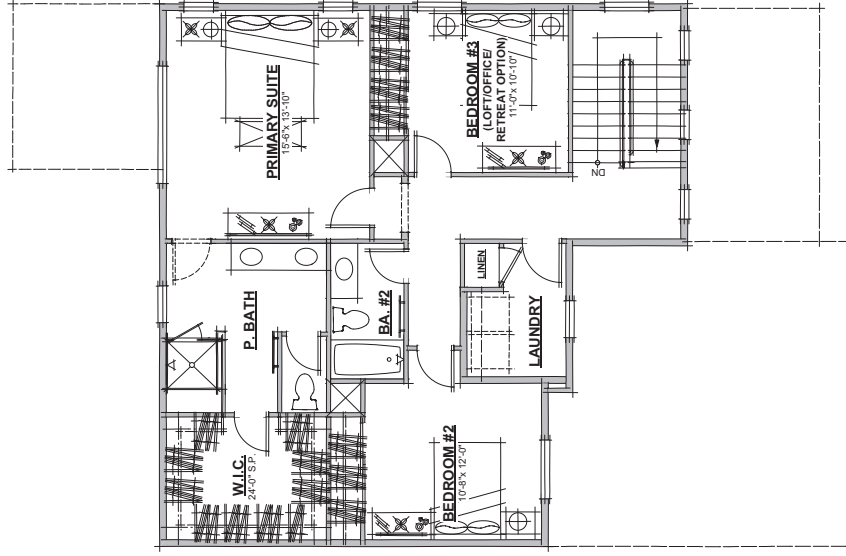
RETREAT OPTION



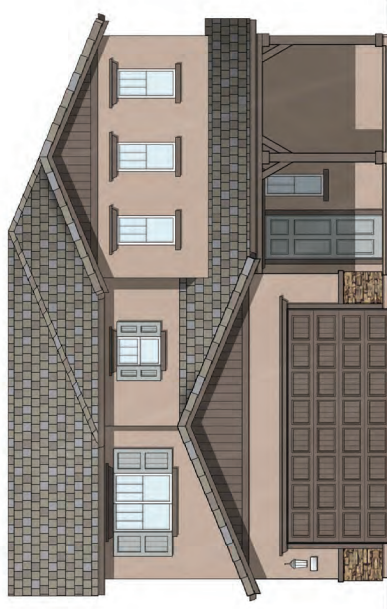
OFFICE OPTION



LOFT OPTION

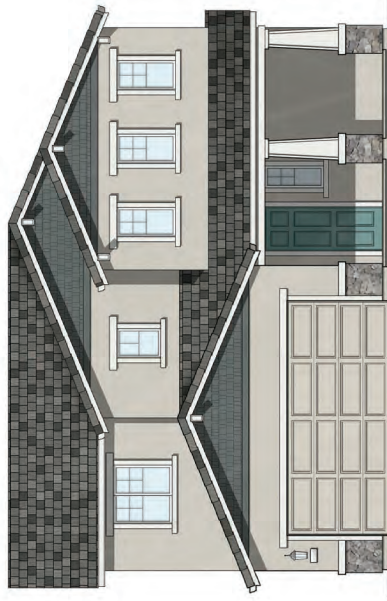


BEDROOM #4/
BATH #3 OPTION



FRONT ELEVATION "B"
(COTTAGE)

SCHEME 6



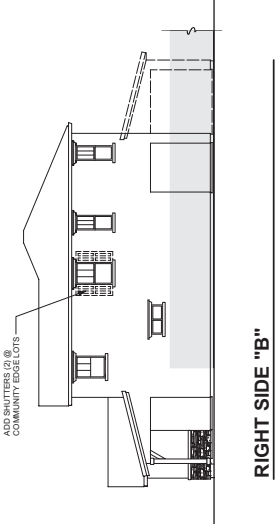
FRONT ELEVATION "C"
(CRAFTSMAN)

SCHEME 7

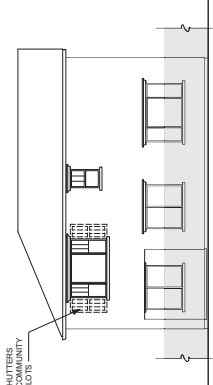


FRONT ELEVATION "D"
(FARMHOUSE)

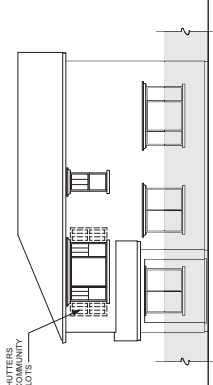
SCHEME 12



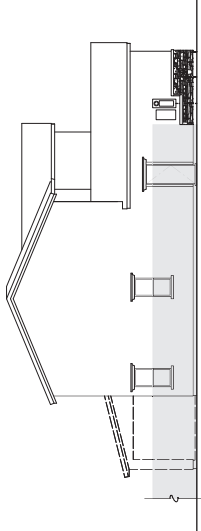
RIGHT SIDE "B"



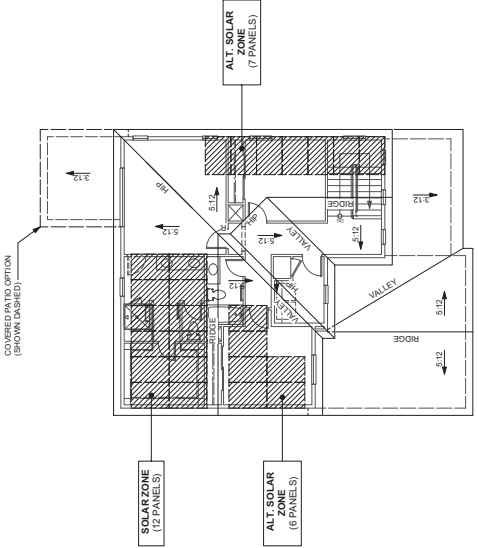
REAR "B"



REAR "B"
(COVERED PATIO OPTION)

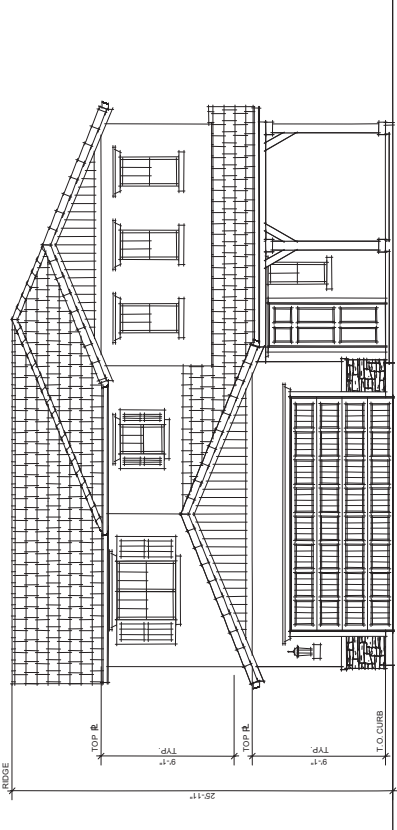


LEFT SIDE "B"



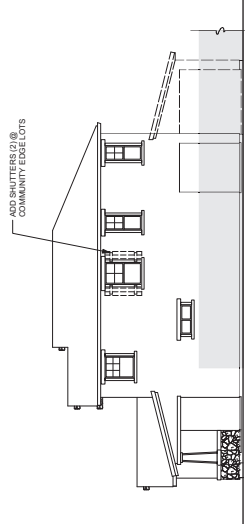
ROOF PLAN "B"

COTTAGE THEMES	
ROOF	<ul style="list-style-type: none"> • GABLE & HIP ROOFS • GABLETILE, SLATE, PROFILE ROOFING • GABLETILE, SLATE, PROFILE ROOFING • GABLETILE, SLATE, PROFILE ROOFING • 12" OVERHANGS, TYP. (U.O.N.)
SIDING	<ul style="list-style-type: none"> • STUCCO SIDING • MANUFACTURED STONE VENEER (WHERE OCCURS) • VERTICAL GROOVE PANEL SIDING @ CABLE ENDS (WHERE OCCURS)
TRIM	<ul style="list-style-type: none"> • STUCCO OVER FOAM TRIM
ENHANCEMENTS	<ul style="list-style-type: none"> • WINDOW GRIDS ON STREET FACADES & SECOND FLOOR WINDOWS • DECORATIVE POSTS AT ENTRY (WHERE OCCURS) • DECORATIVE RECESSED PANEL SHUTTERS
ENHANCED ELEVATIONS	<ul style="list-style-type: none"> • REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED

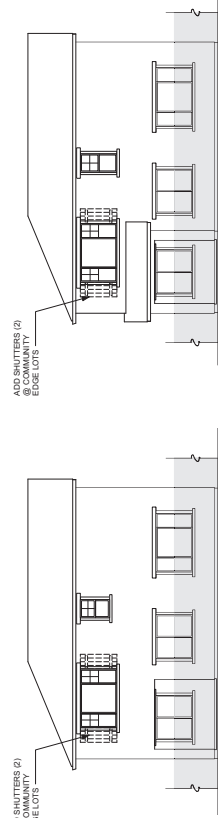


FRONT ELEVATION "B"
(COTTAGE)

PLAN 1 PROMENADE 45X80 LOTS Antioch, California

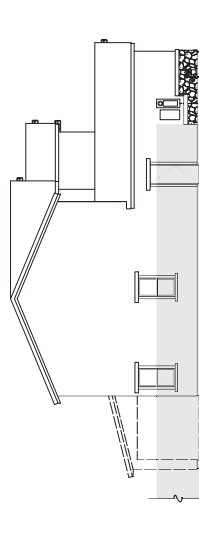


RIGHT SIDE "C"

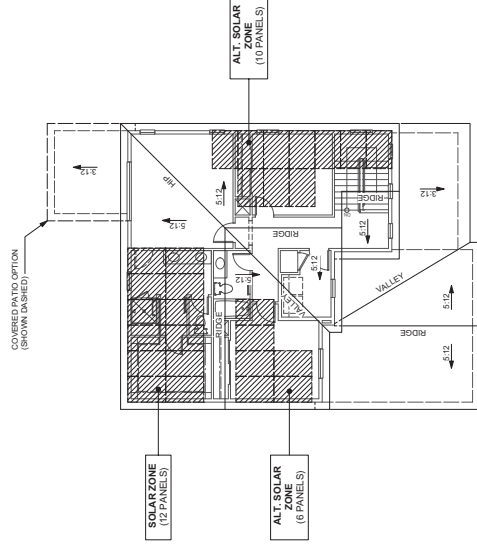


REAR "C"

REAR "C"
(COVERED PATIO OPTION)



LEFT SIDE "C"



ROOF PLAN "C"

CRAFTSMAN THEME

ROOF

- GABLE ROOFS
- ROOFERS "SHAKE" ROOFING
- OGBE GUTTERS
- 12" OVERHANGS, TYP. (U.O.N.)

SIDING

- STUCCO SIDING
- SHINGLE SIDING (WHERE OCCURS)
- MANUFACTURED STONE VENEER (WHERE OCCURS)

TRIM

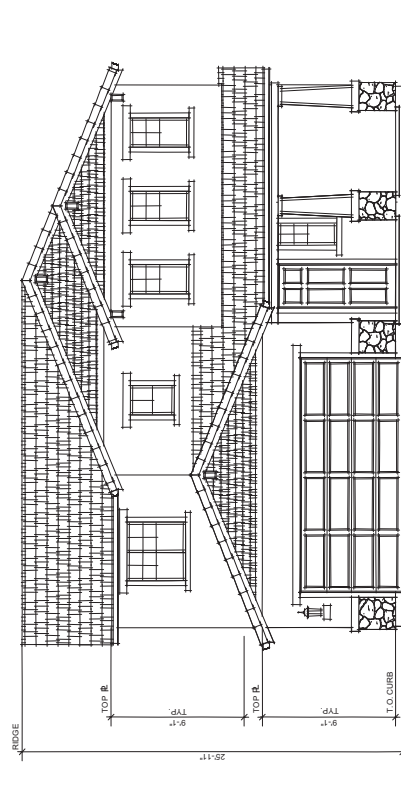
- STUCCO OVER FOAM TRIM

ENHANCEMENTS

- WINDOWN (END ON STREET FACADES)
- BATTERED COLUMNS AT ENTRY (WHERE OCCURS)
- DECORATIVE PLANK & BATTEN SHUTTERS
- ENHANCED GABLE END SHINGLE SIDING
- OUTLOOKERS @ RAKES (WHERE OCCURS)
- ACCENT PAINTED FRONT DOORS
- THEME SPECIFIC GARAGE DOORS

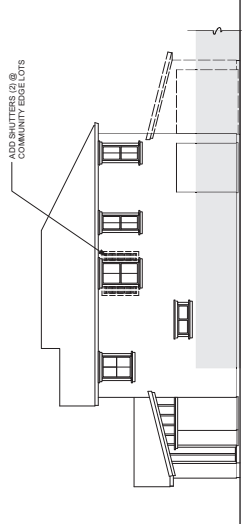
ENHANCED ELEVATIONS

- REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED

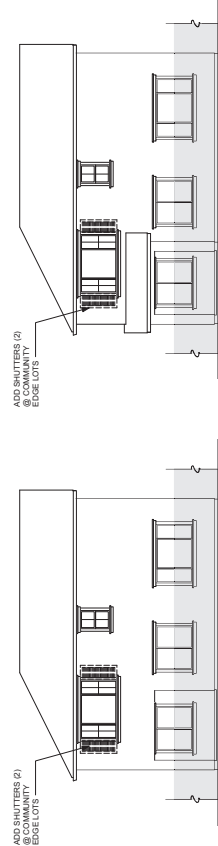


FRONT ELEVATION "C"
(CRAFTSMAN)

PLAN 1 PROMENADE 45X80 LOTS Antioch, California

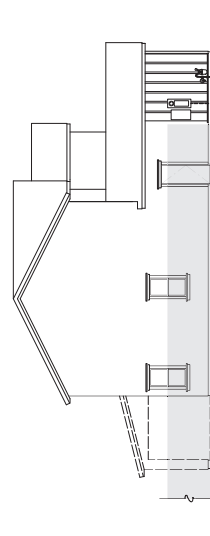


RIGHT SIDE "D"

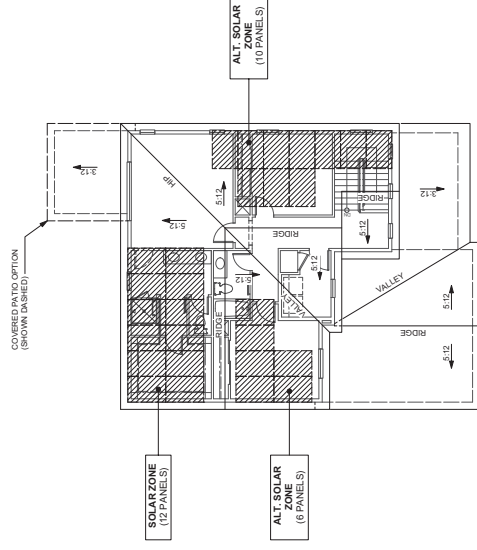


REAR "D"

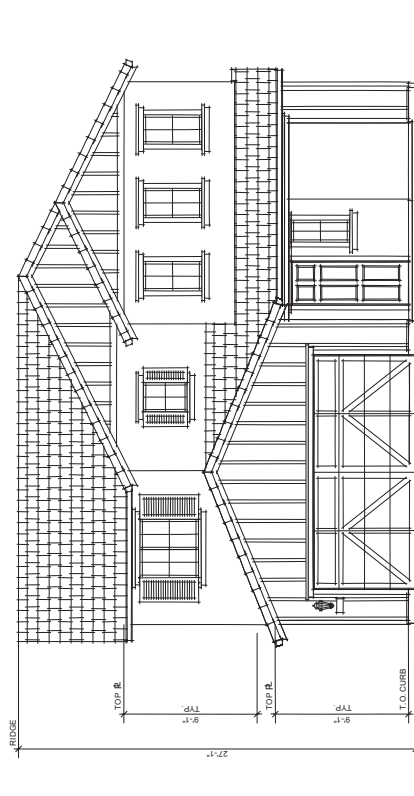
REAR "D"
(COVERED PATIO OPTION)



LEFT SIDE "D"



ROOF PLAN "D"



FRONT ELEVATION "D"
(FARMHOUSE)

FARMHOUSE THEMES

ROOF

- GABLE & HIP ROOFS
- GABLETILE, SLATE* PROFILE ROOFING
- GABLE GUTTERS
- 12" OVERHANGS, TYP. (U.O.N.)

SIDING

- STUCCO SIDING
- BOARD & BATT SIDING (WHERE OCCURS)

TRIM

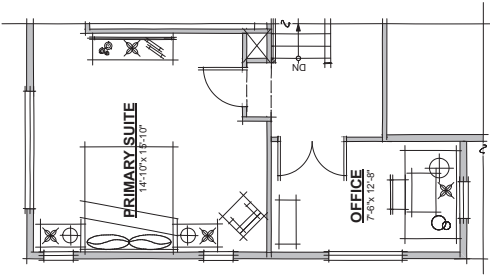
- STUCCO OVER FOAM TRIM
- WOOD TRIM AT BOARD & BATT SIDING

EXTERIOR MATERIALS

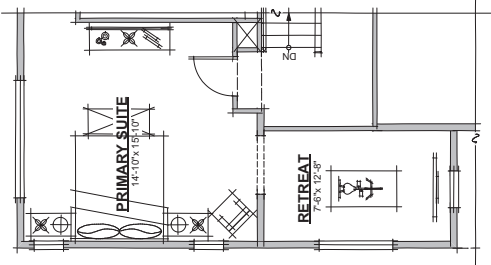
- STUCCO FACES ON STREET FACADES & SIDE ELEVATIONS (WHERE OCCURS)
- STUCCO WAINSCOT (WHERE OCCURS)
- DECORATIVE LOUVERED SHUTTERS
- ACCENT PAINTED FRONT DOORS
- THEME SPECIFIC GARAGE DOORS

ENHANCED ELEVATIONS

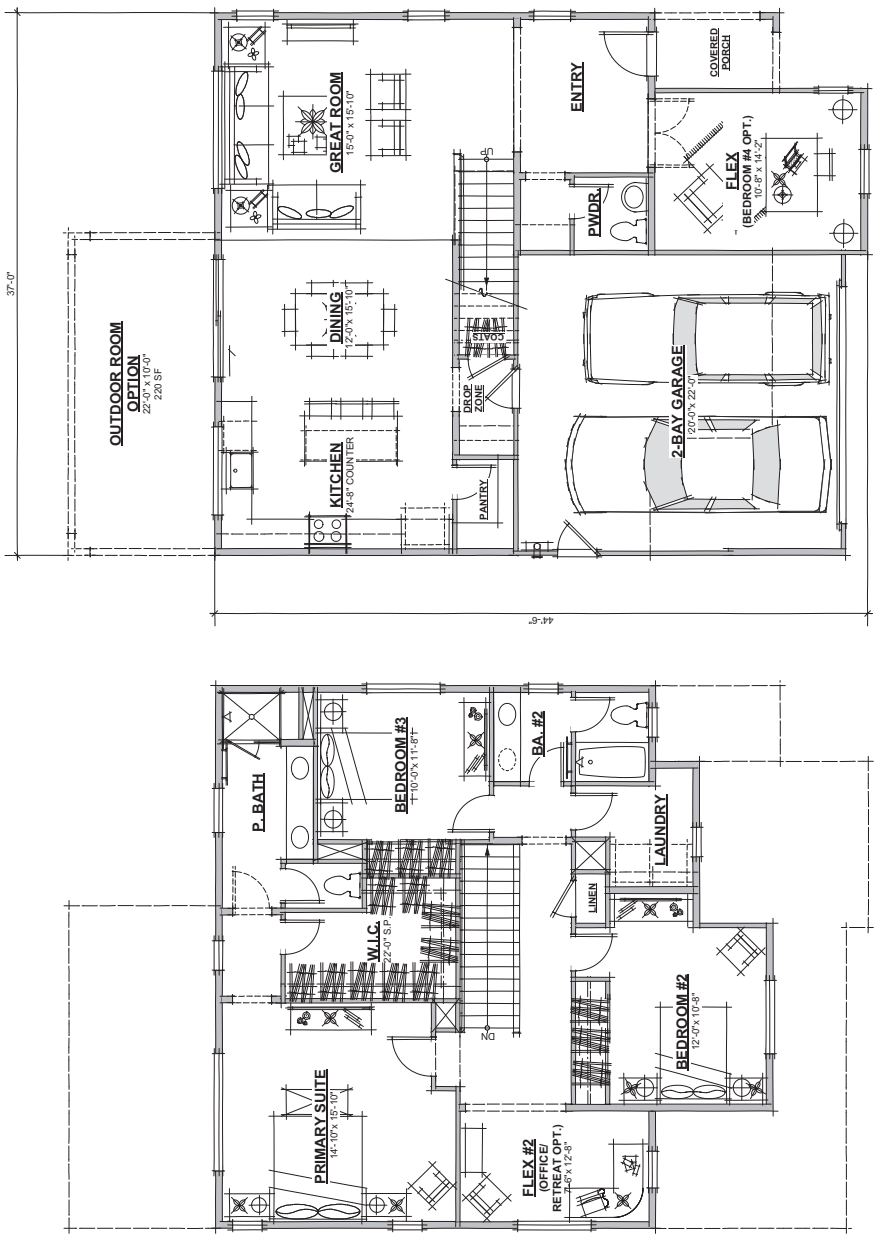
- REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED



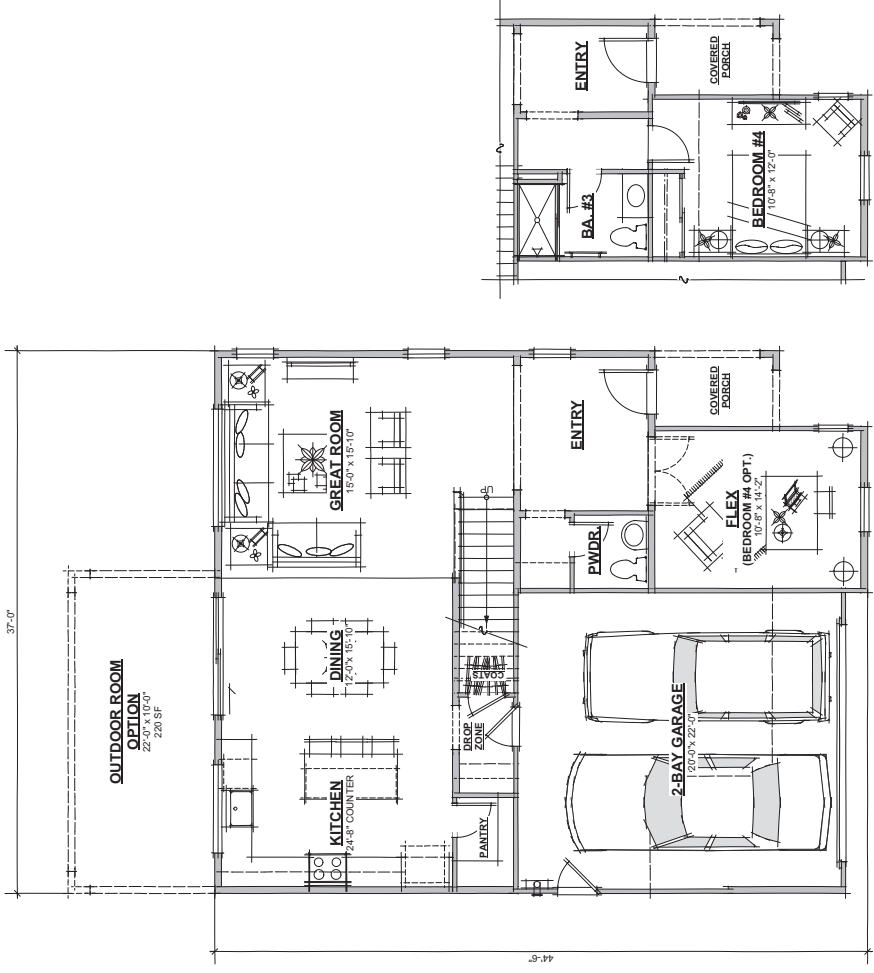
OFFICE OPTION



RETREAT OPTION



SECOND FLOOR PLAN (1199 S.F.)



FIRST FLOOR PLAN (1083 S.F.; 2282 TOTAL S.F.)

BEDROOM #4 / BA. 3 OPTION



PLAN 2 (237.2282)
PROMENADE 45X80 LOTS
 Antioch, California

PLAN 2
PROMENADE 45X80 LOTS
Antioch, California



FRONT ELEVATION "A"
(RANCH)

SCHEME 1



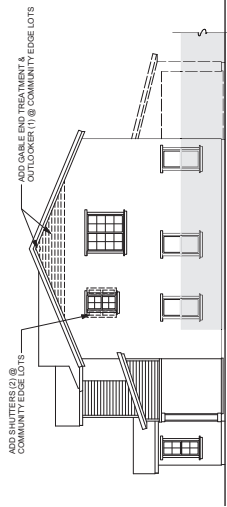
FRONT ELEVATION "B"
(COTTAGE)

SCHEME 5

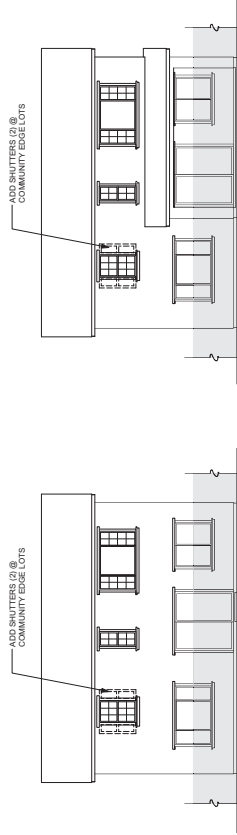


FRONT ELEVATION "D"
(FARMHOUSE)

SCHEME 11

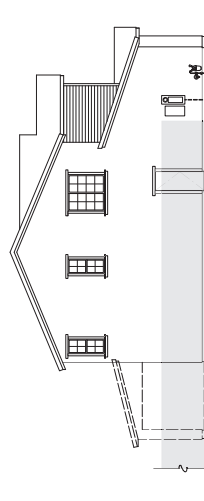


RIGHT SIDE "A"

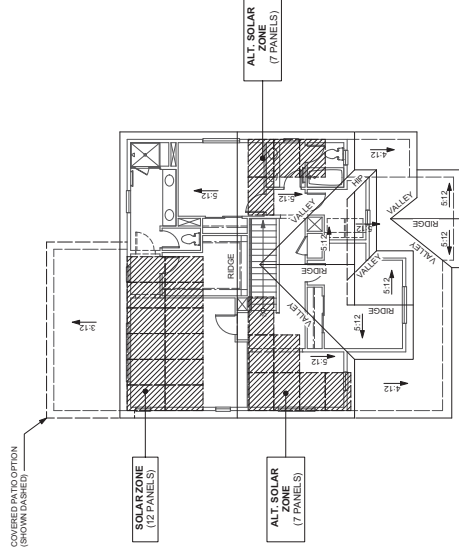


REAR "A"

REAR "A"
(COVERED PATIO OPTION)



LEFT SIDE "A"



ROOF PLAN "A"

RANCH THEMES

ROOF

- GABLE & HIP ROOFS
- CORRUGATED TILE "SHAKE" PROFILE ROOFING
- OGGY GUTTERS
- 12" OVERHANGS, TYP. (U.O.N.)

SIDING

- STUCCO SIDING
- HORIZONTAL LAP SIDING (WHERE OCCURS)

TRIM

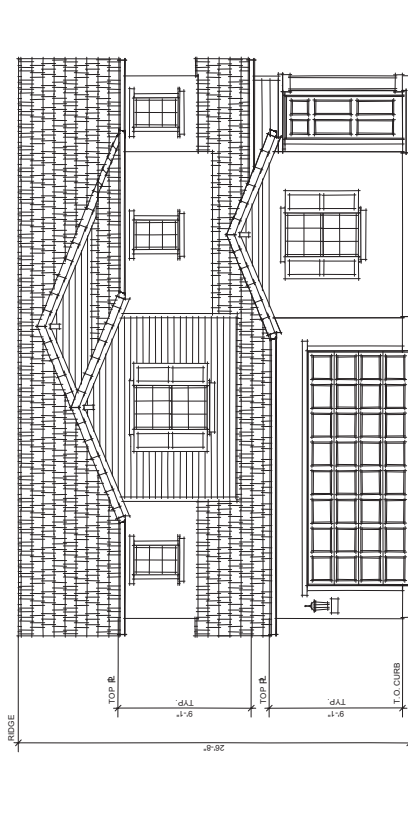
- STUCCO OVER FOAM TRIM
- WOOD TRIM AT LAP SIDING

FEATURES

- FINISH FIELDS ON STREET FACADES & SECOND FLOOR WINDOWS
- DECORATIVE ENTRY POSTS (WHERE OCCURS)
- DECORATIVE RECESSED PANEL SHUTTERS
- OUTLOOKERS AT RAKES (WHERE OCCURS)
- ACCENT PAINTED FRONT DOORS
- THEME SPECIFIC GARAGE DOORS

ENHANCED ELEVATIONS

- REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED



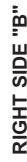
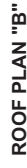
FRONT ELEVATION "A"
(RANCH)

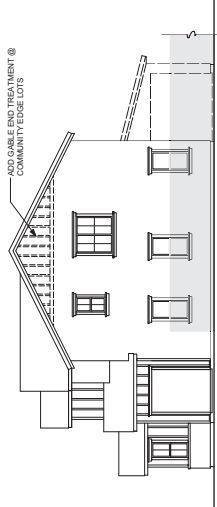
PLAN 2 PROMENADE 45X80 LOTS Antioch, California

tri pointe
HOMES

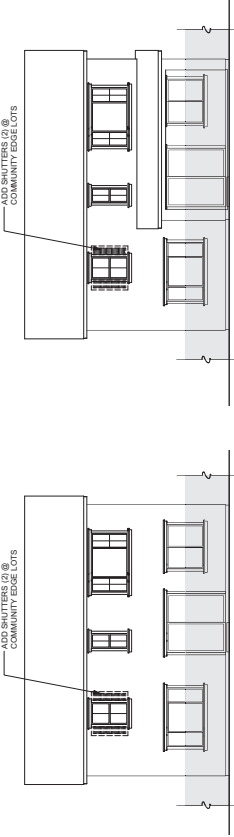
B28

- REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED



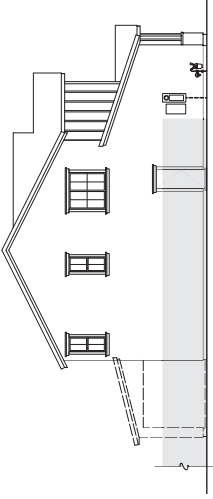


RIGHT SIDE "D"

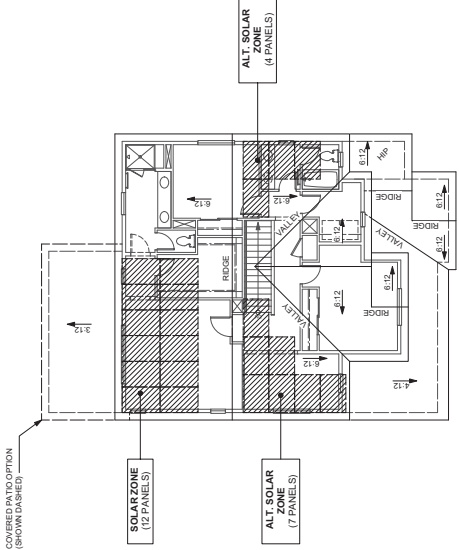


REAR "D"

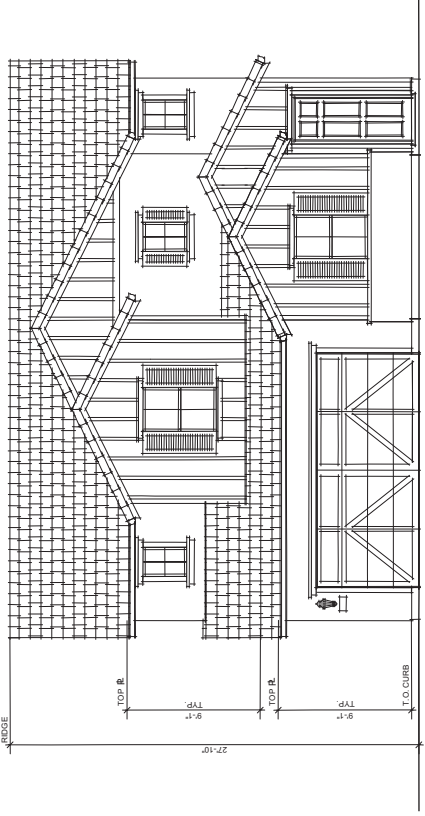
REAR "D"
(COVERED PATIO OPTION)



LEFT SIDE "D"

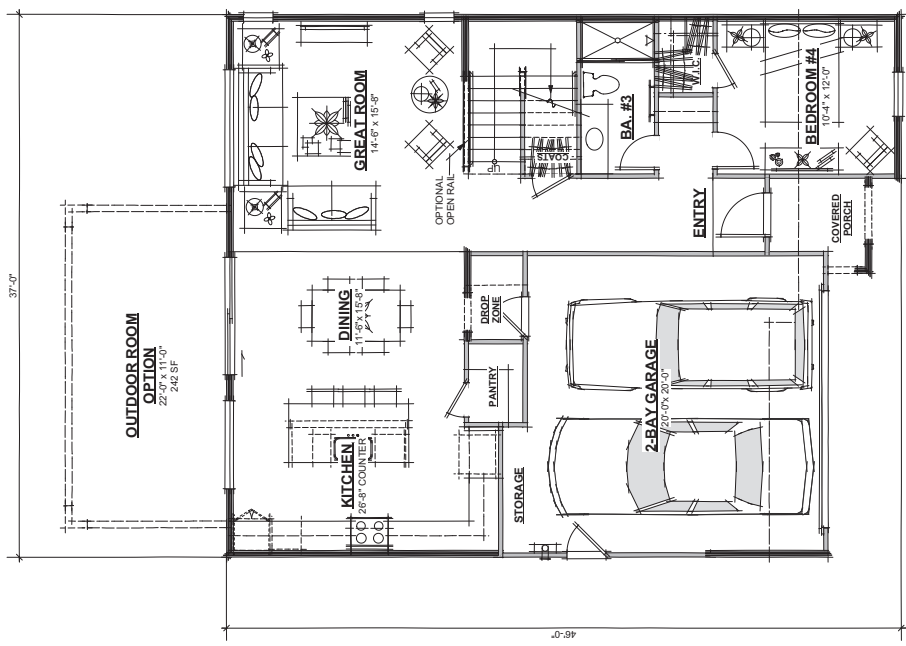


ROOF PLAN "D"

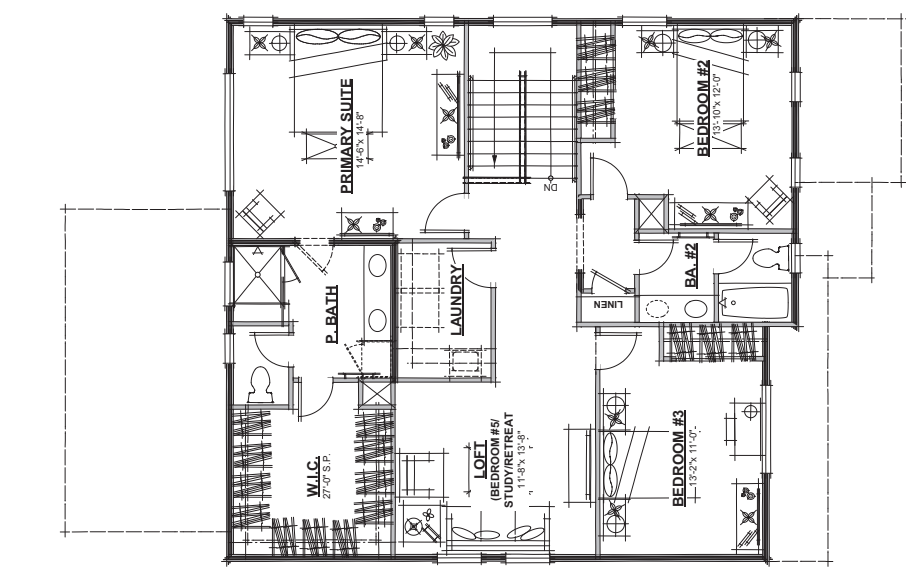


FRONT ELEVATION "D"
(FARMHOUSE)

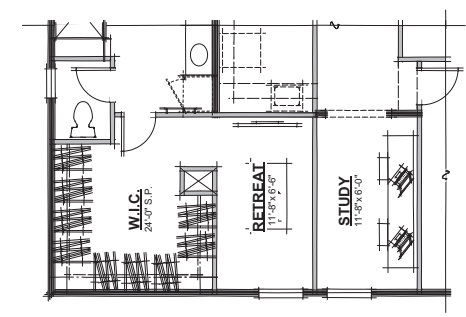
FARMHOUSE THEMES	
ROOF	<ul style="list-style-type: none"> GABLE & HIP ROOFS CONCRETE TILE "SLATE" PROFILE ROOFING ORBE GLUTTERS 12" OVERHANGS, TYP. (U.O.N.)
SIDING	<ul style="list-style-type: none"> STUCCO SIDING BOARD & BATT SIDING (WHERE OCCURS)
TRIM	<ul style="list-style-type: none"> STUCCO OVER FOAM TRIM WOOD TRIM AT BOARD & BATT SIDING
EXTERIOR MATERIALS	<ul style="list-style-type: none"> WOOD SIDING ON STREET FACADES & PORCHES STUCCO WAINSCOT (WHERE OCCURS) STUCCO WAINSCOT (WHERE OCCURS) DECORATIVE LOUVERED SHUTTERS ACCENT PAINTED FRONT DOORS THEME SPECIFIC GARAGE DOORS
ENHANCED ELEVATIONS	<ul style="list-style-type: none"> REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED



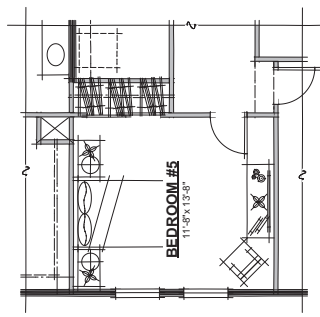
FIRST FLOOR PLAN (1116 S.F.; 2446 TOTAL S.F.)



SECOND FLOOR PLAN (1330 S.F.)



RETREAT / STUDY OPTION



BEDROOM #5 OPTION

PLAN 3 (237.2446)
PROMENADE 45X80 LOTS
 Antioch, California



B31



FRONT ELEVATION "A"
(RANCH)

SCHEME 3



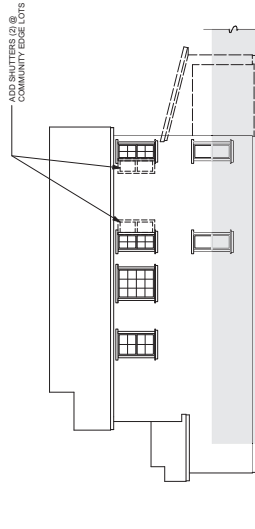
FRONT ELEVATION "C"
(CRAFTSMAN)

SCHEME 9

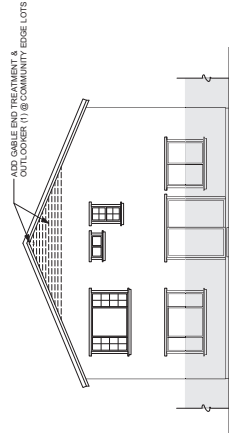


FRONT ELEVATION "D"
(FARMHOUSE)

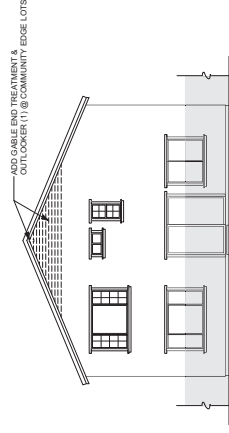
SCHEME 10



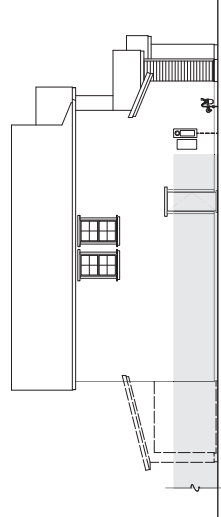
RIGHT SIDE "A"



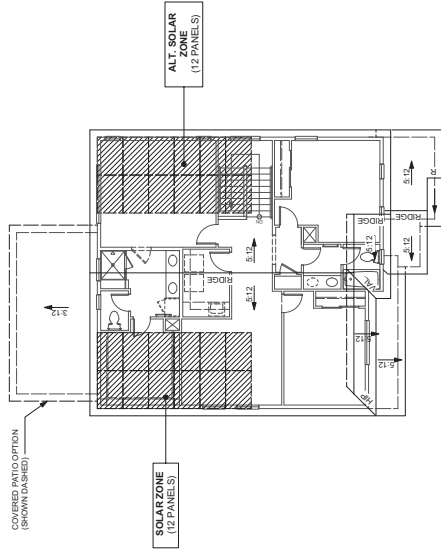
REAR "A"



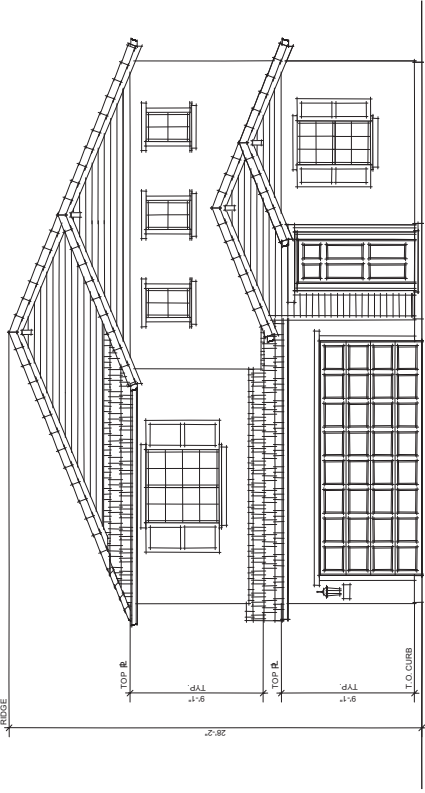
REAR "A"
(COVERED PATIO OPTION)



LEFT SIDE "A"

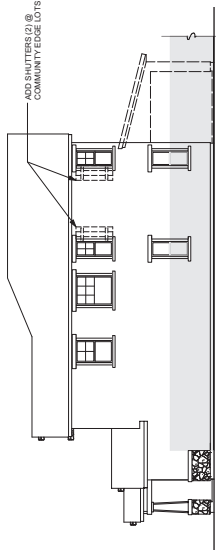


ROOF PLAN "A"

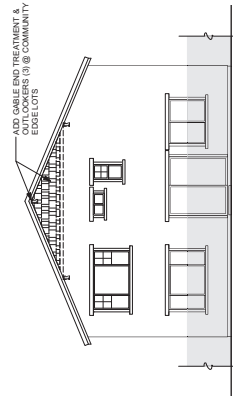


FRONT ELEVATION "A"
(RANCH)

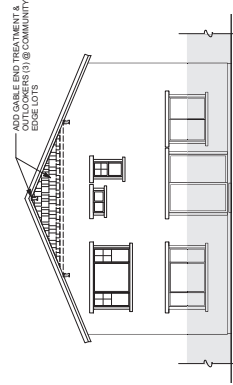
RANCH THEMES	
ROOF	<ul style="list-style-type: none"> GABLE & HIP ROOFS SHINGLE OR TILE "SHAKE" PROFILE ROOFING OOD GLUTTERS 12" OVERHANGS, TYP. (U.O.N.)
SIDING	<ul style="list-style-type: none"> STUCCO SIDING HORIZONTAL LAP SIDING (WHERE OCCURS)
TRIM	<ul style="list-style-type: none"> STUCCO OVER FOAM TRIM WOOD TRIM AT LAP SIDING
FEATURES	<ul style="list-style-type: none"> WINDSHIELDS ON STREET FACADES & SECOND FLOOR WINDOWS DECORATIVE ENTRY POSTS (WHERE OCCURS) DECORATIVE RECESSED PANEL SHUTTERS OUTLOOKERS AT RAKES (WHERE OCCURS) ACCENT PAINTED FRONT DOORS THEME SPECIFIC GARAGE DOORS
ENHANCED ELEVATIONS	<ul style="list-style-type: none"> REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED



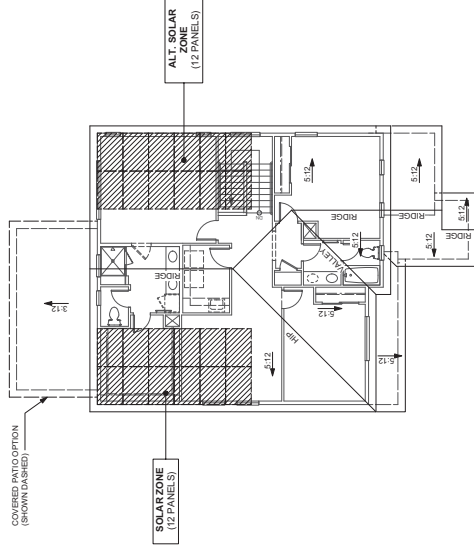
RIGHT SIDE "C"



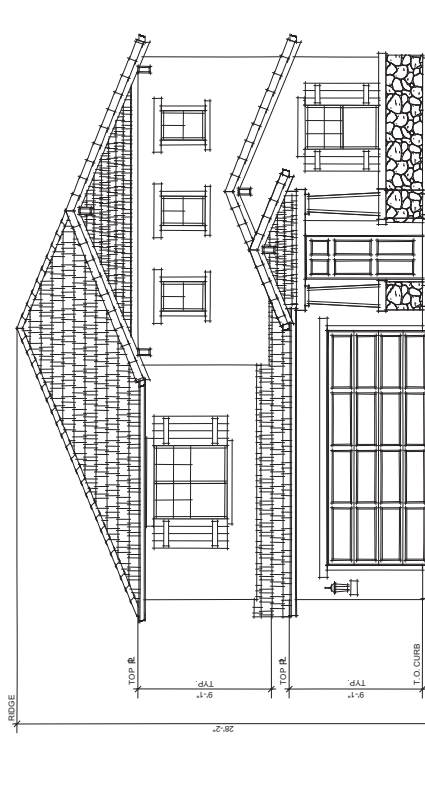
REAR "C"



REAR "C"
(COVERED PATIO OPTION)



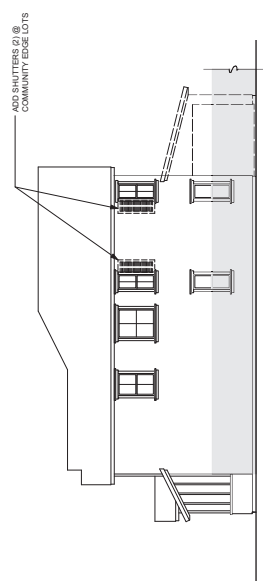
ROOF PLAN "C"



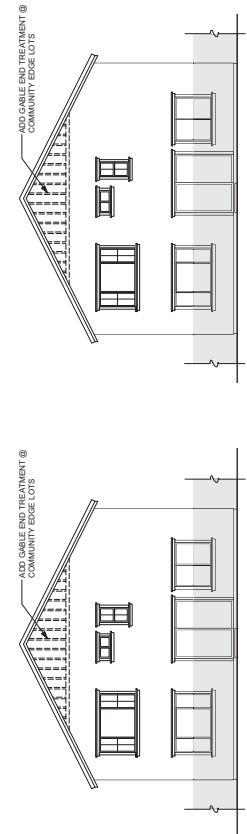
FRONT ELEVATION "C"
(CRAFTSMAN)

CRAFTSMAN THEME	
ROOF	<ul style="list-style-type: none">• GABLE ROOFS• GABLE "SHAKE" ROOFING• GABLE GUTTERS• 12" OVERHANGS, TYP. (U.O.N.)
SIDING	<ul style="list-style-type: none">• STUCCO SIDING• SHINGLE SIDING (WHERE OCCURS)• MANUFACTURED STONE VENEER (WHERE OCCURS)
TRIM	<ul style="list-style-type: none">• STUCCO OVER FOAM TRIM
ENHANCEMENTS	<ul style="list-style-type: none">• WINDOWN (END ON STREET FACADES)• BATTERED COLUMNS AT ENTRY (WHERE OCCURS)• DECORATIVE PLANK & BATTEN SHUTTERS• ENHANCED GABLE END SHINGLE SIDING• OUTLOOKERS @ RAKES (WHERE OCCURS)• ACCENT PAINTED FRONT DOORS• THEME SPECIFIC GARAGE DOORS
ENHANCED ELEVATIONS	<ul style="list-style-type: none">• REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED

PLAN 3
PROMENADE 45X80 LOTS
Antioch, California



RIGHT SIDE "D"



REAR "D"

REAR "D"
(COVERED PATIO OPTION)

FARMHOUSE THEMES

ROOF

- GABLE & HIP ROOFS
- SHINGLE, TILE, SLATE* PROFILE ROOFING
- GABLE GLUTTERS
- 12" OVERHANGS, TYP. (U.O.N.)

SIDING

- STUCCO SIDING
- BOARD & BATT SIDING (WHERE OCCURS)

TRIM

- STUCCO OVER FOAM TRIM
- WOOD TRIM AT BOARD & BATT SIDING

EXTERIOR MATERIALS

- STUCCO ROOFS ON STREET FACADES & SIDE ELEVATIONS
- STUCCO WAINSCOT (WHERE OCCURS)
- DECORATIVE LOUVERED SHUTTERS
- ACCENT PAINTED FRONT DOORS
- THEME SPECIFIC GARAGE DOORS

ENHANCED ELEVATIONS

- REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED

COVERED PATIO OPTION (SHOWN DASHED)

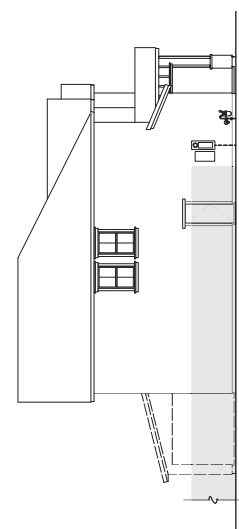
SOLAR ZONE (12 PANELS)

ALT. SOLAR ZONE (12 PANELS)

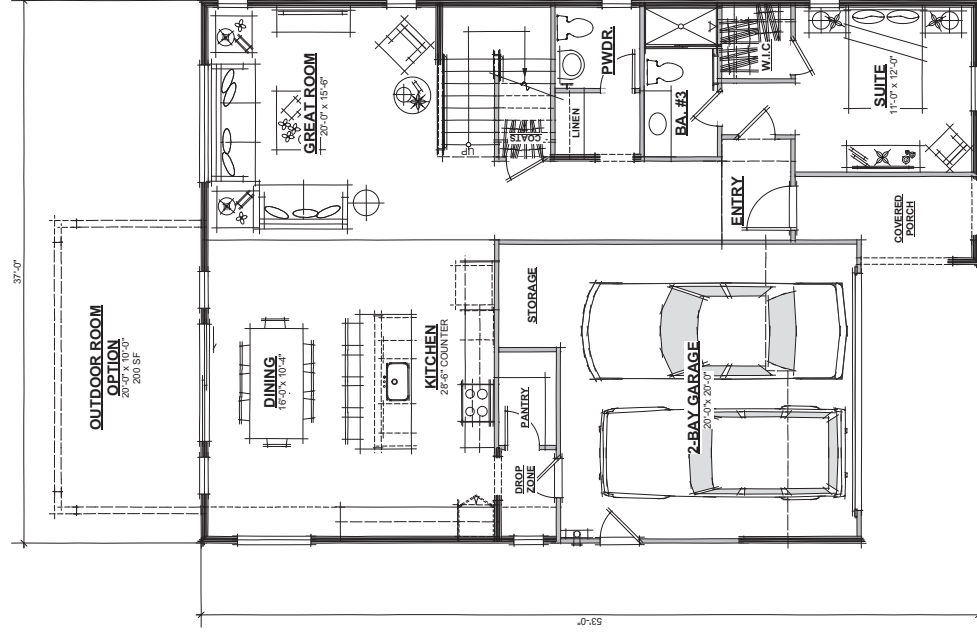
ROOF PLAN "D"



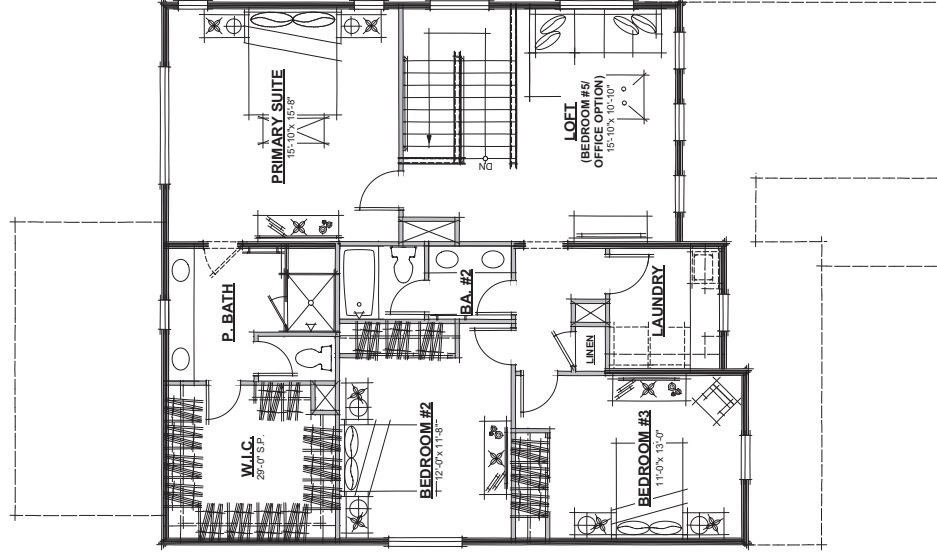
FRONT ELEVATION "D"
(FARMHOUSE)



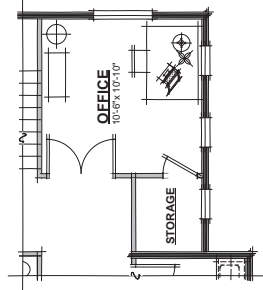
LEFT SIDE "D"



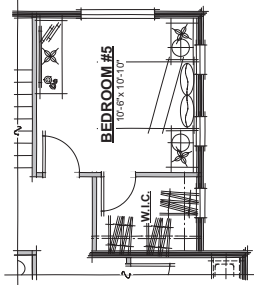
FIRST FLOOR PLAN (1293 S.F.; 2607 TOTAL S.F.)



SECOND FLOOR PLAN (1314 S.F.)



OFFICE OPTION



BEDROOM #5 OPTION

PLAN 4
PROMENADE 45X80 LOTS
Antioch, California



FRONT ELEVATION "A"
(RANCH)

SCHEME 2



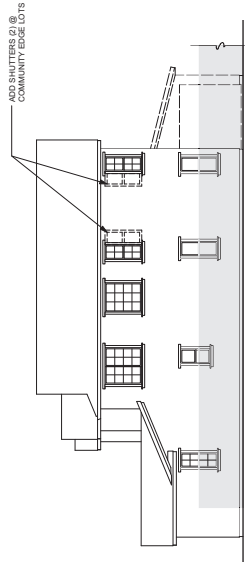
FRONT ELEVATION "B"
(COTTAGE)

SCHEME 4

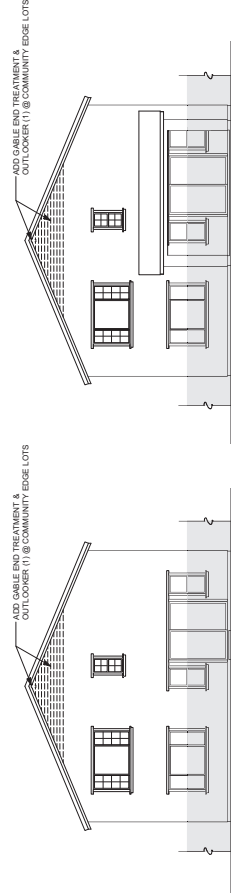


FRONT ELEVATION "D"
(FARMHOUSE)

SCHEME 11

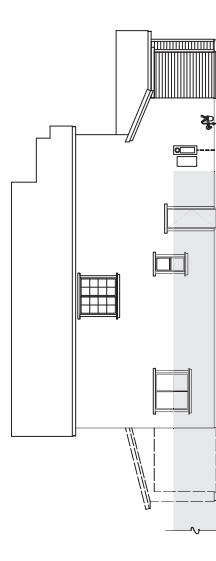


RIGHT SIDE "A"

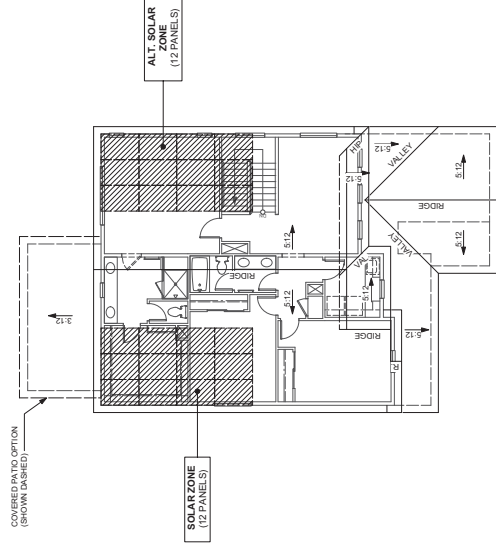


REAR "A"

REAR "A"
(COVERED PATIO OPTION)

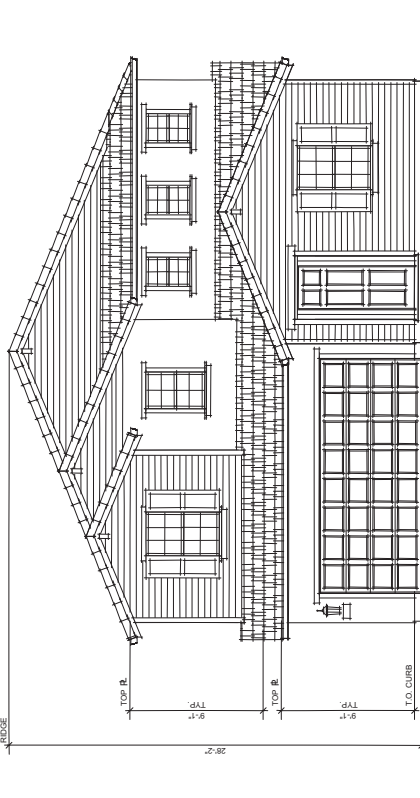


LEFT SIDE "A"



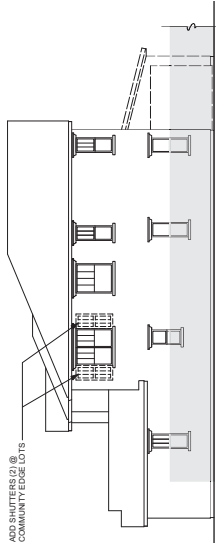
ROOF PLAN "A"

RANCH THEMES	
ROOF	<ul style="list-style-type: none"> • GABLE & HIP ROOFS • CONCRETE TILE "SHAKE" PROFILE ROOFING • OBER GLUTTERS, TYP. (U.O.N.) • 12" OVERHANGS, TYP. (U.O.N.)
SIDING	<ul style="list-style-type: none"> • STUCCO SIDING • HORIZONTAL LAP SIDING (WHERE OCCURS)
TRIM	<ul style="list-style-type: none"> • STUCCO OVER FOAM TRIM • WOOD TRIM AT LAP SIDING
FEATURES	<ul style="list-style-type: none"> • HIGH RAILS ON STREET FACADES & SECOND FLOOR WINDOWS • DECORATIVE ENTRY POSTS (WHERE OCCURS) • DECORATIVE RECESSED PANEL SHUTTERS • OUTLOOKERS AT RAKES (WHERE OCCURS) • ACCENT PAINTED FRONT DOORS • THEME SPECIFIC GARAGE DOORS
ENHANCED ELEVATIONS	<ul style="list-style-type: none"> • REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDING/ELEVATION ENHANCEMENTS ARE REQUIRED

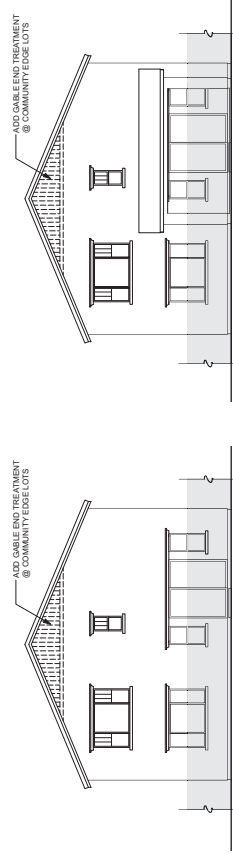


FRONT ELEVATION "A"
(RANCH)

PLAN 4 PROMENADE 45X80 LOTS Antioch, California

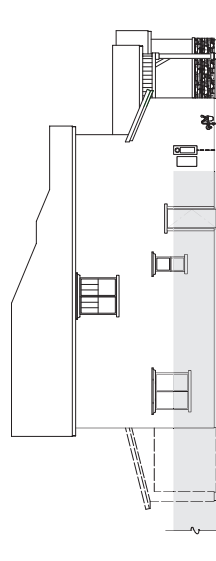


RIGHT SIDE "B"

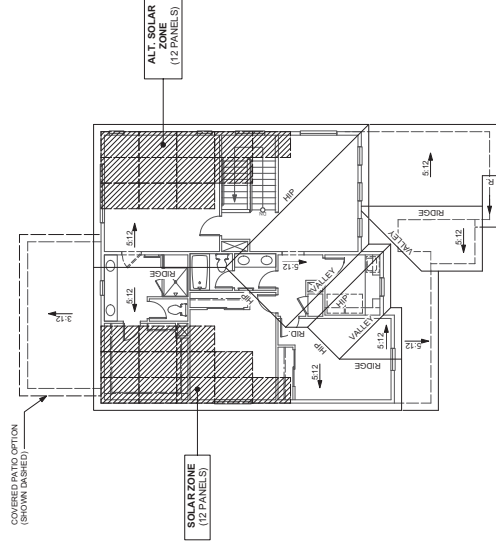


REAR "B"

REAR "B"
(COVERED PATIO OPTION)



LEFT SIDE "B"



ROOF PLAN "B"

COTTAGE THEMES

ROOF

- GABLE & HIP ROOFS
- GABLETILE, SLATE* PROFILE ROOFING
- ORBE GUTTERS
- 12" OVERHANGS, TYP. (U.O.N.)

SIDING

- STUCCO SIDING
- MANUFACTURED STONE VENEER (WHERE OCCURS)
- VERTICAL GROOVE PANEL SIDING @ GABLE ENDS (WHERE OCCURS)

TRIM

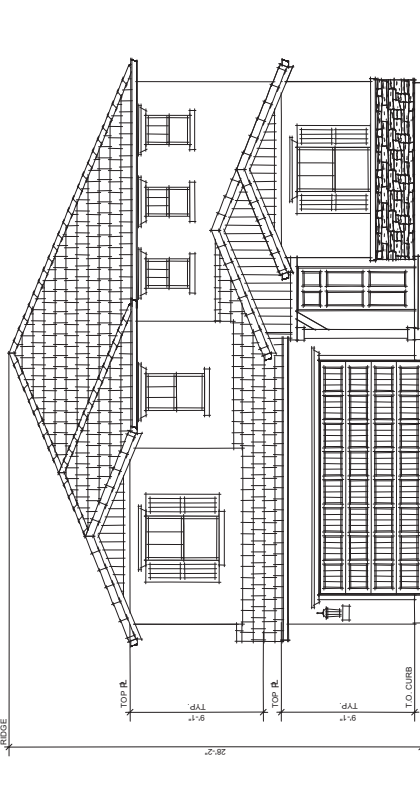
- STUCCO OVER FOAM TRIM

ENHANCEMENTS

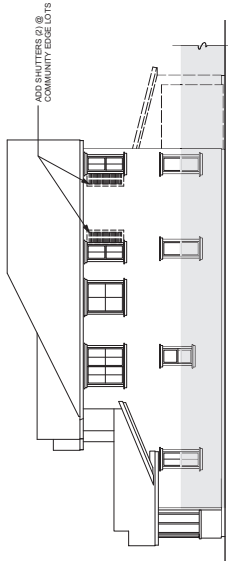
- WINDOW GRIDS OR STREET FACADES & SECOND FLOOR WINDOWS
- DECORATIVE POSTS AT ENTRY (WHERE OCCURS)
- DECORATIVE RECESSED PANEL SHUTTERS

ENHANCED ELEVATIONS

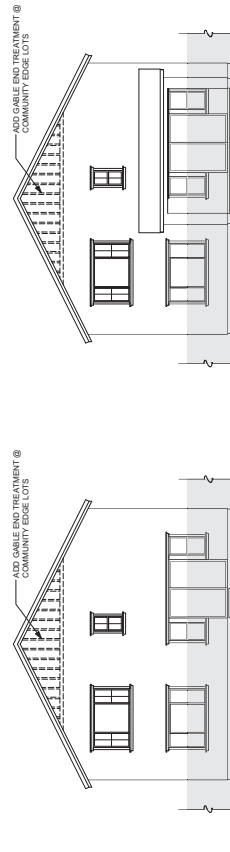
- REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED



FRONT ELEVATION "B"
(COTTAGE)

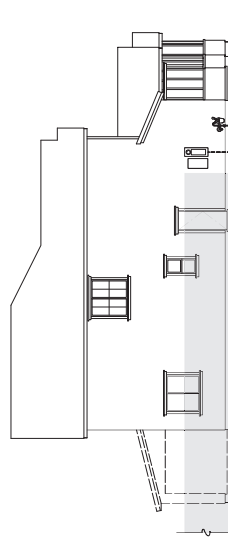


RIGHT SIDE "D"

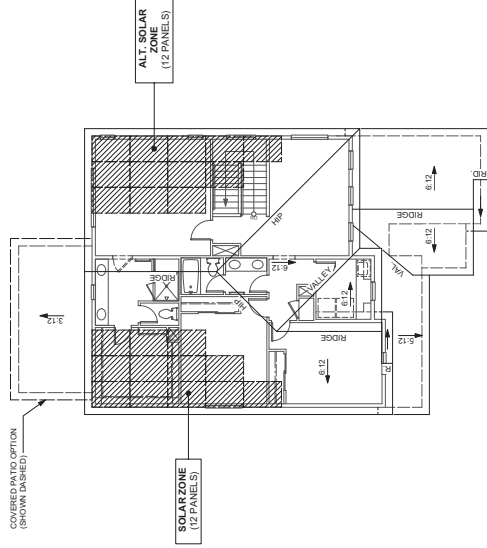


REAR "D"

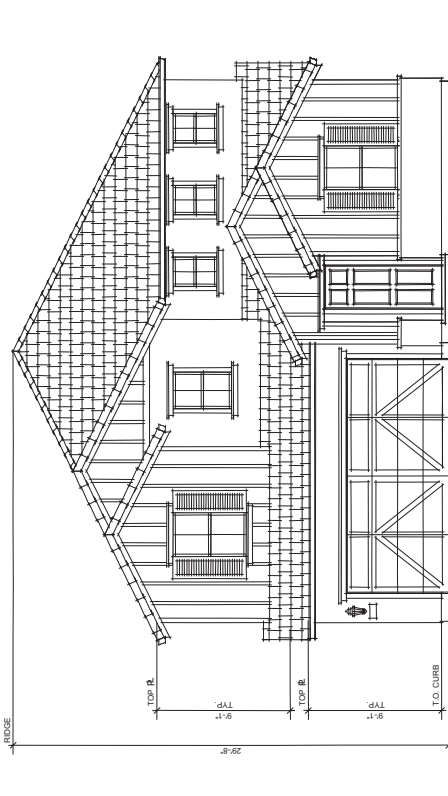
REAR "D"
(COVERED PATIO OPTION)



LEFT SIDE "D"



ROOF PLAN "D"



FRONT ELEVATION "D"
(FARMHOUSE)

FARMHOUSE THEMES	
ROOF	<ul style="list-style-type: none"> GABLE & HIP ROOFS SHINGLE, SLATE, TILE OVERHANGS, TYP. (U.O.N.)
SIDING	<ul style="list-style-type: none"> STUCCO SIDING BOARD & BATT SIDING (WHERE OCCURS)
TRIM	<ul style="list-style-type: none"> STUCCO OVER FOAM TRIM WOOD TRIM AT BOARD & BATT SIDING
EXTERIOR MATERIALS	<ul style="list-style-type: none"> WOOD SIDING ON STREET FACADES & PORCHES STUCCO WAINSCOT (WHERE OCCURS) DECORATIVE LOUVERED SHUTTERS ACCENT PAINTED FRONT DOORS THEME SPECIFIC GARAGE DOORS
ENHANCED ELEVATIONS	<ul style="list-style-type: none"> REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED

PLAN 4
PROMENADE 45X80 LOTS
Antioch, California

PROMENADE 50x90 LOTS

ANTIOCH, CALIFORNIA



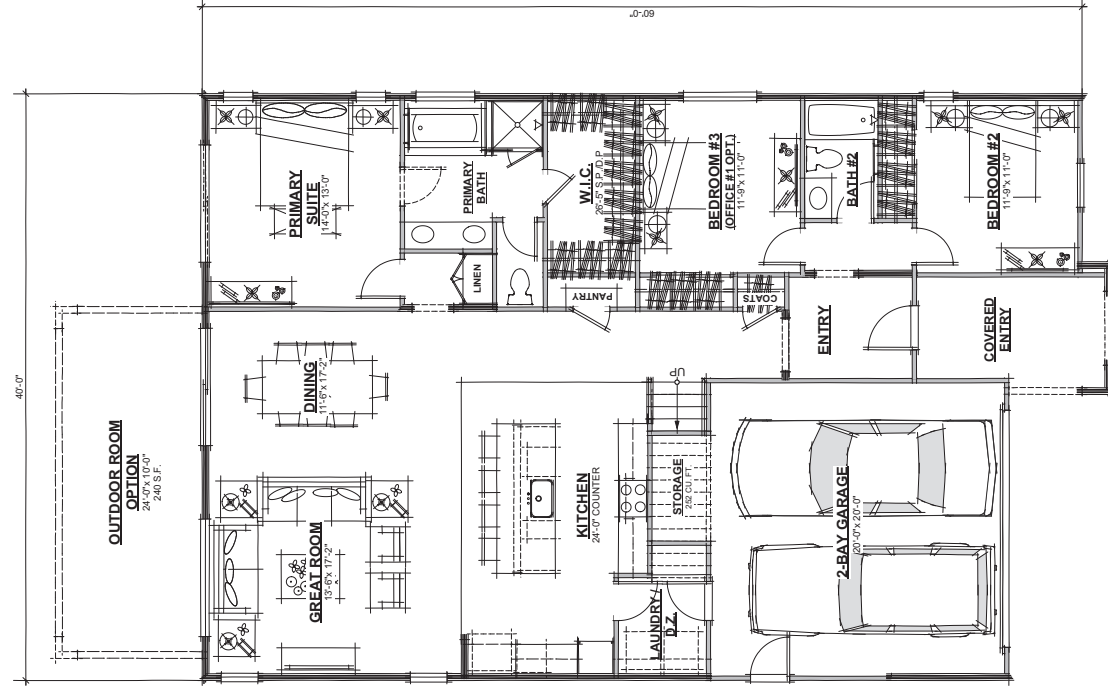
PLAN 4A - RANCH

PLAN 3B - COTTAGE

PLAN 2C - CRAFTSMAN

PLAN 1D - FARMHOUSE

CENTRAL COAST LANE



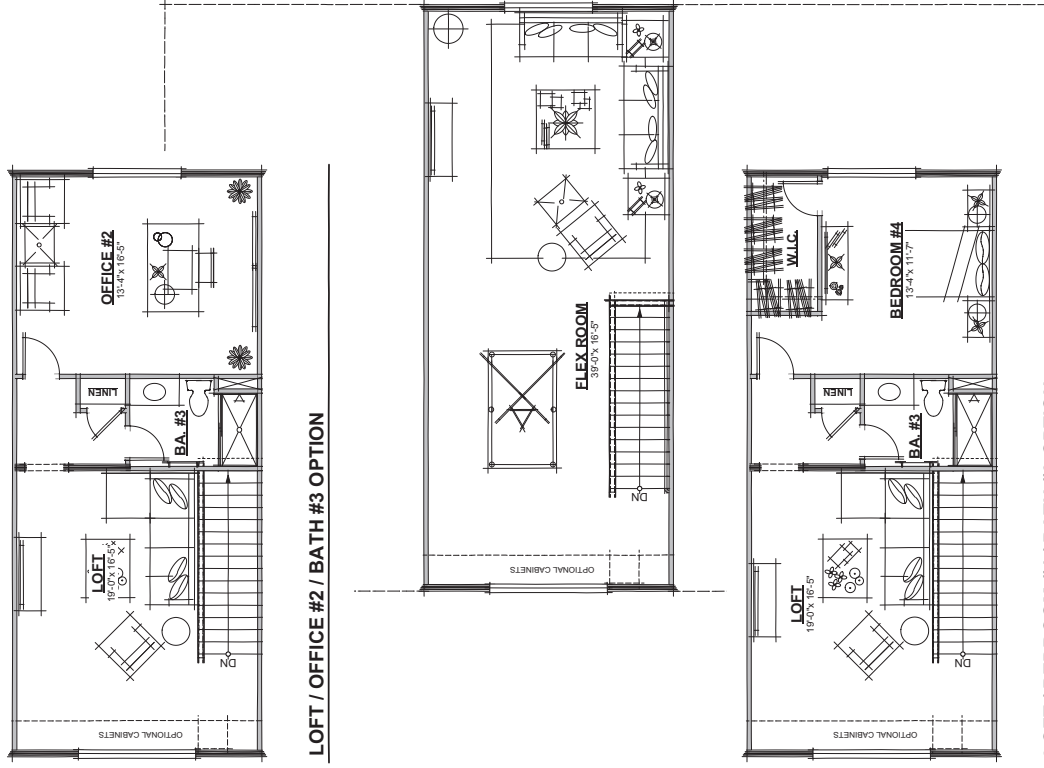
FIRST FLOOR PLAN (1776 S.F.; 2406 TOTAL S.F.)

PLAN 1 (240.2406)
PROMENADE 50X90 LOTS
 Antioch, California

tri pointe
 HOMES

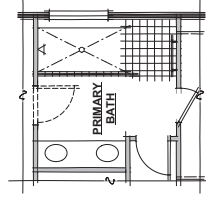
B42

SECOND FLOOR PLAN (630 S.F.)

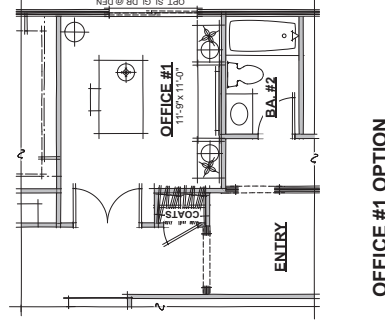


LOFT / BEDROOM #4 / BATH #3 OPTION

LOFT / OFFICE #2 / BATH #3 OPTION

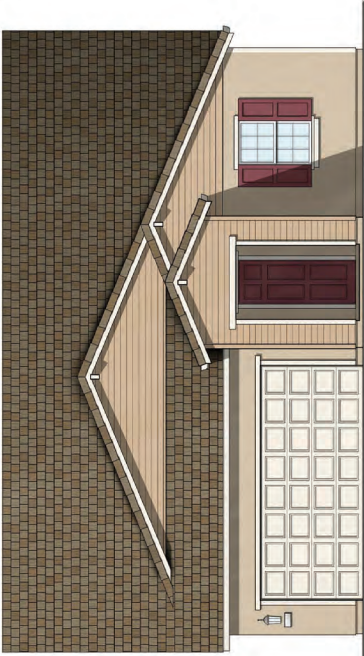


**SUPER SHOWER
 OPTION**



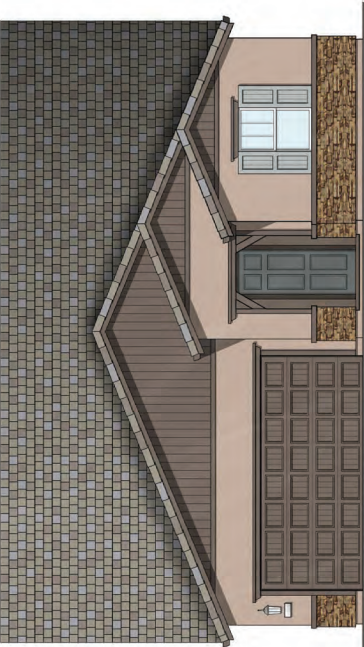
OFFICE #1 OPTION

PLAN 1
PROMENADE 50X90 LOTS
Antioch, California



FRONT ELEVATION "A"
(RANCH)

SCHEME 2



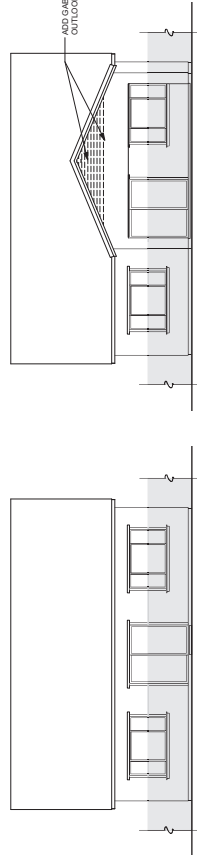
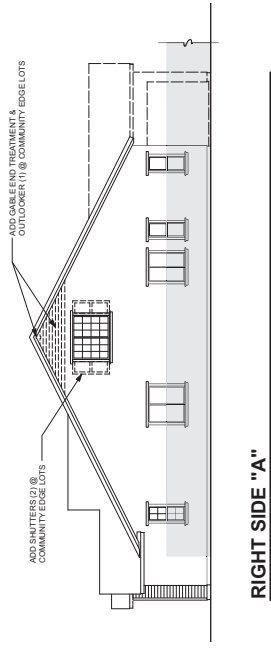
FRONT ELEVATION "B"
(COTTAGE)

SCHEME 6

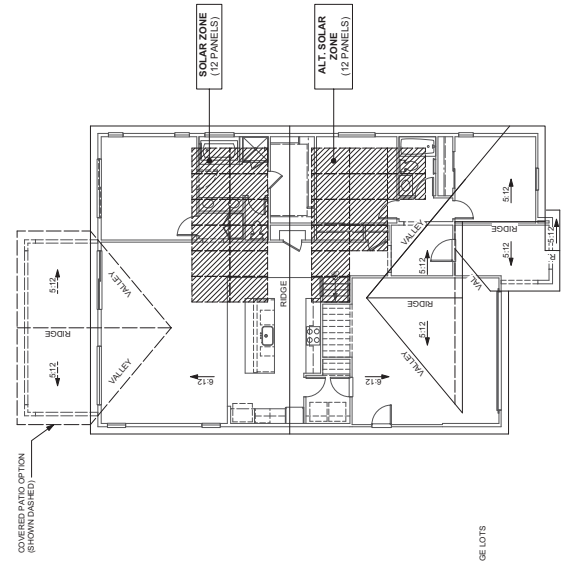
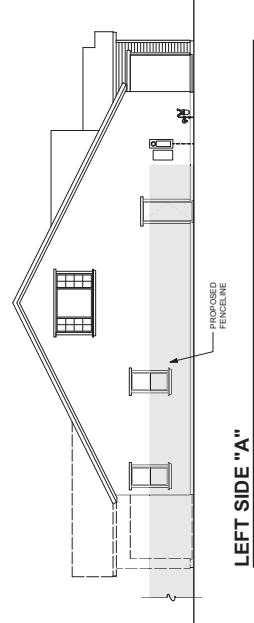


FRONT ELEVATION "D"
(FARMHOUSE)

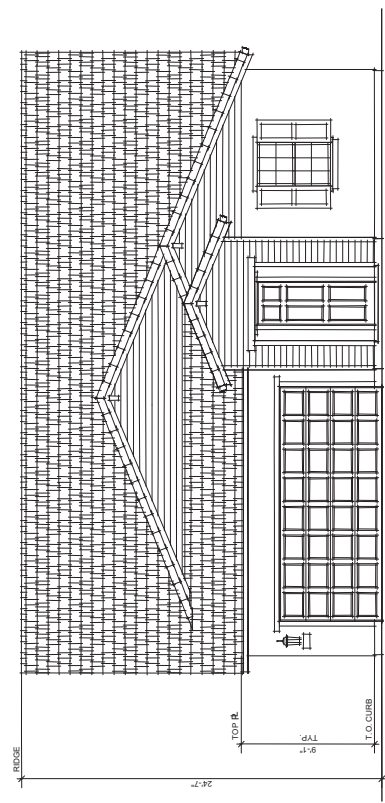
SCHEME 10



REAR "A"
(COVERED PATIO)



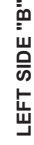
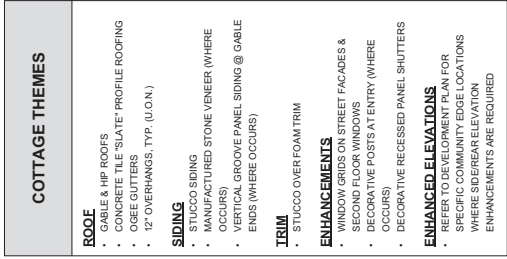
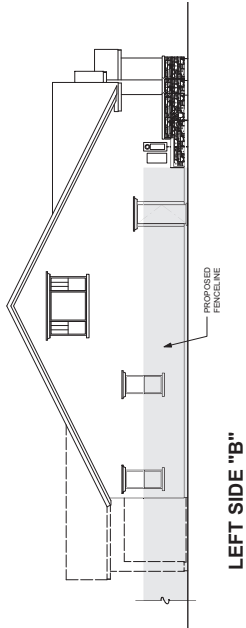
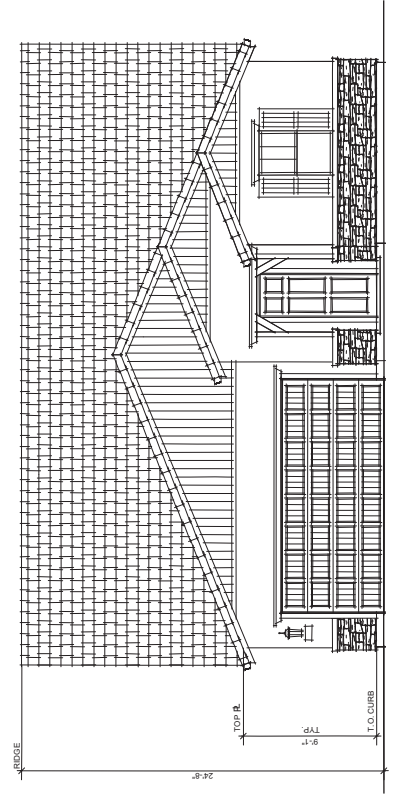
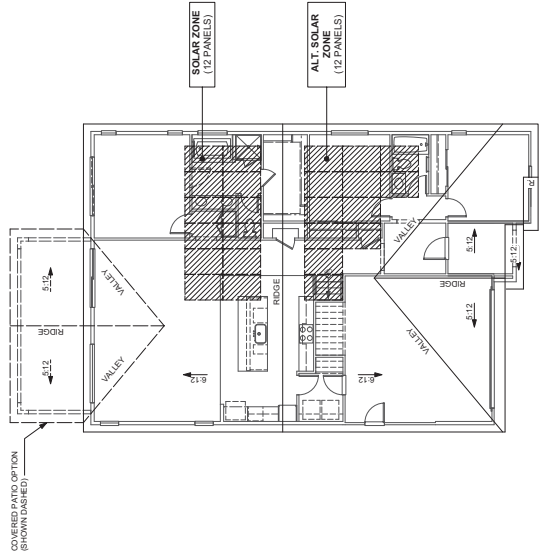
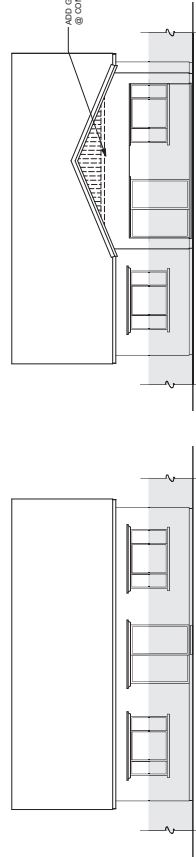
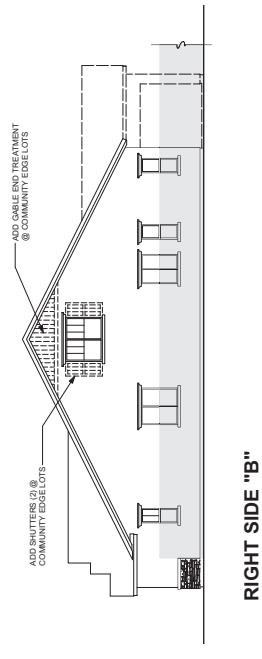
ROOF PLAN "A"



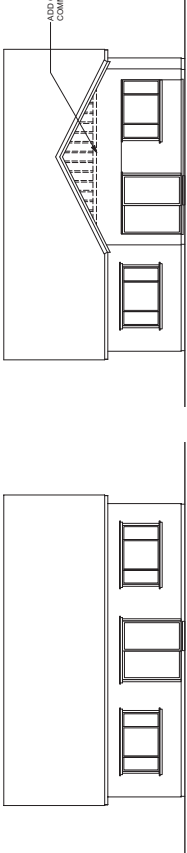
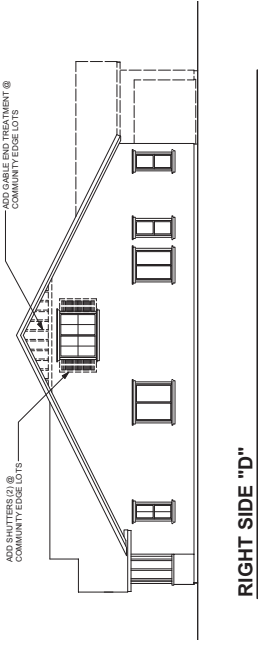
FRONT ELEVATION "A"
(RANCH)

RANCH THEMES	
ROOF	<ul style="list-style-type: none"> GABLE & HIP ROOFS CONCRETE TILE SHAKE PROFILE ROOFING WOOD SHAKES, TYP. (U.O.N.) 12" OVERHANGS, TYP. (U.O.N.)
SIDING	<ul style="list-style-type: none"> STUCCO SIDING HORIZONTAL LAP SIDING (WHERE OCCURS)
TRIM	<ul style="list-style-type: none"> STUCCO OVER FOAM TRIM WOOD TRIM AT LAP SIDING
FEATURES	<ul style="list-style-type: none"> SHUTTERS ON STREET FACADES & SECOND FLOOR WINDOWS DECORATIVE ENTRY POSTS (WHERE OCCURS) DECORATIVE RECESSED PANEL SHUTTERS OUTLOOKERS AT RAKES (WHERE OCCURS) ACCENT PAINTED FRONT DOORS THEME SPECIFIC GARAGE DOORS
ENHANCED ELEVATIONS	<ul style="list-style-type: none"> REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED

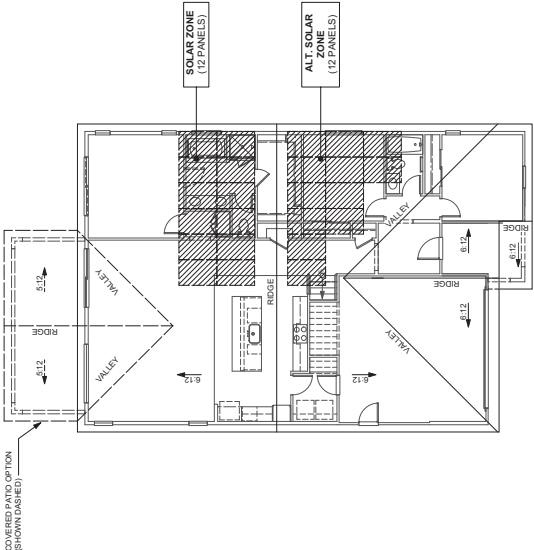
PLAN 1
PROMENADE 50X90 LOTS
Antioch, California



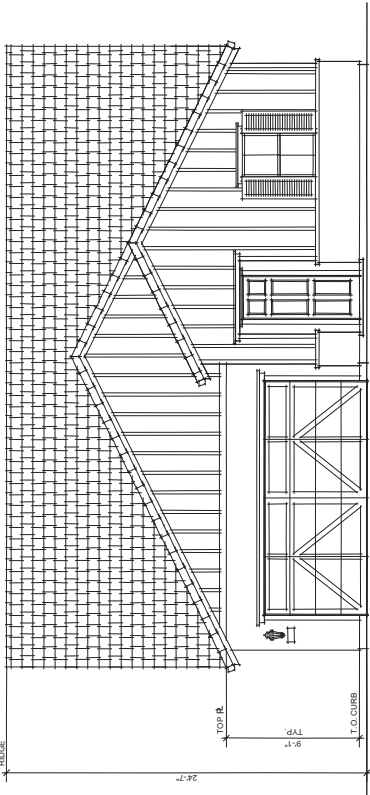
PLAN 1
PROMENADE 50X90 LOTS
Antioch, California



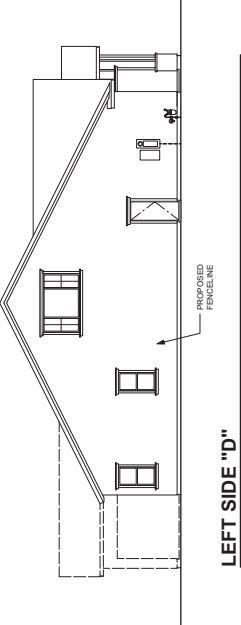
REAR "D"
(COVERED PATIO)



ROOF PLAN "D"

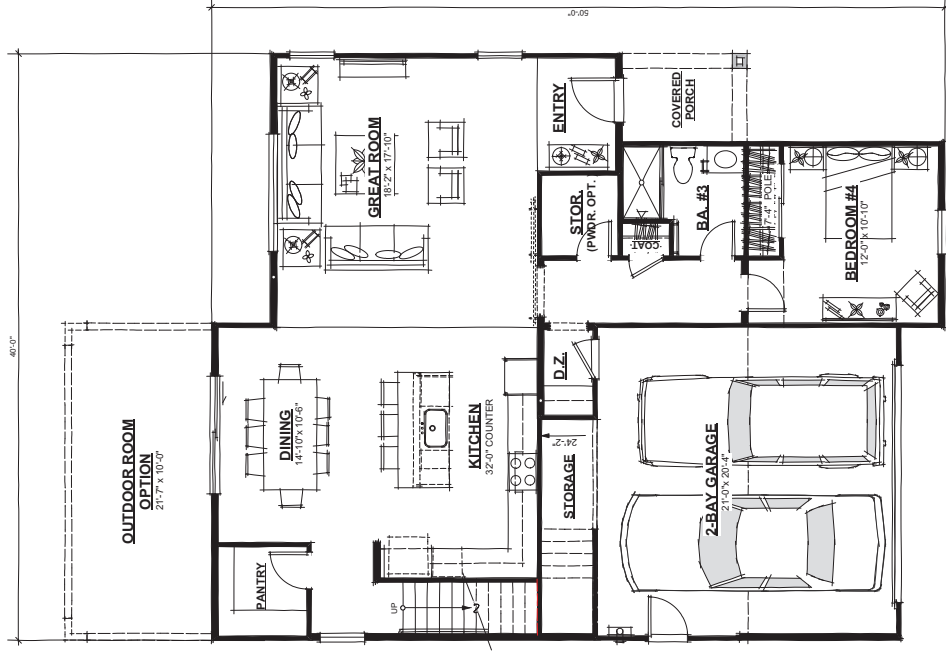


FRONT ELEVATION "D"
(FARMHOUSE)

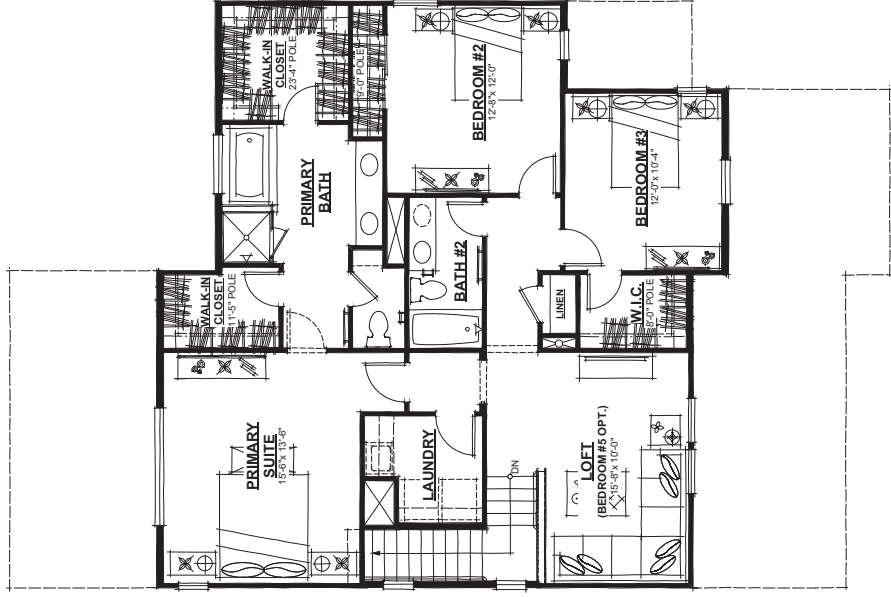


LEFT SIDE "D"

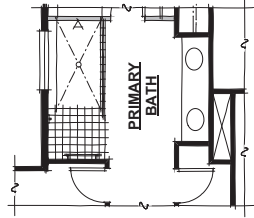
FARMHOUSE THEMES	
ROOF	<ul style="list-style-type: none">• GABLE & HIP ROOFS• DECORATIVE 'SLATE' PROFILE ROOFING• ORNATE GUTTERS• 12" OVERHANGS, TYP. (U.O.N.)
SIDING	<ul style="list-style-type: none">• STUCCO SIDING• BOARD & BATT SIDING (WHERE OCCURS)
TRIM	<ul style="list-style-type: none">• STUCCO OVER FOAM TRIM• WOOD TRIM AT BOARD & BATT SIDING
EXTERIOR MATERIALS	<ul style="list-style-type: none">• STUCCO ROOFS OR STREET FACADES & STUCCO WAINSCOT (WHERE OCCURS)• STUCCO WAINSCOT (WHERE OCCURS)• DECORATIVE LOUVERED SHUTTERS• ACCENT PAINTED FRONT DOORS• THEME SPECIFIC GARAGE DOORS
ENHANCED ELEVATIONS	<ul style="list-style-type: none">• REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDEREAR ELEVATION ENHANCEMENTS ARE REQUIRED



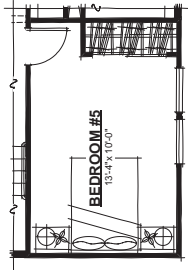
FIRST FLOOR PLAN (1232 SF, 2541 TOTAL S.F.)



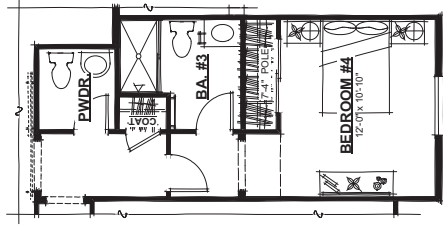
SECOND FLOOR PLAN (1309 S.F.)



SUPER SHOWER OPTION



BEDROOM #5 OPTION



SUITE OPTION



FRONT ELEVATION "A"
(TRADITIONAL)

SCHEME 3



FRONT ELEVATION "B"
(COTTAGE)

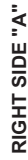
SCHEME 5



FRONT ELEVATION "C"
(CRAFTSMAN)

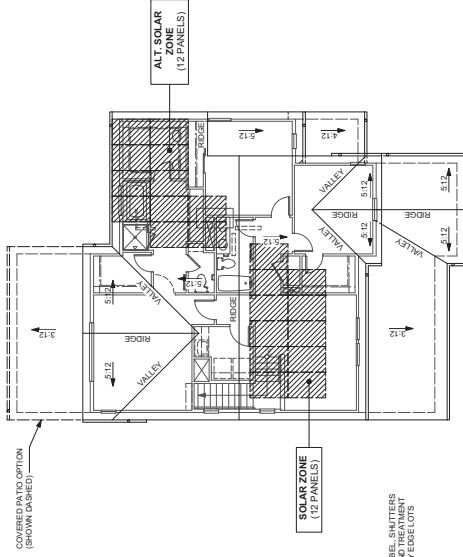
SCHEME 7

ROOF PLAN "A"

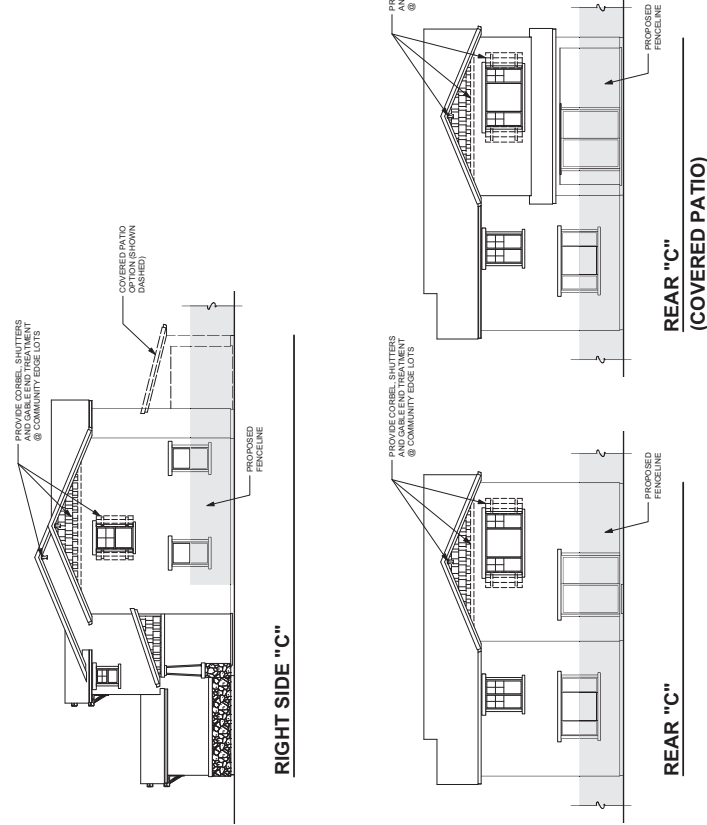


ENHANCEMENTS ARE REQUIRED



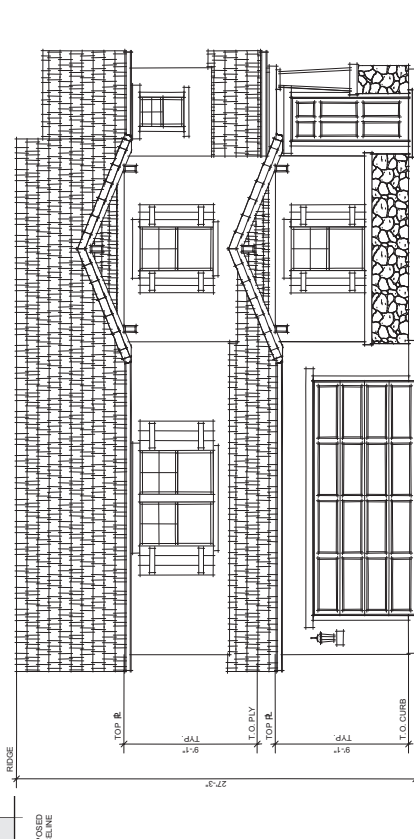


ROOF PLAN "C"



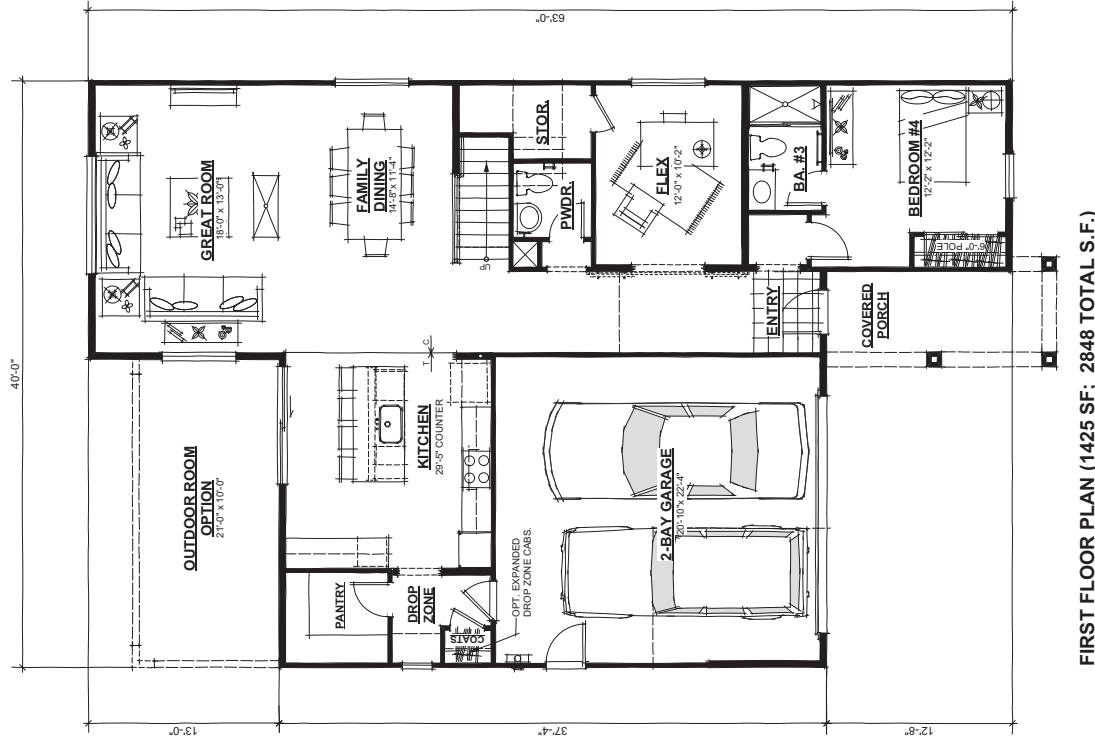
REAR "C"
(COVER)

REAR "C"
(COVERED PATIO)

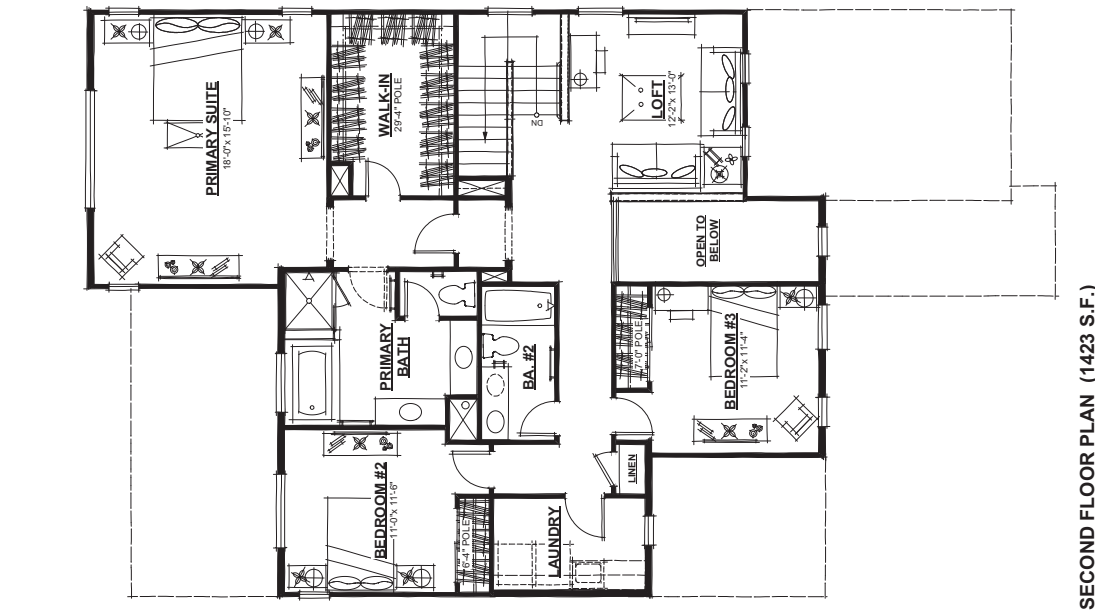


FRONT ELEVATION "C"
(CRAFTSMAN)

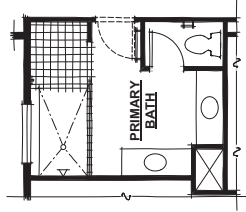
LEFT SIDE "C"



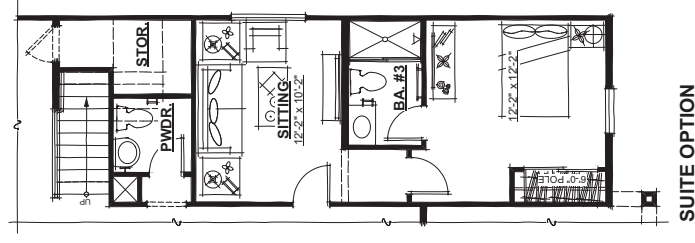
FIRST FLOOR PLAN (1425 SF; 2848 TOTAL S.F.)



SECOND FLOOR PLAN (1423 S.F.)



SUPER SHOWER
OPTION



SUITE OPTION

PLAN 3 (240.2848)
PROMENADE 50X90 LOTS
Antioch, California

PLAN 3
PROMENADE 50X90 LOTS
Antioch, California



FRONT ELEVATION "A"
(RANCH)

SCHEME 2



FRONT ELEVATION "B"
(COTTAGE)

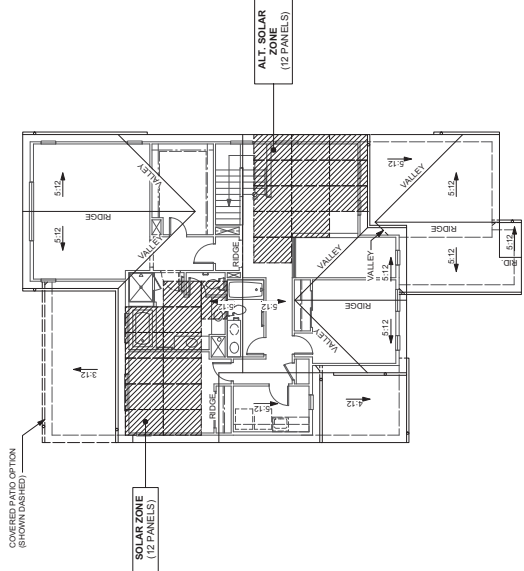
SCHEME 4



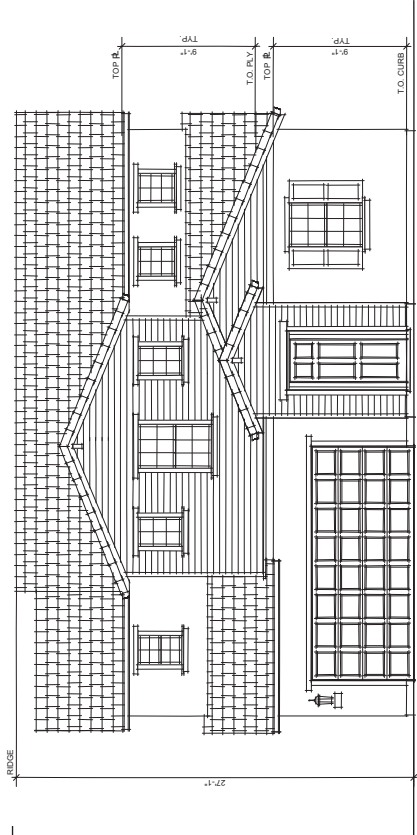
FRONT ELEVATION "C"
(CRAFTSMAN)

SCHEME 8

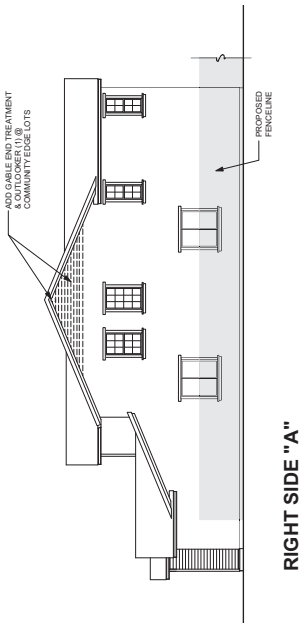
RANCH THEMES	
ROOF	<ul style="list-style-type: none"> GABLE & HIP ROOFS SHINGLE OR TILE SHAKE PROFILE ROOFING OBEE GUTTERS 12" OVERHANGS, TYP. (U.O.N.)
SIDING	<ul style="list-style-type: none"> STUCCO SIDING HORIZONTAL LAP SIDING (WHERE OCCURS)
TRIM	<ul style="list-style-type: none"> STUCCO OVER FOAM TRIM WOOD TRIM AT LAP SIDING
FEATURES	<ul style="list-style-type: none"> WINDY BRACKS ON STREET FACADES & SECOND FLOOR WINDOWS DECORATIVE ENTRY POSTS (WHERE OCCURS) DECORATIVE RECESSED PANEL SHUTTERS OUTLOOKERS AT RAKES (WHERE OCCURS) ACCENT PAINTED FRONT DOORS THEME SPECIFIC GARAGE DOORS
ENHANCED ELEVATIONS	<ul style="list-style-type: none"> REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED



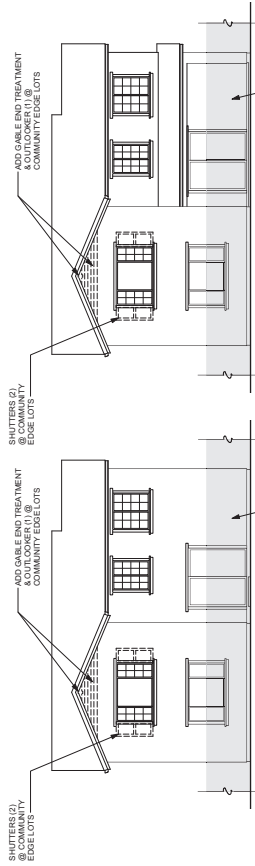
ROOF PLAN "A"



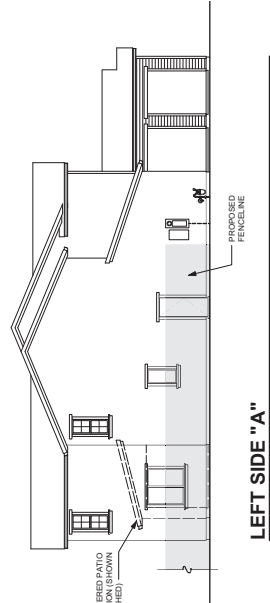
FRONT ELEVATION "A"
(RANCH)



RIGHT SIDE "A"



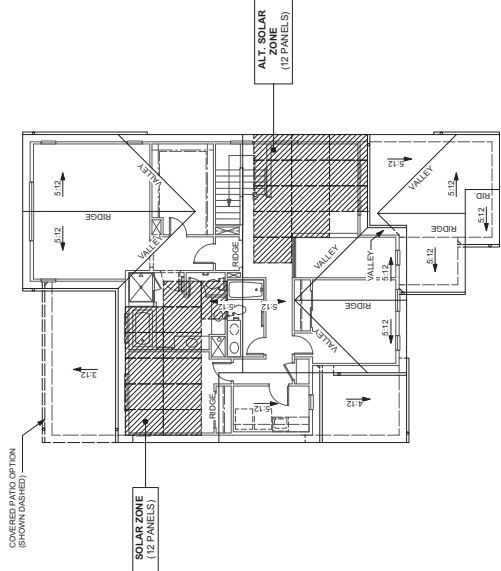
REAR "A"
(COVERED PATIO)



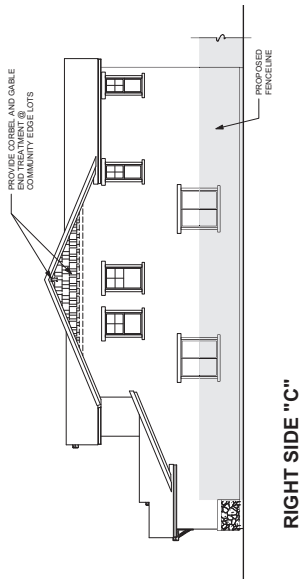
LEFT SIDE "A"

PLAN 3
PROMENADE 50X90 LOTS
Antioch, California

CRAFTSMAN THEME	
ROOF	<ul style="list-style-type: none"> GABLE ROOFS ADDITIONAL "SHAKE" ROOFING ORBE GUTTERS 12" OVERHANGS, TYP. (U.O.N.)
SIDING	<ul style="list-style-type: none"> STUCCO SIDING SINGLE SIDING (WHERE OCCURS) MANUFACTURED STONE VENEER (WHERE OCCURS)
TRIM	<ul style="list-style-type: none"> STUCCO OVER FOAM TRIM
ENHANCEMENTS	<ul style="list-style-type: none"> WINDOW SHUTTERS ON STREET FACADES BATTERED COLUMNS AT ENTRY (WHERE OCCURS) DECORATIVE PLANK & BATTEN SHUTTERS ENHANCED GABLE END SHINGLE SIDING OUTLOCKERS @ RAKES (WHERE OCCURS) ACCENT PAINTED FRONT DOORS THEME SPECIFIC GARAGE DOORS
ENHANCED ELEVATIONS	<ul style="list-style-type: none"> REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED



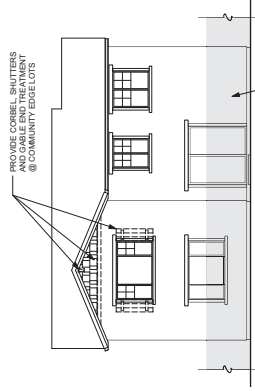
ROOF PLAN "C"



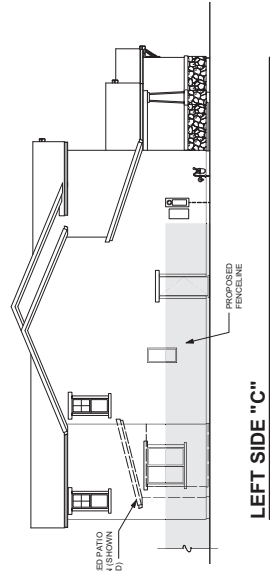
RIGHT SIDE "C"



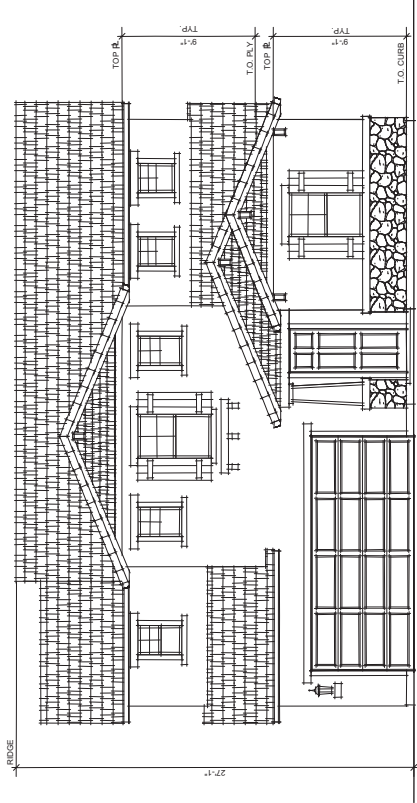
REAR "C" (COVERED PATIO)



REAR "C"

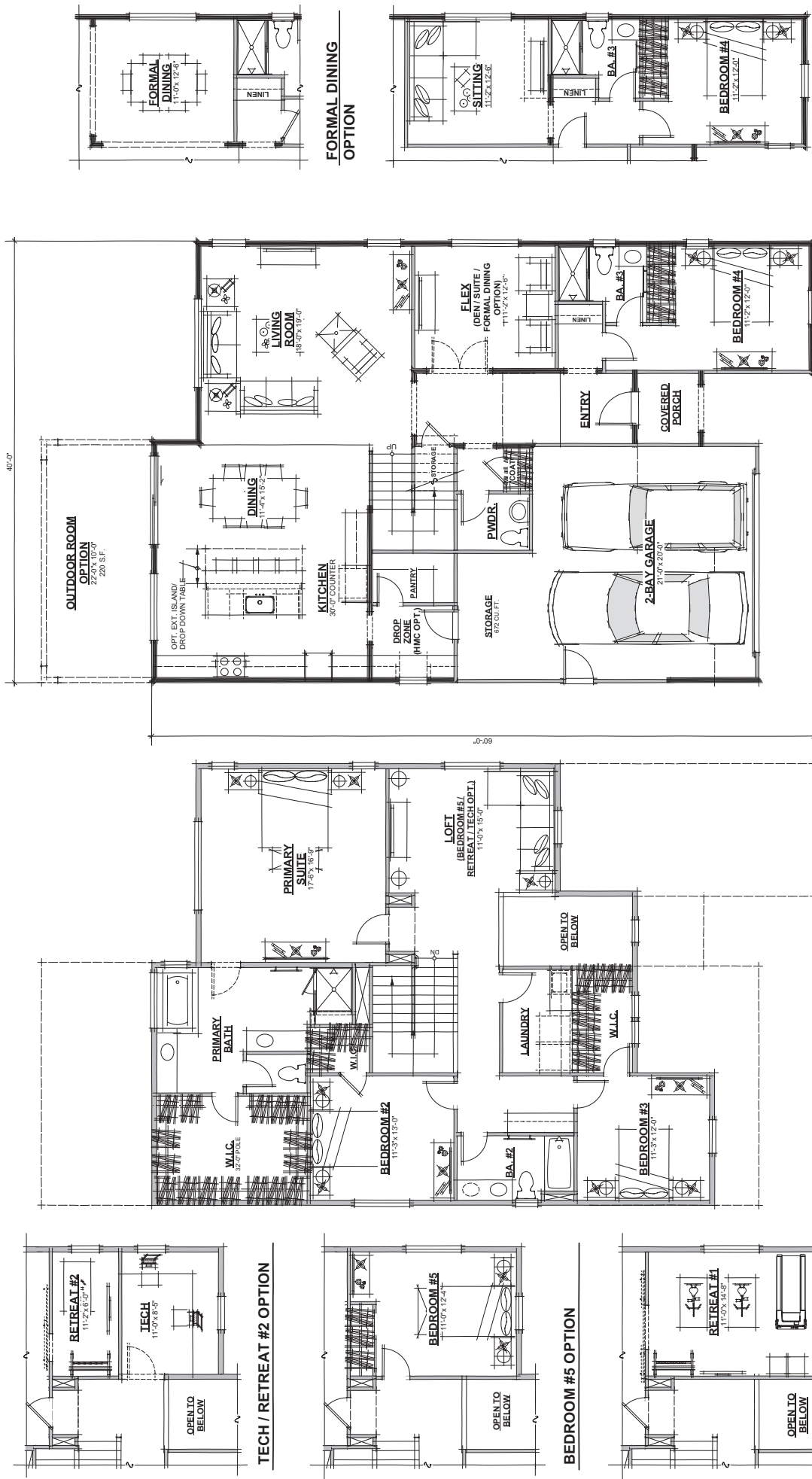


LEFT SIDE "C"



FRONT ELEVATION "C" (CRAFTSMAN)

PLAN 3
PROMENADE 50X90 LOTS
Antioch, California



PLAN 4
PROMENADE 50X90 LOTS
Antioch, California



FRONT ELEVATION "A"
(RANCH)

SCHEME 1



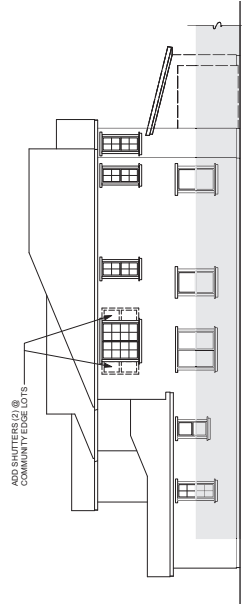
FRONT ELEVATION "B"
(COTTAGE)

SCHEME 5

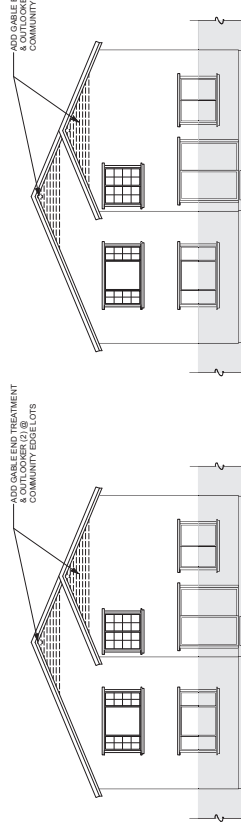


FRONT ELEVATION "D"
(FARMHOUSE)

SCHEME 12

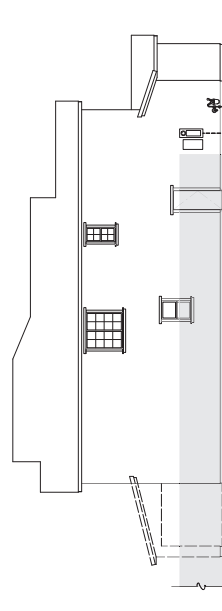


RIGHT SIDE "A"

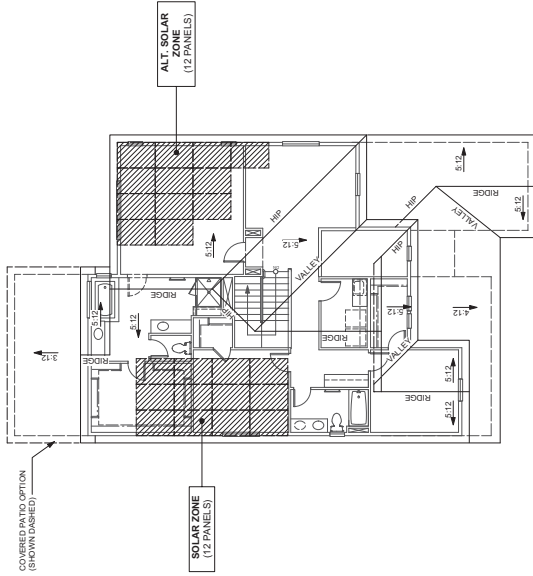


REAR "A"

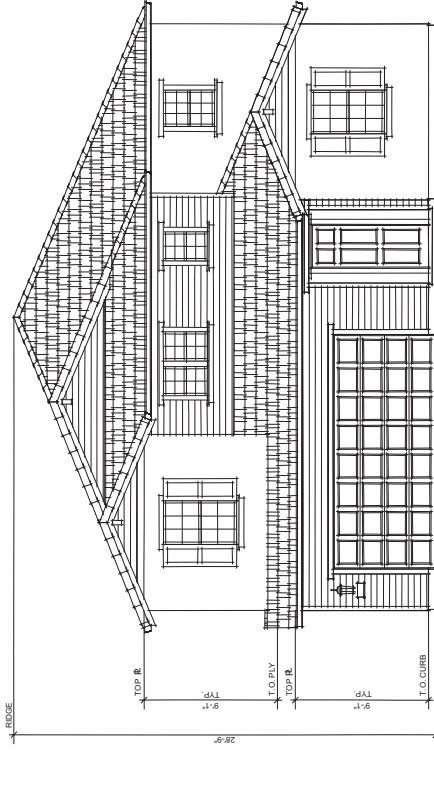
REAR "A"
(COVERED PATIO OPTION)



LEFT SIDE "A"



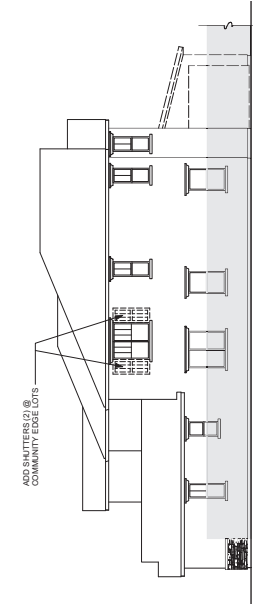
ROOF PLAN "A"



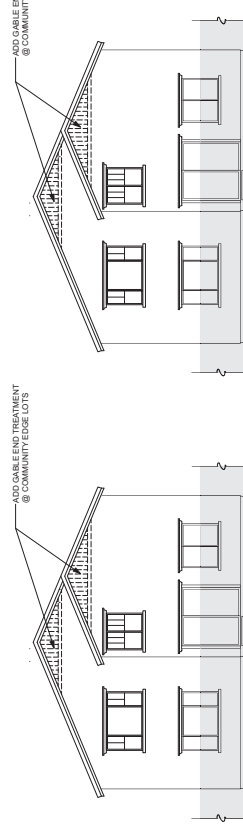
FRONT ELEVATION "A"
(RANCH)

RANCH THEMES	
ROOF	<ul style="list-style-type: none"> • GABLE & HIP ROOFS • CONCRETE TILE "SHAKE" PROFILE ROOFING • OBER GUTTERS • 12" OVERHANGS, TYP. (U.O.N.)
SIDING	<ul style="list-style-type: none"> • STUCCO SIDING • HORIZONTAL LAP SIDING (WHERE OCCURS)
TRIM	<ul style="list-style-type: none"> • STUCCO OVER FOAM TRIM • WOOD TRIM AT LAP SIDING
FEATURES	<ul style="list-style-type: none"> • HORIZONTAL SIDING ON STREET FACADES & SECOND FLOOR WINDOWS • DECORATIVE ENTRY POSTS (WHERE OCCURS) • DECORATIVE RECESSED PANEL SHUTTERS • OUTLOOKERS AT RAKES (WHERE OCCURS) • ACCENT PAINTED FRONT DOORS • THEME SPECIFIC GARAGE DOORS
ENHANCED ELEVATIONS	<ul style="list-style-type: none"> • REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED

PLAN 4
PROMENADE 50X90 LOTS
Antioch, California

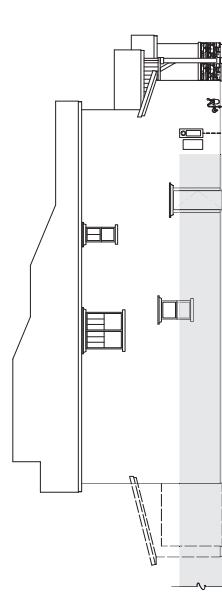


RIGHT SIDE "B"

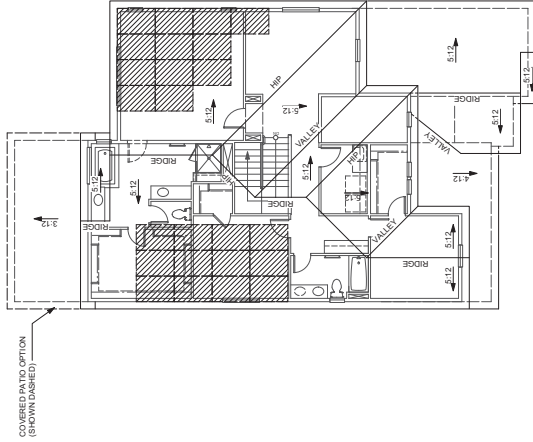


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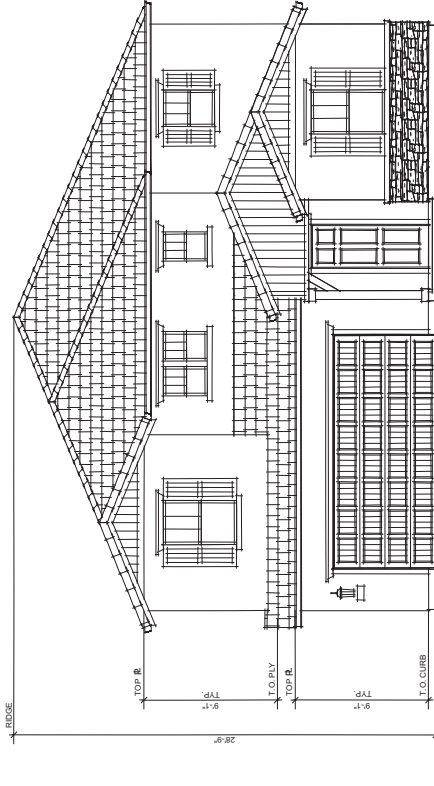
REAR "B"
(COVERED PATIO OPTION)



LEFT SIDE "B"

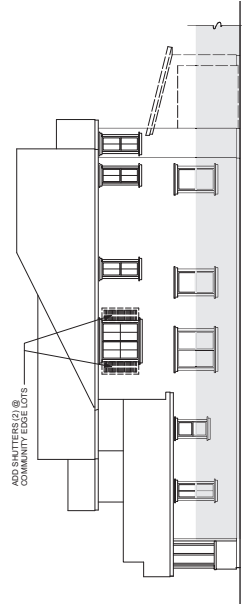


ROOF PLAN "B"

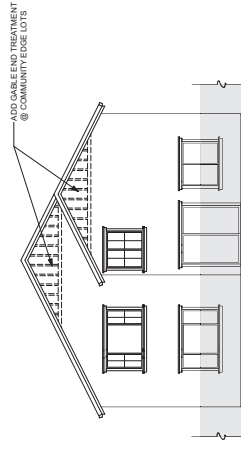


FRONT ELEVATION "B"
(COTTAGE)

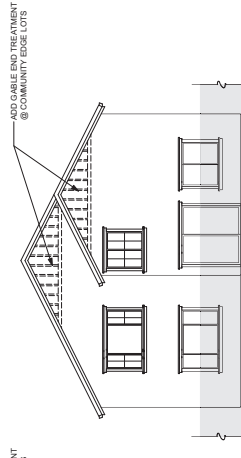
RANCH THEMES	
ROOF	<ul style="list-style-type: none"> • GABLE & HIP ROOFS • CONCRETE TILE "SHAKE" PROFILE ROOFING • OGGE GUTTERS • 12" OVERHANGS, TYP. (U.O.N.)
SIDING	<ul style="list-style-type: none"> • STUCCO SIDING • HORIZONTAL LAP SIDING (WHERE OCCURS)
TRIM	<ul style="list-style-type: none"> • STUCCO OVER FOAM TRIM • WOOD TRIM AT LAP SIDING
FEATURES	<ul style="list-style-type: none"> • FINISH FIELDS ON STREET FACADES & SECOND FLOOR WINDOWS • DECORATIVE ENTRY POSTS (WHERE OCCURS) • DECORATIVE RECESSED PANEL SHUTTERS • OUTLOOKERS AT RAKES (WHERE OCCURS) • ACCENT PAINTED FRONT DOORS • THEME SPECIFIC GARAGE DOORS
ENHANCED ELEVATIONS	<ul style="list-style-type: none"> • REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED



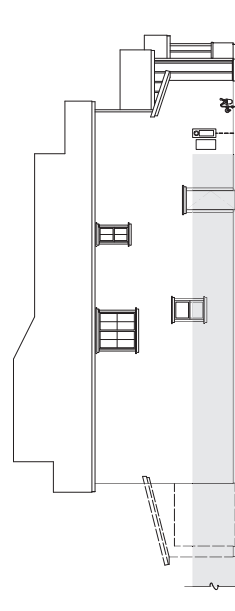
RIGHT SIDE "D"



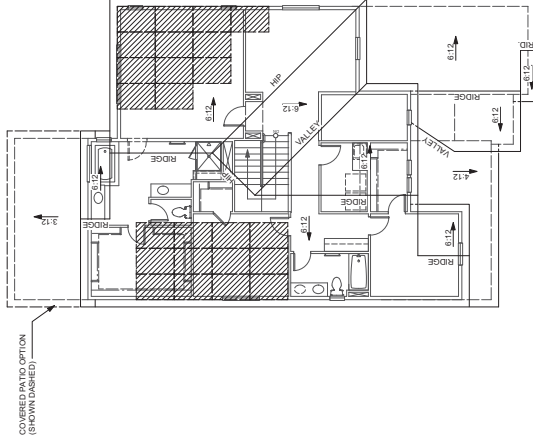
REAR "D"



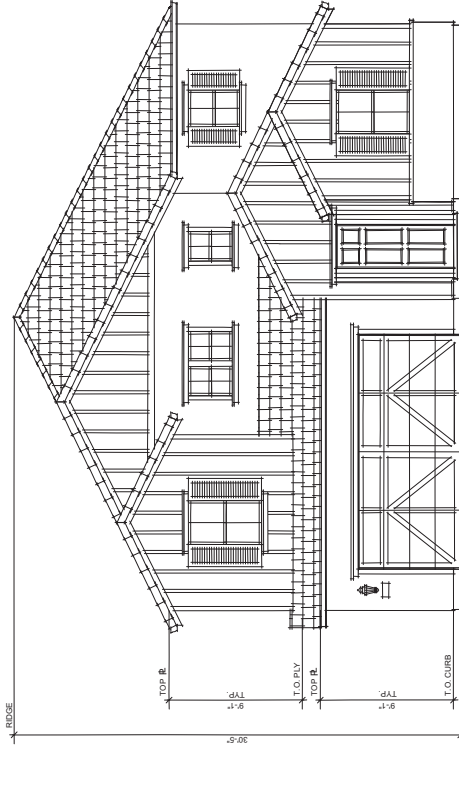
REAR "D"
(COVERED PATIO OPTION)



LEFT SIDE "D"



ROOF PLAN "D"



FRONT ELEVATION "D"
(FARMHOUSE)

FARMHOUSE THEMES

ROOF

- GABLE & HIP ROOFS
- GABLES: TILE, SLATE* PROFILE ROOFING
- GABLE GLUTTERS
- 12" OVERHANGS, TYP. (U.O.N.)

SIDING

- STUCCO SIDING
- BOARD & BATT SIDING (WHERE OCCURS)

TRIM

- STUCCO OVER FOAM TRIM
- WOOD TRIM AT BOARD & BATT SIDING

EXTERIOR MATERIALS

- STUCCO ROOFS OR STREET FACADES & STUCCO ROOFS (WHERE OCCURS)
- STUCCO MAINSCOT (WHERE OCCURS)
- DECORATIVE LOUVERED SHUTTERS
- ACCENT PAINTED FRONT DOORS
- THEME SPECIFIC GARAGE DOORS

ENHANCED ELEVATIONS

- REFER TO DEVELOPMENT PLAN FOR SPECIFIC COMMUNITY EDGE LOCATIONS WHERE SIDE/REAR ELEVATION ENHANCEMENTS ARE REQUIRED

ATTACHMENT C

Project Description and Narratives



May 14, 2021

City of Antioch
Planning Department
200 "H" Street
Antioch, Ca. 94531

RE: Promenade/Vineyards at Sand Creek by Tri Pointe Homes

Below is a brief description of our proposed floor plans and elevations for Promenade Phases 4 thru 6 by Tri Pointe Homes. The project consists of 45x80 Lots as well as 50x90 Lots. Each series includes four (4) floor plans for a total of eight (8) unique plan types that can meet a wide range of buyer needs.

Promenade provides four (4) distinct but complimentary architectural themes for the four (4) different floor plans in each series. We propose to use traditional California styles which include Ranch, Cottage, Craftsman and Farmhouse. Each floor plan has three of the four themes which are mixed throughout the two series. Within each theme, three (3) color schemes are provided. This allows for variation of architecture and colors and materials within our mix of architectural homes on the streetscape.

For the architecture, we distinguish the styles within the plans by using different types of details, materials, and color palettes. Each architectural theme presents a specific kind of garage door, window mullions, shutters, and trim profiles that all fit in character with its style.

In the Ranch style, we use elements of gable and dutch gable roofs, 5:12 roof pitches, recessed panel shutters, outlookers and horizontal lap siding to identify the theme.

For the Cottage we have used gable and hip roofs, 5:12 roof pitches, recessed panel shutters, stone veneer, wood posts at porches and vertical groove panel siding.

For the Craftsman, we used gable roofs, 5:12 roof pitches, stone veneer wainscot, outlookers, plank and batten shutters, shingle siding and tapered porch columns to create the comfortable yet elegant and classic home.

And finally with the Farmhouse, common exterior features include flat profile tiles, 6:12 roof pitches, vertical board & batten siding, louvered shutters, and a stucco wainscot to define the characteristics of the home.

Please refer to the attached design review drawings and color book for more information.

The following sheet includes a breakdown of floor plan square footages per series along with a brief description of the bedroom and bathroom count.

Regards,

Chris York, ARCHITECT
OAG Architects, Inc.
cyork@oagarchitects.com

45x80 Lots:

Plan 1 (2154 S.F.) – 2 Story Home (Garage Forward) with 3 Bedroom, 2.5 Bath Standard

- Options to a 4 Bedroom, 3 Bath

-

Plan 2 (2282 S.F.) – 2 Story home with 3 Bedroom, 2.5 Bath Standard

- Options to a 4 Bedroom, 3 Bath

-

Plan 3 (2446 S.F.) – 2 Story home with 4 Bedroom, 3 Bath Standard

- Options to a 5 Bedroom, 3 Bath

-

Plan 4 (2607 S.F.) – 2 Story home with 4 Bedroom, 3.5 Bath Standard

- Options to a 5 Bedroom, 3.5 Bath

50x90 Series:

Plan 1 (2406 S.F.) – 2 Story Home (Nested 2nd Floor) with 3 Bedroom, 2 Bath Standard

- Options to a 4 Bedroom, 3 Bath

-

Plan 2 (2541 S.F.) – 2 Story home with 4 Bedroom, 3 Bath Standard

- Options to a 5 Bedroom, 3.5 Bath

-

Plan 3 (2848 S.F.) – 2 Story home with 4 Bedroom, 3.5 Bath Standard

- Downstairs living suite option

-

Plan 4 (3135 S.F.) – 2 Story home with 4 Bedroom, 3.5 Bath Standard

- Options to a 5 Bedroom, 3.5 Bath & includes a downstairs living suite option

ATTACHMENT D

**Contra Costa County Fire Protection District (CCCFPD)
Comment Letter**

Contra Costa County



Fire Protection District

July 20, 2021

Mr. Cortez
City of Antioch
Community Development
PO Box 5007
Antioch, CA 94531-5007

Subject: Promenade Subdivision phase 4-6
0 Heidorn Ranch Rd., Antioch
Project # UP-21-09
CCCFPD Project No.: P-2021-03787

Dear Mr. Cortez:

We have reviewed design review permit to establish phases 4-6 of the Promenade Subdivision at the subject location. The following is required for Fire District approval in accordance with the 2019 California Fire Code (CFC), the 2019 California Building Code (CBC), the 2019 California Residential Code (CRC), and Local and County Ordinances and adopted standards:

All phases of this project for emergency access and water supply were approved on 6/5/2018 by the Fire District.

If any changes are made to the layout of the streets, lot lines or fire hydrant locations, plans shall be submitted to the Fire District for review and approval. Contact this office for specific requirements of that submittal.

If no changes were made to the layout of the streets, lot lines or fire hydrant locations, we have no comment on this design review.

Our preliminary review comments shall not be construed to encompass the complete project. Additional plans and specifications may be required after further review.

If you have any questions regarding this matter, please contact this office at (925) 941-3300.

Sincerely,

A handwritten signature in blue ink, appearing to read "Todd Schiess".

Todd Schiess
Fire Inspector I

cc: John Sekigahama
2700 Camino Ramon #130
Wan Ramon, CA 94583
John.sekigahama@tripointehomes.com

File: 0 HEIDORN RANCH RD-PLN-P-2021-03787

PROJECT REFERRAL – REQUEST FOR REVIEW

The City of Antioch Planning Division is requesting your review
of the project information and plans referenced below.

Please provide feedback on availability of services, potential design or code conflicts,
requirements for additional permits, and draft conditions of project approval.

DATE OF REQUEST: 6/25/2021
SUBMIT COMMENTS TO: Jose Cortez (925-779-6118 or Jcortez@antiochca.gov)
COMMENTS DUE BY: **** FRIDAY JULY 16, 2021 ****

PROJECT NAME: PROMENADE, Phases 4 – 6

Project No: UP-21-09, AR-21-07	Application Type: Use Permit and Design Review
Project Address: 057-030-012, -013, -014, -017, -018	
Project Description: Proposed floor plans and elevations for Promenade Phases 4 thru 6 by Tri Pointe Homes. The project consists of 45x80 Lots as well as 50x90 Lots. Each series includes four (4) floor plans for a total of eight (8) unique plan types.	

Applicant Name: John Sekigahama	
Mailing Address: 2700 Camino Ramon #130, San Ramon, CA 94583	
Phone:	E-mail: john.sekigahama@tripointehomes.com

The following documents are included in this transmittal:

- ☒ Plans and related information for the project are online:
<https://www.antiochca.gov/fc/community-development/planning/ProjectDOCs/AR-21-07.pdf>

FOR CITY STAFF ONLY

<input checked="" type="checkbox"/>	Due Date as above -- Please submit your comments or draft conditions of approval to the planner by dates listed above
<input type="checkbox"/>	Due Date TBD -- Planning staff will follow up with you to request a meeting for project discussion and to develop the schedule for comments and draft conditions
<input type="checkbox"/>	Additional information will be routed to you (via email and/or hard copy)

ROUTED TO

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> (CCFPD) Contra Costa Fire | <input checked="" type="checkbox"/> City Engineer / Dev Services | <input checked="" type="checkbox"/> Delta Diablo |
| <input checked="" type="checkbox"/> Stormwater (Phil Hoffmeister) | <input checked="" type="checkbox"/> City of Brentwood | <input type="checkbox"/> Other: [Agency Name] |
| <input type="checkbox"/> Other: [Agency Name] | <input type="checkbox"/> Other: [Agency Name] | <input type="checkbox"/> Other: [Agency Name] |



azareta, Lynnea

From: Brown, Hilary <hbrown@antiochca.gov>
Sent: Friday, June 25, 2021 10:00 AM
To: Cortez, Jose
Cc: adrummond@brentwoodca.gov; dhill@brentwoodca.gov;
enolthenius@brentwoodca.gov; planning@brentwoodca.gov; engineeringservices; Fire;
amandar@deltadiablo.org; carolm@deltadiablo.org; Hoffmeister, Phil
Subject: Project Referral / Request for Review: Promenade Phases 4 - 6 (UP-21-09, AR-21-07)
Attachments: Routing, Promenade Phases 4-6 (UP-21-09, AR-21-07).pdf

Hello,

The City of Antioch Planning Division is requesting your review of the project information and plans referenced/linked in the attached PDF.

Please provide feedback on availability of services, potential design or code conflicts, requirements for additional permits, and draft conditions of project approval to:
Jose Cortez (925-779-6118 or Jcortez@antiochca.gov)

Responses requested at your earliest availability, or by FRIDAY JULY 16, 2021

Thank you in advance for your time and collaboration.

Hilary Brown (*she/her/hers*)
Community Development Technician
Planning Division

Phone: (925) 779-6159
Fax: (925) 779-7034
Web: www.antiochca.gov

City of Antioch | P.O. Box 5007, Antioch, CA 94531-5007

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CALIFORNIA
OPPORTUNITY LIVES HERE