

CITY OF
ANTIOCH
CALIFORNIA
OPPORTUNITY LIVES HERE

TO: ANTIOCH PLANNING COMMISSION
DATE: Regular Meeting of October 18, 2023
SUBMITTED BY: Zoe Merideth, Acting Planning Manager
APPROVED BY: Kevin Scudero, Acting Community Development Director
SUBJECT: Walmart Online Pickup Expansion (AR-22-12)

RECOMMENDED ACTION

It is recommended that the Planning Commission adopt a resolution approving the Design Review application subject to attached conditions of approval (AR-22-12).

DISCUSSION

Requested Approval

The applicant, Teresa Jones, requests approval of a Design Review application to allow a 7,250 square foot expansion of Walmart at 4893 Lone Tree Way (056-011-030). The Design Review includes review of the project's architecture, site design and landscaping.



Environmental

This project is Categorically Exempt from the provisions of CEQA, pursuant to Section 15301 – Existing Facilities. This section of CEQA exempts projects that:

- Involve negligible or no expansion of an existing use beyond that existing at the time of the lead agency determination.
- Additions to existing structures are included in the exemption provided that (A) the project will not result in an increase of more than 10,000 square feet if the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and (B) the area in which the project is located is not environmentally sensitive.

The project is 7,250 square feet, all public services and facilities are available in the area, and the area is currently developed as a parking lot and is not environmentally sensitive.

Background

The Walmart store was originally approved by the City Council as part of the Williamson Ranch Plaza project in June 1998. In 2005, a Walmart expansion of 72,890 square feet was proposed and the Design Review Board approved the design review application and certified the Final Environmental Impact Report (EIR) in 2006. This approval was then appealed to City Council, which did not certify the EIR, thus the project was not acted upon. In 2007, Walmart submitted a request for a 33,575 square foot expansion of the store to allow for grocery sales. The request also reduced the size of the outdoor garden center to increase the amount of interior floor area. In 2010, the Planning Commission approved this request. In 2018, staff administratively approved a 1,230 square foot addition to the northwest portion of the building to allow for online pickup sales.

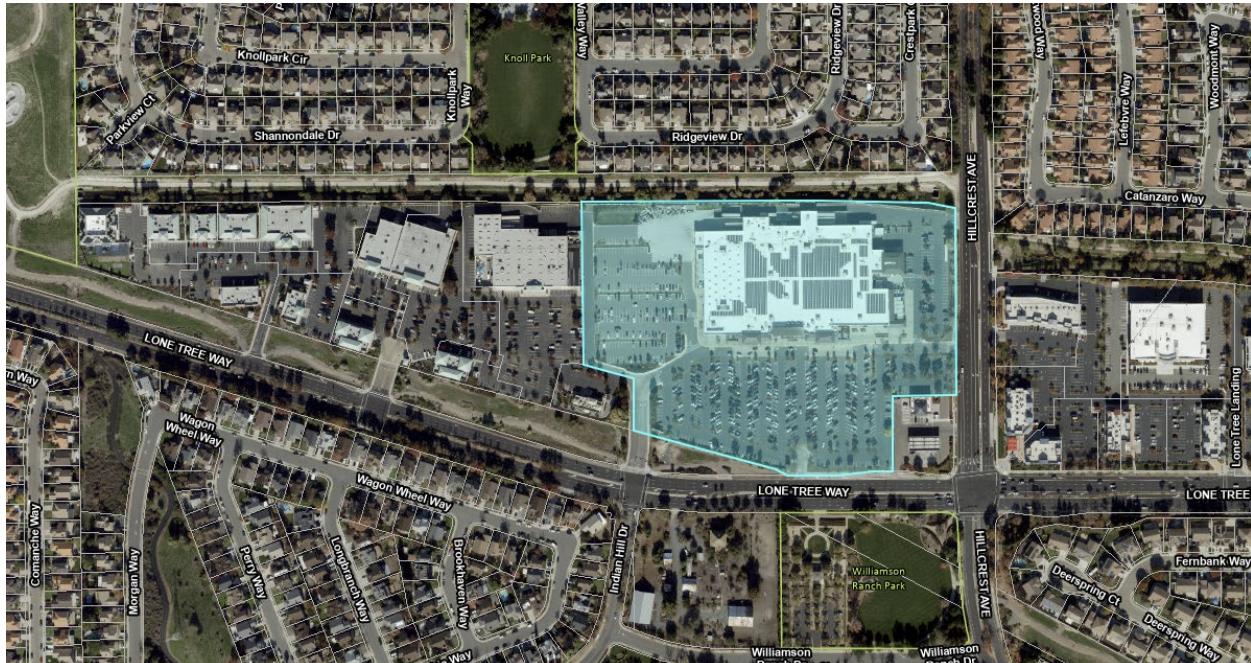
ANALYSIS

Project Overview

The proposed project consists of the expansion and remodel of the exterior of the existing Walmart store located at Williamson Ranch Plaza. The project will construct a 7,250 square foot addition to the northwestern portion of the existing Walmart building. The area will be used for storage, staging, and dispensing of merchandise ordered by customers online for pickup at the store. The area is located next to the existing online pickup area, so customers will remain familiar with where to pick up their orders. The proposed hours of operation for the online pickup facility are 7:00 am to 8:00 pm daily. The addition will occupy an area that is currently customer parking and landscape planters.

The bale and pallet storage area will be reconfigured and relocated to the west of the new building addition. Currently, the bale and pallet storage is located at the northern edge of the property near the western property line. The bale and pallet storage area is a screen wall enclosure that screens from public view the storage of baled cardboard and wood pallets. Both the addition and bale and pallet storage area are designed to match the same architectural style and colors of the existing Walmart.

The project also proposes an interior and exterior remodel and refresh of the existing Walmart. The exterior will be repainted with the same colors as the current Walmart. Signage will include like-for-like replacements, with a square footage increase proposed for the secondary signage, including the bay identification numbers at the automotive center. The applicant's plans and project description are included as Attachments B and C, respectively.



Site Plan, Circulation, and Parking

The proposed addition is located at the northwestern portion of the site. The area is currently parking, drive aisles, and planters. The proposed online pickup order will be located next to the addition and in the same area where online pickup orders currently occur. Existing signage already directs users to this area. Staff believes, beyond site constraints, that this addition will minimize customer confusion as customers are familiar with how to reach the online ordering area. Ten parking stalls at the northwestern area of the parking lot will be removed to make room for the new bale and pallet storage area. In addition to this loss of parking, the project will also be removing and reconfiguring the accessible parking stalls at the front of the building. Through these changes, the applicant is proposing to reduce the parking below the current levels approved through the Planned Development. The existing parking lot consists of 835 spaces, including accessible

parking spaces. The proposed project would remove 29 existing spaces and bring the total number of parking spaces down to 806. To ensure Walmart has enough parking, a parking assessment was prepared for the project. The consultant performed parking data counts at Walmart on a Friday, Saturday and Sunday. The data showed that a maximum of 530 spaces were occupied at one time, a far lower amount than the proposed 806 parking spaces. Therefore, staff believe that the parking reduction is justified and will not create a parking deficit. Additionally, the project is not generating new floor area, rather the addition includes storage area, which would not increase the number of shoppers needing parking at the store. The parking assessment is available as Attachment D

The new addition will reduce the amount of turning area delivery trucks have when using the western truck dock because of the location of the addition. Additional space for the trucks to turn will be gained by the relocation of the bale and pallet storage area away from the northern property line. A preliminary truck turning analysis is provided as Attachment E. A recommended condition of approval has been included to show a truck turning analysis with the building permit submittal to ensure the final improvement and building permit plans accommodate trucks.

Architecture, Landscaping, and Signage

The proposed building addition is consistent with the existing Walmart architecture. The building addition features the same cornice, banding and pilasters as the main Walmart building. The roof equipment will be fully screened by parapets. The addition will feature the same colors, including a darker brown base and reddish-brown main building color. This is highlighted with the use of lighter browns and beiges. The doors where Walmart associates will enter and exit from to bring out the orders feature a metal awning. The bale and pallet storage area also features the same architecture as the building and includes the same pilaster details as the building. The bale and pallet storage area will be painted to match the building. At its rear, the bale and pallet storage will feature a metal fence with sliding gates. Staff believes this will be an improvement over the existing bale and pallet storage area, which faces into the parking lot and is located closer to the homes than the proposed location, which will face the rear of the site as opposed into the parking lot.

To ensure adequate lighting, a new light pole will be installed in the parking lot by the addition. An existing light pole will be relocated in the parking lot. Three new wall mounted lights will be installed at the front and side of the addition. The provided photometric plan shows that with the addition and relocation of the lights, the addition will meet the two-foot candle Antioch Municipal Code requirement for commercial parking facilities.

The proposed project includes new landscaping around the front of the proposed addition and in the parking lot. The applicant will be refreshing some of the existing planter boxes near the addition, by removing the existing trees and planting African Sumac. Ground covers and shrubs will be installed including fortnight lily, which is found elsewhere in the store's landscaping. The large area of planting next to the addition will soften both the existing building and addition and will feature groundcovers, flax, fortnight lily, and an

African Sumac tree. Finally, the landscaping at the rear of the property will be refreshed as well using the same plant pallet.

The applicant is proposing to update the signage like-for-like, with the exception of the secondary signage, including increasing the bay identification numbers at the automotive center. Additional secondary signage is also proposed for the front elevation, including a new “Outdoor sign” Walmart signage is governed by the Williamson Ranch Master Sign Program. The Master Sign Program allows anchor tenants primary frontage signage area to be no greater than 65% of the building length. Additionally, secondary signage elements are limited to 6 per elevation. The proposed signage meets these requirements.

The proposed project coordinates with the existing Walmart store, increases the landscaping area, and refreshes the exterior paint and signage.

ATTACHMENTS

- A. Resolution Approving the Design Review Application
- B. Project Plans
- C. Project Description
- D. Parking Assessment
- E. Truck Turning Analysis

ATTACHMENT "A"

PLANNING COMMISSION RESOLUTION # 2023-XX

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ANTIOCH APPROVING A DESIGN REVIEW APPLICATOIN FOR THE WALMART EXPANSION AT 4893 LONE TREE WAY (AR-22-12) (APN: 056-011-030)

WHEREAS, the City of Antioch received an application from Teresa Jones requesting approval of a Design Review application to allow a 7,250 square foot expansion of Walmart at 4893 Lone Tree Way (056-011-030) (AR-22-12).

WHEREAS, the proposed project is Categorically Exempt from the California Environmental Quality Act (CEQA) under Article 19, Section 15301 Existing Facilities. Class 32 consists of projects with negligible or no expansion of an existing use;

WHEREAS, on October 18, 2023, the Planning Commission duly held a hearing on the matter, and received and considered evidence, both oral and documentary and documentary; and

WHEREAS, the Planning Commission considered all public comments received, the presentation by City staff, the staff report, and all other pertinent documents regarding the proposed request.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Antioch does hereby APPROVE a Design Review application to allow a 7,250 square foot expansion of Walmart at 4893 Lone Tree Way (056-011-030) (AR-22-12), subject to the following conditions contained hereto in Exhibit A.

* * * * *

I HEREBY CERTIFY that the foregoing recommendation was passed and adopted by the Planning Commission of the City of Antioch, at a regular meeting thereof, held on the 18th day of October 2023 by following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

KEVIN SCUDERO
Secretary to the Planning Commission

EXHIBIT A

DRAFT	General Conditions	<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>
1.	<p>Project Approval. This Design Review approval is for 4893 Lone Tree Way (APN: 056-011-030), as substantially shown and modified by conditions herein. Plans dated received on October 4, 2023 as presented to the Planning Commission on October 18, 2023 ("Approval Date."). For any condition herein that requires preparation of a Final Plan where the project applicant has submitted a conceptual plan, the project applicant shall submit final plan(s) in substantial conformance with the conceptual plan, but incorporate the modifications required by the conditions herein for approval by the City.</p> <p>Project Approval Expiration. This approval expires on October 18, 2025 (two years from the date on which this approval becomes effective) or at an alternate time specified as a condition of approval, unless a building permit has been issued and construction diligently pursued. All approval extensions shall be processed as stated in the Antioch Municipal Code.</p>	City of Antioch	On-Going	Planning Department
2.				
3.	<p>City Fees. The applicant shall pay any and all City and other related fees applicable to the property, as may be modified by conditions herein. Fees shall be based on the current fee structure in effect at the time the relevant permits are secured and shall be paid before issuance of said permit or before any City Council final action approval. Notice shall be taken specifically of Plan Check, Engineering, Fire and Inspection Fees. The project applicant shall also reimburse the City for direct costs of planning, building and engineering plan check and inspection, as mutually agreed between the City and applicant.</p>	City of Antioch	On-Going	Community Development Department

	Discretionary or ministerial permits/approvals will not be considered if the developer is not current on fees, balances, and reimbursement that are outstanding and owed to the City.		
4.	<p>Pass-Through Fees. The developer shall pay all pass-through fees. Fees may include but are not limited to:</p> <ul style="list-style-type: none"> East Contra Costa Regional Fee and Financing Authority (ECCRFFA) Fee in effect at the time of building permit issuance. Contra Costa County Fire Protection District Fire Development Fee in place at the time of building permit issuance. Contra Costa County Map Maintenance Fee in affect at the time of recordation of the final map(s). Contra Costa County Flood Control District Drainage Area fee. School Impact Fees. Delta Diablo Sanitation Sewer Fees. Contra Costa Water District Fees. 	City of Antioch	On-Going
5.	<p>Appeals. Pursuant to Section 9-5.2509 of the Antioch Municipal Code, any decision made by the Planning Commission which would otherwise constitute final approval or denial may be appealed to the City Council. Such an appeal shall be in writing and shall be filed with the City Clerk within five (5) working days after the decision. All appeals to the City Council from the Planning Commission shall be accompanied by a filing fee established by a resolution of the City Clerk.</p>	City of Antioch	Within 5 Working Days of Planning Commission Action
6.	<p>Requirement for Building Permit. Approval granted by the Planning Commission does not constitute a building permit or authorization to begin any construction or demolish an existing site or any part of the existing structure. An appropriate permit issued by the Community Development Department must be obtained before constructing, enlarging, moving, converting, or demolishing any building or structure within the City.</p>	City of Antioch	On-Going

7.	Modifications to Approved Plans. The project shall be constructed as approved and with any additional changes required pursuant to the Zoning Administrator or Planning Commission Conditions of Approval. Planning staff may approve minor modifications in the project design, but not the permitted land uses. A change requiring discretionary approval and any other changes deemed appropriate by the Planning staff shall require further Planning Commission approval through the discretionary review process.	City of Antioch	On-Going	Planning Department
8.	Hold Harmless Agreement/Indemnification. The applicant (including any agent thereof) shall defend, indemnify, and hold harmless, the City of Antioch and its agents, officers and employees, from any claim, action, or proceeding against the City or its agents, officers or employees to attack, set aside, void, or annul the City's approval concerning this application. The City will promptly notify the applicant of any such claim action or proceeding and cooperate fully in the defense.	City of Antioch	On-Going	Planning Department
9.	Public Works Standard Conditions	Regulation Source	Timing/ Implementation	Enforcement/ Monitoring
	City Standards. All proposed improvements in the city right of way shall be constructed to City standards or as otherwise approved	City of Antioch	On-Going	Public Works Department

	by the City Engineer in writing. The developer shall file for a City Encroachment permit for all improvements within the public right of way, a grading permit for grading of the site, and a building permit for all buildings and utilities to be installed on the site.			
10.	Utility Construction. All new or relocated site utilities shall be constructed to their ultimate location, size and configuration with the building expansion in which they will service.	City of Antioch	On-Going	Public Works Department
11.	Utility Mapping. Prior to acceptance of new site utilities, the developer shall provide GPS coordinates of all below ground and above ground utilities. This includes all Water Distribution Utility features, sewer collection Utility features, Storm Water Utility features, and invert associated with these features. Developer shall also include GPS coordinates of any new water meters, and irrigation controllers. These GPS coordinates must be taken on a survey-grade sub-meter GPS data receiver/collector and provided in GIS shapefile format using the NAVD 88 (with conversion information). Submittal of as-built drawings in CAD format shall satisfy this condition.	City of Antioch	On-Going	Public Works Department
12.	Utility Undergrounding. All new proposed electrical and dry utilities shall be undergrounded (e.g., transformers and PMH boxes) and subsurface pursuant to Section 7-3 "Underground Utility Districts" of the Antioch Municipal Code.	City of Antioch	On-Going	Public Works Department
13.	Site ADA Ramps and Crosswalks. The applicant shall update all existing site ADA ramps and crosswalks to the latest ADA standards. With the City of Antioch PW inspector, the applicant shall inspect all ADA ramps, cross walks, and mark those ramps that need to be revised and updated to the latest standards. The applicant shall replace all existing site ADA ramps that need to update to current standards.	City of Antioch	Prior to Acceptance of occupancy of new expansion	Public Works Department
14.	Sewer. All sewage for this new building expansion shall flow by gravity to the existing building sewer trunk main located within the site. Connections shall be in accordance with City requirements. The developer shall backfill and restore all	City of Antioch	On-Going	Public Works Department

	disturbed surface improvements to the satisfaction of the building official and/or city engineer.			
15.	<p>Storm Drain Design/Construction. The developer shall verify that the existing storm drain facilities can adequately handle the revised stormwater flows entering the existing drainage system.</p> <p>a. All existing utilities, including storm drainpipes, water and sewer lines, internet or phone lines, that are in conflict with the proposed building expansion shall be identified and relocated. All new drainage pipes can be constructed of high strength HDPE pipe or be constructed of Portland Concrete Cement or as approved by the City Engineer. All new site utilities, including site storm drainage pipes and catch basins, shall be installed so to adequately drain the site low spots, landscape areas, parking areas, driveways, sidewalks bio-retention basins.</p> <p>b. The existing storm drain system is not in conflict the building shall remain and shall flow to the existing drainage basins shown within site plan with no diversion out of existing site watershed(s). Storm drainpipe system shall be pipe, RCP, or heavy duty PVC pipe capable of supporting 3000 lbs. vehicle loads, and flow to the closest off-site catch basins and manholes shown on the preliminary grading and storm water plan.</p> <p>c. All existing detention basins and bioswales and associated improvements shall remain operational prior to issuance of this expansion building permit and during construction.</p> <p>d. Existing Detention basins shall remain in use to the satisfaction of the City Engineer with an emergency spillway to provide controlled overflow relief for large storm events. All new Bio-retention basins and associated improvements are to be</p>	City of Antioch	At the Time of Building Permit Submittal	Public Works Department

	constructed in the landscaping areas of site as shown on the approved preliminary site and landscape plans.	e. Bioretention basins shall be designed within the site to the satisfaction of the City Engineer. Each basin shall have an emergency overflow spill way to the adjacent parking lot to provide controlled overflow relief for larger than normal storm events. An Operations and Maintenance Manual (for each the basin) shall be submitted for the basin prior to the issuance of the first building permit		Public Works Department
16.	Water Pressure. The developer shall relocate the existing water line around the existing building and provide adequate water pressure and volume for fire flow and for domestic use to serve this existing and proposed building expansion. This will include a minimum fire flow of 1000 gpm at a residual pressure of 20 psi with all losses included at the highest sprinkler unit in the building, as approved by the City Engineer. See Fire Requirements for additional water flow conditions.	City of Antioch	On-Going	Public Works Department
17.	Relocate Looped Water System. The proposed building expansion conflicts with the existing 8" looped water line that surrounds the existing building. The section of this looped water line that is in conflict with the building extension shall be relocated so the looped water distribution system can be maintained free of being under any structure. The developer shall maintain adequate fire pressure and water supply to the existing looped water system until the new relocated water line is constructed and placed in service. The developer shall be responsible for installing any new sprinkler lines and water mains to the new expansion to continue to have a looped water system to all the commercial buildings located on the project site with only very minor disruption to adjacent property owners or to the City.	City of Antioch	On-Going	Public Works Department
18.	Hydrology Analysis. The developer shall submit hydrology and hydraulic analyses and report of the storm drainage system impacted by building expansion as part of the storm water	City of Antioch	At Building Permit Submittal	Public Works Department

	control plans for 10 year and 100-year storm events. The developer shall submit a revised hydrology study as part of the storm water control plan verifying that the existing and proposed detention basins can handle the change in surface water flows. The analysis shall also demonstrate adequacy of the existing and proposed parking lot drainage system and downstream drainage system will not be impacted by the new building expansion.			
19.	<p>Fences. All rear and side yard fencing of this commercial site shall be modified to accommodate the new configuration of the site layout and revised building layout as approved by the City Engineer.</p> <p>a. All existing fencing adjacent to existing and proposed detention basins that shall remain in use during construction or need to be restricted shall be reviewed and approved by the City Engineer at the time of improvement plan approval.</p>	City of Antioch At Building Permit Submittal	At Building Permit Submittal	Public Works Department
20.	<p>C.3 Compliance. Per State Regulations, all new impervious surfaces including onside driveways and parking areas shall be constructed as part of the project are subject to C.3 requirements.</p> <p>NPDES. The project shall comply with all Federal, State, and City regulations for the National Pollution Discharge Elimination System (NPDES) (AMCs 6-9). (Note: Per State Regulations, NPDES Requirements are those in affect at the time of the Final Discretionary Approval.)</p>	State of California On-Going	Regulation Source Timing/ Implementation	Enforcement/ Monitoring
21.	Under NPDES regulations, the project is subject to provision C.3: "New development and redevelopment regulations for storm water treatment." <p>a. Requirements. Provision C.3 requires that the project include storm water treatment and source control</p>	Federal Government At the Time of Building Permit Submittal	At the Time of Building Permit Submittal	Public Works Department

	<p>measures, as well as run-off flow controls so that post-project runoff does not exceed estimated pre-project runoff.</p> <p>b. Storm Water Control Plan. C.3 regulations require the submittal of a Storm Water Control Plan (SWCP) that demonstrates compliance. The SWCP shall be submitted to the City Engineering Department concurrently with site improvement plans.</p> <p>c. Operation and Maintenance Plan. For the treatment and flow-controls identified in the approved SWCP, a separate Operation and Maintenance Plan (O&M) shall be submitted to the Building Department at the time of permit submittal.</p> <p>d. Certificate of Occupancy. Prior to building permit final and issuance of a Certificate of Occupancy, the developer shall execute any agreements identified in the Storm Water Control Plan that pertain to the transfer of ownership and/or long-term maintenance of storm water treatment or hydrograph modification BMPs.</p>	
22.	<p>NPDES Plan Submittal Requirements. The following requirements of the federally mandated NPDES program (National Pollutant Discharge Elimination System) shall be complied with as appropriate, or as required by the City Engineer:</p> <p>a. Application. Prior to issuance of permits for the building expansion, site improvements, or landscaping, the developer shall submit a permit application consistent with the developer's approved Storm Water Control Plan, and shall include, but not limited to, drawings and specifications necessary for construction of site design features, measures to limit directly connected impervious area, pervious pavements, self-retaining areas, treatment BMPs, permanent source control BMPs, and other features that control storm water flow and potential storm water pollutants.</p>	<p>Federal Government</p> <p>At the Time of Building Permit Submittal</p> <p>Public Works</p>

- b. Certified Professional.** The Storm Water Control Plan shall be certified by a registered civil engineer, or by a registered architect or landscape architect as applicable. Professionals certifying the Storm Water Control Plan shall be registered in the State of California and submit verification of training, on design of treatment measures for water quality, not more than three years prior to the signature date by an organization with storm water treatment measure design expertise (e.g., a university, American Society of Civil Engineers, American Society of Landscape Architects, American Public Works Association, or the California Water Environment Association), and verify understanding of groundwater protection principles applicable to the project site.
- c. Final Operation & Maintenance Plan.** Prior to building permit final and issuance of a Certificate of Occupancy, the developer shall submit, for review and approval to the City, a revised Storm Water BMP Operation and Maintenance Plan. This O&M plan shall incorporate City comments on the draft O&M plan and any revisions resulting from changes made during construction.
- d. Long Term Management.** Prior to final building permit and issuance of a Certificate of Occupancy, the developer shall execute and record any agreements identified in the Storm Water Control Plan which pertain to the transfer of ownership and/or long-term maintenance of storm water treatment or hydrograph modification BMPs.
- e. Design Details.**
- i. If needed the Developer shall install a piped drainage system around the building so roof drainage does not drain across sidewalks and driveways in a concentrated manner causing a pedestrian slipping hazard or traffic hazard.

	<p>ii. Install on all new catch basins "No Dumping, Drains to River" decal buttons are added to the top of the curb inlet.</p> <p>f. Hydrology Calculations. The developer shall prepare hydrology calculations of the collection of all storm water entering, and/or originating from the site to an adequate downstream drainage facility without diversion of the watershed. Developer shall submit hydrologic and hydraulic calculations with the Improvement Plans to the Engineering Department for review and approval.</p>
	<p>g. Regional Water Quality Control. Prior to issuance of the grading permit, the developer shall submit proof of filing of a Notice of Intent (NOI) by providing the unique Waste Discharge Identification Number (WDID#) issued from the Regional Water Quality Control Board.</p> <p>h. SWPPP. The developer shall submit a copy of the Storm Water Pollution Prevention Plan (SWPPP) for review to the Engineering Department prior to issuance of a building and/or grading permit. The general contractor and all subcontractors and suppliers of materials and equipment shall implement these BMP's. Construction site cleanup and control of construction debris shall also be addressed in this program. Failure to comply with the approved construction BMP may result in the issuance of correction notices, citations, or a project stop work order.</p> <p>i. BMP. The developer shall install appropriate clean water devices at all private storm drain locations immediately prior to entering the public storm drain system. Implement Best Management Practices (BMP's) at all times.</p>

j. **Erosion Control.** Included with erosion control/storm water quality measures in the final grading plan shall specifically address measures to prevent soil, dirt, and debris from entering the storm drain system. Such measures may include, but are not limited to, hydro seeding, gravel bags and siltation fences or other measures that are subject to review and approval of the City Engineer. If no grading plan is required, necessary erosion control/storm water quality measures shall be shown on the site plan submitted for an on-site permit, subject to review and approval of the City Engineer. The developer shall be responsible for ensuring that all contractors and subcontractors are aware of and implement such measures.

k. **On-Going Maintenance.**

- i. The developer or owner shall sweep or vacuum the existing and proposed parking lot(s) a minimum of once a month and prevent the accumulation of silt, litter and debris on the construction area of the site. Corners and hard to reach areas shall be swept manually.
- ii. If sidewalks are pressure washed, debris shall be trapped and collected to prevent entry into the storm drain system. No cleaning agent may be discharged into the storm drain. If any cleaning agent or degreaser is used, wash water shall be collected and discharged to the sanitary sewer, subject to the approval of the sanitary sewer District.
- iii. Ensure that the area surrounding the project, such as driveways, drive aisles and parking areas are free and clear of construction debris such as silt, dirt, dust, and tracked mud coming in from or in any way related to project construction. Areas that are exposed for extended periods shall be watered regularly to reduce wind erosion. Paved areas and access roads shall be swept on a regular basis. All trucks shall be covered per city requirements.

	<p>iv. Clean all on-site storm drain facilities a minimum of twice a year, once immediately prior to October 15 and once in January. Additional cleaning may be required if found necessary by City Inspectors and/or City Engineer.</p> <p><i>Additional information regarding the project SWCP is necessary and modifications to the SWCP shown on the proposed Vesting Tentative Map may be required in order to comply with C.3 regulations.</i></p>			
	<p>Fire Standards</p> <p>23. The applicant shall comply with all Contra Costa County Fire Protection District standards.</p>	<u>Regulation Source</u> Building Permit Submittal	<u>Timing/ Implementation</u> Building Permit Submittal	<u>Enforcement/ Monitoring</u> Building Permit Submittal
24.	<p>Requirement for Phasing Plan. The project shall be built continuously in one phase. If the project becomes a phased project, then the developer shall provide a phasing plan to the Community Development and Engineering Departments for review and approval.</p>	<u>Regulation Source</u> Final Landscape Plans. The applicant shall submit final landscape plans that identify specific plant materials to be used to landscape surrounding the new building extension and disturbed areas of the parking lots that need relandscaping. This work shall include all trees, shrubs and groundcover, providing both common and botanical names, sizes and quantities at the time of building	<u>Timing/ Implementation</u> Final Landscape Plans. The applicant shall submit final landscape plans that identify specific plant materials to be used to landscape surrounding the new building extension and disturbed areas of the parking lots that need relandscaping. This work shall include all trees, shrubs and groundcover, providing both common and botanical names, sizes and quantities at the time of building	<u>Enforcement/ Monitoring</u> Final Landscape Plans. The applicant shall submit final landscape plans that identify specific plant materials to be used to landscape surrounding the new building extension and disturbed areas of the parking lots that need relandscaping. This work shall include all trees, shrubs and groundcover, providing both common and botanical names, sizes and quantities at the time of building

	permit submittal. The project shall emphasize local and native species of plants in the final landscape plans. See City approved plant list for installing approved plants in the public right of way.		
26.	Water Efficient Landscape Ordinance. The landscaping for the project shall be designed to comply with the applicable requirements of City of Antioch Ordinance No. 2162-C-S The State Model Water Efficient Landscape Ordinance (MWEO). The applicant shall demonstrate compliance with the applicable requirements of the MWEO in the landscape and irrigation plans submitted to the City.	City of Antioch	At the time of Building Permit Submittal
27.	Common Area Landscaping. Landscaping on all slopes, medians, C.3 basins, landscape islands and open space areas shall be approved by the City Engineer and shall be installed at the developers' expense.	City of Antioch	At the time of Building Permit Submittal
28.	Property Drainage. The new commercial building expansion shall contain rain gutter downspouts and underground pipe system that direct water away from the foundation of the new building to the various storm drainage detention basins located around the building as approved by the City Engineer. The new curbs into the revised bioretention basin shall have curb cuts like the existing curb cuts on existing curbs to provide water quality control measures for the site drainage.	City of Antioch	At the Time of Building Permit Submittal
29.	Utility Location on Private Property. All new water line improvements, sewer, drainage, electrical or internet utilities for the building expansion (water meters, sewer cleanouts, etc.) shall be contained within the existing lot property. If this cannot be accomplished lot lines will be adjusted or revised utility easements granted as approved by the City Engineer.	City of Antioch	At the Time of Building Permit Submittal

Grading Improvements	<u>Regulation Source</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>
30. Requirement for Grading Permit. A grading permit is required and issued prior to commencement of any grading operations. The permit shall be obtained through the City's Building Department subject to review and approval by the City Engineer. The submitted plans shall incorporate any modifications required by these Conditions of Approval or as required by City requirements.	City of Antioch	At the time of Building Permit Submittal	Public Works
31. Soils. Prior to the approval of the grading plan(s), the City Engineer shall determine if a geotechnical or structural engineer, are required to review the building permit plan set submitted for this project. If deemed necessary by the City Engineer, field inspections by such professionals will be required to verify compliance with the approved plans. Costs for these consulting services shall be incurred by the developer.	City of Antioch	At the time of Building Permit Submittal	Public Works
32. Grading. All revised grading on this project is subject to the review, coordination and approval of building official and/or the City Engineer. If the revised grading affects other property owners of the commercial site, a required approval from the other affected property owners shall be submitted prior to issue of the grading permit. If needed, a written authorization to "access, enter, and/or grade" adjacent properties prior to issuance of permit and performing any construction on these properties.	City of Antioch	At the time of Building Permit Submittal	Public Works
33. Grading and Drainage Easements. All existing grading and drainage easements over the entire larger commercial development may need to be revised to accommodate the revised grades and improvements of this new facility. Any sale of this site (or portions) of this project to another developer shall include all the necessary drainage, access and utility easements, parking agreements and/or grading easements to assure that project-wide parking and development conforms to the existing conditions of the overall commercial project.	City of Antioch	At the time of Building Permit Submittal	Public Works

34.	Minimum Longitudinal Slope of Concrete Gutters and Slopes. The minimum longitudinal slope of concrete gutters shall be 0.35% unless approved by the City Engineer. The minimum slope of asphalt is 1.5% and the minimum slope of concrete is .5% unless approved by the City Engineer.	City of Antioch	At the time of Building Permit Submittal	Public Works
35.	The Developer Shall Implement Project-specific Geotechnical Recommendations Prior to issuance of any grading permits, all recommendations and specifications set forth in the project specific Geotechnical Exploration Report prepared for the proposed project shall be reflected on the project grading and foundation plans (inclusive of seismic design parameters), subject to review and approval by the City of Antioch Engineer.	City of Antioch	At the time of Building Permit Submittal	Public Works
36.	Grading plans. The locations of building exterior walls, fences and retaining walls and drainage swales, side slopes, parking lot drainage to catch basins with underground pipe drainage systems, pipe out falls shall be shown on the grading plans for review and approval. All the above features shall have proposed elevations shown on the grading plan so the grading of project will adequately drain to underground drainage system in an acceptable manor as approved by the City Engineer.			
	At the Time of Building Permit Issuance	Regulation Source	Timing/ Implementation	Enforcement/ Monitoring
37.	Sewer System Requirements. The site sewer system for the subject site shall be designed in accordance with City standard plans and requirements to the satisfaction of the City Engineer prior to issuance of building permit. If this expanded building is used for cooking or food preparation or food processing, a separate sewer lateral from the expanded building may have need to be constructed with a sewer / water separator and grease interceptor for trapping grease and other food materials from draining to the City sewer system.	City of Antioch	At the time of Building Permit Issuance	Building Department

38.	Demolition Permit. All site demolition shall be included with the construction permits that are issued for the development project. All demolition shall be in accordance with permits issued by the City and Bay Area Air Quality Management District (BAAQMD).	City of Antioch	At the time of Building Permit Issuance	Community Development Department
39.	Encroachment Permit. The applicant shall obtain an encroachment permit from the Engineering Division before commencing any construction activities within any public right-of-way or public easement.	City of Antioch	At the time of Building Permit Issuance	Community Development Department
At the Time of Construction				
40.	Collection of Construction Debris. The developer shall gather all construction debris on a regular basis and place them in a Waste Management dumpster or other container that is emptied or removed on a weekly basis consistent with the Construction and Demolition Debris Ordinance. When appropriate, use tarps on the ground to collect fallen debris or splatters that could contribute to stormwater pollution.	City of Antioch	On-Going	Building Department
41.	Construction Hours. Construction activity shall be as outlined in the Antioch Municipal Code. Construction activity is limited to 8:00 AM to 5:00 PM Monday-Friday or as approved in writing by the City Manager. Requests for alternative construction hours shall be submitted in writing to the City Engineer. days/times restricted to the hours of 8:00 a.m. to 6:00 p.m.	City of Antioch	On-Going	Building Department/ Public Works Department
42.	Demolition, Debris, Recycling. The project shall be in compliance with demolition, and recycling ordinance and supply all the necessary documentation for Antioch Municipal Code § 6-3.2: Construction and Demolition Debris Recycling.	City of Antioch	On-Going	Building Department/ Public Works Department

43.	<p>Filter Materials at Storm Drain Inlet. The developer shall install filter materials (such as sandbags, filter fabric, etc.) at the storm drain inlet nearest the downstream side of the project site prior to:</p> <ul style="list-style-type: none"> a) start of the rainy season (October 1). b) site dewatering activities. c) street washing activities. d) saw cutting asphalt or concrete; and e) order to retain any debris or dirt flowing into the city storm drain system. <p>Filter materials shall be maintained and/or replaced as necessary to ensure effectiveness and prevent street flooding and erosion of soil on City or private streets and existing storm drain system. Dispose of used filter particles in the trash or at local approved landfill facility.</p>	<p>City of Antioch</p> <p>On-Going</p>	Building Department
44.	<p>Archaeological Remains. In the event subsurface archeological remains are discovered during any construction or preconstruction activities on the site, all land alteration work within 100 feet of the find shall be halted, the Community Development Department notified, and a professional archaeologist, certified by the Society of California Archeology and/or the Society of Professional Archeology, shall be notified. Site work in this area shall not occur until the archeologist has had an opportunity to evaluate the significance of the find and to outline appropriate mitigation measures, if deemed necessary. If prehistoric archeological deposits are discovered during development of the site, local Native American organizations shall be consulted and involved in making resource management decisions.</p>	<p>City of Antioch</p> <p>On-Going</p>	Community Development Department
45.	<p>Erosion Control Measures. The grading operation shall take place at one time, and in a manner, so as not to allow erosion and sedimentation into the existing drainage system. The slopes shall be landscaped and reseeded as soon as possible after the grading operation ceases. Erosion measures shall be implemented during all construction phases in accordance with an approved erosion and sedimentation control plan.</p>	<p>City of Antioch</p> <p>On-Going</p>	Community Development Department

		City of Antioch	On-Going	Community Development Department
46.	Dust Control. Standard dust control methods and designs shall be used to stabilize the dust generated by construction activities. The developer shall post dust control signage with a contact number of the developer, City staff, and the air quality control board.			
47.	Debris Removal. The site shall be kept clean of all debris (boxes, junk, garbage, etc.) at all times.	City of Antioch	On-Going	Community Development Department
48.	Relocation of Easements. All existing easements of record that are in conflict with the proposed new expanded building shall be revised or vacated if they are no longer required on the individual lot or parcels within this project shall be removed or revised prior to building occupancy permit. The recordation of such changes to the final parcel map or subsequent separate document shall be completed prior to occupancy.	City of Antioch	At the time of occupancy	Public Works
49.	Required Easements. Any new required easements or rights-of-way for improvements shall be secured by the developer at no cost to the City of Antioch prior to occupancy. Advance permission shall be obtained from any property or, if required from easement holders, for any work done or access required within such property or easements.	City of Antioch	At the time of occupancy	Public Works
	Prior to Issuance of Occupancy Permit	<u>Regulation</u> <u>Source</u>	<u>Timing/</u> <u>Implementation</u>	<u>Enforcement/</u> <u>Monitoring</u>

50.	Planning Inspection. Planning staff shall conduct a site visit to review exterior building elevations for architectural consistency with the approved plans and landscape installation (if required). All exterior finishing details including window trim, paint, gutters, downspouts, decking, guardrails, and driveway installation shall be in place prior to scheduling the final inspection.	City of Antioch	Prior to Occupancy Permit	Planning Department
51.	Debris Removal. All mud, dirt or construction debris shall be carried off the construction site and shall be removed prior to scheduling the final Planning inspection. No materials shall be discharged onto a sidewalk, street, gutter, storm drain or creek.	City of Antioch	Prior to Occupancy Permit	Building Department
51.	Fire Prevention. A final Fire inspection shall occur to inspect all fire prevention systems constructed as part of the project. Inspections shall occur prior to final occupancy permit issuance.		Prior to Occupancy Permit	Fire Department
52.	Damage to Street Improvements. Any damage to existing site improvements during construction and adjacent private property improvements shall be repaired and/or rebuilt to the satisfaction of the City Engineer at the full expense of the developer. This shall include sidewalks, asphalt and concrete pavement, slurry seal the existing AC pavements, parking lot curb and gutter reconstruction, landscaping or other site improvements, as may be required to complete the site and the adjacent property area impacted by construction activities shall be restored to completed and pre-construction condition as much as possible as required by the City Engineer. Any damage to public improvements shall be repaired and rebuilt to the satisfaction of the City Engineer.	City of Antioch	Prior to Occupancy Permit	Building Department
53.	Right-of-Way Construction Standards. All improvements within the public right-of-way, including curb, gutters, sidewalks, driveways, paving and utilities, shall be constructed in accordance with approved standards and/or plans and shall comply with the standard plans and specification of the City Engineer.	City of Antioch	Prior to Occupancy Permit	Public Works

54.	Idle Free Signage. Consistent with the City's adopted Climate Action Plan, the applicant shall install at least one "Idle Free" sign encouraging drivers to refrain from idling in their vehicle, reducing air pollution and greenhouse gas emissions. The sign shall be placed in an area with high visibility where drivers are queued to access the drive-through or pick up area. The sign location shall be shown on the construction plans at the time of building permit submittal for review and approval by Planning staff. The sign shall be 12"x 18" and satisfy City requirements for no parking signage, traffic sign mounting, and signage in the right of way. The applicant shall use the Idle Free Bay Area website https://idlefreebayarea.org/resources/ as a resource to view a sample bilingual Idle Free sign. The applicant may use this template when designing and printing signage.	City of Antioch	Prior to Occupancy Permit	Planning Division
55.	Accessible Path of Travel from the Street to Store to be ADA Compliant. The developer may need to reconstruct parts of the 5' wide concrete sidewalk from the public street on Lone Tree Way to the store front that have become worn, broken and deteriorated. This includes reconstructing existing ADA ramps to be compliant with new ADA standards, crosswalks, stop legends, signage and striping, installing stop control waring devices in and around the site for better safety.	City of Antioch	Prior to Occupancy Permit	Planning Division
56.	Restripe ADA Parking. Restripe existing 16 ADA parking stalls along the store frontage and provide an additional 6 parking stalls. Add stop signs, stop bars and legends to all the parking drive aisles to the front parking lot	City of Antioch	Prior to Occupancy Permit	Planning Division
57.	Existing Water Line Easement and Various Other Existing Utility Easements Over Vacated and New PUE's Prepared. A new 10' wide public utility easement (PUE) shall be established over the new underground water line and any new utilities along new utilities in the site. If warranted new PUE shall be established on site over all new sewer line installed from new building to existing manhole in drive aisle in the adjacent parcel	City of Antioch	Prior to Occupancy Permit	Planning Division

58. Signing and Striping Plan. The applicant shall submit a Signing and Striping Plan using the latest version of the Caltrans Standard Plans Pavement Markers and Traffic Lines Typical Details as depicted in the A20 and A24 series of plan sheets and the latest version of the California MUTCD's Sign Chart. The accessible parking design shall be compliant with the latest version of Caltrans Standard Plans A90 series of plan sheets. Accessible parking lot design shall be also compliant with the latest version of City parking standards.	City of Antioch	At the time of Building Permit Submittal	Planning Division
59. Truck Turning Analysis. With the building permit submittal, the applicant shall submit a truck turning analysis with a minimum size WB-50 vehicle for on-site entry, turnarounds, and overall circulation utilizing the AutoTurn add-on in AutoCAD software.	City of Antioch	At the time of Building Permit Submittal	Planning Division
60. Undeveloped Areas. The developer and/or the property owner shall maintain all undeveloped areas within this development in an attractive manner, which shall also ensure fire safety, erosion control and proper drainage per city and state requirements.	City of Antioch	Prior to Occupancy Permit	Planning Division
61. Sight Distance. At all intersections, street corners and driveways, and private street corners shall comply with city standard sight distance triangle requirements as depicted in the California Municipal Code § 9-5.1101 Site Obstructions at Intersections, or as approved by the City Engineer. The developer shall make sure all landscaping and site plans are in compliance with proper safe sight distance stopping distance requirements based on vehicle speeds in accordance with AASHTO standards.	City of Antioch	Prior to Occupancy Permit	Planning Division
63. Removal of Vacated Easements. All existing easements of record that are no longer required in the expanded building area within this project shall be removed prior to building permit and revised as separate recorded documents as approved by City Engineer.	City of Antioch	Prior to Occupancy Permit	Planning Division
64. Construction Traffic Control Plan. A Construction Traffic Control Plan shall be submitted for approval with the improvement plans for approval by the City Engineer. The plan shall designate construction work areas and areas of the parking lot that will be closed to the general public for safety during each phase of site	City of Antioch	At the time of Building Permit Submittal	Public Works

	construction.			
65.	Bale and Pallet Storage Area. All materials in the bale and pallet storage area shall be securely stored in the storage area. No materials may be stored in the parking lot or outside of the building or bale and pallet storage area.	City of Antioch	Ongoing	Planning Division
66.	Previous Approvals. All conditions included on the previous approvals for Walmart are applicable to the project, except as modified herein.	City of Antioch	Ongoing	Planning Division
67.	Outdoor Storage. The outdoor storage of shipping containers, pallets, bales, and similar shipping containers is prohibited at the site.	City of Antioch	Ongoing	Planning Division

Walmart

ANTIOCH, CA
STORE NO.: 02697-236

DRAWING INDEX

SITE COVER SHEET
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PRELIMINARY FIRE WATER PLAN
PRELIMINARY FIRE WATER PLAN
PRELIMINARY LANDSCAPE PLAN
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EXISTING SQFT: 176,303
ADDITIONAL SQFT: 7,250
TOTAL SQFT: 183,553

DATE: 06/03/22

CONSULTANTS	ATTACHMENT "B"
STIPULATION FOR REUSE	180 SC
MARIAH B. MEYER 8131 METCALF AVENUE OVERLAND PARK, KS 66204 TEL: 913-267-3965 FAX: 913-267-3964	PROTO. #9646932 STORE NO. 4893 LONE TREE WAY ANTIOCH, CA 94531
THE DRAWINGS WAS PREPARED FOR ANTIOCH, CA THIS DRAWING WAS PREPARED FOR THESE DRAWINGS ARE THE PROPERTY OF THE DRAWER AND NOT TO BE COPIED OR ALTERED WITHOUT THE WRITTEN CONSENT OF THE DRAWER. THIS DRAWING IS FOR THE EXCLUSIVE USE OF THE CONTRACTOR AND IS NOT TO BE USED FOR ANY OTHER PURPOSE.	PRINTED ON 03/25/22 BY THE CONTRACTOR FOR THE CONTRACTOR'S USE ONLY.

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	DOCUMENT DATE: 06/03/22



PROJECT LOCATION MAP



NORTH

SIGNAGE PERMIT IS UNDER SEPARATE PERMIT

PROJECT DESCRIPTION	SITE DATA	VICINITY MAP
<p>THE PROPOSED PROJECT LOCATED AT 4893 LONE TREE WAY IN ANTIOCH, WOULD EXPAND THE WEST SIDE OF THE EXISTING WALMART SUPER CENTER STORE BY 250 SF FROM ITS CURRENT AREA OF 170,120 SF. THE INTENDED USE OF THE EXPANDED AREA IS FOR THE STORAGE, STAGING AND DISPENSING OF MERCHANDISE ORDERED BY CUSTOMERS ONLINE. A RECONFIGURED AREA FOR PICKUP AT THE STORE, THE EXPANDED AREA WILL OCCUPY A PREVIOUSLY DEVELOPED PART OF THE SITE THAT IS CURRENTLY OCCUPIED BY A PREVIOUSLY DEVELOPED PART OF THE SITE THAT IS CURRENTLY ASPHALT PAVING WITH LANDSCAPE PLANTERS AND USED FOR WALMART'S CUSTOMER PARKING. PARKING AREA ADJACENT TO THE EXPANSION IS REDESIGNED TO IMPROVE THE FUNCTIONING OF THE PICKUP SERVICE. A RECONFIGURED BALE AND PALELED STORAGE AREA IS ALSO PROPOSED FURTHER TO THE WEST OF THE EXISTING WALMART SUPER CENTER STORE. A METAL FENCE AND GATES ON THE WEST AND NORTH FACING SIDE OF THE WALLS AND ARCHITECTURAL TREATMENT OF BOTH THE BUILDING ADDITION AND THE BALE STORAGE AREA HAVE BEEN DESIGNED TO MATCH THE ARCHITECTURAL DETAILS OF THE EXISTING WALMART STORE</p>	<p>SITE LOCATION: 4893 LONE TREE WAY ANTIOCH, CA 94531 SITE AREA: 1.461 ACRES ZONING CLASSIFICATION: P-D: PLANNED DEVELOPMENT DISTRICT LAND USE CLASSIFICATION: GENERAL MERCHANDISE SALES PARCEL NUMBER: 086-011-030-6</p>	

ARCHITECT: MARIAH B. MEYER <MEYER@BRRARCH.COM>	ELECTRICAL	JACOB S. GLAZE ENGINEER OF RECORD 1100 TOWN & COUNTRY ROAD, SUITE 700 ORANGE, CALIFORNIA 92866
ARCHITECTURAL	ROBERT DALE SMITH ENGINEER OF RECORD 813 1/2 CAL AVENUE, SUITE 300 OVERLAND PARK, KANSAS 66204	

ARCHITECT: MARIAH B. MEYER <MEYER@BRRARCH.COM>

ARCHITECTURE OF RECORD

813 1/2 CAL AVENUE
OVERLAND PARK, KANSAS 66204

SITE COVER

SHEET

CS1

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CONSULTANTS
COUNSELORS

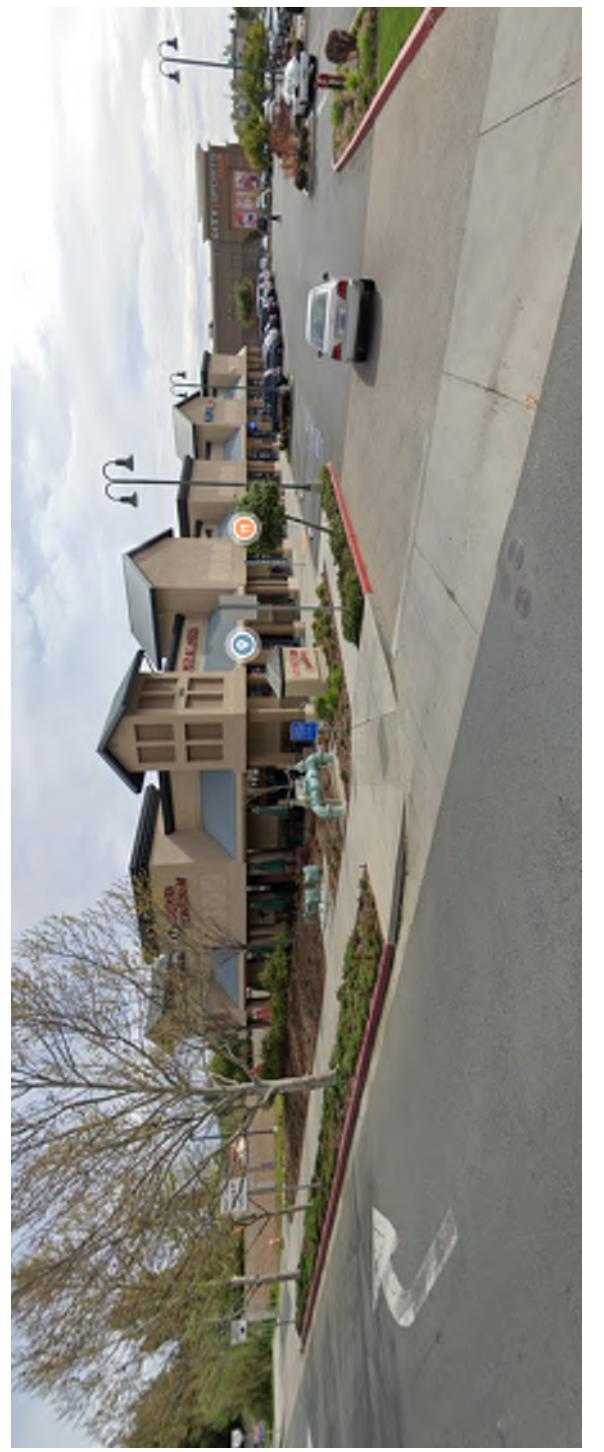
4893 LONE TREE WAY
ANTIOCH, CA
JOB NUMBER: 96546392 PROTO: 180 SC
STORE NO: 02697
DATE OF RELEASE: 06/15/2022
DRAWN BY: HRL
PROTO CYCLE: 03/25/22
DOCUMENT DATE: 06/15/22

ISSUE BLOCK

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PROTO CYCLE:
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CONTEXTUAL
SITE MAP
AND VIEWS

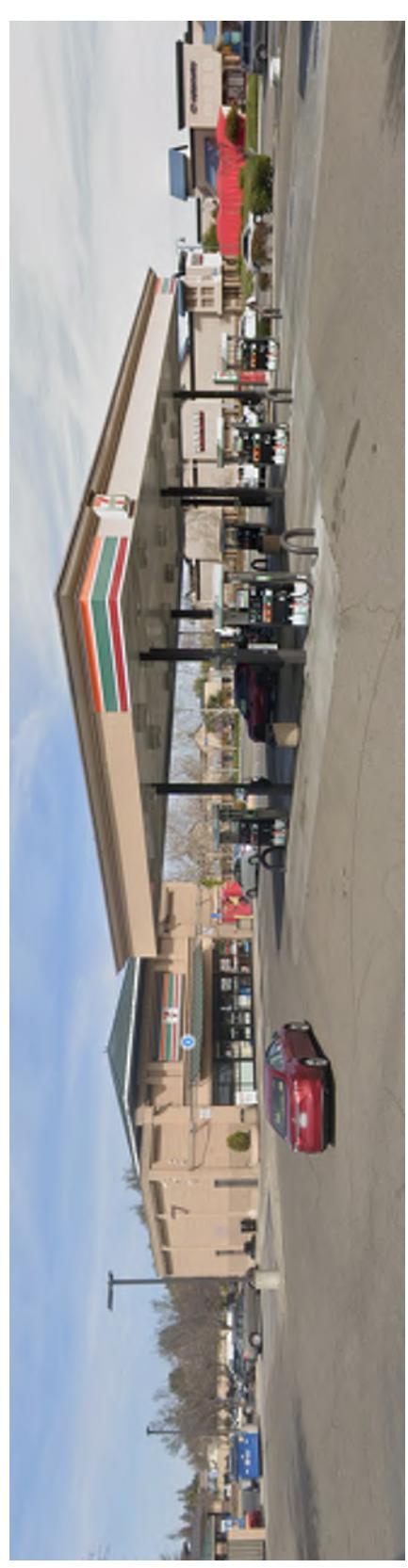
SHEET:
CS2



F. SURROUNDING CONTEXT - E OF HILLCREST AVE - STREET VIEW
ENTRANCE, SHOPS, RESTAURANTS



E. SURROUNDING CONTEXT - CORNER OF HILLCREST AVE AND
WILLIAMSON RANCH PLAZA - STREET VIEW ENTRANCE, SHOPS,
RESTAURANTS



D. SURROUNDING CONTEXT - NW CORNER OF HILLCREST AVE AND
WILLIAMSON RANCH PLAZA



C. SURROUNDING CONTEXT - CORNER OF LONE TREE WY AND
WILLIAMSON RANCH PLAZA - STREET VIEW

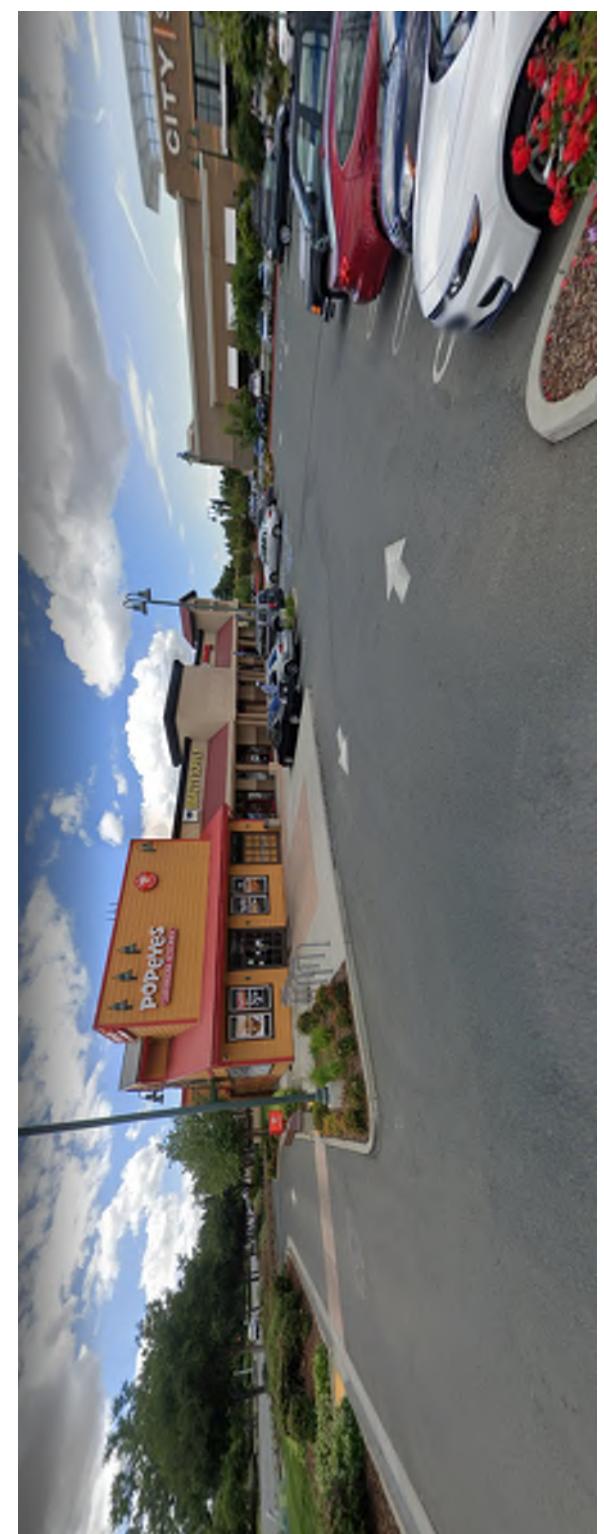


B. SURROUNDING CONTEXT - W OF WILLIAMSON RANCH PLAZA -
RESTRAINT



A. SURROUNDING CONTEXT - NW OF WILLIAMSON RANCH PLAZA

SITE CONTEXT VIEWS



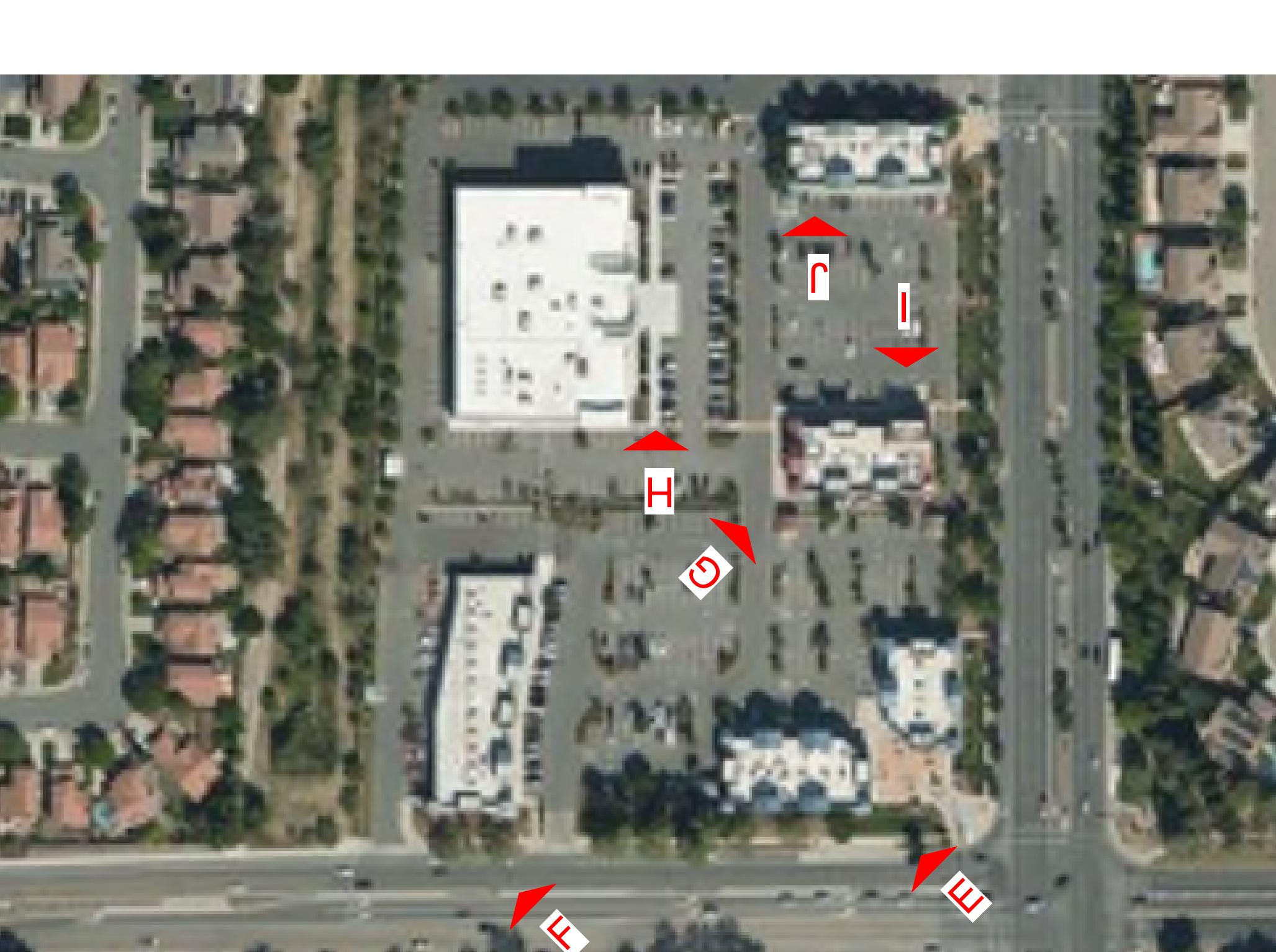
I. SURROUNDING CONTEXT - N OF LONE TREE WY - SHOPS,
RESTAURANTS



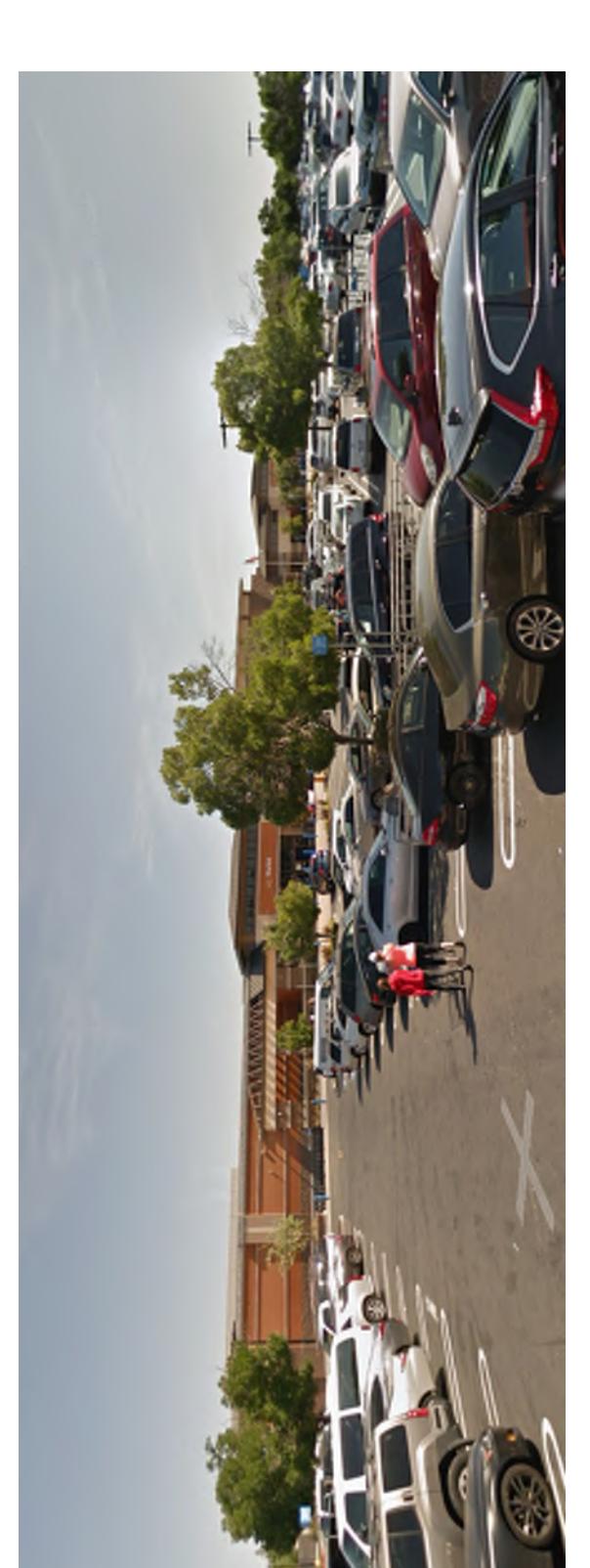
H. SURROUNDING CONTEXT - NE OF LONE TREE WY AND
HILLCREST AVE - ENTRANCE SHOPS, RESTAURANTS



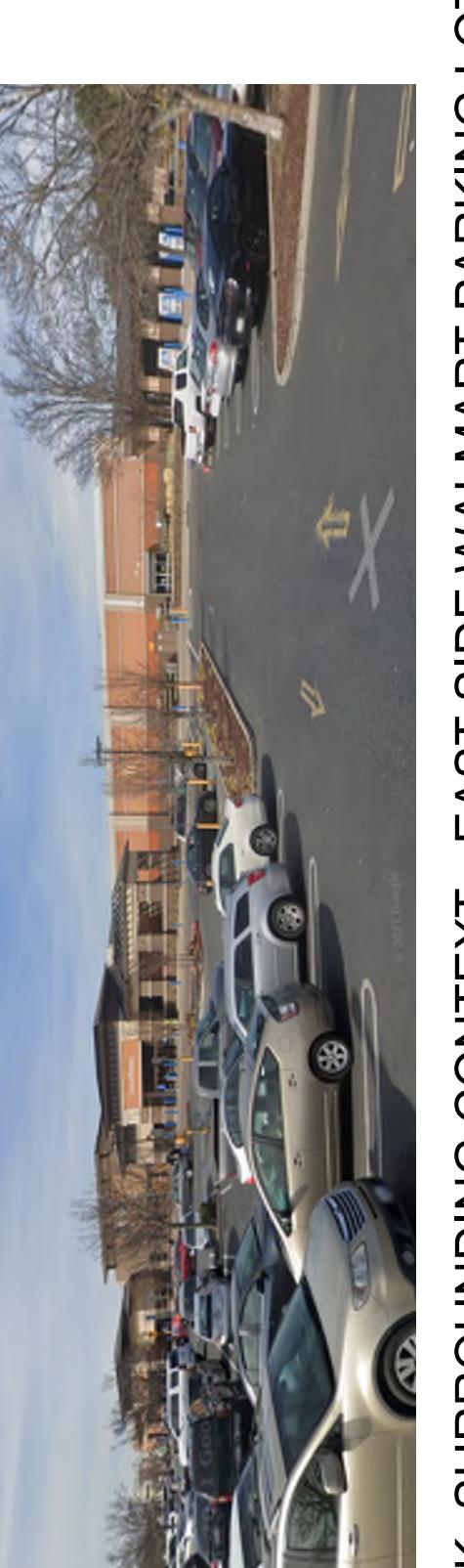
G. SURROUNDING CONTEXT - N OF LONE TREE WY



J. SURROUNDING CONTEXT - NW CORNER OF LONE TREE WY AND
LONE TREE LNDY - SHOPS

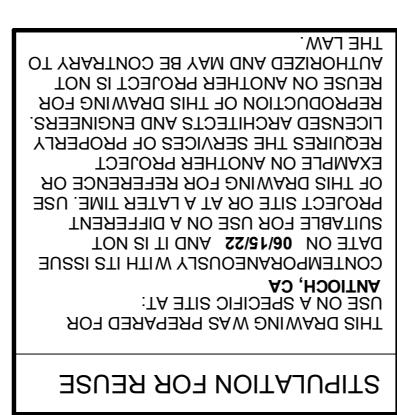


L. SURROUNDING CONTEXT - WEST SIDE WALMART PARKING LOT

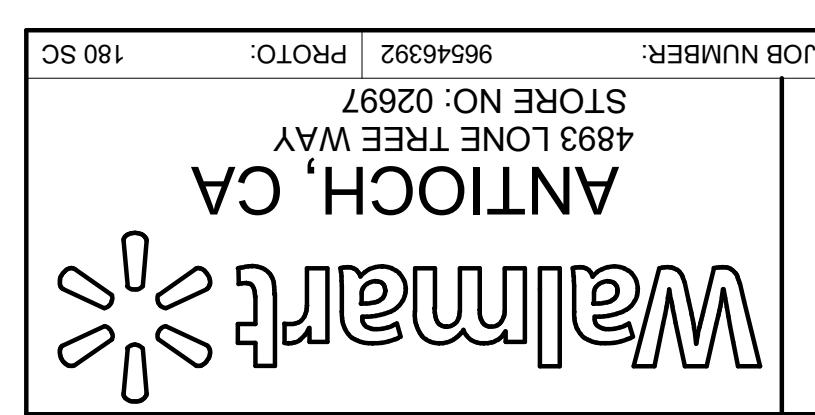


K. SURROUNDING CONTEXT - EAST SIDE WALMART PARKING LOT





CONSULTANTS



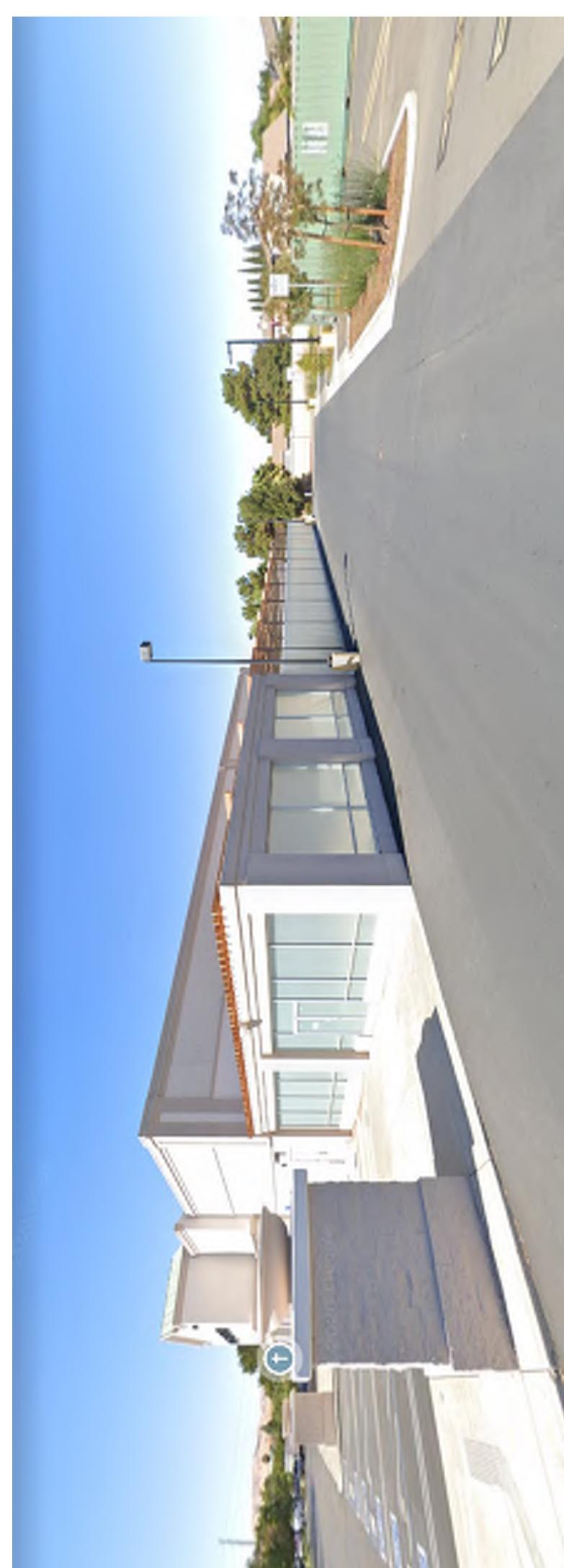
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CONTEXT
PHOTOS



MAIN STREET ENTRANCE TO WAI MÄPT PARKING LOT



O. SURROUNDING CONTEXT - FELLOWSHIP CHURCH



N SIRBOI INDING CONTEXT - PROPOSED EXPANSION | OCATION

SITE CONTEXT VIEWS



3. EXPANSION REAR VIEW



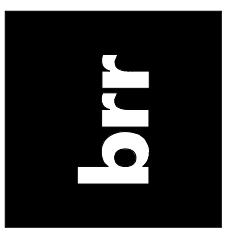
C. EXPANSION FRONT VIEW



A. EXPANSION AERIAL VIEW

SITE PLAN

1/64" = 1'-0"



**8131 METCALF AVENUE
SUITE 300
OVERLAND PARK, KS 66204**
www.brrarch.com
**TEL: 913-262-9095
FAX: 913-262-9044**

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CONSULTANTS

The image shows a standard Walmart logo consisting of the word "Walmart" in its signature blue and yellow block letters, followed by a yellow five-pointed starburst graphic. To the right of the logo is a white rectangular label with black text. The label contains the address "4893 LONE TREE WAY" on the first line, "ANTIOCH, CA" on the second line, the phone number "96546392" on the third line, and "STORE NO: 02697" on the fourth line. At the very top of the label, it says "OB NUMBER:" on the left and "180 SC" on the right.

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SITE BI AN

SP0

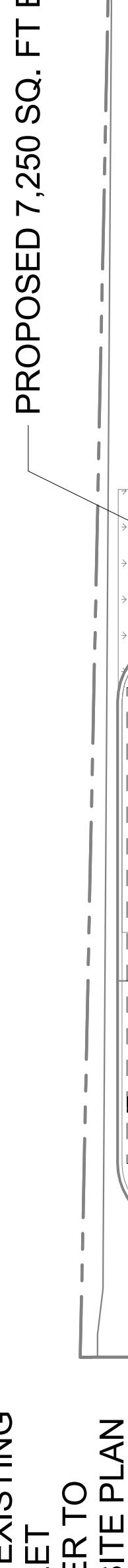
LEGEND

PROPERTY LINE
PROPOSED
LANDSCAPE AREA

**REFER TO PRELIMINARY LANDSCAPE PLAN L1.
AND PRELIMINARY SITE PLAN 1.0 FOR
ADDITIONAL INFORMATION**

**REMOVE AND
RECONFIGURE EXISTING
BALE AND PALLET
STORAGE REFER TO
PRELIMINARY SITE PLAN**

PROPOSED 7,250 SQ. FT BUILDING EXPANSION

A detailed site plan showing the proposed building expansion. The plan includes a dashed line representing the existing building footprint and a solid line representing the proposed expanded footprint. A large area labeled 'PROPOSED 7,250 SQ. FT BUILDING EXPANSION' is shown. To the left of the expansion, there is a large rectangular area labeled 'REMOVE AND RECONFIGURE EXISTING BALE AND PALLET STORAGE REFER TO PRELIMINARY SITE PLAN'. The plan also shows various roads, parking areas, and other site features.

EXISTING WALMART STORE #2697

176.303 SQ. FT

This architectural site plan illustrates the layout of an existing Walmart store (Store #2697) and its surrounding areas. The plan includes the following key features:

- HILLCREST AVE:** The main street running vertically through the site.
- EXISTING WALMART STORE #2697:** Located on the left side of the plan, with a total area of 176,303 SQ. FT.
- Parking Lots:** Numerous parking spaces are indicated throughout the site, primarily along the Hillcrest Ave frontage and in the rear sections.
- Stop Signs:** Several stop signs are placed at intersections and along the street to regulate traffic flow.
- Curbs and Sidewalks:** The plan shows a network of curbs and sidewalks connecting the different areas of the site.
- Building Footprints:** The outlines of the existing building structures and proposed developments are clearly marked.
- Landscaping:** Various trees, shrubs, and other landscaping elements are shown throughout the site.

SITE PLAN

1" = 50'-0"

SITE

REFER TO CIVIL FOR SITE SCOPE OF WORK

ARCHITECT OF RECORD:
MARIAH B. MEYER
8131 METCALF AVENUE
SUITE 300
OVERLAND PARK, KS 66204

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CONTINUATION, CA	ANTONIOCH, CA	DATE ON 06/15/22 AND IT IS NOT STURTABLE SITE OR AT ALATER TIME USE PROJECT SITE OR FOR REFERENCE OF THIS DRAWING FOR REUSE EXAMPLE REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR RESALE OR OTHER PROJECTS IS NOT AUTHORIZED AND MAY BE CONTARY TO THE LAW.

The image shows the Walmart logo on the left, consisting of a stylized sunburst of eight rounded rectangles. To the right of the logo, the word "Walmart" is written in its signature bold, outlined font. Above "Walmart", the text "ANTIOCH, CA" is displayed in a smaller, sans-serif font. To the right of "CA", there is a large amount of address information: "4893 LONE TREE WAY" on one line, "STORE NO: 02697" on the next, and "JOB NUMBER: 180 SC" at the top right. At the very top right of the page, the text "PROTO: 96546392" is visible.

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DOCUMENT DATE:	06/15/22

SHEET NOTES

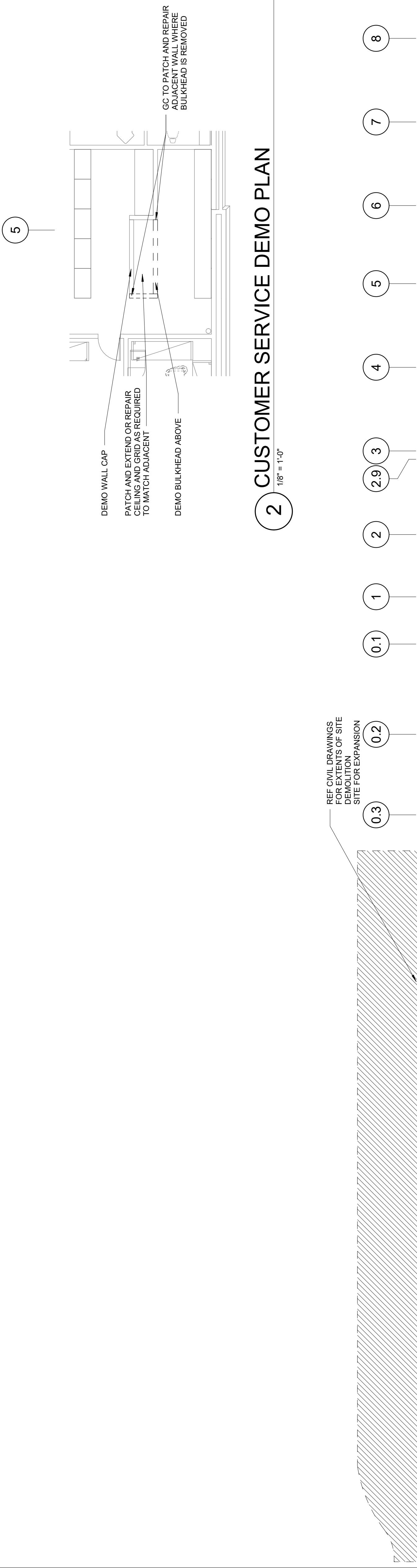
1. DEMOLITION INCLUDES BUT IS NOT LIMITED TO ITEMS SHOWN DASHED. REF DEMOLITION REQUIREMENT NOTE ON N1 SHEET.
 2. REMOVE ALL DOORS SHOWN DASHED. REFER TO ENLARGED PLANS AND DOOR SCHEDULE FOR DOOR AND FRAME REPLACEMENT.
 3. WHERE APPLICABLE, COOLER PANEL INSTALLER SHALL DEMOLISH WALK-IN PANELS AND DOORS TO BE REPLACED. REFERENCE SALVAGE REQUIREMENTS.

DEMOLITION LEGEND

<u> </u>	EXISTING TO REMAIN
— — —	DEMOLISH/REMOVE
 	AREA TO BE DEMOLISHED
— · —	RELOCATE

SALVAGE REQUIREMENTS

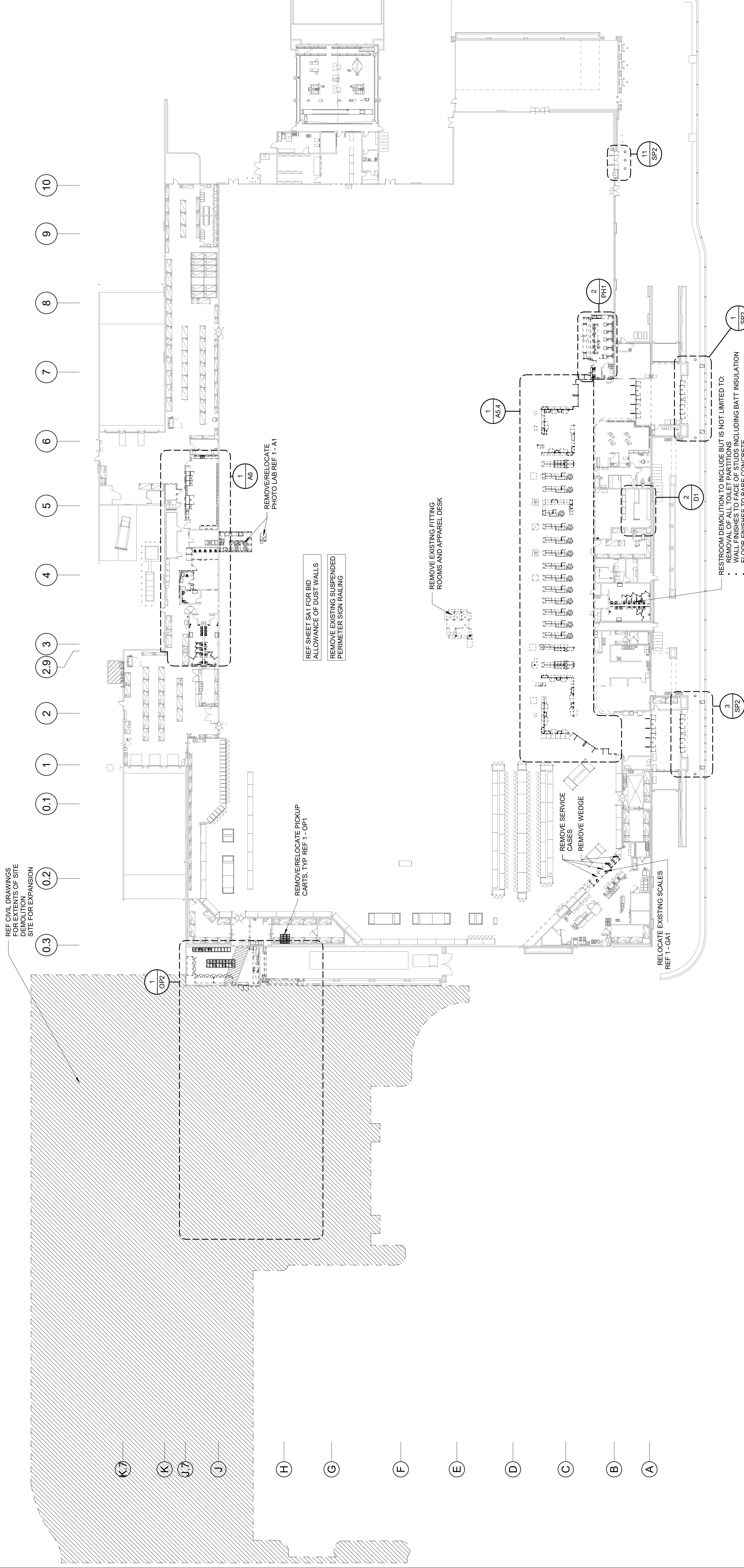
- IMMEDIATE SALVAGE/LEGAL DISPOSAL OF ALL
DECOMMISSIONED EQUIPMENT AND CONSTRUCTION
DEBRIS SHALL BE THE RESPONSIBILITY OF THE
CONTRACTOR.



CUSTOMER SERVICE DEMO PLAN

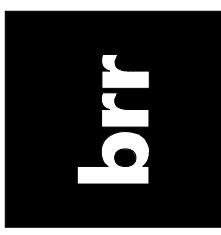
2

1/8" = 1'-0"



DEMOLITION PLAN

D1 SHEET:



ARCHITECT OF RECORD:
MARIAH B. MEYER
8131 METCALF AVENUE
SUITE 300
OVERLAND PARK, KS 66204

www.brrarch.com
TEL: 913-262-9095
FAX: 913-262-9044

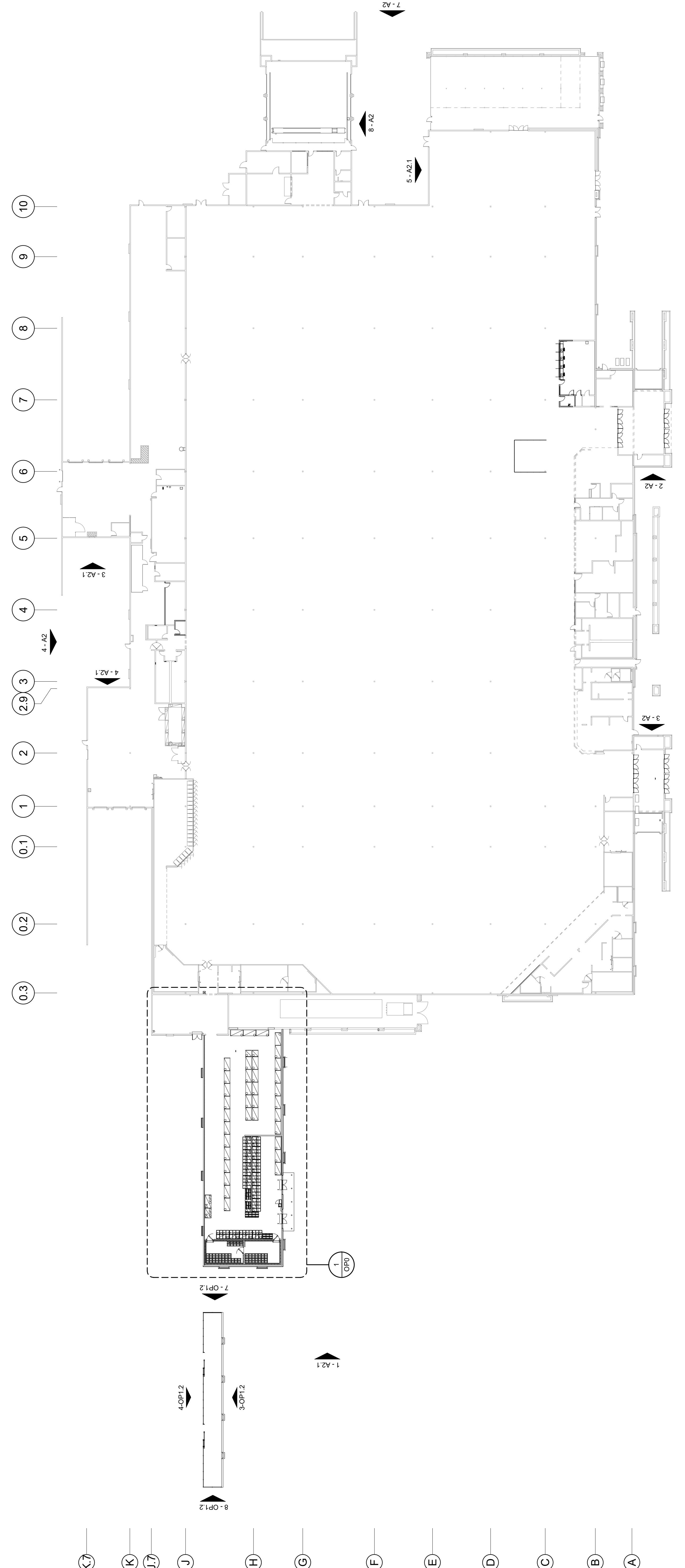
A large, empty rectangular frame with a thick black border, occupying the upper two-thirds of the page. A thin horizontal line is positioned below the frame. The word "CONSULTANTS" is printed in a bold, black, sans-serif font, centered below the line.

The image shows the Walmart logo, which consists of the word "Walmart" in its signature blue and white striped font, followed by a yellow five-pointed starburst icon. Above the logo, the address "4893 LONE TREE WAY" and city "ANTIOCH, CA" are printed in black capital letters. To the right of the address, the store number "STORE NO: 02697" is displayed. At the top of the image, there is a horizontal bar containing the text "OB MEMBER:", "96546392", "PROTO:", "180 SC", and "OB".

CHECKED BY:	DRAWN BY:	PROTO CYCLE:	DOCUMENT DATE:
	HRL	03/25/22	06/15/22

EN 10000 DI AN

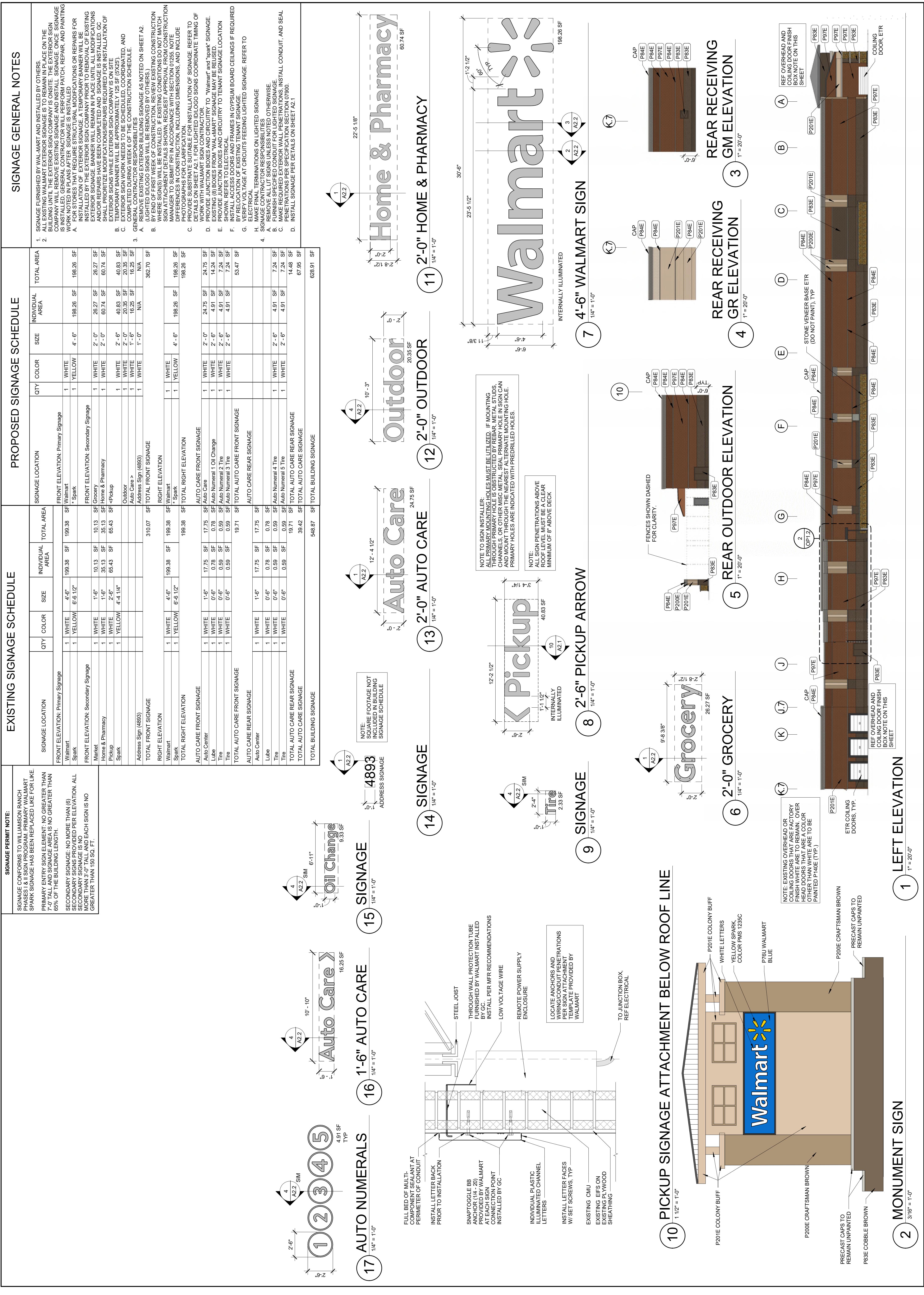
SHEET:
AO



FLOOR PLAN

1

1/32" = 1'-0"



brr

ARCHITECT OF RECORD:
MARIAN B. MEYER
8131 METCALF AVENUE
SUITE 200
OVERLAND PARK, KS 66204
TEL: 913-267-3965
FAX: 913-267-3964
www.bnrrch.com

STIPULATION FOR REUSE:
THIS DRAWING WAS PREPARED FOR ANTIOCH, CA AND IS THE PROPERTY OF THE CITY OF ANTIOCH. IT IS NOT TRANSFERABLE.
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JOE NUMBER: 96546392 PROTO: 180 SC
STORE NO: 02697 HRL:
4893 LONE TREE WAY
ANTIOCH, CA
Walmart

ISSUE BLOCK

CHECKED BY:
DRAWN BY:
PROTO CYCLE:
DOCUMENT DATE:

COLOR BOARD

A2.3

P201E COLONY BUFF - SW 7735

P200E CRAFTSMAN - SW 2835

P103E TOASTY - SW 6095

P97E BRANDYWINE - SW 7710

ARCHITECT OF RECORD:
MARIAN B. MEYER
8131 METCALF AVENUE
SUITE 100
OVERLAND PARK, KS 66204
TEL: 913-267-3965
FAX: 913-267-3965

STPULICATION FOR REUSE
THIS DRAWING WAS PREPARED FOR
WALMART, INC.
THE DRAWING IS THE PROPERTY OF
WALMART, INC.
DATA ON THIS DRAWING IS THE PROPERTY
OF WALMART, INC. IT IS NOT
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OR REPRODUCED IN WHOLE OR IN PART.

CONSULTANTS
ROOF DRAIN

4893 LONE TREE WAY
ANTIOCH, CA
JOB NUMBER: 96546392 PROTO: 180 SC
STORE NO. 02697
DATE OF ISSUE: 03/25/22
CONSIDER RECOMMENDS THAT THE PROJECT
EQUIPMENT NOT BE PLACED ON THE ROOF.
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WALMART, INC. IT IS NOT
TRANSFERABLE NOR IS IT PREFERABLE TO
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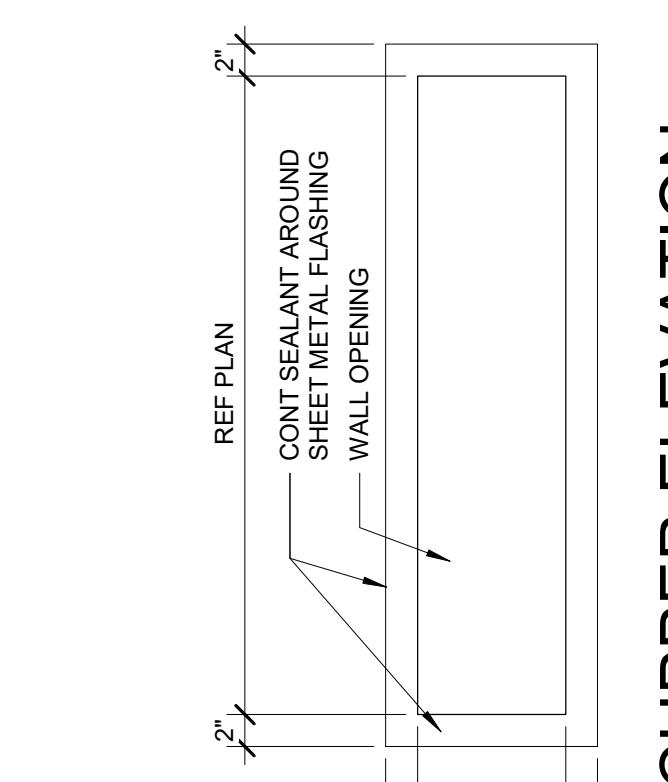
RTU/AHU
ROOF DRAIN

ROOF PLAN

ROOF PLAN

KEYNOTES

7.19 OVERFLOW SCUPPER SIZE NOTED BESIDE KEYNOTE
REF 9-A4.



⑨ SCUPPER ELEVATION

⑩ ROOF PENETRATION

⑪ CMU OPENING AT EXPANSION

⑦ ROOF DRAIN DETAIL

⑧ ROOF CRICKET

⑨ SCUPPER ELEVATION

⑦ ROOF DRAIN DETAIL

⑧ ROOF CRICKET

⑩ ROOF PENETRATION

⑦ ROOF DRAIN DETAIL

⑧ ROOF CRICKET

⑩ ROOF PENETRATION

⑦ ROOF DRAIN DETAIL

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⑧ ROOF CRICKET

⑩ ROOF PENETRATION

brr

ARCHITECT OF RECORD:
MARIAN B. MEYER
8131 METCALF AVENUE
SUITE 100
OVERLAND PARK, KS 66204
TEL: 913-265-9495
FAX: 913-265-9494

CONSULTANTS
STIPULATION FOR REUSE
ANTIOCH, CA
THIS DRAWING WAS PREPARED FOR
ANTIOCH, CA
DATE OF ISSUE: 03/25/22
SUBLEVEL NUMBER: 001
THIS DRAWING IS NOT A PREFERENTIAL
DESIGN DOCUMENT AND SHOULD NOT
BE USED AS THE ROUTE
FOR THIS DRAWING NOT PREFERRED
ROUTE DESIGN DOCUMENTS AND DRAWINGS
SHOULD BE USED AS THE ROUTE
FOR THIS DRAWING.

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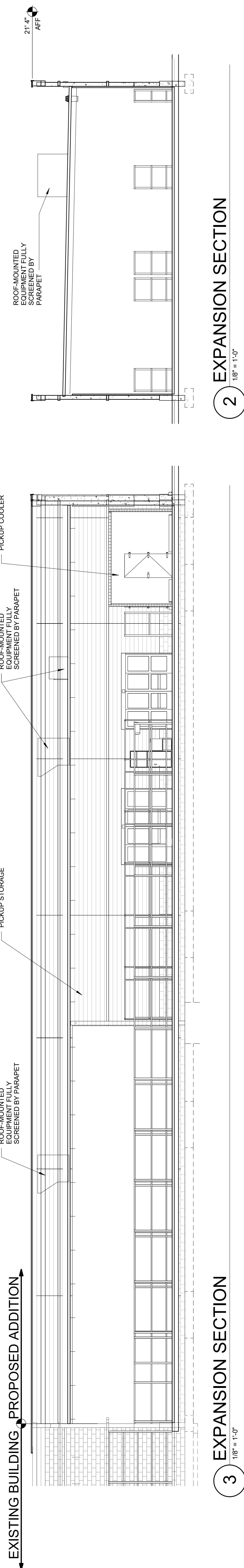
JOB NUMBER: 96546392 | PROJ. NO.: 02697
STORE NO. 180 SC
4893 LONE TREE WAY
ANTIOCH, CA

ISSUE BLOCK
180 SC

CHECKED BY: HRL
DRAWN BY: HRL
PROJ CYCLE: 03/25/22
DOCUMENT DATE: 06/15/22

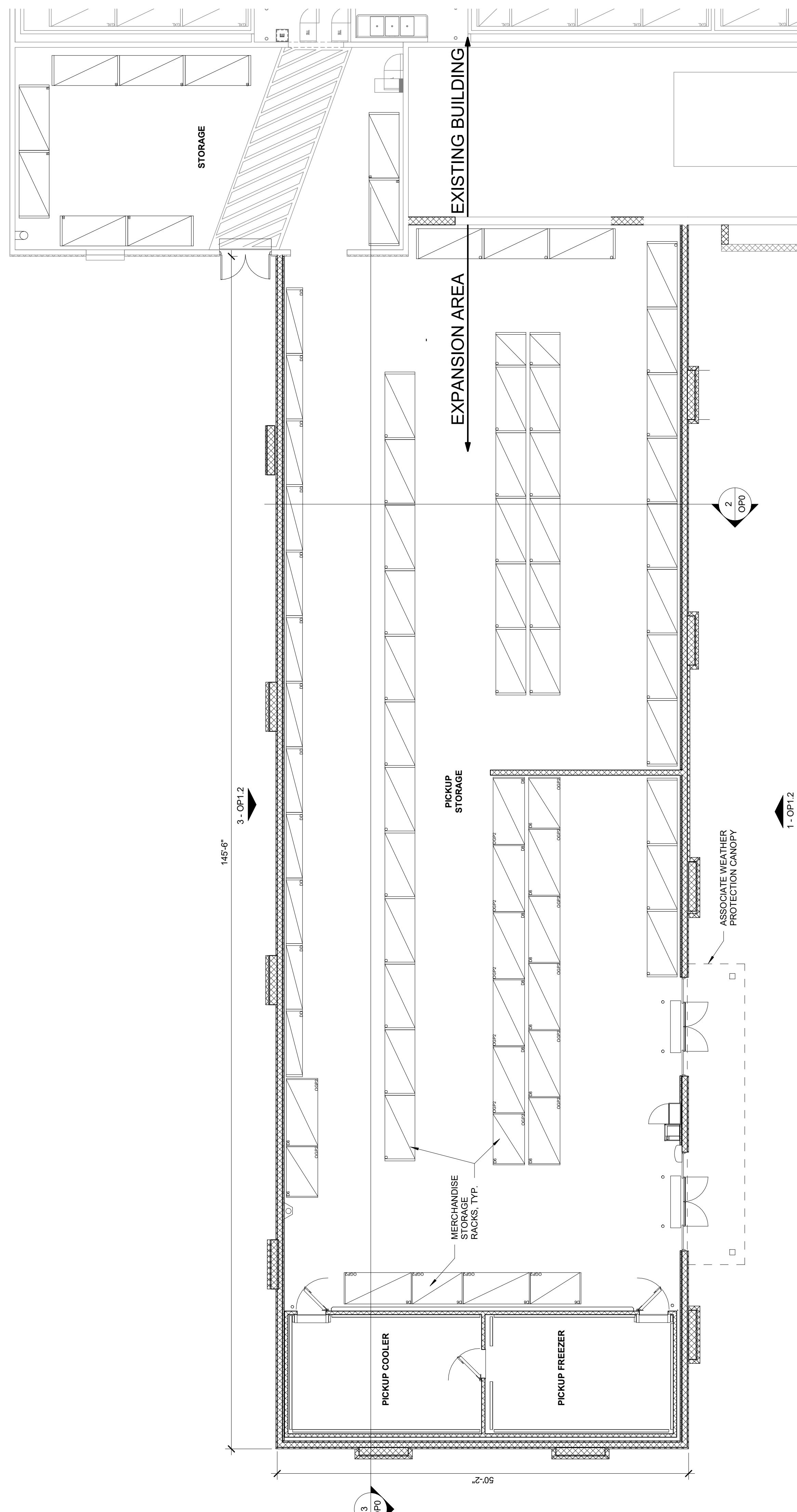
ONLINE
PICKUP
EXPANSION

SHEET: OPo
OPo



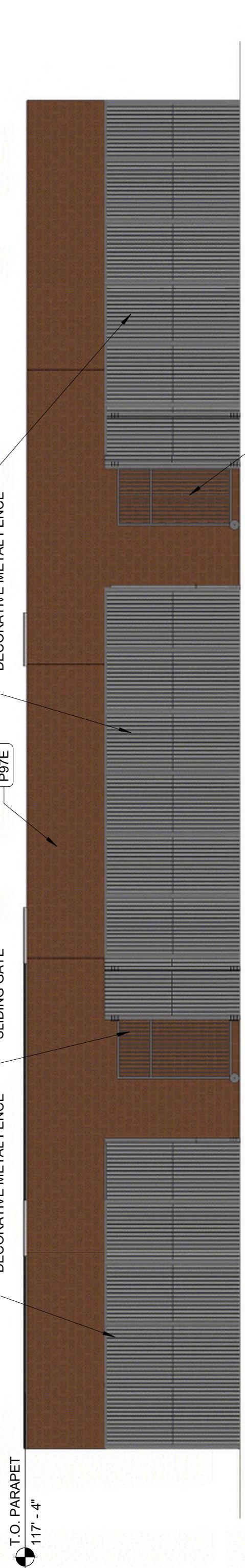
② EXPANSION SECTION

③ EXPANSION SECTION



① ONLINE PICKUP STORAGE

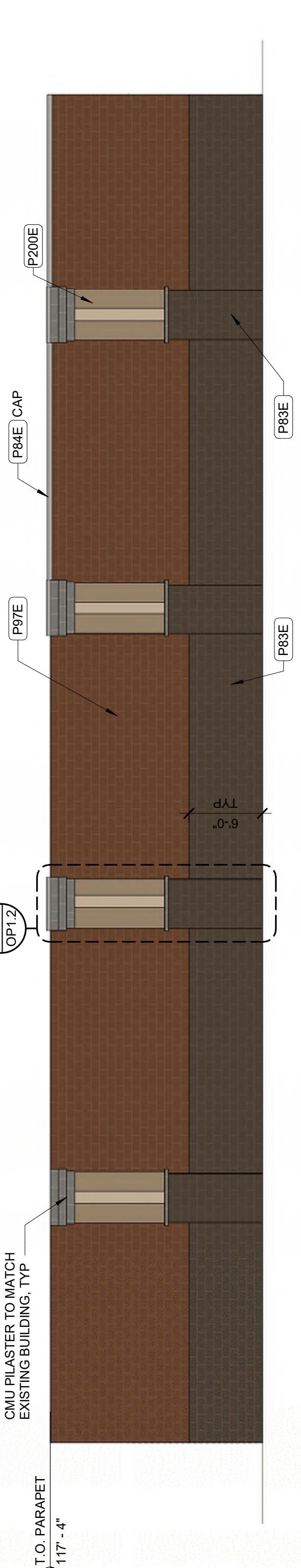
COLOR LEGEND		
P#	COLOR NAME	
P83E	COBBLE BROWN - SW 6082	
P84E	COLONADE GRAY - SW 7641	
P97E	BRANDYWINE - SW 7710	
P103E	TOASTY - SW 6095	
P200E	CRAFTSMAN - SW 2835	
P201E	COLONY BUFF - SW 7723	



BALE STORAGE REAR

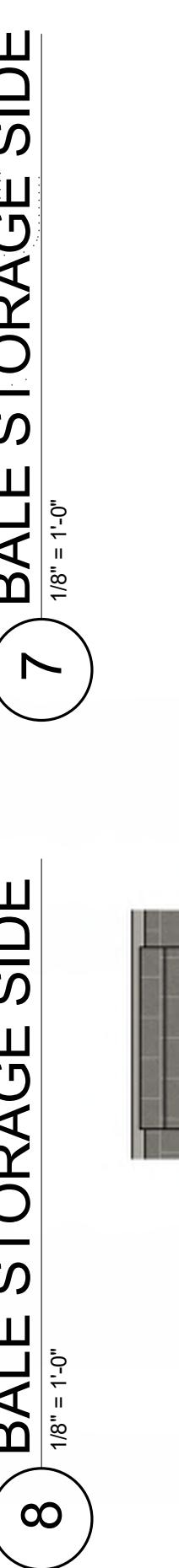
9

18



TYP

OP1.2

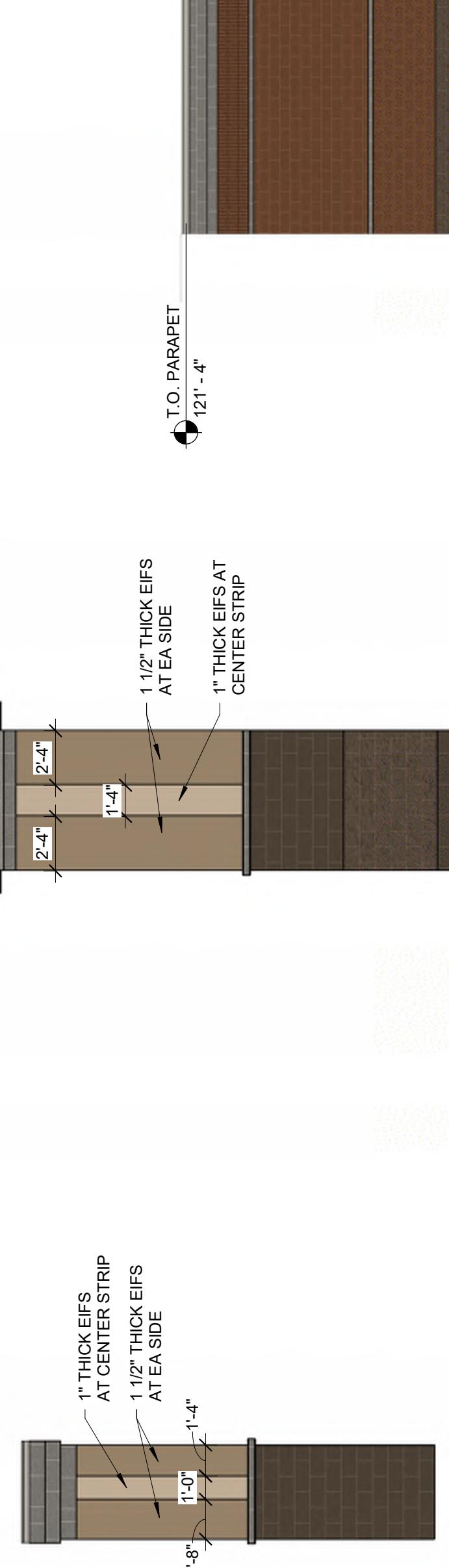


LE **S****I****R****O****G****E** **SIDE**

7 **B****A****L****E** **S****I****R****O****G****E** **SIDE**

1/8" = 1'-0"
'-0"

BALE 8



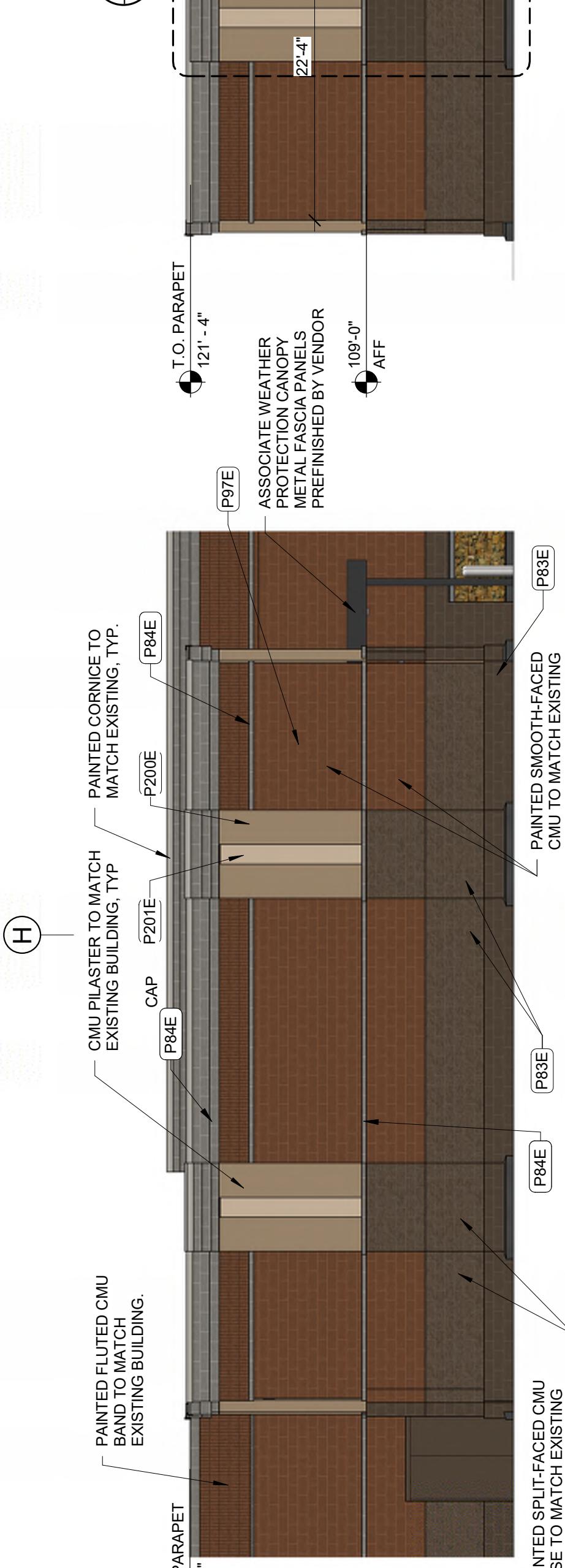
**ENLARGED PLASTER
AT SCREEN WALL**

**ENLARGED PLASTER
AT EXPANSION**

4

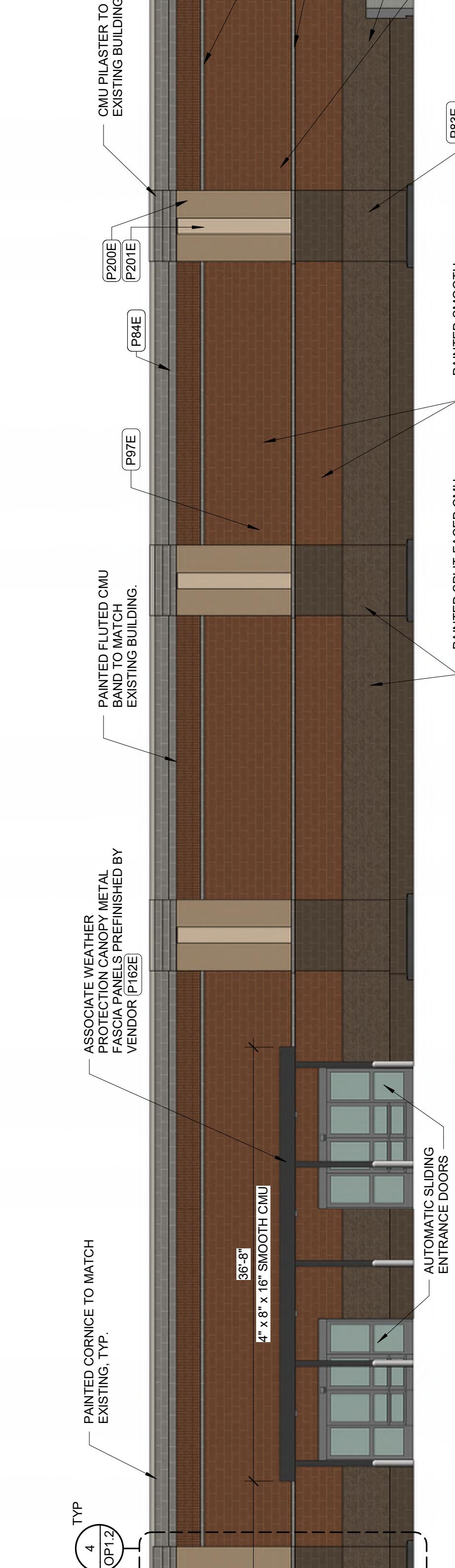
$\frac{3}{16}'' = 1'-0''$

L

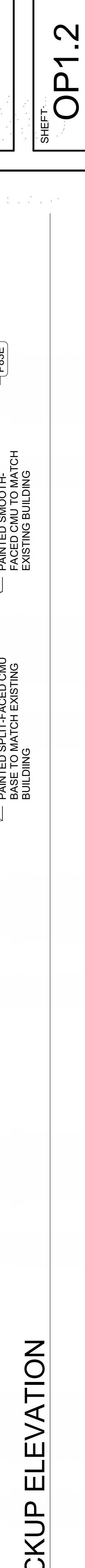


LEFT PICKUP ELEVATION

17



FRONT PICKUP ELEVATION



1



GENERAL LIGHTING NOTES

The image shows the Walmart logo, which consists of the word "Walmart" in its signature blue and white blocky font. To the left of "Walmart" is a yellow sunburst icon. Above the logo, the address "4893 LONE TREE WAY" is written in a smaller, black, sans-serif font. Below the address, the city "ANTIOCH, CA" is also written in a black, sans-serif font.

CHECKED BY:	RS
DRAWN BY:	AT
PROTO CYCLE:	03/25/22
DOCUMENT DATE:	06/03/22

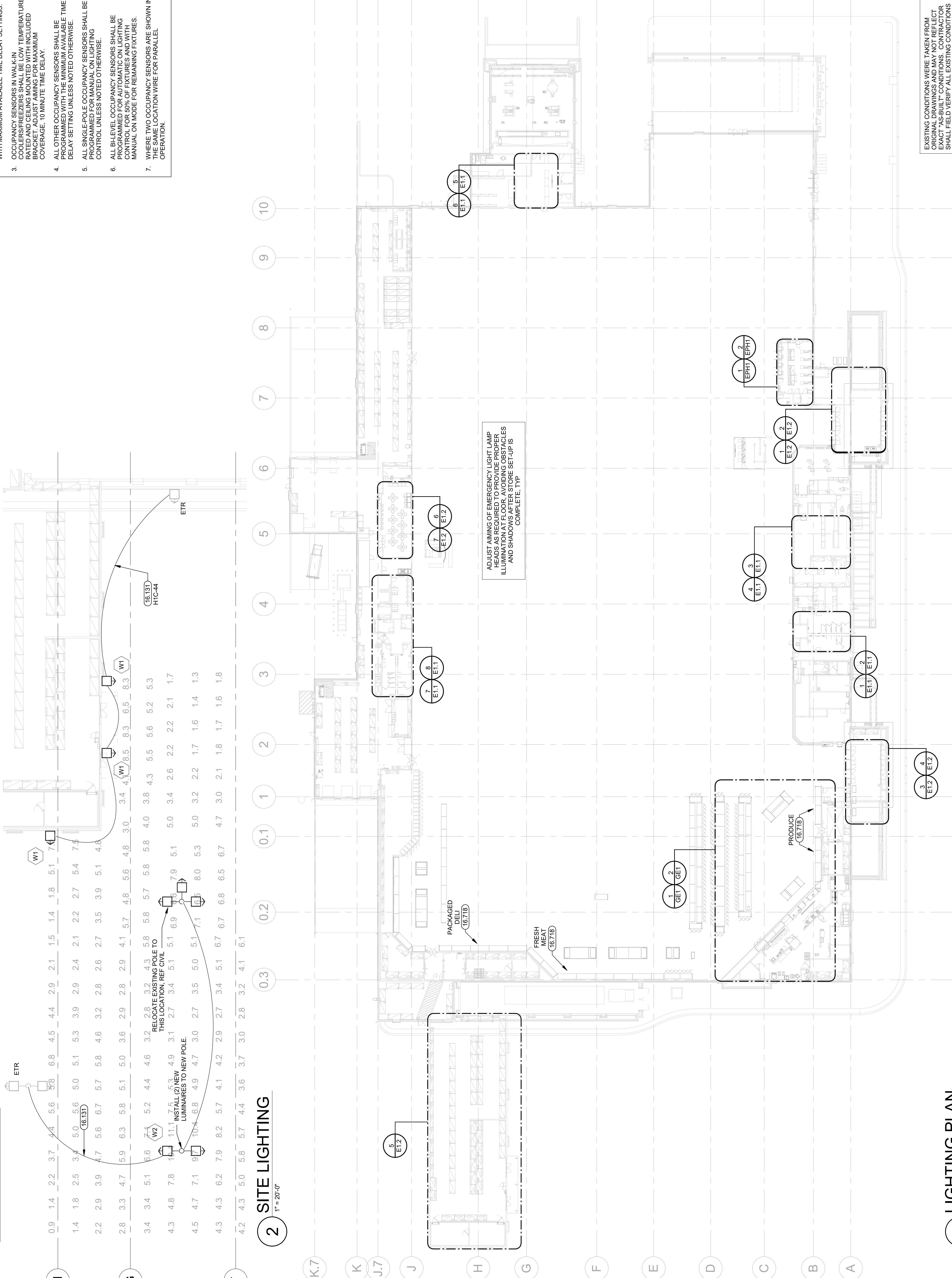
A circular registration stamp for Robert F. Dale Smith, Professional Engineer, State of California. The outer ring contains the text "REGISTERED PROFESSIONAL ENGINEER" at the top and "STATE OF CALIFORNIA" at the bottom. The center of the stamp contains "ROBERT F. DALE SMITH" above "No. 21902" and "ELECTRICAL" below it. A signature of "Dale Smith" is written across the center.

LIGHTING
DI AN

E1

NOTES

	1. OCCUPANCY SENSORS PROGRAMMED FOR AVAILABLE TIME	2. OCCUPANCY SENSORS
OGP Area	6.16	8.5
OGP Parking	4.26	11.1
OGP Walkway	4.23	6.7
Property Line	0.00	0.0
	N.A.	N.A.



NOT RELIEVE THE RESPONSIBILITY OF PERFORMING
THE WORK PROPERLY. NO ADDITIONAL
COMPENSATION SHALL BE ALLOWED BECAUSE OF
CONDITIONS THAT OCCUR DUE TO FAILURE TO
FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.

EXISTING LIGHTING FIXTURES NOT SHOWN ARE EXISTING TO REMAIN AND ARE NOT AFFECTED BY THE SCOPE OF WORK ON THIS PROJECT. THIS INCLUDES ALL GENERAL LIGHTING, EGRESS LIGHTING AND EXIT LIGHTING.

L85 = OPERATING HOURS AT WHICH AN AVERAGE OF 15% OF INITIAL LUMENS HAVE BEEN LOST IN A TESTED POPULATION OF LED PLATFORMS.
THE POPULATION STILL EMITS 85% OF INITIAL LUMENS. THE LUMINAIRE HAS NOT FAILED. IT IS STILL OPERATING WITH A REDUCED LIGHT OUTPUT.

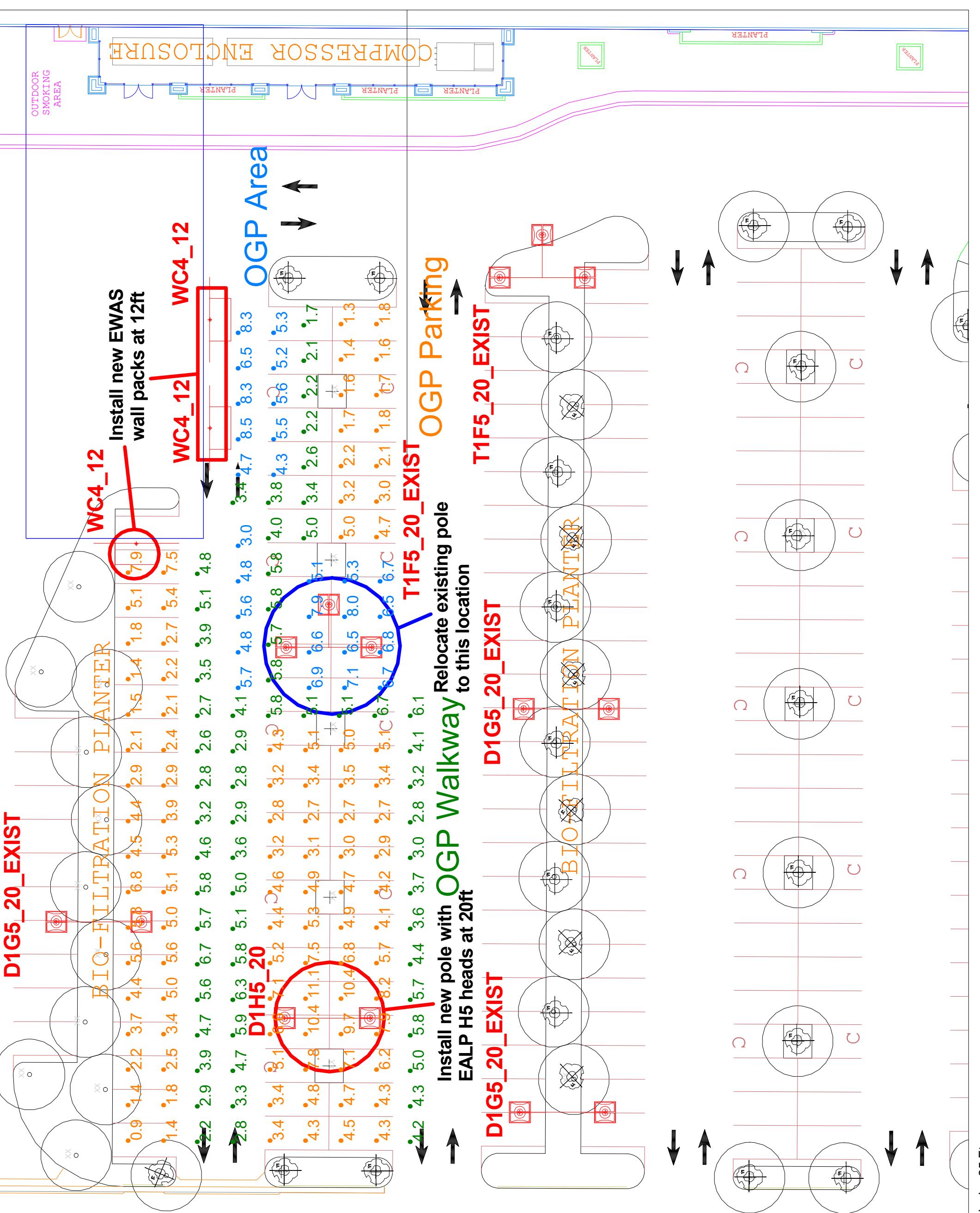
L93 = OPERATING HOURS AT WHICH AN AVERAGE OF 8% OF INITIAL LUMENS HAVE BEEN LOST IN A TESTED POPULATION OF LED PLATFORMS.
THE POPULATION STILL EMITS 93% OF INITIAL LUMENS. THE LUMINAIRE HAS NOT FAILED. IT IS STILL OPERATING WITH A REDUCED LIGHT OUTPUT.

L96 = OPERATING HOURS AT WHICH AN AVERAGE OF 4% OF INITIAL LUMENS HAVE BEEN LOST IN A TESTED POPULATION OF LED PLATFORMS.
IN COMPARISON, NON-LED LUMINAires ARE RATED WITH MEAN LUMENS MEASURED AT 40-50% OF RATED LIFE, DEPENDING ON TECHNOLOGY,
AND RATED LIFE OF B50, WHERE B50 = OPERATING HOURS AT WHICH 50% OF A TESTED POPULATION OF LAMPS HAVE FAILED.

PROPERTY LINES BASED OFF PROVIDED LIGHTING RETROFIT SURVEY AND GOOGLE EARTH PRO CALCULATION AREAS TREATED AS OPEN AND
EMPTY. NO TREES ARE CONSIDERED IN THE DESIGN, ACTUAL VALUES MAY VARY FROM CALCULATED VALUES SHOWN.

LED STATISTICS SHOWN ARE AT 50000 HOURS L85, L93, & L96 RATING (~12 YEARS @ 12 HRS/DAY)

Notes:
This is a remodel request for the OGP area on a site that has already been retrofit to LED fixtures in 2013
Material with "exist" label is already installed on site and is included here as light contribution only
All other material is what is being added to increase the lighting in the OGP Pick up area per request



Walmar #2697 Antioch, CA OGP

GE Drawing #. Walmar #2697 Antioch, CA 121208B AGI
Date: 6/10/2022
Designer: CS/Joshua Watkins

GE DRAWING NUMBER: AGI
DATE: 6/10/2022
DESIGNER: CS/JOSUA WATKINS
DRAWING NUMBER: 121208B
PROJECT NUMBER: 2697
CITY: ANTIOCH
STATE: CA
ZIP: 94531
PHONE: (925) 462-1208
FAX: (925) 462-1209
EMAIL: info@walmar.com
URL: www.walmar.com

Label	Avg	Max	Min	Avg/Min	Max/Min
OGP Area	6.16	8.5	3.0	2.05	2.83
OGP Parking	4.26	11.1	0.9	4.73	12.33
OGP Walkway	4.23	6.7	1.7	2.49	3.94
Property Line	0.00	0.0	0.0	N.A.	N.A.

Calculation Summary Illuminance Foot-candles

EXISTING MATERIAL					
ADDITIONAL MATERIAL					
GE Current Luminaire Schedule					
Project: Existing Material					
Symbol	Qty	Label	Arrangement	LLF	Description
■	3	D1G5_20_EXIST	BACK-BACK	0.765	2-EASAF55N5579CBLOCKD2F 17ft pole on 3ft base
■	2	T1F5_20_EXIST	3 @ 90 DEGREES	0.765	3-EASAF55N5579CBLOCKD2F 17ft pole on 3ft base with motion sensor
GE Current Luminaire Schedule					
Project: New Material					
Symbol	Qty	Label	Arrangement	LLF	Description
■	3	WC4_12	SINGLE	0.837	1-EWA010CAF740N1FMBLOCKH mounted at 12ft with motion sensor
■	1	D1H5_20	BACK-BACK	0.864	2-EALP035H5SM750NDD1BLCKFH 17ft pole on 3ft base with motion sensor

SITE PLAN

PRELIMINARY

Kimley-Horn

No. DATE BY
REVISIIONS

PHONE: 714-931-1030 FAX: 714-938-9488
1100 W TOWN AND COUNTRY ROAD, SUITE 700,
ORANGE, CA 92868

© 2022 KIMLEY-HORN AND ASSOCIATES, INC.

LICENSED PROFESSIONAL

DESIGNED BY JS

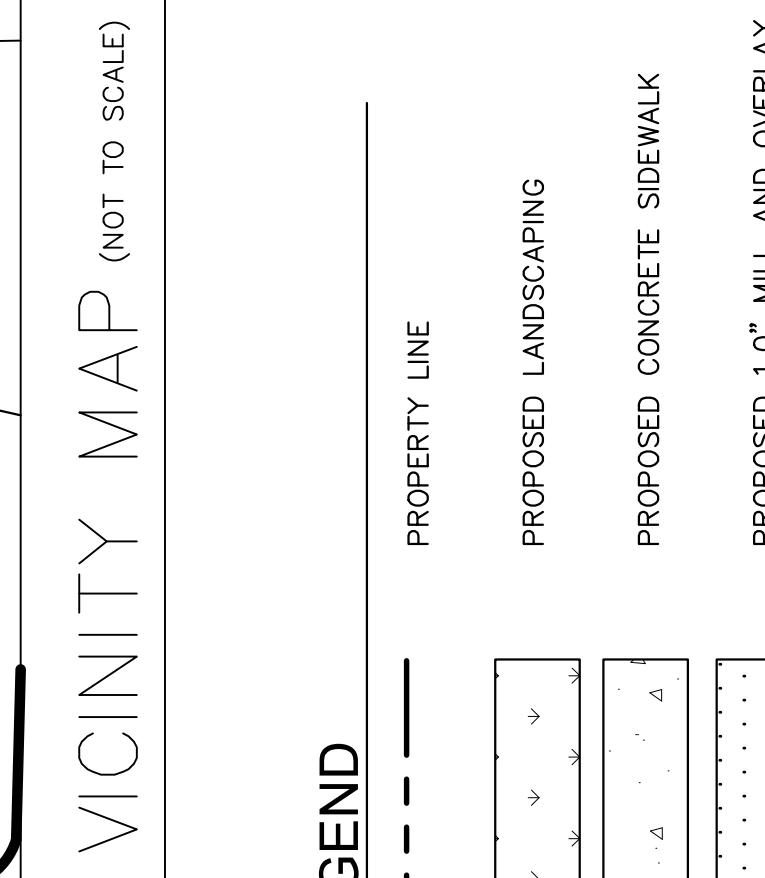
DRAWN BY JS

CHECKED BY JS

DATE 09/07/23

SCALE AS SHOWN

KHA PROJECT 094658565



LEGEND

PROPERTY LINE

PROPOSED LANDSCAPING

PROPOSED CONCRETE SIDEWALK

PROPOSED 1.0" MILL AND OVERLAY

PROPOSED ASPHALT

PROPOSED CONCRETE PAVEMENT

PARKING SUMMARY

PARKING TABLE:

EXISTING 851

PROPOSED 794

REQUIRED N/A

PROPOSED REDUCTION = 29 SPACES

EXISTING PARKING RATIO: 5.02 SPACES / 1,000 SQ.FT.

PROPOSED PARKING RATIO: 4.66 SPACES / 1,000 SQ.FT.

REQUIRED PARKING RATIO: 5.00 SPACES / 1,000 SQ.FT.

SETBACK: TO BE DETERMINED BY CITY COUNCIL THROUGH PLANNED DEVELOPMENT PROCESS

FLOOD ZONE: ZONE X - AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FEMO MAP, NO 06013C0332

GENERAL PLAN: PLANNED DEVELOPMENT DISTRICT (PDD)

GROSS & NET LOT SIZE: 17.46 ACRES / 760,601 SQ.FT.

ZONE: NEIGHBORHOOD COMMUNITY COMMERCIAL

PROPOSED LOT COVERAGE:

TOTAL SITE AREA: 760,601 SQ.FT.

BUILDING AREA: 176,303 SQ.FT.

IMPERVIOUS AREA: 510,318 SQ.FT.

LANDSCAPE AREA: 73,930 SQ.FT.

FLOOR AREA RATIO: (1.11 AC)

PROPOSED LOT COVERAGE:

TOTAL SITE AREA: 760,601 SQ.FT.

BUILDING AREA: 183,533 SQ.FT.

IMPERVIOUS AREA: 503,731 SQ.FT.

LANDSCAPE AREA: 73,317 SQ.FT.

FLOOR AREA RATIO: (1.15 AC)

PROPOSED LOT COVERAGE:

TOTAL SITE AREA: 760,601 SQ.FT.

BUILDING AREA: 174,46 AC

IMPERVIOUS AREA: (4.21 AC)

LANDSCAPE AREA: (11.56 AC)

FLOOR AREA RATIO: (1.69 AC)

PROPOSED LOT COVERAGE:

TOTAL SITE AREA: 760,601 SQ.FT.

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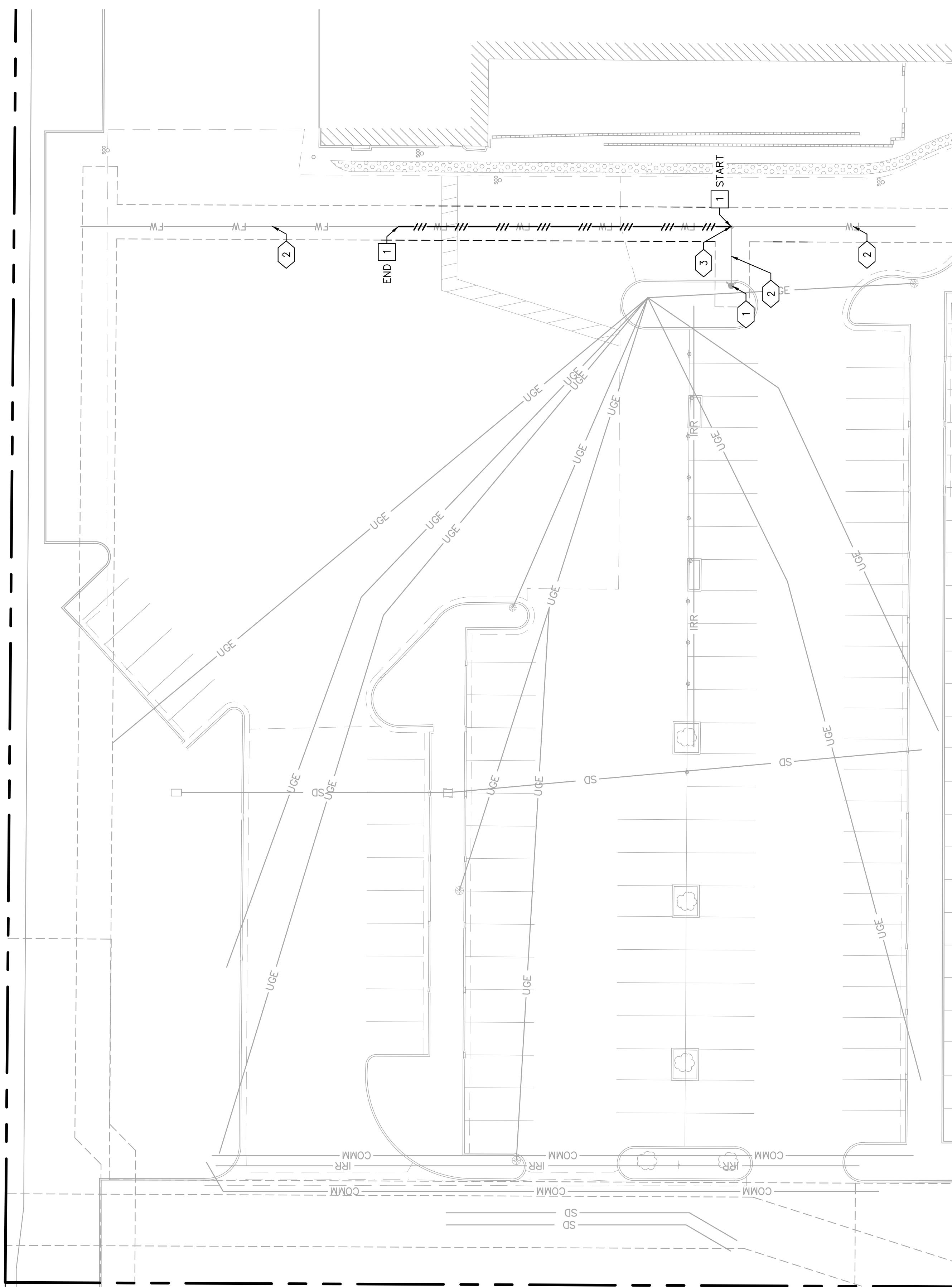
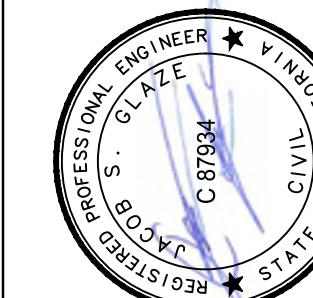
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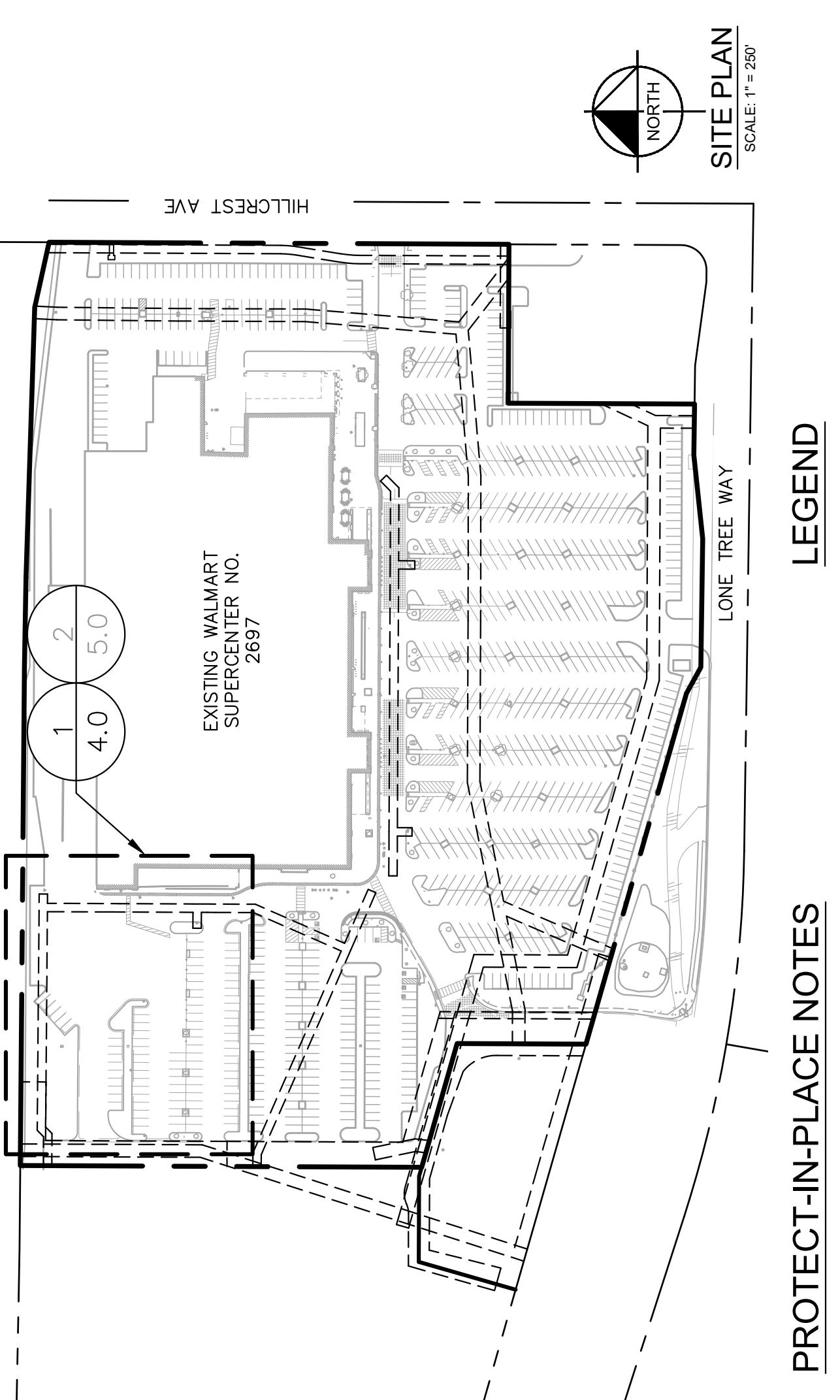
TOTAL SITE AREA: 760,601 SQ.FT.

BUILDING AREA: 174,46 AC



EXISTING CONDITIONS

SCALE 1" = 20'



PROTECT-IN-PLACE NOTES

- ① PROTECT-IN-PLACE EXISTING FIRE HYDRANT. ADJUST TO PROPOSED GRADE IF NECESSARY.
- ② PROTECT-IN-PLACE EXISTING UNDERGROUND FIRE WATER PIPE.
- ③ PROTECT-IN-PLACE EXISTING FIRE WATER VALVE.
- DEMOLITION NOTES**
- [1] DEMO PORTION OF EXISTING FIRE WATER PIPE.
- ④ INSTALL 90° BEND WITH THRUST BLOCK.
- ⑤ INSTALL TEE CONNECTOR WITH THRUST BLOCK.
- ⑥ CONNECT TO EXISTING 8" FIRE WATER PIPE.

CONSTRUCTION NOTES

- ① PROPOSED 8" FIRE WATER PIPE.
- ② PROPOSED UTILITY CROSSING. MAINTAIN 1' CLEARANCE FROM OTHER UTILITIES.
- ③ PROPOSED WATER LINE EASEMENT.
- ④ INSTALL 90° BEND WITH THRUST BLOCK.
- ⑤ INSTALL TEE CONNECTOR WITH THRUST BLOCK.
- ⑥ CONNECT TO EXISTING 8" FIRE WATER PIPE.

LEGEND

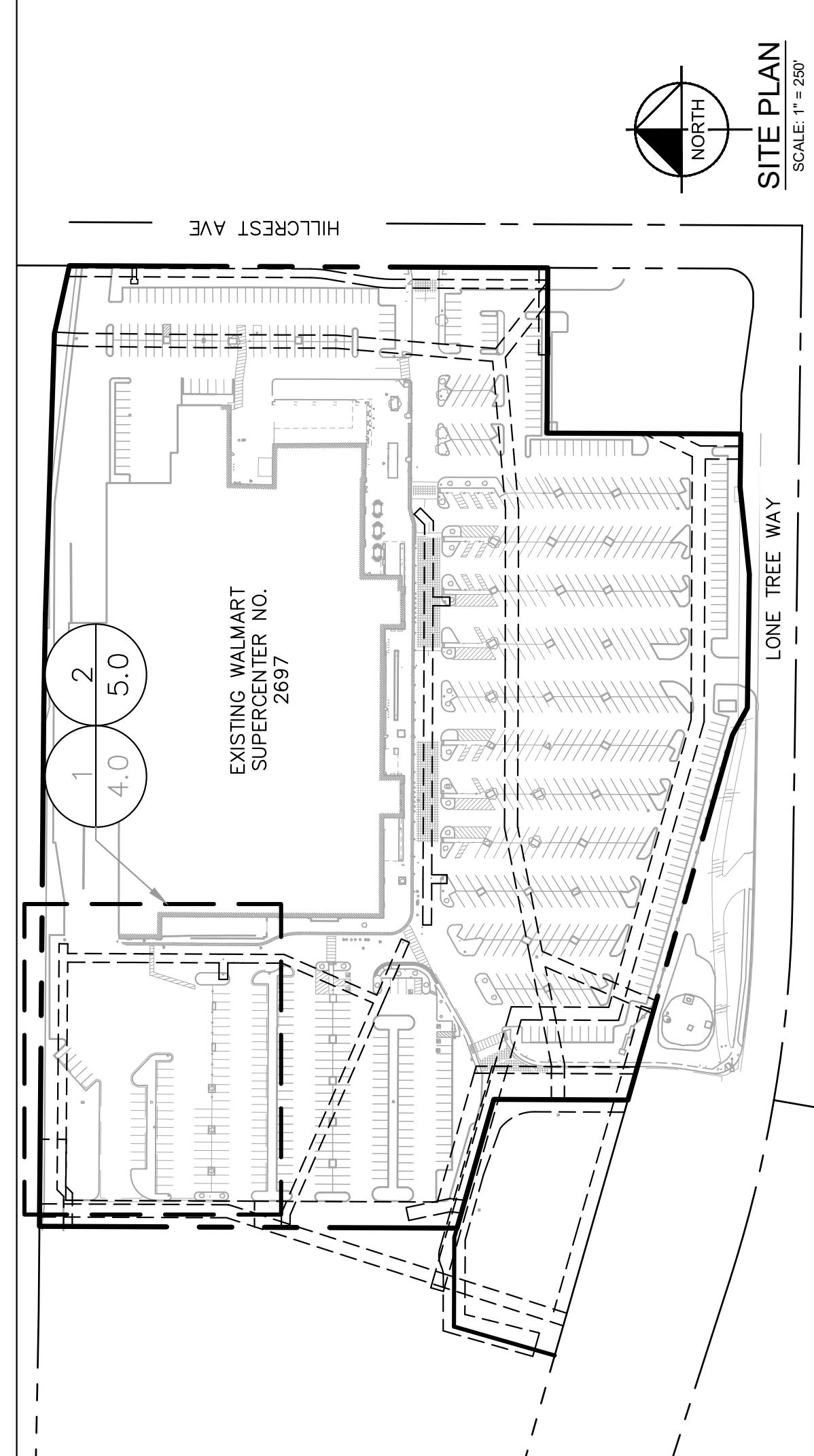
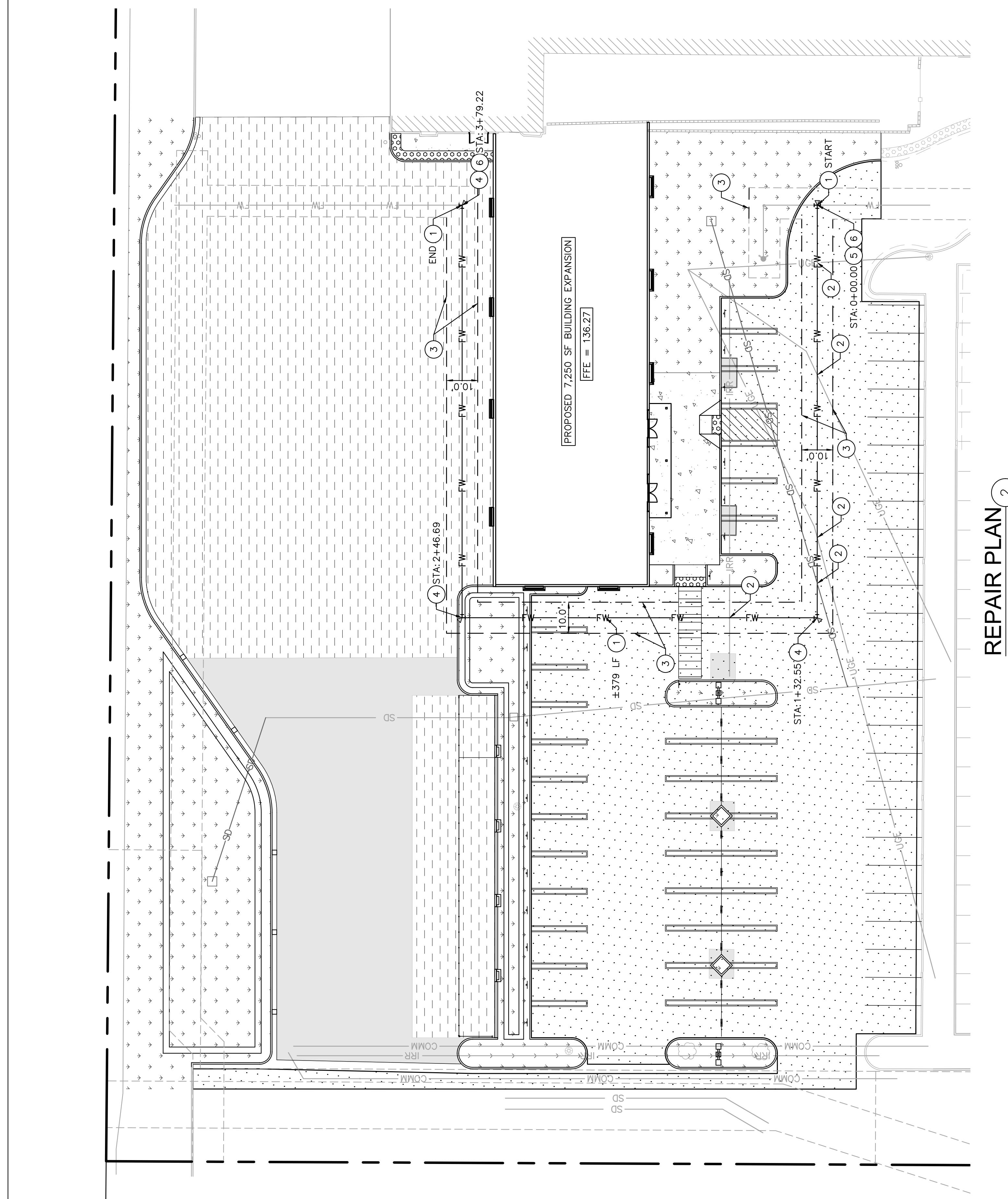
- PROPERTY LINE
- EXISTING FIREWATER LINE
- PROPOSED FIREWATER LINE
- EXISTING EASEMENT
- EXISTING EASEMENT TO BE ABANDONED
- PROPOSED EASEMENT
- PROPOSED 90° THRUST BLOCK
- PROPOSED TEE THRUST BLOCK
- DEMO EXISTING UNDERGROUND UTILITY LINE
- PROPOSED 90° THRUST BLOCK

SITE PLAN

SCALE: 1" = 20'

NFPA 24 NOTES

1. VEHICULAR ACCESS MUST BE PROVIDED AND MAINTAINED SERVICEABLE THROUGHOUT CONSTRUCTION.
2. THE INSPECTION, HYDROSTATIC TEST AND FLUSH OF THE FIRE HYDRANTS OR SPRINKLER SYSTEM SHALL BE WITNESSED BY A FIRE DEPARTMENT REPRESENTATIVE.
3. NO UNDERGROUND PIPING SHALL BE COVERED WITH EARTH OR HIDDEN FROM VIEW UNTIL THE FIRE DEPARTMENT REPRESENTATIVE HAS BEEN NOTIFIED AND GIVEN NO LESS THAN 48 HOURS NOTICE IN WHICH TO INSPECT SUCH INSTALLATION.
4. PIPING SHALL BE LISTED FOR FIRE PROTECTION SERVICES AND COMPLY WITH AWWA STANDARDS, WHERE APPLICABLE (NFPA 24 SECTION 7-1.1).
5. PIPE USED IN PRIVATE FIRE SERVICE SHALL BE DESIGNED TO WITHSTAND A WORKING PRESSURE OF NOTE LESS THAN NA 150 PSI (NFPA 24 SECTION 7-1.3).
6. PIPE, VALVES, HYDRANTS, AND FITTINGS SHALL BE INSPECTED FOR DAMAGE WHEN RECEIVED AND SHALL BE INSPECTED PRIOR TO INSTALLATION.
7. BOLTED JOINTS SHALL BE CHECKED FOR PROPER TORQUING OF BOLTS. PIPE, VALVES, HYDRANTS, AND FITTINGS SHALL BE CLEAN INSIDE WHEN WORK IS STOPPED; OPEN ENDS SHALL BE PLUGGED TO PREVENT STONES AND FOREIGN MATERIALS FROM ENTERING THE PIPE. (NFPA 24 SECTION 8-4.1).
8. BACKFILL SHALL BE WELL TAMPED IN LAYERS UNDER AND AROUND PIPE TO PREVENT SETTLEMENT AND LATERAL MOVEMENT, AND SHALL CONTAIN NO ASHES, CINDER, REFUSE, ORGANIC MATTER, OR OTHER CORROSIVE MATERIAL (NFPA 24 SECTION 8-1.1).
9. UNDERGROUND MAINS AND LEAD IN CONNECTIONS TO SYSTEM RISERS SHALL BE FLUSHED THOROUGHLY AND WITNESSED BY THE FIRE DEPARTMENT BEFORE CONNECTION IS MADE TO THE SPRINKLER TO REMOVE FOREIGN MATERIALS WHICH MAY HAVE ENTERED THE PIPE DURING THE COURSE OF INSTALLATION (NFPA 24 SECTION 9-1.1).
10. THE MINIMUM RATE OF FLOW FOR #9 ABOVE SHALL NOT BE LESS THAN THAT NECESSARY TO PROVIDE A VELOCITY OF 10 FEET PER SECOND WHICH IS GREATER FOR ALL SYSTEMS. THE FLUSHING OPERATIONS SHALL BE CONTINUED FOR A SUFFICIENT TIME TO INSURE THOROUGH CLEANING WHEN THE FLOW RATE AS USED IN TABLE 9-1.1 CANNOT BE VERIFIED OR MET. SUPPLY PIPE SHALL BE FLUSHED AT THE MAXIMUM FLOW RATE AVAILABLE TO THE SYSTEM UNDER FIRE CONDITIONS (NFPA 24 SECTION 9-1.1).
11. THE TRENCH SHALL BE BACKFILLED BETWEEN JOINTS BEFORE TESTING TO PREVENT MOVEMENT OF PIPE (NFPA 24 SECTION 9-2.2).
12. ALL NEW PRIVATE FIRE SERVICE MAINS SHALL BE HYDROSTATICALLY TESTED AT NOT LESS THAN 200 FOR TWO HOURS, OR AT 50 PSIN IN EXCESS OF THE MAXIMUM STATIC PRESSURE WHEN THE MAXIMUM STATIC PRESSURE IS IN EXCESS OF 150 PSI (NFPA 24 SECTION 9-2.3.1).
13. TEST SHALL BE MADE BY THE CONTRACTOR IN THE PRESENCE OF THE AUTHORITY HAVING JURISDICTION. THE CERTIFICATE IN FIGURE A-9-2.1 IS TO BE COMPLETED (NFPA 24 SECTION 9-2.3.4).
14. THRUST BLOCKS OR ANOTHER SUITABLE MEANS OF THRUST RESTRAINTS SHALL BE PROVIDED AT EACH CHANGE IN DIRECTION OF A PIPE AND AT ALL TEES, PLUGS, CAPS, AND BENDS (NFPA 24 SECTION 8-2.2).
15. THRUST BLOCK LOCATIONS SHALL BE INSPECTED PRIOR TO AND AFTER POURING OF THE THRUST BLOCKS (NFPA 24 SECTION 8-2.2.1).
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- CONSTRUCTION NOTES**

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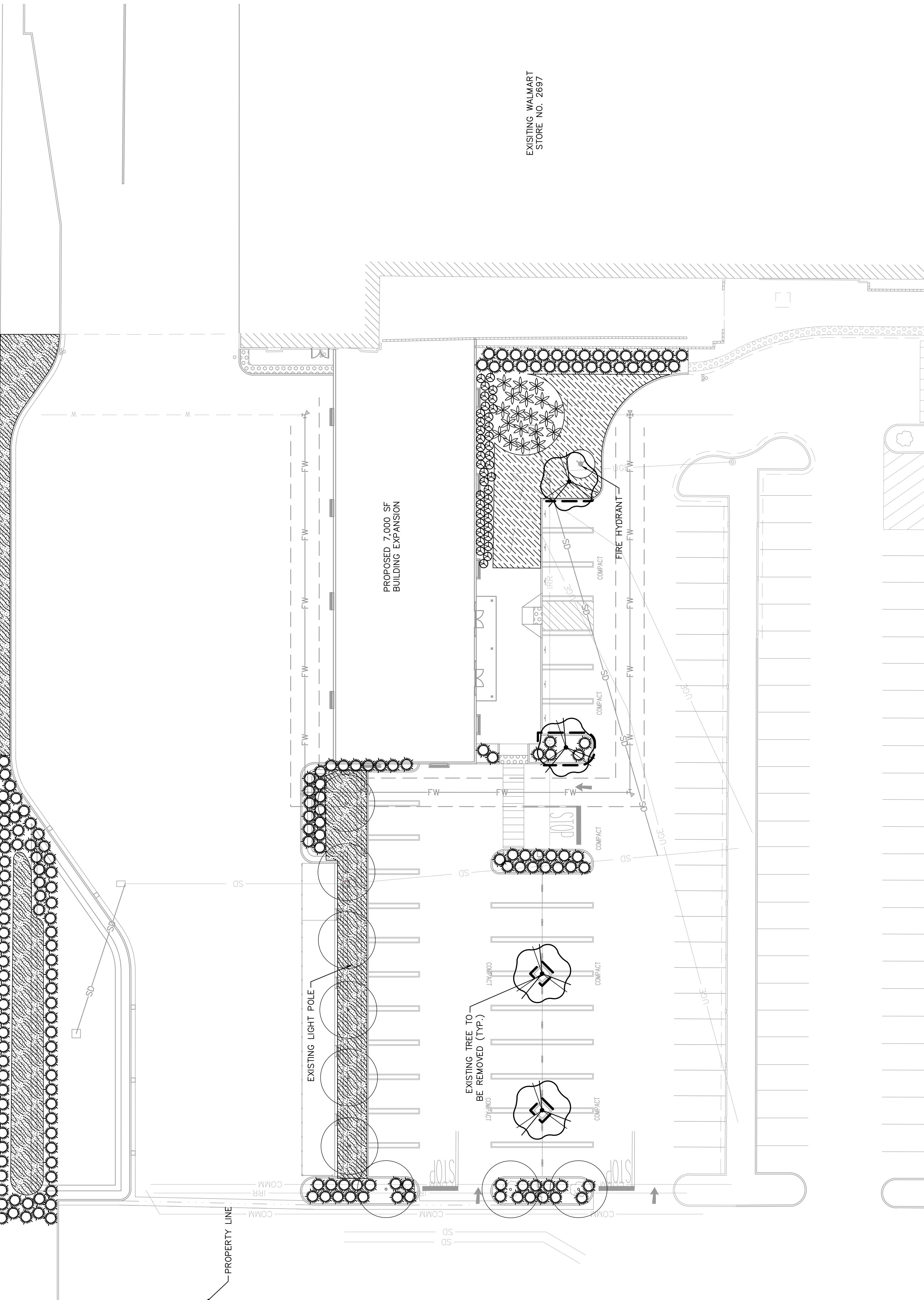
This architectural site plan illustrates a building complex with various landscape features. The plan includes several buildings, parking areas, and green spaces. A compass rose in the top right corner indicates the direction of North. A callout arrow points from the text "AREA OF LANDSCAPE IMPROVEMENTS - SEE LEFT" to a specific area on the left side of the plan. The text "VICINITY MAP (NOT TO SCALE)" is located on the far right edge.

AREA OF LANDSCAPE IMPROVEMENTS - SEE LEFT

NORTH

VICINITY MAP (NOT TO SCALE)

VICINITY MAP (NOT TO SCALE)



THE ANTI-SLAVERY

PLAN SITE DULL					
<u>TREES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT.</u>	<u>WUCOLS</u>	
•	9	EXISTING TREE / TO REMAIN - PROTECT IN PLACE	-	-	
	4	RHUS LANCEA / AFRICAN SUMAC	24" BOX	LOW	
<u>SHRUBS</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT.</u>	<u>WUCOLS</u>	
✿	177	CHONDROPETALUM ELEPHANTINUM / LARGE CAPE RUSH	5 GAL.	LOW	
○	40	DIETES BICOLOR / FORTNIGHT LILY	5 GAL.	LOW	
✿	19	PHORMIUM TENAX / NEW ZEALAND FLAX	5 GAL.	LOW	
<u>GROUND COVERS</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT.</u>	<u>WUCOLS</u>	
▨	973	CAREX DIVULSA / EUROPEAN GREY SEDGE	5 GAL.	LOW	
▨	45	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / HUNTINGTON CARPET ROSEMARY	5 GAL.	LOW	

LANDSCAPE NOTE:

THE SELECTION OF PLANT MATERIAL IS BASED ON CLIMATIC, AESTHETIC, AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. DECOMPOSED GRANITE SHALL FILL IN BETWEEN SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION, AND RUN-OFF. ALL SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER SOIL TEMPERATURE, AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH BY THE CITY OF ANTIOCH MUNICIPAL CODE.

IRRIGATION NOTE:

AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE 100% COVERAGE FOR ALL PLANTING AREAS SHOWN ON THE PLAN. THE WATER SUPPLY FOR THIS SITE IS A POTABLE WATER CONNECTION AND A DEDICATED IRRIGATION METER WILL BE PROVIDED. LOW VOLUME EQUIPMENT SHALL PROVIDE SUFFICIENT WATER FOR PLANT GROWTH WITH NO WATER LOSS DUE TO WATER CONTROLLERS, AND OTHER NECESSARY IRRIGATION EQUIPMENT. ALL POINT SOURCE SYSTEM SHALL BE ADEQUATELY FILTERED AND REGULATED PER THE MANUFACTURER'S RECOMMENDED DESIGN PARAMETERS. ALL IRRIGATION IMPROVEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH BY THE CITY OF ANTIOCH MUNICIPAL CODE.

HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE

Michael P. Maher
MICHAEL P. MADSEN | 1A 5798

Michael P. Maher
MICHAEL P. MADSEN | 1A 5798

DOCUMENTS REPRESENTED IN THIS INDEX ARE NOT FOR CONSTRUCTION

PROJECT DESCRIPTION:

The proposed project, located at 4893 Lone Tree Way, will construct an expansion on the west side of the existing Walmart Supercenter store by 7,250 square feet from the current area of 176,303 square feet. The intended use of the expansion area is for the storage, staging and dispensing of retail merchandise ordered by customers on-line for pickup at the store. The expanded area will occupy a previously developed part of the site that is currently asphalt paving with landscape planters and is used as Walmart customer parking. A reconfigured Bale and Pallet storage area is proposed to be located further to the west of the building addition. The Bale and Pallet storage is an unconditioned, screen wall enclosure and is intended to screen from public view back-of-house storage of baled cardboard and used wood pallets. Both the expansion area and the bale storage enclosure are designed to match the materials, architectural detailing and massing of the existing Walmart. Reconfigured parking with new striping and stall identification signage near the expansion area is designed to help customer way-finding, automobile movement and store associate safety. Hours of Operation of the proposed on-line pickup facility are 7:00 am to 8:00 pm.

The project also proposes re-modeling improvements to the existing Walmart interior and exterior including a refresh of the exterior with most painted surfaces to be repainted with the same colors that are existing using the same originally-approved color palette. Currently unpainted cultured stone and pre-cast caps and sills to remain will unpainted. Signage is "like-for-like" replacements of the existing signage with a square footage increase proposed for the Autocare service bay identification numbers and other secondary signs. Proposed signage, in total, conforms to Williamson Ranch Phases I and II Sign Program as shown with detailed tabulation on the Signage Schedule, sheet A2.1 Exterior Elevations and Signage which included in the planning submittal package.

ATTACHMENT "D"



November 1, 2022

Charmine Solla
Antioch California
200 H Street,
Antioch, CA 94509

Subject: Parking Assessment for the Walmart Supercenter Project at 4893 Lone Tree Way in the City of Antioch

Dear Ms. Solla:

Kimley-Horn and Associates, Inc. (Kimley-Horn) has been retained by Antioch California to prepare a parking assessment memorandum for the proposed Walmart Supercenter Expansion Project located at 4893 Lone Tree Way in the City of Antioch.

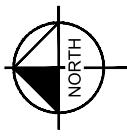
The purpose of this memorandum is to provide an evaluation of existing and proposed parking requirements based on established standards developed by the City of Antioch. Kimley-Horn will evaluate the adequacy of the existing parking, identify any parking shortages, and provide empirical data and documentation of actual parking demand on the site.

PROJECT DESCRIPTION

The proposed Walmart Supercenter Project is situated within the existing Williamson Ranch Plaza located at the northwest corner of Lone Tree Way and Hillcrest Avenue in the City of Antioch. The plaza is located approximately 1 mile west of the SR-4 Freeway. The Walmart Supercenter Expansion Project proposes to add an additional 7,250 square feet of additional floor space to the existing 176,303 square-foot store. Per the City of Antioch Zoning Code, the plaza is identified as a Planned Development District ("P-D" Zone). A vicinity map depicting the existing site is presented on **Figure 1**.

PARKING ASSESSMENT

Based on the project description, a parking assessment was conducted to determine the existing site's compliance with City standards for parking. Each of these standards was analyzed in detail, with information provided by the applicant. Ultimately, this assessment will help determine whether there are existing and proposed parking deficiencies.

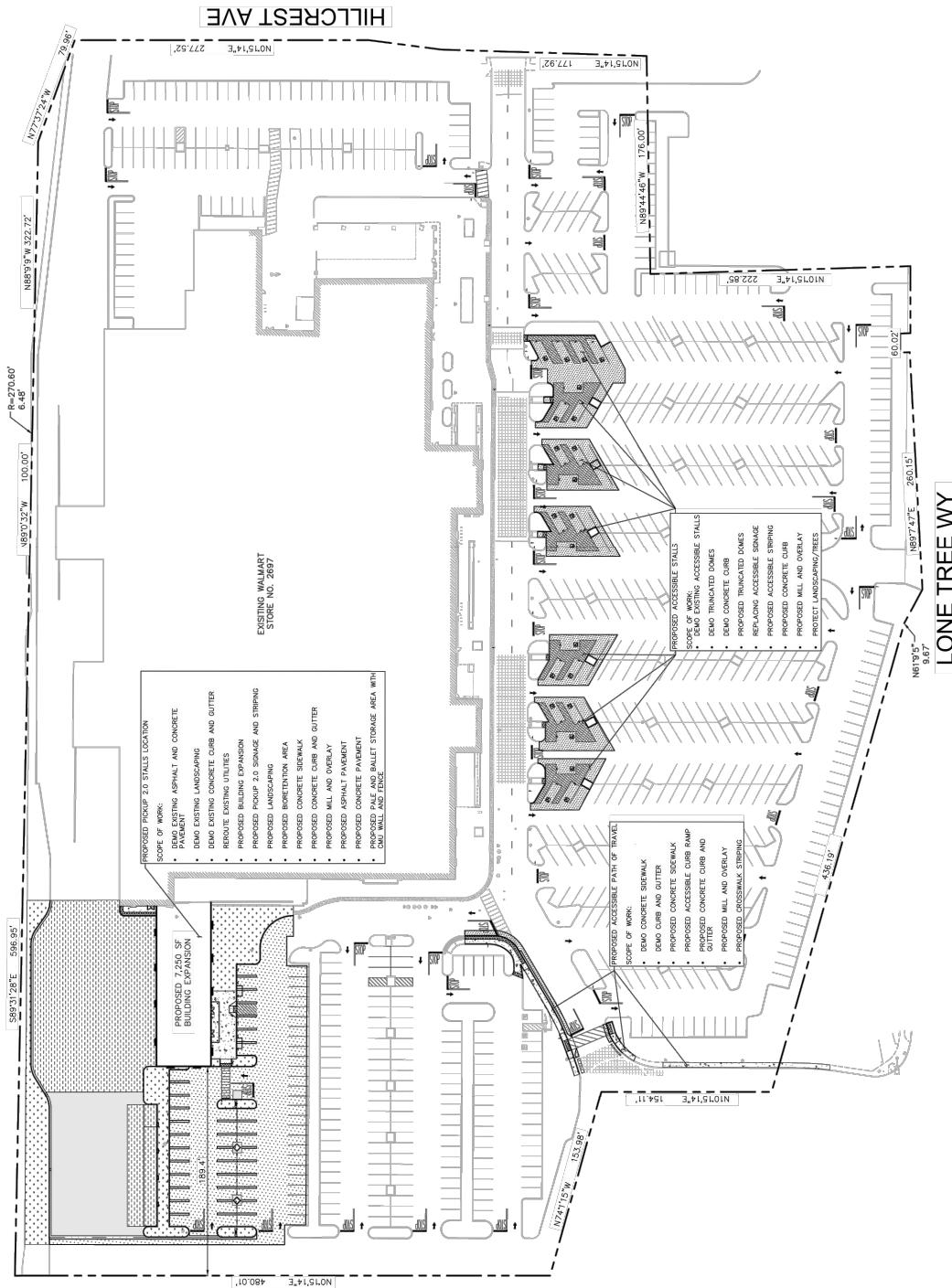


NO SCALE

Kimley-Horn

FIGURE 1 VICINITY MAP

D2



Existing Parking Supply

The existing parking supply for the site consists of a total of 835 spaces, which includes ADA-accessible parking spaces. Primary vehicular ingress and egress is provided via six driveways, one signalized, and five unsignalized. There are three Right-In Right-Out (RIRO) only driveways along Hillcrest Avenue, two RIRO only driveways along Lone Tree Way, and one full-movement signalized driveway at the intersection of Lone Tree Way and Indian Hill Drive/Williamson Ranch Plaza.

City of Antioch Parking Requirements

The City of Antioch Municipal Code has established regulations regarding minimum parking requirements based on land use type. The parking requirements are based on Section 9-5.1703 of the Antioch Municipal Code and are as follows:

Shopping Center

- 1 space per each 200 square feet of gross floor area, but not less than 2 spaces per use, plus 1 space for each 1,000 square feet of outdoor display area

Required Parking - Existing Conditions

Table 1 summarizes the existing parking requirements for the shopping plaza, calculated using the City of Antioch parking requirements. Per the City parking code, the existing parking requirement for the project site is 882 parking spaces. The site provides 835 parking spaces, resulting in an existing deficit of 47 parking spaces for the current site users, compared to City code.

Required Parking - Proposed Conditions

The proposed Walmart Supercenter Expansion would remove 29 existing parking spaces bring the total number of parking spaces down to 806. This would bring the parking deficit up to 112 parking spaces. The proposed parking requirements are shown on **Table 2**.

Table 1
Summary of Existing Parking Requirements and Parking Provided
for Williamson Ranch Plaza

#	Tenant	Land Use	Existing Occupied Square Footage	City Parking Requirement (1 space per)	Parking Spaces Required
1	Walmart Supercenter	Shopping Center	176,303 SF	200 SF	882
Parking Spaces Provided					835
Parking Surplus / (Deficit)					(47)

Table 2
Summary of Proposed Parking Requirements and Parking Provided
for Williamson Ranch Plaza

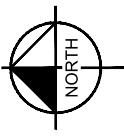
#	Tenant	Land Use	Proposed Occupied Square Footage	City Parking Requirement (1 space per)	Parking Spaces Required
1	Walmart Supercenter	Shopping Center	183,553 SF	200 SF	918
Parking Spaces Provided					806
Parking Surplus / (Deficit)					(112)

PARKING DATA COLLECTION AND OBSERVATIONS

The existing parking characteristics for the Walmart component of Williamson Ranch Plaza were observed to determine the actual parking demand generated by existing uses. The site was broken down into 3 parking zones for the parking data collection, to determine not only the total parking demand on an hourly basis, but also to develop an understanding of where throughout the site the parking demand occurred throughout the day. The parking zones are shown on **Figure 2**.

The parking data collection was conducted on a Friday, Saturday, and a Sunday in October 2022 to provide a representative sample of typical weekday and weekend parking conditions. Parking data was collected between 6:00 AM and 10:00 PM on each day to encompass morning, midday, and evening peak period conditions in the parking lot. The resulting information can be found in **Attachment A**. The data is summarized on **Table 3**, **Table 4**, and **Table 5** for Friday, Saturday, and Sunday conditions, respectively. Additionally, this data is presented on **Figure 3**, **Figure 4**, and **Figure 5**. During the observations on Sunday, a large number of parking spaces in Zone 1 were being used by church patrons at the church neighboring the Walmart Supercenter. The posted Service times at the church on Sunday are 8:15-9:45AM and 11:15-12:45AM which corresponds to the spike in parking demand when the parking counts were taken, as well as the sharp drop after 1:00PM. The neighboring church has its own parking area but a number of parking spaces in Zone 1 are closer to the church than the church parking spaces located closer to Lone Tree Way. For a conservative assessment of parking demand with the addition of the project, it is assumed that church patrons will continue to use the Walmart Supercenter parking.

Review of the parking data indicates that parking occupancy on Friday peaked at noon with the total occupancy reaching 48% of the current parking supply. Saturday peaked in the afternoon at 2:00 PM, but the total number of occupied spaces did not exceed 50% of the total parking supply during this peak period. During Sunday, the peak occupancy was observed during the afternoon at 1:00 PM but did not exceed 64% of the total parking supply. A maximum occupancy of 530 parking spaces of the total 835 available parking spaces was observed throughout the duration of the parking study. This number is far lower than the 918 parking spaces required by the City's Municipal Code.



NO SCALE

Kimley-Horn

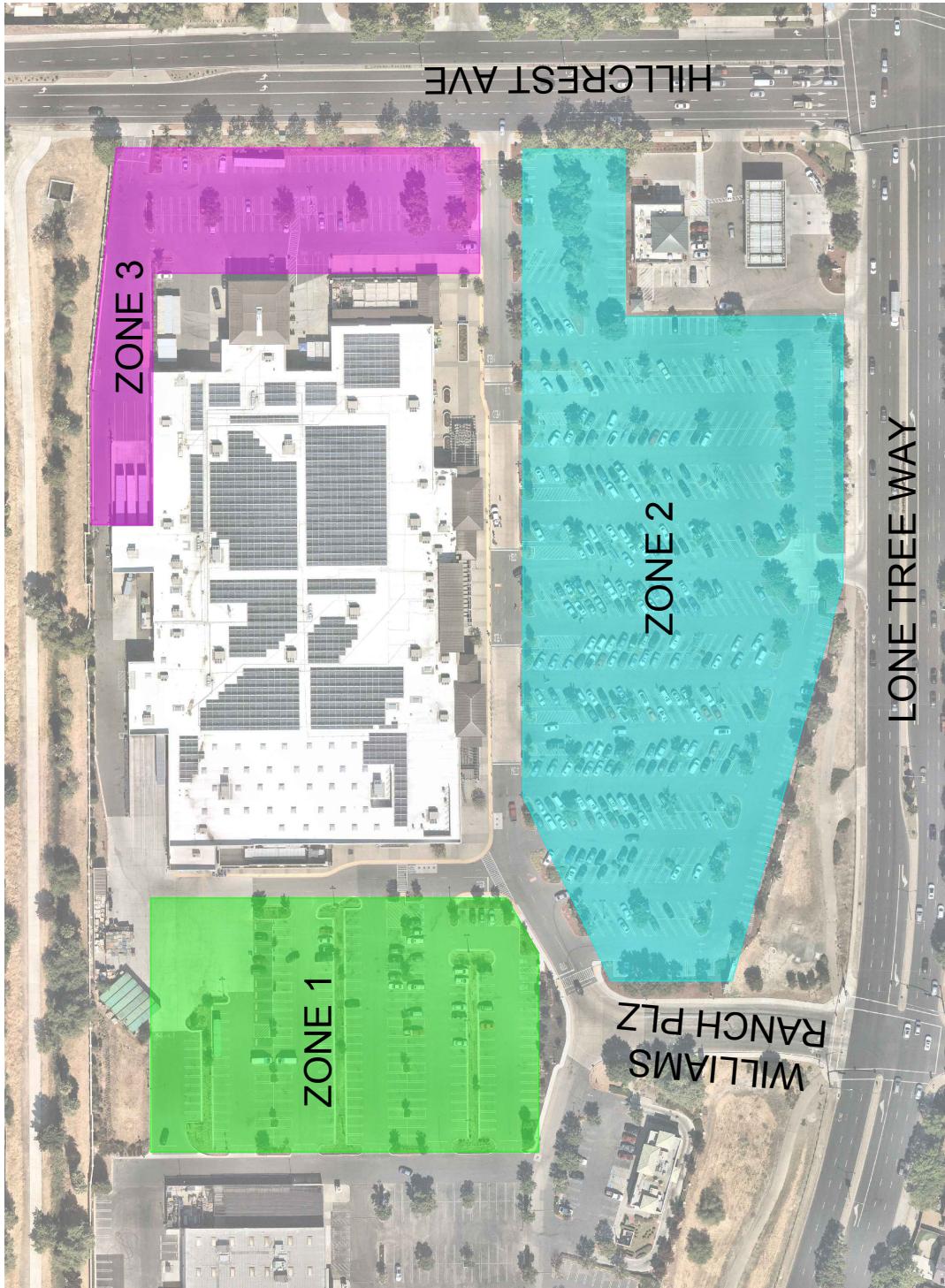


FIGURE 2
PARKING DATA COLLECTION ZONES

Table 3. Summary of Friday Parking Occupancy

Time	Parking Spaces Occupied				Percent Occupancy
	Zone 1	Zone 2	Zone 3	Total	
6:00 AM	14	76	2	92	11%
7:00 AM	24	107	3	134	16%
8:00 AM	35	130	5	170	20%
9:00 AM	56	221	8	285	34%
10:00 AM	45	278	12	335	40%
11:00 AM	49	320	13	382	46%
12:00 PM	63	329	11	403	48%
1:00 PM	67	308	7	382	46%
2:00 PM	45	290	8	343	41%
3:00 PM	51	266	11	328	39%
4:00 PM	40	287	6	333	40%
5:00 PM	41	260	8	309	37%
6:00 PM	34	224	7	265	32%
7:00 PM	23	195	2	220	26%
8:00 PM	15	151	2	168	20%
9:00 PM	11	116	1	128	15%
10:00 PM	5	117	1	123	15%
Total Parking Spaces Available	226	512	97	835	100%

Figure 3. Friday Parking Occupancy (Percentage of Total)

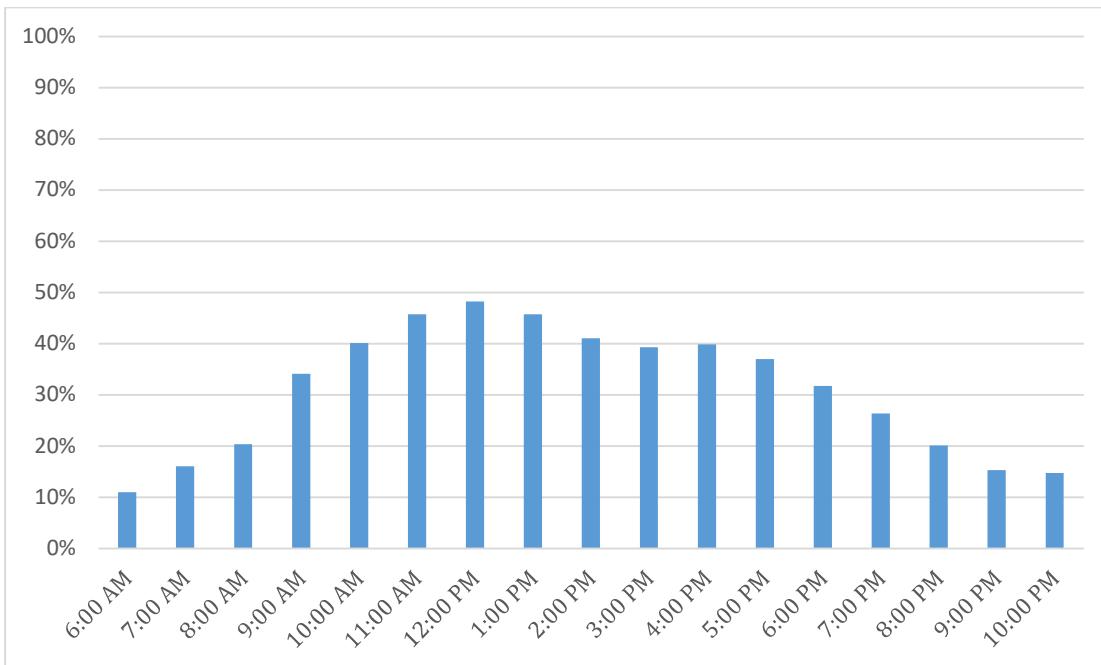


Table 4. Summary of Saturday Parking Occupancy

Time	Parking Spaces Occupied				Percent Occupancy
	Zone 1	Zone 2	Zone 3	Total	
6:00 AM	13	75	3	91	11%
7:00 AM	18	113	4	135	16%
8:00 AM	25	131	7	163	20%
9:00 AM	43	195	14	252	30%
10:00 AM	40	207	14	261	31%
11:00 AM	43	267	15	325	39%
12:00 PM	41	282	16	339	41%
1:00 PM	58	329	16	403	48%
2:00 PM	59	335	20	414	50%
3:00 PM	42	295	15	352	42%
4:00 PM	38	293	10	341	41%
5:00 PM	48	260	12	320	38%
6:00 PM	26	227	6	259	31%
7:00 PM	27	221	3	251	30%
8:00 PM	15	169	1	185	22%
9:00 PM	9	119	0	128	15%
10:00 PM	3	97	1	101	12%
Total Parking Spaces Available	226	512	97	835	100%

Figure 4. Saturday Parking Occupancy (Percentage of Total)

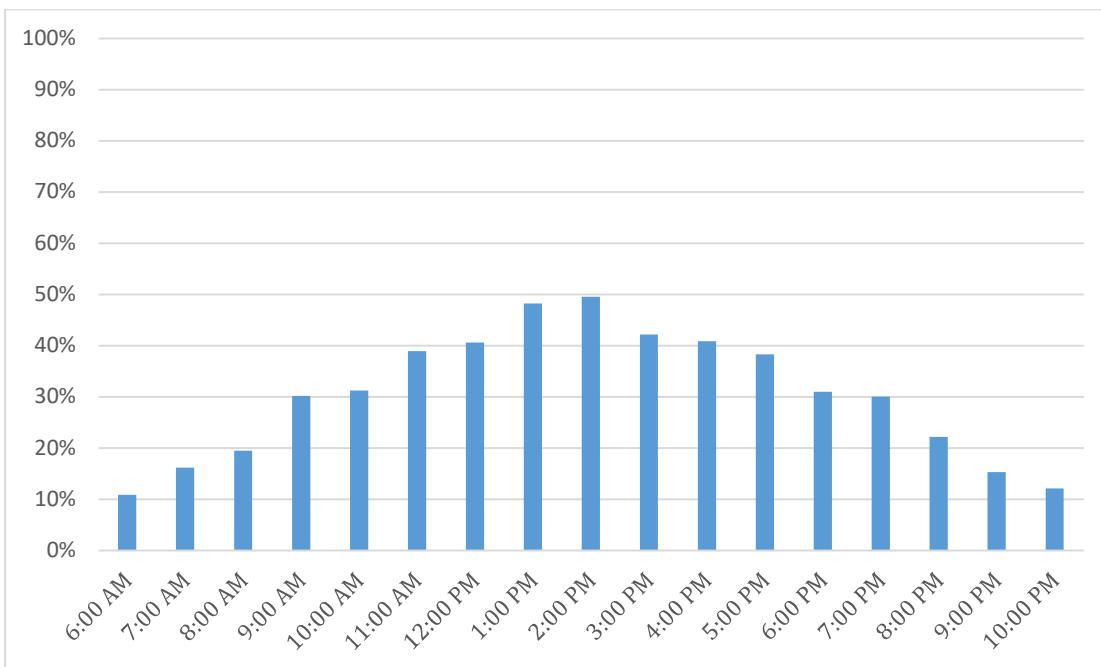
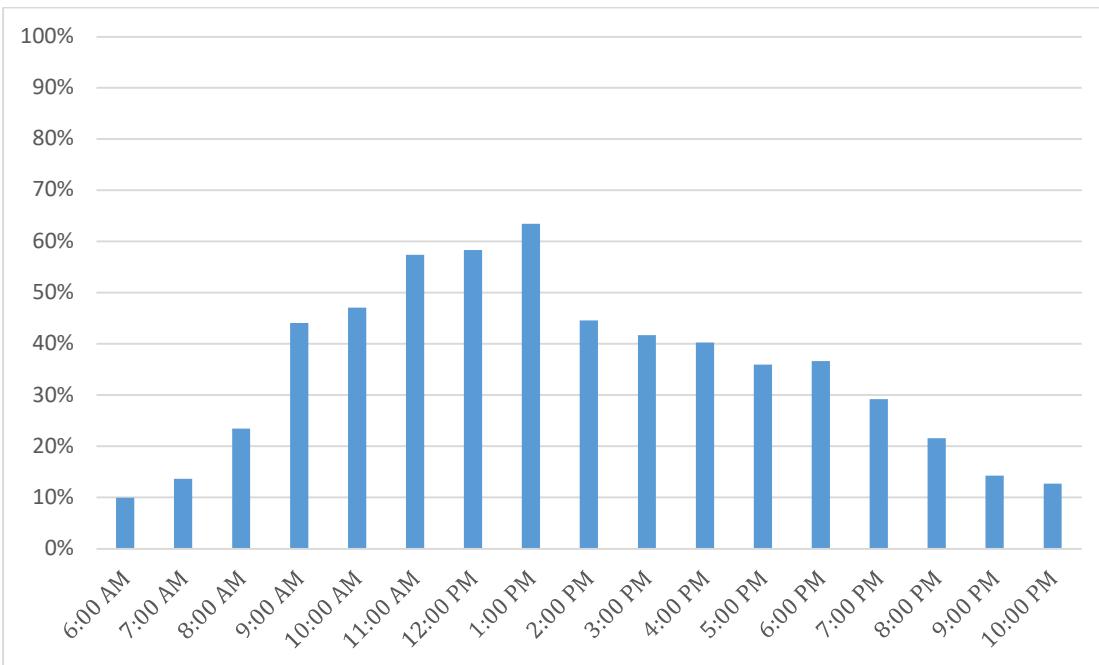


Table 5. Summary of Sunday Parking Occupancy

Time	Parking Spaces Occupied				Percent Occupancy
	Zone 1	Zone 2	Zone 3	Total	
6:00 AM	12	69	2	83	10%
7:00 AM	19	90	5	114	14%
8:00 AM	73	114	9	196	23%
9:00 AM	183	172	13	368	44%
10:00 AM	172	208	13	393	47%
11:00 AM	211	252	16	479	57%
12:00 PM	187	286	14	487	58%
1:00 PM	188	327	15	530	63%
2:00 PM	63	288	21	372	45%
3:00 PM	54	280	14	348	42%
4:00 PM	45	283	8	336	40%
5:00 PM	41	250	9	300	36%
6:00 PM	51	247	8	306	37%
7:00 PM	33	209	2	244	29%
8:00 PM	16	164	0	180	22%
9:00 PM	7	112	0	119	14%
10:00 PM	6	100	0	106	13%
Total Parking Spaces Available	226	512	97	835	100%

Figure 5. Sunday Parking Occupancy (Percentage of Total)



FUTURE PARKING DEMAND

Parking demand is anticipated to trend similarly to existing conditions. The project would raise the parking requirement per city code, increasing the total number from 882 parking spaces to 918. However, it is noted that the observed peak parking demand, throughout the week, was a maximum of 530 parking spaces on a Sunday. Even with the increase of 36 required parking spaces with the proposed expansion, the proposed parking supply of 806 parking spaces are more than enough, even with the addition of church goer traffic.

CONCLUSION

The 835 existing parking spaces provided for Williamson Ranch Plaza do not meet the City of Antioch parking requirements. Per the City's standards, the current requirement for the site is 882 spaces. This creates a deficit of 47 parking spaces. With the expansion of the Walmart Supercenter, the parking requirement increases to 918 parking spaces. This increases the deficit to 112 spaces.

Although the proposed project would increase the parking requirement for this site, based on city code, the existing parking demand is much lower than the current supply based on data collection and documentation of actual parking demand in the field. In the existing condition, a maximum of 530 parking spaces of a total 835 parking spaces, were occupied. The proposed Building Expansion is predominately to be used for storage purposes. It is not intended for customers to occupy this space; the building expansion is expected to generate minimal new parking demand. Given that actual parking data collection showed an overwhelming surplus of parking spaces, it is not anticipated for the net change in parking demand from the Walmart Supercenter Expansion Project to surpass the total parking supply of the lot.

Attachment A

Parking Occupancy Count Data

Date: 10/22/2022			Occupancy																	
Zone	Stall	Inventory	6:00 AM	7:00 AM	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM	9:00 PM	10:00 PM	
Zone 1	ADA	3	0	0	0	3	2	2	2	3	3	1	3	1	2	3	1	1	0	
	Standard	206	13	18	20	37	33	36	35	47	49	40	30	44	21	19	14	7	3	
	Online	14	0	0	4	3	5	4	2	7	6	1	5	2	3	5	0	0	0	
	Electric	3	0	0	1	0	0	1	2	1	1	0	0	1	0	0	0	1	0	
Zone 2	ADA	16	4	6	9	12	14	12	14	15	14	14	15	14	10	11	7	7	6	
	Standard	489	71	107	122	179	193	255	266	312	320	280	277	246	217	208	162	112	91	
	Pharmacy	2	0	0	0	2	0	0	1	1	0	0	0	0	0	0	0	0	0	
	Police	5	0	0	2	0	0	1	1	1	1	1	0	0	0	0	2	0	0	
Zone 3	ADA	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
	Standard	96	3	4	7	14	14	15	16	16	20	15	10	12	6	3	1	0	1	

Date: 10/23/2022			Occupancy																	
Zone	Stall	Inventory	6:00 AM	7:00 AM	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM	9:00 PM	10:00 PM	
Zone 1	ADA	3	0	0	1	2	3	1	2	1	2	1	3	3	0	2	0	0	0	
	Standard	206	12	18	69	180	162	199	175	51	44	36	27	40	24	14	7	6	6	
	Online	14	0	1	4	2	7	9	9	10	9	6	7	8	8	9	0	0	0	
Zone 2	Electric	3	0	0	0	0	1	0	0	1	1	2	1	3	0	0	0	0	0	0
	ADA	16	2	4	6	8	13	13	15	14	15	14	14	12	13	11	8	4	4	
	Standard	489	67	86	108	162	194	239	271	310	272	266	268	235	231	198	156	108	96	
Zone 3	Pharmacy	2	0	0	0	0	1	0	0	2	1	0	1	1	2	0	0	0	0	
	Police	5	0	0	0	2	0	0	0	0	1	0	0	2	1	0	0	0	0	
	ADA	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
	Standard	96	2	5	9	13	13	16	14	15	21	14	8	9	8	2	0	0	0	

Date: 10/27/2022			Occupancy																	
Zone	Stall	Inventory	6:00 AM	7:00 AM	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM	9:00 PM	10:00 PM	
Zone 1	ADA	3	0	0	1	3	3	3	3	3	2	3	3	3	0	3	1	1	0	
	Standard	209	14	21	29	41	42	45	55	60	40	43	36	30	27	16	12	10	5	
	Online	14	0	3	5	12	0	1	5	4	2	6	1	8	7	4	2	0	0	
	Electric	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Zone 2	ADA	16	3	3	7	12	14	15	15	15	14	12	12	13	11	11	7	7	5	
	Standard	489	73	103	121	207	262	303	311	291	276	252	271	245	211	184	143	109	112	
	Pharmacy	2	0	1	2	2	2	2	2	0	1	2	2	2	2	0	0	0	0	
	Police	5	0	0	0	0	0	0	0	1	0	1	2	0	0	0	1	0	0	
Zone 3	ADA	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
	Standard	96	2	3	5	8	12	13	11	7	8	11	6	8	7	2	2	1	1	

SITE PLAN

4893 LONE TREE WY
PREPARED FOR
WALMART
STORE # 2697 - ANTIOCH, CA

SHEET NUMBER
1.0

Kimley-Horn

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1100 W TOWNE AND COUNTRY ROAD, SUITE 700,

ORANGE, CA 92868

PHONE: 714-931-1030 FAX: 714-938-9488

WWW.KIMLEY-HORN.COM

NO. REVISIONS DATE BY

16 JG

DRAWN BY JS

DESIGNED BY JS

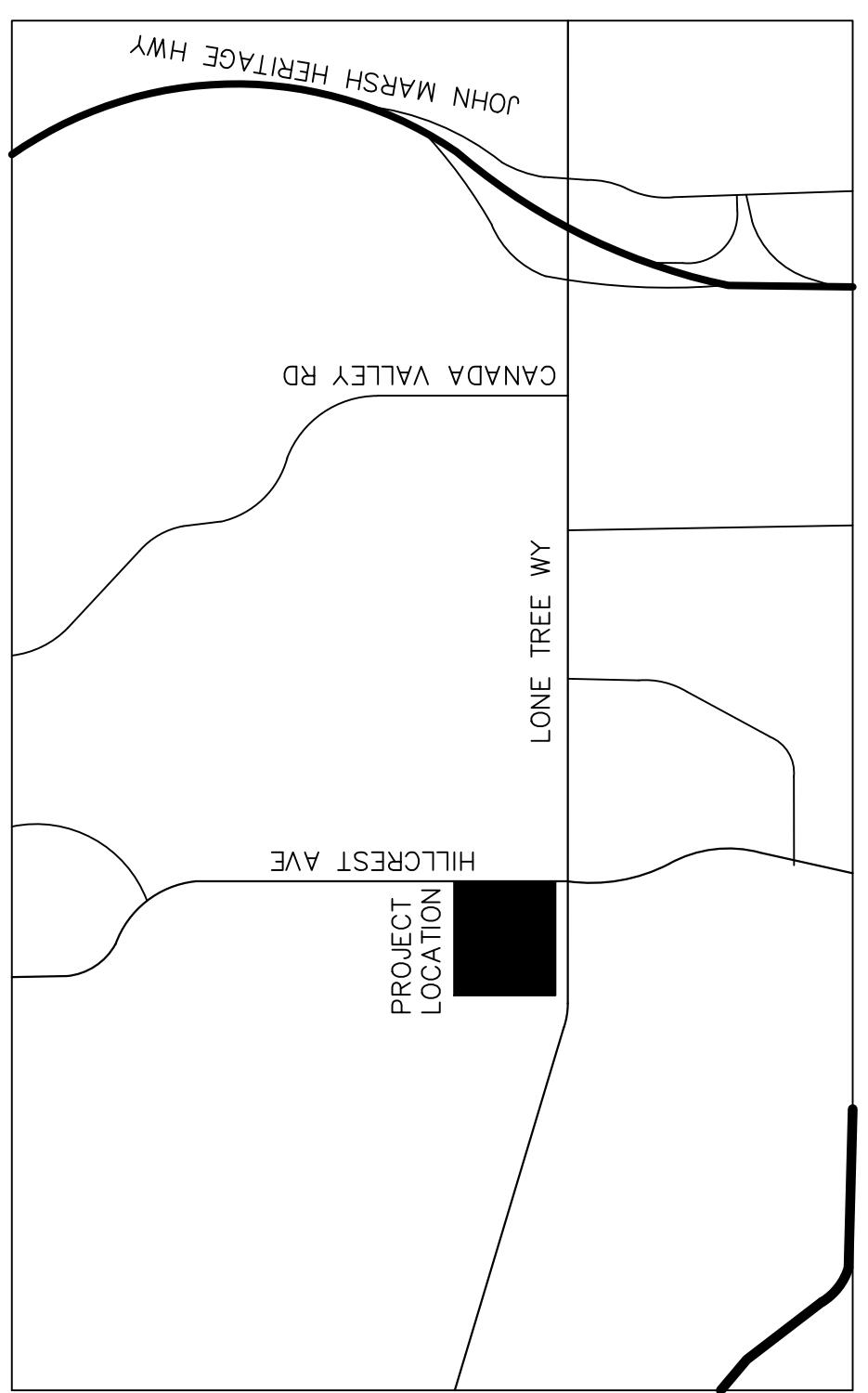
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SCALE AS SHOWN

DATE 09/07/23

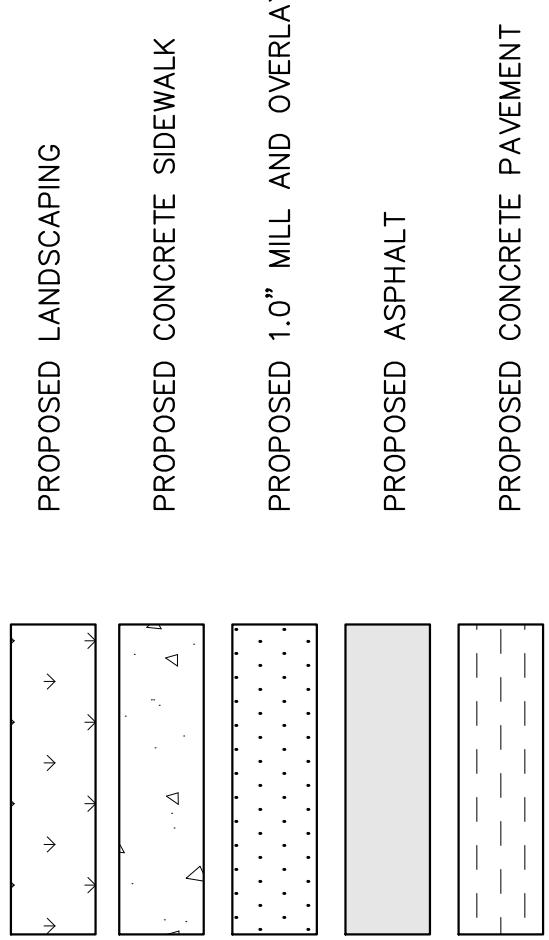
PROJECT NO. 94658565

LICENSED PROFESSIONAL



VICINITY MAP (NOT TO SCALE)

LEGEND



PARKING SUMMARY

PARKING TABLE:	EXISTING	PROPOSED	REQUIRED
STANDARD	851	794	N/A
PICKUP 2.0	10	36	19
ACCESSIBLE	24	26	918
TOTAL:			
PROPOSED REDUCTION = 29 SPACES			

EXISTING PARKING RATIO: 5.02 SPACES / 1,000 SQ.FT.

PROPOSED PARKING RATIO: 4.66 SPACES / 1,000 SQ.FT.

REQUIRED PARKING RATIO: 5.00 SPACES / 1,000 SQ.FT.

DATA SUMMARY

ZONE: PLANNED DEVELOPMENT DISTRICT (PD)

GENERAL PLAN: NEIGHBORHOOD COMMUNITY COMMERCIAL

GROSS & NET LOT SIZE: 17.46 ACRES / 760,601 SQ.FT.

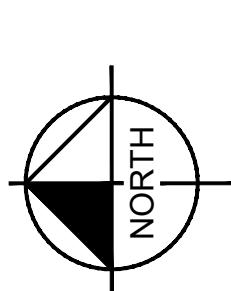
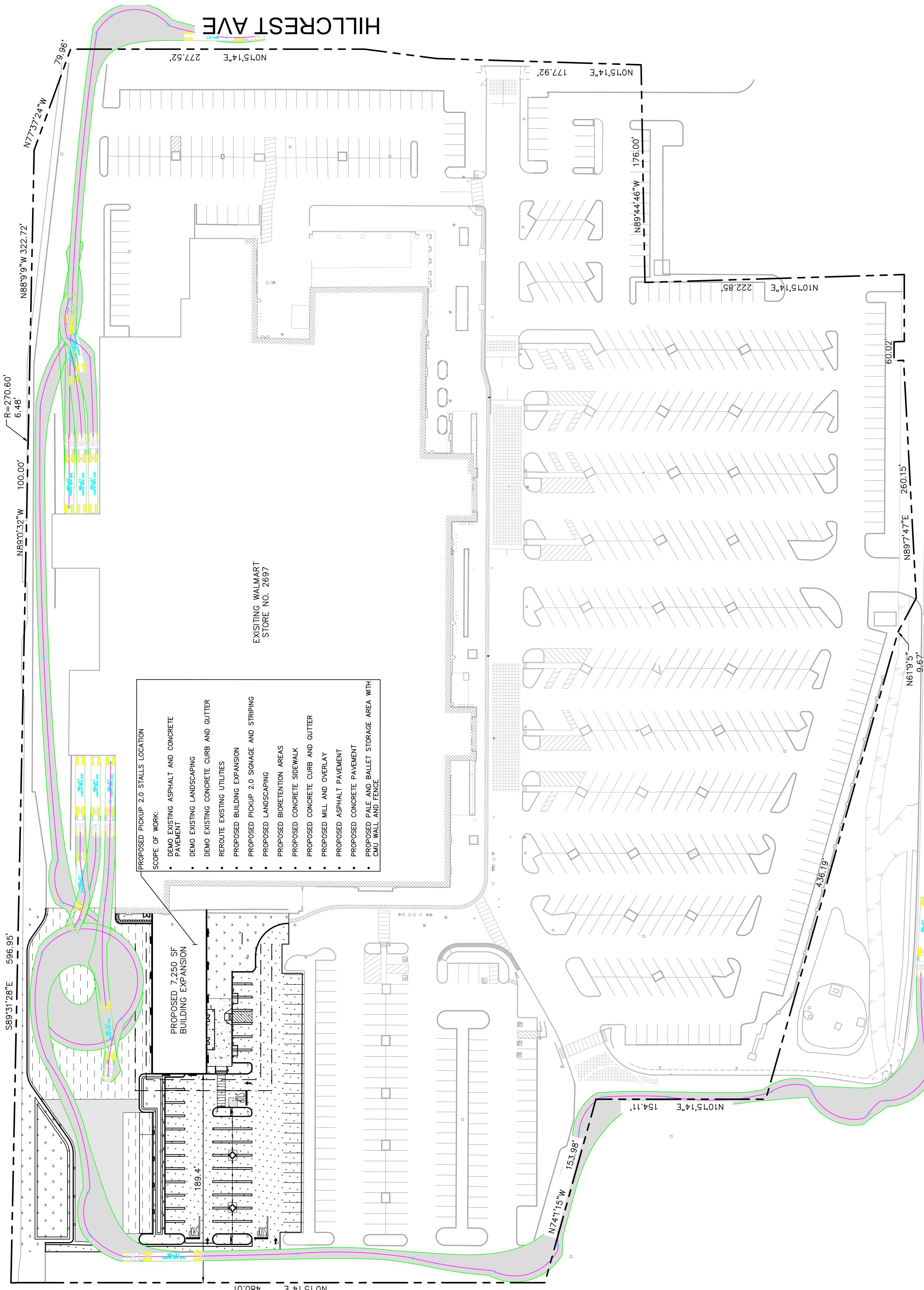
SETBACK: TO BE DETERMINED BY CITY COUNCIL THROUGH PLANNED DEVELOPMENT PROCESS

FLOOD ZONE: ZONE X – AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FEMO MAP, NO 06013C0332

EXISTING LOT COVERAGE

TOTAL SITE AREA:	760,601 SQ.FT.	(17.46 AC)	100%
BUILDING AREA:	176,303 SQ.FT.	(4.05 AC)	23.2%
IMPERVIOUS AREA:	510,318 SQ.FT.	(11.72 AC)	67.1%
FLOOR AREA RATIO:	73,930 SQ.FT.	(1.71 AC)	9.7%
PROPOSED LOT COVERAGE			
TOTAL SITE AREA:	760,601 SQ.FT.	(17.46 AC)	100%
BUILDING AREA:	183,553 SQ.FT.	(4.21 AC)	24.1%
IMPERVIOUS AREA:	503,731 SQ.FT.	(11.56 AC)	66.2%
FLOOR AREA RATIO:	73,317 SQ.FT.	(1.69 AC)	9.7%

LONE TREE WY



GRAPHIC SCALE IN FEET
0 25 50 100
SCALE: 1" = 50'
WHEN PRINTED AT FULL
SIZE 24" x 36"