



**STAFF REPORT TO THE ZONING ADMINISTRATOR
FOR CONSIDERATION AT THE MEETING OF JULY 24, 2025**

Prepared by: Monet Boyd, Assistant Planner

Approved by: Zoe Merideth, Planning Manager

Date: July 24, 2025

Subject: YMCA Daycare New Building (DR2025-0019, UP2025-0006)

RECOMMENDATION

It is recommended that the Zoning Administrator adopt a resolution approving Design Review (DR2025-0019) and Use Permit (UP2025-0006) for the continued operation of a daycare facility and the installation of 1,000-square-foot building subject to the attached conditions of approval. The project site is located at 112 E Tregallas Road (068-153-032).

REQUEST

The applicant, Claire Obenson, is requesting Design Review and Use Permit approval to install a new 1,000 square-foot building at the southwest corner of the property. The property is currently used as a permitted, existing daycare use. The building will serve as a conference room and staff breakroom. The request does not include an expansion of the number of children permitted at the daycare.

ENVIRONMENTAL

The project is Categorically Exempt under California Environmental Quality Act Guidelines Section 15332, Infill Development. Class 32 consists of construction of new developments. The project site is less than 5 acres in size, located within existing urban uses and would not threaten habitat for endangered species and would not result in significant effects to traffic, noise, air quality or water quality because the site is currently fully developed and the proposed building will be added to an already developed portion of the site.

BACKGROUND

The subject site is located at 112 E. Tregallas Road to the north, Lincoln Lane to the east, and Sunset Lane to the west. The site is currently a daycare center that was previously approved on August 8, 1989 by City of Antioch's Zoning Administrator. The daycare center serves 120 children and has 15 staff members to run the facility. The Use Permit and Design Review approval allows for the installation of the 1,000-square-foot building

and the continued use of the daycare center. The daycare center operates five days a week from 7:00am to 6:00pm. The number of children or teachers will not increase. The new building will serve as a conference room, staff break area, parent teacher conferences, and a space for back-to-school nights.

ANALYSIS

Project Overview

The site is designated Medium Low Density Residential in the General Plan and is zoned Single-Family Residential District (R-6). Daycare Centers are a conditionally permitted use in the R-6 zone and require Use Permit approval.

The existing daycare center was approved in 1989 to serve 120 children and 12 staff members and has operated continuously since. A parking variance for this site was approved in 1989 alongside the previous Use Permit approval. The parking requirement was 39 spots at the time of previous entitlements. Currently the parking requirement is 1 parking spot per employee on the largest shift and 1 per 8 children. The site is required to have 30 parking spaces. The applicant will have to restripe an asphalt-paved area on the southeast side of the property that was previously used for parking. It is owned and operated by the YMCA and currently operates with the same number of students as in 1989. The center operates five days a week from 7:00am to 6:00pm.

The applicant is now requesting Use Permit and Design Review approval to install a new 1,000-square-foot building on the southwest portion of the site. In accordance with Antioch Municipal Code § 9-5.2708, any modification to previously approved conditions require a new Use Permit. This application addresses the addition of the new building and affirms the continuation of the approved daycare use. The building will serve as a conference room, staff breakroom and space for parent-teacher meetings and back-to-school nights. These conferences, meetings, and events currently happen at the property occasionally, however, the new building would allow for more space and privacy.

The purpose of the Design Review process is to ensure that designs of projects will result in improvements that are visually and functionally appropriate to their site conditions and harmonious with their surroundings in accordance with established citywide commercial design standards. The building will have the same color scheme as the main building ensuring cohesion between the two buildings. The building will be softened by landscaping around the ramp and front facade of the building. The design includes planter boxes lining each window to add greenery and landscaping to the building.



Parking and Occupancy

The project site provides a total of 26 parking spaces. Per Antioch Municipal Code (AMC) § 9-5.1703.1 (Off-Street Parking Requirements by Use), daycare centers are required to provide:

- 1 per employee on the largest shift
- 1 per 8 children

The daycare center serves 120 children, requiring 15 parking spaces, plus 15 additional parking spaces for 15 staff members on the largest shift, requiring 30 total parking spaces for the site. The existing 26 parking spaces on-site are insufficient to meet current and continued use demands. The Conditions of Approval require restriping of the asphalt-paved area on the southeast side of the property that was previously used for parking.

Outside Agencies

The Contra Costa County Fire Protection District (CCCFPD) reviewed the proposed project for compliance with the Code and local requirements. CCCFPD submitted a letter detailing the requirements for Fire District approval. The letter is included as Attachment D to the staff report.

CONCLUSION

Staff recommends that the Zoning Administrator adopt a resolution approving the Use Permit and Design Review (DR2025-0019 / UP2025-0006) for the addition of a 1,000-square-foot modular building and continued daycare operations at 112 E. Tregallas Road, subject to the Conditions of Approval in Attachment A.

ATTACHMENTS

- A.** Resolution
Exhibit A. Conditions of Approval
- B.** Applicant's Project Description
- C.** Project Plans
- D.** Contra Costa County Fire Protection District

ATTACHMENT "A"

CITY OF ANTIOCH ZONING ADMINISTRATOR RESOLUTION NO. 2025-XX

RESOLUTION OF THE CITY OF ANTIOCH ZONING ADMINISTRATOR OF APPROVING A USE PERMIT AND DESIGN REVIEW APPROVAL TO INSTALL A NEW 1,000-SQUARE-FOOT BUILDING FOR THE YMCA LOCATED AT 112 E TREGALLAS RD. (UP2025-0006; DR2025-0019)

WHEREAS, Claire Obenson requests approval of a Use Permit and Design Review approval to install a new 1,000-square-foot building at the southwest corner of the property at 112 E Tregallas Road (APN 068-153-032);

WHEREAS, this project is Categorically Exempt from the provisions of CEQA, pursuant to section 15332 – Infill Projects; and

WHEREAS, the Zoning Administrator duly gave notice of a public hearing as required by law; and

WHEREAS, the Zoning Administrator on July 24, 2025, duly held a public hearing and received and considered evidence, both oral and documentary; and

WHEREAS, the Zoning Administrator does determine:

1. The granting of such Use Permit will not be detrimental to the public health or welfare or injurious to the property or improvements in such zone or vicinity.

The proposed modular building will not be detrimental to the surrounding property or improvements. Based upon the conditions imposed, the proposed use will not create adverse impacts to the surrounding businesses and residents.

2. The use applied at the location indicated is properly one for which a Use Permit is authorized.

The site is zoned Single-Family Residential District (R-6). The City of Antioch Municipal Code permits daycare centers with the approval of a use permit in the Single-Family Residential District (R-6). The existing daycare center is expanding to allow the installation of a 1,000-square-foot building, requiring the need for a new use permit per the Antioch Municipal Code.

3. That the site for the proposed use is adequate in size and shape to accommodate such use, and all parking, and other features required.

The proposed building will not increase the number of students or teachers

attending the daycare center. The project site provides sufficient off-street parking.

4. That the site abuts streets and highways adequate in width and pavement type to carry the kind of traffic generated by the proposed use.

The project site is currently developed and is located on E Tregallas Road and Lincoln Lane, which are adequate in width and pavement type to carry the traffic generated by the proposed use.

5. The granting of such Use Permit will not adversely affect the comprehensive General Plan.

The use will not adversely affect the comprehensive General Plan because the project is consistent with the General Plan designation of Medium Low Density Residential and is an existing daycare center.

NOW THEREFORE BE IT RESOLVED, the Zoning Administrator of the City of Antioch does hereby **APPROVE**, UP2025-0006 and DR2025-0019, for daycare use and to install a new 1,000-square-foot building located at 112 E Tregallas Road (APN 068-153-032), subject to the conditions of approval contained in Exhibit A.

* * * * *

I HEREBY CERTIFY that the foregoing resolution was passed and adopted by the Zoning Administrator of the City of Antioch at a regular meeting thereof held on the 24th day of July 2025.

DAVID A. STORER, AICP
ZONING ADMINISTRATOR

EXHIBIT A
CONDITIONS OF APPROVAL
(SEPARATE PAGE)

EXHIBIT A: CONDITIONS OF APPROVAL
YMCA DAYCARE NEW BUILDING | UP2025-0006 | DR2025-0019

A. GENERAL CONDITIONS

1. The project shall comply with the Antioch Municipal Code. All construction shall conform to the requirements of the California Building Code and City of Antioch standards.
2. The applicant shall defend, indemnify, and hold harmless the City in any action brought by a third party to challenge the land use entitlement. In addition, if there is any referendum or other election action to contest or overturn these approvals, the applicant shall either withdraw the application or pay all City costs for such an election.
3. The project shall be implemented as indicated on the application form and accompanying materials provided to the City of Antioch and in compliance with the Antioch Municipal Code, or as amended by the Zoning Administrator.
4. No building permit will be issued unless the plan conforms to the project description and materials as approved by the Zoning Administrator and the standards of the City.
5. This approval expires two years from the date of approval (expires July 24, 2027), unless operations have commenced, or an extension has been approved by the Zoning Administrator. Requests for extensions must be received in writing with the appropriate fees prior to the expiration of this approval. No more than one one-year extension shall be granted.
6. No permits or approvals, whether discretionary or mandatory, shall be considered if the applicant is not current on fees, reimbursement payments, and any other payments that are due.

B. AGENCY REQUIREMENTS

1. All requirements of the Contra Costa County Fire Protection District shall be met.

C. FEES

1. The applicant shall pay all fees as required by the City Council.
2. The applicant shall pay all required fees at the time of building permit issuance.

D. PROPERTY MAINTENANCE

1. No illegal signs, pennants, banners, balloons, flags, or streamers shall be used on this site at any time.
2. The site shall be kept clean of all debris (boxes, junk, garbage, etc.) at all times.
3. No signs shall be installed on this site without prior City approval.

E. PROJECTS SPECIFIC REQUIREMENTS

1. This approval applies the design review and use permit for a new 1,000 square foot building at the existing daycare at 112 E Tregallas Road.
2. All conditions of approval outlined in Zoning Administrator Resolution 89-18 shall remain applicable, unless modified herein.
1. The new 1,000 square foot building shall serve as a conference and meeting room and shall not be used for classrooms or as an area for students.
2. The new 1,000-square-foot building shall operate concurrently with, or within, the approved hours of operation of the existing daycare facility. The current hours of operation are 7:00 a.m. to 6:00 p.m.
3. Ancillary evening use of the facility shall be limited to occasional events such as parent-teacher conferences and back-to-school nights only.
4. This approval allows for a daycare center with a maximum of 120 students to occupy the original 5,800 square foot building.
5. The applicant shall restripe the southeast side of the property that was previously used for parking to be in compliance with the parking requirement of 30 total spaces. All striping of parking spaces shall be in conformance with City Standards and be completed prior to building permit occupancy.
6. At building permit submittal, the applicant shall provide an irrigation and landscaping plan for review and approval by the Planning Division. The plan shall be consistent with the Antioch Municipal Code § 9-5.1006 WATER EFFICIENT LANDSCAPE ORDINANCE.

ATTACHMENT "B"

Claire Obenson

St Clare of Assisi Architecture

(415) 948-7763

claire.obenson@gmail.com

Project Description

May 14, 2025

The YMCA of East Bay wishes to add an approx. 1000 square ft modular building to the south west corner of the property. The flat, level property is owned by the YMCA at 112 E Tregallas Avenue in Antioch. There will not be an expansion of activity on the site. The modular building will provide a private place to hold meetings and a dedicated breakroom for the current staff team. No Children will be allowed into the building. Only electricity will be provided to the building. There will be no other utilities.

The facility hours of operation shall be limited to a maximum of 730 am to 6pm seven days per week, year-round, with night-time events allowed periodically to the extent that no noise, traffic, parking problems are created for adjacent uses and local streets. The nighttime events would typically be parent meetings for those families enrolled in the program. These would be opportunities for families to meet one on one or in small groups with teachers or the center director.

The site is currently operated as a Head Start and Early Head Start Center serving children ages birth to 5 years old.

YMCA of East Bay

ADD AN ADMINISTRATION MODULAR BUILDING

112 Tregallas Road, Antioch, CA 94509

ABBREVIATIONS

ABV	ABOVE	O	MAX
ACC	ACCESSIBLE/ ACCESSIBILITY	MFR	MANUFACTURE
ADDN	ADDITION	MN	MINIMUM
AF.F	ABOVE FINISHED FLOOR	MTD	MOUNTED
AVE	AVENUE	MTL	METAL
BLDG	BUILDING	(N)	NEW
BDS	BOARDS	N/C	NOT IN CONTRACT
BLKG	BLOCKING	NYS	NOT TO SCALE
BM	BEAM	O/C O.C.	ON CENTER
CONC	CONCRETE	O/C	OVER
CAB	CABINET	OCC	OCCUPANT/ OCCUPANCY
C.B.C.	CALIFORNIA BUILDING CODE	OH	OVER HEAD, OVER HANG
C.P.C.	CALIFORNIA PLUMBING CODE	OPG	OPENING
CHAP	CHAPTER	OP	OPERATED
C.J	CEILING JOINT	OPP	OPPOSITE
CLG	CEILING	OPT	OPTIONAL
CLO	CLOSET	PT / PART	PARTIAL
CNTR	COUNTER	PLYWD	PLYWOOD
C.O.	CLEAN-OUT	PLATE	
CONT	CONTINUOUS	P.O.S.	POINT OF SCALE
CT	CERAMIC TILE	PT	POINT
CT	CERAMIC TILE	PRESS	PRESSURE
DEG	DEGREE	P.R.V.	PRESSURE RELIEF VALVE
DN	DOWN	PSI	POUNDS PER SQUARE INCH
DSL	DOUBLE	P.S.F.	POUNDS PER SQUARE FOOT
D.S.	DOWN SPOUT	PT	PRESSURE TREATED
DA	DIAMETER	(R)	RELOCATED
D.J	DECK JOINT	R	RADIUS, RISER
(E)	EXISTING	R.A	RETURN AIR
RD	ROAD	RD	ROAD
ELECK	ELECTRIC	REINF	REINFORCED
ELEV.L	ELEVATION	REQ	REQUIRED/ REQUIREMENT
ENCLM	ENCLOSURE	RM	ROOM
EPOK	EPOXY	R.S	ROUGH SWAN
EXT.	EXTERIOR	R.O.	ROUGH OPENING
EA	EACH	SA	SUPPLY AIR
FAU	FORCED AIR UNIT	SAB	SOUND ATTENUATION BATTS
FBG	FIBERGLASS	SD	SMOKE DETECTOR
FD	FLOOR DRAIN	SC	SCALE
FDN	FOUNDATION	STEE	SCHEDULE
FH	FULL LIGHT	SEC/SECT	SECTION
FIN	FINISH	SHWR	SHOWER
F.S.	FLOOR SINK	SH	SINGLE HUNG
FX	FIXED	SM	SIMILAR
FXT	FIXTURE	SL	SLIDING SLIDER
F.J	FLOOR JOINT	SNGL	SINGLE
FLR	FLOOR	SO.G	SLAB ON GRADE
FLUOR	FLUORESCENT	SG	SQUARE
FMG	FRAMING	SS	STAINLESS STEEL
FR	FROM	SSD	SWW STRUCTURAL DRAWINGS
FRP	FIBERGLASS REINFORCED	STD	STANDARD
PLASTIC		SV	SHEET VINYL
FT	FEET	TEMP	TEMPERED
FTG	FOOTING	TEL	TELEPHONE
FURN	FURNITURE/ FURNITURE	T.G	TONGUE & GROOVE
GA	GAUGE	T.L	TRUE DIVIDED LITE
GALV	GALVANIZED	T-24	TITLE 24 ENERGY COMPLIANCE
G.C.	GENERAL CONTRACTOR	T.C	TRASH COMPACTOR
GFI	GROUND FAULT INTERRUPT	T.O.C	TOP OF CURB
GL	GLASS	T.O.S	TOP OF SLAB
GLB	GLUE LAMINATED BEAM	THK	THICK
GSM	GALVANIZED SHEET METAL	TRD	TRIED
GYP BD	GYP SUM BOARD	TYP	TYPICAL
HD	HEAD	U/	UNDER
HR	HOUR	U/C	UNDER CABINET
HDR	HEADER	UN	UNLESS OTHERWISE NOTED
HNGR	HANGER	V.B	VAPOR BARRIER
HS	HARD SURFACE	V.F	VERIFY IN FIELD
HT	HEIGHT	VN	SHEET VINYL
Hwy	HIGHWAY	W/ w/	WITH
IN	INCH	W/O	WITHOUT
INCAND	INCANDESCENT	WD	WOOD
INC	INCLUDE	WH	WATER HEATER
INSUL	INSULATION	W/P	WATER PROOF
LIN	LINOLEUM	WWF	WELDED WIRE FABRIC
LNDY	LAUNDRY		
LT	LIGHT		
LVT	LUXURY VINYL TILE		

SCOPE OF WORK

- ADDITION OF ONE ADMINISTRATION MODULAR BUILDING ON THE SITE TO BE USED AS A CONFERENCE ROOM OR OTHER ADMINISTRATIVE USES. Admin Space. THERE WILL NO CLASSROOM USE.

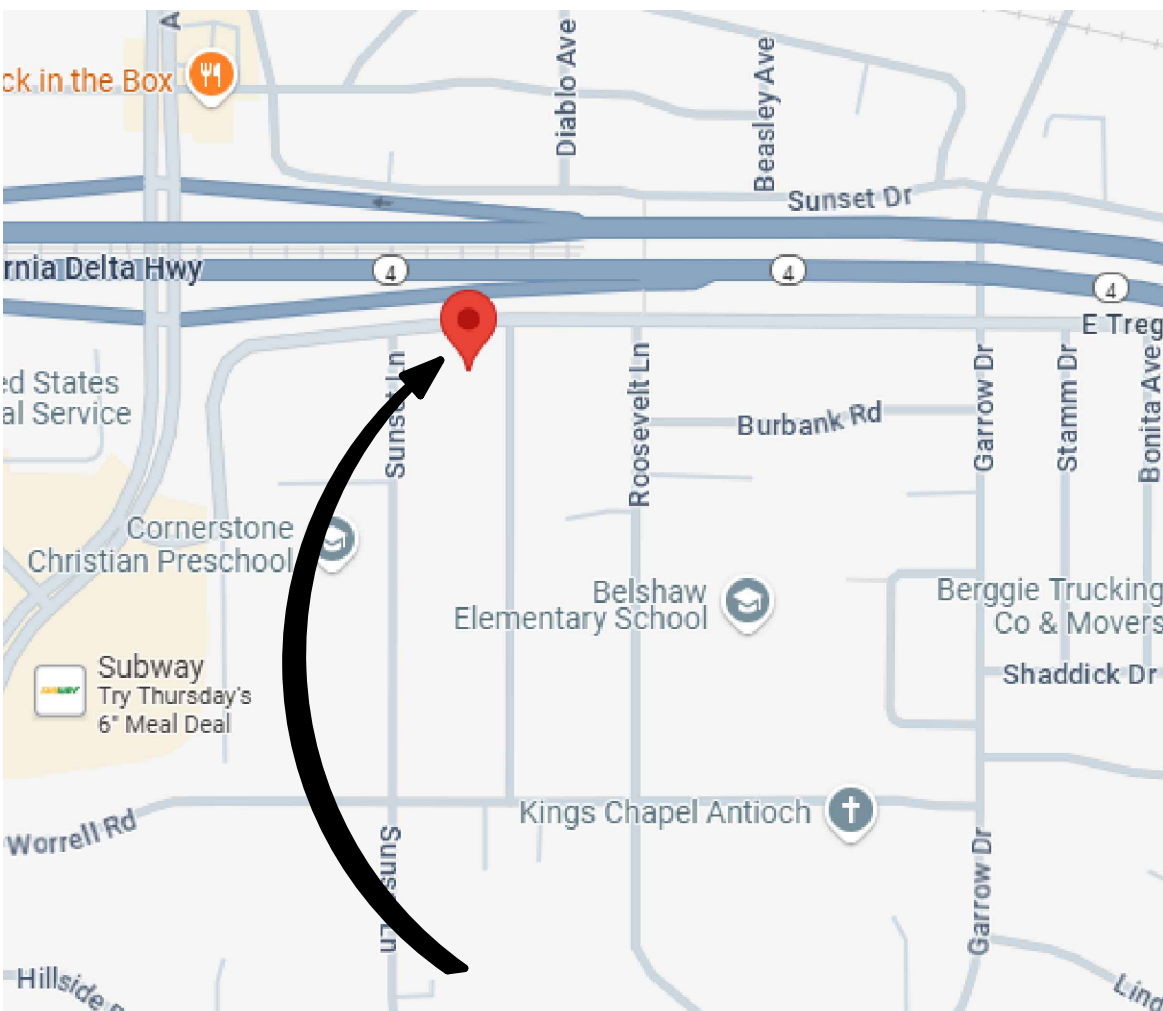
PROVIDE ACCESSIBILITY UPGRADES AS REQUIRED OR TO BECOME REQUIRED FOR ALTERATION TO EXISTING COMMERCIAL BUILDINGS. THE AMOUNT TO BE DEVOTED TO UPGRADES IS DETERMINED BASED ON THE VALUATION OF THE PROJECT. IF THE COST DOES NOT EXCEED \$ 106,172.00, 20% OF THE COST ABOVE AND BEYOND THE ACTUAL COST MUST BE DEVOTED TO ACCESSIBILITY UPGRADES PER CBC 1B-202.4. IF THE VALUATION EXCEEDS THAT VALUE, THEN FULL COMPLIANCE IS REQUIRED. NOTE THAT ANY NEW CONSTRUCTION MUST BE FULLY COMPLIANT AND DOES NOT COUNT AGAINST THE 20%.

REFER TO EXISTING SITE PLAN AND PROPOSED FLOOR PLANS FOR ROUTES OF TRAVEL.

ACCESSIBILITY ITEMS TO BE UPGRADED

DEFERRED SUBMITTALS

VICINITY MAP



CODE INFORMATION

APPLICABLE CODES

2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE PART 1
2022 CALIFORNIA BUILDING CODE PART 2, VOLUME 1
2022 CALIFORNIA BUILDING CODE PART 2, VOLUME 2
2022 CALIFORNIA ELECTRICAL CODE PART 3
2022 CALIFORNIA MECHANICAL CODE PART 4
2022 CALIFORNIA PLUMBING CODE PART 5
2022 CALIFORNIA ENERGY CODE PART 6
2022 CALIFORNIA HISTORICAL BUILDING CODE PART 8
2022 CALIFORNIA FIRE CODE AS AMENDED BY THE CITY OF ANTIOCH
2022 CALIFORNIA EXISTING BUILDING CODE PART 10
2022 CALIFORNIA BUILDING STANDARDS CODE (CALGREEN CODE) PART 1
2022 CALIFORNIA REFERENCE STANDARDS CODE PART 12

ALL OTHER APPLICABLE LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS

BLDG DATA

PROJECT ADDRESS : 112 TREGALLAS ROAD, CA 94509
APN : 068053032
ZONE : R-1.5 SINGLE FAMILY RESIDENTIAL
DISTRICT :
LOT SQUARE FOOTAGE : 4.4 ACRES OR 19,666 SF
EXISTING BUILDING SQUARE FOOTAGE : 5,500 SF
OCCUPANCY CLASSIFICATIONS : GROUP B
CONSTRUCTION TYPE : TBO
FIRE SPRINKLERS : YES
NUMBER OF STORES : ONE

LOT COVERAGE CALCULATIONS:
LOT COVERAGE ALLOWABLE: 40% OF LOT SQUARE FOOTAGE
4.0X X 19,666 SF = 7,867 SF, WHICH IS THE MAXIMUM ALLOWABLE LOT COVERAGE
EXISTING LOT COVERAGE = 7,667 SF - 5,500 SF = 2,166 SF, THEREFORE, THE
TOTAL SQUARE FOOTAGE OF ANY NEW BUILDINGS CANNOT EXCEED 2,166 SF

PROPOSED MODULAR BUILDING = 1,000 SF, WHICH IS LESS THAN THE ALLOWED 2,166 SF, THEREFORE PROPOSED LOT COVERAGE SQUARE FOOTAGE COMPLIES WITH THE REQUIREMENTS.

SHEET INDEX

ARCHITECTURAL

COVER SHEET A01
EXISTING SITE PLAN A01
PROPOSED SITE PLAN A02
SITE PHOTOS A03
PROPOSED FRONT ELEVATION A301
PROPOSED RIGHT ELEVATION A302
RENDERINGS A303

PROJECT CONTACTS

PROJECT CONTACTS

TENANT / OWNER

YMCA OF EAST BAY
112 E TREGALLAS ROAD
PH: 925-887-4536
CONTACT: MICHAEL SAENZ
EMAIL: MSAENZ@YMCAEASTBAY.ORG

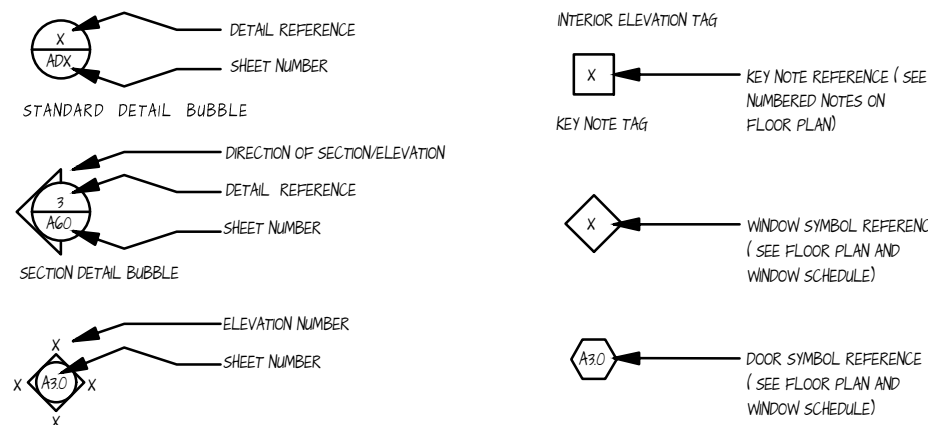
ARCHITECT

ST. CLARE OF ASSISI ARCHITECTURE
1420 BEATRICE CT, SUITE 612
BRENTWOOD, CA 94519
PH: 415-948-7763
CONTACT: CLARE OBENSON
EMAIL: CLARE.OBENSON@GMAIL.COM

GENERAL CONTRACTOR

TBD

SYMBOL REFERENCES



ST.
CLARE
OF
ASSISI
ARCHITECTURE



Tel: (415) 948-7763
claire.obenson@gmail.com

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Revisions Date

Use Permit Application REV 05_14_25

Use Permit Application 04_28_25

Revised Drawings 03_24_25

Revised Drawings 03_14_25

Options for Pre App Mtg 01_23_25

Preliminary Drawings 01_15_25

YMCA Modular

112 E Tregallas Road
Antioch, CA 94509

Drawing Title

Cover Sheet

Scale NA

Drawn By

Job Number 202418

Drawing Number

A0.1
C1

ACCESSIBLE PARKING CALCULATIONS

TOTAL NUMBER OF EXISTING PARKING STALLS -	24
REQUIRED AND EXISTING NUMBER OF ACCESSIBLE PARKING STALLS -	1
REQUIRED AND EXISTING NUMBER OF VAN-ACCESSIBLE STALLS -	1

ACCESSIBILITY NOTES

1. WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE CONTINUOUS (48" MIN WIDE CLEAR PATH) AND HAVE MAXIMUM $\frac{1}{4}"$ CHANGE OF ELEVATION OR PROVIDE CHANGE IN LEVEL PER DETAIL 5 ON THIS SHEET. CHANGES IN ELEVATION GREATER THAN $\frac{1}{4}"$ SHALL HAVE CURB RAMPS COMPLYING WITH CBC 1B-4.06. PATH-OF-TRAVEL WALKWAYS SLOPES TO BE 5% MAX IN THE DIRECTION OF TRAVEL AND 2% MAX CROSS SLOPES. WALKWAYS EXCEEDING THESE PERCENTAGES SHALL HAVE RAMPS COMPLYING WITH CBC 1B-4.05.
2. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
3. CURB CUT RAMPS SHALL NOT EXCEED 8.3% SLOPE (1:12).
4. PROVIDE TRUNCATED DOMES AS DETECTABLE WARNING AT HAZARDOUS VEHICULAR AREAS 36" IN WIDTH PER 2.022 CBC 1B-7.05.12.5
5. PROVIDE 60"x60" LEVEL LANDING AREA AT ALL ENTRY AND EXIT DOORS NOT TO EXCEED 15% SLOPE IN ANY DIRECTION
6. THRESHOLDS AT ALL DOORS SHALL NOT BE MORE THAN $\frac{1}{4}"$ ABOVE FLOOR AND LANDING ON BOTH SIDES OF THE THRESHOLD.



Revisions	Date
Use Permit Application REV	05_14_20
Use Permit Application	04_28_20
Revised Drawings	03_24_20
Revised Drawings	03_14_20
Options for Pre App Mtg	01_23_20
Preliminary Drawings	01_15_20



② Existing Adjacent Areas



① Project Site



Use Permit Application	04_28_25
Revised Drawings	03_24_25
Revised Drawings	03_14_25
Options for Pre App Mtg	01_23_25
Preliminary Drawings	01_15_25

YMCA Modular

112 E Tregallas Road
Antioch, CA 94509

Drawing Title

Site Photos

Scale

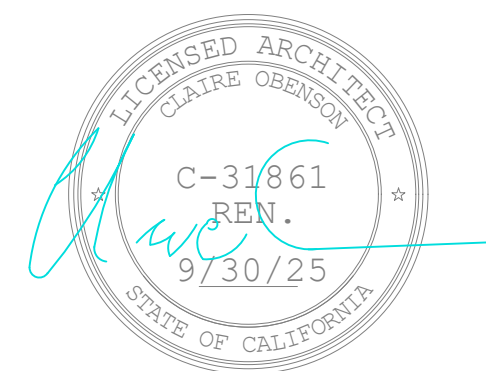
NA

Drawn By

Job Number

202418

Drawing Number



Tel: (415) 948-7763
claire.obenson@gmail.com

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Revisions	Date
Use Permit Application REV	05_14_25
Use Permit Application	04_28_25
Revised Drawings	03_24_25
Revised Drawings	03_14_25
Options for Pre App Mtg	01_23_25
Preliminary Drawings	01_15_25

YMCA Modular

112 E Tregallas Road
Antioch, CA 94509

Drawing Title

Proposed Floor Plan

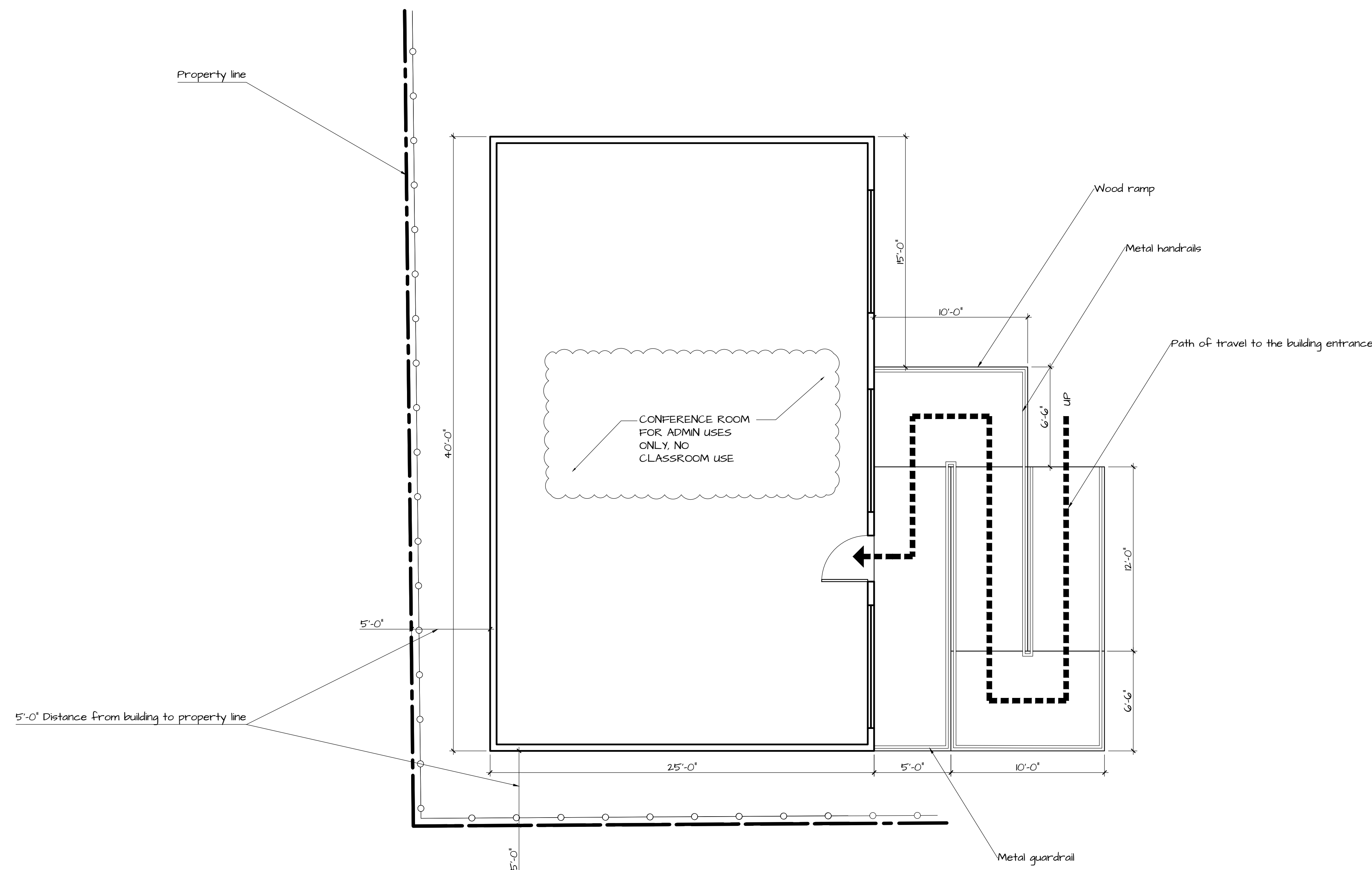
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Drawn B

Job Number 202418

Drawing Number

A201
C5



NOTE:
No children are allowed
in the new building





S^T.
CLARE
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ARCHITECTURE



Tel: (415) 948-7763
claire.obenson@gmail.com

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Revisions Date

Use Permit Application REV 05_14_25

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Revised Drawings 03_24_25

Revised Drawings 03_14_25

Options for Pre App Mtg 01_23_25

Preliminary Drawings 01_15_25

YMCA Modular

112 E Tregallas Road
Antioch, CA 94509

Drawing Title

Proposed Front
Elevation

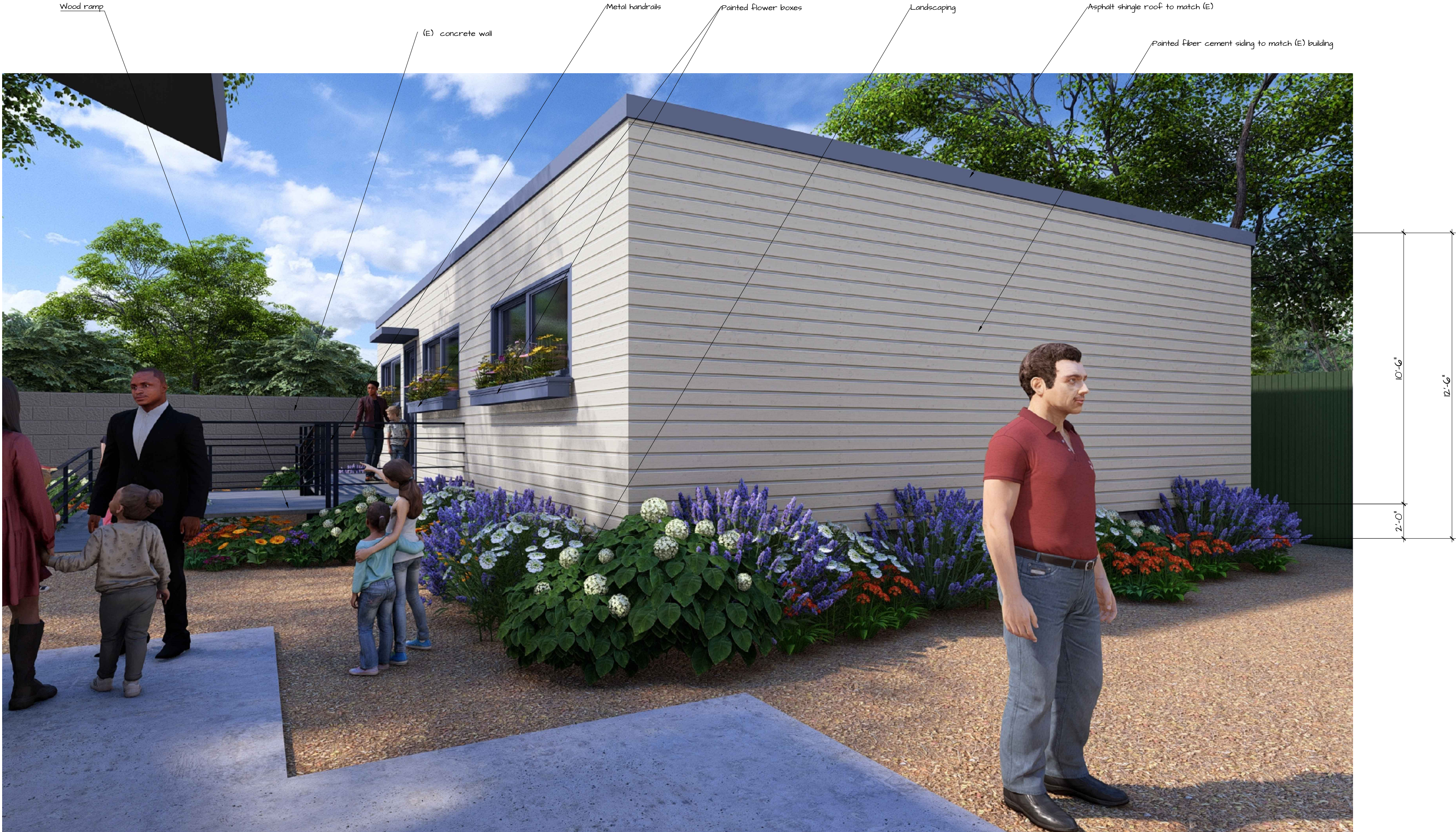
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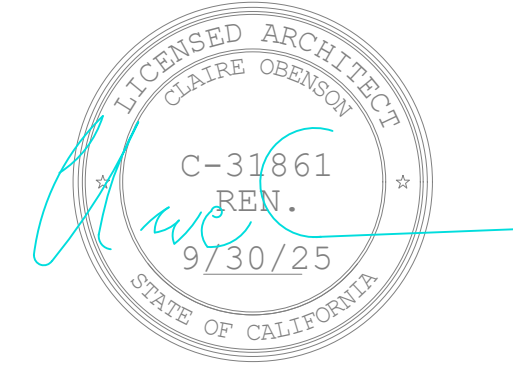
Job Number 202418

Drawing Number

A301
C6



1 Proposed Right Elevation



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Use Permit Application REV	05_14_25
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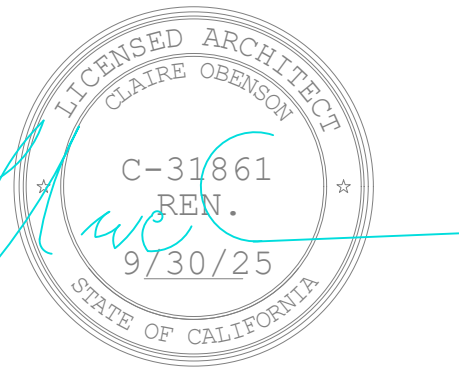
YMCA Modular

112 E Tregallas Road
Antioch, CA 94509

Drawing Title	
Proposed Right Elevation	
Scale	NA
Drawn By	
Job Number	202418
Drawing Number	



ST.
CLARE
OF
ASSISI
ARCHITECTURE



Tel: (415) 948-7763
claire.obenson@gmail.com

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YMCA Modular

112 E Tregallas Road
Antioch, CA 94509

Drawing Title

Renderings

scale	N/A
-------	-----

Drawn By _____

Job Number 202418

Drawing Number

A303
C8

ATTACHMENT "D"



CONTRA COSTA COUNTY FIRE PROTECTION DISTRICT

4005 PORT CHICAGO HWY, STE 250, CONCORD, CA 94520 • (925) 941-3300 • CCCFPD.ORG

June 17, 2025

City of Antioch
Planning Division
Attn: Monet Boyd
200 H Street
Antioch, CA 94509
(925) 779-6115
mboyd@antiochca.gov

Subject: YMCA of East Bay – Addition of Modular Building
112 E Tregallas Rd, Antioch, CA 94509
Planning Division #s: UP2025-0006/DR2025-0019
CCCFPD #P-2025-001833PLN

We have reviewed the **preliminary Use Permit and Design Review** request to establish a **new 1,000 square-foot modular building at the southwest corner of the property**, at the subject location. Per the project description, the modular building will provide a private conference space and a dedicated breakroom for staff. No children will have access to this building. The use of this space is classified as an assembly. The following is required for Fire District approval in accordance with the current, adopted edition of the California Fire Code (CFC), the California Building Code (CBC), as amended, local ordinances and adopted standards.

1. **Land Development Permit.** A land development permit is required for access and water supply review and approval prior to submitting building construction plans. All plan applications shall be submitted through CCCFPD's public portal:
<https://confire.vision33cloud.com/citizenportal/app/landing>
The developer shall submit full size, scaled site improvement plans indicating:
 - All existing or proposed hydrant locations
 - Fire apparatus access roads to the public way to include slope and road surface
 - Driveway- from the public road to the structure
 - Size of building and type of construction
 - Gates, fences, retaining walls, bio-retention basins, any obstructions to access
2. **Reliable Water Supply.** The developer shall provide an adequate and reliable water supply for fire protection with a minimum fire flow of **1,500 GPM** for a duration of **120 minutes** while maintaining **20-pounds** residual pressure in the main. (507.1), (B105) CFC
****Request a flow test from the Fire District office. Email the Fire District's Permit Technicians at permittech@cccfpd.org to request an application and begin the request process.***

3. Fire Access Requirements. The building as proposed **does not comply with the minimum** fire apparatus access requirements. Fire apparatus access roads shall extend to **within 150 feet** of all portions of the building and all portions of the exterior walls of the first story of the building as **measured by an approved route around the exterior of the building.** In order for the Fire District to accept the proposed placement, the building will need to be equipped with an approved automatic fire sprinkler system complying with the current, adopted edition of **NFPA 13**, as amended. (503.1.1) CFC
4. Modular Building Exception. A new construction permit is **not** required for a commercial modular building with a California Insignia of Approval tag. The California Insignia of Approval Tag will be verified once the modular building is placed in position during the land development inspection.

All projects shall be submitted to the Fire District for review and approval ***prior*** to the installation of the building or installation of the systems to ensure compliance with minimum requirements related to fire and life safety. Plan review and inspection fees shall be submitted at the time of plan review submittal. (105.4.1) CFC, (901.2) CFC, (107) CBC

***Our preliminary review comments shall not be construed to encompass the complete project.
Additional plans and specifications may be required after further review.***

FIRE DISTRICT PLAN SUBMITTAL INSTRUCTIONS

ALL plan submittals and applications shall be submitted to the Fire District, by one of the following ways:

- 1) In person, with a minimum of two (2) sets of to-scale plans
- 2) Electronically, through the Fire District Citizen Portal Website:

<https://confire.vision33cloud.com/citizenportal/app/landing>

All submittals shall be accompanied by the correct application (found on our website: www.cccfpd.org).

For questions about submitting plans, Fire District standards, or general information, contact the Fire District Permit Technicians by emailing permittech@cccfpd.org or call the main office at (925) 941-3300.



Reviewed By: Danielle Thomas, Fire Inspector

06/17/2025

Date