

AGENDA

CITY OF ANTIOCH ZONING ADMINISTRATOR

**THURSDAY, NOVEMBER 12, 2015
3:00 P.M.**

REGULAR MEETING

**ANTIOCH CITY COUNCIL CHAMBERS
THIRD & "H" STREETS**

APPEAL

All items that can be appealed under Section 9-5.2705 of the Antioch Municipal Code must be appealed within five (5) working days of the date of the decision. The final appeal date of decisions made at this meeting is 5:00 PM on **THURSDAY, NOVEMBER 19, 2015**.

PUBLIC COMMENTS

NEW PUBLIC HEARING

1. **UP-15-11** – Verizon Wireless Installation – Verizon Wireless proposes the installation of three panel antennas and associated equipment on the roof atop the freestanding building at 5779 Lone Tree Way within the Slatten Ranch Shopping Center (**APN 056-340-003**).

STAFF REPORT

ORAL COMMUNICATIONS

WRITTEN COMMUNICATIONS

ADJOURNMENT

Notice of Availability of Reports

This agenda is a summary of the actions proposed to be taken by the Zoning Administrator. For almost every agenda item, materials have been prepared by the City staff for the Zoning Administrator's consideration. These materials include staff reports which explain in detail the item before the Zoning Administrator and the reason for the recommendation. The materials may also include resolutions or ordinances which are proposed to be adopted. Other materials, such as maps and diagrams, may also be included. All of these materials are available at the Community Development Department located on the 2nd floor of City Hall, 3rd and H Streets, Antioch, California, 94509, between the hours of 8:00 a.m. and 11:30 a.m. or by appointment only between 1:00 p.m. and 5:00 p.m. Monday through Thursday for inspection and copying (for a fee). Questions on these materials may be directed to the staff member who prepared them, or to the Community Development Department, who will refer you to the appropriate person.

**STAFF REPORT TO THE ZONING ADMINISTRATOR
FOR CONSIDERATION AT THE MEETING OF NOVEMBER 12, 2015**

Prepared by: Forrest Ebbs, Community Development Director

Date: November 6, 2015

Subject: UP-15-11 – Use Permit for Wireless Antenna Installation

RECOMMENDATION

It is recommended that the Zoning Administrator **APPROVE** UP-15-11 subject to the conditions contained in the attached resolution.

REQUEST

Ashley Woods on behalf of Verizon Wireless requests a use permit to install wireless equipment atop the existing building at 5779 Lone Tree Way.

ENVIRONMENTAL

The project is Categorically Exempt from the provisions of CEQA, pursuant to section 15301 – Existing Facilities. This section of CEQA exempts projects that involve negligible or no expansion of use beyond that existing at the time of the lead agency's determination.

BACKGROUND

The existing building is an outbuilding located within the Slatten Ranch Shopping Center.

Surrounding land uses and zoning designations are as noted below:

North: Commercial Uses (S-P)
South: Commercial Uses (S-P)
East: Commercial Uses (S-P)
West: Commercial Uses (S-P)

ANALYSIS

The proposed wireless installation would occur atop the existing building containing the Vitamin Shoppe, Starbucks, Jamba Juice and other businesses. It would be located nearest Lone Tree Way. The equipment would be mounted on the roof but would not be visible because there is an existing parapet wall surrounding the entire building.

ATTACHMENT

A: Project Plans

**CITY OF ANTIOCH ZONING ADMINISTRATOR
RESOLUTION NO. 2015-****

**RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF ANTIOCH
APPROVING A USE PERMIT FOR THE INSTALLATION OF WIRELESS
EQUIPMENT (UP-15-11)**

WHEREAS, the City of Antioch has received a request from Ashley Wood on behalf of Verizon Wireless for a use permit for the installation of wireless equipment atop an existing building at 5779 Lone Tree Way; and

WHEREAS, this project is exempt from the provisions of CEQA pursuant to CEQA Guideline section 15301 – Existing Facilities; and

WHEREAS, the Zoning Administrator duly gave notice of public hearing as required by law; and

WHEREAS, on November 12, 2015, the Zoning Administrator duly held a public hearing, received and considered evidence, both oral and documentary.

NOW THEREFORE BE IT RESOLVED, that the Zoning Administrator can make the following findings for approval of a use permit:

1. That the granting of such use permit will not be detrimental to the public health or welfare or injurious to the property or improvements in such zone or vicinity;

The proposed wireless equipment would be located atop an existing building and would not be visible by the general public.

2. That the use applied for at the location indicated is properly one for which a use permit is authorized;

The building is located within the Slatten Ranch Shopping Center within a commercial shopping district. This location is appropriate because it does not affect any sensitive users.

3. That the site for the proposed use is adequate in size and shape to accommodate such use, and all yard spaces, walls, fences, parking, loading, landscaping, and other features required, to other uses in the neighborhood;

The roof has adequate space for the proposed wireless equipment. A building permit will be required to ensure that the roof structure is adequate for the additional weight of the installed equipment.

4. That the site abuts streets and highways adequate in width and pavement type to carry the kind of traffic generated by the proposed use; and

The proposed wireless equipment will not generate vehicle traffic and Lone Tree Way is a prominent commercial thoroughfare.

5. That the granting of such use permit will not adversely affect the comprehensive General Plan.

The proposed wireless equipment is consistent with the commercial designation of the property and the East Lone Tree Specific Plan.

NOW THEREFORE BE IT RESOLVED the Zoning Administrator of the City of Antioch does hereby **APPROVE** UP-15-11, subject to the following conditions:

STANDARD CONDITIONS

1. The City of Antioch Municipal Code shall be complied with.
2. Conditions required by the Zoning Administrator, which call for a modification or any change to the site plan submitted, be corrected to show those conditions and all standards and requirements of the City of Antioch prior to any submittal for a building permit. No building permit will be issued unless the site plan meets the requirements stipulated by the Zoning Administrator and the standards of the City.
3. This approval expires two years from the date of approval (Expires November 12, 2017), unless a building permit has been issued and construction has diligently commenced thereon and has not expired, or an extension has been approved by the Zoning Administrator. Requests for extensions must be received in writing with the appropriate fees prior to the expiration of this approval. No more than one, one year extension shall be granted.
4. Any deviation from the proposed project shall be brought back to the Zoning Administrator for review and approval.
5. Building permits shall be secured for all proposed construction associated with this facility, including any interior improvements not expressly evident on the plans submitted.
6. The applicant shall defend, indemnify and hold harmless the City in any action brought by a third party to challenge the land use entitlement and shall enter into an agreement to effectuate this condition of approval as required by the City.
7. That the project comply with the building code in effect at the time of building permit issuance.

8. No permits or approvals, whether discretionary or mandatory, shall be considered if the applicant is not current on fees, reimbursement payments and any other payments that are due.
9. The developer shall pay all fees required by the City Council at the time of building permit issuance.
10. The developer shall pay any required East Contra Costa Regional Traffic Mitigation fees prior to receiving a building permit for structures within this development.
11. The developer shall pay any required Drainage Area fees prior to the issuance of any building permits for this project.
12. The developer shall pay all applicable Delta Diablo Sanitation District fees prior to the issuance of any building permits for this project.
13. The developer shall pay the Contra Costa County Fire Protection District Fire Development Fee in place at the time of permit issuance.

* * * * *

I HEREBY CERTIFY that the foregoing resolution was passed and adopted by the Zoning Administrator of the City of Antioch, County of Contra Costa, State of California at a regular meeting of said Zoning Administrator held on the 12th day of November, 2015.

Forrest Ebbs
Zoning Administrator

ATTACHMENT “A”

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verizon
wireless
VERIZON WIRELESS
2785 MITCHELL DRIVE, SUITE 9
VALUJUT CREEK, CA 94513

TARGET ANTIOCH SC1
SITE #: 279972
5779 LONE TREE WAY
ANTIOCH, CA 94513
APN 056-340-003

RECEIVED
SEP 14 2015
CITY OF ANTIOCH
COMMUNITY DEVELOPMENT

REV.	DATE	ISSUE
1	7/22/2015	90% ZONING
2	7/24/2015	90% ZONING REV.
3	7/28/2015	90% ZONING REV.
4	8/14/2015	100% ZONING

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SHEET TITLE
T-1

SITE NAME: TARGET ANTIOCH SC1
SITE #: 279972
SITE ADDRESS: 5779 LONE TREE WAY
ANTIOCH, CA 94513
COUNTY: CONTRA COSTA
SITE TYPE: ROOFTOP WITH CONCEALMENT

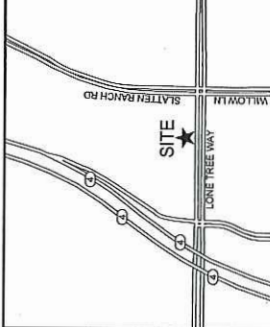


SHEET	DESCRIPTION	REV.
T-1	TITLE SHEET	4
T-2	APPLICABLE CODES, SYMBOLS, ABBREVIATIONS	4
RF-1	ANTENNA SPECS., ANTENNA CONFIG, SCHEDULE, CABLE COLOR CODE	4
C-1	EXISTING SITE CONDITIONS	1
C-2	EXISTING SITE CONDITIONS	1
A-1	OVERALL SITE PLAN	4
A-2	ENLARGED ANTENNA LAYOUTS (ALPHA AND BETA SECTORS)	4
A-3	ENLARGED EQUIPMENT LAYOUT	4
A-4	ELEVATIONS	4

TITLE	SIGNATURE	DATE
VERIZON PROJECT MANAGER		
VERIZON CONSTRUCTION MANAGER		
VERIZON ENGINEER		
CORE DEVELOPMENT SERVICES MANAGER		
CORE PROJECT MANAGER		
CORE CONSTRUCTION MANAGER		
CORE LEASING MANAGER		
LAND/OVER PROPERTY OWNER		
SIGNATURE BLOCK		

PROJECT DESCRIPTION
THE PROJECT INVOLVES THE INSTALLATION OF AN UNMANNED TELECOMMUNICATION FACILITY CONSISTING OF:
• (1) NEW (CUBET) EQUIPMENT CABINET AT EXISTING BUILDING ROOFTOP.
• (2) NEW PANEL ANTENNAS CONCEALED BEHIND NEW FRP EXISTING BUILDING PARAPET WALLS.
• (3) NEW FIBER OPTIC CABLES FROM EXISTING ROOFTOP.
• HYBRID FIBER TRANSMISSION LINE FROM NEW EQUIPMENT CABINETS TO NEW RRUS UNITS.
• PANEL ANTENNAS.
• POWER AND FIBER TO BE PROVIDED FROM EXISTING SOURCES.

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EMAIL: KMCQUIRE@QUIET-RIVER.COM
AGENT PROJECT MANAGER
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EMAIL: MLEUNG@COREUS.COM
AGENT ZONING MANAGER
CORE DEVELOPMENT SERVICES
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CONTACT: ASHLEY WOODS
CONTACT NUMBER: (714) 308-1551
EMAIL: AWOODS@COREUS.COM
PROJECT TEAM



VICINITY MAP
DIRECTIONS FROM 2785 MITCHELL DRIVE, VALUJUT CREEK, CA
• HEAD NORTHEAST ON MITCHELL DR TOWARD OAK GROVE RD. 30 FT.
• TURN LEFT ONTO OAK GROVE RD. 0.5 MI
• TURN RIGHT ONTO LONE TREE WAY. 0.5 MI
• TURN RIGHT ONTO BAILEY RD. 4.3 MI
• FOLLOW OAK 4 E TO LONE TREE WAY IN ANTIOCH. TAKE THE EXIT TOWARD 33 FROM CA-4 E. 12.5 MI
• MERGE ONTO CA-4 E. 0.3 MI
• USE THE LEFT 3 LANES TO TURN LEFT ONTO LONE TREE WAY.

DRIVING DIRECTIONS
DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE NOT TO BE FULL-SCALE. AT ARCH D 24756T, CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. MATERIAL ORDERS OR BE RESPONSIBLE FOR THE SAME.

APPLICANT
VERIZON WIRELESS
2785 MITCHELL DRIVE, SUITE 9
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PHONE: (925) 340-003
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CONTACT: MANDY LEUNG
CONTACT NUMBER: (714) 308-1551
EMAIL: MLEUNG@COREUS.COM
PROPERTY OWNER
CARMEN VILLAGE LLC
1777 BOTHELDO DRIVE, SUITE 300
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CONTACT: BRIAN NIXON (PROPERTY MANAGER)
PHONE: (925) 291-5121
A.P.N.: 056-340-003
S-2
OCCUPANCY TYPE
CONSTRUCTION TYPE
TYPE V-B
ZONING JURISDICTION
CITY OF ANTIOCH
P-O (PLANNED DEVELOPMENT)
LATITUDE (NAD 83): 37° 57' 43.35" N (ALPHA SECTOR)
LONGITUDE (NAD 83): 121° 44' 19.02" W (ALPHA SECTOR)
LATITUDE (NAD 83): 37° 57' 42.80" N (BETA SECTOR)
LONGITUDE (NAD 83): 121° 44' 19.88" W (BETA SECTOR)
GROUND ELEVATION: #1164.4 ABL

PROJECT INFORMATION
ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODES AND ALL OTHER CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT WORKING TO THE LATEST EDITIONS OF THE FOLLOWING CODES:
• 2013 CALIFORNIA ADMINISTRATIVE CODE, TITLE 24 PART 1
• 2013 CALIFORNIA BUILDING CODE, TITLE 24 PART 2
• 2013 CALIFORNIA ELECTRICAL CODE, TITLE 24 PART 3
• 2013 CALIFORNIA PLUMBING CODE, TITLE 24 PART 4
• 2013 CALIFORNIA MECHANICAL CODE, TITLE 24 PART 5
• 2013 CALIFORNIA ENERGY CODE, TITLE 24 PART 6
• 2013 CALIFORNIA FIRE CODE, TITLE 24 PART 7
• 2013 CALIFORNIA SAFETY CODE
• 2012 NFPA 191, LIFE SAFETY CODE
• 2013 NFPA 13, SPRINKLER CODE
• 2013 NFPA 70, NATIONAL ELECTRICAL CODE
• CITY/COUNTY ORDINANCES AND CODES
ACCESSIBILITY: FACILITY IS UNMANNED AND NOT FOR HUMAN OCCUPANCY. THEREFORE, IT DOES NOT REQUIRE ANY OF THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE IN ACCORDANCE WITH CALIFORNIA BUILDING CODE, TITLE 24, PART 2, VOL. 1, CHAPTER 11B, DIVISION 2, SECTION 11B-203.5.

CODE COMPLIANCE



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TARGET ANTIOCH SC1
SITE #: 279972
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ANTIOCH, CA 94513
APN 056-340-003

EV	DATE	ISSUE
1	7/22/2015	90% ZONING
2	7/24/2015	90% ZONING REV.
3	7/28/2015	90% ZONING REV.
4	8/14/2015	100% ZONING

APPLICABLE CODES,
SYMBOLS,
ABBREVIATIONS

T-2

[illegible]

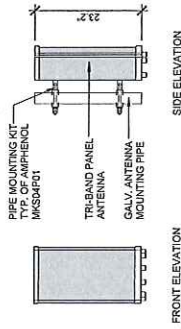
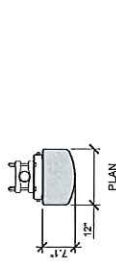
ABBREVIATIONS

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TARGET ANTIOCH SC1
 SITE #: 279972
 5779 LONE TREE WAY
 ANTIOCH, CA 94513
 APN 056-340-003



AMPHENOL HTXCWMS1144F000 DIMENSIONS	
HEIGHT	23.2"
WIDTH	12.1"
DEPTH	7.1"
ANTENNA WEIGHT	13 LBS.
MOUNTING KIT WEIGHT	8.4 LBS.
TOTAL WEIGHT	19.4 LBS.

HYBRID CABLE # (LANS)	ANTENNA MAKE/ MODEL	# OF RRU UNITS	RRU UNIT	HYBRID CABLE LENGTH	FEEDER CABLE	JUMPER CABLE LENGTH	CABLING COLOR CODE	COMMENTS
HYBRID CABLE #1 (L17)	AMPHENOL HTXCWMS1144F000	2	ERICSSON RRU12	27'	HYBRID	±10'	PER SCHEDULE 3/ RF-1	NEW QUAD PORT PANEL ANTENNA
HYBRID CABLE #2 (L17)	AMPHENOL HTXCWMS1144F000	2	ERICSSON RRU12	24'	HYBRID	±3'	PER SCHEDULE 3/ RF-1	NEW QUAD PORT PANEL ANTENNA

HYBRID CABLE COLOR CODE SCHEDULE		ANTENNA SPECIFICATIONS		1								
ANTENNA CONFIGURATION SCHEDULE												
ANTENNA SECTOR	MARK	# OF ANTENNAS	AZIMUTH	RAD CENTER	ANTENNA MAKE/ MODEL	# OF RRU UNITS	RRU UNIT	HYBRID CABLE LENGTH	FEEDER CABLE	JUMPER CABLE LENGTH	CABLING COLOR CODE	COMMENTS
ALPHA	A1	1	10°	±25-41" A.G.L.	AMPHENOL HTXCWMS1144F000	2	ERICSSON RRU12	±7'	HYBRID	±10'	PER SCHEDULE 3/ RF-1	NEW QUAD PORT PANEL ANTENNA
BETA	B1	1	180°	±18-7" A.G.L.	AMPHENOL HTXCWMS1144F000	2	ERICSSON RRU12	±42'	HYBRID	±3'	PER SCHEDULE 3/ RF-1	NEW QUAD PORT PANEL ANTENNA

NOTE: THE INFORMATION PROVIDED ABOVE MUST BE VERIFIED WITH MOST CURRENT RFCS SHEET PRIOR TO ORDERING/ INSTALLING ANY EQUIPMENT.

ANTENNA CONFIGURATION SCHEDULE

A3

RF-1

ANTENNA SPECS.
 ANTENNA CONFIG.
 SCHEDULE, HYBRID CABLE
 COLOR CODE SCHEDULE

REV	DATE	ISSUE
1	7/20/2015	50% ZONING
2	7/20/2015	60% ZONING REV.
3	7/20/2015	90% ZONING REV.
4	8/14/2015	100% ZONING

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 SHEET TITLE

TARGET ANTIOCH SCI
55779 LONE TREE WAY
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EXISTING SITE CONDITIONS



QUIET RIVER

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(925) 734-6788 Phone

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Verizon Wireless

WALNUT CREEK, CA 94598
TEL: (925) 279-6529
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0.01 0.05 0.1 0.5 1 5 10 50 100

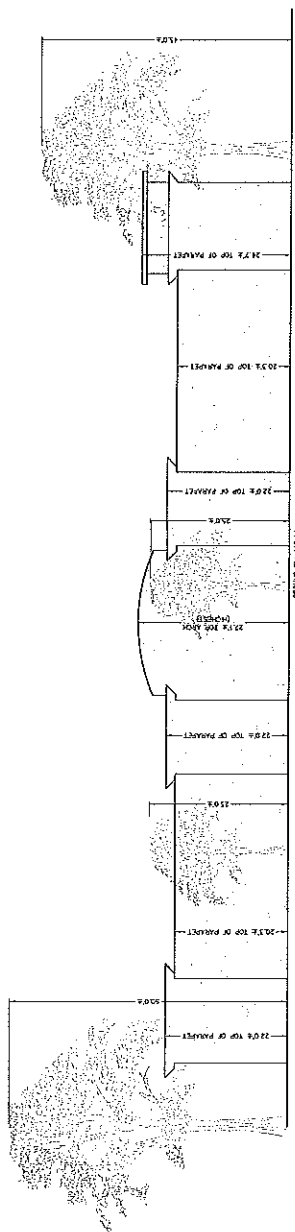
DATE: AUGUST 13, 2015

DRAWN BY: MAS

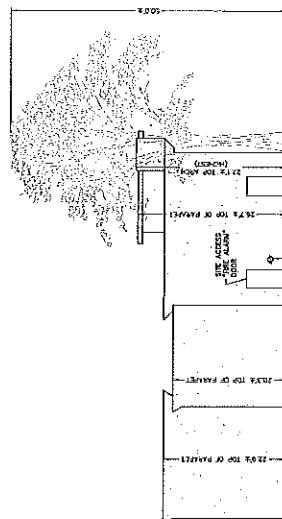
FILE NO.: CCGL1503

REVISIONS

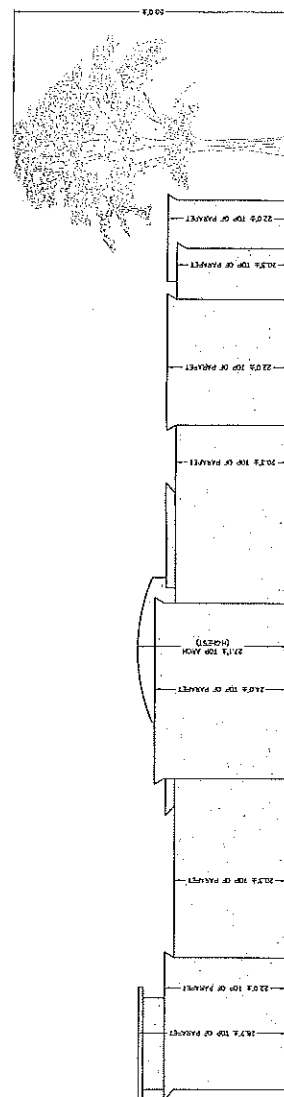
DATE	DESCRIPTION	INITIAL
7/20/73	POS CASE	WAS
7/28/73	CLEAR INQUIRY	NO
7/29/73	POS CASE	NO
8/13/73	CLEAR INQUIRY	NO



1 SOUTH BUILDING ELEVATION
C2 SCALE: 1" = 10'



2 WEST BUILDING ELEVATION
SCALE 1" = 10'



3 NORTH BUILDING ELEVATION
C2 SCALE: 1" = 10'

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 1000 BAY STREET, 9TH FLOOR
 WALNUT CREEK, CA 94598

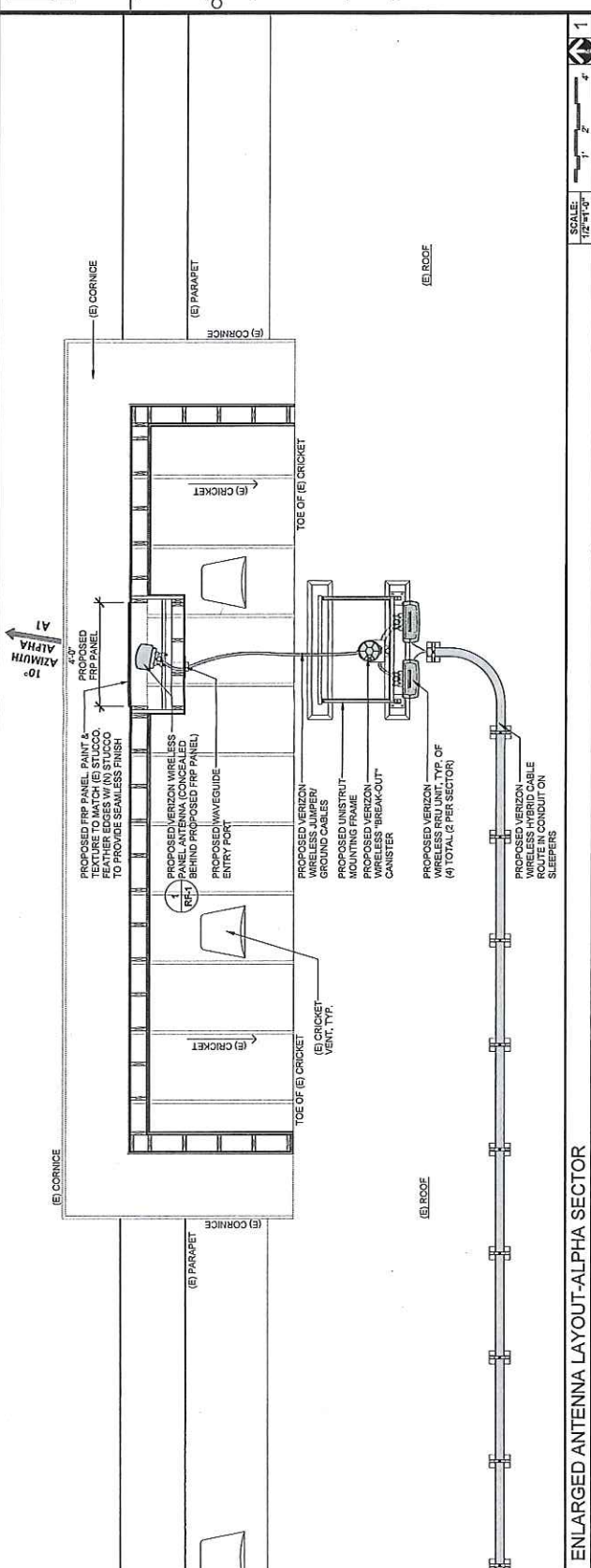
TARGET ANTIOCH SC1
 SITE # 279972
 5779 LONE TREE WAY
 ANTIOCH, CA 94513
 APN 056-340-003

REV	DATE	ISSUE
1	7/24/2015	90% ZONING REV.
2	7/24/2015	90% ZONING REV.
3	7/28/2015	90% ZONING REV.
4	8/14/2015	100% ZONING

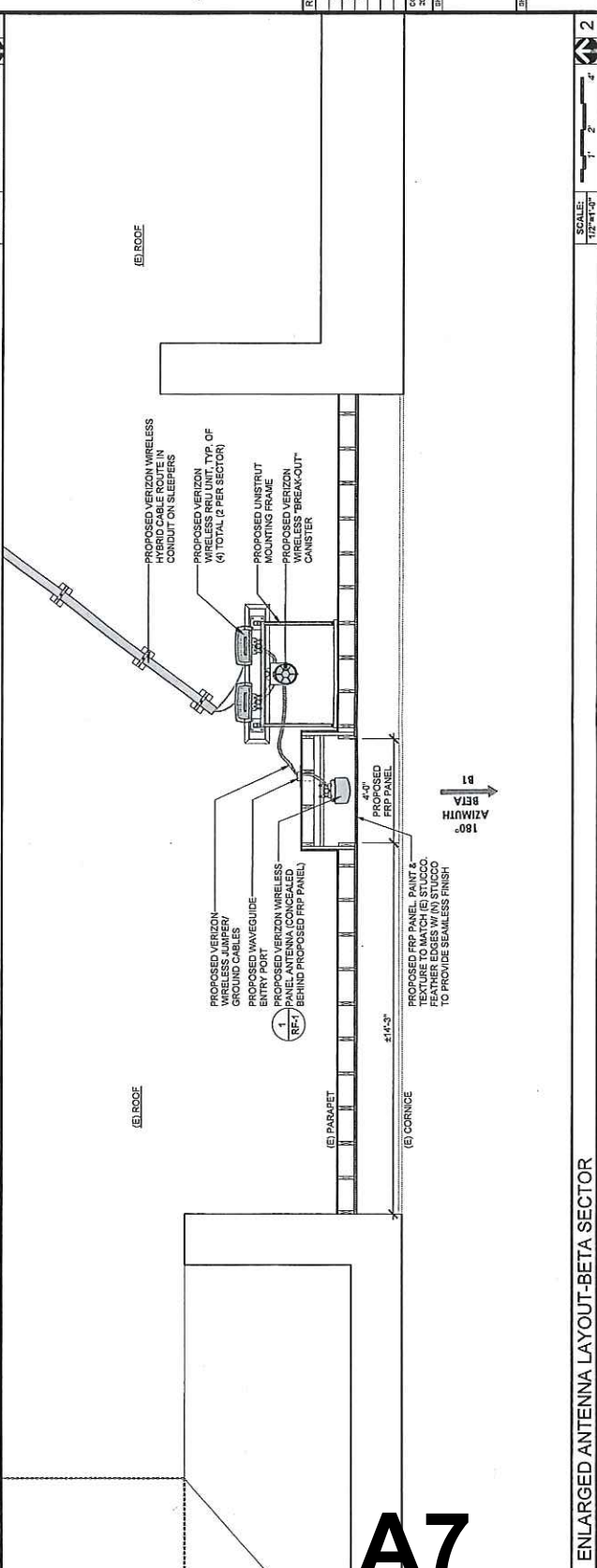
OWNER
 2015 JAMES VACCARO ARCHITECT, INC.
 SHEET TITLE

ENLARGED
 ANTENNA LAYOUTS

SHEET NUMBER
A-2

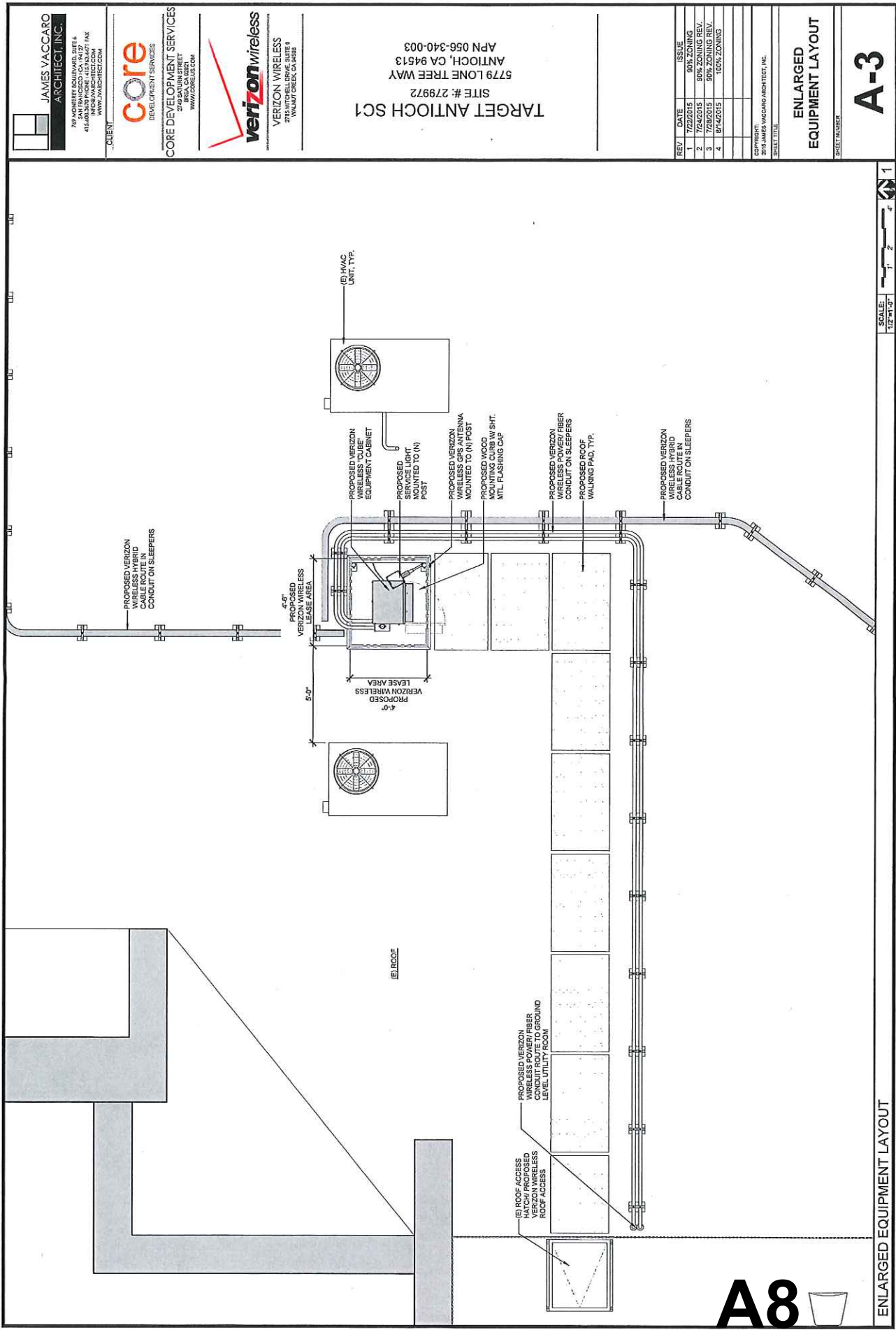


ENLARGED ANTENNA LAYOUT-ALPHA SECTOR



ENLARGED ANTENNA LAYOUT-BETA SECTOR

A7



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ENLARGED EQUIPMENT LAYOUT

A-3

SCALE: 1/2"=1'-0"

ENLARGED EQUIPMENT LAYOUT

A8



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TARGET ANTIOCH SC1
SITE #: 279972
5779 LONE TREE WAY
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APN 056-340-003

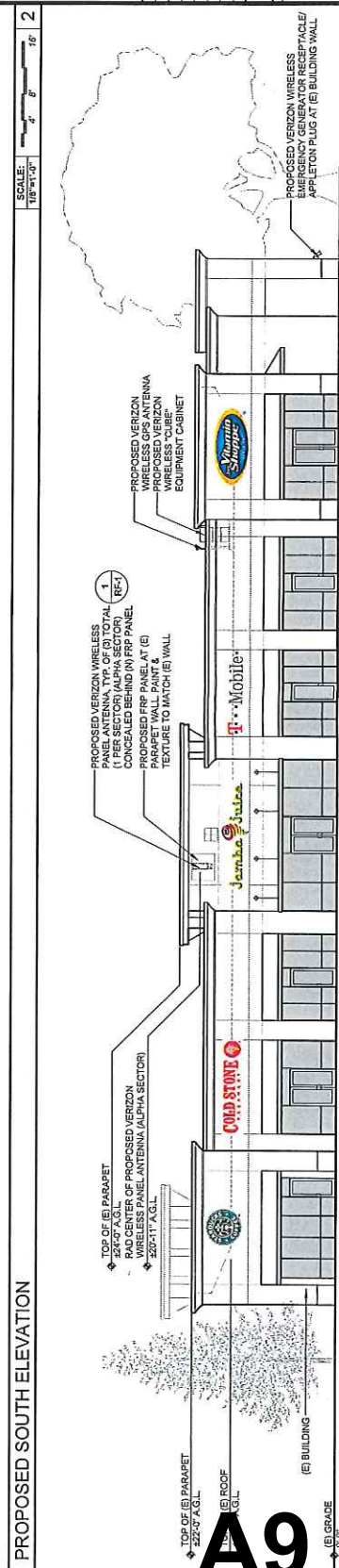
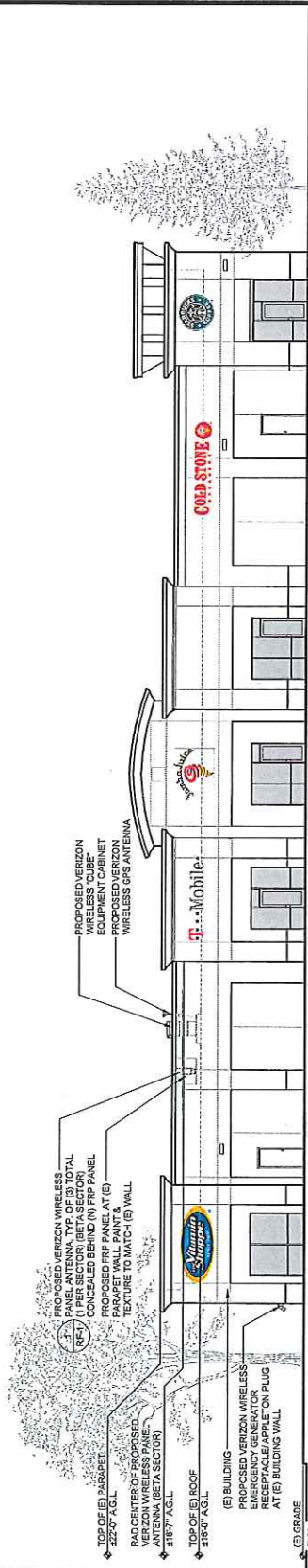
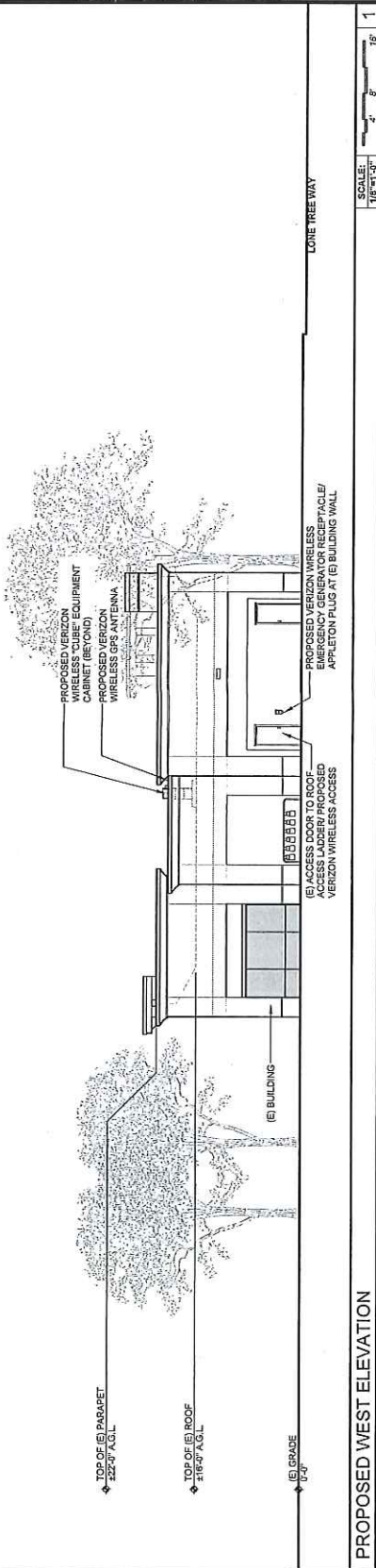
REV	DATE	ISSUE
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4	8/14/2015	100% ZONING

APPRINT:
 THIS JAMES VACCARO ARCHITECT, INC.

ELEVATIONS

TEST NUMBER

A-4



A9

PROPOSED NORTH ELEVATION

SCALE:	3
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