AGENDA

CITY OF ANTIOCH ZONING ADMINISTRATOR

THURSDAY, DECEMBER 10, 2020 3:00 P.M.

REGULAR MEETING

MEETING LOCATION: PURSUANT TO GOVERNOR GAVIN NEWSOM'S EXECUTIVE ORDER N-29-20 THIS MEETING WILL BE HELD AS A TELECONFERENCE MEETING BEGINNING AT 3:00 p.m.

The public may attend the meeting by using the following link: https://zoom.us/j/96427907586

Alternatively, the public may participate in the meeting with the following audio-only options:

Telephone: Dial (for higher quality, dial a number based on your current location): US: (669) 900-6833 (408) 638-0968 (346) 248-7799 (253) 215-8782 (301) 715-8592 (312) 626-6799 (646) 876-9923

Webinar ID: 964 2790 7586

International numbers available: <u>https://zoom.us/u/adEGuSPlwh</u>

iPhone one-tap: +14086380968,,93179790852# or +16699006833,,93179790852#

APPEAL

All items that can be appealed under Section 9-5.2705 of the Antioch Municipal Code must be appealed within five (5) working days of the date of the decision. The final appeal date of decisions made at this meeting is 5:00 PM on **THURSDAY**, **DECEMBER 17, 2020**.

PUBLIC COMMENTS

NEW PUBLIC HEARING

- UP-20-09, AR-20-11 Black Diamond Electric Black Diamond Electric requests use permit and design review approval to operate a warehouse and distribution facility. The subject property is located at 1300 Verne Roberts Circle (APN 074-051-012). This project has been determined to be exempt from the requirements of the California Environmental Quality Act (CEQA).
- UP-20-11 Caliber Collision The applicant, Caliber Collision, requests approval of a Use Permit to operate an auto body repair facility. The subject property is located at 521 Wilbur Avenue (APN 065-040-025). This project has been determined to be exempt from the requirements of the California Environmental Quality Act (CEQA).
- 3. UP-20-12 Bizi Mart Type 21 ABC License Alphy Vellian requests approval of a use permit for a Type 21 off-sale general ABC license to allow the sale of beer, wine, and distilled spirits at Bizi Mart. The store currently has a Type 20 off-sale beer and wine ABC license that allows the sale of beer and wine. The subject property is located at 3912 Delta Fair Boulevard (APN 074-122-017). This project has been determined to be exempt from the requirements of the California Environmental Quality Act (CEQA).

ORAL COMMUNICATIONS

WRITTEN COMMUNICATIONS

ADJOURNMENT

Notice of Availability of Reports

MEETING MATERIALS: The staff report and agenda packet will be posted on Friday, December 4, 2020 at <u>https://www.antiochca.gov/government/agendas-and-minutes/zoning-administrator/</u> The project plans may also be viewed online at the City's website at:

https://www.antiochca.gov/fc/community-development/planning/Project-Pipeline.pdf

PUBLIC COMMENTS: Written statements in favor of or in opposition to these matters may be submitted electronically at the following email address: <u>planning@ci.antioch.ca.us</u>. All comments received before 12:00 pm the day of the meeting will be provided to the Zoning Administrator at the meeting. To make a

comment after that time, please attend the teleconference meeting and request to comment during the public comments portion of the hearing.

If any person challenges the City's decision on this matter in court, he or she may be limited to raising only those issues that were raised at the public hearing described in this notice or in written correspondence delivered to the City at or prior to the public hearing.

ACCESSIBILITY: In accordance with the Americans with Disabilities Act and California law, the City of Antioch offers its public programs, services and meetings in a manner that is readily accessible to everyone, including individuals with disabilities. If you are a person with a disability and require information or materials in an appropriate alternative format; or if you require any other accommodation, please contact the ADA Coordinator at the number or email address below at least 72 hours prior to the meeting or when you desire to receive services. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility. The City's ADA Coordinator can be reached @ Phone: (925) 779-6950 and e-mail: publicworks@ci.antioch.ca.us.

STAFF REPORT TO THE CITY OF ANTIOCH ZONING ADMINISTRATOR FOR CONSIDERATION AT THE MEETING OF DECEMBER 10, 2020

Prepared by: Kevin Scudero, Associate Planner

- Reviewed by: Alexis Morris, Planning Manager
- Date: December 10, 2020

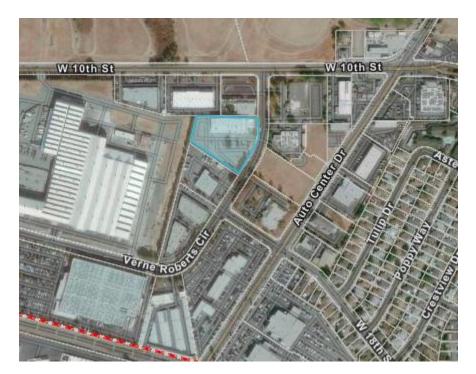
Subject: UP-20-09, AR-20-11 – Black Diamond Electric

RECOMMENDATION

It is recommended that the Zoning Administrator **APPROVE** a use permit and design review application for a warehouse and distribution facility, located at 1300 Verne Roberts Circle, subject to the conditions contained in the attached resolution.

REQUEST

Black Diamond Electric requests approval of a use permit and design review application to operate a warehouse and distribution facility. The subject property is located 1300 Verne Roberts Circle (APN 074-051-012) (UP-20-09, AR-20-11).



ENVIRONMENTAL

The proposed project is an infill project, and is considered exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines section



15332 – Infill Development Projects: 1) the project is consistent with the General Plan as well as the applicable zoning designation; 2) the proposed development occurs within the city limits on a project site no more than five acres; 3) the project site has no value as habitat for endangered, rare, or threatened species; 4) approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality as the site is currently developed with a commercial use; and 5) the site is adequately served by all required utilities and public services. The applicant submitted noise and biological information demonstrating that there would be no significant environmental impacts providing further confirmation that the project could be exempted from CEQA.

ANALYSIS

Issue #1: Project Overview

The proposed project includes the renovation of an existing 19,714 square foot building, construction of a 9,950 square foot auxiliary building, and associated site improvements. The site will function as the main warehouse facility for Black Diamond Electric where electrical materials would be purchased and stored. Once orders are received the materials will be packaged and loaded on a truck for delivery to the customer. The business will use a fleet of twelve vehicles to deliver their products and approximately thirty employees will work at the site. The proposed operating hours for the facility are from 5:00 AM to 8:00 PM. The applicant's project description is included as Attachment B.

Issue #2: General Plan, Zoning Consistency and Land Use

The General Plan designation of the property site is Business Park. The site is zoned Planned Business Center (PBC), which is intended to accommodate various types of business park uses. A warehouse and distribution facility requires the approval of a use permit in the Planned Business Center District (PBC).

The surrounding land uses and land use designations are as noted below:

North:	AL Saddiq Community Center / Planned Business Center (PBC)
South:	Jack Donehy Companies / Planned Business Center (PBC)
East:	Jim's Auto Body / Planned Business Center (PBC)
West:	Warehouse / Planned Business Center (PBC)

Issue #3: Site Plan & Parking

The site is currently accessed via two driveways on Verne Roberts Circle. The site currently has a temporary chain link fence to secure the property while it is being renovated. The applicant is proposing to replace the temporary chain link fencing with a black wrought iron fence with gates at each driveway. The proposed circulation for delivery vehicles has them entering the site via the northern driveway and exiting via the

southern driveway.

Antioch Municipal Code § 9-5.1703.1 requires warehouse and distribution facilities to provide one parking spaces per 1,000 square feet of gross floor area. The two buildings combined would have approximately 30,000 square feet of gross floor area which would result in 30 parking spaces being required. The proposed site plan has 69 parking spaces which exceeds the municipal code requirements.

Issue #4: Site Improvements

Existing Building

In addition to an interior renovation of the existing building the applicant is also proposing minor exterior changes. The changes include painting the existing concrete building "Snow White" and the metal parapet apron "Tundra." They are also proposing to add a roll up door to the west (rear) side of the building and architectural paneling to the south entrance to provide some architectural detail to the existing structure. The existing indoor pool area will also be enclosed and the exterior will use the same architectural panels added to the south entrance as well as storefront windows to tie into the architectural theme of the site. The applicant is also proposing to repair all damaged concrete sidewalks and curbs throughout the site and to slurry seal and re-stripe the existing parking lot.

Auxiliary Building

In addition to the renovation of the existing building the applicant is also proposing to construct an approximately 9,950 square foot metal auxiliary building at the rear of the project site. In order to be architecturally consistent with the main building the applicant is proposing to add architectural paneling to the east elevation, which is visible from the public right of way. The architectural paneling will match the paneling being added to the existing building. The applicant is also proposing the same paint scheme as the main building with the base being painted "Snow White" and a "Tundra" trim.

Trash Enclosure

The applicant is proposing to relocate the existing trash enclosure as part of the project. The applicant did not provide any details of the new trash enclosure therefore staff has included a condition of approval that the trash enclosure meets the refuse storage area design guidelines outlined in Section 9-5.1401 of the Antioch Municipal Code and a detail be provided in their building permit submittal.

Landscaping

The existing project site has a grass landscape frontage which is consistent with other sites within the Delta Business Park. The applicant is proposing to restore the existing

grass as well as add additional landscaping throughout the site. The proposed landscaping includes drought tolerant trees and shrubs that are consistent with the Citywide Design Guidelines. Staff has included a condition of approval that the proposed decomposed granite ground cover be changed to a more traditional bark ground cover.

ATTACHMENTS

- A: Resolution
- B: Project Description
- C: Elevations

ATTACHMENT A

CITY OF ANTIOCH ZONING ADMINISTRATOR RESOLUTION NO. 2020-**

RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF ANTIOCH APPROVING A USE PERMIT (UP-20-09) AND DESIGN REVIEW (AR-20-11) FOR A WAREHOUSE AND DISTRIBUTION FACILITY AT 1300 VERNE ROBERTS CIRCLE

WHEREAS, the Zoning Administrator for the City of Antioch did receive a request for approval of a use permit and design review application from Black Diamond Electric for a new warehouse and distribution facility and associated site improvements at 1300 Verne Roberts Circle (APN 074-051-012) (UP-20-09, AR-20-11),

WHEREAS, the project is categorically exempt under CEQA Guideline 15332-Infill Development Projects, and,

WHEREAS, the Zoning Administrator duly gave notice of public hearing as required by law; and,

WHEREAS, the Zoning Administrator on December 10, 2020, duly held a public hearing, received and considered evidence, both oral and documentary; and,

NOW THEREFORE IT BE RESOLVED that the Planning Commission does hereby make the following findings for approval of a Use Permit:

1. The granting of such Use Permit will not be detrimental to the public health or welfare or injurious to the property or improvements in such zone or vicinity.

The proposed project will not be detrimental to the public health or welfare or injurious to the property or improvements. Based upon the conditions imposed, the proposed use will not create adverse impacts to the surrounding businesses.

2. The use applied at the location indicated is properly one for which a Use Permit is authorized.

The site is zoned Planned Business Center (PBC) which allows warehouse and distribution facilities with a Use Permit.

3. The site for the proposed use is adequate in size and shape to accommodate such use, and all parking, and other features required.

The project site has been designed to accommodate ordinary vehicle traffic and delivery vehicles for the proposed use. Further, there is sufficient parking at the site for the proposed use.

4. That the site abuts streets and highways adequate in width and pavement type to carry the kind of traffic generated by the proposed use.

The project site is located on Verne Roberts Circle, which is adequate in width and pavement type to carry the traffic generated by the proposed use.

5. The granting of such Use Permit will not adversely affect the comprehensive General Plan.

The use will not adversely affect the comprehensive General Plan because the project is consistent with the General Plan designation for the site of Business Park.

NOW THEREFORE BE IT RESOLVED that the Zoning Administrator of the City of Antioch does hereby **APPROVE** UP-20-09, AR-20-11 for a new warehouse and distribution facility and associated site improvements at 1300 Verne Roberts Circle (APN 074-051-012) subject to the following conditions:

A. <u>GENERAL CONDITIONS</u>

- 1. The project shall comply with the Antioch Municipal Code. All construction shall conform to the requirements of the California Building Code and City of Antioch standards.
- 2. The applicant shall defend, indemnify, and hold harmless the City in any action brought by a third party to challenge the land use entitlement. In addition, if there is any referendum or other election action to contest or overturn these approvals, the applicant shall either withdraw the application or pay all City costs for such an election.
- 3. The project shall be implemented as indicated on the application form and accompanying materials provided to the City and in compliance with the Antioch Municipal Code, or as amended by the Zoning Administrator.
- 4. No building permit will be issued unless the plan conforms to the project description and materials as approved by the Zoning Administrator and the standards of the City.

- 5. This approval expires two years from the date of approval (expires December 10, 2022) unless a building permit has been issued and construction has diligently commenced thereon and has not expired, or an extension has been approved by the Zoning Administrator. Requests for extensions must be received in writing with the appropriate fees prior to the expiration of this approval. No more than one, one-year extension shall be granted.
- 6. No permits or approvals, whether discretionary or mandatory, shall be considered if the applicant is not current on fees, reimbursement payments, and any other payments that are due.
- 7. This approval supersedes previous approvals that have been granted for this site.
- 8. The general contractor shall install and maintain the erosion and sedimentation devices around the work premises per NPDES law
- 9. All required easements or rights-of-way shall be obtained by the applicant at no cost to the City of Antioch. Advance permission shall be obtained from any property or easement holders for any work done within such property or easements.
- 10. City staff shall inspect the site for compliance with conditions of approval prior to final inspection approval.
- 11. The applicant shall obtain an encroachment permit for all work to be done within the public right-of-way or easement, and peak commute-hour traffic shall not be impeded by construction-related activity.
- 12. All existing easements shall be identified on the site plan and all plans that encroach into existing easements shall be submitted to the easement holder for review and approval, and advance written permission shall be obtained from any property owner or easement holder for any work done within such property or easement.

B. <u>CONSTRUCTION CONDITIONS</u>

- 1. The use of construction equipment shall be restricted to weekdays between the hours of 8:00 a.m. and 5:00 p.m., or as approved in writing by the City Manager.
- 2. The project shall be in compliance with and supply all the necessary documentation for AMC 6-3.2: Construction and Demolition Debris Recycling.

- 3. Driveway access to neighboring properties shall be maintained at all times during construction.
- 4. Standard dust control methods shall be used to stabilize the dust generated by construction activities.

C. <u>PROPERTY MAINTENANCE</u>

- 1. A parking lot sweeping program shall be implemented that, at a minimum, provides for sweeping immediately prior to the storm season and prior to each storm event.
- 2. The site shall be kept clean of all debris (boxes, junk, garbage, etc.) at all times.
- 3. No signs shall be installed on this site without prior City approval.
- 4. All cracked, broken or damaged concrete curb, gutter and/or sidewalks in the public right-of-way along the project frontage shall be removed and replaced as required by the City Engineer and at no cost to the City.
- 5. Any undeveloped areas on-site shall be maintained in an attractive manner which ensures fire safety and prevents any runoff onto the adjacent sidewalks.

D. AGENCY REQUIREMENTS

1. All requirements of the Contra Costa County Fire District shall be met.

E. <u>FEES</u>

- 1. The applicant shall pay all fees as required by the City Council.
- 2. The developer shall pay all required fees at the time of building permit issuance.

F. LANDSCAPING

- 1. Sight distance triangles shall be maintained per AMC § 9-5.1101, Site Obstructions at Intersections, or as approved by the City Engineer. Landscaping and signage shall not create a sight distance problem.
- 2. Detailed landscaping and irrigation plans for the entire site shall be submitted to the City for review and approval. All landscaping and irrigation shall be installed in accordance with approved plans prior to the issuance of certificates of occupancy for this building.



- 3. Landscaping for the project shall be designed to comply with the applicable requirements of City of Antioch Ordinance No. 2162-C-S The State Model Water Efficient Landscape Ordinance (MWELO). Prior to issuance of a building permit, the applicant shall demonstrate compliance with the applicable requirements of the MWELO in the landscape and irrigation plans submitted to the City.
- 4. Landscape shall show immediate results. Landscaped areas shall be watered, weeded, pruned, fertilized, sprayed, and/or otherwise maintained as necessary. Plant materials shall be replaced as needed to maintain the landscaping in accordance with the approved plans.
- 5. All trees shall be a minimum 15-gallon size and all shrubs shall be a minimum 5gallon size.
- 6. The proposed decomposed granite ground cover shall be changed to a more traditional bark ground cover.

G. PROJECT SPECIFIC CONDITIONS

- 1. This use permit design review approval applies to the warehouse and distribution use and associated site improvements at 1300 Verne Roberts Circle as depicted on the project plans submitted to the City of Antioch on September 22, 2020.
- 2. No outdoor storage of materials is allowed.
- 3. The proposed trash enclosure shall meet the refuse storage area design guidelines outlined in Section 9-5.1401 of the Antioch Municipal Code and a detail shall be provided in the building permit submittal.
- 4. All faded red curbs within the project site shall be repainted.
- 5. The parking lot shall be slurry sealed and re-striped to the satisfaction of the City Engineer. Parking spaces shall be double-striped per AMC § 9-5.1719.
- 6. Any cracked or broken sidewalks shall be replaced as required by the City Engineer.
- 7. The proposed wrought iron fence shall be a maximum of eight feet high.
- 8. All on-site curbs, gutters and sidewalks shall be constructed of Portland cement concrete.

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9. Any proposed monument signage at the site shall be subject to the review and approval of the Zoning Administrator.

* * * * * * *

I HEREBY CERTIFY the foregoing resolution was duly adopted by the Zoning Administrator of the City of Antioch at a regular meeting thereof held on the 10th day of December 2020.

Forrest Ebbs Zoning Administrator

ATTACHMENT B



2595 W 10th Street, Antioch, CA 94509 Phone: (925) 777 - 3440 + Fax: (925) 777 - 3339

CA Lic. #724171 + AZ Lic. #2647232 + NV Lic #69640 + ACO #5920

Black Diamond Electric Use Permit Pre-Application Conference

Subject: Black Diamond Electric Company Information Attention: Kevin Scudero, Associate Planner City of Antioch Property Address: 1300 Verne Roberts Circle Date: 9-8-20

Black Diamond Electric Company Information

Black Diamond Electric (BDE) Incorporated was founded in 1996. Currently (post Covid) Black Diamond Electric and its subsidiaries employ approximately 570 employees. Approximately 50 of those employees reside in Antioch. Black Diamond Electric and its subsidiaries perform electrical contracting work throughout Northern California and Reno Nevada. Estimated total revenue for the year 2020 is \$78 million (Covid adjusted). The Black Diamond main office is located at 2595 West 10th Street Antioch Ca. The Black Diamond main warehouse facility is located at 1503 Loveridge road in Pittsburg Ca. All materials are shipped and taxed in Pittsburg Ca.

- **Central Valley Division.** Geographic area between Merced and Bakersfield. Satellite office located in Fresno Ca.
- **Reno Nevada Division.** Geographic area covers the greater Reno area. Satellite office located in Reno Nevada.
- **Sacramento Division.** Geographic area covers the greater Sacramento area north to Chico. Operated out of the main office in Antioch Ca.
- **South Bay Division.** Geographic area covers the greater San Jose area south to Hollister. Operated out of the main office in Antioch Ca.
- North Bay Division. Geographic area covers the Sonoma County area north to Healdsburg. Operated out of the main office in Antioch Ca.
- **East Bay Division.** Geographic area covers the all of Contra Costa County east to Copperopolis. Operated out of the main office in Antioch Ca.

Material for contract installation for all divisions is supplied from the Black Diamond main warehouse at 1503 Loveridge Rd. in Pittsburg Ca.

Jake Pauline President Black Diamond Electric Jake@Blackdiamondelectric.com BLACK DIAMOND



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Black Diamond Electric Use Permit Pre-Application Conference

Subject: Proposed Use of 1300 Verne Roberts Circle Attention: Kevin Scudero, Associate Planner City of Antioch Property Address: 1300 Verne Roberts Circle Date: 9-8-20

Proposed use for 1300 Verne Roberts:

Black Diamond Electric proposes to use 1300 Verne Roberts as its main warehouse facility. Currently our main warehouse is located at 1503 Loveridge Road in Pittsburg Ca. Due to the increased volume in business and the inadequate facilities at the Pittsburg warehouse Black Diamond Electric is looking to move all warehousing operations to 1300 Verne Roberts. We would purchase and store electrical materials. We would receive the incoming material from various manufacturers and suppliers into our stock. Once we receive an order from the field, we will then package the order load it on a truck and deliver it to the desired job site. No assembly or manufacturing will be performed at this location. Using a fleet of (12) vehicles Black Diamond will deliver to its own jobs under contract as well as other contractors that choose to use our service. In 2019 Black Diamond Electric purchased over \$32,000,000 of material. All that material was shipped to our Pittsburg facility. In 2020 we project the material expenditure to be in line with that of 2019. Once we move, the city of Antioch will benefit from the sales tax generated by added material purchases. Approximately 30 employees will work at this facility. The Black Diamond main office will remain at 2595 West 10th street. In anticipation of our continued growth Black Diamond proposes the construction of a 9,950 sqft auxiliary building located at the rear (west) of the property that is connected to the existing property via an overhang.

Example of materials to be stored inside the facility:

- -Electrical wire and low voltage wire.
- -Electrical boxes (plastic and metal).
- -LED light fixtures.
- -Decorative lighting fixtures.
- -Recessed can lights.
- -Sub panels, circuit breakers, main panels, Arc-Fault breakers
- -Receptacles, Switches, Dimmers, vacancy sensors, photocells, GFCI receptacles,
- -Smoke detectors, carbon monoxide detectors
- -Smart Home devices
- -Security devices, CCTV equipment, Fire alarm equipment
- -Conduit (plastic and metal)
- -Any electrical item that can be installed in a house we will most likely stock.



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Daily Operation Description at 1300 Verne Roberts

Total Employees:

Approximately (30) full time employees. The total may range higher during the summer and lower during the winter. The yearly average will be approximately (30). The total employee count consists of approximately (10) drivers, (14) warehouse personnel, and (6) office personnel. Employee parking will average approximately (28) personal vehicles parked on site.

Hours of Operation:

5:00 AM to 6:00 PM. There will be a staggered schedule where the driver and office personnel start at 5:30 AM. The warehouse and the remaining office personnel start between 8:00 AM and 9:00 AM. During the peak season, the hours of operation may extend to 7:30PM-8:00PM pending the workload.

Black Diamond Delivery Fleet Traffic:

- From 5:00AM to 6:30AM the delivery drivers report for duty. On average (8) loaded trucks will leave our facility from 5:00AM to 6:30AM. Our delivery fleet is comprised of class C vehicles under 26,000-pound gross vehicle weight.
 - (2) Ford F650 26' stake beds 26K GVW
 - (3) Ford 550 16' stake beds 20K GVW
 - (5) Ford 450 stake beds 18K GVW
 - (2) standard ³/₄ ton cargo vans
- The Black Diamond delivery vehicles will return to the warehouse throughout the day. See *plan sheet PT1* for Black Diamond vehicle traffic.

Black Diamond Receiving Traffic:

- On average, daily, Black Diamond will receive one to two Class A 53' tractor trailer deliveries between the hours of 7:30AM to 4:00PM.
- On average, daily, Black Diamond will receive four to five class C under 26K GVW deliveries between the hours of 7:30AM to 4:00PM.
- From 9:00AM-4:00PM Black Diamond will receive <u>various small package deliveries</u> from FedEx, UPS, and USPS.
- > See *plan sheet PT1* for truck circulation route.

Black Diamond Warehouse Operations:

- > There will be (3) operating forklifts used to load and unload trucks.
- Black Diamond deliver fleet will be parked inside the proposed 10,000 sf auxiliary building.
- > No material storage outside of buildings.
- > Weekly trash pickup by local service.
- > Vehicle maintenance and repair to be done off site at local service stations.



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Black Diamond Electric Use Permit Pre-Application Conference

Subject: Project Description Attention: Kevin Scudero, Associate Planner City of Antioch Property Address: 1300 Verne Roberts Circle Date: 9-8-20

General objective: Convert the run-down fitness club into an electrical warehouse facility. Add value to the property and surrounding area by beautifying an existing vacant building.

1300 Verne Roberts History

Before 1300 Verne Roberts was purchased on October 1st, 2019 by Jason and Michael Pauline it served as a fitness club. At the time of purchase the building was vacant and in disrepair. The (2) pools on site were safety hazards. The (2) saunas and (2) steam rooms were non-operational. The locker rooms and bathrooms were destroyed by vandals. The homeless infiltrated the building interior and lived for a period leaving behind waste and destruction. The exterior lot was used as a dumping ground and homeless encampment. The lot was filled with unsanitary trash, such as diapers, needles, and human waste. The lot was completely overgrown with weeds. Such was the state of 1300 Verne Roberts when the Pauline family took possession October 1st, 2019.

Actions already taken before seeking use permit

- The first and foremost was to clean and secure the property. We had to stop the homeless from getting in. In partnership with the Antioch PD we removed the current occupants and physically secured the premises.
- Installed a temporary fence. Turned the utilities back on to facilitate security lights at night.
- The (2) pools were safety hazards. They were drained of water and posed a serious liability. Under the City of Antioch permit #B1911-0052 we had the pools filled in.
- The building interior was trashed. Under City of Antioch permit #B2001-0051 the interior was cleaned up and demolished. Under the demo permit the (4) racquet ball courts, (1) basketball court, locker rooms, (2) saunas, (2) steam rooms, the mezzanine, and downstairs lobby were removed. See attached demolition plan.



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New Construction Description

- > Second level improvements. Remodel the existing second level. Convert existing jazzercise area, existing break room and existing offices to new lay out.
 - Add (3) offices, remodel existing office. Total of (4) offices.
 - Add stairs at lobby entrance and keep existing stairs at north end.
 - Add (1) storage room, server room, and printer room.
 - Add (1) bathroom and remodel existing bathroom. Total of (2) bathrooms at second level.
 - Remodel existing break room.
 - Add new plumbing and electrical where needed. Using existing HVAC unit on the roof and add new ducts as needed. Use existing fire sprinkler heads.
 - Ceiling to be T-bar type. Lighting to be LED.
- First floor improvements. Remodel the existing first level. Convert existing his and hers locker rooms, existing his and hers bathrooms, existing lobby, and existing offices to new lay out.
 - Remodel existing bathrooms to new lay out.
 - Add locker room, lobby, and office.
 - Create more storage area where existing locker rooms and men' bathrooms were.
 - Add electrical and Telecom utility room.
 - Add LED lighting at warehouse. Add electrical panels as needed.
 - Convert the existing (4) racquet ball courts, the existing (1) full size basketball court, and the (1) existing cardio area into warehouse space.
 - Add new plumbing and electrical where needed. Using existing HVAC unit on the roof and add new ducts as needed. Use existing fire sprinkler heads.

> Building Exterior improvements.

- Building lights. Replace existing high-pressure sodium lighting with efficient LED.
- Add hose spicket and electrical at west end of building exterior.
- Add roll up door at west end of building.
- Remove existing fan units used for sauna and steam room. Remove (2) vents at existing basketball court.
- Remove Planet Fitness Signage. Replace with nothing or Black Diamond Electric sign.
- Demo existing indoor pool located in the existing overhang. Fence in the existing overhang. Concrete over existing pool. To enclose this are we propose the use of architectural panels and store front window. The are inside will be used as warehouse space. The objective is to improve the front elevation and by using architectural panels to incorporate the proposed exterior into the overall architectural theme of the site.
- Add architectural paneling at north elevation at existing entry. The addition will provide some architectural detail to the existing structure and will tie the main building and the proposed auxiliary building together.
- Re-paint entire existing structure. The new paint color at the existing concrete building will match the color of the architectural panels used at the east elevation and the north



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elevation. Re-paint metal parapet apron. Apron paint color to match the architectural panel color used on the top of the proposed auxiliary building. The object of the color scheme is to tie both building together and offer an aesthetic improvement of the existing structure.

• See rendering plan for more detail.

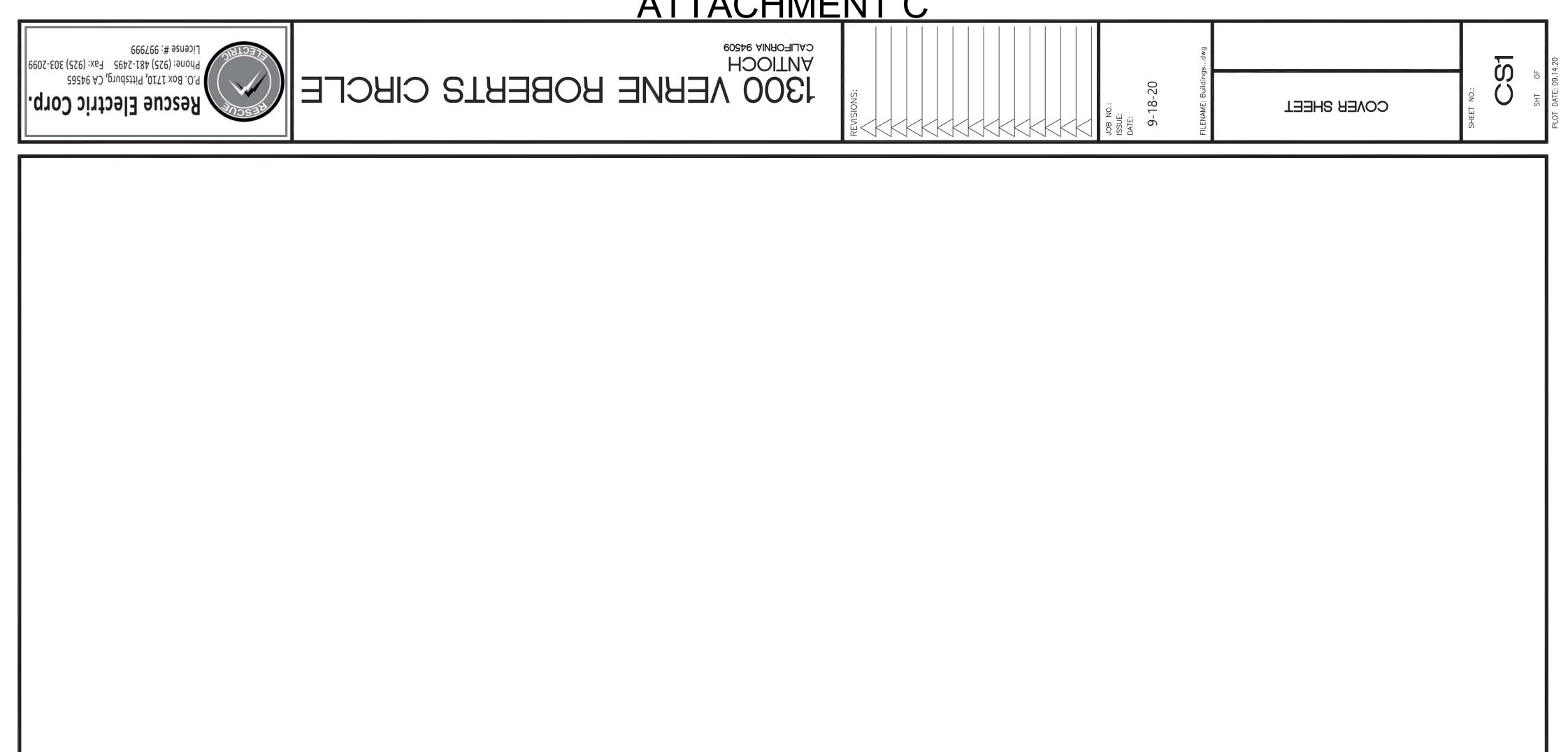
New Construction Description

- > Site improvements.
 - Add new sidewalk and repair damaged concrete side walks throughout the site. Repair concrete medians and curbs as needed.
 - Re-surface and re-strip existing parking lot. *See parking plan for more detail.*
 - Add security fence at front (east) of property. Add (1) motorized gate at main entry and (1) manual swing gate at secondary entry.
 - Move existing trash enclosure. See parking plan for more detail.
 - Replace all existing parking lot lighting with LED fixtures.
 - Demo existing outdoor pool and replace with landscaping and a 1200 sf patio area. Area to be used by employees for purposes of breaks and eating. Supply benches and build a shade structure. Net decrease of 5,190 sqft of impervious surface area.
 - See landscape plan, parking plan, and vehicle traffic plan for a detailed description of what we propose on the site.
- > Add approximately 9,950 sqft metal auxiliary building at rear of property (West)
 - Metal building construction on new slab.
 - Add electrical, fire sprinkler as required.
 - Building to be placed over existing parking area resulting in a net zero additional square foot of impervious surface are.

> Auxiliary metal building design notes.

- To incorporate a metal building and not make it look like a metal we propose the use of architectural panels on the entire eastern elevation. Due to the angle and positioning of the proposed building the east elevation is the only part of the proposed building that you can see from the street. These panels will match the panels used on the existing building and will utilize the same color scheme as the existing concrete building and metal apron. The different materials will offer a diverse architectural look and will tie both structures together. The remaining elevations cannot be seen from the street and we propose the use of typical metal building side in the same color as the main body.
- See rendering plan for more detail.

ATTACHMENT C



94509 CA. ADDRESS: 1300 VERNE ROBERTS CIRCLE, ANTIOCH **PROJECT: 1300 VERNE ROBERTS** PARCEL#: 074-051-012-8 **DATE: 9-18-20**

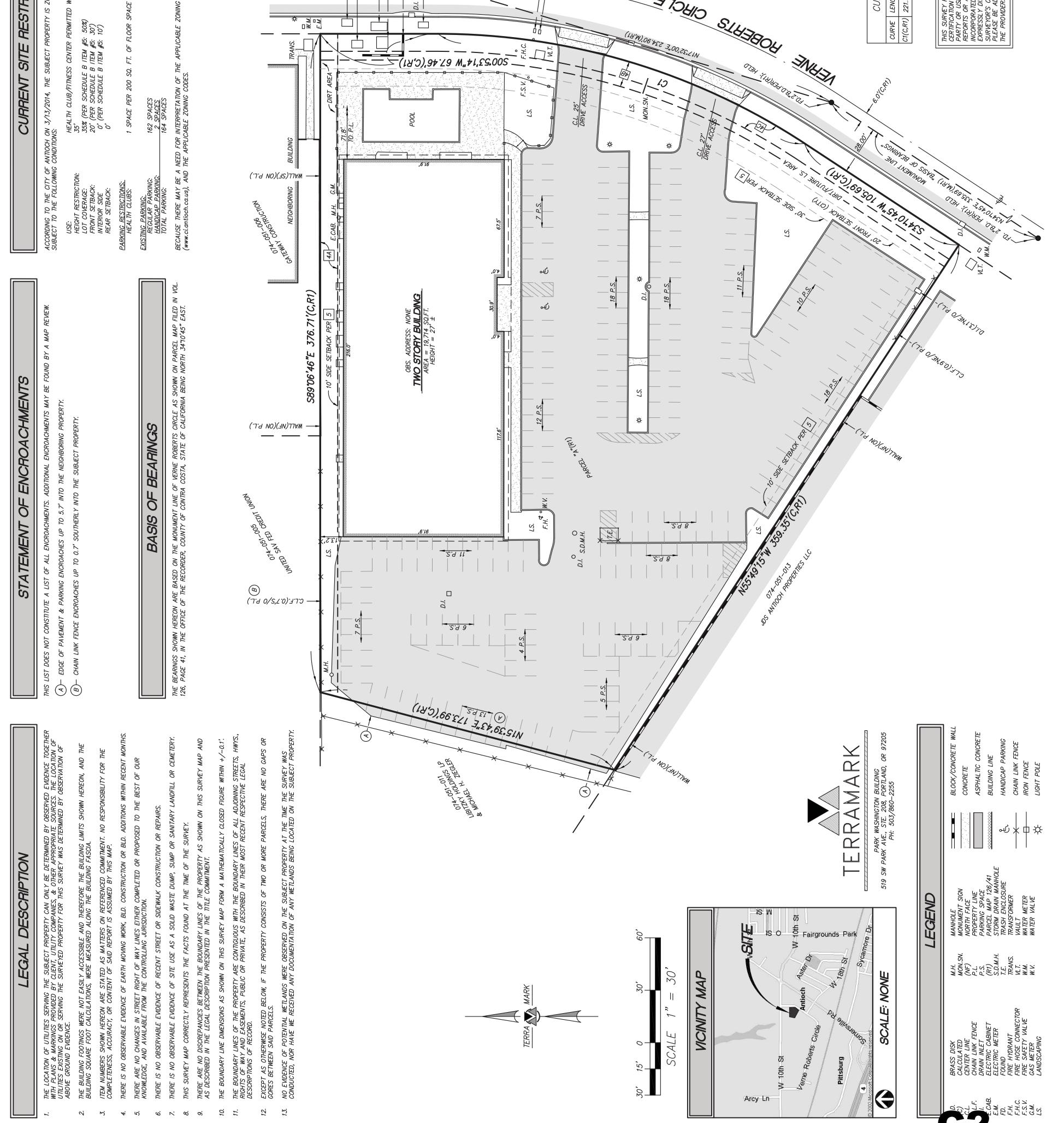
PLAN SHEET INDEX

CONCEPTUAL PROPOSAL	toposal	Date Prepared
CS1	TITLE SHEET	9/18/2020
STORE CAPITAL	EXISTING SITE PLAN	3/24/2014
CR01	EXISTING BUILDING AND RENDERING	9/18/2020
CR02	EXISTING BUILDING AND RENDERING	9/18/2020
CR03	EXISTING BUILDING AND RENDERING	9/18/2020
[1	PROPOSED LANDSCAPE DESIGN	9/18/2020
12	LANDSCAPE DETAILS, FENCE DETAILS	9/18/2020
PT1	TRUCK ROUTING PLAN	9/18/2020
PT2	PARKING LOT STRIPING PLAN	9/18/2020
ELEV1	PROPOSED BUILDING ELEVATIONS	9/18/2020
ELEV2	PROPOSED BUILDING ELEVATIONS	9/18/2020
R01	PROPOSED ELEVATION RENDERING	9/18/2020
D1	PANEL SPECIFICATION AND COLOR CHART	9/18/2020
D2	PARKING LOT LIGHTING	9/18/2020
D3	SURROUNDING AREA OVER HEAD, PARCEL MAP	9/18/2020
INTERIOR REMODEL	DEL	Date Prepared
A0.1	COVER SHEET	8/31/2020
A0.2	ACESSIBILITY DETAILS	8/31/2020
A1.1	SITE PLAN	8/31/2020
A1.2	MAIN LEVEL FLOOR PLAN	8/31/2020
A2.1	PARTIAL MAIN LEVEL FLOOR PLAN	8/31/2020
A2.2	MEZZANINE FLOOR PLAN	8/31/2020
A3.1	BUILDING SECTIONS	8/31/2020
A5.1	CEILING FRAMING PLANS AND DETAILS	8/31/2020
A6.1	REFLECTED CEILING PLANS	8/31/2020
A9.1	INTERIOR DETAILS	8/31/2020
S2.1	STRUCTURAL SECTIONS AND DETAILS	8/31/2020
FP-1	FIRE SPRINKLER PLAN AND DETAILS	7/22/2020
E0.1	ELECTRICAL PANEL SCHEDULES/SINGLE LINE DIAGRAM	8/31/2020
E2.1	ELECTRICAL PLANS AND NOTES	8/31/2020
E2.2	LIGHTING/SWITCHING PLANS	8/31/2020
P0.1	PLUMBING NOTES, DETAILS AND LEGEND	8/31/2020
P2.1	PLUMBING PLANS, DETAIL AND NOTES	8/31/2020
P2.2	WALEK PIPING PLANS AND NOLES	8/31/2020
M2.1	MECHANICAL SCHEMATIC, DETAIL AND NOTES	8/31/2020

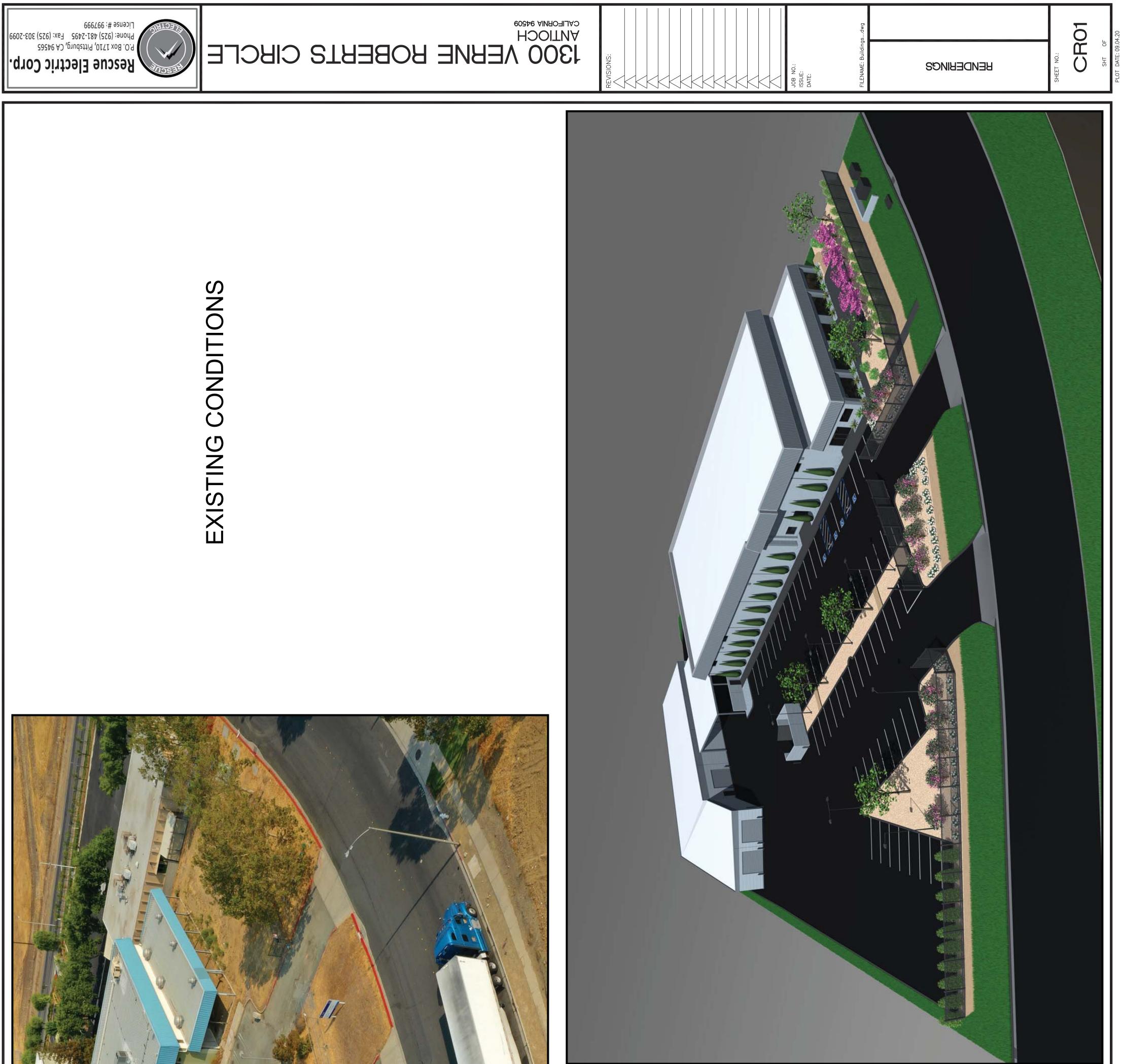
COVER SHEET SCALE : NOPT TO SCALE

C1

RESTRICTIONS	LEGAL DESCRIPTION
PERTY IS ZONED "PBC" (PLANNED BUSINESS CENTER) AND IS	THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF ANTIOCH, COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
ERMITTED WITH USE PERMIT PER ZONING CODE 9-5.3803.	N ON THE RDS.
50%) 30') 10')	THE LEGAL DESCRIPTION SHOWN ABOVE DESCRIBES ALL THAT PROPERTY IN THE PRELIMINARY TITLE REPORT IDENTIFIED AS FIRST AMERICAN TITLE INSURANCE COMPANY, ORDER NUMBER NCS-655864-PHX1, DATED AS OF FEBRUARY 13, 2014.
OOR SPACE	NOTES CORPESPONDING TO SCHEDULE R
BLE ZONING CODES, WE REFER YOU TO THE CITY OF ANTIOCH	OMPANY: 2425 E. CAMELBACK ROAD, SUITE 300 PHOENIX, AZ 85016 ED AS OF: FEBRUARY 13, 2014; CONTACT: (480)256–1131
	JRVEY ENT FC N BOO SANI SANI
)' PUB : EASE VT NO. IS BL. WGS, S
ж Ш.М. Е.П. 	AND LIMITS THE LOT COVERAGE TO 50%
	LAND AREA
~· ()	THE LAND AREA OF THE SUBJECT PROPERTY IS 108,214 SQ. FT. (2.48 AC.) AS DESCRIBED IN THE LEGAL DESCRIPTION SHOWN HEREON.
$\square = \square =$	
i i	THE SUBJECT PROPERTY LIES WITHIN ZONE "X" (UN-SHADED) OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. DE013C0139F. WHICH BEARS AN FFFECTIVE DATE OF JUNE 16, 2009, ZONE "X" (IN-SHADED) IS DFENED AS AREAS DETERMINED
(, km r)	DE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
60-14918	SURVEYOR'S CERTIFICATION
M.M. (4.6'E/O P.L.) . W.M. (4.3'E/O P.L.) . W.M. (4.3'E/O P.L.)	TO: STORE MASTER FUNDING VI, LLC, A DELAWARE LIMITED LABILITY COMPANY, STORE CAPITAL CORPORATION, A MARYLAND CORPORATION, AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, FIRST AMERICAN TITLE INSURANCE COMPANY AND THE MATTHEWS COMPANY, INC. THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 10(A), 11(A), 13, 14, 16, 17, 18 AND 21 OF
4, DEDICY 1	A THEREOF. ELD WORK WAS COMPLETED ON MARCH 5, 2014.
e 275	MICHAEL A. HOFFMANN, L.S. 7361 (CALIFORNIA) 3-24-14 C.C.C. 2 EXP. 12-31-15 Z D MICHAEL A. HOFFMANN, L.S. 7361 (CALIFORNIA) DATE X.C.C.M. C.C.L.IFORNIA) MICHOERRAMARKINC.COM
CHD SI	"ALTA/ACSM LAND TITLE SURVEY" PREPARED FOR:
4	TMC NATIONAL SERVICES, LLC TM
	TMC National Services, LLC is a wholly owned subsidiary of The Matthews Company, Inc.
	17220 Newhope Street, Suites 108-110, Fountain Valley, CA 92708 Tel: (714)-979-7181 Fax: (714)-641-2840 www.tmcnationalservices.com
	1 3-24 MARK DATE DEVISION RY AP'V'D
CURVE TABLE URVE LENGTH RADIUS DELTA (C.R1) 221.96' 382.00' 3317'31"	STORE CAPITAL
IS SURVEY HAS BEEN PREPARED SOLELY FOR THE BENEFIT OF THE PARTIES SET FORTH IN THIS SURVEYOR'S RTIFICATION AND MAY NOT BE QUOTED OR RELIED UPON BY, NOR MAY COPIES BE DELIVERED TO, ANY OTHER ARTY OR USED FOR ANY OTHER PURPOSE INCLUDING, WITHOUT LIMITATION, THE PREPARATION OF ZONING PORTS OR ANY OTHER THIRD PARTY REPORTS, WITHOUT THE MATTHEWS COMPANY, INC. AND TERRAMARK	TIES SET FORTH IN THIS SURVEYOR'S COPIES BE DELIVERED TO, ANY OTHER W. THE PREPARATION OF ZONING S COMPANY, INC. AND TERRAMARK (FITNESS EVOLUTION)
CURPORATED'S PRIOR WRITTEN CONSENT. THE MATTHEWS COMPANT, INC. PRESSLY DISCLAMS ANY DUTY OR OBLIGATION TOWARDS ANY PARTY THA RVEYOR'S CERTIFICATION. EASE BE ADVISED THAT THE MATTHEWS COMPANY, INC. AND TERRAMARK	7210/
E PROVIDERS OF ANY THIRD PARTY REPORTS IN THE SURVEYOR'S CERI	ification. DATE: 1" = 30' CHKU./AP V U: DATE: 3/12/14 APPROVED: DWN. BY: K.M.
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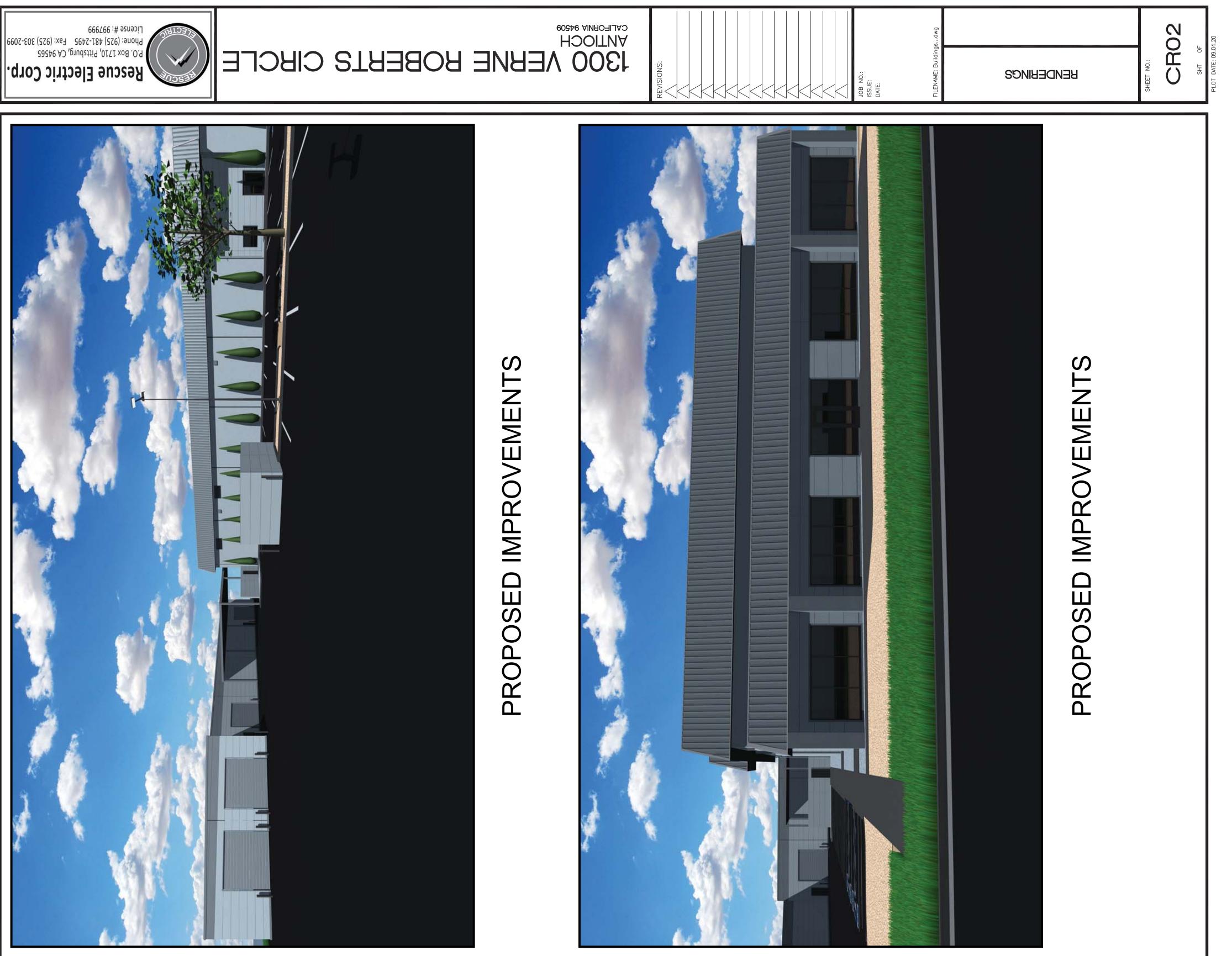






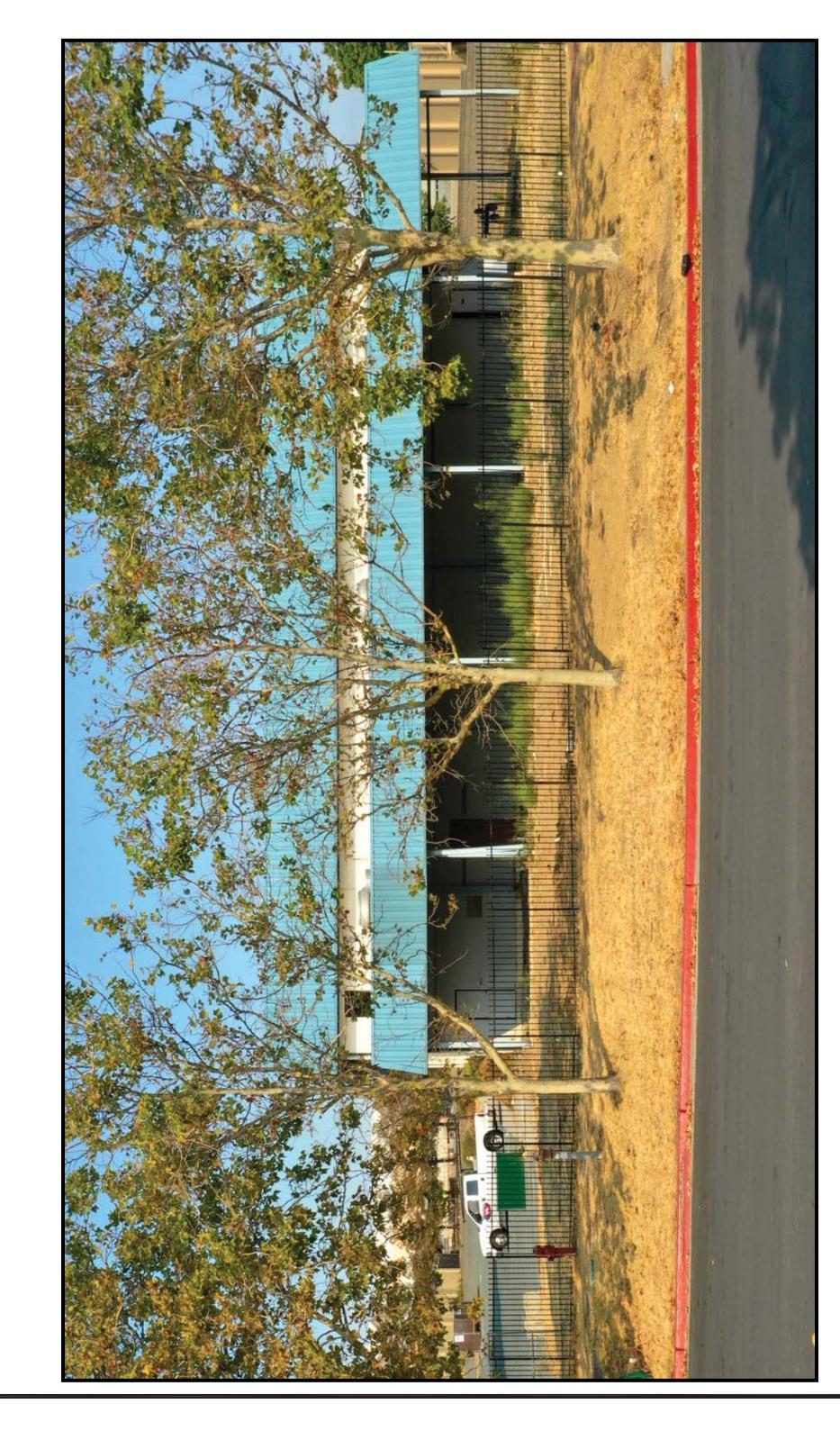
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PROPOSED IMPROVEMENTS





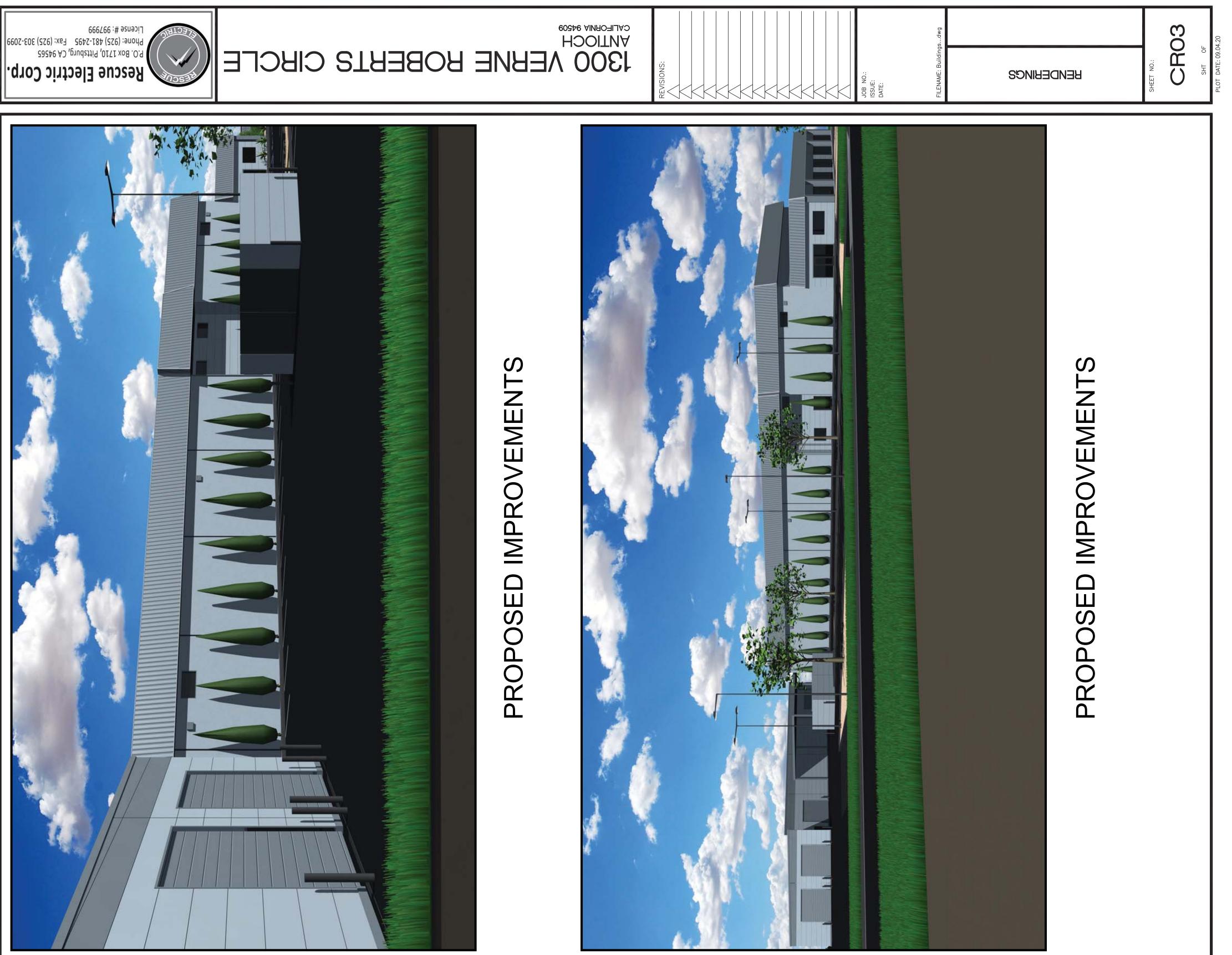




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EXISTING CONDITION





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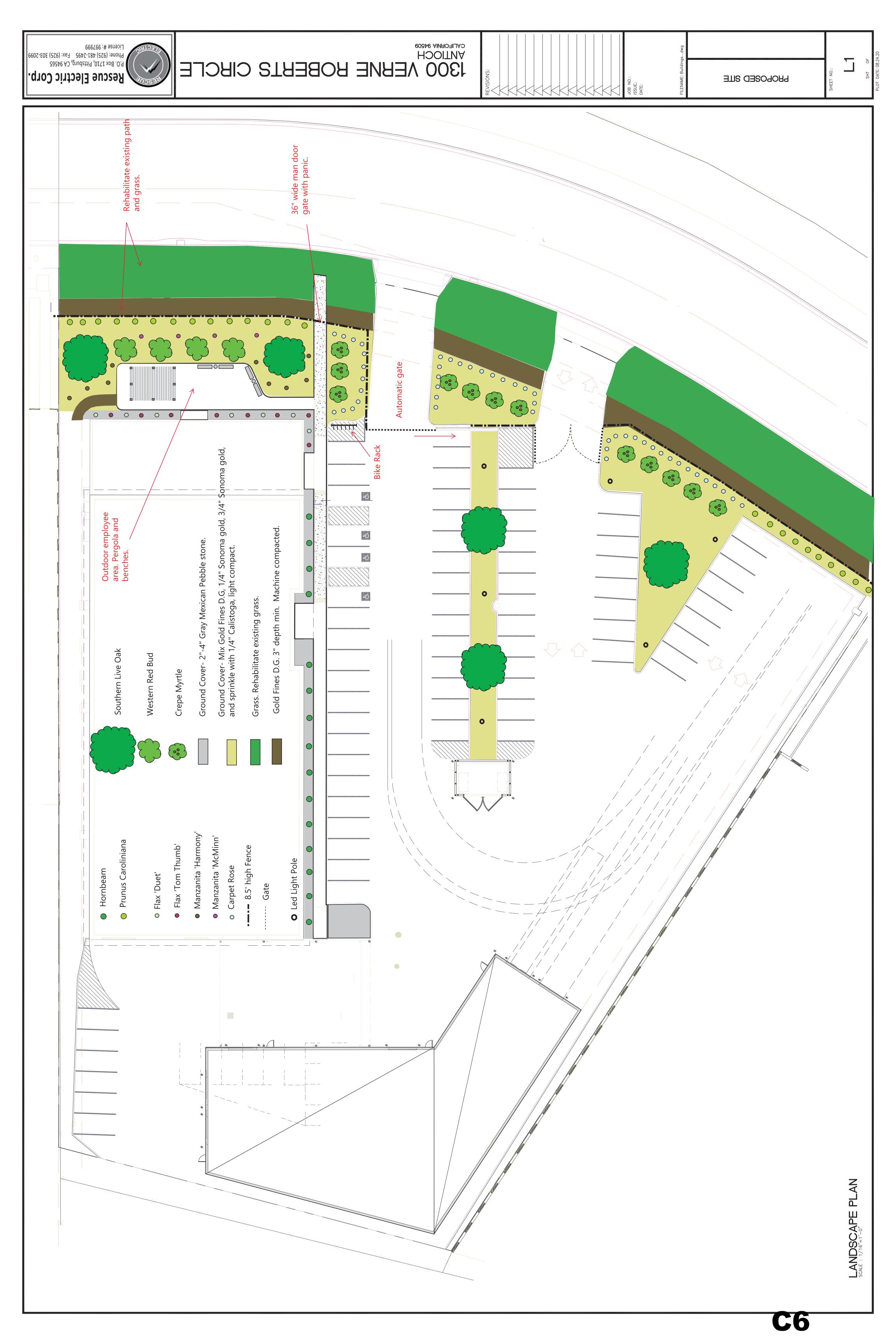
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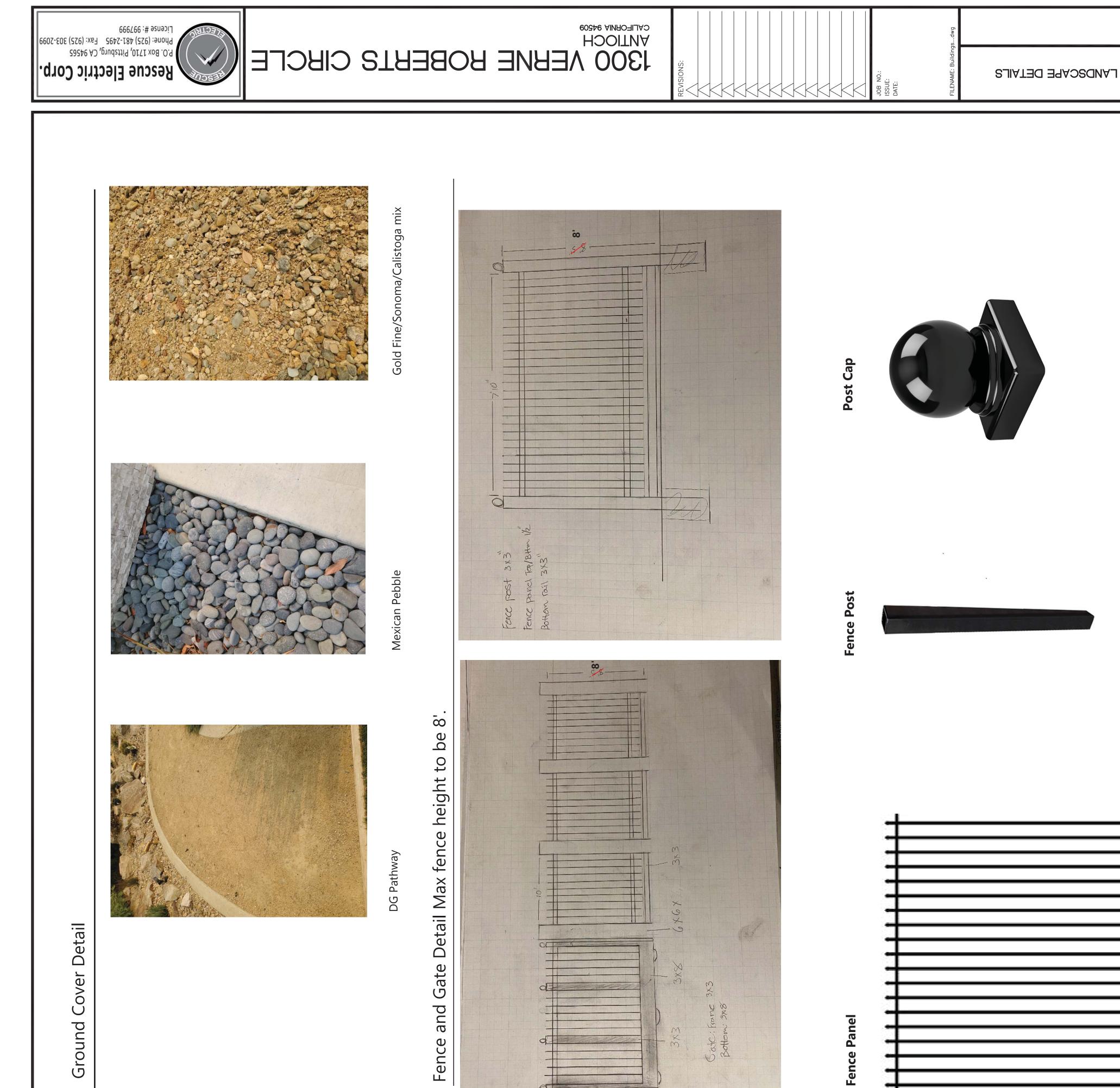
RENDERINGS NOT TO SCALE

EXISTING CONDITION

55

EXISTING CONDITION





101-10-00	Water Use	Water Use Planting Notes, Spacing
	Low	Single trunk. Per Plan
	Low	Multi trunk, Deciduous Shrub. Per plan.
	Moderate 12' 0.C.	12' 0.C.
	Low	Single trunk. Deciduous tree. Per Plan.
	Low	4' O.C.
	Low	Per plan
	Low	Per plan
	Moderate 5' 0.C.	5' 0.C.
	Moderate 5' 0.C.	5' O.C.
	Regular	3' O.C.

Planting Liston NamePlanting sizeWon NamePlanting sizeWrn Live Oak24" BoxPlanting sizeren Redbud24" BoxPlanting sizeWren Redbud15 gal.Planting sizePlanting sizea Cherry Laurel15 gal.Planzanita5 gal.Manzanita5 gal.S gal.Planzanita*aland Flax5 gal.1 gal.* flax5 gal.1 gal.

Common Name Southern Live Oak Crepe Myrtle Hornbeam Western Redbud Western Redbud Carolina Cherry Laure Manzanita Manzanita New Zealand Flax New Zealand Flax New Zealand Flax New Zealand Flax

TypeBotanical NameShadeTreeQuercas VirginianaShadeTreeQuercas VirginianaAccent TreeLagerstroemia Indica 'Muskogee'Accent TreeCarpinu betulus 'Fastigiata'Accent TreeCercis OccidentalisAccent TreeCercis OccidentalisShrubArctostaphylos d. 'McMinn'ShrubArctostaphylos d. HarmonyShrubPhormium 'Duet'ShrubRosa 'White'



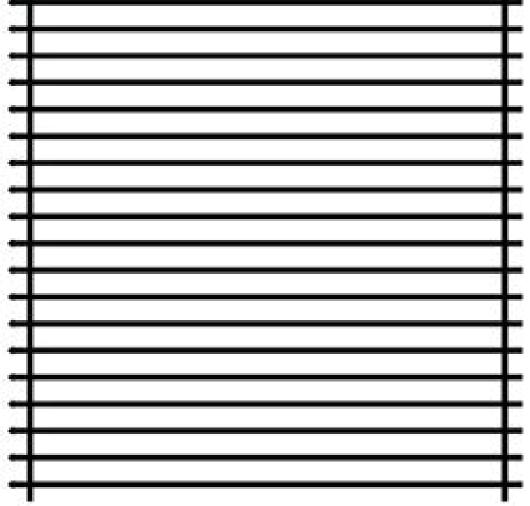




Western Red Bud



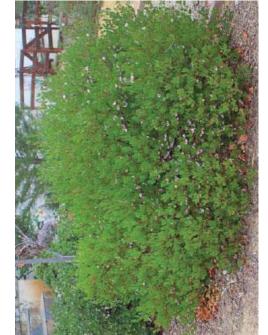






LANDSCAPE DETAILS SCALE : NOT TO SCALE

'Harmony'



Crepe Myrtle

Oak

Hornbeam







'Tom Thumb' Red

'Duet' Green Flax

Prunus Caroliniana





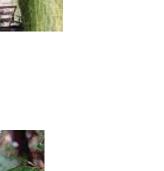


















White Roses







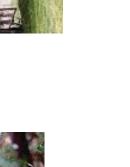






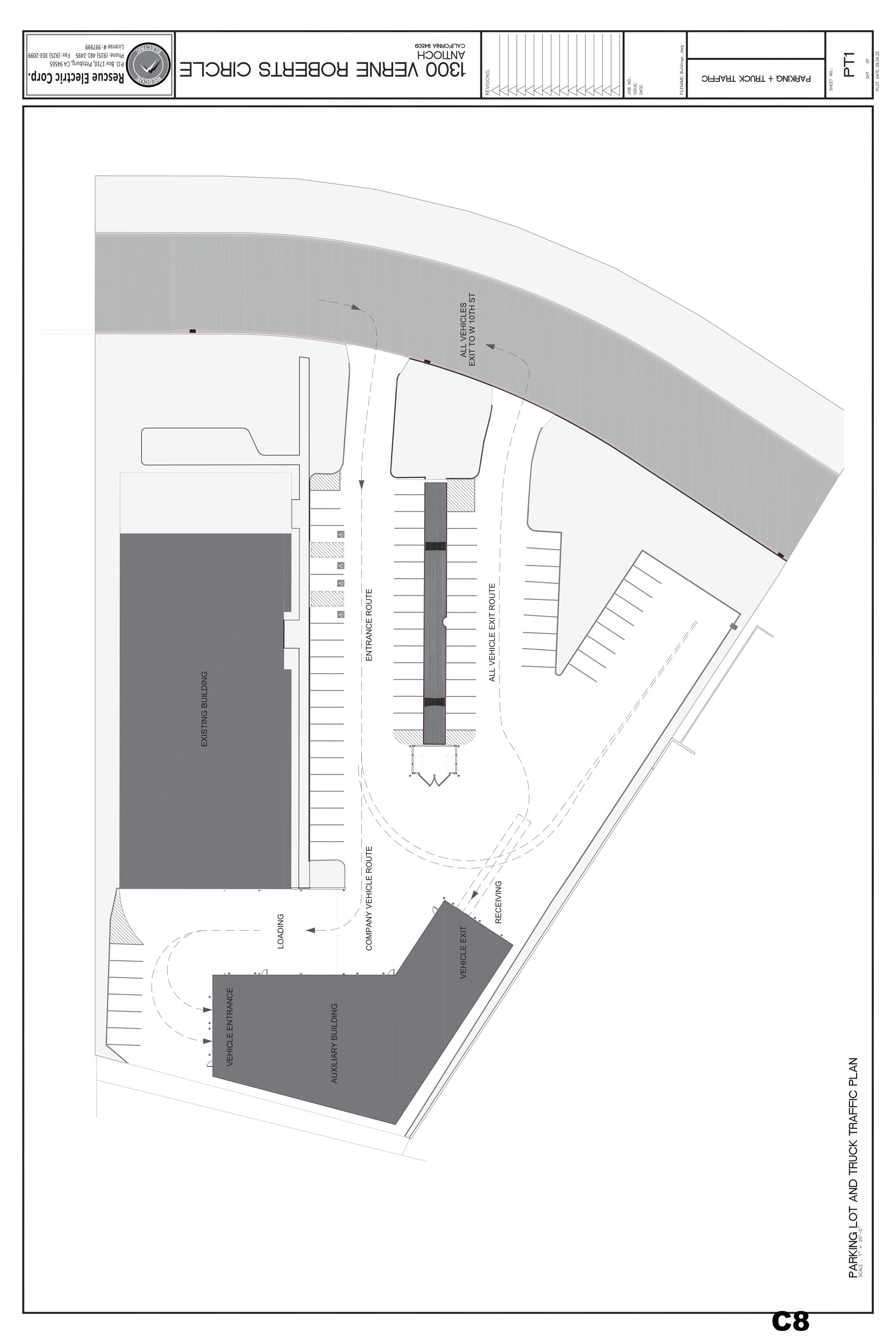


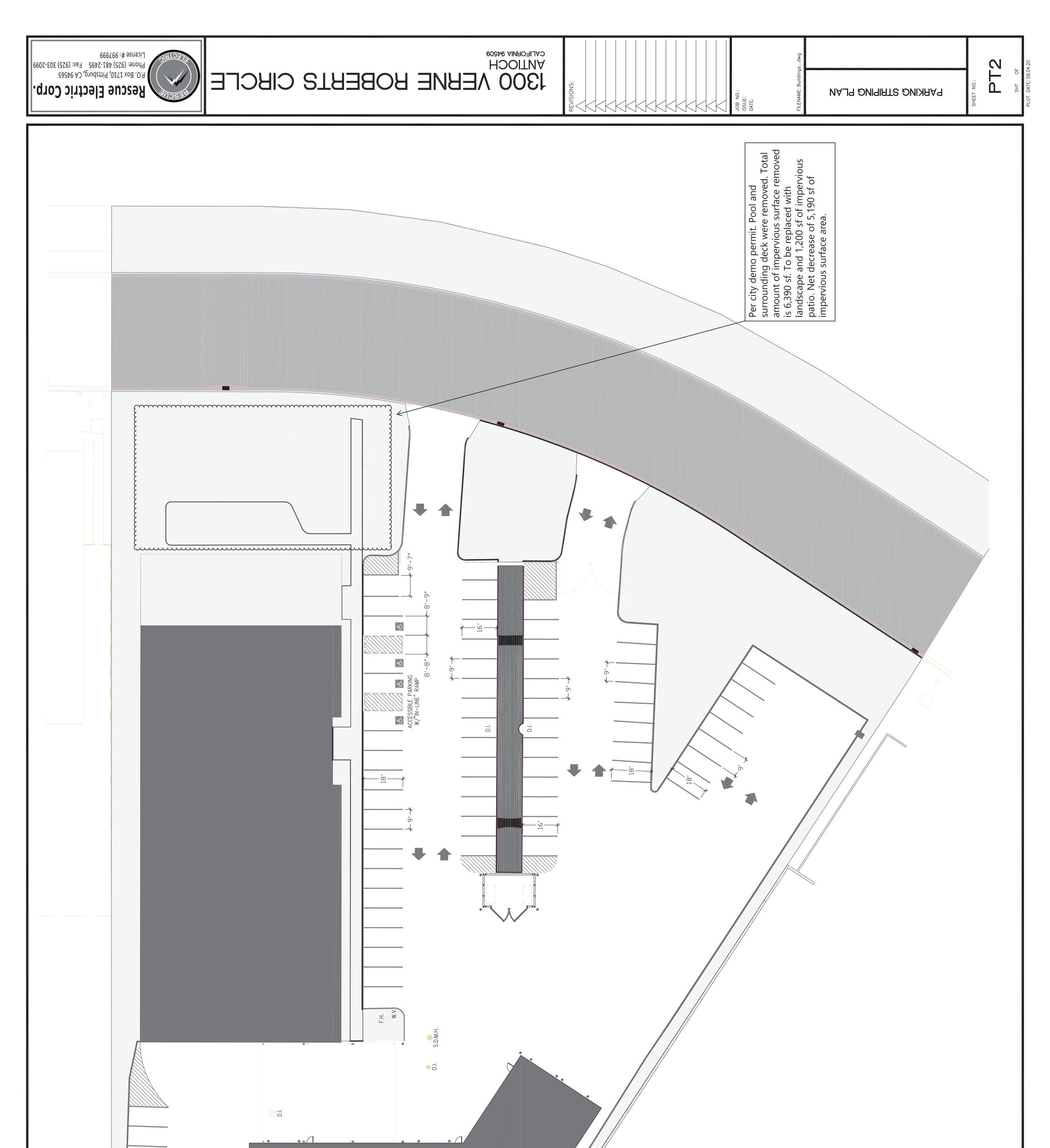




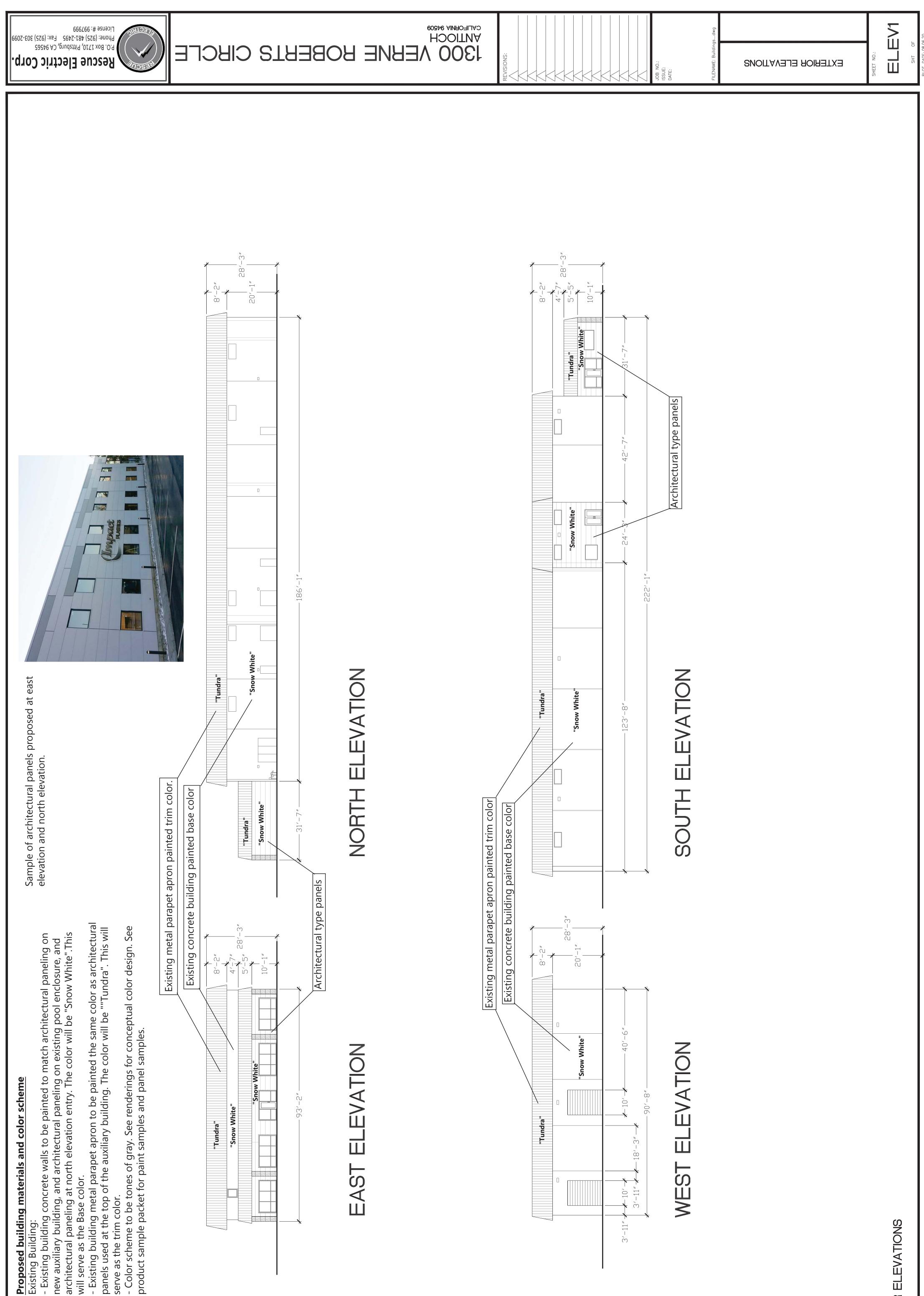






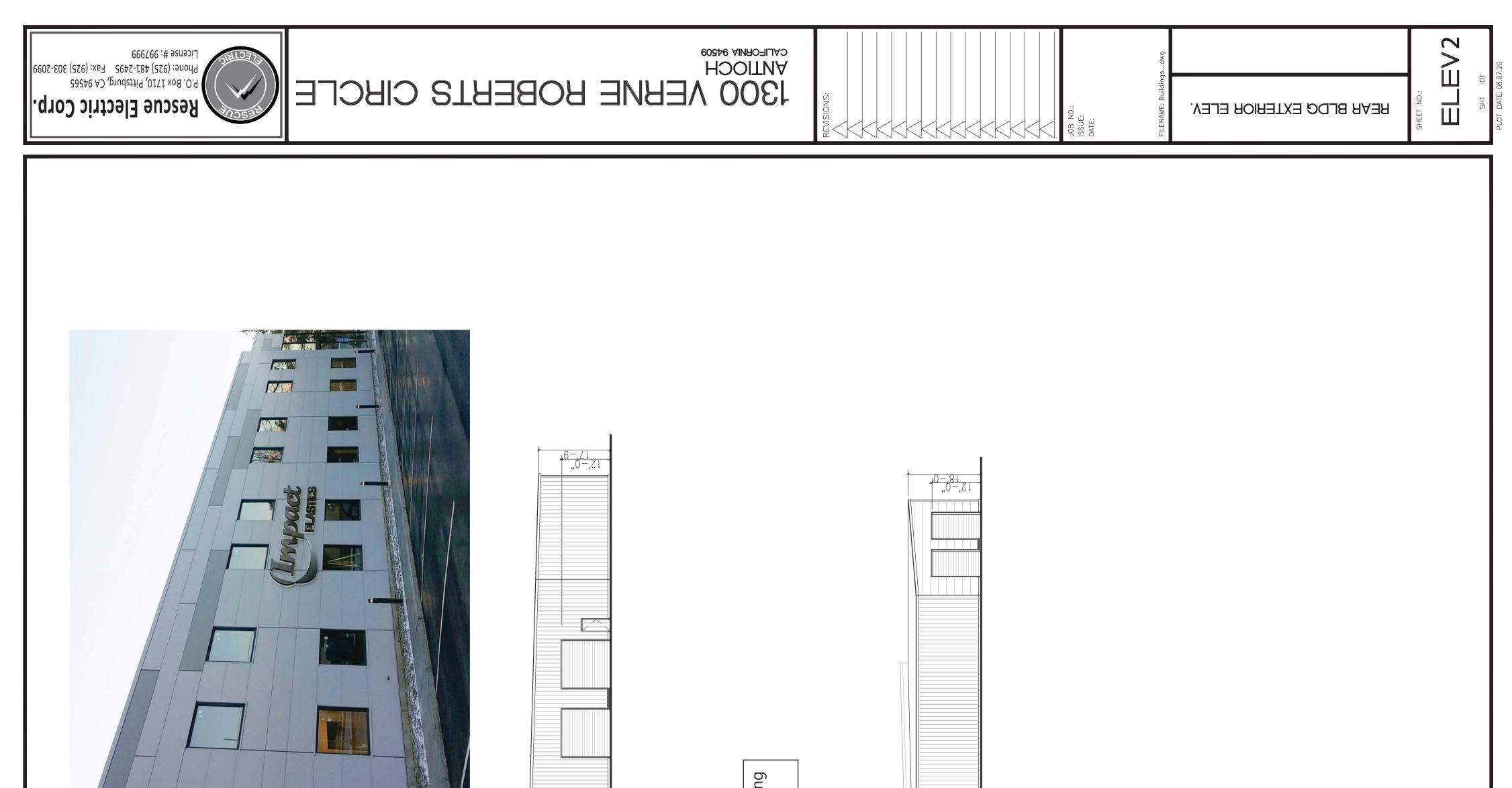


be placed the increase systimg DI to acilitate new ge calculation:	oor- 19,656 sf loor- 2,700 sf Iding- 9,950 sf Total ge- 32,306 g requirement. One d per 1,000 sf of gross	ed per code. : paces = 69 general notes:	ot to be repaired and re- pervious surface area added to existing parking re-stroped per this plan ents. and man hole covers to be protected during re- curb and sidewalk to be ed. curb and sidewalk to be ed. ess and striping to meet City of Antioch	g PLAN
Proposed auxiliary building to be placed over existing parking lot. Net zero increase of impervious surface area. All existing DI to remain. No grading require to facilitate new building location. Total building square footage calculation	Existing building 1st floor- 19,656 sf Existing building 2nd floor- 2,700 sf Proposed auxiliary building- 9,950 sf building square footage- 32,306 <i>City of Antioch parking requirement.</i> <i>parking space required per 1,000 sf</i> of <i>floor area.</i> Parking Calculation:	32,356/1,000= 32.3 33 parking spaces required per Parking spaces provided: (65) standard (4) handicapped (4) handicapped Total on site parking spaces= Parking Lot Re-paving genera	 Existing parking le surfaced. No additional imp surfaced. No additional imp parking sf will be lot. Parking lot to be and city requirem and city requirem surfacing. All drainage DI's a remain, and must surfacing. Where damaged replaced or repair current ADA and requirements. 	PARKING STRIPING SCALE : 1" = 20'-0"
			C9	



EXTERIOR ELEVATIONS SCALE : 1/16"=1'-0"

C10



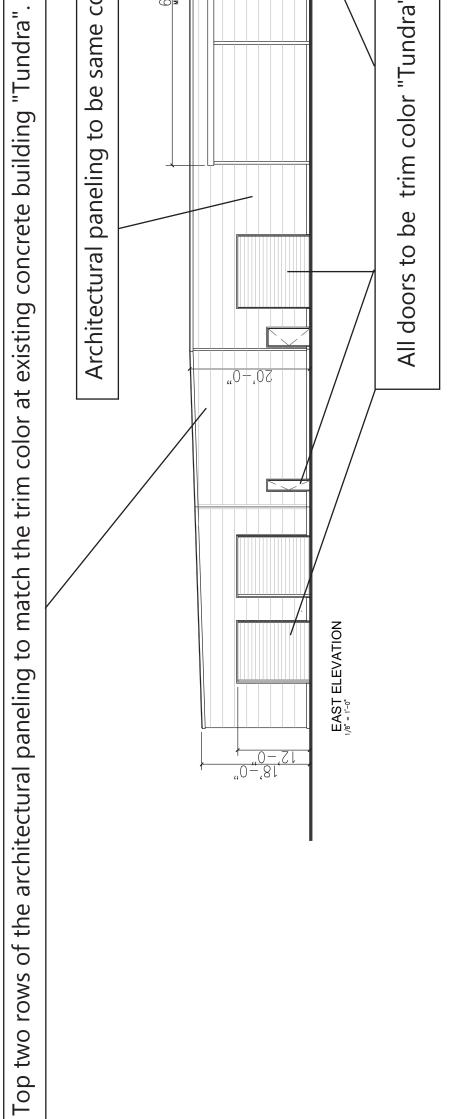
The elevation seen from the street, the East elevation, will incorporate the same type and color architectural panels used on the existing building. The base building color will match the base color of the existing concrete building. Color to be "Snow White".
Two rows of architectural panels at the top of the auxiliary building will be the same color as the metal parapet apron on the existing building. Color to be "Tundra".
Two rows of architectural panels at the top of the auxiliary building will be the same color as the metal parapet apron on the existing building. Color to be "Tundra".
The North, South, and West elevations that cannot be seen from the street will incorporate a standard metal building siding that will match the base body color of the existing building and auxiliary building.
Color scheme to be tones of gray. See renderings for conceptual color design. New metal auxiliary building:

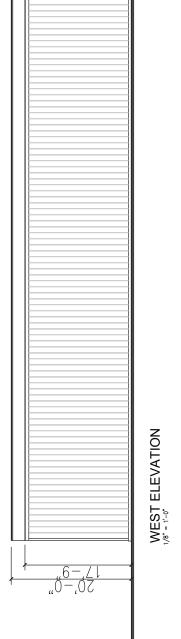
Elevations that cannot be seen from street will be standard siding typical of a metal building. Color to be "Snow White" NORTH ELEVATION SOUTH ELEVATION "0-'81 "0-'81 Architectural paneling to be same color as the base color of existing building "Snow White" 16,-0" 60'-9''trim color "Tundra". "0–'ðf "6-,/l

Sample of architectural panels proposed at east elevation.

REAR BUILDING EXTERIOR ELEVATIONS

Proposed building materials and color scheme



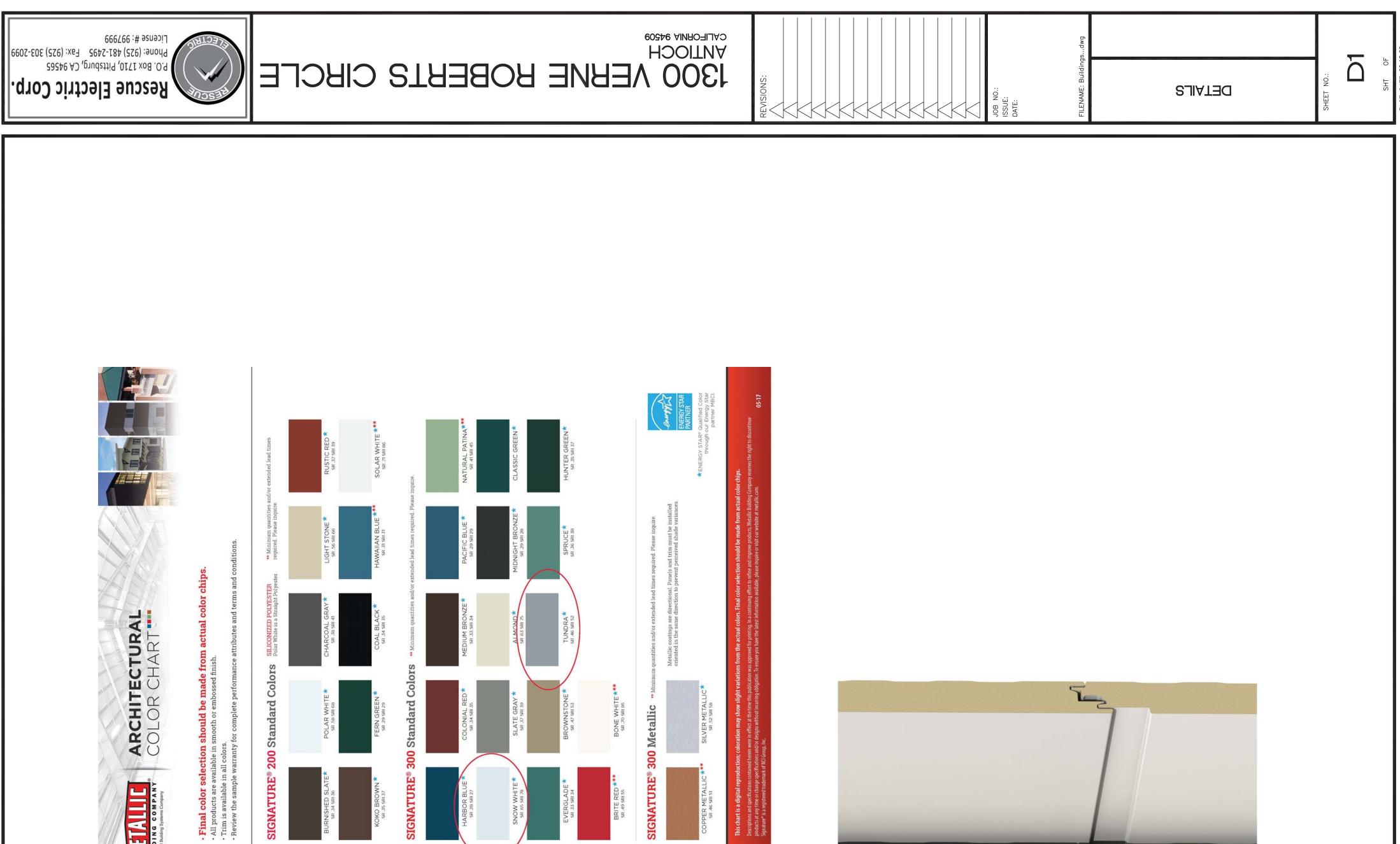


C11





C1Z



COLOR CHART

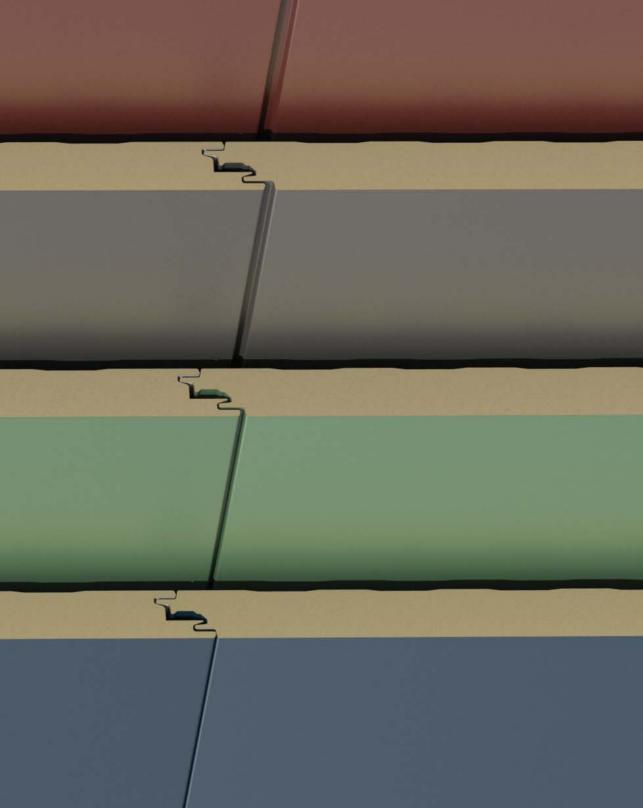
TESTING: CF ARCHITECTURAL HORIZONTAL INSULATED METAL WALL PANEL

TEST/ APPROVAL	TEST METHOD	TEST TITLE	RESULTS
Fire US	ASTM E84	Surface Burning Characteristics of Building Materials	Hame spread <25, smoke developed <450
	ASTM E119	Fire Endurance Tests of Building Construction Materials	One hour non-load bearing fire rating with two layers of Type X Gypsum Vertical or horizontal installation
	FM 4880	Class 1 Fire Rating of Insulated Wall, Ceiling and Roof Panels	Product approved (Exterior wall requires FM 4881, see Structural approvals)
	NFPA 259	Test Method for Potential Heat of Building Materials	Potential heat of foam plastic insulation contained in the assembly tested in accordance with NFPA 285
	NFPA 285	Evaluation of Fire Propagation Characteristics of Exterior Non-Load Bearing Wall Assemblies	Panel assembly met the requirements of the standard
	NFPA 286	Fire Tests for Evaluating Contribution of Wall and Celling Finish to Roof Fire Growth	Test specimen met the criteria of the IBC Section 8031.2.1
Fire Canada	CAN/ULC S101	Fire Endurance Tests of Building Construction and Materials	One hour non-load bearing fire rating with two layers of Type X Gypsum
	CAN/ULC S101	Fire Endurance Tests of Building Construction and Materials	Meets 15 minute stay-in-place requirements
	CAN/ULC S102	Surface Burning Characteristics of Building Materials and Assemblies	Meets the National Building Code of Canada requirements
	CAN/ULC S134	Fire Test of Exterior Wall Assemblies	Complies with the fire-spread and heat-flux limitations required by the National Building Code of Canada
	CAN/ULC S138	Fire Growth of Insulated Building Panels in a Full-Scale Room Configuration	Met the criteria of the standard
Structural	ASTM E72	Strength Tests of Panels for Building Construction	See Load Chart
	ASTM E1592	Structural Performance of Metal Roof and Siding Systems by Uniform Static Air Pressure Differences	See Load Chart
	FM 4881	Class 1 Exterior Wall Structural Performance	See FM Wall Load Chart (Interior wall requires FM 4880, see Fire approvals)
Thermal Performance	ASTM C518	Steady-State Thermal Transmission Properties by Means of the Heat-Flow Meter Apparatus	K-Factor of 0.14 BTU.in/hr.ft2.°F at 75° F mean core
	ASTM C1363	Thermal Performance of Building Materials and Envelope Assemblies	See Thermal Performance Guide
Air Infiltration	ASTM E283	Rate of Air Leakage Through Curtain Walls Under Specified Pressure Differences	<0.01 cfm/ft² at 20 psf Vertical or horizontal installation
Water Infiltration	ASTM E331	Water Penetration of Exterior Walls by Uniform Static Air Pressure Differences	No uncontrolled leakage when tested to a static pressure of 20 psf Vertical or horizontal installation
Special Approval	Miami-Dade NOA	Product Approval for City of Miami and Dade County	Product has City of Miami and Dade County Notice of Acceptance Vertical installation only
	State of Florida	Product Approval for the State of Florida	Droduct has State of Elorida approval

METALLE ARCHITECTURAL BUILDING COMPANY an NCI Building Systems Company COLOR CHART SIGNATURE® 300 Standard Colors SIGNATURE[®] 300 Metallic SIGNATURE[®] 200 Stan POL BON SILVEF COPPER METALLIC SR. 46 SRI 51 RITE RED ** SNOW WHIT SR.65 SRI 78 EVERGLAD SR 33 SRI 34 KOKO BROM SR. 35 SRI 37 This char Description: products at Signature

PL2 · Page E. F 5

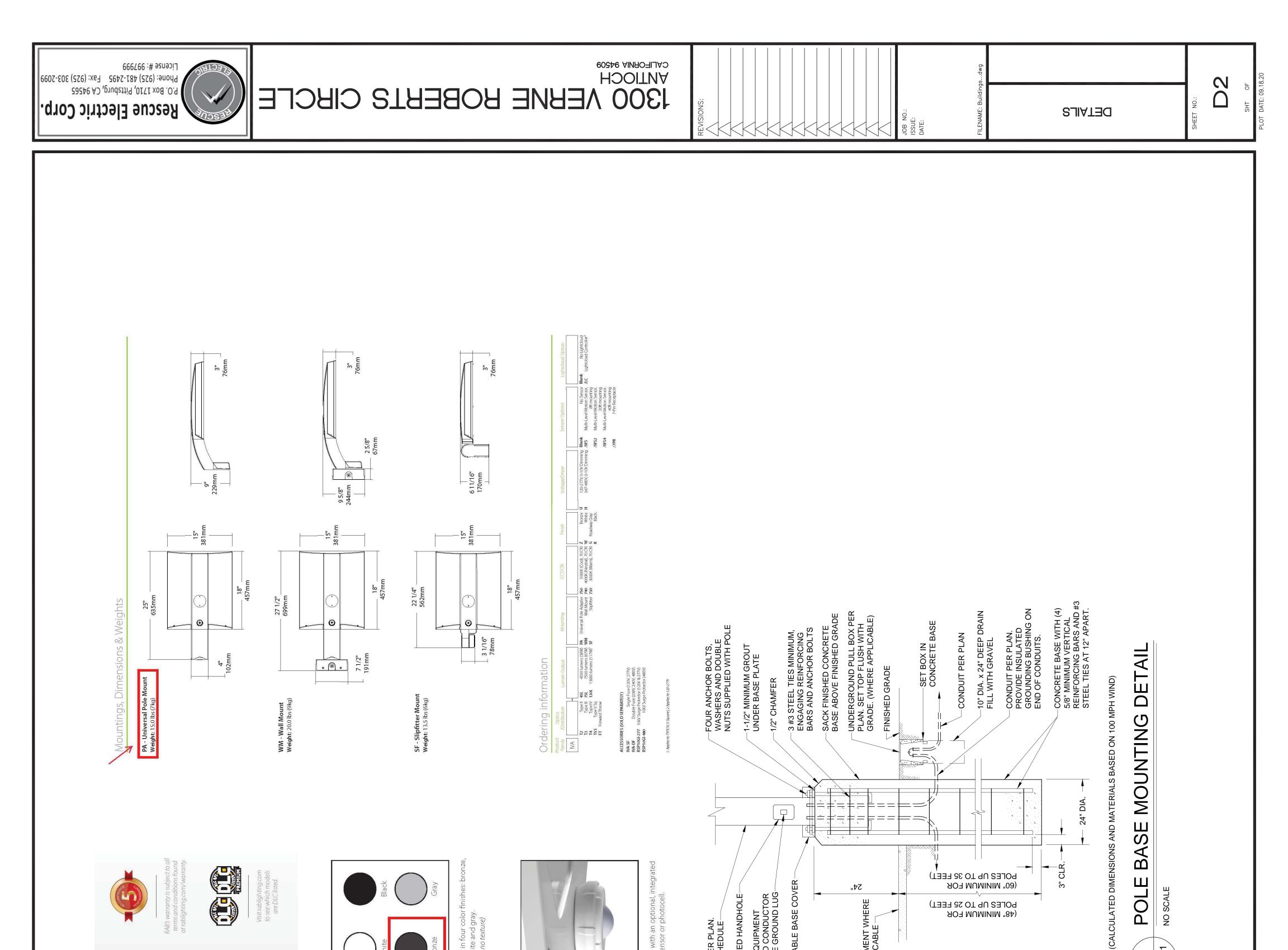




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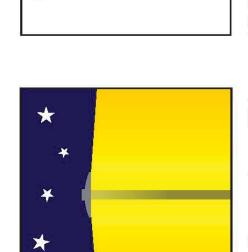
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DETAILS SCALE : NOPT TO SCALE



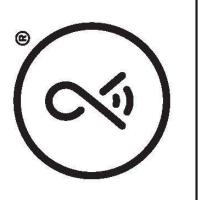
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- Available in 4,500lm (38W), 7,500lm (67W), 10,000lm (94W) and 13,000lm (117W) models
- · Offered with 3 mounting options: universal pole adapter, wall or slipfitter
 - Type II, III, IV, VS and Forward Throw distributions
- O-10V Dimming, standard
- Motion sensor, photocell and Lightcloud[®] Controller options available
 100,000-Hour LED lifespan



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The IVELOT is a complete cutoff, fully shielded area light that minimizes glare, while reducing light trespass.

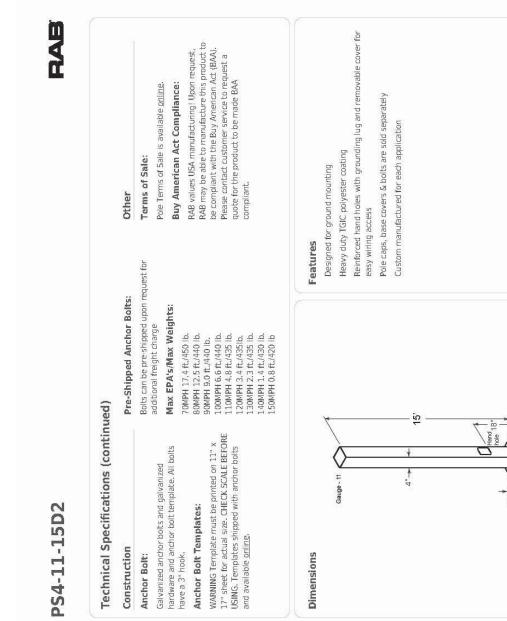


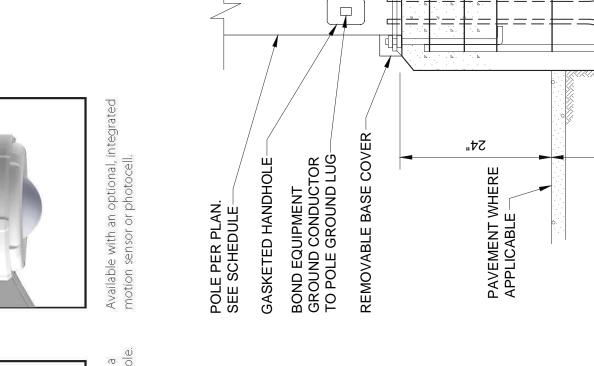


IVELOT offers several mounting op to support a variety of application: (Universal Pole Adapter shown)



Lightweight, low-profile design, and a low EPA help reduce the load on a pole.



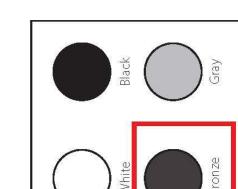


Technical Speci





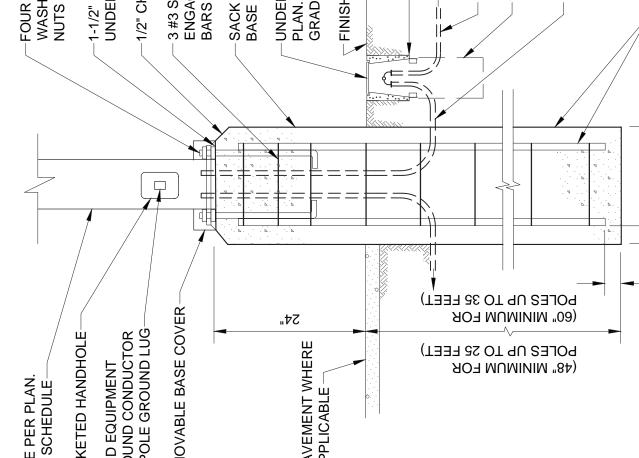




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Need help? Tech help line: Copyright © 2020 RAB Lig

Page 1 of 2

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Page 2 of 2

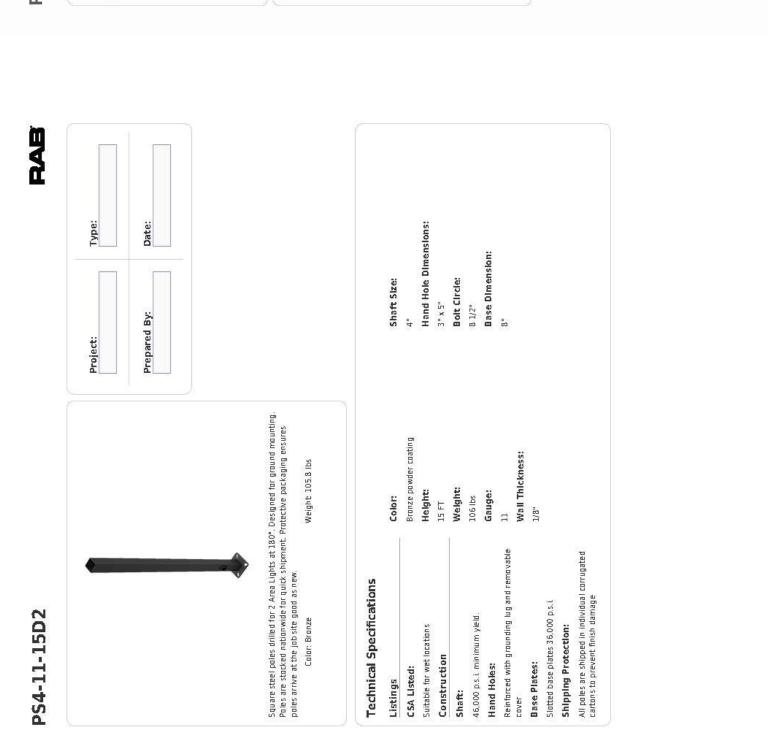
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24" DIA.

3" CLR







The second

Website: www.rablighting.com sject to change at any time withou Need help? Tech help line: **1889) 722-1000** Email: **custsar** Copyright © 2020 RAB Lighting All Rights Reserved Note:

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C15

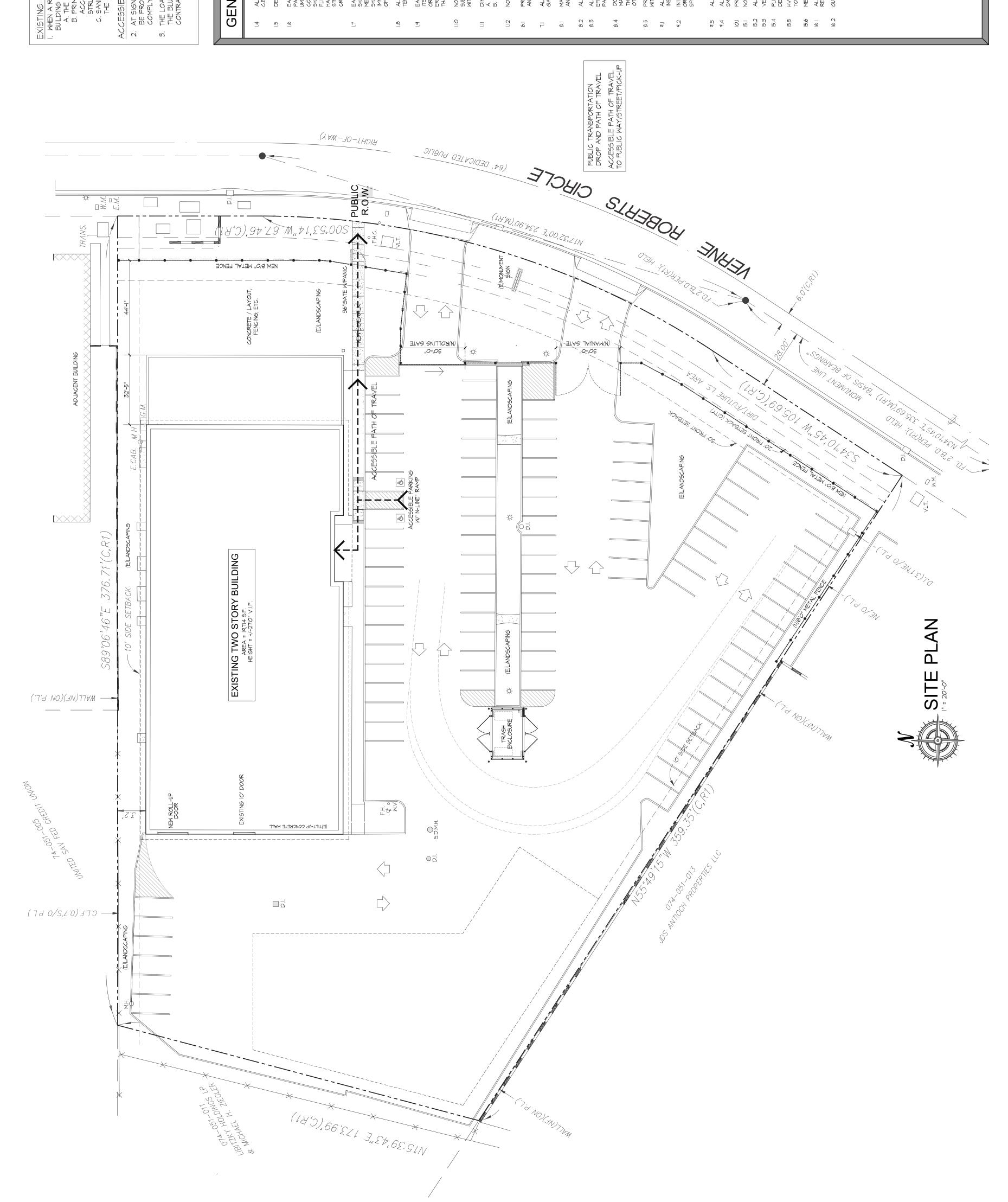
DETAILS SCALE : NOPT TO SCALE

BLACKARONNO BLACKARONNO 1300 Verne Roberts Circle Antioch, California 9xx	GENERAL CONTRACTOR: GENERAL CONTRACTOR: Trew Daniel Allan Daniel Construction Silo Gienside Drive Laffette, CA 44544 (925) DT6-9134, (925) 260-3354 (925) D16-9134, (925) 260-3354 (925) D16-9134, (925) 260-3354 T		DESIGN TEAM	Roy Anderson, P.E.2337 Wyatt Court2337 Wyatt CourtCort <t< th=""><th>Cover Sheet</th><th>SHEET DATA SHEET DATA OB. NO. SCALE AS NOTED JOB. NO. BD-BLDG PLOT DATE B/J/JOOD REVISIONS B/JUSOS</th><th>SHEET NUMBER A0.1</th></t<>	Cover Sheet	SHEET DATA SHEET DATA OB. NO. SCALE AS NOTED JOB. NO. BD-BLDG PLOT DATE B/J/JOOD REVISIONS B/JUSOS	SHEET NUMBER A0.1
INDEX TO DRAWINGS Ao:I Covers sheet Ao:I Covers sheet Ao:2 Accessibilitry details Ai.1 Sitte PLAN Al.2 Main Level floor Plan A2.1 Partial Main Level FLOOR PLAN A2.1 Partial Main Level FLOOR PLAN A2.1 Partial Main Level FLOOR PLAN A2.2 MEZZANINE FLOOR PLAN A2.3 BUILDING SECTIONS A3.1 BUILDING SECTIONS A3.1 BUILDING SECTIONS A3.1 INTERIOR PLAN AND DETAILS A4.1 INTERIOR PLAN AND DETAILS A4.1 INTERIOR PLAN SUDTING FLANS A5.1 CELING FRAMING PLAN AND DETAILS A6.1 REFLECTED CELING / LIGHTING PLAN & DETAILS A1.1 INTERIOR DETAILS A1.1 INTERIOR DETAILS S2.1 STRUCTURAL SECTION AND DETAILS S2.1 STRUCTURAL SECTION AND DETAILS E2.1 FIRE SPRINKLER PLANS AND DETAILS E2.2 LIGHTING PLANS E2.2 LIGHTING PLANS	PO.I PLUMBING NOTES, DETAILS AND LEGEND P2.I PLUMBING PLANS, DETAILS AND NOTES P2.2 WATER PIPING PLANS AND NOTES M2.I MECHANICAL SCHEMATIC, DETAIL AND NOTES M2.I MECHANICAL SCHEMATIC, DETAIL AND NOTES	LEGAL INDEX JJRISDICTION: CITY OF ANTIOCH, CA JURISDICTION: CITY OF ANTIOCH, CA OCCUPANCY: MIXED: "B" OFFICES, "S" STORAGE WAREHOUSE, "U" MAINTAINENCE TTPE OF CONSTRUCTION: TYPE V - "SPRINKLERED" DULDING CODE(s): 2019 C.B.C., 2019 C.B.C. & 2019 C.B.C. All Mork to DULDING CODE(s): 2019 C.B.C., 2019 C.B.C. & 2019 C.B.C. All Mork to COBSC SECTION 3013) - city of Antioch Municipal Codes. 2019 California Green Building Standards (CES). ZO19 California Green Building Standards (CES). 2019 California Green Building Standards (CES). Z019 California Green Building Standards (CES). 2019 California Green Building Standards (CES). Z019 California Green Building Standards Code. 2019 California Green Building Standards (CES). Z019 California Green Building Standards Code. 2019 C.B.C. J.S City of Antioch Municipal Codes. TENNANT SPACE: 19,714 S.F. (MAIN LEVEL) 5,676 S.F. (CONDITIONED) TOTAL AREA: 23,464 S.F. 3,750 S.F. (MEZZAINE) TOTAL AREA: 23,464 S.F. CCUPANT LOAD: OCCUPANT LOAD: 44 PERSONS PREVIOUS TENNIT PREVIOUS TENNIT: FITNESS CENTER MIXED SCONTER	CCUPANCY GROUP/AREA BREAKDOWN: CROUP NAME/DESIGNATION LOCATION AREA CROUP NAME/DESIGNATION LOCATION AREA S WAREHOUSE / STORAGE AREA MAIN LEVEL 17.643 S.F. 3.6 U MAINTAINENCE AREA MAIN LEVEL 145 S.F. 2 B OFFICES MAIN LEVEL 1.816 S.F. 2 V MAIN LEVEL 1.816 S.F. 2 D OFFICES MAIN LEVEL 1.816 S.F. 2 N MAIN LEVEL 1.816 S.F. 3.860 S.F. 3.860 S.F. N MAIN LEVEL 1.701 G.ROUP "B". 5.616 S.F. 5.616 S.F.	 SEPERATE DAND SIBMIT PLANS TO AND OBTAIN PERMIT FROM THE FIRE PREVENTION DIVISION FOR THE INSTALLATIONS MUST ALLATION OR MODIFICATION OF FIRE SPRINKLER SYSTEM. INSTALLATIONS MUST ALSO COMPLY WITH CITY & FIRE DEPARTMENT POLICIES AND REQUIREMENTS. OBTAIN PERMIT FROM THE FIRE PREVENTION DIVISION (AS REQUIRED) FOR THE FIRE SPRINKLER ALARM SUFERVISION. SUPERVISION (AS REQUIRED) FOR THE FIRE SPRINKLER ALARM SUFERVISION. SUPERVISION SUPERVISION (AS REQUIRED) FOR THE FIRE SPRINKLER ALARM SUPERVISION. SUPERVISION SUBLY MITH CITY & FIRE DEPARTMENT POLICIES AND REQUIREMENTS. OBTAIN PERMIT FROM THE FIRE PREVENTION DIVISION (AS REQUIRED) FOR THE FIRE SPRINKLER ALARM SUPERVISION. SUPERVISION SUBLY MITH 20 OR MORE SPRINKLER HEADS. 2019 CFG, SECTION #4034. INSTALLATION MUST ALSO COMPLY MITH CITY & FIRE DEPARTMENT POLICIES AND REQUIREMENTS. ODETAIN PERMIT FROM THE FIRE PREVENCES AND REQUIREMENTS. DIATH 20 OR MORE SPRINKLER HEADS. 2019 CFG, SECTION #4034. INSTALLATION MUST ALSO SUPERVISION SUBJECTION FROM THE FIRE SPRINKLER SYSTEMS MITH 20 OR MORE SPRINKLER HEADS. 2019 CFG, SECTION #4034. MITH 20 DIATENTIA DIATON DIVISION (SR REQUIRED AND/OR USED MITHIN THE BUILDING WITH EXCEED THE QUANTIFIES LISTED IN CBC TABLES 307.1()) AND 307.1(2). 	BUILDING INSPECTOR / CONTRACTOR NOTE: CORROSION PROTECTION/MRAPPING IS REQUIRED ON ALL UNDERSLABFERROUS ELECTRICAL CORROSION PROTECTION/MRAPPING IS REQUIRED ON ALL UNDERSLABFERROUS ELECTRICAL CONDUIT WATER PIPING, BUILDING SEMERS, FLOOR DRAINS, TRAP PRIMERS, WASTE DRAINS AND OTHER FERROUS FILOR SINKS, FLOOR DRAINS, TRAP PRIMERS, WASTE DRAINS AND OTHER FERROUS FILONG SINKS, FLOOR DRAINS, TRAP PRIMERS, WASTE DRAINS AND OTHER FERROUS FILONG SINKS, FLOOR DRAINS, TRAP PRIMERS, WASTE DRAINS AND OTHER FERROUS FILONG SINKS, FLOOR DRAINS, CONSIGNON PROTECTION / MRAPPING IS REQUIRED ON COPPER WATER PIPING ALL ZING COATED CORROSION PROTECTION / MRAPPING IS REQUIRED ON COPPER WATER PIPING FILONG CATED CORROSION PROTECTION / MRAPPINGS.	 ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT AND LOCAL URISDICTION ORDINANCES RELATIVE TO FIRE PROTECTION & FIRE ALARM SYSTEM(S). ALL REQUIRED PERMITS SHALL BE OBTAINED. (2) 5LB, #2A-IOBC FIRE EXTINCUISHERS SHALL BE PROVIDED. THE MOUNTING INSTRUCTION AND LOCATION FOR MOUNTING SHALL BE PETERMINED BY THE FIRE PROTECTION DISTRICT. (2) 5LB, #2A-IOBC FIRE EXTINCUISHERS SHALL BE PROVIDED. THE MOUNTING INSTRUCTION AND LOCATION FOR MOUNTING SHALL BE DETERMINED BY THE FIRE PROTECTION DISTRICT. (2) 5LB, #2A-IOBC FIRE EXTINCUISHERS SHALL BE PROVIDING TENNIN SPACE BUILDING ACCESS REYS FOR INSERTION INTO THE "KNOX BOX" PRIOR TO FINAL INSPECTION BY THE FIRE DEPARTMENT, KEYS SHALL HAVE PERMANENT MARKED TAGS WITH ADDRESS AND/OR SPECIFIC DOORS/AREAS ACCESSIBLE MITH SAID KEYS. ADDRESS NUMBERS SHALL BE INSTALLED ON THE FRONT OF PRIMARY ENTRANCE FOR ALL BUILDINGS (IF NOT EXISTING). MINIMUM SIZE SHALL BE PROVIDED ON EACH "MAN" DOOR. ADDRESS OR TENANT SPACE NUMBER SHALL BE PROVIDED ON EACH "MAN" DOOR. A MINIMUM 48 HOUR NOTICE IS REQUIREMENTS). MHERE MULTIPLE ACCESS IS PROVIDED, ADDRESS OR TENANT SPACE NUMBER SHALL BE PROVIDED ON EACH "MAN" DOOR. A MINIMUM 48 HOUR NOTICE IS REQUIREMENTS). MHERE MULTIPLE ACCESS IS PROVIDED, ADDRESS OR TENANT SPACE NUMBER SHALL BE PROVIDED ON EACH "MAN" DOOR. A MINIMUM 48 HOUR NOTICE IS REQUIREMENTS). MHERE MULTIPLE ACCESS IS PROVIDED, ADDRESS OR TENANT SPACE NUMBER SHALL BE PROVIDED ON EACH "MAN" DOOR. A MINIMUM 48 HOUR NOTICE IS REQUIREMENTS). MHERE MULTIPLE ACCESS IS PROVIDED, ADDRESS OR TENANT SPACE NUMBER SHALL BE PROVIDED ON EACH "MAN" DOOR. A MINIMUM 48 HOUR NOTICE IS REQUIREMENTS). MHERE MULTIPLE ACCESSIS OF ALL NECESSARY TESTS AND/OR INSPECTIONS. 	 WITHIN 30 FEET OF COMMERCIAL COOKING EQUIPMENT. MAXIMUM TRAVEL DISTANCE TO AN EXTINGUISHER SHALL BE 15 FEET (CFC TABLE 906.3 (1) PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED IN CONSPICUOUS LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE. THESE LOCATIONS SHALL BE ALONG NORMAL PATHS OF TRAVEL. CFC 906.5. PORTABLE FIRE EXTINGUISHERS SHALL NOT BE OBSTRUCTED OR OBSCURED FROM VIEM. IN ROOMS OR AREAS IN MHICH VISUAL OBSERVATION CANNONT BE COMPLETELY AVOIDED, MEANS SHALL BE PROVIDED TO INDICATE THE LOCATION OF EXTINGUISHERS. CFC 906.6.

Interior Tenant Improvement for:

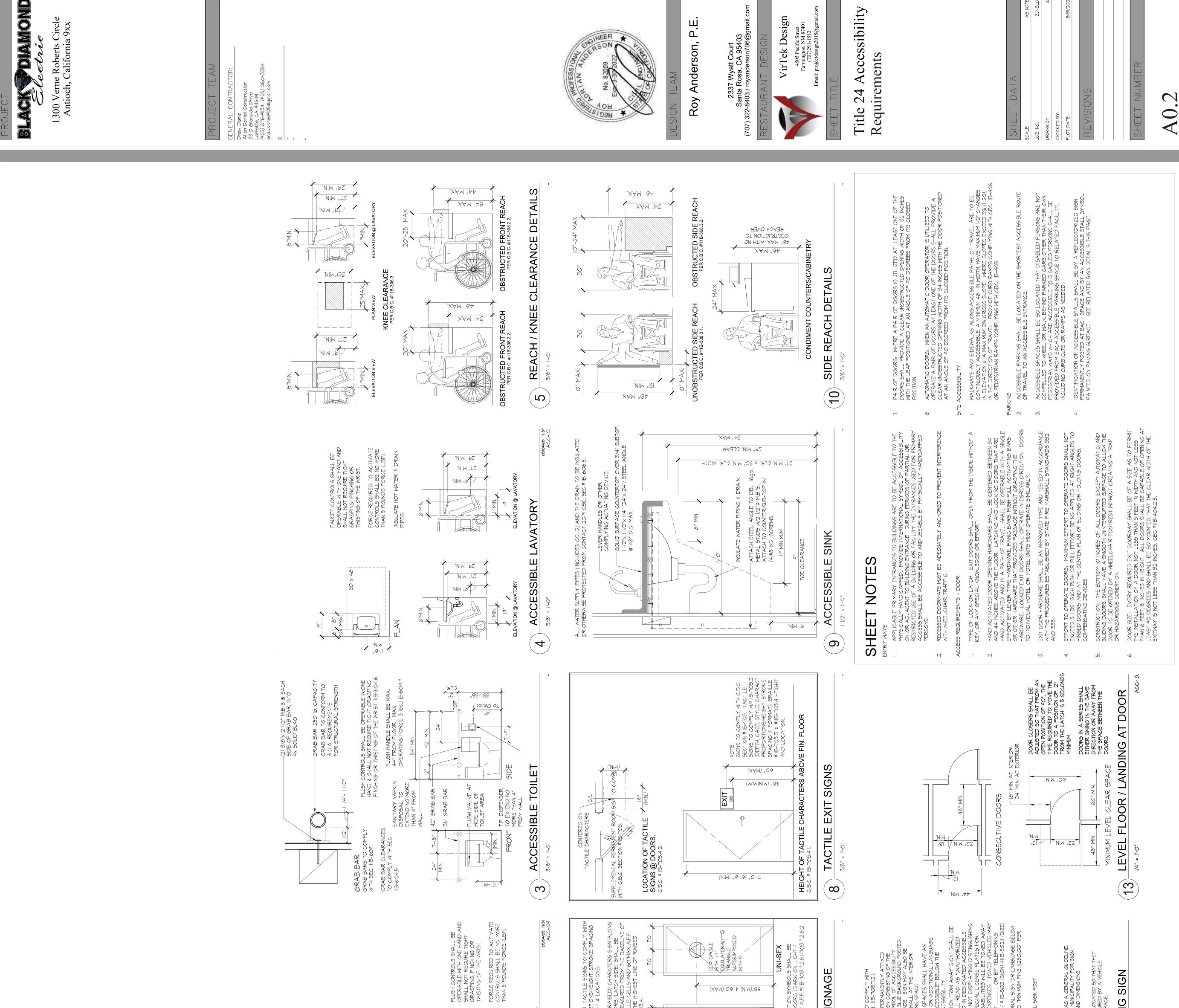


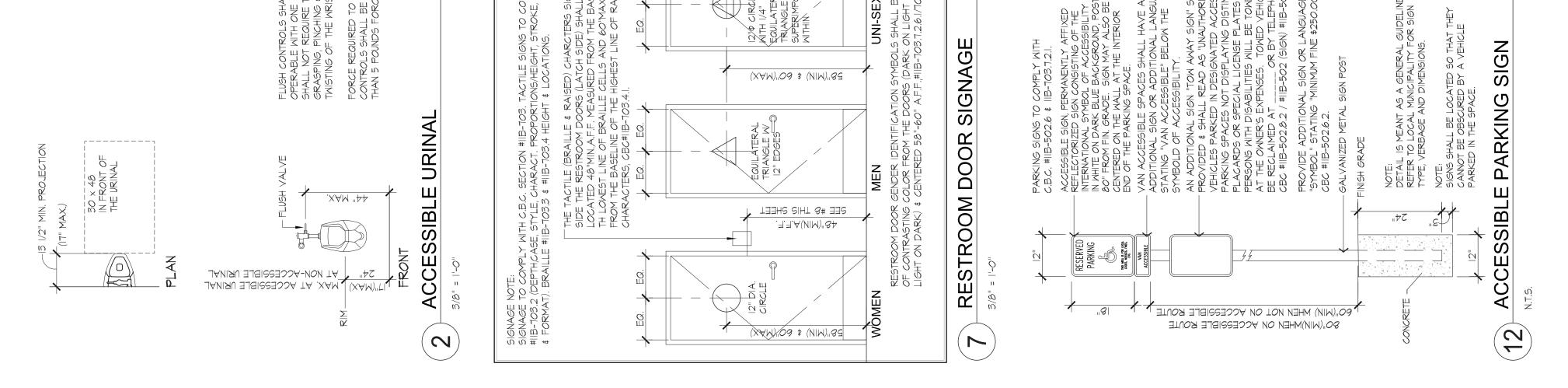
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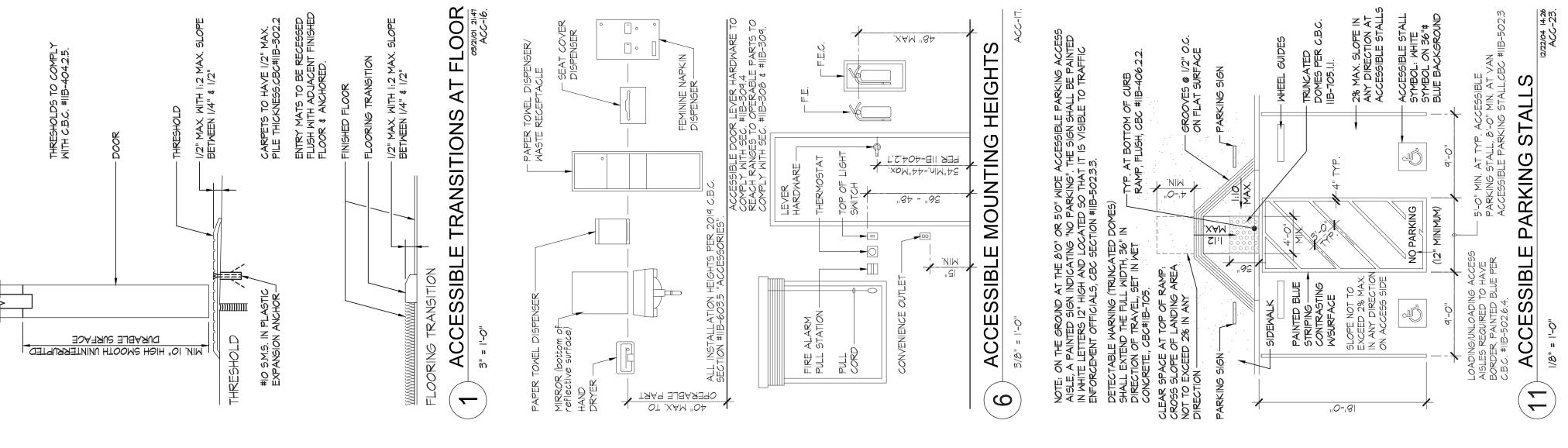


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 EXISTING BUILDINGS: I. WHEN A RENOVATION, STRUCTURAL REPAIR, ALTERATION OR ADDITION TO AN EXISTING BUILDING OCCURS, COMPLIANCE INCLUDES THE FOLLOWING. A. THE AREA OF RENOVATION, STRUCT. REPAIR, ALTERATION OR ADDITION MUST COMPLY FULLY. B. RIMARY ENTRANCE TO THE BUILDING OR FACILITY & THE PRIMARY PATH OF TRAVEL FROM ACCESSIBLE PARKING AND FROM THE PUBLIC WAY TO THE SPECIFIC AREA OF ALTERATION, STRUCTURAL REPAIR, OR ADDITION NUST FULLY COMPLY. C. SANITARY FACILITIES, SIGNAGE, FOUNTAINS AND PUBLIC PHONES (WHEN PROVIDED) SERVING THE AREA OF RENOVATION, STRUCT. REPAIR, ALTERATION OR ADDITION MUST FULLY COMPLY. 	ACCESSIBLE PARKING: 2. AT SIGNS IDENTIFYING ACCESSIBLE PARKING SPACES, AN ADDITIONAL SIGN OR LANGUAGE SHALL BE PROVIDED BELOW THE SYMBOL OF ACCESSIBILITY STATING "MINIMUM FINE OF \$250.00" COMPLYING WITH CBC #IIB-502.6 \$ #IIB-103.1.2.1. OR PER LOCAL CODE AND ORDINANCES. 3. THE LOADING AND UN-LOADING AISLE SHALL BE MARKED BY A BORDER PAINTED BLUE. WITHIN THE BLUE BORDER, HATCHED LINES A MAX. OF 36" ON CENTER SHALL BE PAINTED BLUE. WITHIN CONTRASTING WITH THE PARKING SURFACE, PREFERABLY BLUE OR MHITE, CBC#IIB-502.6.4.	GENERAL NOTES	ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE CURRENT EDITION OF C.B.C., TITLE 24, LOCAL CODES AND AUTHORITIES.	I:5 DESIGNER IS NOT RESPONSIBLE FOR THE ACURACY OF INFORMATION CONTAINED IN OWNER SUPPLIED DOCUMENTS. I:6 EACH CONTRACTOR SHALL VERIEY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING MORK. SHOULD A DISCRE- PANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOC- UMENTS THAT AFFECT ANY WORK, NOTIFY THE DESIGNER AT ONCE FOR INSTRUCTIONS ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AT ONCE FOR INSTRUCTIONS FROM THE DESIGNER, THE CONTRACT DOC- UMENTS THAT AFFECT ANY WORK, MOTIEY THE DESIGNER AT ONCE FOR INSTRUCTION OF THE DESIGNER, THE CONTRACT DOC- UMENTS THAT AFFECT ANY WORK AFFECTED WITHOUT INSTRUCTIONS FROM THE DESIGNER, THE CONTRACT DOC- UMENTS THAT AFFECT ANY MORK AFFECTED TO THE SATISFACTION OF THE DESIGNER, THE CONTRACT DOC- BALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE DESIGNER, SHOULD A CON- FLICT OCCUR IN OR EDITED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATER DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CON- STRUCTION METHOD INVOLVED, UNLESS A WRITTEN DECISION FROM THE DESIGNER HAS BEEN OBTAINED WHICH DES- CRIBES AN ALTERNATE METHOD AND/OR MATERIALS.	1.1 EACH CONTRACTOR SHALL CONFINE HIS OPERATIONS ON THE SITE TO AREAS PERMITTED BY THE CENTER. THE WORK SHALL BE DONE IN ACCORDANCE MITH APPLICABLE LAMS, LOCAL ORDINANCES, PERMITS AND THE CONTRACT DOCU- MENTS. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH CONTRACTOR DURING AND IMMEDIATED. UPON COMPLETION OF EACH PHASE OF HIS WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS OPERATION.	I.8 ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DE- TERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF MORK.	1.4 EACH CONTRACTOR SHALL DO ALL CUTTING, FITTING OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE 1T5 SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATING OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING, REPAIRING AND REPLACING OF MAT- ERIALS AND SUFFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT THE SURFACES REPLACED, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.	I.IO NO PORTION OF THE WORK REAURING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED BY THE DESIGNER. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH APPROVED SHOP DRAWINGS AND SAMPLES.		1.12 NO PRODUCIS CONTAINNG ASBESTOS IN ANY FORM SHALL BE USED ON ANY PART OF THE WORK. 6.1 PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, A.C. EQUIPMENT AND ALL OTHER ITEMS REQUIRING SAME.	7.1 ALL OPEN JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED OR MEATHERSTRIPPED TO LIMIT AIR LEAKAGE.		 ALL DOORS SHALL BE PROVIDED WITH LEVER HARDWARE OPENABLE WITH A SINGLE EFFORT, U.O.N. ALL LEGAL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF KEY OR SPECIAL KNOMLEDGE OR EFFORT. EXIT SIGNS SHALL BE PROVIDED AT ALL EXITS AS REQUIRED BY CODE. ALL DOOR SWINGS SERVING AN OCCU- DOME. ON DO DOT AND ON DATA THE DIMENSION OF FORCE OND. ALL DOOR SWINGS SERVING AN OCCU- DOME. ON DO DOT AND DURING WITH DIMENSION OF FORCE OND. AND DOOR OND TO DO DO	9.4 DOOR OPENING FORCE TO COMPLY MITH CBC #115-404.2.9. REQUIRED FIRE DOORS SHALL HAVE THE MAXIMUM OPENING FORCE ALLOWABLE BY THE 2016 CBC AND SHALL NOT EXCEED 15 LBF. OTHER THAN REQUIRED FIRE DOORS, INTERIOR DOORS SHALL HAVE A MAX. OPENING FORCE OF 5 LBF. OTHER THAN FIRE DOORS, EXTERIOR DOORS SHALL HAVE A MAX. OPENING FORCE OF 5 LBF.	 PROVIDE SIGN OVER MAIN ENTRY DOOR WHICH READS 'THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED. WITH LETTERS NOT LESS THAN I" HIGH ON CONTRASTING BACKGROUND. CBC 1008.19.3. OCCUPIED #2.2 ALL WALLS ENCLOSING RESTROOMS SHALL HAVE 5/8" W.R. GYP. BD. AND 3 1/2" THICK FIBERGLASS BATT SOUND 	INDULATION. 4.2 INTERIOR MALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E &4 OR UL 723. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES: CLASS A, CLASS B, AND CLASS C. PER CBC &03.1.1/TABLE &03.9.	 4.3 ALL MECHANICAL REGISTERS SHALL BE PAINTED TO MATCH THE WALL OR CEILING THEY PENETRATE. 4.4 ALL PARTITIONS ARE TO RECEIVE ONE LAYER 5/8" GYP. BD. EACH SIDE, UNLESS NOTED OTHERWISE, TAPED, WITH 		15.2 ALL PIPING SHALL BE IN WALLS OR FURRED CEILING SPACES UNLESS NOTED OTHERWISE. 15.3 VERIFY ALL THERMOSTAT AND ELECTRICAL PANEL LOCATIONS WITH DESIGNER PRIOR TO INSTALLATION. 15.4 PLUMBING CONTRACTOR SHALL SIZE AND LAYOUT ALL PIPING REQUIRED AND SUBMIT PROPOSED LAYOUT TO THE DESIGNER AND THE CITY FOR APPROVAL PRIOR TO INSTALLATION.	15.5 HVAC CONTRACTOR SHALL SIZE AND LAYOUT ALL EQUIPMENT AND DUCTING REQUIRED AND SUBMIT PROPOSED LAYOUT TO THE DESIGNER AND THE CITY FOR APPROVAL PRIOR TO INSTALLATION. 15.6 MECHANICAL UNITS TO BE ANCHORED AGAINST SEISMIC FORCES PER 2016 C.B.C. CHAPTER 23, UNITS ARE EXISTING.	16.1 ALL LIGHT FIXTURES & BALLASTS SHALL BE "ENERGY SAVING TYPE" PER CURRENT TITLE 24 REQUIREMENTS REFER TO SHEET E3.1 "TITLE 24 ENERGY COMPLIANCE FORMS". 16.2 OUTLETS AND TELEPHONES BACK TO BACK IN A WALL SHALL BE SEPARATED BY ONE STUD SPACE, MINIMUN.		
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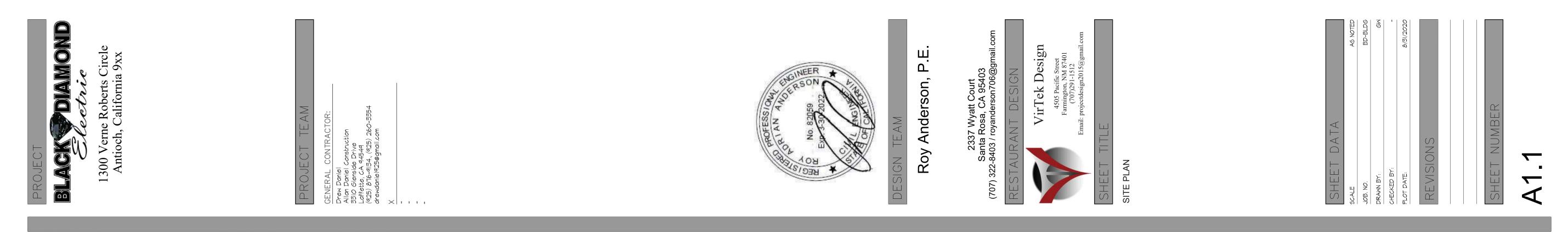


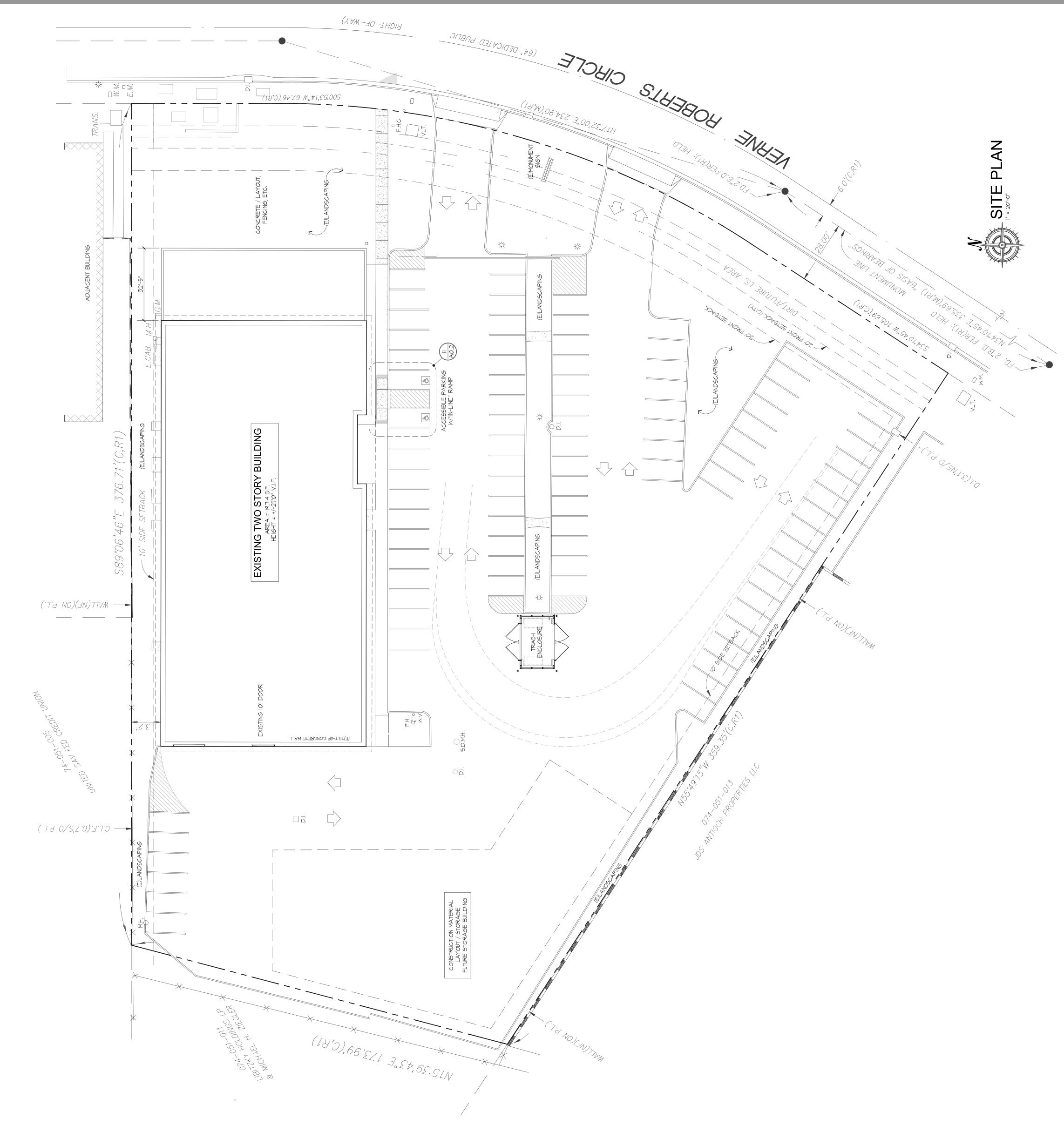




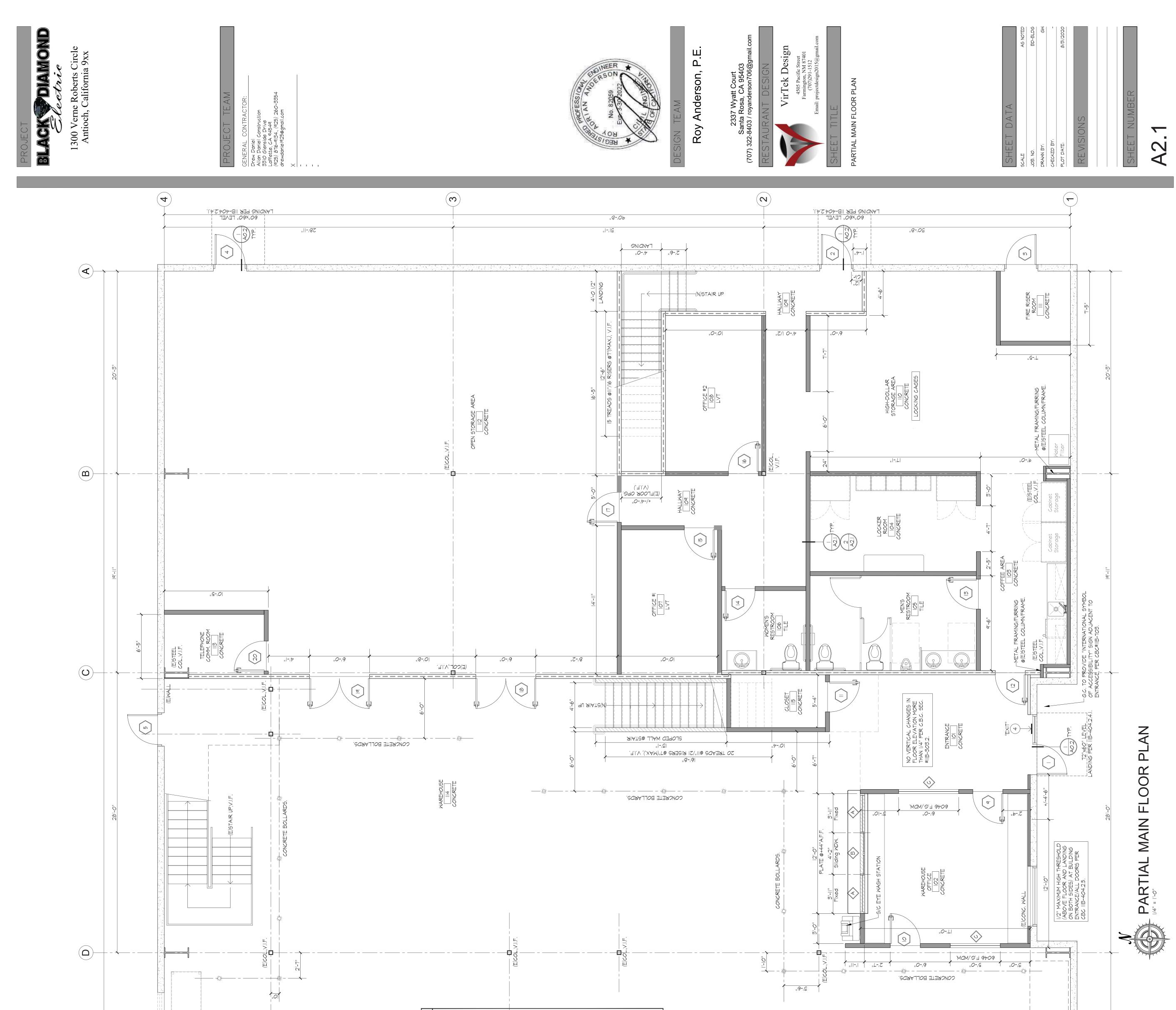












NO. TYPE HDWR GROUP	TYPE HI	HDWR GROUP	SIZE	DETAILS H/J	FRAME MAT.	NOTES	
		(II)	= 1 		ALUM.	(E)STOREFRONT/PANIC HDMR.	
$\widehat{\mathbf{n}}$		Ш į	"0"×"0"8((E)PANIC HDMR.,V.I.F.	
\widehat{m}		Û Û				(E)PANIC HDMR,V.I.F. (F)PANIC HDMP V I F	
2 T	< ∢) (i)	13'0"×1'0" MTL		ALUM.	(E)PANIC HDWR, V.I.F.	STORE
		(II)	MTL MTL			(E)PANIC HDMR,V.I.F.	
F		(E)	Ę		ALUM.	(E)PANIC HDWR, V.I.F.	
6		(E)	000 dn-770		EXIST.		
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\bigcirc	m	m	<7'0" S.C. W/AU		Σ. Ή	PAINTED, ACCESSIBLE SIGNAGE	DOOR NOTE
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	m	m	<7'0" S.C. М/АИТО-СІ		Σ. Ξ	200R, V.M.O.	
$\widehat{\mathbb{O}}$	m	_	<1'0" S.C. M/AUTO-CL		Ж. Н	PAINTED, ACCESSIBLE SIGNAGE	DOOR NOTES
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<u>1</u>	m	<u>n</u>	"0 "L		Σ. H	PAINTED, V.M.O.	EORESS DOORS SH EORESS SIDE WITH
\bigcirc	ന	o-	0"×7'0" S.C.		Η. Υ.	PAINTED, V.M.O.	KNOMLEDGE (C
	m	_			Σ. Ξ	PAINTED, V.W.O.	DOOR HANDLE
0	m	m	DBL. 3'0"x7'0" W/AUTO-CLOSER		Σ. Ξ	45 MIN. RATED DOOR, V.M.O.	
	m	m	BL. 3'0"x7'0" W/AUTO-CL		Σ. Ξ	45 MIN. RATED DOOR, V.W.O.	
	m	5	'0"×7'0" S.C.		Σ Η	PAINTED, V.M.O.	DOOR NOTES
							I. DOORS #I thru 7, V PROVIDE EMERGE ALARMS, ETC. AS
							2. RESTROOMS + 3. ALL LOCK # 1
	m	m	<10" S.		ΣΞ	45 MIN. RATED DOOR, V.W.O.	
	m	_			Σ. Ξ	V.M.O.	5. DOOR EQUIPPED V
	m	o.	"O"		Σ. Ξ	PAINTED, V.M.O.	THAT FROM A
	m	m	T,		Σ I	PAINTED, ACCESSIBLE SIGNAGE	
	m	m	×7'0" S.C.		Σ. Ξ	PAINTED, ACCESSIBLE SIGNAGE	5 SECONDS M
(m)	m	_	3'0"x7'0" S.C.		Σ. Ξ	PAINTED, V.M.O.	6. HAND-ACTIVA HANDLES, PUL
(<u>m</u>	ഫ	o_	1'0" S.		Σ. Ξ	PAINTED, V.M.O.	OPERATING D SHALL HAVE
(m)	m	a.	"O'T×"O'		Σ. Η	PAINTED, V.W.O.	
	m	_	0"×7'0" S.		Σ I	PAINTED, V.M.O.	OF THE WRIS
	m	0	0"×7'0" S.		Σ. Ξ	PAINTED, V.M.O.	AND WHICH A
	m	_	3'0"x7'0" 5.C.		Σ. H	PAINTED, V.M.O.	LEVER-TYPE
	m	_	'0"×7'0" S.		Σ. Η	PAINTED, V.W.O.	PULL ACTIVA
$\widehat{(\otimes)}$	ш	m	3'0"x7'0" S.C. W/AUTO-CLOSER		Σ. H	45 MIN. RATED DOOR, V.M.O.	
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< <u>₹</u> 5			S EXISTING BUILDIN	AL CONTRAC	TOR TO		
>		TING I	RANCE IS HANDICAF	LE PER C.B.C.			
	B) ACC	HONE HONE	ROUTE OF TRAVEL TO DRINKING FOUNTAIN	RED AREA. VIDED FOR CI	CUSTOMERS		
N N N N	GENERAL CONTRAC	CONT (ENT)	TOR TO VERIFY THAT	T ALL EXISTING DOORS COMPLY LUDING WIDTH, HEIGHT, HARDWA	COMPLY ARDWARE,		
> 0 n	LOSERS,	PAN	ARDWARE, ETC., V.I.F.	CONSTRUCTIC	N. HC		
t ∢ S	ACCESSIBLE F				2		
4 ∑ ∢	I/2" MAX. + AT BUILDIN	HOH NG H	' MAX. HIGH THRESHOLD (ABOVE FLOOR AND LA BUILDING ENTRANCE TO COMPLY WITH C.B.C., SE	XOR AND LANDING ON BOTH SID TH C.B.C., SEE SHEET AO.2.	DTH SIDES). 2.		
5. BUL		TAN FOTR	S CC	O BE SECURE	D M/(2) UDE 501 ID		
ш	ACKING/	DLOC DLOC	N MALLS, VERIF	IT REQ'S W/FI	RE CODE.		
ю Г О	PROVIDE O	CLAS OF 3) "K" PORTABLE FIRE D FEET TO FOOD/HEA	R WITH-IN A M. O EQUIPMENT.	AXIMUM		
, ∐ 1.	FOOD SERVICE , A PREFERRED M	CICE RFD	AISLES SHALL BE A N	6" CLEAR MIDTH MITH STOPPED MHFFI CHAIR	TH WITH FFI CHAIRS		
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00	R WHERE USTOMER	E TRANS/		IMEEN SALES EMPLOYEES AND 9HT BETEEN 28" TO 34" A.F.F.	AND FIFI		
ש <u></u> שי	C. TO PR	N = N	E SOLID BACKING/BLO	STROOMS TO VOWNER.	SUPPORT		
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<u>ю</u> 2	SAFETY GL	$\overline{\nabla}$	RED GLAS	ED IN HAZARD JEL SHALL IDE	DOUS		
H L	ZARD	Ϊ, Ξ, -		OWING SHALL BE CONSIDERED POSE OF GLAZING:			
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							AYED SO TO BE SAFELY IDENTIFIED
Ś	WALL	Ш	EGEND			DRIVEMAYS OR	ALONG THE AUANOLINI STREETS.
, [}	1	EXISTING WALL(S) TO REMAIN	G.C. TO FIELD		SIGNAGE NOTES	ö.
			2001 1000 001 2 X	TAL C	1717 1710 1711 1717		0 SIGN PER OBO #1004.0
					1 1 1 1 2		0 = 0 = 0

 NEW FULL-HEIGHT 3 5/8" 209a. METAL STUD WALL © 24"O.C.

 W/5/8" SHEETROCK, UNLESS NOTED OTHERWISE.

 (FOR WALLS OVER 10/0" HIGH, MTL. STUDS ©16" O.C.)

 NEW PARTIAL HEIGHT WALL, 2×4 WD. STUDS ©16" O.C.)

 NEW PARTIAL HEIGHT WALL, 2×4 WD. STUDS ©16" O.C.)

 W/5/8" SHEETROCK, U.N.O., SEE PLAN FOR PLATE HEIGHTS.

 DJACON
 BINISING/SEPARATION WALL FOR

 MDJACON
 "ADJACON" SUITE, V.I.F.

 NALL
 ADJACON "A-OCCUPANCY" SUITE, V.I.F.

 I) ALL WOOD FRAMME TO BE DOUGLAS FIR #2 (OR BETTER).

C. PROVIDE SIGN STATING: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED PER 2019 CBC #1010.1.9.3.
ACCESSIBLE ENTRANCE COMPLIES
TACTILE EXIT SIGNAGE PER 2019 C.B.C. #1013.4 AND C.B.C. #IIB-703.1 SIGN STATING: EACH GRADE LEVEL EXIT - "EXIT" EACH EXIT ACCESS DOOR FROM INTERIOR ROOM OR AREA THAT IS REQ'D TO HAVE A VISUAL EXIT SIGN - "EXIT ROUTE" ER CBC #1004.3

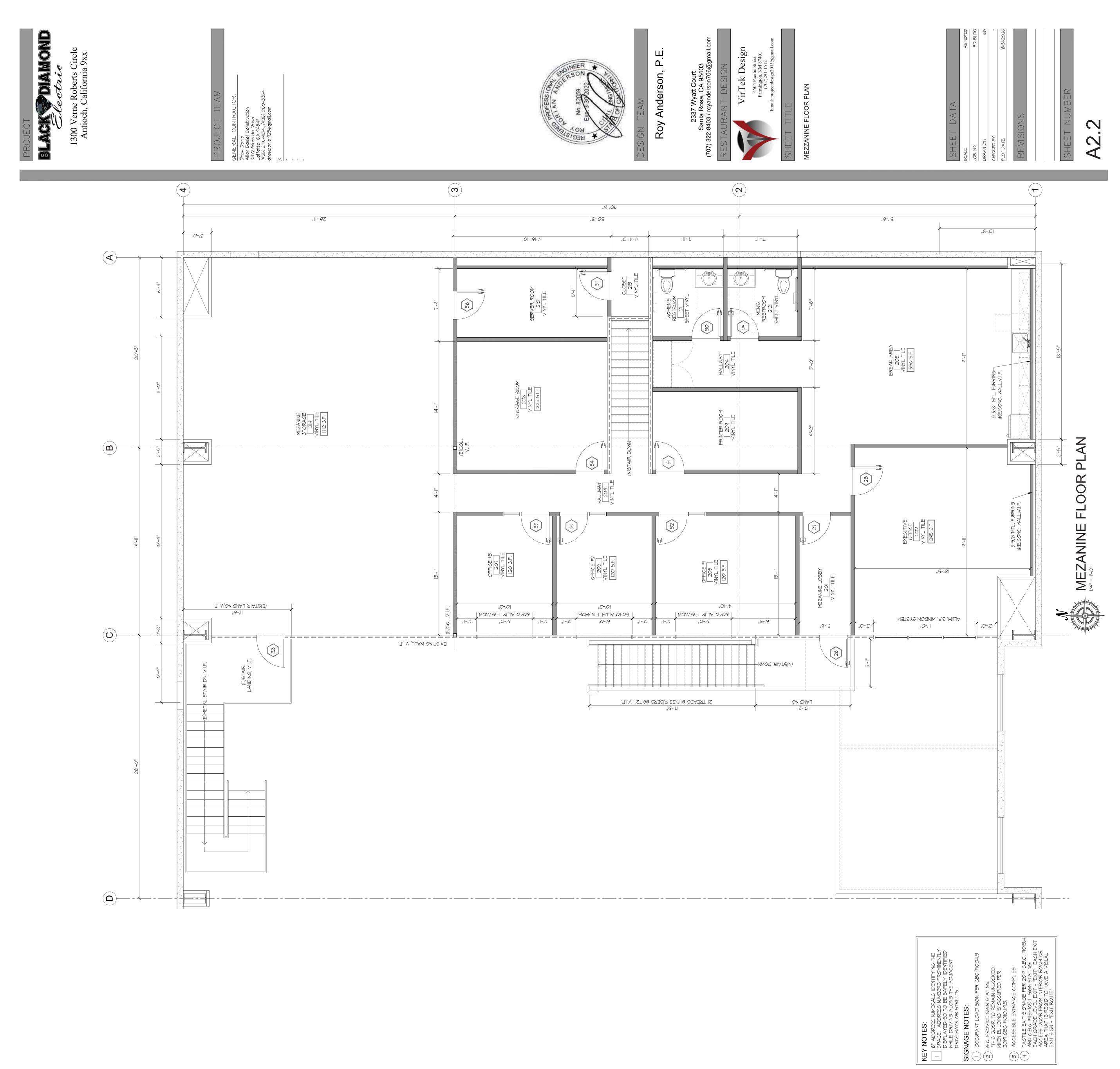
HARDWARE GROUPS INCLUDE (4) BUTTS AND (1) DOOR STOP PER LEAF U.N.O. GROUP 1: LATCHSET GROUP 2: LOCKSET (PRIVACY/RESTROOM) GROUP 3: LATCHSET, AUTOMATIC CLOSER GROUP 4: LOCKSET, AUTOMATIC CLOSER, HOLD-OPENS GROUP 4: LOCKSET, AUTOMATIC CLOSER, HOLD-OPENS GROUP 5: LOCKSET, AUTOMATIC CLOSER, HOLD-OPENS GROUP 6: PUSH/PULL PLATES, CLOSER, HOLD-OPENS GROUP 7: KEYED CYLINDER LOCKSET W/AUTOMATIC CLOSER & PANIC HARDWARE GROUP 8: DOUBLE-SMING HARDWARE GROUP 8: DOUBLE-SMING HARDWARE (AFTER HOURS) DOOR NOTES: EXCEPT AS SPECIFICALLY PERMITTED BY CBC #1008.19, ECRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOMLEDGE (CBC #1008.19.) DOOR HANDLES AND OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MINIMUM AND 44 INCHES MAXIMUM ABOVE FINISHED FLOOR (CBC #1008.1.9.2.) I 3/4" THICK SOLID CORE PLASTIC LAMINATE VERIFY WOWNER. (AS NOTED) DOOR NOTES I. VERIFY THAT ALL GLASS PANELS (EXISTING \$ NEW) ARE TEMPERED GLASS AS REQUIRED BY CODE. BOLID CORE "ELIASON" "ELIASON" PLASTIC LAM_ FLAT SURF (e) DOOR NOTES:
I. DOORS #I thru '1, VERIFY EXACT LOCATION IN FIELD, PROVIDE EMERCENCY EXIT HARDWARE, SIGNAGE, ALARMS, ETC. AS REQUIRED.
S. RESTROOMS HAVE ACCESSIBILITY SIGNAGE.
S. ALL LOCK & LATCH SETS ARE "LEVER" HANDELS FOR ADA/DISABLED ACCESS.
MAXIMUM OPENING FORCE OF 51bf TO PUSH/PULL DOOR.
MAXIMUM OPENING FORCE OF 51bf TO PUSH/PULL DOOR.
DOOR EQUIPPED MITH A CLOSER, THE SWEEP FERIOD OF THE CLOSER MILL BE ADJUSTED SO THAT FROM AN OPENING POSITION 90-DEGREES. THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION 12-DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
HANDLES, PULLS, LATCHES LOCKS AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE THE SHAPE THAT IT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE THE SHAPE THAT IT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE THE SHAPE THAT IT IS EASY TO CREASE MITH A SINGLE ETFORT MITH A LECKING PAND LOCKING PAND AND DOES NOT REAURE TIGHT FINCHING AND LOCKING PAND READWARE, PANIC PARES, PUSH-PULLACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE ETFORT MITH A LEVENTYPE HARDWARE, PANIC PARES, PUSH-PULLACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHAPE THAT IT S EASY TO LOCKING PANS THAT ARE HAND-ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHAPE THAT IT S EASY TO LOCKING PANS THAT ARE HAND-ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHAPE THAT IT S EASY TO LOCKING PANS OR OTHER HAND-ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHAPE PAND-ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHAPE PAND-ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHAPE PAND-ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHAPE PAND-ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHAPE PAND-ACTIVATED AND PARES PAND FOR PAND PAND-ACTIVATED AND PARES PAND P ш STOREFRONT DOOR W ANODIZED ALUM. FRAME IO"FLAT SURFACE O"FLAT SURFACE I 3/4" THICK METAL DOOR PAINTED DOOR TYPES

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MAREHOUSE

ROMEX FOR ROUGH PACK STORAGE

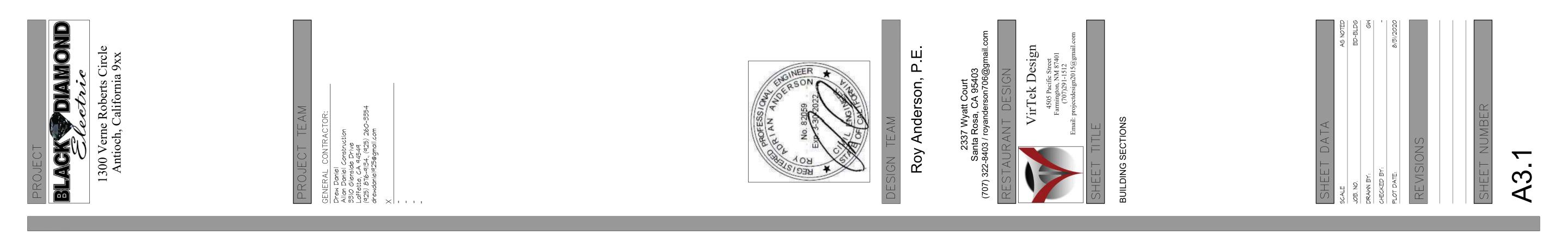


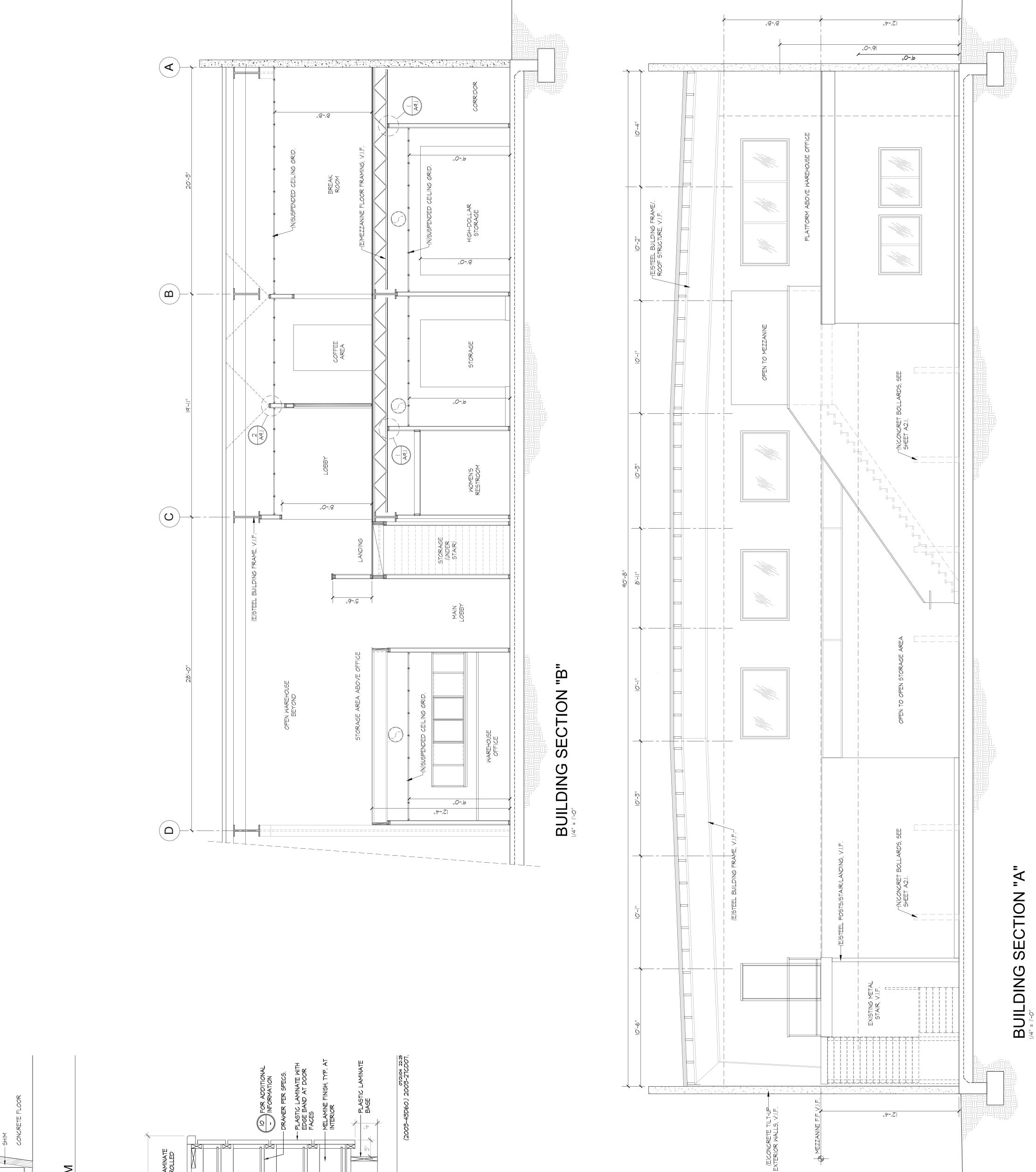


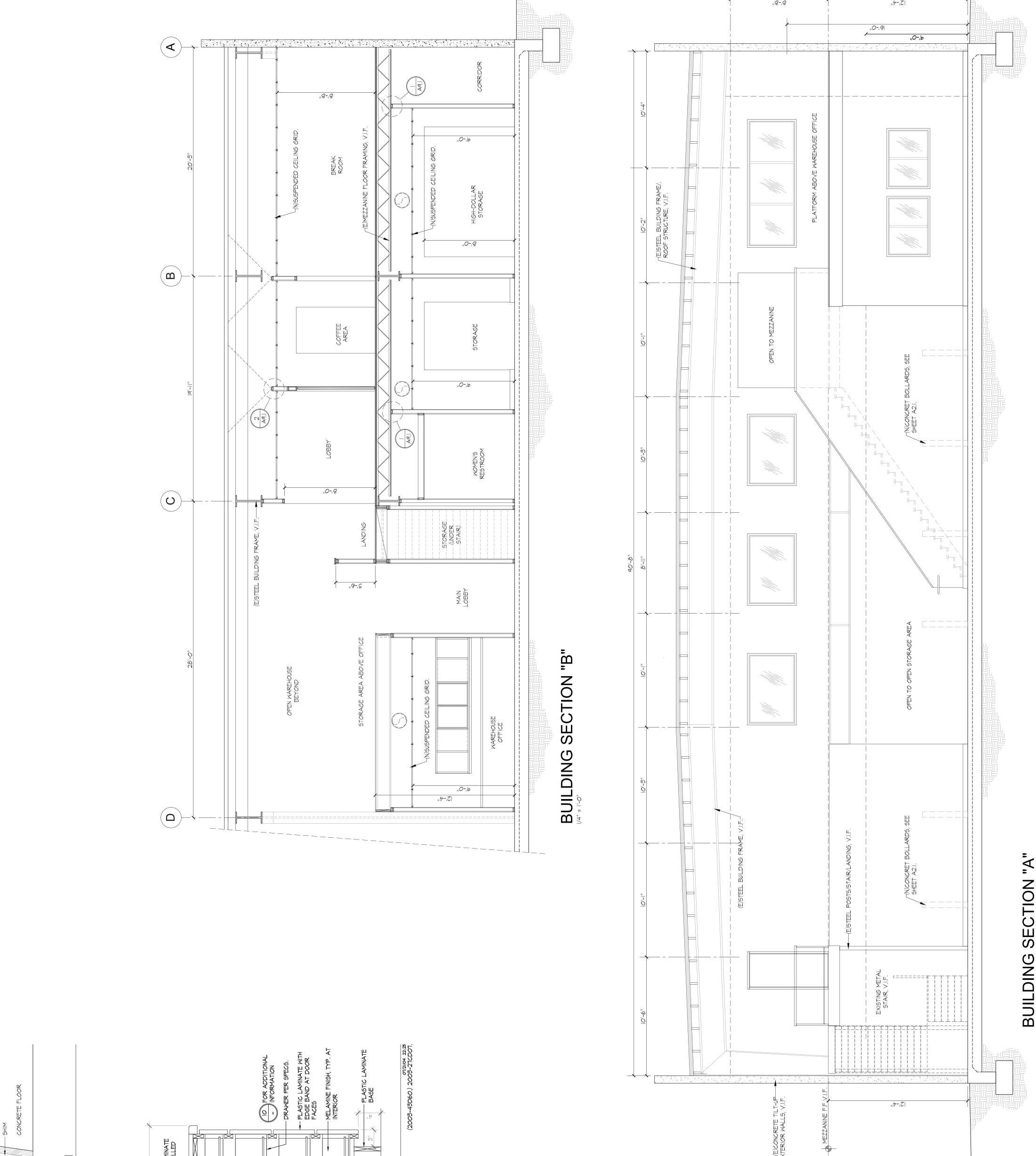
KEY NOTES: (-) & ADDRESS NUMERALS IDENTIFYING THE (-) SPACE. ADDRESS NUMBERS PROMINENTLY DISPLAYED SO TO BE SAFELY IDENTIFIED WHILE DRIVING ALONG THE ADJACENT DRIVEWAYS OR STREETS. SIGNAGE NOTES:

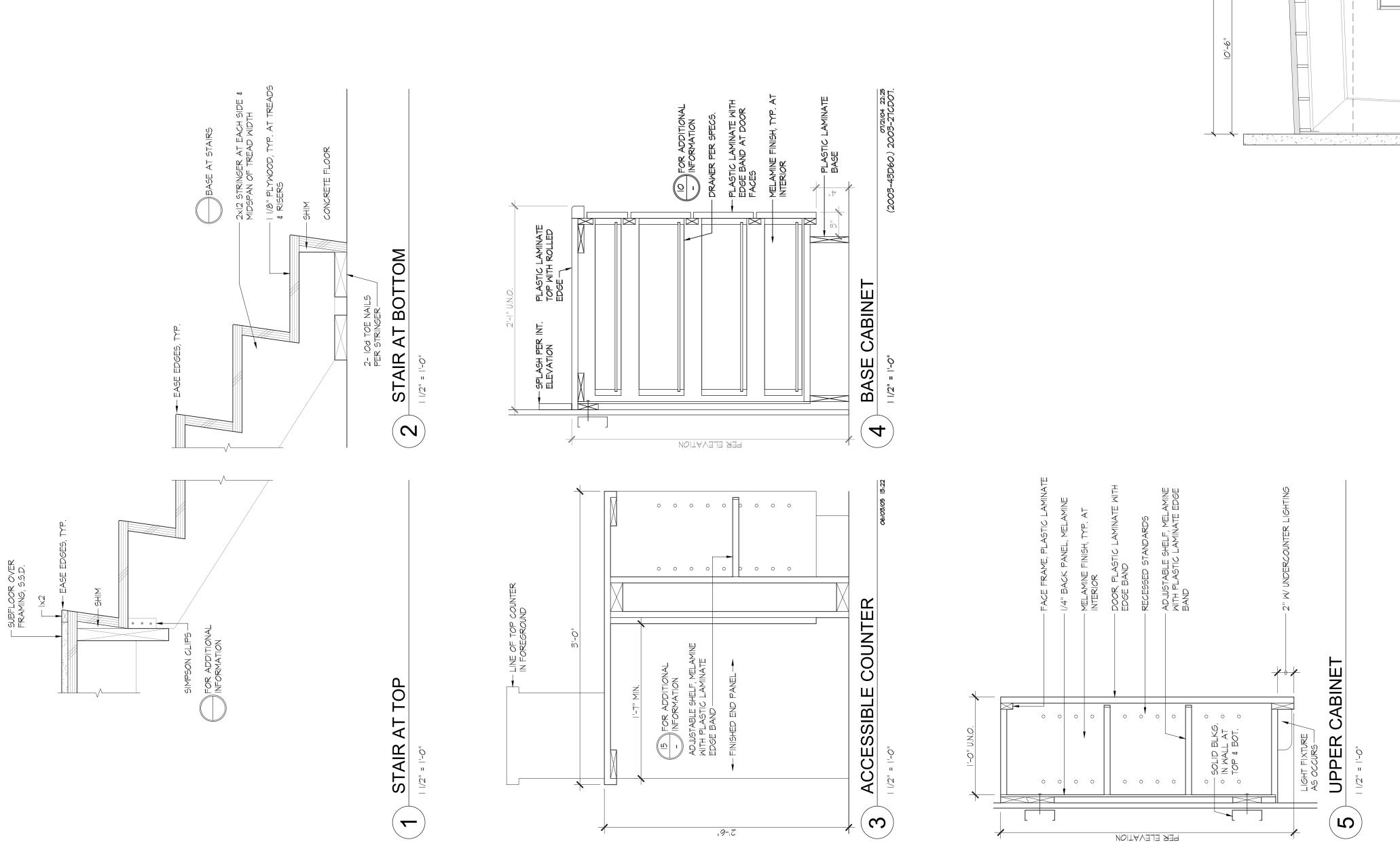


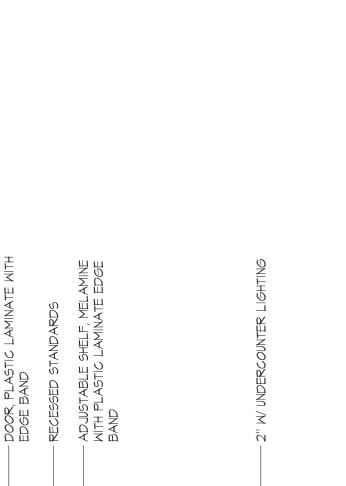






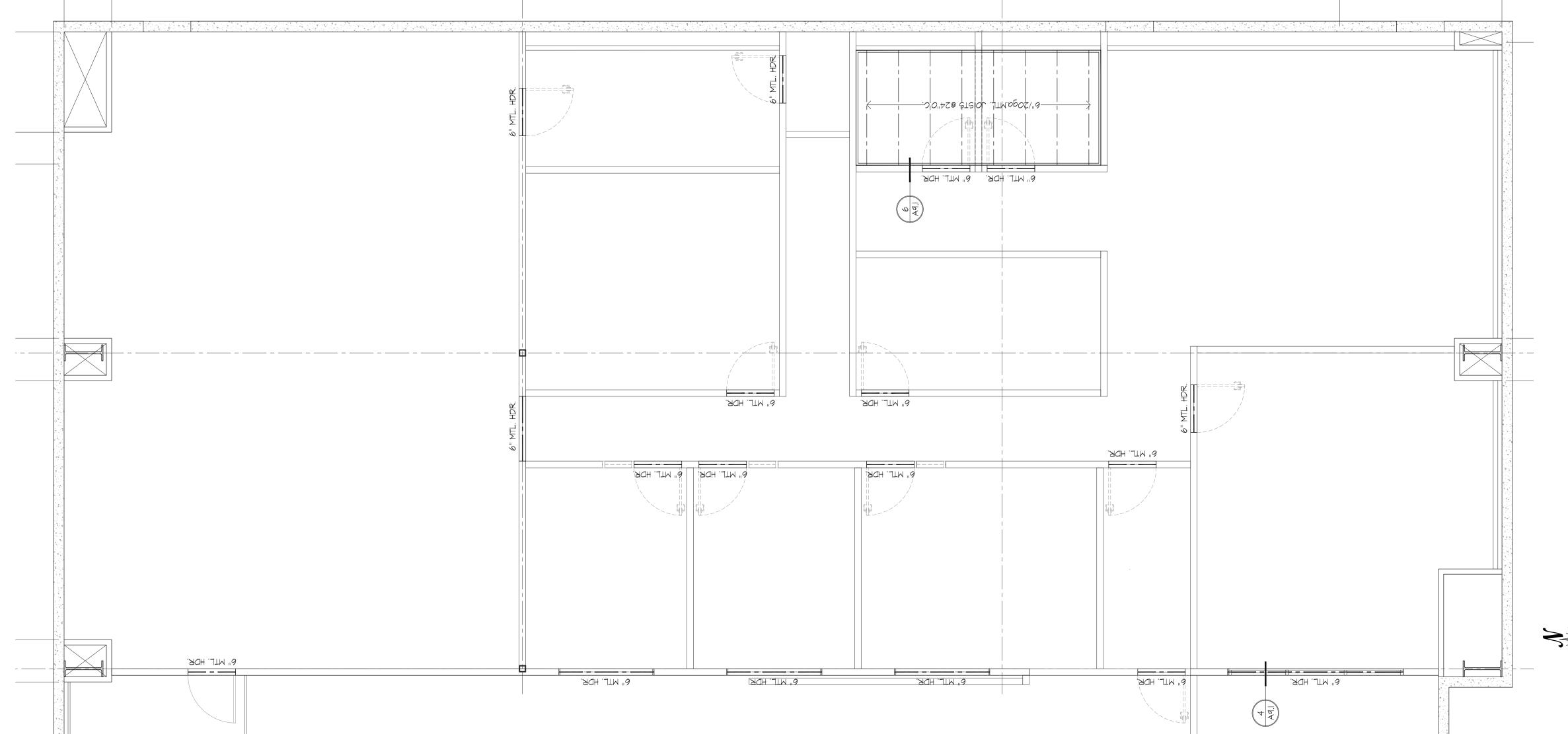




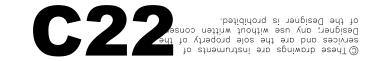






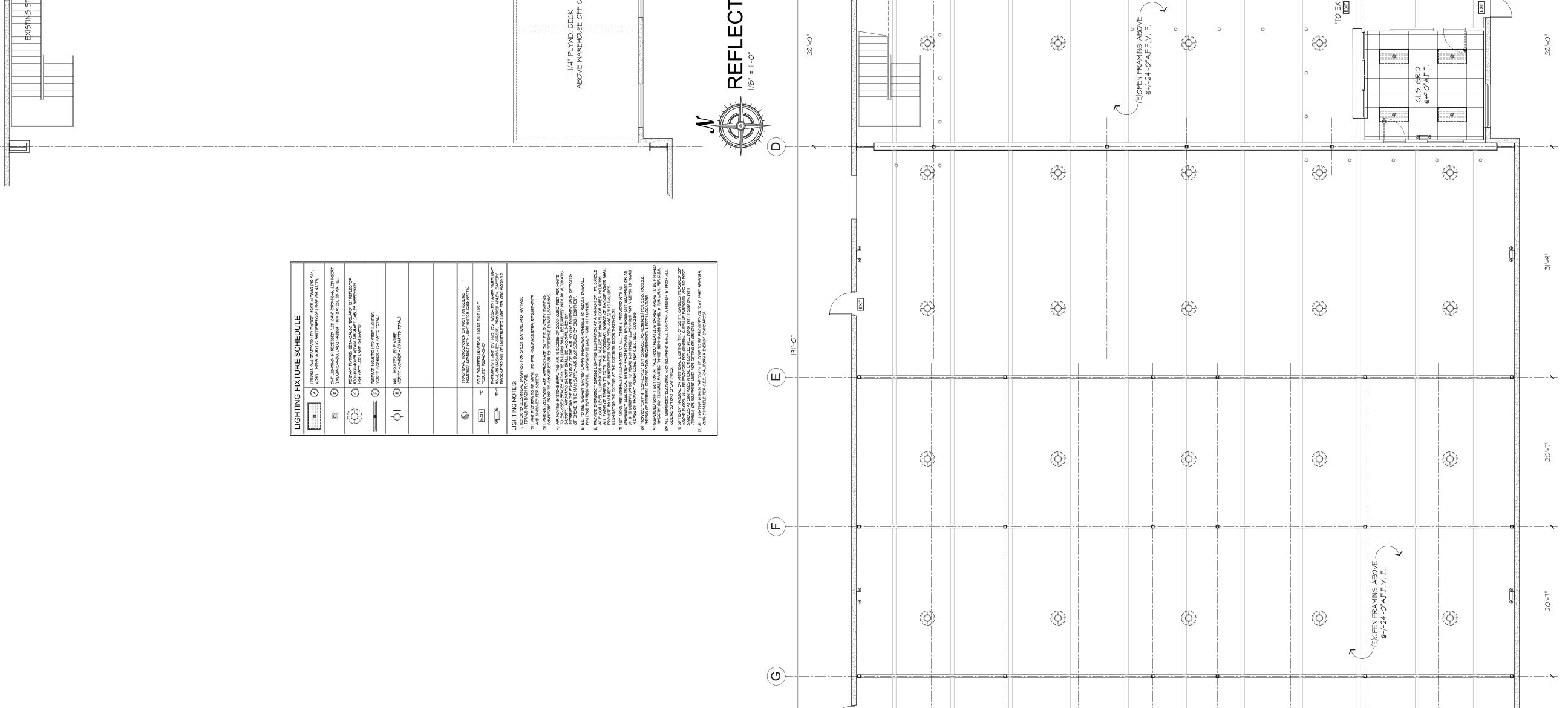


CEILING FRAMING PLAN - MEZZANINE



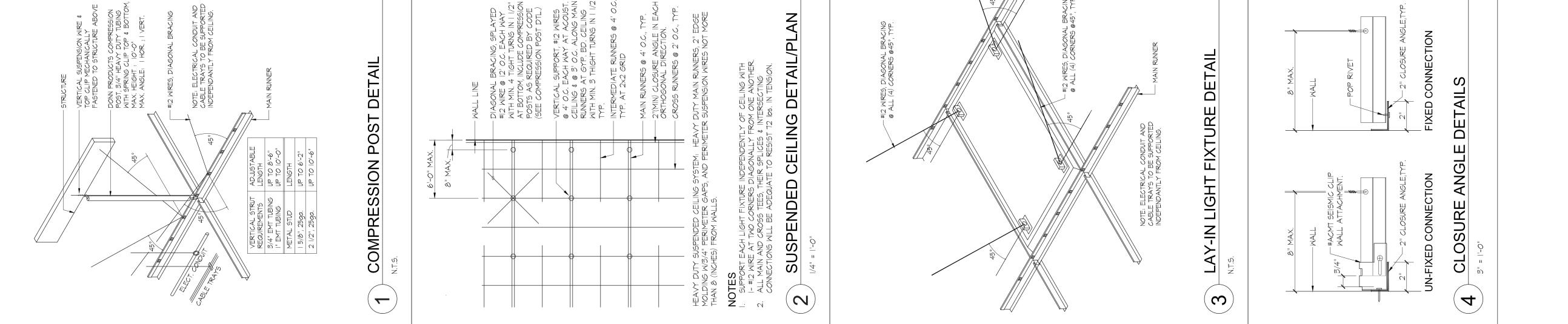
<section-header></section-header>	Laffette, CA 44544 (425) <i>8</i> 76-4134, (425) 260-3354 drewdanie1425@gmail.com X	HIGHER DIDLESSION AND AND AND AND AND AND AND AND AND AN	DESIGN TEAM Roy Anderson, P.E.	2337 Wyatt Court Santa Rosa, CA 95403 (707) 322-8403 / royanderson706@gmail.com RESTAURANT DESIGN VirTek DESIGN 4505 Pacific Street Farmington, NM 87401 (707)291-1512 Email: projectdesign2015@gmail.com SHET TITE	SHEET DATA SCALE AS NOTED SCALE AS NOTED DB. NO. BD-BLDG DRAW BF. BD-BLDG PLOT DATE. B/3/2020 PLOT DATE. B/3/2020
		EILING PLAN - MEZZANINE			CLG. GRID @+9'0"A.F.F. 20-3

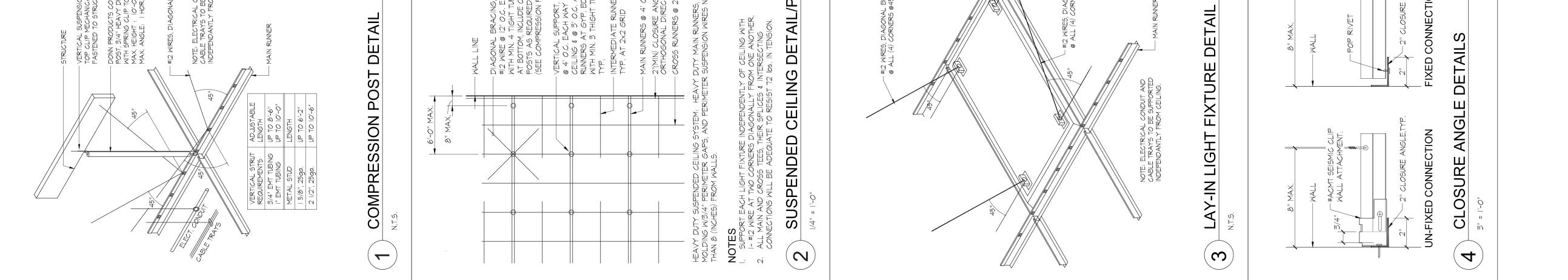
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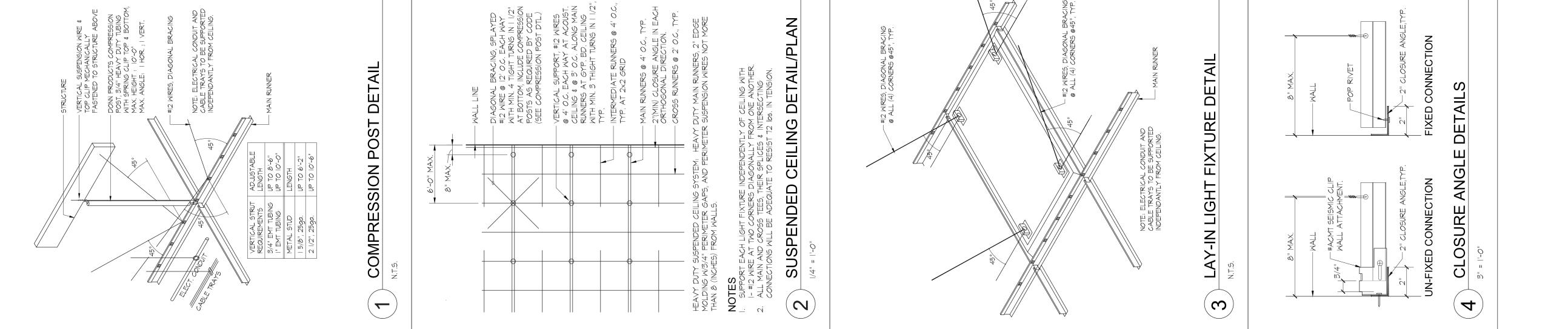


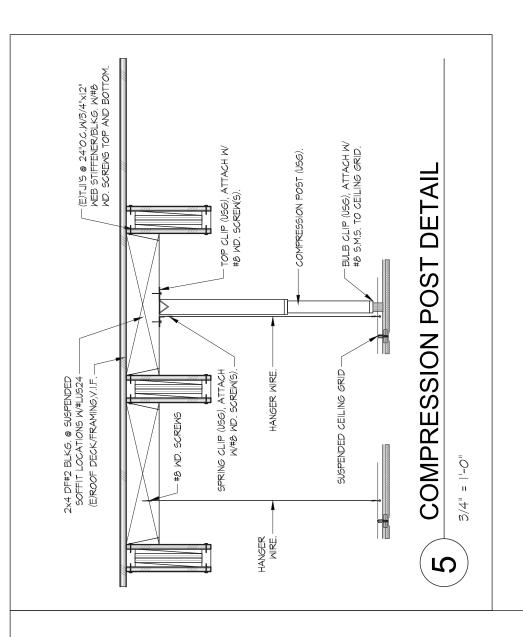
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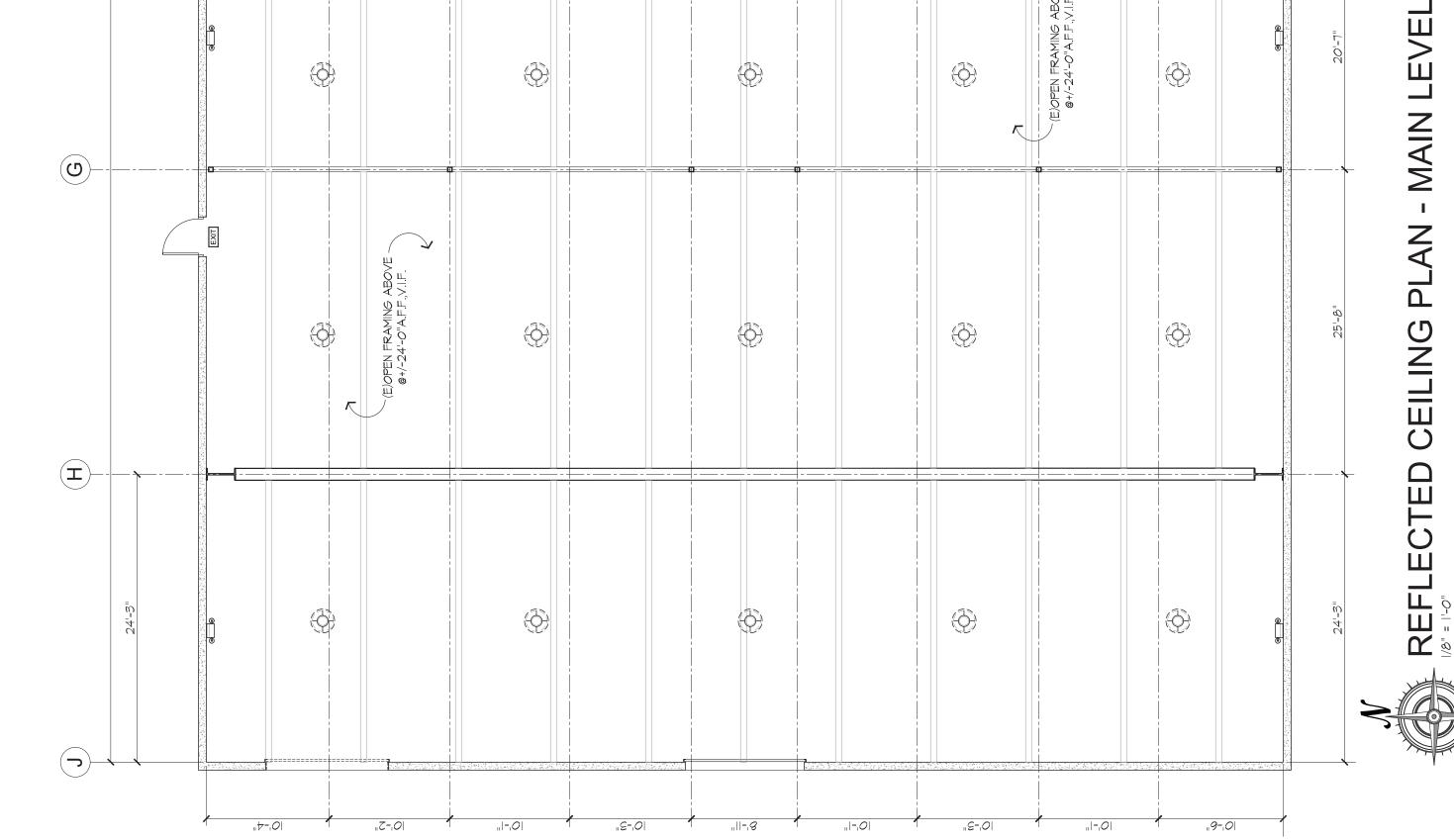
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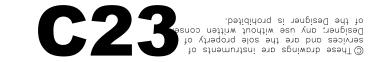




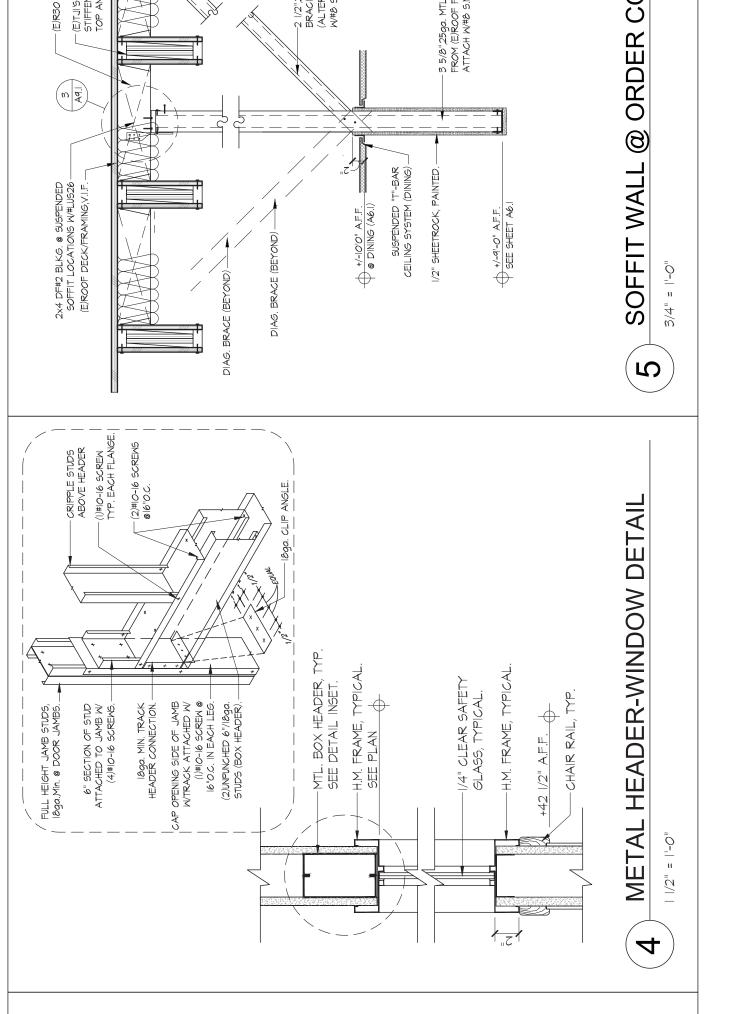








BIADCECT BIADCECTORIADONO BIADCECTORIADONO 1300 Verne Roberts Circle Antioch, California 9xx	PROJECT TEAM EENERAL CONTRACTOR: GENERAL CONTRACTOR: Drew Daniel Milan Milan	A CONTRACT OF CONT	DESIGN TEAM Roy Anderson, P.E.	<text><text><section-header><image/><image/><image/><text><text></text></text></section-header></text></text>	SHEET DATA SHEET DATA Scale as NOTE Cale as NOTE Cale be BD-BLDG Cale be BD-BLDG
	Suspended Soffit Suspended Soffit Suspended Soffit Subsection Hards France Subsection	44 HORLI. REBARICONTI,			
(E)R30 INSULATION (AS OCCURS). (E)TUI'S @ 24"0.C.W3/4"x12" MEB STIFFENER/BLKG. W#B WD. SCREMS TOP AND BOTTOM.	2 1/2"2064. MTL. CROSS BRACING @48'0.C. (ALTERNATING/ATTACH W#& S.M.S., TTP). M#& S.M.S., TTP). 3 5/8"25ga. MTL. STUDS SUSPENDED FROM (E)ROOF FRAMING @24"0.C. ATTACH W#& S.M.S./CROSS BRACING.	- WALL FER PLAN - HEADER - METAL FRAME & CASING - METAL FRAME & CASING - DOOR - DOOR (2003-43D23) 2003-27CDI4.			



DOUBLE JOISTS @ SUSPENDE SOFFITS & ALL-THREAD HAI SOFFITS & ALL-THREAD HAI
SIMPSON #H2.5 @48"O.C.
SIMPSON #H2.5 @48"O.C.
SLOTTED 0.C.
SLOTTED TOP TRACK, WID GAUGE TO MATCH STUDS, TO STRUCTURE PER OTHER DETAILS
STUDS PER PLAN OR DETA

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5 GYP. BD. J

/ JAMB

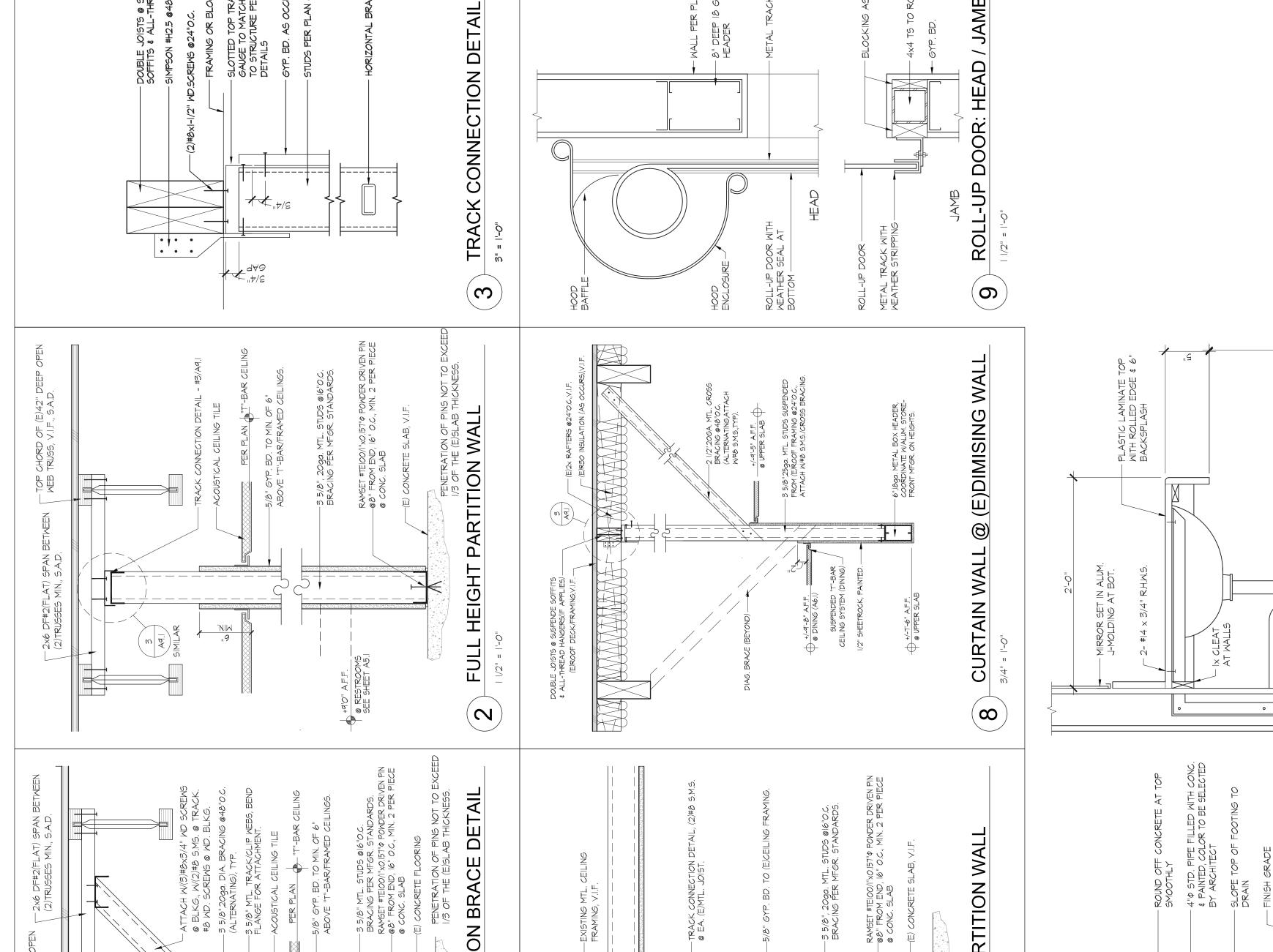
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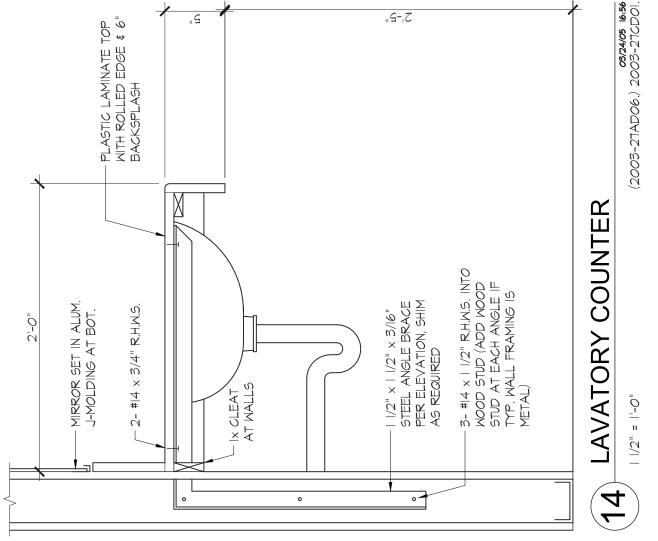
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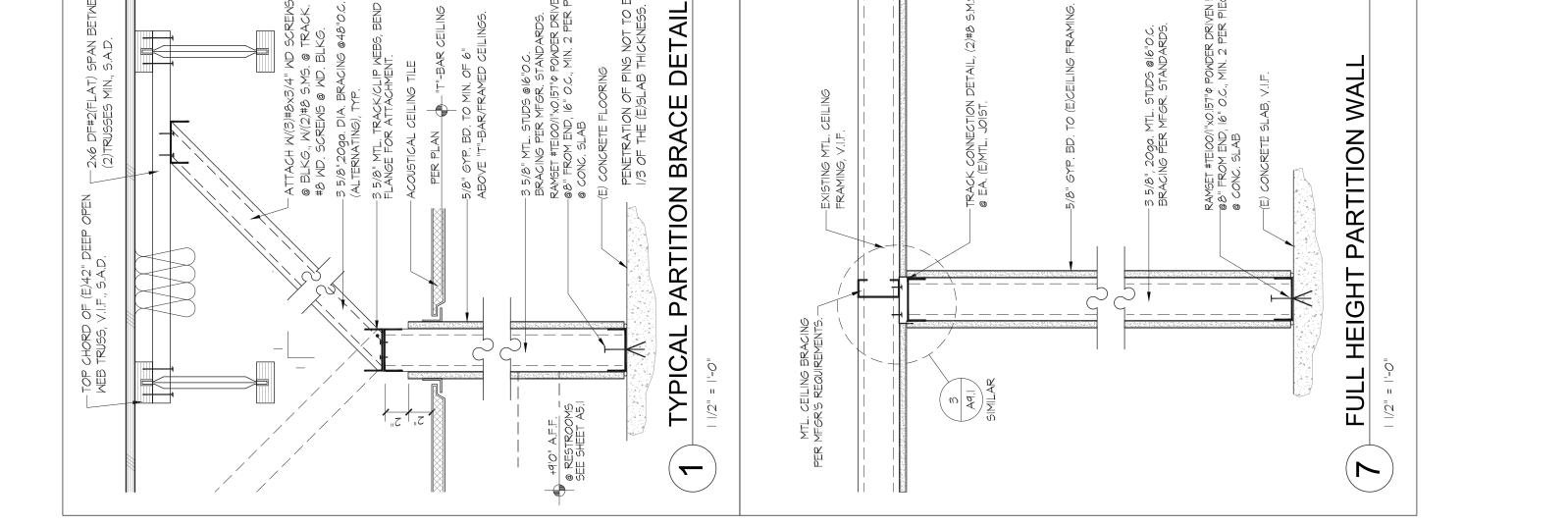
DOOR: HEAD 7

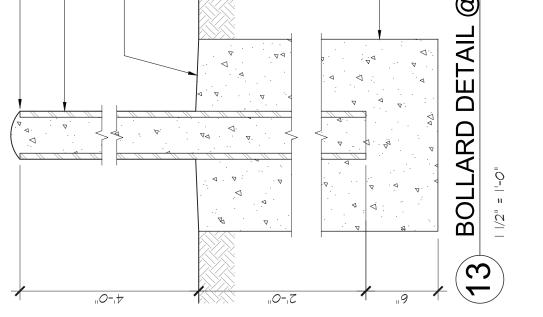


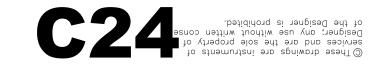


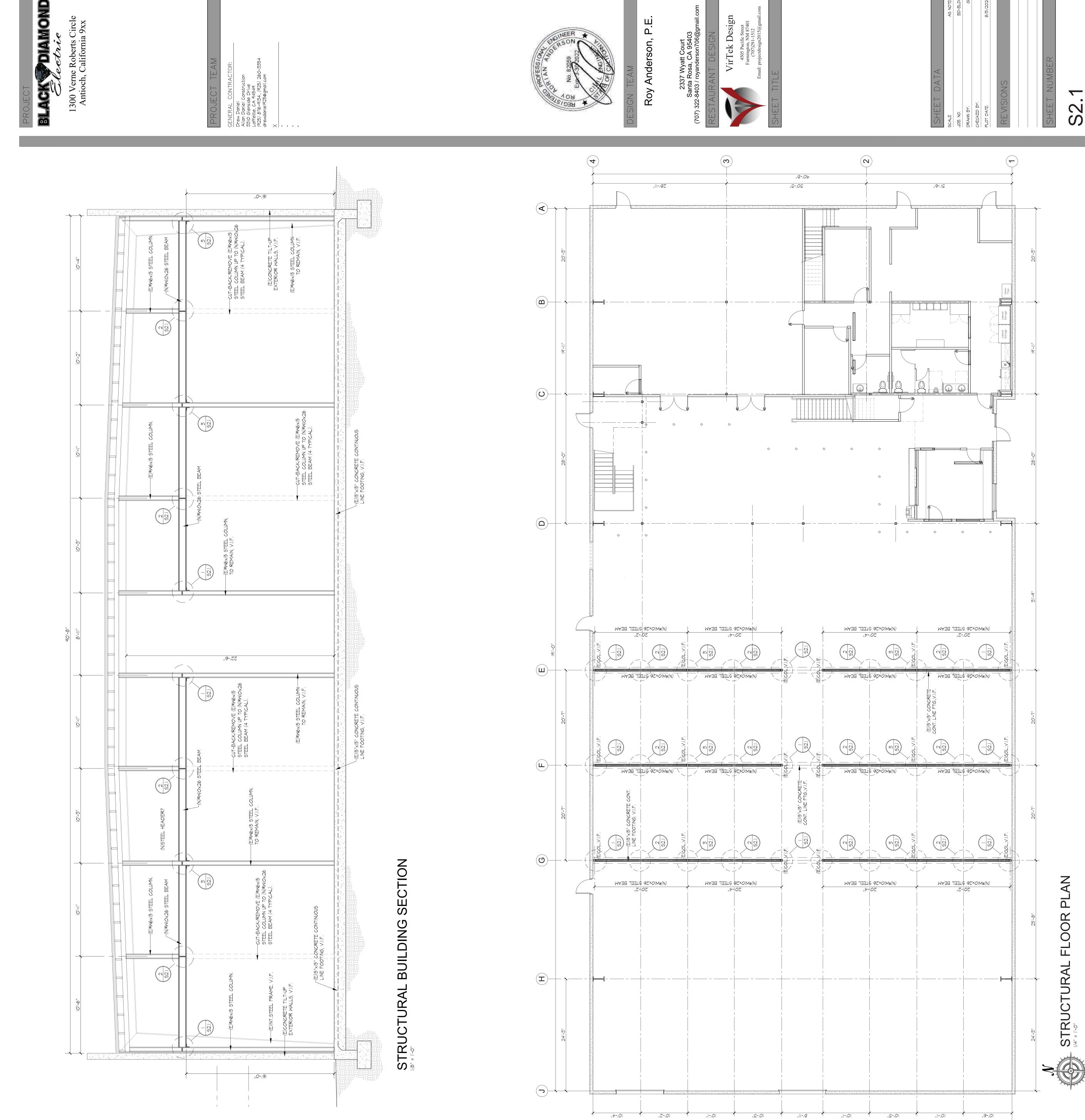
- SLOPE TOP -DRAIN

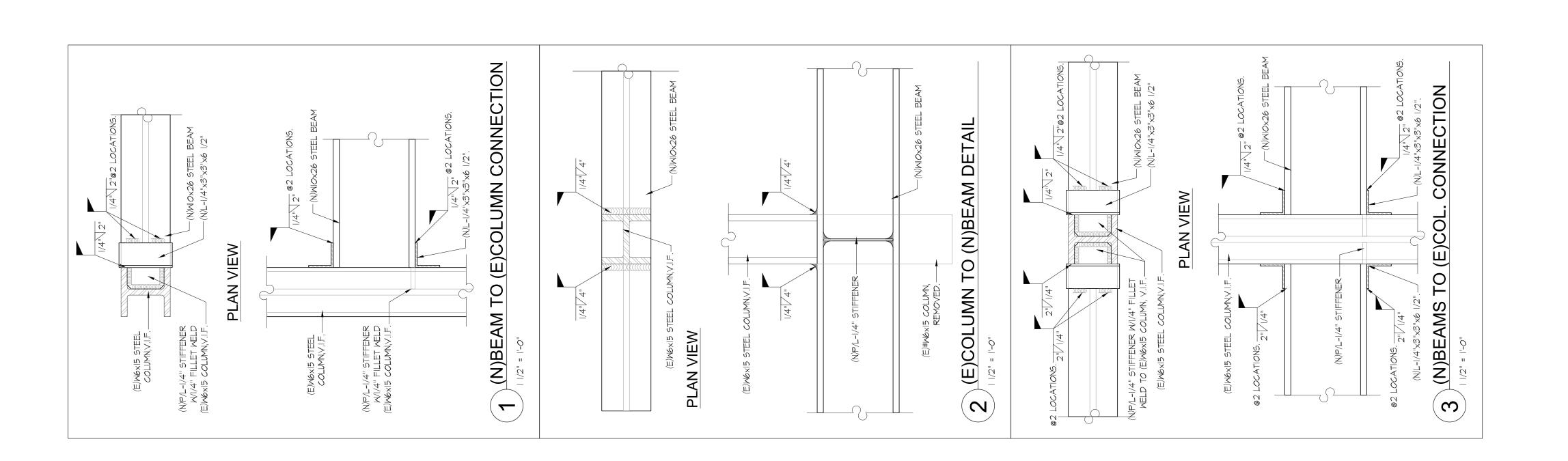
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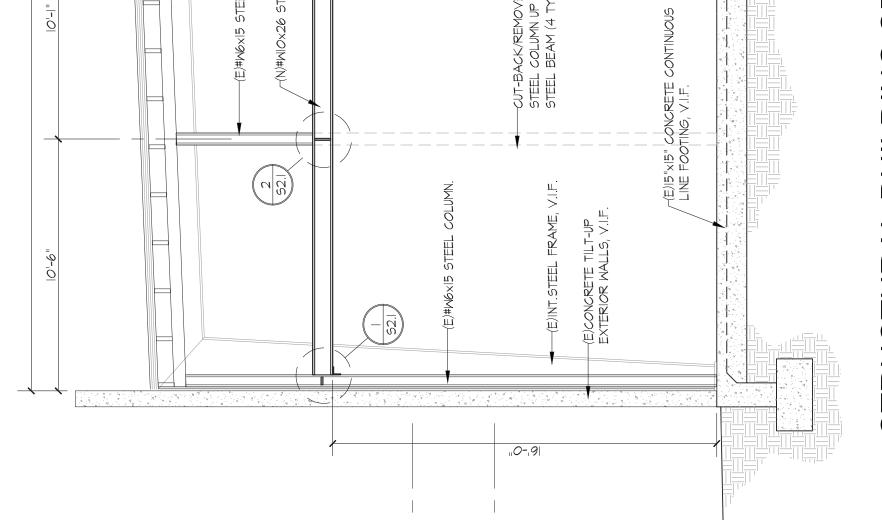






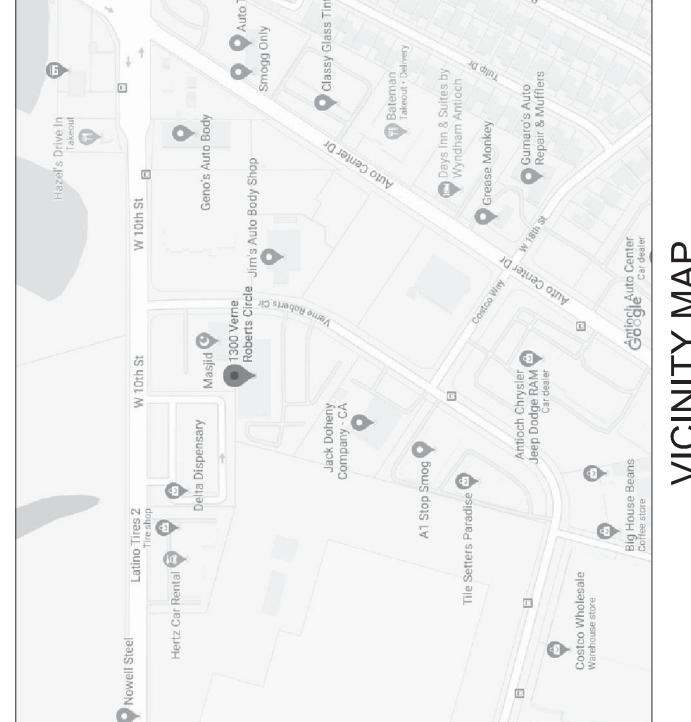








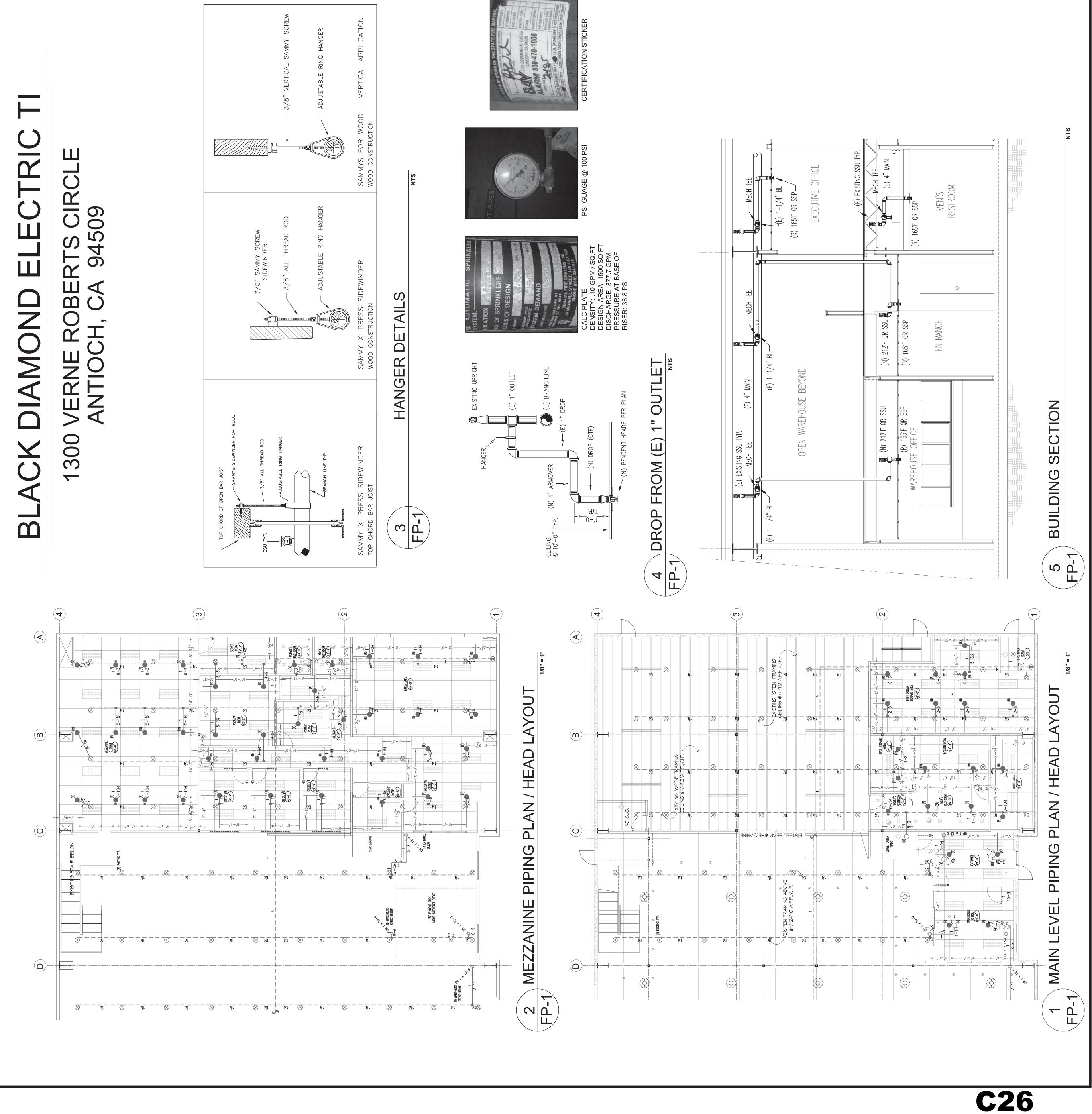
	PRC	PROJECT INFORMATION
PROJECT	Ţ	BLACK DIAMOND ELECTRIC T.I.
ADDRESS	SS	1300 VERNE ROBERTS CIRCLE
CITY		ANTIOCH, CA 94509
JURISDICTIO	ICTION	CONTRA COSTA CO. FIRE PRO. DIST.
SYSTEM TYPE	η ΤΥΡΕ	WET NPFA 13 (2016)
HEAD COUNT	OUNT	66
SQUARE	E FOOTAGE	1,807 (MAIN LEVEL) / 3,574 (MEZZANINE)
OCCUPANCY	ANCY TYPE	B (OFFICE)
CONSTR.	R. TYPE	TYPE V - "SPRINKLERED"
	G	GENERAL T.I. NOTES
1. DES	DESIGN AND IN	AND INSTALL PER NFPA 13 (2016)
	ALL MATERIAL	rerials shall be ul listed
3. ALL	REL	OCATED HEADS SHALL BE FED FROM EXISTING 1"
	TLETS OR N	OUTLETS OR NEW 1% " X 1" MECHANICAL TEES
4. ALI	- ARMOVER	ALL ARMOVERS TO BE 1" EDDY-THREAD SCHED 40
	MOVERS OV	ARMOVERS OVER 1'-0" SHALL BE HUNG PER NFPA 13 (2016)
6. REL	RELOCATED SF	TED SPRINKLERS SHALL BE NEW AND MATCH
		LIDRIGHT AND DENDENT SPRIKI FRS LID TO CODE
8. ALL	CEI	LING HEIGHTS ARE NOTED ON PLANS
	S(SCOPE OF WORK
1. REL	RELOCATE 61 F	TE 61 PENDENT SPRINKLERS TO ACCOMMODATE
NE/ SPF	NEW FLOOR AN SPRINKLERS.	NEW FLOOR AND CEILING PLANS. ADD 5 UPRIGHT SPRINKLERS.
		LEGEND
(R)	RELOCATE	RELOCATED 165°F QUICK RESPONSE SSP
(R) (R)	RELOCATE	RELOCATED 212°F QUICK RESPONSE SSP
(N)	NEW 200°F	NEW 200°F STANDARD RESPONSE SSU
(E)	EXISTING	STING 212°F STANDARD RESPONSE SSU

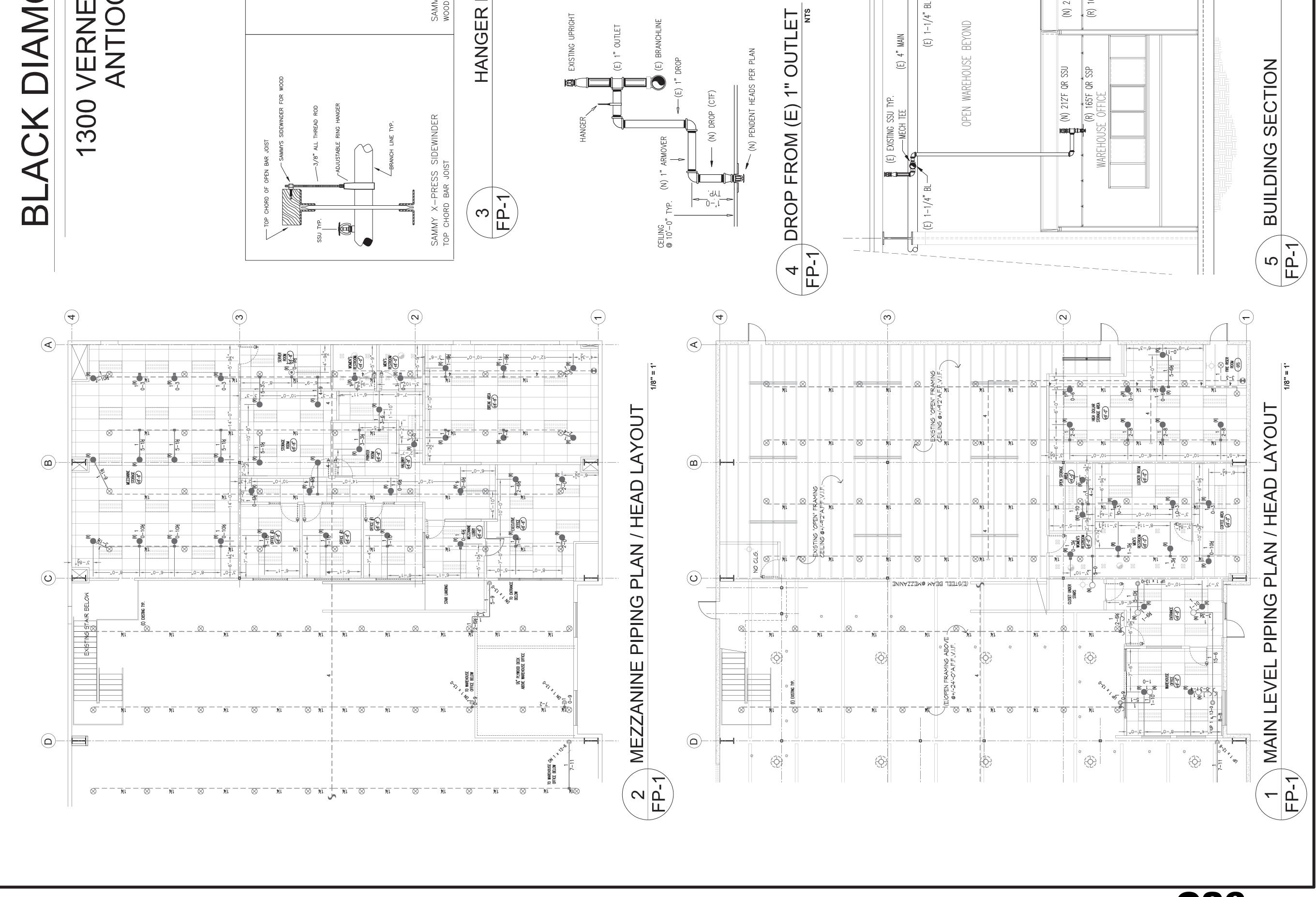


	Verne Roberts Cir		Verne Roberts Cir	4 40	
NTS	Land	6 -44 1 GREE FROM			SITE PLAN
	Real Property in the second	THE -		and the second	

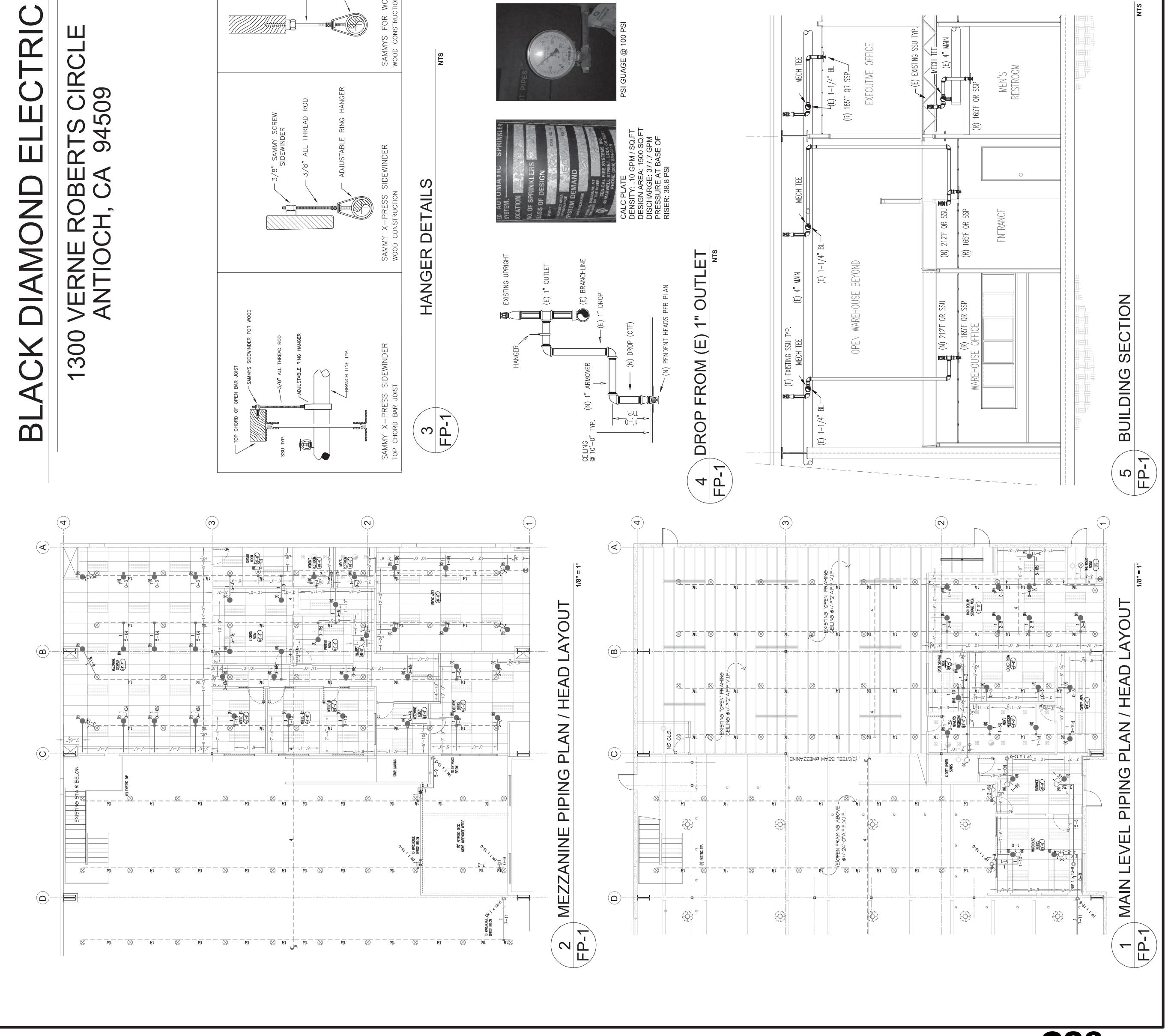
	<i>4</i>					98 :JATOT	TELEPHONE: (925) 941-3300	ELEPHONE: (925) 876-9134		Å Ö	N 24
-0 -0							ADDRESS: 4005 PORT CHICAGO HIGHWAY, STE. 250 CONCORD, CA 94520	ADDRESS: P.O. BOX 1092, LAFAYETTE, CA 94549			320-0-0-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1
14	÷						JURISDICTION: CONTRA COSTA CO. FIRE PRO. DIST.	ΝΟΙΤΟΥΤΟΚ: DREW DANIEL CONSTRTUCTION	CTION REPORT OF A CION REPORT OF A CION OF A C	BUR BUR BUR	
	0		F1FR56 RA1425	BRASS RELIABLE	UICK 2'6 500°F 1/2					S A L	
	σ		G5-56 RA3415	WHITE RELIABLE	OICK 2'8 515°F 1/2	I SSP C		ANTIOCH, O		AMUNG IS ANNOR IS ARANTER ARANTER ARANTER ARANTER ION IS THE ION ION IS THE I	
	4		G5-56 RA3415	" WHITE RELIABLE	UICK 2'6 165°F 1/2	09 OSP C		1300 VERNE ROF	E PR	THIS DR FIRE PRU AND IS GI AND IS GI B PROPEC B Y: ED B Y:	J J J J J J J J J
1/8	0, 5, 0, 5, -1, 0,		WODEF# SIN#	I	SPNS K-FAC TEMP SIZI	SYM. QTY TYPE R	D ELECTRIC TI	BLACK DIAMONI		PRAWN RAWN CHECKE	HEET HEET
		\sim		ND	SPRINKLER LEGE			:AMAN 801			σ σ σ

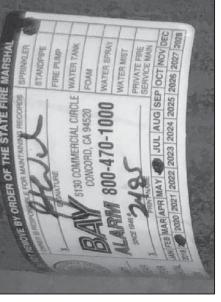
ELECTRIC CK DIAMOND





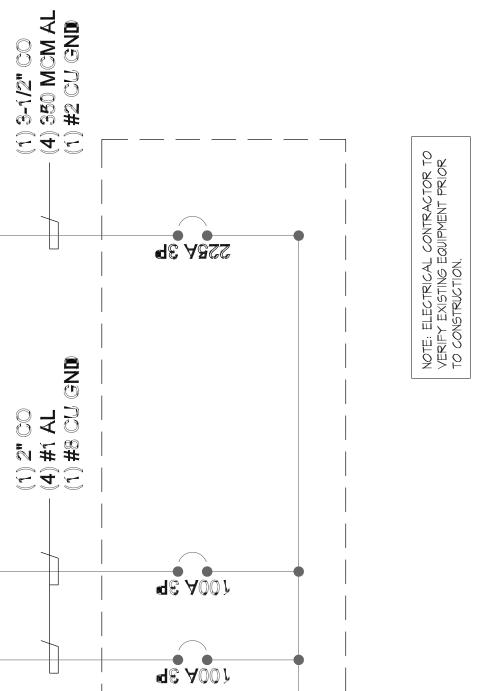






PROJECT Projection Projec	PROJECT TEAM CENERAL CONTRACTOR: Drew Daniel Then Daniel Allan Daniel Construction Silo Genside Drive Laffette, CA 44544 (925) pr6-4134, (925) 260-53544 drewdanie(925@gmail.com X	DESIGN TAM	2337 Wyatt Court Santa Rosa, CA 95403 7001) 322-8403 / royanderson706@gmail.com CENTANA DESIGN Contant Co	SHEET DATA SHEET DATA Scale As NOTED Scale As NOTED JDB. NO. BD-BLDG PRANN BY. BC PLOT DATE. B/S1/2020 PLOT DATE. B/S1/2020 SHEET NUMBER I
DULE: PANEL"HP-1"(A) TYPE: 208/120 v, 3 PHASE, 4 W. CIRCUIT LOAD BRKR. ADMINING: SERVING Ø A INS: 100 AMPS BRKR. CIRCUIT LOAD SERVING Ø A INS: 100 AMPS BRKR. CIRCUIT LOAD CONV. OUTLETS (#IO2) 1/150 I 20 A IN CIRCUIT LOAD TRIP Ø A IN CIRCUIT LOAD CONV. OUTLETS (#IO2) 1/150 I 20 A IN A IN CIRCUIT LOAD TRIP Ø A IN CIRCUIT LOAD CONV. OUTLETS (#IO2) 1/150 1 20 A IN A IN CIRCUIT LOAD TRIP A IN CINCUIT A IN A IN A IN	1 960 00 00 00 1 1 960 00 00 00 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	Schedule::PARETH-P2(b) Test in the second seco	Bervice conductors Service conductors	TeleTeleFind





E0.1

- ELECTRICAL SHEET NOTES:
 I. C.E.G. 408.4: EVERY CIRCUIT AND CIRCUIT MODIFICATION SHALL BE LEGIBLY IDENTIFIED AS TO CLEAR, EVIDENT, AND SPECIFIC PURPOSE OR USE. THE IDENTIFICATION SHALL INCLUDE SUFFICIENT DETAIL TO ALLOM EACH CIRCUIT TO BE DISTINGUISHED FROM ALL OTHERS.
 2. C.E.G. 210.4(B): EACH MULTIWIRE BRANCH CIRCUIT SHALL BE PROVIDED WITH A MEANS THAT MILL SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES.
 3. PROVIDE REQUIRED FIELD MARKINGS TO MARN QUALIFIED PERSONS OF POTENTIAL ELECTRIC ARC FLASH HAZARDS, PER 2016 C.E.C. #110.16.

 - ALL SWITCHBOARDS AND PANELBOARDS SUPPLIED BY A FEEDER SHALL BE MARKE TO INDICATE THE DEVICE OR EQUIPMENT WHERE THE POMER SUPPLY ORIGINATES.
 SERVICE EQUIPMENT SHALL BE LEGIBLY MARKED IN THE FIELD WITH THE MAXIMUM AVAILABLE FAULT CURRENT. THE FIELD MARKING SHALL INCLUDE THE DATE THE F, CURRENT CALCULATION AS PERFORMED AND BE OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED. Ó.
- 6. ARC FLASH PROTECTION IS REQUIRED, CEC #IIO.I6. FURNISH AND INSTALL ARC FLASH HAZARD WARNING LABELS ON THE FRONT OF SWITCHBOARDS, PANELS, MCCS ON OTHER THAN DWELLING OCCUPANCIES AND LIKELY TO REQUIRE EXAMINATION, SERVICING OR MAINTENANCE OF THIS EQUIPMENT. LABLES SHALL INCLUDE SEVERITY OF THE POTENTIAL EXPOSURE, THE HAZARD/RISK CATEGORY CLASSIFICATION, AND FLASH PROTECTION BOUNDARY, THE INCIDENT ENERGY IN CALORIES AND THE REQUIRED SELECTION OF PERSONAL PROTECTION, (AKA PPE) NEC/CEC IIO.I6, NFPA TOE.
 1. CIRCUIT BREAKERS ADDED TO EXISTING PANELS. CEC #IIO.9.
 3. ALL BRANCH CIRCUIT MIRING IN RACEMAYS SHALL BE PROVIDED WITH A PROPER SIZE COPPER (ECO NEC 250.122), COLOR CODED PER (NEC 250), INSTALLED IN RACEMAYS MITH THREADED OR COMPRESSION FITTINGS ONLY. THE USE OF CONDUIT AS A GROUND RETURN PATH IS UNACCEPTABLE, REFER TO "SOARS BOOK ON GROUNDING" 5TH \$ 6TH EDITIONS FOR FURTHER DETAILS. ARC FL, CC'S ON ON,
 - Ŀ.
- ALL ALL ALL COPF Ø.
- BEFORE OCCUPANCY PERMIT IS GRANTED FOR A NEMLY CONSTRUCTED BUILDING OR AREA OR NEW LIGHTING SERVING BUILDING AREA, OR SITE IS OPERATED FOR NORMAL USE, ALL INDOOR & OUTDOOR LIGHTING CONTROLS SERVING THE BUILDING AREA OR SITE SHALL BE CERTIFIED AS MEETING THE "ACCEPTANCE REQUIREMENTS" FOR CODE COMPLIANCE IN ACCORDANCE WITH SECTION 130.4 ALL "CERTIFICATE OF ACCEPTANCE FORMS" SHALL BE SUBMITTED TO THE ENFORCEMENT AGENCY UNDER SECTION 10-103(a) OF PART I THRU 7(c).

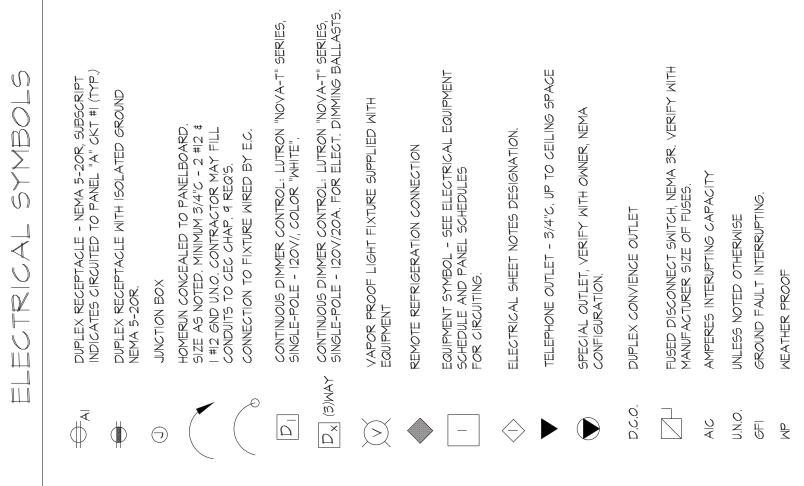
- WP1

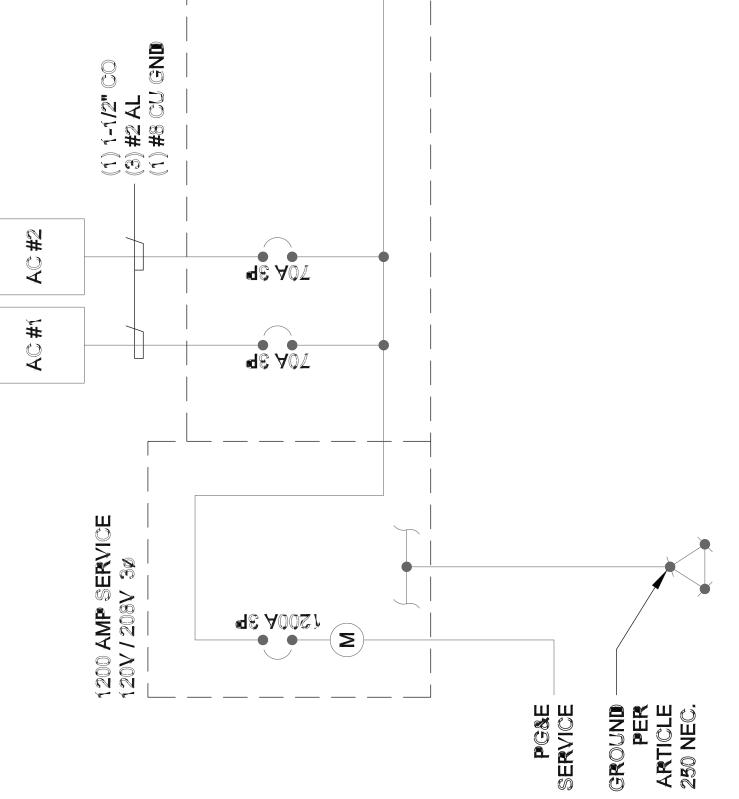
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- NOTE: ALL ELECTRIC CIRCUITS AND EQUIPMENT OPERATING FOR MORE THAN 3 HOURS TO BE RATED FOR "CONTINUOUS USE".

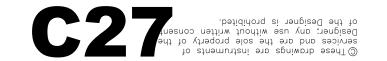
GENERAL NOTES

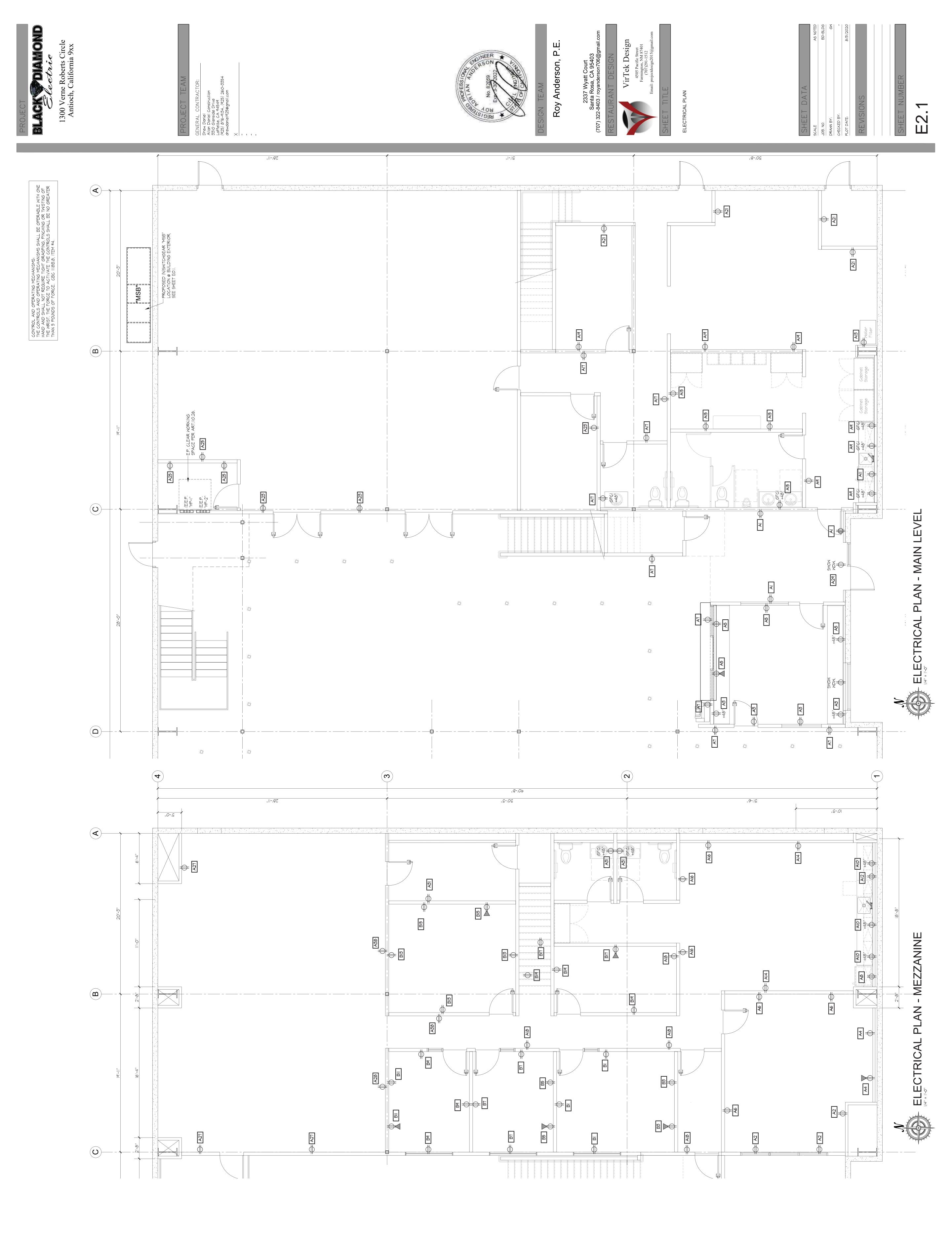
- NCE WITH THE 2016 C.E.C. I. ALL WORK SHALL BE DONE IN ACCO AND LOCAL ORDINANCES.
- ALL WIRING UNLESS NOTED OTHERWISE SHALL BE IN CONDUIT. MINIMU SIZE SHALL BE 1/2" ELECTRICAL METALLIC TUBING {EMT} WITH 2 #12
 1 #12 GROUND {THIN}, 600 VOLT COPPER.
 ALL CONDUIT PENETRATIONS OF FIRE RATED WALLS OR FLOORS SH BE FIRE STOPPED PER APPROVED UL LISTED METHOD.
- 5. CONTRACTOR SHALL PROVIDE A FULLY SUPERVISED FIRE ALARM SMOK DETECTION SYSTEM AS APPROVED BY STATE FIRE MARSHALL AND LOCAL FIRE INSPECTION AUTHORITY. FIRE ALARM SYSTEM SHALL BE A DEFERRED APPROVAL ITEM. PROVIDE COMPLETE FIRE ALARM PLANS AND SHOP DRAWINGS WITH CALIFORNIA STATE FIRE MARSHAL LISTING NUMBERS FOR APPROVAL BEFORE CONSTRUCTION BEGINS. 4. CONTRACTOR SHALL NOTIFY ARCHITECT AND ENGINEER IF QUESTIONS ARISE DUE TO CONFLICTS WITH DRAWINGS AND ACTUAL FIELD CONDIT
 - 6. CONDUITS AND ELECTRICAL DEVICES SHALL BE MOUNTED TO STRUCTUR ACCORDING TO OSHPD PRE-APPROVED ANCHORING METHODS, SMACNA GUIDELINES OF NUSIG STANDARDS.
 - ELECTRICAL CONTRACTOR TO PROVIDE POMER DROP FROM CEILING AND THRU CABINETRY TO EACH PIECE OF EQUIPMENT AS NEEDED. VERIFY ANY ADDITIONAL EQUIPMENT, CONV. OUTLETS, ECT. W/OWNER.
- TION BOXES SHALL BE LOCATED IN AN ACCESSIBLE LOCATIOI 1ANENTLY INSTALLED EQUIPMENT SHALL BE HARD WIRED. 8. ALL PERM.

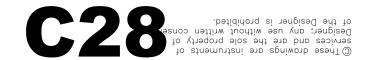


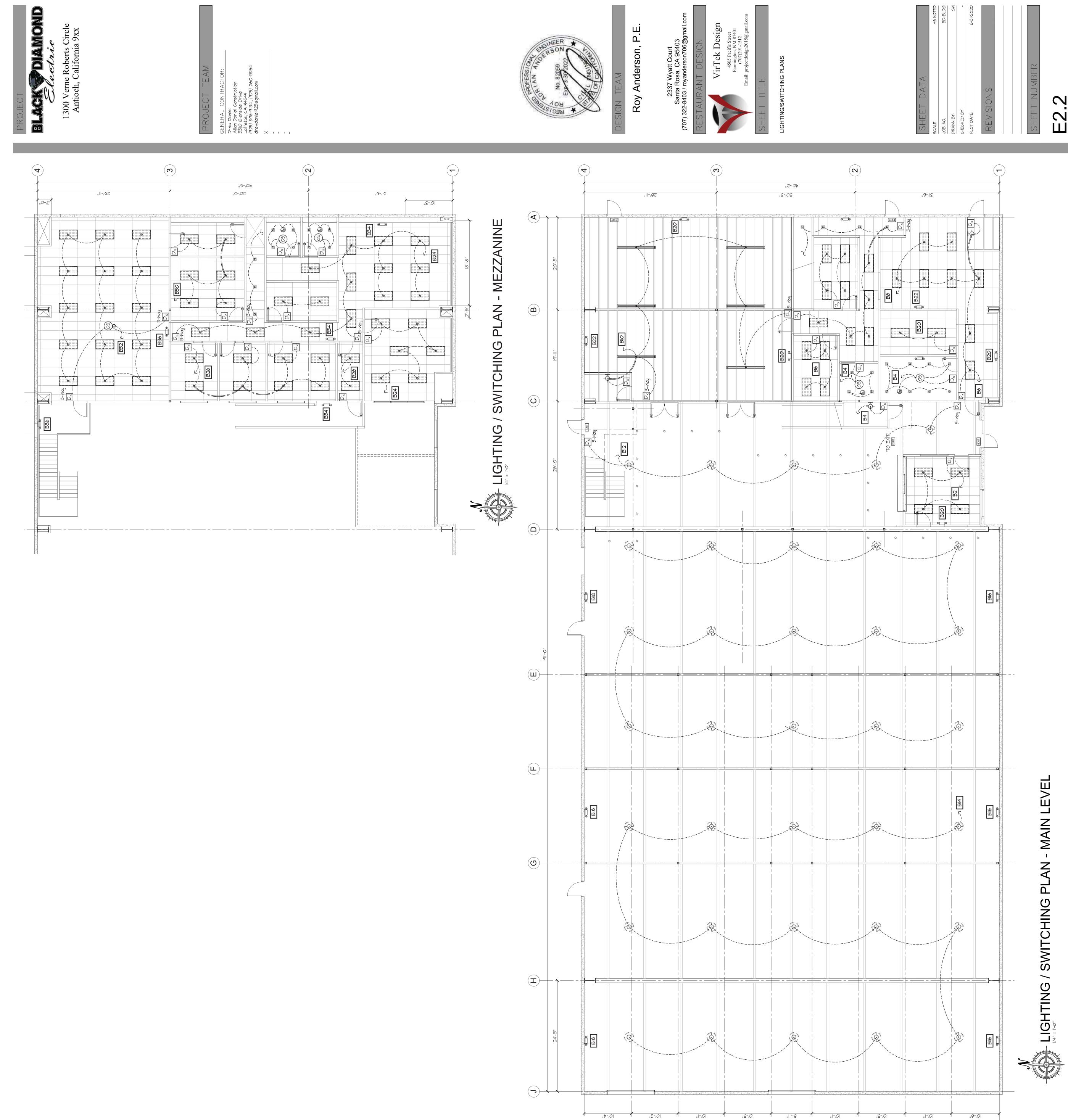


SINGLE LINE DIAGRAM

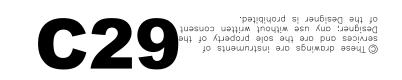




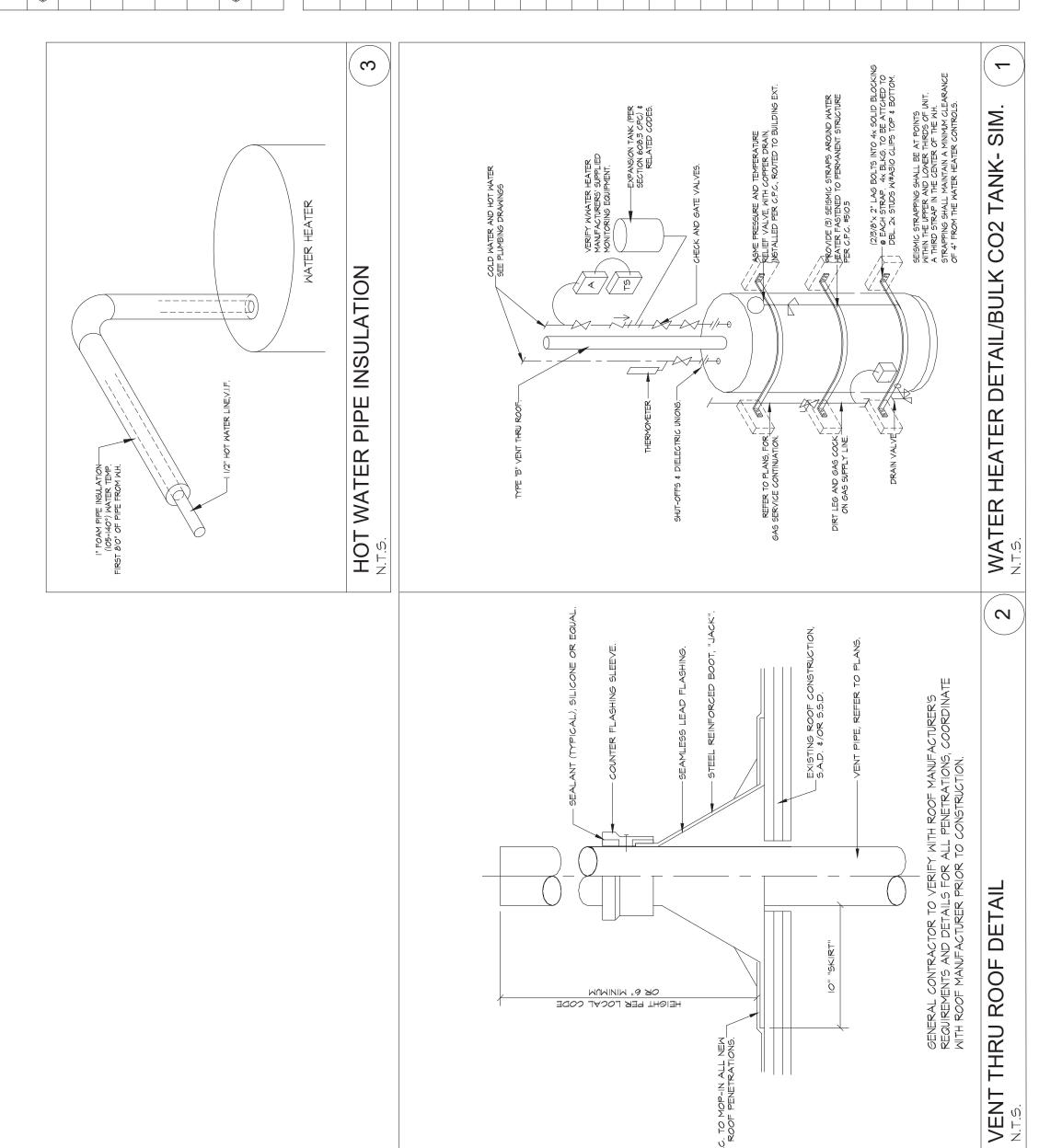




LIGHTING FIXTURE SCHEDULE	LITHONIA 224 RECESSED LED FIXURE: #26714LP940 (OR SIM) 4290 LIMENS, ACRYLIC SHATTERPROOF LENSE (34 WATTS).	DMF LIGHTING: &' RECESSED "LED C.M" (DRONG-4) LED INGERT (DRD2M-IO-4-30, DRD21-R6BBK TRIM (OR EQ.) (15 WATTS).	PENDANT FIXTINE: BETA-CALCO "BELARO" 12" REFLECTOR \$20-1801-40-FR WITWIN AIRCRAFT CABLES SUSFENSION, 1-54 WATT LED LAMP (54 MATTS).	SURFACE MONTED LED STRIP LIGHTING. VERIEY WOWNER - (54 MATTS TOTAL).	WALL MONTED LED FIXTURE VERIEY WOWNER - (IS WATTS TOTAL).		FRACTIONAL HORSEPONER EXHAUST FAN (CEILING MOUNTED). CONVECT WITH LIGHT SWITCH. (200 MATTS).	SELF POWERED UNIVERSAL MOUNT EXIT LIGHT "SOLITE" #2040-01-10.	ENERGENCY LIGHT (2V. M/2) (2V. ACCULED LANES "SURELIGHT" *C.H.; ON IN-SMICHED CIRCUIT. PROVIDED W4.8V. BATTER BACK-JP/90 MIN OF UNINTERUPTED LIGHT PER CBC #1009.5.2.	IGHTING NOTES: I) REFER TO ELECTRICAL DRAWINGS FOR SPECIFICATIONS AND WATTAGE TOTALE POR EACH FINTURE: 2) LIGHT FIXTURES TO BE INSTALLED FER MAUFACTURENS' REQURENENTS AND SWITCHED PER CODE(S). 2) LIGHT BLOCATIONS ARE REPROSINANTE ONLY, FIELD VERIFY EXISTING COMPILIABLE CONSTRUCTION TO DETERMINE EXACT LOCATIONS.	AR NOVING SYSTEMS SUPPLYING AR IN EXCESS OF 2000 CUBIC FEET FER NINUTE TO ENCLOSED SPACES WITHIN THE BUILDING SHALL BE EQUIPPED WITH AN ANTOWARTIC SUPPLY-INCHART SHALLE ACCOMPLIEND BY INTERCENTING THE POLY OF THE AIR NOVING EXUIPARTIT UPON DETECTION OF SMOKE IN THE NANI SUPPLY-AIR DUCT SERVED BY SUCH EXUIPART.	EL. TO LEE TREPOR SAVINE COORDING WITH ONEELCE OVERALL WATTAGE FOR RESTARANT. COORDING INTH ONEELCE OVERALL REVOLGE FOR RESTARANT. COORDING ILL LOCATIONS WITH OWER CE AT FLOOR LIPCL LLUMMINTON SHALL INCLUER THE AND RECORD RATE NOLLONG ALL PATHODE LIPCLILLING SHALL INCLUER THE AND RECORD RATE SOUNDER S	ENTERPORTE DE L'ANTRO TRE L'ALLANDANCE DE L'ALLANDANCE DE MITH AN ENTERIER ARE NORMALLY ILLANDANTED AT ALL'INÉE & PROVIDED MITH AN ENERGENCY ELECTRICAL SYSTEM FROM STORAGE BATTERIES INIT EQUIMENT OR AN ON-SITE GREENANCE SETT OL INEURE CONTRUED ILLIUMENTIN' FOR ATLEVET 15 HORES IN CASE OF FRUMARY PONER LOGS, FRE JEG. 55C, 1003-225.	b) PROVIDE "EXIT" & "LOW-LEVEL" EXIT SIGNAGE (AS REQUIRED) PER C.B.C. 1003.2.8. "NEANS OF EGRESS' IDENTIFICATION REQUIREMENTS & BOTH LOCATIONS. 31 SUSPENDED SOFFIT EXITTOM AT "ALL I FOOD REI ATED/STORAGE" AREAS TO BE FINISHED	"SYOOTH" (NO TEXTIRE), PAINTED "MHITE" SEMI-GLOSS ENVELL © 10% L.R.V. FER D.E.H. D.ALL SUFFDEDE DUCTWORK AND EQUIPMENT SHALLSLANDTAN A MINIMAM 6" FROM ALL D'ALL SUFFDEDE TOXANGRA AND EQUIPMENT SHALLSLANDTAN A MINIMAM 6" FROM ALL	OLIVIATION OF ALL TO THE TOTAL LIGHTING (MIN. OF 20 FT, CANDLES NEAGRED 30' MORENT MATIRAL OR ARTIFICIAL LIGHTING (MIN. OF 20 FT, CANDLES NEAGRED 30' ABOVE FLOOR) MILL RE REPORTED FOR REVERAL LIEAMLE PREPORES AND 50 FOOT CANDLES AT SURPACED HARE EPILOPTED AILL NORK. INTH FOOD OR MITH UTBOLES OR EQUIPMENT USED FOR CUTTING OR GRAINDING. UTBOLES OR EQUIPMENT USED FOR CUTTING OR GRAINDING. 20 JALL LIGHTING MITH. IN TH "D'ALTI" TO TO DE REVOLUED AN 'DAYLIGHT' SENSORS, 20 JALL LIGHTING MITH. AT EVEL TO DE REVOLUED AN 'DAYLIGHT' SENSORS, 20 MANAGUE FER C.E.G. (CALIFORMA EDEREOF STANDARDS).	K CEG. (CALITCKNA ENERGI BLANZAJD).
0	$\overline{\langle}$		\odot	ຝ	<u> </u>			"×	ĒM	TO THE PLANE	E A A A A A A A A A A A A A A A A A A A		MARCH NO	L SESC			2
LIGHTIN	0	O	Ð	•	- .		9	EXIT	0 0	LIGHTING NOTES: I REFER TO ELECTRICAL E TOTALS FOR EXCHINIC TOTALS FOR EXCHINIC TOTALS FOR EXCHINIC AND SWITCHED FER COD AND SWITCHED FER COD 2) LIGHTING COCATIONS AR 2) LIGHTING COCATIONS AR 2) LIGHTING COCATIONS AR		5) E.C. TO USE "EN WATTAGE FOR 6) PROVIDE EMER AT FLOOR LEV ALL PATHS OF PROVIDE OF PROVIDE OF PATHS OF	1) EXIT SIGNS ARE EMERGENCY EL ON-SITE GENER IN CASE OF PR	 B) PROVIDE "EXII "MEANS OF EG 4) SUSPENDED SC 	"SMOOTH" (NO IO) ALL SUSPENDE	II) SUFFICIENT NAT ABOVE FLOOR CANDLES AT 5 UTENSLES AT 5 UTENSLES OR EE 12) ALL LIGHTING M	100% NEW 10

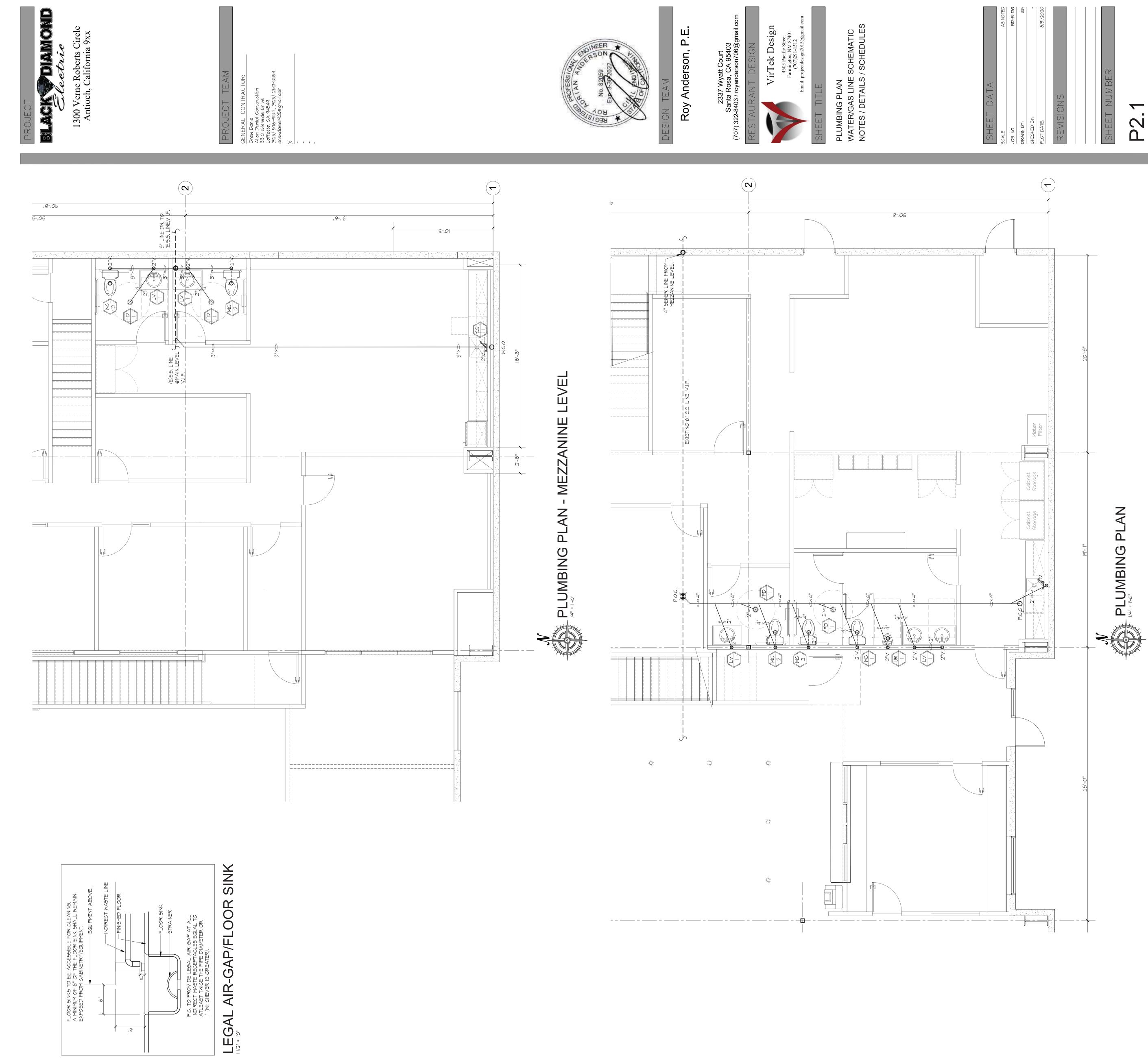


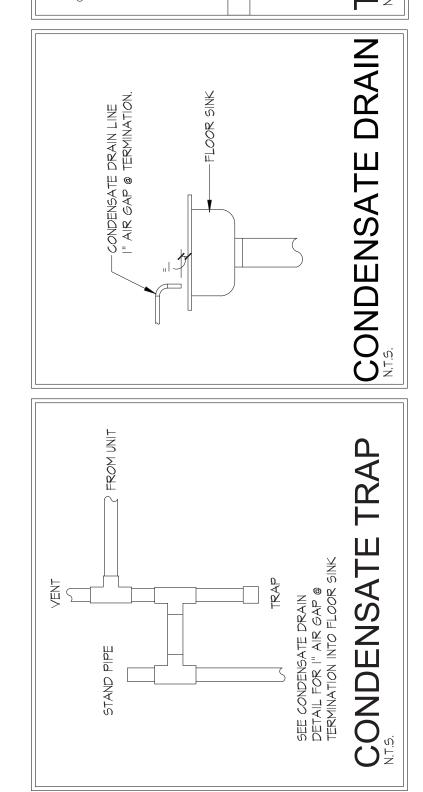
BIRDECT BIRDECTON BIRDECTON	PROJECT TEAM GENERAL CONTRACTOR: Deve Daniel Drew Daniel Allan Daniel Silo Glenside Drive Laffeite, CA 9454a q25) Br6-all34, (925) 260-3354 Arewaaniel(2560gnal.com X - - -	HUNDER SON HUNDERSON SSELAR ON SSELAR ON SSELA	DESIGN TAM Proprint State Proprint State Safat Rosa, CA 95403 Tor) 322-8403 / royanderson/06@gmail.com Safat Rosa, CA 95403 Tor) 322-8403 / royanderson/06@gmail.com Proprint State Rosa, CA 95403 Tor) 322-8403 / royanderson/06@gmail.com Proprint State Rosa, CA 95403 Tor) 322-8403 / royanderson/06@gmail.com Proprint State Rosa, CA 95403 Tori State Rosa, CA 95403 Tori State Rosa, CA 95403 Proprint State Rosa, Rosa, Rosa, CA 95403 Proprint State Rosa, Ros	SHEET DATA SHEET DATA Scale a noted
	PLUMBING SCHEDULE DESCRIPTION DESCRIPTION DESCRIPTION DESCRIPTION DESCRIPTION DESCRIPTION ALL PLUMBING FIXTURES "MATTER USE LIMITS" TO BE IN COMPLIANCE MITH 2016 COBSC 45:303:3. LAVATORY: MOLDED BASIN'SOLID SURFACE COUNTER/VAO". IB*X3" OVAL. FAUGET: NOULLER TRITION NECTORES. INALIA DE RERVOSTATIC MINING VALVE. METTINON NECTORES. INALIA REPERTICE MINING VALVE. METTINGN SEED CONTREDURENCINS. SHALL BE "SELF-CLOSING" OR SELF-CLOSING OF REDIRING" AND NAMIN OF 0.20 GALLON MATTER HEATER MINING VALVE. METTINGN SEED CONTREDURENCINS. SHALL BE "SELF-CLOSING" OR SELF-CLOSING OF REDIRIVES IN ADJISTABLE MAX. TEMP. SETTING MINING VALVE. METTING" SETIOR REDURENCINS. SHALL BE "SELF-CLOSING" OR SELF-CLOSING OF REDIRING" MANNINM OF 0.20 GALLON MATTER HEATER MINING VALVE. TERRING" SADE LONG ROUTINED, MILON MATTER HEATER MINING VALVE. TERRING" SADE INCOMENTIAL ADJISTABLE MAX. TEMP. SETTING PREX CALERRENG" SADE A PUBLIC LAVS. FAUCET MITH ADJISTABLE MAX. TEMP. SETTING MATER CLOSET. INCOLER (128 GAL. FER FLUGH MAX. C.P.C. 4403 21.0C095 44.303.11). MATER CLOSET. INCOLER TAD. A. 1 TILLE 24 COMPLIANT HEIGHT. DERVIETENT TELENT ADA. A. 1 TILLE 24 COMPLIANT HEIGHT. DERVIETENT TELENT ADA. A. 1 TILLE 24 COMPLIANT HEIGHT. DERVIETENT TELENT ADDIRED ADA. 1 TILLE 24 COMPLIANT HEIGHT. DERVIETENT TELENT ADDIRED ADA. 1 TILLE 24 COMPLIANT HEIGHT. DERVIETENT TELENT ADDIRED ADA. 1 TILLE 24 COMPLIANT HEIGHT. DERVIETENT TELENT ADA. D. 2. 24P MALL HYNDRART AN INFERRAL. VACUM SEEALER, BRIGHT CHOORE ENC. PLANT HYNDRART AN INTERRAL.	EAL TRAP WHERE INDICATED ON DWG) EAL TRAP WHERE INDICATED ON DWG) IL, NO. ZN-3 HALF-CRATE, WHITE BAKED TIC RESISTANT FRES		HOT MATER RISER 6A5 PIPE 6A5 PIPE 6A5 PIPE 6A5 PIPE ROOF DRAIN PIPE OVERFLOM ROOF DRAIN PIPE OVERFLOM ROOF DRAIN PIPE OVERFLOM ROOF DRAIN PIPE CONDENSATE DRAIN PIPE CONDENSATE DRAIN PIPE PIPE UP PIPE DOWN FLOOR CLEAN OUT PIEE DOWN FLOOR CLEAN OUT MALL CLEAN OUT GRADE CLEAN OUT GRADE CLEAN OUT GRADE CLEAN OUT GRADE CLEAN OUT MALL CLEAN OUT GRADE CLEAN OUT GRADE CLEAN OUT MALL CLEAN OUT GRADE CLEAN OUT GRADE CLEAN OUT MALL CLEAN OUT GRADE RELIEF VALVE
	PLUMBING SCHE PLUMBING FIXTURES "WATER USE LIMITS" TO BE IN ALL PLUMBING FIXTURES "WATER USE LIMITS" TO BE IN ALL PLUMBING FIXTURES "WATER USE LIMITS" TO BE IN ALL PLUMBING FIXTURES "WATER USE LIMITS" TO BE IN BLAVATORY: MOLDED BASIN/SOLID SURFACE COUNTER FAUCET: KOHLER TRITON #K-1404-5A-CP (ADA APPR MIXING VALVE, METERING" AND DELIVER A MAXIMUM "SELF-CLOSING METERING" AND DELIVER A MAXIMUM "SELF-CLOSING METERING" AND DELIVER A MAXIMUM "SELF-CLOSING METERING" AND DELIVER A MAXIMUM "MATER HEATER. "STATE" #SBD-BI-I54NE - COMMERCI PER CA ENERGY CODE ILO.3.6/3. WATER HEATER. "STATE" #SBD-BI-I54NE - COMMERCI PER CLOSET: "KOHLER" #K-35448 FLOOR MOUTNED MATER CLOSET: SAME AS ABOVE, EXCEPT A.D.A. / TO OPEN FRONT SEAT (I.28 GAL. PER FLUGH MAX, C.P.C. MATER CLOSET: SAME AS ABOVE, EXCEPT A.D.A. / TO MATER CLOSET: SAME AS ABOVE, EXCEPT A.D.A. / TO MATER CLOSET: SAME AS ABOVE, EXCEPT A.D.A. / TO MATER CLOSET: SAME AS ABOVE, EXCEPT A.D.A. / TO MATER CLOSET: SAME AS ABOVE, EXCEPT A.D.A. / TO MATER CLOSET: SAME AS ABOVE, EXCEPT A.D.A. / TO <t< td=""><td>PORCELAIN, ACID & CAUSTIC RESISTANT FLOOR SINK: ZURN, MODEL; NO. ZN-3 HALF-GI PORCELAIN, ACID & CAUSTIC RESISTANT INNAL: KOHLER #K4904-ER - MAXIMUM OF O FOOD PREP SINK: (1) 18"x 23"x 8" TUB (VERIF- PROVIDED MITH (1) DECK MOUNTED FAUCET. F SERVICE SINK - VERIFY WOMNER FIXTURE FLOM TO NOT EXCEED 1.8 G.P.M. MOP SINK: 24"x 24" FLOOR MOUNTED BASIN. AN ATMOSPHERIC VACUM BREAKER FAUCET. ROOF RECEPTOR: 2" ROOF MOUNTED DRAIN (</td><td>RUN-OUT CON ARM PER 702.1 ARM PER 702.1 ARM PER 702.1 DFU 3" 6.0 3" 5.0 11/2" 3.0 2" 3.0 11/2" 3.0 2" 3.0 2" 3.0 11/2" 3.0 2" 3.0 2" 3.0 11/2" 3.0 2" 3.0 11/2" 3.0 2" 3.0 11/2" 3.0 2" 3.0 11/2" 3.0 2" 3.0 11/2" 3.0 2" 3.0 11/2" 3.0 2" 3.0 2" 3.0 2" 2.0 2" 2.0</td><td>H. H. H</td></t<>	PORCELAIN, ACID & CAUSTIC RESISTANT FLOOR SINK: ZURN, MODEL; NO. ZN-3 HALF-GI PORCELAIN, ACID & CAUSTIC RESISTANT INNAL: KOHLER #K4904-ER - MAXIMUM OF O FOOD PREP SINK: (1) 18"x 23"x 8" TUB (VERIF- PROVIDED MITH (1) DECK MOUNTED FAUCET. F SERVICE SINK - VERIFY WOMNER FIXTURE FLOM TO NOT EXCEED 1.8 G.P.M. MOP SINK: 24"x 24" FLOOR MOUNTED BASIN. AN ATMOSPHERIC VACUM BREAKER FAUCET. ROOF RECEPTOR: 2" ROOF MOUNTED DRAIN (RUN-OUT CON ARM PER 702.1 ARM PER 702.1 ARM PER 702.1 DFU 3" 6.0 3" 5.0 11/2" 3.0 2" 3.0 11/2" 3.0 2" 3.0 2" 3.0 11/2" 3.0 2" 3.0 2" 3.0 11/2" 3.0 2" 3.0 11/2" 3.0 2" 3.0 11/2" 3.0 2" 3.0 11/2" 3.0 2" 3.0 11/2" 3.0 2" 3.0 11/2" 3.0 2" 3.0 2" 3.0 2" 2.0 2" 2.0	H. H

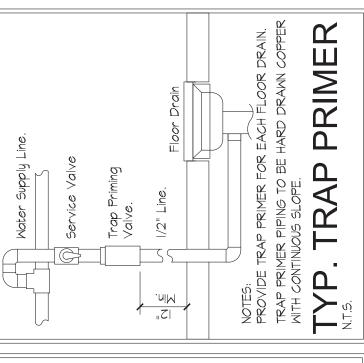


 PLUMBING NOTES I. VERIFY THE EXACT LOCATIONS OF, THE POINT OF CONNECTIONS FOR ALL THE UTILITIES. IF ACTUAL FIELD CONDITIONS DIFFERE FROM THE CONDITIONS SHOWN ON THE PLAN CONTACT THE DESIGNER/ ARCHITECT IMMEDIATELY. 2. REFER TO THE FIXTURE CONNECTION SIZES. 3. REFER TO PLUMBING EQUIPMENT ROUGH-INS FOR STUB-OUT LOCATIONS, AND REFER TO PLUMBING SCHEDULE FOR EQUIPMENT ROUGH-INS FOR STUB-OUT LOCATIONS, AND REFER TO PLUMBING SCHEDULE FOR EQUIPMENT ROUGH-INS FOR STUB-OUT LOCATIONS, AND REFER TO PLUMBING SCHEDULE FOR EQUIPMENT ROUGH-INS FOR STUB-OUT LOCATIONS, AND REFER TO PLUMBING SCHEDULE FOR EQUIPMENT ROUGH-INS FOR STUB-OUT LOCATIONS, AND REFER TO PLUMBING SCHEDULE FOR EQUIPMENT ROUGH-INS FOR STUB-OUT LOCATIONS, AND REFER TO PLUMBING SCHEDULE FOR EQUIPMENT ROUGH-INS FOR STUB-OUT LOCATIONS, AND REFER TO PLUMBING SCHEDULE FOR EQUIPMENT ROUGH-INS FOR STUB-OUT LOCATIONS, AND REFER TO PLUMBING SCHEDULE FOR EQUIPMENT ROUGH-INS FOR STUB-OUT LOCATIONS, AND REFER TO PLUMBING SCHEDULE FOR EQUIPMENT ROUGH-INS FOR STUB-OUT LOCATIONS, AND REFER TO PLUMBING SCHEDULE FOR EQUIPMENT ROUGH-INS FOR STUB-OUT LOCATIONS, AND REFER TO PLUMBING SCHEDULE FOR EQUIPMENT ROUGH-INS FOR STUB-OUT LOCATIONS, AND REFER TO PLUMBING SCHEDULE FOR EQUIPMENT ROUGH-INS FOR STUB-OUT LOCATIONS, AND REFER TO PLUMBING SCHEDULE FOR EQUIPMENT ROUGH-INS FOR STUB-OUT LOCATIONS, AND REFER TO PLUMBING SCHEDULE FOR EQUIPMENT ROUGH-INS FOR STUB-OUT LOCATIONS, AND REFER TO PLUMBING SCHEDULE FOR EQUIPMENT ROUGH-INS FOR STUB-OUT LOCATIONS, AND CONDENSATE PPING. 6. PLUMBING CONTRACTOR TO PROVIDE SHUT-OFF VALVES, REGULATORS, DIRT LEGS, FIC. AT ALL GAS CONDECTIONS. 	 UNDER SLAB PIPING TO HAVE A 6" MINIMUM COVER (TPICAL). PLUMBING CONTRACTOR TO FROVIDE AUTOMATIC GAS SHUT-OFF VALVES TO KITCHEN EQUIPMENT, LINES TO BE INTERCONNECTED WITH FIRE PROTECTION SYSTEM. COORDINATE IN FIELD. PLUMBING CONTRACTOR TO COORDINATE PIPING WITH MECHANICAL CONTRACTOR TO AVOID PIPING AND DUCTING CONFLICTS IN FIELD. PLUMBING CONTRACTOR TO FROVIDE AND INSTALL FLOW CONTROL FITTINGS ON PREP SINK DRAINS. PLUMBING CONTRACTOR TO FROVIDE AND INSTALL FLOW CONTROL FITTINGS ON PREP SINK DRAINS. PLUMBING CONTRACTOR TO FROVIDE AND INSTALL FLOW CONTROL FITTINGS ON PREP SINK DRAINS. PLUMBING CONTRACTOR TO FROVIDE NEW 2" GAS INFERSION PROFENDATE TO (E)GAS METER LOCATIONS). FC. TO VERIFY THE EXACT LOCATION OF GAS METERS AND ROUTE OF GAS LINES. COORDINATE STUB-OUT SIZES AND CONNECTIONS WITH K.E.C. OWNER 1, OR EQUIPMENT MANUFACTORER. NO PROVISIOIS HAVE DEER MADE FOR THE EXACT LOCATIONS). FC. TO VERIFY THE EXACT LOCATION OF CONTROL OF OF GAS LINES. COORDINATE STUB-OUT SIZES AND CONNECTIONS WITH K.E.C. AND MER 1, OR VERIFY THAT (EJUMTS HAVE BEEN INSTALLED AND HOOKED-UP PER CODE AND AS REQURED. P.C. TO VERIFY THAT (EJUMTS I.E.HUVG. UNIT(9) ARE TO BE CONNECTION WITH K.E.C. AND MECHANICAL CONTRACTOR. PLUMBING CONTRACTOR TO CONTINUE NEM PERSONSE, <i>B.P.M.</i> ETC. FRIGK TO CONSTRUCTION. PLUMBING CONTRACTOR TO CONTINUE NEM PRESSURE, <i>B.P.M.</i> ETC. PRICK TO CONSTRUCTION. PLUMBING CONTRACTOR TO CONTINUE NEM PRESSURE, <i>B.P.M.</i> ETC. AND DECITION TO F CONTRACTOR. PLUMBING CONTRACTOR TO CONTINUE NEM PRESSURE, <i>B.P.M.</i> ETC. AND STATE CODES INCLUDING A RAMAPP CODLER (ION ROOF). CORDINATE MITH K.E.C. AND MECHANICAL CONTRACTOR. PLONDER COLD MATER PRICH METLED FER ALL LOCAL AND STATE CONFILUCION. PLONDER COLD MATER PREN LINE AND CONCECTIONS OF TO CONTRACTORS. RAANP COOLER (ON ROOF). CORD. CONCECTIONSIS MITH BACKFLOM PREVENCINT ON THE ANACT A RAVENCE COLD MATER	 SUPPORT ALL HOT AND COLD WATER PIPING 4' FT. O.C. MAX. IIS. INSULATE HW AND DRAIN LINES UNDER HANDICAP LAVATORIES (CAL. TITLE 24). IROVIDE THERMAL EXPANSION/CONTRACTION OF PIPING WITH OFF-SETS. PROVIDE THERMAL EXPANSION/CONTRACTION OF PIPING WITH OFF-SETS. COLOR CODE MAIN BLDG. GAS SHUTOFF VALVE RED (OR AS READ BY LOCAL FIRE DEPT.) AND PLACE SIGNS/PLAQUES OF REQUIRED SIZE, CONFIGURATION POSITION ALL VTR'S AT ROOF PENETRATIONS TEN FEET (MIN.) FROM ALL EQUIPMENT WITH OUTSIDE AIR INTAKES. SEE MECH. ROOF PLAN AND ARCH. ROOF PLAN. POSITION ROOF RECEPTOR(S) IO' MIN. FROM ALL AIR INTAKE EQUIPT. POSITION ROOF RECEPTOR(S) IO' MIN. FROM ALL AIR INTAKE EQUIPT. PROVIDE NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON ALL EXT. HOSE BIBBS. PROVIDE CLEANOUTS AT NEM SINKS PER C.P.C., SECTION TOT.4, EXCEPTION #I. 		CONTER FLAGHING SLEEVE.
PLUMBING SPECIFICATIONS FAT 1. GENERAL: I.O. FROVIDE ALL PLUMBING ITEMS INDICATED ON THE PRAMINGS, DESCRIBED IN THIS SPECIFICATION, OR REQUIRENT PRAMINGS FOR ADDITIONAL REGUREMENTS. I.O. FROVIDE ALL PLUMBING ITEMS INDICATED AND FROME INDIRECT MASTE PIPING. SEE EQUIRMENT PRAMINGS FOR ADDITIONAL REGUREMENTS. I.O. CODES AND STANDARDS: COMPLE ALL APPLICABLE CODES, STANDARDS AND ORDINANCES, INCLUDING REQUIREMENTS OF THE CALIFORNIA PLUMBING CODE (C.P.C. 2016 EDITION). 2016 TITLE 24 ENERGY CONSERVATION STANDARDS OF THE STATE OF CALIFORNIA. I.O.S SUBMITTALS: BEFORE COMMENCING MORK, SUBMIT TO THE ENGINEER. CATALOG CUT SHEETS AND FREFORMANCE DATA FOR ALL MATERIALS. FIXIDRES, EQUIPMENT, AND SHOP DRAMINGS SHOMING ALL DETALLS: OF THE PROPOSED INSTALLATION WHERE VARYING FROM DESION DRAMINGS. I.O. NOISE AND VIBRATION. IF ENGINEER. CATALOG CUT SHEETS AND MITHIN THE BUILDING. IF UNDUE NOISE OR VIBRATION, AS A RESULT OF INSTALLATION OCCURS WITHIN THE BUILDING. THE CONTRACTOR SHALL CORRECT THESE CONDITIONS AT NO COST TO THE OWNER.	 A. SANITARY DRAIN, MASTE AND VENTS IN BULDING: DNV-PVC CONFORMING TO THE REQUIREMENTS OF THE 2016 C.P.G. AND ALL LOCAL CODES AND ORDINANCES. A. SANITARY DRAIN, MASTE AND VENTS IN BULDING: DNV-PVC CONFORMING TO THE REQUIREMENTS OF THE 2016 C.P.G. AND ALL LOCAL CODES AND ORDINANCES. B. HOT AND COLD WATER. COMPRESED AIR FINING. I. INSIDE BULDING: HARD-DRANN COPPER TUB: TYPE 'L', FER ASITM B&&-&&A, MADE UP MITH WROUGHT OR FORGED COPPER TUB: TYPE 'L', FER ASITM B&&-&&A, MADE UP MITH WROUGHT OR FORGED COPPER TUB: TYPE 'L', FER ASITM B&&-&&A MADE UP MITH WROUGHT OR FORGED COPPER TUB: TYPE 'L', FER ASITM B&&-&&A MADE UP MITH WROUGHT OR FORGED COPPER TUB: TYPE 'L', FER ASITM B&&-&&A MADE UP MITH WROUGHT OR FORGED COPPER TUB: TYPE 'L', FER ASITM B&&-&&A MADE UP MITH WROUGHT OR FORGED COPPER TUB: TYPE 'L', FER ASITM B&&-&&A MADE UP MITH WROUGHT OR FORGED COPPER TUB: TYPE 'L', FER ASITM B&&-&&A MADE UP MITH WROUGHT OR FORGED COPPER TUB: TYPE 'L', FER ASITM B&&-&&A MADE UP MITH WROUGHT OR SIZE SAURTES AS SHOWN BELOW. 2. OLDRR: ILAWATKET 440 OR 144. 3. SOLDRR: MILWAUKET BOOR OR IECON. 3. GATE: MILWAUKET BOOR OR IECON. 3. CHECK: MILWAUKET BOOR OR IECON. 3. GATE: MILWAUKET BOOR OR IECON. 3. CHECK: MILWAUKET BOOR OR OR OR OR AND OR OR IECON. <l< th=""><th> 2.06 WATER HAMMER ARRESTORS: JURN "SHOKTROL". SIZED ACCORDING TO MEG.S RECOMMENDATIONS. 2.08 OTHER MATERIALS: ALL OTHER MATERIALS, NOT SPECIFICALLY DESCRIBED BUT REQURED FOR A COMPLETE AND PROPER INSTALLATION OF THE WORK OF THIS SECTION, SHALL BE NEW AND OF THE HIGHEST QUALITY, AS SELECTED BY THE CONTRACTOR & APPROVED BY THE DESIGNER. PART 3 3.01 INSPECTION: EXAMINE THE AREAS AND CONDITIONS UNDER WHICH WORK OF THIS SECTION WILL BE INSTALLED, CORRECT CONDITION DETRIMENTAL TO THE PROPER AND TIMELY COMPLETION OF THE WORK. NOTIFY THE ARCHITECT AND/OR DESIGNER OF ANY DISCREPANCIES. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. 3.02 PLUMBING SYSTEM LAYOUT: LAY OUT THE PLUMBING SYSTEM IN CAREFUL COORDINATION WITH THE DRAWINGS. DETERMINING PROPER ELEVATIONS FOR ALL COMPONENTS OF THE SYSTEM AND USING ONLY THE MINIMUM NUMBER OF BENDS TO PRODUCE A SATISFACTORY FUNCTIONING SYSTEM. 3.02 PLUMBING SYSTEM LAY-OUT SHOWN ON THE DRAWINGS IN ALL CASES EXCEPT WHERE OTHER WORK MAY INTERFERE. UNLESS SHOWN ON THE DRAWINGS IN ALL CASES EXCEPT WHERE OTHER WORK MAY INTERFERE. UNLESS SHOWN ON TALL PIPES TO FALL WITHIN PARTITION WALLS. FLOORROOF CAVITIES OR FURRED MALLS. AS SHOWN ON PLANS. </th><th> 303 NETALAL RUCK REUTE IN STATE AND FOLLONG REPORTS INFORMATION FOR AN INFORMATION FOR REUTE. 304 NETAL ALL PRING RECONTLY LAD FOR STATE AND EVER INFORMATION FOR REUTE INFORMATION FOR REUTE AND FORMATION FORMAT</th><th></th></l<>	 2.06 WATER HAMMER ARRESTORS: JURN "SHOKTROL". SIZED ACCORDING TO MEG.S RECOMMENDATIONS. 2.08 OTHER MATERIALS: ALL OTHER MATERIALS, NOT SPECIFICALLY DESCRIBED BUT REQURED FOR A COMPLETE AND PROPER INSTALLATION OF THE WORK OF THIS SECTION, SHALL BE NEW AND OF THE HIGHEST QUALITY, AS SELECTED BY THE CONTRACTOR & APPROVED BY THE DESIGNER. PART 3 3.01 INSPECTION: EXAMINE THE AREAS AND CONDITIONS UNDER WHICH WORK OF THIS SECTION WILL BE INSTALLED, CORRECT CONDITION DETRIMENTAL TO THE PROPER AND TIMELY COMPLETION OF THE WORK. 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	FIXTURE CONNECTION SCHEDULE	NECTION	N SCHE	DULE		SIZING (CHART - 2016 C.F	SIZING CHART - 2016 C.P.C. APPENDIX "A"
SYMBOL	DESCRIPTION	MASTE	VENT	H.M.	N. V.	SIZE	FLOW/G.P.M.	S'.U FUNED F.U.S
- ED-	FLOOR DRAIN	Ē	- N	I I	* /2"	/2"	2.0	
± €	FLOOR SINK	*	- N	1	1	3/4"	т О	9
LAV-I	LAVATORY	/2"	- N	/2"	"/2"	<u>=</u>	12.0	Б
MS-	MOP SINK	2=	2=	/2"	"/2"	/4"	20.0	30
9U	NRINAL	Ē	- L	I I	3/4"	/2"	35.0	65
MC-1,2	MATER CLOSET	Ē	2=	1	"/2"			
* /2" C.M.	* 1/2" C.M. TO TRAP PRIMER WHERE REQUIRED	HERE REQ	JIRED.					

_	9	Ē	30	65		
2.0	5.0	12.0	20.0	35.0		
/2"	3/4"	=	/4"	/2"		
* /2"	1	/2"	"/2"	3/4"	/2"	

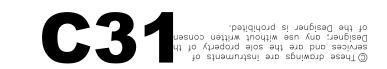
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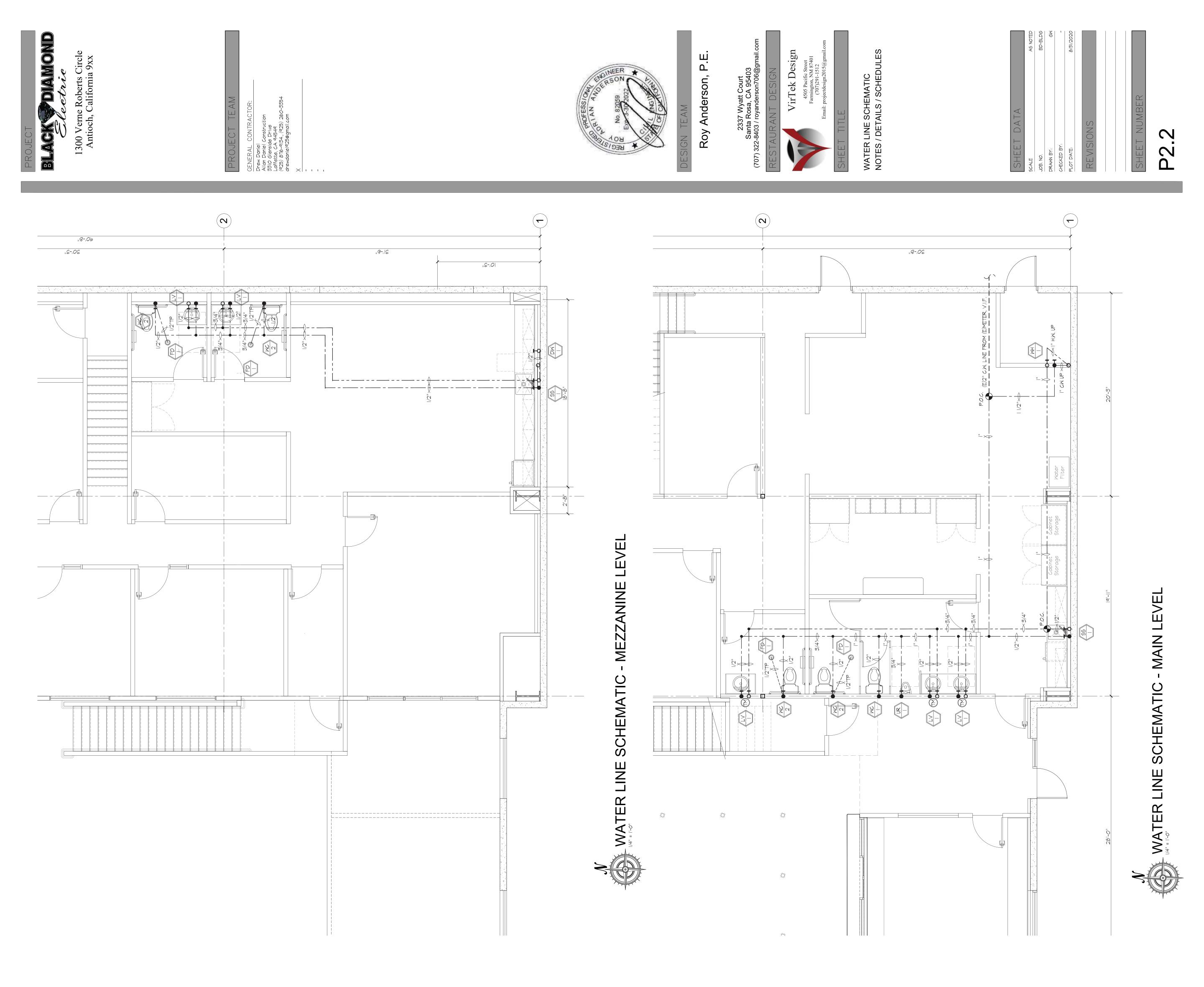
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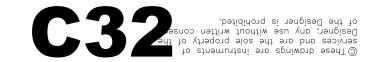
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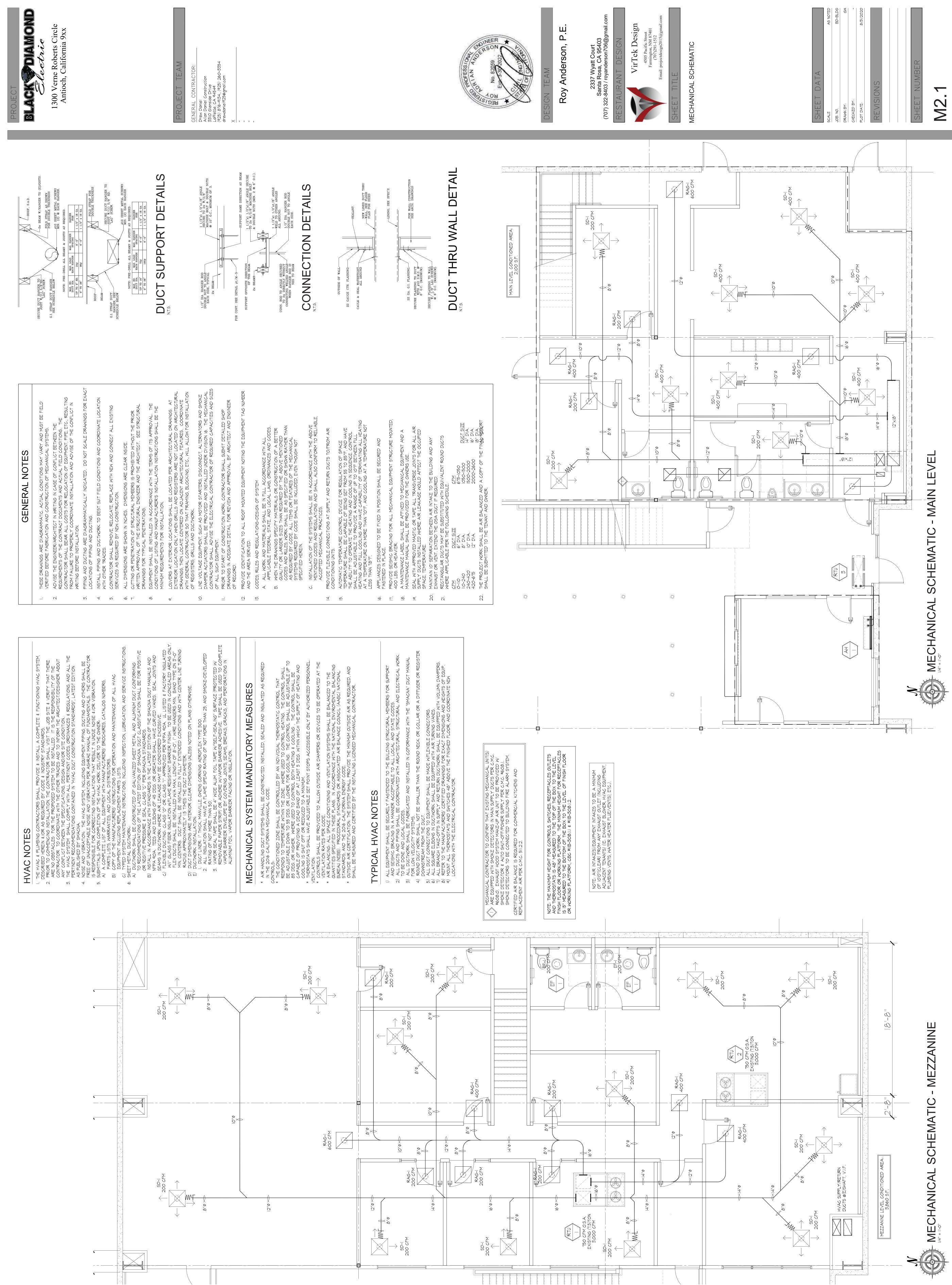
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STAFF REPORT TO THE ZONING ADMINISTRATOR FOR CONSIDERATION AT THE MEETING OF DECEMBER 10, 2020

Prepared by:Jose Cortez, Associate PlannerJoseApproved by:Alexis Morris, Planning ManagerDate:December 10, 2020Subject:Caliber Collision (UP-20-11)

RECOMMENDATION

It is recommended that the Zoning Administrator **APPROVE** a use permit to operate an auto body and collision repair facility, subject to the conditions contained in the attached resolution.

REQUEST

The applicant, Capital Rivers Commercial, requests approval of a use permit to operate an auto body and collision repair facility. The subject property is located at 521 Wilbur Avenue (APN 065-040-025).



ENVIRONMENTAL

This project has been deemed Categorically Exempt from CEQA under Article 19, Section 15301, Existing Facilities, Class 1 because the project involves no expansion of use.

ANALYSIS

Issue #1: Project Overview

The applicant proposes to operate an automobile and collision repair facility at 521 Wilbur Avenue. The proposed project includes renovation of an existing 22,922 square foot building and associated site improvements. The site will operate as Caliber Collision's auto body repair shop. The applicant proposes to operate the auto body shop with 12-15 employees and with proposed operating hours of Monday thru Friday from 7:00am to 6:00pm and Saturday from 9am to 1pm. The applicant's project description is provided as Attachment "B".

Issue #2: General Plan, Zoning Consistency and Land Use

The General Plan designation of the property site is Light Industrial. The site is zoned Light Industrial District (M-1), which is intended to accommodate various types of light industrial uses and excludes those heavy industrial uses with potentially hazardous or negative effects. Major Auto repair requires the approval of a use permit in the Light Industrial District (M-1).

The surrounding land uses and zoning designations are as noted below:

North:	Automotive Engine Machinist / Light Industrial District (M-1)
South	Posidential / Planned Development (P.D)

South: Residential / Planned Development (P-D)

East: Manufacturing / Light Industrial District (M-1)

West: Assembly (Veterans Hall) / Light Industrial District (M-1))

Issue #3: Site Plan & Parking

The site is approximately 0.98 acres in size and is developed with an approximately 22,922 square foot building, and parking lot. The site is currently accessed via two driveways along Wilbur Avenue. The site has a chain link fence and gate on the interior of the site that encloses a portion of the site in order to create a secure area. The applicant does not propose any changes to the existing fencing other than replacing the existing gate with a new that is located in the interior of the site, and proposes to utilize the area behind the new gate for secured parking. This area will only be utilized for staging the vehicles during the repair process; the applicant states that there is no outdoor storage proposed as part of this application.

Antioch Municipal Code § 9-5.1703.1 requires vehicle repair facilities to provide four (4) parking spaces per service bay. The applicant proposes 10 service bays which would result in 40 parking spaces being required. The proposed site plan has 45 parking spaces, which exceeds the municipal code requirements. The applicant proposes 10 parking

spaces available to the public and the remainder would be located beyond the secured gate only accessible to employees.

Issue #4: Site Improvements

Existing Building

In addition to an interior renovation of the existing building the applicant is also proposing minor exterior changes. The changes include painting the existing concrete building "Nomadic Desert" and the exterior doors and trim black. The applicant is also proposing to slurry seal and re-stripe the existing parking lot and the new parking spaces required.

<u>Signage</u>

The applicant proposes two new signs for the site including a new monument sign located at the driveway entry, and a new building mounted wall sign. Antioch Municipal Code § 9-5.514 allows for two square feet for each lineal foot of building frontage not to exceed 200 square feet. The code section also allows for a combination of sign types that include wall signs, ground signs, and symbols. The applicant proposes a 28 square foot internally illuminated monument sign and a 111 square foot internally illuminated wall sign. The two proposed signs do not exceed the aggregate square footage permitted by the AMC. A temporary sign is also proposed to be installed but will be removed 30 days after opening.

ATTACHMENTS

- A: Resolution
- B: Project Description
- C: Elevations

ATTACHMENT A

CITY OF ANTIOCH ZONING ADMINISTRATOR RESOLUTION NO. 2020-**

RESOLUTION OF THE CITY OF ANTIOCH ZONING ADMINISTRATOR APPROVING A USE PERMIT (UP-20-11) FOR AN AUTOMOBILE AND COLLISION REPAIR FACILITY AT 521 WILBUR AVENUE

WHEREAS, Capital Rivers Commercial requests approval of a use permit for an auto mobile and collision repair facility, located at 521 Wilbur Avenue (APN 065-040-025);

WHEREAS, this project is Categorically Exempt from the provisions of CEQA, pursuant 15301, Existing Facilities, Class 1;

WHEREAS, the Zoning Administrator duly gave notice of public hearing as required by law;

WHEREAS, the Zoning Administrator on December 10, 2020, duly held a public hearing and received and considered evidence, both oral and documentary;

WHEREAS, the Zoning Administrator does determine:

1. The granting of such Use Permit will not be detrimental to the public health or welfare or injurious to the property or improvements in such zone or vicinity.

The proposed automobile and collision repair facility will not be detrimental to the surrounding property or improvements. Based upon the conditions imposed, the proposed use will not create adverse impacts to the surrounding businesses and residents.

2. The use applied at the location indicated is properly one for which a Use Permit is authorized.

The site is zoned Light Industrial (M-1). The City of Antioch Municipal Code allows Major Auto Repair with the approval of a use permit in the Light Industrial district.

3. That the site for the proposed use is adequate in size and shape to accommodate such use, and all parking, and other features required.

The proposed automobile and collision repair facility will take place in an existing industrial building that was previously used for light industrial uses. The proposed repair facility will provide parking that is beyond that required by the AMC and is sufficient for the use.

4. That the site abuts streets and highways adequate in width and pavement type to carry the kind of traffic generated by the proposed use.

The project site is currently developed and is located on Wilbur Avenue, which is adequate in width and pavement type to carry the traffic generated by the proposed use.

5. The granting of such Use Permit will not adversely affect the comprehensive General Plan.

The use will not adversely affect the comprehensive General Plan because the project is consistent with the General Plan designation for the site of Light Industrial and is located in an existing Industrial building.

NOW, THEREFORE, BE IT RESOLVED, the Zoning Administrator of the City of Antioch does hereby **APPROVE** UP-20-11, for an automobile and collision repair facility at 521 Wilbur Avenue (APN 065-040-025), subject to the following conditions:

A. <u>GENERAL CONDITIONS</u>

- 1. The project shall comply with the Antioch Municipal Code. All construction shall conform to the requirements of the California Building Code and City of Antioch standards.
- 2. The applicant shall defend, indemnify, and hold harmless the City in any action brought by a third party to challenge the land use entitlement. In addition, if there is any referendum or other election action to contest or overturn these approvals, the applicant shall either withdraw the application or pay all City costs for such an election.
- 3. The project shall be implemented as indicated on the application form and accompanying materials provided to the City and in compliance with the Antioch Municipal Code, or as amended by the Zoning Administrator.
- 4. No building permit will be issued unless the plan conforms to the project description and materials as approved by the Zoning Administrator and the standards of the City.
- 5. This approval expires two years from the date of approval (expires December 10, 2022), unless an extension has been approved by the Zoning Administrator. Requests for extensions must be received in writing with the appropriate fees prior to the expiration of this approval. No more than one, one-year extension shall be granted.

- 6. No permits or approvals, whether discretionary or mandatory, shall be considered if the applicant is not current on fees, reimbursement payments, and any other payments that are due.
- 7. This approval supersedes previous approvals that have been granted for this site.

C. <u>FEES</u>

1. The applicant shall pay all fees as required by the City Council.

D. <u>PROPERTY MAINTENANCE</u>

- 1. No illegal signs, pennants, banners, balloons, flags, or streamers shall be used on this site at any time.
- 2. The site shall be kept clean of all debris (boxes, junk, garbage, etc.) at all times.
- 3. No signs shall be installed on this site without prior City approval.

E. PROJECT SPECIFIC CONDITIONS

- 1. This use permit approval applies to the automobile and collision repair facility and associated site improvements at 521 Wilbur Avenue as depicted on the project plans submitted to the City of Antioch on September 25, 2020.
- 2. No outdoor storage is allowed.
- 3. All faded red curbs within the project site shall be repainted.
- 4. The parking lot shall be slurry sealed and re-striped to the satisfaction of the City Engineer. Parking spaces shall be double-striped per AMC § 9-5.1719.
- 5. Any cracked or broken sidewalks along the project's frontage shall be replaced as required by the City Engineer.

* * * * * * * *

I HEREBY CERTIFY that the foregoing resolution was passed and adopted by the Zoning Administrator of the City of Antioch at a regular meeting thereof held on the 10th day of December 2020.



RESOLUTION NO. 2020-** DECEMBER 10, 2020 Page 4

ZONING ADMINISTRATOR

A4

ATTACHMENT B



This Minor Use Permit Application is to allow Caliber Collision Center to operate in the proposed auto body repair facility located at 521 Wilbur Ave, Antioch, CA. Caliber Collision is the nation's largest chain of auto body repair shops in the Country and Caliber operates over 200 facilities in California alone. The shop plans to operates with 12-15 employees, Monday thru Friday 7:00am – 6:00pm and Saturday 9am – 1pm. The workflow and operations on site are listed below:

- An estimator will bring the damaged vehicle into the building through the front roll-up door and park in a tech stall to examine the extent of damage and write an estimate to submit to the insurance company for approval.
- The car is assigned to a technician, each technician is assigned two tech stalls. The technician removes, repairs and/or replaces damaged vehicle parts inside the building.
- New/repaired parts and/or vehicle are painted in the spray booth. During this time, the technician works on the other vehicle assigned to him until the parts are ready.
- Completed vehicles go to detail to be washed, polished, and waxed inside the building.
- Vehicle staging will occur outside the building behind the secured fenced area within rear side yard. The chain-link fence and sliding gate will have diagonal slats to prevent visibility from the public right of way.
- There is no outdoor storage proposed.
- Maximum estimated capacity of vehicles repaired on site will be 20-30 cars.

As a regular part of the vehicle repair process, hazardous materials are used and stored. This include oil, antifreeze, paints, and thinners. Paints and thinners will be stored in ETL listed paint mix room, used oil and antifreeze will be stored in separate 55-gallon steel drums and will be kept on modular spill containment platform. All waste products generated will be picked up by a licensed waste hauler on an as needed basis.

All body repair services and activities will be conducted inside the building. Auto detailing and quality control inspection of each completed vehicle will be conducted outside to ensure that the finished product meets the manufacturer's standards.

While under repair the company uses part carts which includes all parts to be replaced and all parts removed. The carts remain with the vehicle during the entire repair process. This process reduces clutter and increases efficiency. Parts are anticipated to be delivered daily to also reduce clutter and maintain efficiency. The proposed office area will be used for office personnel.

This facility will be open to the public and Caliber Collision has a call center to manage the workload of each facility in each region. The shop assignment process for this facility is conducted as follows:

The customer receives the phone number to the Caliber Collision's call center by the insurance company. The customer contacts the call center to schedule their vehicle drop off time (by appointment) and Caliber Collision arranges the vehicle rental. This process allows Caliber Collision to maintain its promised repair turnaround time to its customers and prevents vehicle overload on site at any one time. This allows Caliber Collision to operate its facilities in harmony within the communities they serve.

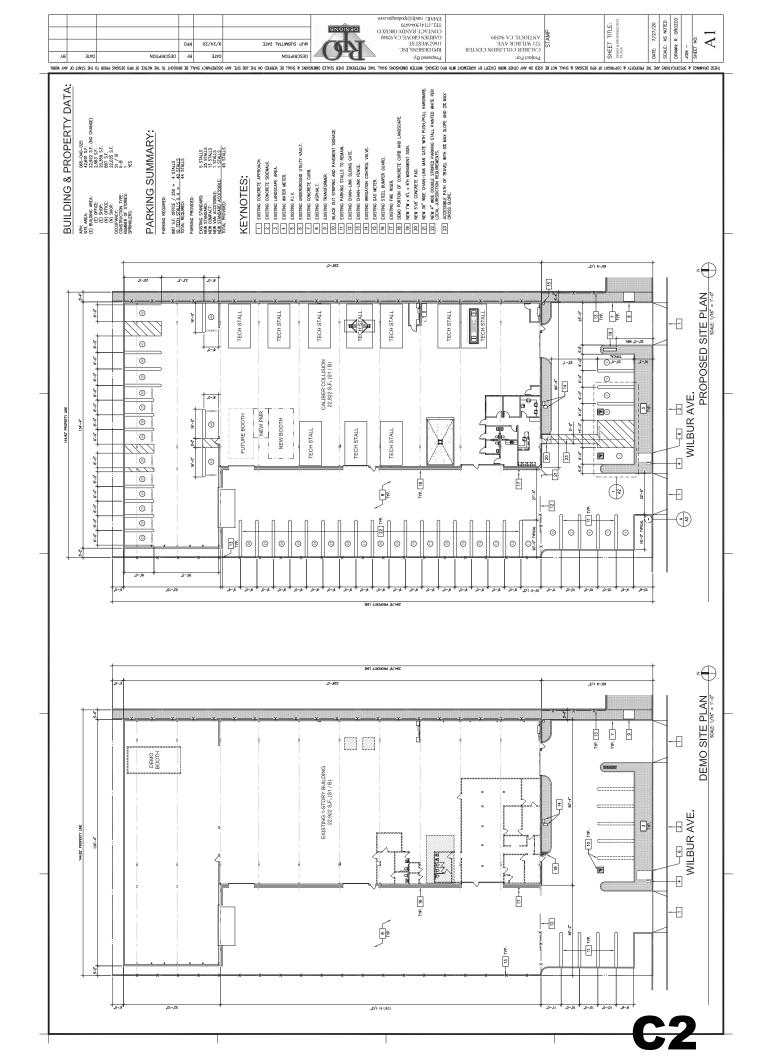
Caliber Collision operates its facilities in compliance with all local, state, and federal requirements. This allows them to operate without being a nuisance to their neighbors and the general community at large. Caliber Collision believes in maintaining a "good citizen" status in all the communities they serve.

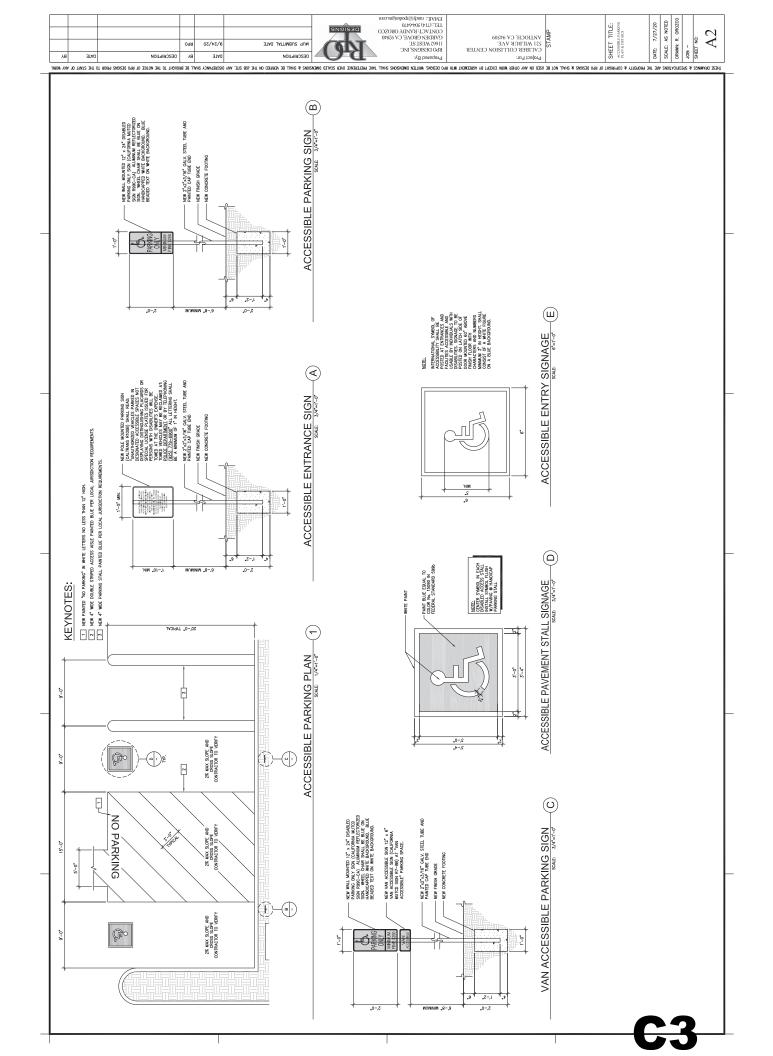
We believe in Caliber Collision's unique business operating model, their desire to coexist with other businesses in the area, and their reputation throughout the industry. This Minor Use Permit Application should be approved.

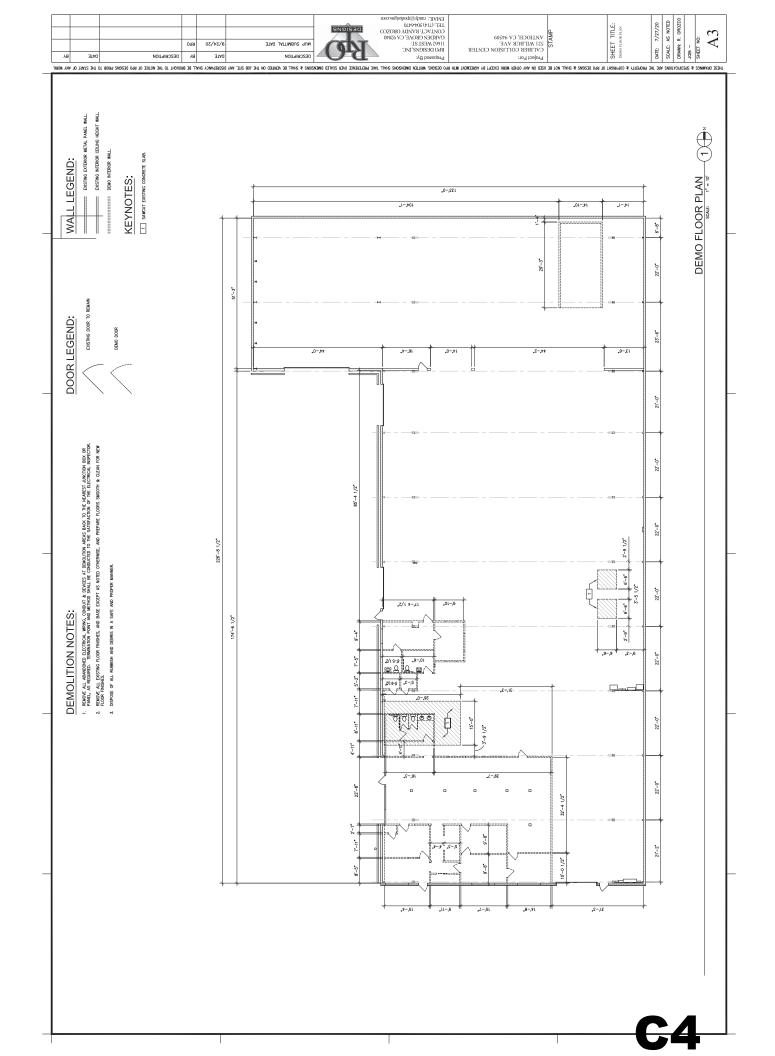
Thank you, Randy Orozco

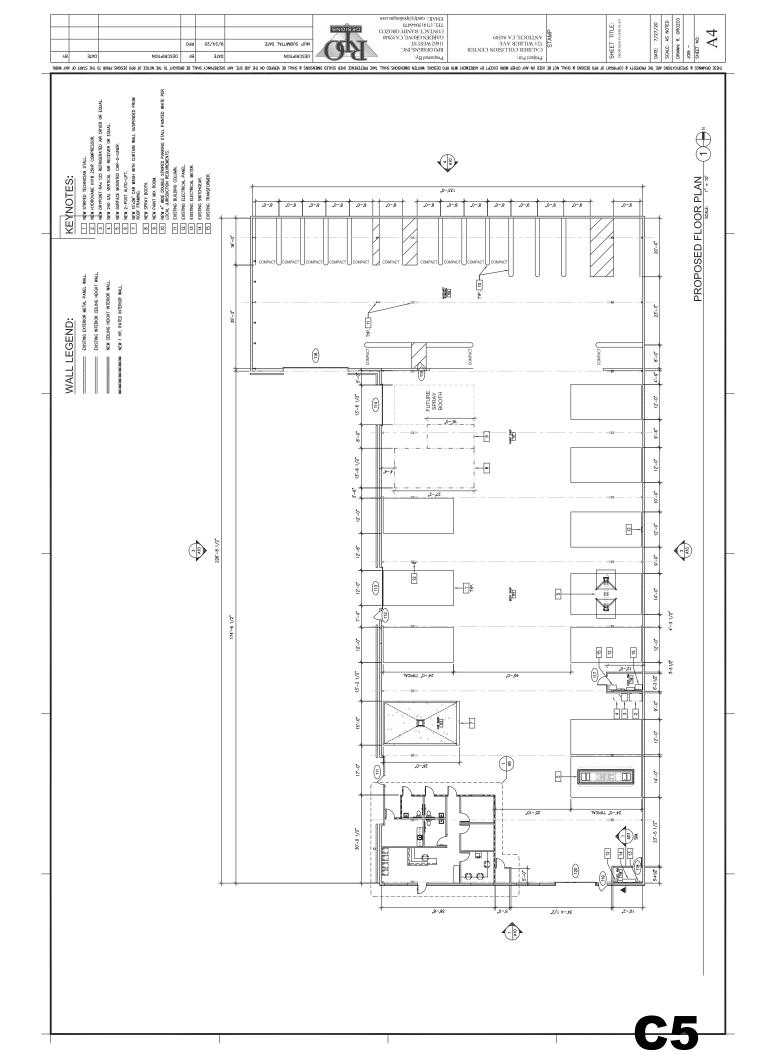


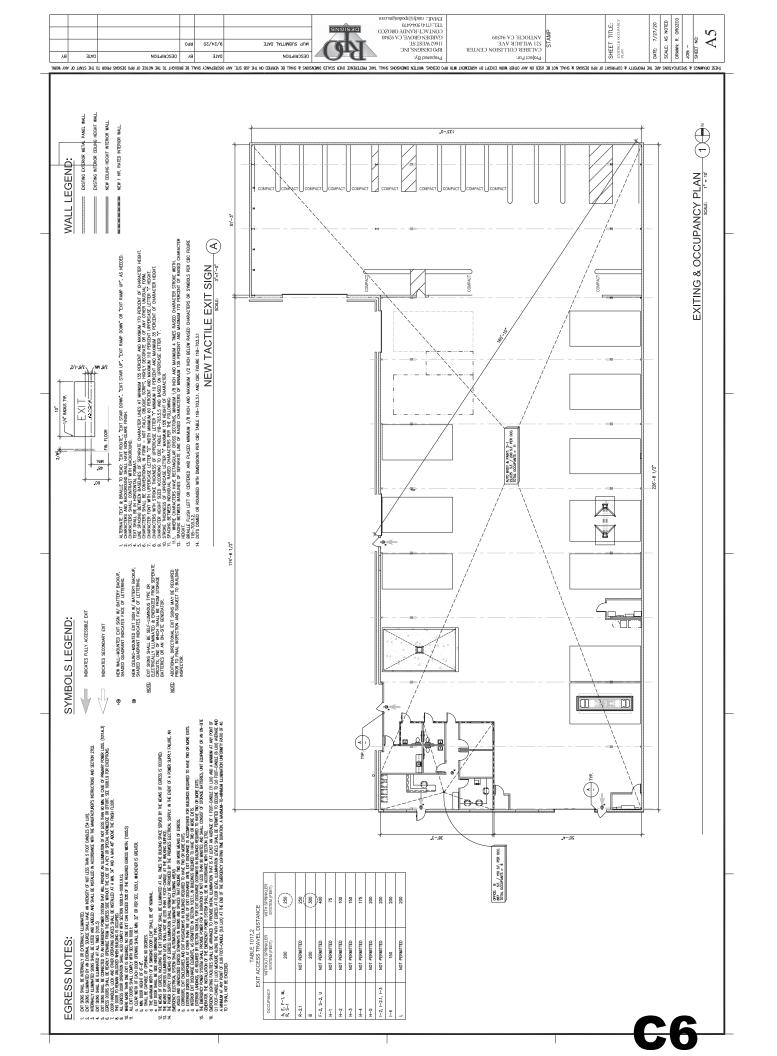
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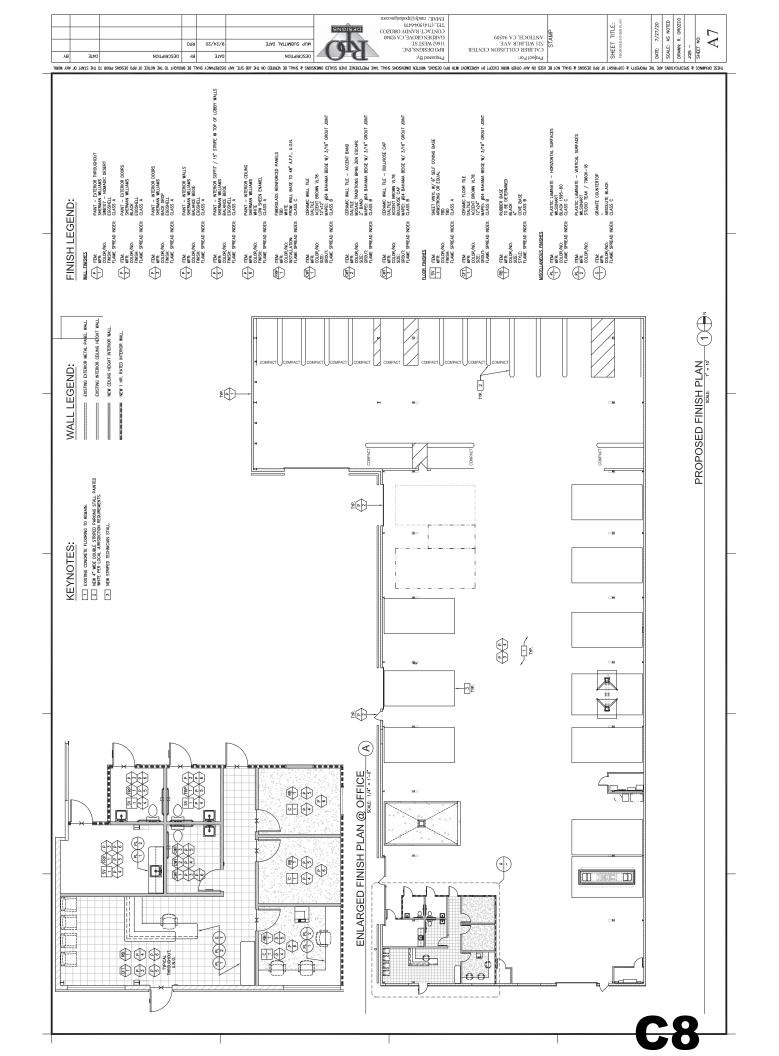


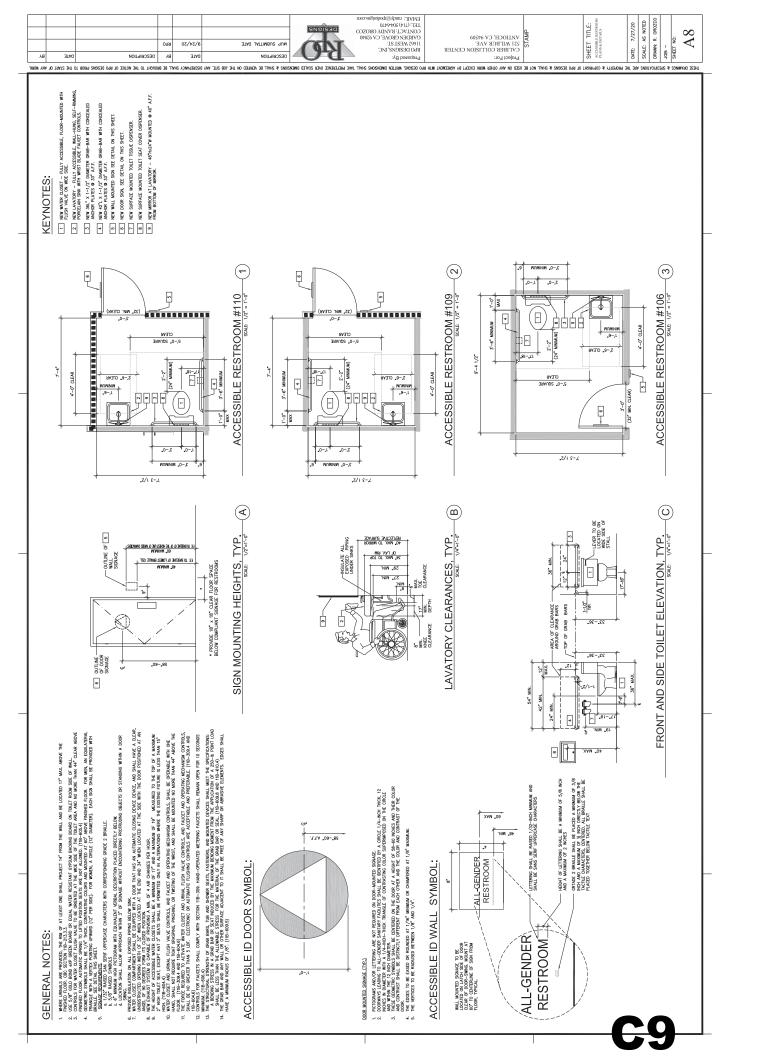


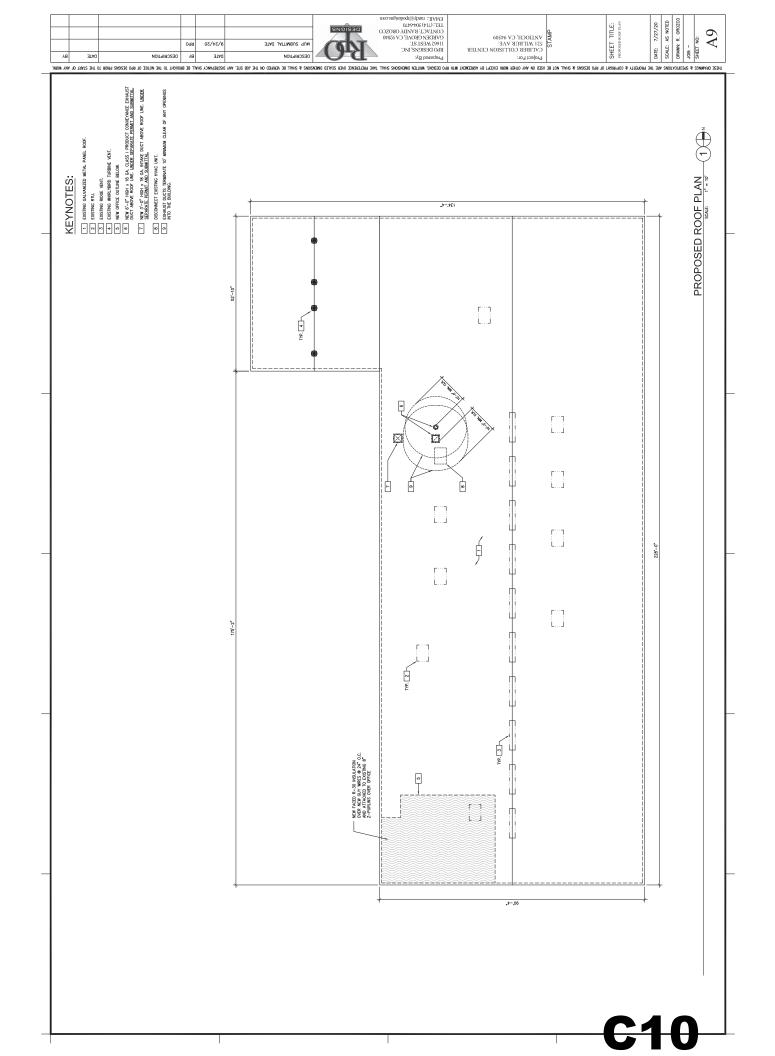


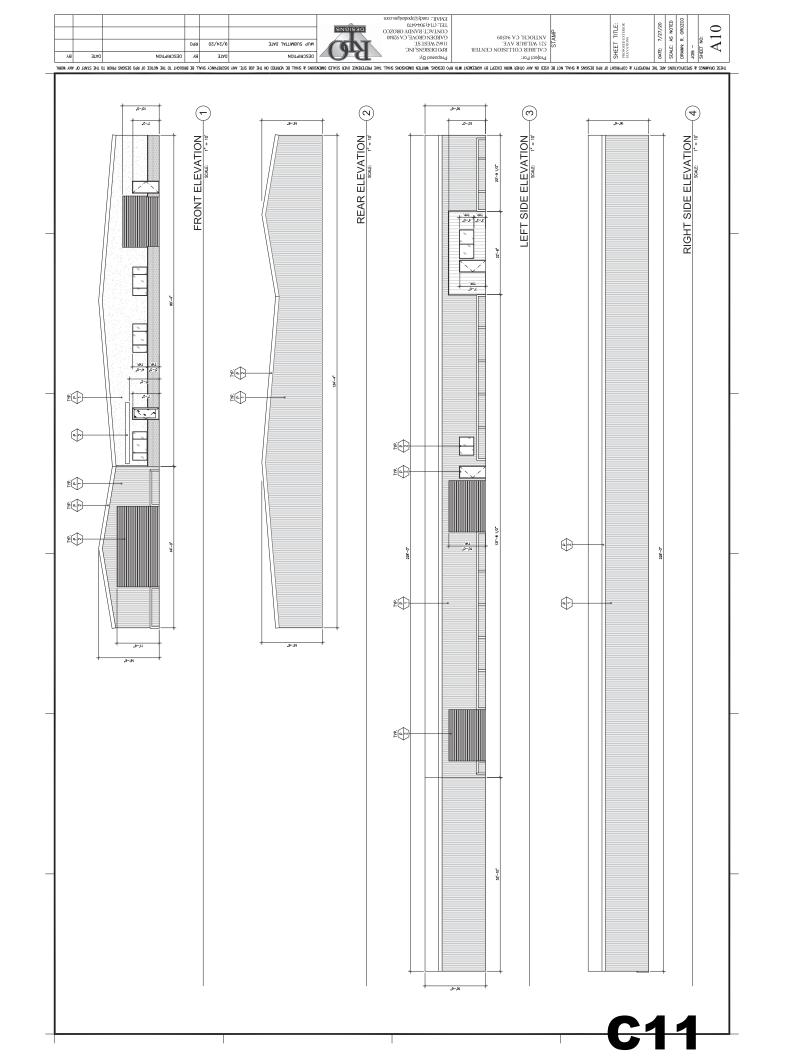
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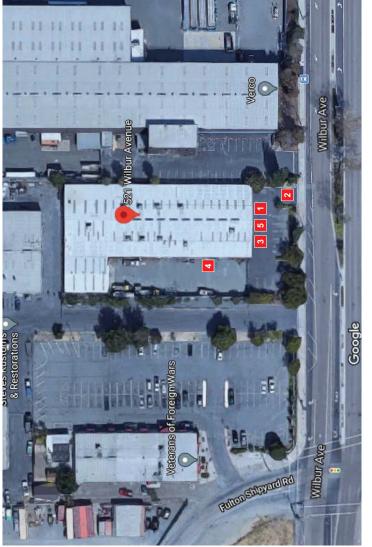














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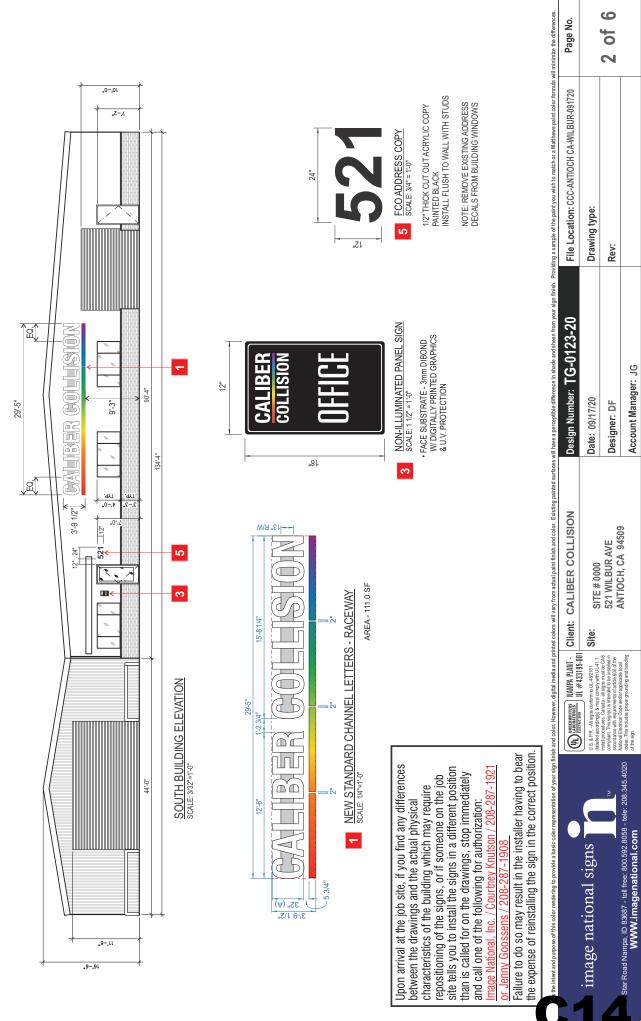
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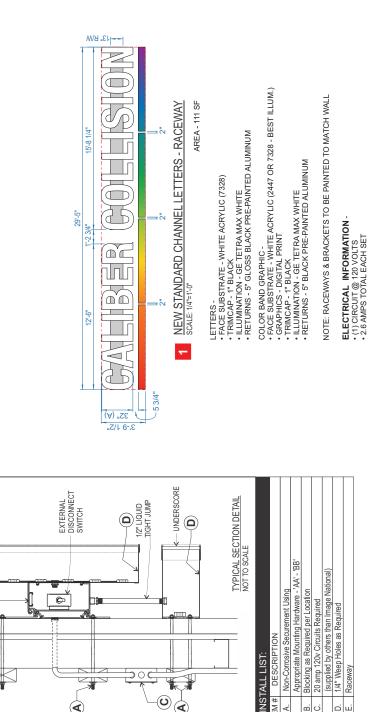
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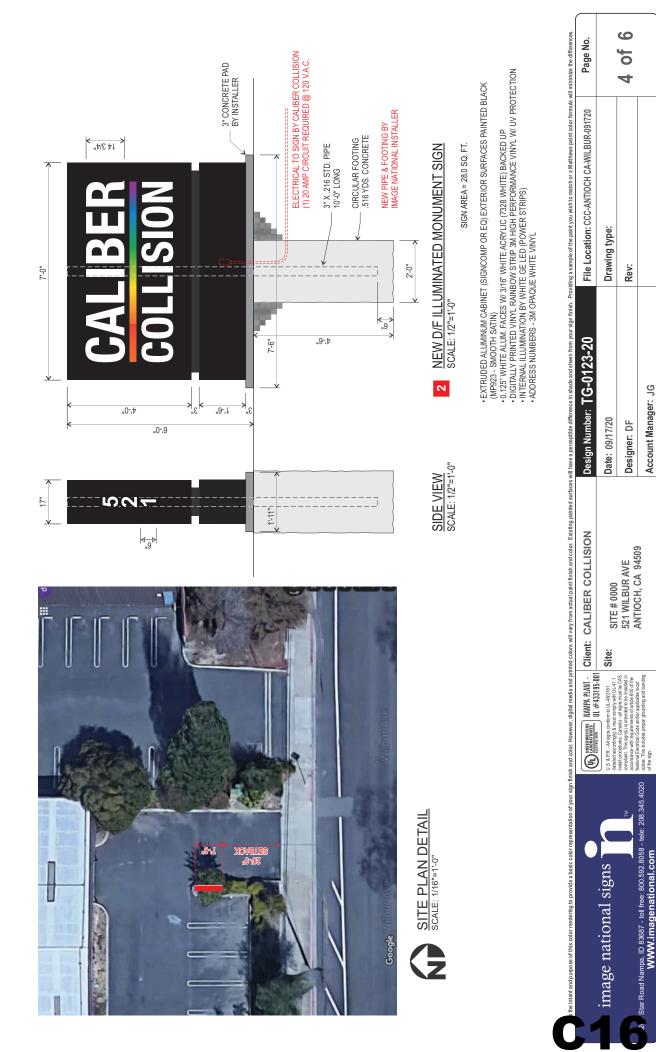
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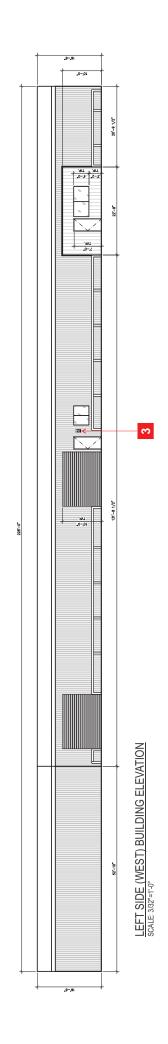
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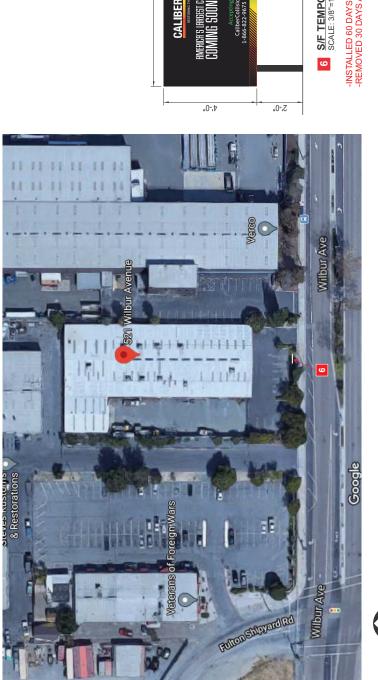
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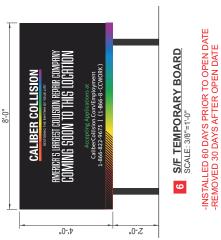




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INSTALLED ON OPENING DATE
 BY CENTER MANAGER

 D/F SANDWICH

 BOARD SIGN

 SCALE: 1/2"=1'-0"

CALIBER COLLISION

2'-0"

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STAFF REPORT TO THE ZONING ADMINISTRATOR FOR CONSIDERATION AT THE MEETING OF DECEMBER 10, 2020

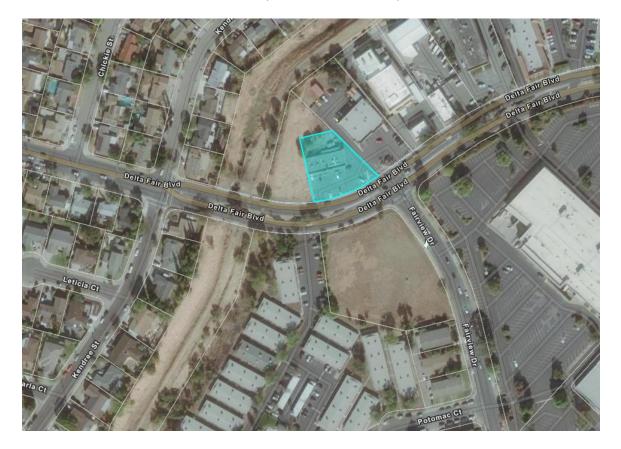
Prepared by:	Zoe Merideth, Associate Planner
Approved by:	Alexis Morris, Planning Manager
Date:	December 10, 2020
Subject:	Bizi Mart Type 21 ABC License (UP-20-12)

RECOMMENDATION

It is recommended that the Zoning Administrator **APPROVE** a use permit for a Type 21 off-sale general Alcoholic Beverage Control (ABC) license at Bizi Mart, subject to the conditions contained in the attached resolution.

REQUEST

Alphy Vellian requests approval of a use permit for a Type 21 off-sale general ABC license to allow the sale of beer, wine, and distilled spirits at Bizi Mart. The subject property is located at 3912 Delta Fair Boulevard (APN 074-122-017).



ENVIRONMENTAL

This project has been deemed Categorically Exempt from CEQA under Article 19, Section 15301, Existing Facilities, Class 1 because the project involves no expansion of use.

ANALYSIS

Issue #1: Project Overview

The applicant, Alphy Vellian, is the owner of Bizi Mart and the owner of the subject property. The store is an existing convenience store that sells groceries, household goods, snacks, tobacco products, and beer and wine. The store currently has a Type 20 off-sale beer and wine ABC license that allows the sale of beer and wine for off-site consumption. The applicant is requesting a use permit in order to obtain a Type 21 off-sale general ABC license, which allows the sale of distilled spirits in addition to beer and wine.

The applicant's project description is provided as Attachment "B".

The property is located within the Western Antioch Commercial Area focus area of the General Plan with a designation of Regional Commercial. The site is zoned Regional Commercial District (C-3). Liquor stores are permitted in C-3 with the approval of a use permit.

Issue #2: ABC License Request

The Antioch Municipal Code § 9-5.3803 Table of Land Use Regulations allows liquor stores with the approval of a use permit. Currently, the Bizi Mart sells alcohol but does not have a use permit. Therefore, the use is considered legal, non-conforming because the store began legally selling alcohol prior to the adoption of the current land use regulations. A search of City records show the City Council approved a beer and wine ABC license at the April 28, 1992 meeting. A search of ABC records confirms that the first recorded ABC license for the subject location was granted in 1992 as well.

As the business owner is now requesting to expand upon the existing legal, nonconforming use by also selling distilled spirits, a use permit is required per the Antioch Municipal Code. Antioch Municipal Code § 9-5.3831 Liquor Establishments places limits on the locations liquor establishments, including convenience stores selling alcohol. The section limits the location of alcohol establishments within a radius of 500 feet from any other alcohol establishment, school, public park, playground, recreational center, day care center, or similar use. The subject property is not within 500 feet of any of these uses and meets the requirements of the Antioch Municipal Code.

The applicant has held the current Type 20 license since October 2019, according to ABC records. There are no reported disciplinary actions or operating restrictions reported on the current ABC license.

Issue #3: Tobacco Sales

The City of Antioch Municipal Code § 9-5.3843 Tobacco and Paraphernalia Retailers prohibits tobacco retailers within the City under most circumstances. § 9-5.3843(D) allows tobacco retailers lawfully established and operating prior to the effective date of the section, September 2017, to continue to operate as nonconforming uses. Bizi Mart sold tobacco products prior to 2017 and may continue to sell tobacco products as a legal, nonconforming use.

ATTACHMENTS

- A. Resolution
- B. Applicant's Project Description

ATTACHMENT A

CITY OF ANTIOCH ZONING ADMINISTRATOR RESOLUTION NO. 2020-**

RESOLUTION OF THE CITY OF ANTIOCH ZONING ADMINISTRATOR APPROVING A USE PERMIT (UP-20-12) FOR TYPE 21 OFF-SALE GENERAL ABC LICENSE AT 3912 DELTA FAIR BOULEVARD

WHEREAS, Alphy Vellian requests approval of a use permit for a Type 21 off-sale general ABC license to allow the sale of beer, wine, and distilled spirits at Bizi Mart, located at 3912 Delta Fair Boulevard (APN 074-122-017);

WHEREAS, this project is Categorically Exempt from the provisions of CEQA, pursuant 15301, Existing Facilities, Class 1;

WHEREAS, the Zoning Administrator duly gave notice of public hearing as required by law;

WHEREAS, the Zoning Administrator on December 10, 2020, duly held a public hearing and received and considered evidence, both oral and documentary; and,

WHEREAS, the Zoning Administrator does determine:

1. The granting of such Use Permit will not be detrimental to the public health or welfare or injurious to the property or improvements in such zone or vicinity.

The proposed liquor store will not be detrimental to the surrounding property or improvements. Based upon the conditions imposed, the proposed use will not create adverse impacts to the surrounding businesses and residents.

2. The use applied at the location indicated is properly one for which a Use Permit is authorized.

The site is zoned Regional Commercial (C-3). The City of Antioch Municipal Code allows liquor stores with the approval of a use permit in the Regional Commercial district.

3. That the site for the proposed use is adequate in size and shape to accommodate such use, and all parking, and other features required.

The proposed liquor store will take place in an existing commercial building that is used for a liquor store that sells beer and wine only. The proposed sale of liquor will not affect the parking at the site, which is sufficient for the use.

4. That the site abuts streets and highways adequate in width and pavement type to carry the kind of traffic generated by the proposed use.

The project site is currently developed and is located on Delta Fair Boulevard, which is adequate in width and pavement type to carry the traffic generated by the proposed use.

5. The granting of such Use Permit will not adversely affect the comprehensive General Plan.

The use will not adversely affect the comprehensive General Plan because the project is consistent with the General Plan designation for the site of Regional Commercial and is located in an existing commercial building.

NOW, THEREFORE, BE IT RESOLVED, the Zoning Administrator of the City of Antioch does hereby **APPROVE** UP-20-12, for a Type 21 off-sale general ABC license to allow the sale of beer, wine, and distilled spirits at Bizi Mart at 3912 Delta Fair Boulevard (APN 074-122-017), subject to the following conditions:

A. <u>GENERAL CONDITIONS</u>

- 1. The project shall comply with the Antioch Municipal Code. All construction shall conform to the requirements of the California Building Code and City of Antioch standards.
- 2. The applicant shall defend, indemnify, and hold harmless the City in any action brought by a third party to challenge the land use entitlement. In addition, if there is any referendum or other election action to contest or overturn these approvals, the applicant shall either withdraw the application or pay all City costs for such an election.
- 3. The project shall be implemented as indicated on the application form and accompanying materials provided to the City and in compliance with the Antioch Municipal Code, or as amended by the Zoning Administrator.
- 4. No building permit will be issued unless the plan conforms to the project description and materials as approved by the Zoning Administrator and the standards of the City.
- 5. This approval expires two years from the date of approval (expires December 10, 2022), unless an extension has been approved by the Zoning Administrator. Requests for extensions must be received in writing with the appropriate fees prior to the expiration of this approval. No more than one, one-year extension shall be granted.

- 6. No permits or approvals, whether discretionary or mandatory, shall be considered if the applicant is not current on fees, reimbursement payments, and any other payments that are due.
- 7. This approval supersedes previous approvals that have been granted for this site.

C. <u>FEES</u>

1. The applicant shall pay all fees as required by the City Council.

D. <u>PROPERTY MAINTENANCE</u>

- 1. No illegal signs, pennants, banners, balloons, flags, or streamers shall be used on this site at any time.
- 2. The site shall be kept clean of all debris (boxes, junk, garbage, etc.) at all times.
- 3. No signs shall be installed on this site without prior City approval.

E. <u>PROJECT SPECIFIC REQUIREMENTS</u>

- 1. The use permit allows for a Type 21 ABC license at 3912 Delta Fair Boulevard.
- 2. The operator shall store all cardboard and other refuse entirely within the trash dumpsters or within the store.
- 3. The operator shall comply with Antioch Municipal Code § 9-5.519 Tobacco-Related Signs and maintain the site free from signage that promotes tobacco products because the site is located within 1,600 feet of an elementary school.
- 4. All temporary signage shall comply with section § 9-5.508 of the Antioch Municipal Code. Any temporary or moveable signs shall be removed from in front of the business.

* * * * * * * * *

I HEREBY CERTIFY that the foregoing resolution was passed and adopted by the Zoning Administrator of the City of Antioch at a regular meeting thereof held on the 10th day of December 2020.

FORREST EBBS ZONING ADMINISTRATOR



ATTACHMENT B

PROJECT DESCRIPTION: Zoning permit to seek 21 Off-Sale General Licence

From:

Bizi Mart

3912 Delta Fair Blvd,

Antioch CA 94509

Bizi Mart is a convenience store with 20 off-sale Wine and Beer licence , also carry Grocery , soda, chips cigarette products and house hold items.

I applied to ABC for 21 off-sale General licence so I can carry Liquor. ABC require Zoning permit from the city of Antioch.

The store is open seven days a week from 7:30am to 8:30pm

I have 2 employees working at the store and I work there too.

The parking lot has 20 parking spaces and 2 handicap spaces.